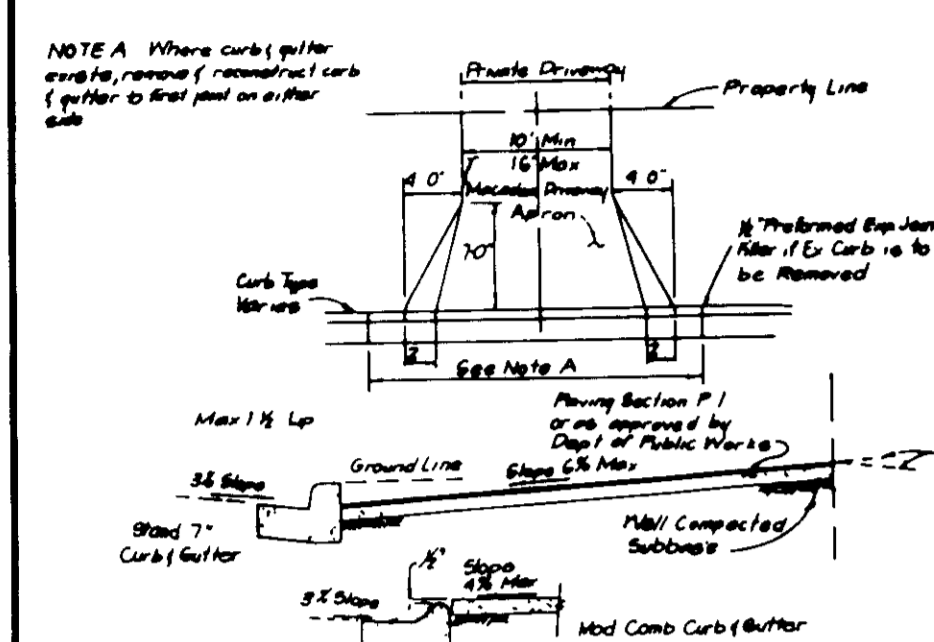


DRIVEWAY ABUTTING CLOSED SECTION WITH MODIFIED COMBINATION CURB AND GUTTER AND SIDEWALK



DRIVEWAY ABUTTING CLOSED SECTION WITHOUT CONCRETE SIDEWALK

LEGEND

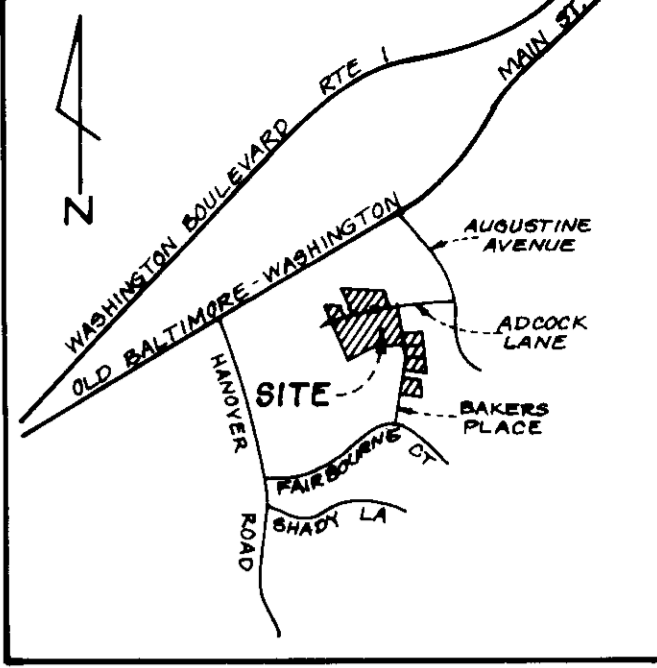
- Contour Interval 2 Ft
- Existing Contour 90
- Proposed Contour +80
- Spot Elevation
- Direction of Drainage
- Walk-Out Basement
- Ex Trees to be Saved
- Flood Plain Elev 66.12

SPECIAL NOTES

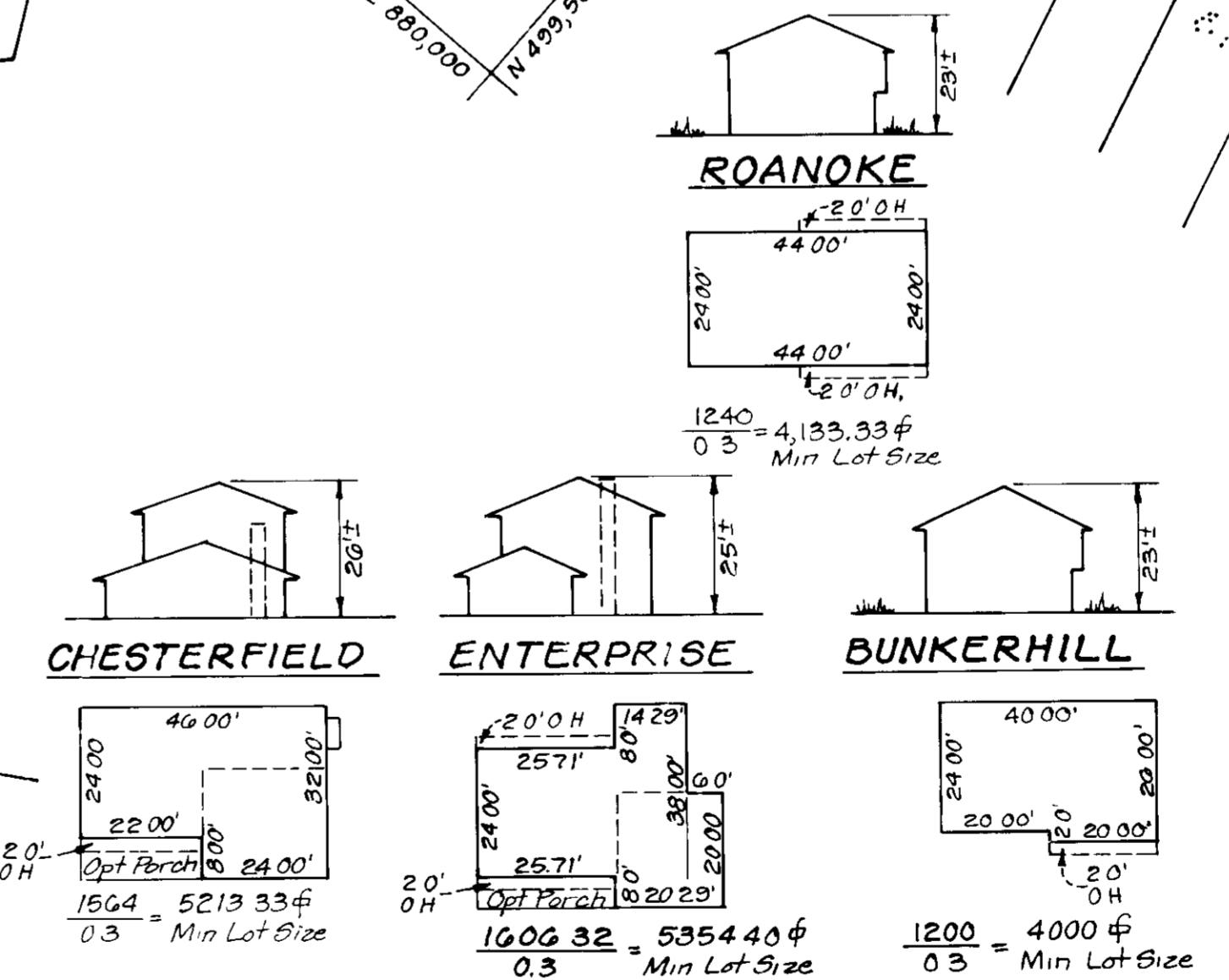
- Approved road construction plans shall be used for all utilities
- Public Water and Sewer shown for reference only. For more detailed information, see Water and Sewer Plans - Contract No 14-1466-D
- The water and sewer house connections not included in a "Developer's Agreement" shall conform to Howard County Plumbing Code. The on-site WHC shall be 1" copper and SHC shall be 4" iron
- Stormwater Management provided for in central facility, located in Canbury Woods, Section 1, Area 1 - Approved Plans F-86-115.

GENERAL NOTES

- The Land included is zoned R-12 as per Comprehensive Zoning Plan dated 8-2-85
- Coordinates are based on the Maryland State Plane as projected by Howard County Monuments 2547007 and 2648001
- All roads are public and existing
- Any damage to county owned rights-of-way to be corrected at the Developer's expense
- For flag or pipestem lots, refuse collection, snow removal, and road maintenance are provided to the junction of the flag or pipestem and right-of-way, and not to the flag or pipestem
- Total area included: 3.32 AC, Total (Sheets 1 & 2) 6.91 Acres
- Total number of lots: 30
- Maximum lot coverage is 30%
- Stormwater Management provided for by previously approved plan F-86-115.
- Existing topography was field run by Clark, Finck and Sackett, Inc



VICINITY MAP
SCALE 1" = 2,000'



TYPICAL HOUSES
Scale 1" = 30'

Note All houses have 1 roof eave front 4 rear

Lot	Total Area	Area 25% or > / Pipe Stem	Total Buildable Lot Area
76	12,614 sq ft	2,200 sq ft	10,414 sq ft
139	14,151 sq ft	3,500 sq ft	10,651 sq ft

ADDRESS CHART

LOT #	STREET	ADDRESS
70	6054	Adcock Lane
71	6058	"
72	6062	"
73	6066	"
74	6068	"
75	6067	"
76	6063	"
77	6059	"
78	6055	"
79	6007	Bakers Place
92	6017	"
93	6013	"
138	6021	"
139	6025	"
140	6031	Bakers Place

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
DATE: 5-24-89

APPROVED FOR PLANNING AND ZONING
HOWARD COUNTY OFFICE OF PLANNING & ZONING
DATE: 6-1-89

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DATE: 5-19-89

OWNER/DEVELOPER
BRITAIN DEVELOPMENT GROUP, INC
9030 Red Branch Rd #210
Columbia, Md 21045

SUBDIVISION NAME
CANBURY WOODS

SECT/AREA
21, 2

LOTS
70-72, 74-79, 92, 93, 138-153 and 168-169

PLAT NO
2413

BLOCK NO
B085

ZONE
R-12

TAX / MAP NO
38

ELEC DIST
1ST

CENSUS TRACT
6012

WATER CODE
A 01

SEWER CODE
2090000

CLARK • FINEPROCK & SACKETT, INC
ENGINEERS • PLANNERS • SURVEYORS
7135 MANSFIELD WAY • COLUMBIA MD 21045 • (301) 381-7500 BALTO • (301) 621-8800 WASH

DESIGNED
LJG

DRAWN
BAL
LAI

CHECKED
LJG

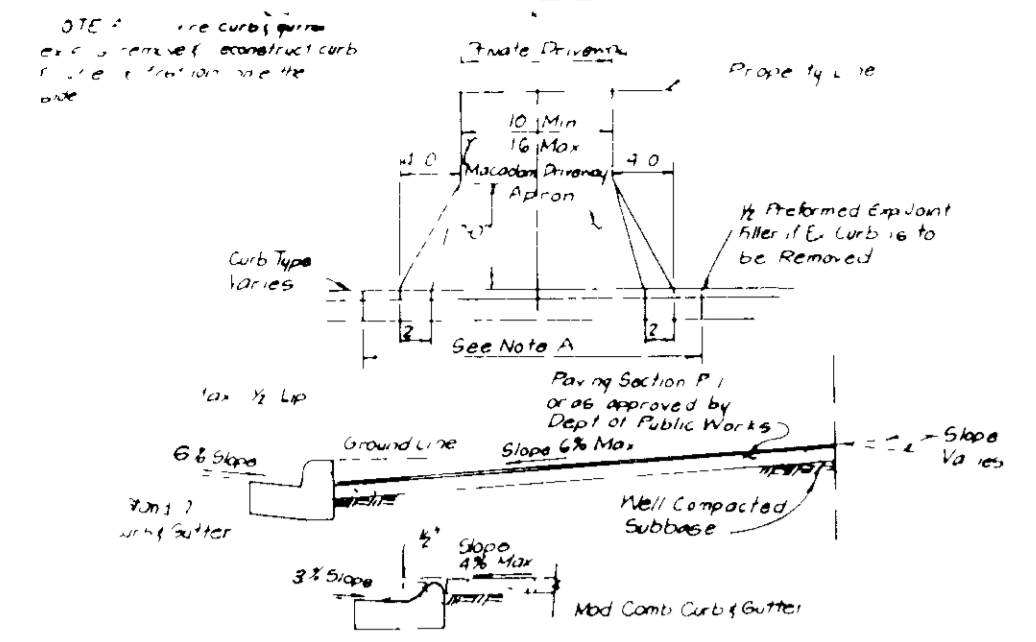
DATE
July, 1988

SITE DEVELOPMENT PLAN
SCALE 1" = 30'

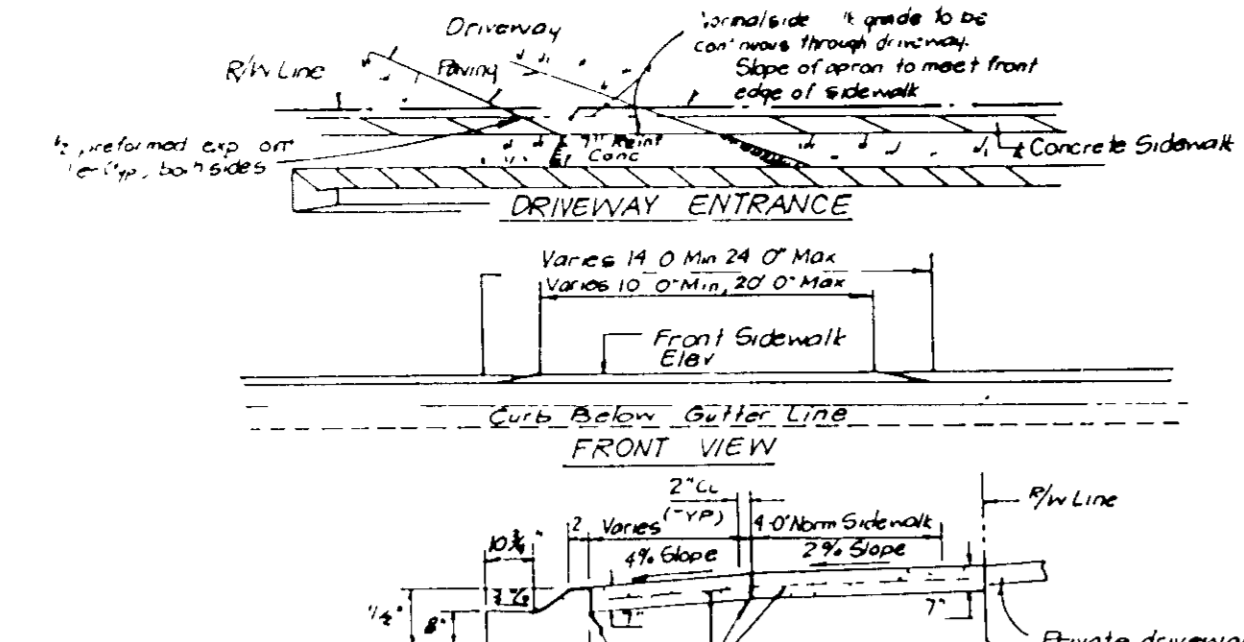
DRAWING
1 of 5

JOB NO
88-035

FILE NO
88-035 X



DRIVEWAY ABUTTING CLOSED SECTION WITHOUT CONCRETE SIDEWALK



DRIVEWAY ABUTTING CLOSED SECTION WITH MODIFIED CURB, GUTTER & SIDEWALK

CANBURY WOODS
LOTS 166, 167 and 168

White Oak	5'-20" cal
Red Oak	5'-20" cal
Maple	5'-20" cal
Tulip Poplar	5'-20" cal
Black Cherry	4'-5" cal
American Beech	1'-5" cal
Virginia Pine	5'-15" cal

(60% - 70% Cover)

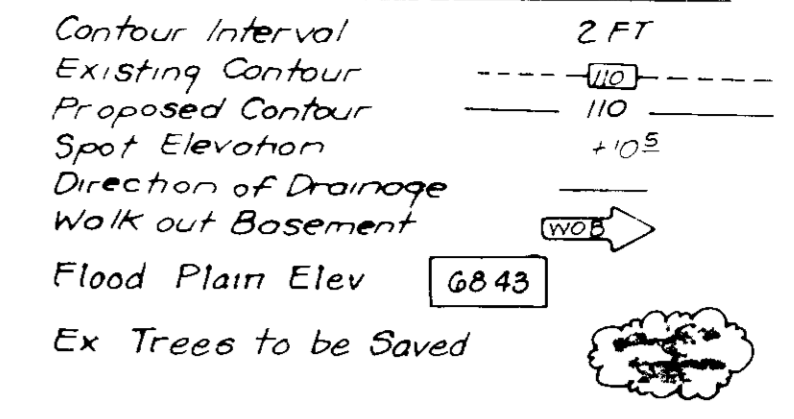
SPECIAL NOTES

1. Approved road construction plans shall be used for all utilities.
2. Public water & sewer for reference only. For more detailed information see Water and Sewer plans, contract no.
3. The water and sewer house connections not included in a "Developers Agreement" shall conform to Howard County Plumbing Code. The on site WHC shall be 1" copper & SHC shall be iron.
4. Stormwater Management provided for in central facility located in Canbury Woods, Section 1 Area 1. Approved Plans F 86-115.

GENERAL NOTES

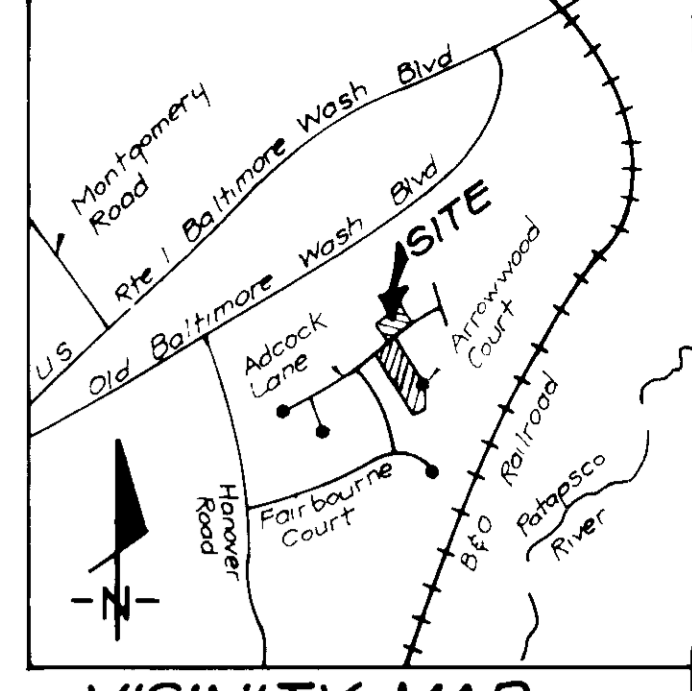
1. The land included is zoned R-12 as per Comprehensive Zoning Plan dated 8-2-85.
2. Coordinates are based on the Maryland State Plane as projected by Howard County Monuments 2547007 and 2648001.
3. All roads are public and existing.
4. Any damage to county owned right-of-ways to be corrected at the developers expense.
5. For flag or pipestem lots, refuse collection, snow removal and road maintenance are provided to the junction of the flag or pipestem and right-of-way line only, and not to the flag or pipestem.
6. Total area included 3.58 Acres.
7. Total number of lots 30.
8. Stormwater Management provided for by previously approved plan.
9. Maximum lot coverage is 30%.
10. Existing topography was field run by Clark, Finefrock & Sackett, Inc.

LEGEND

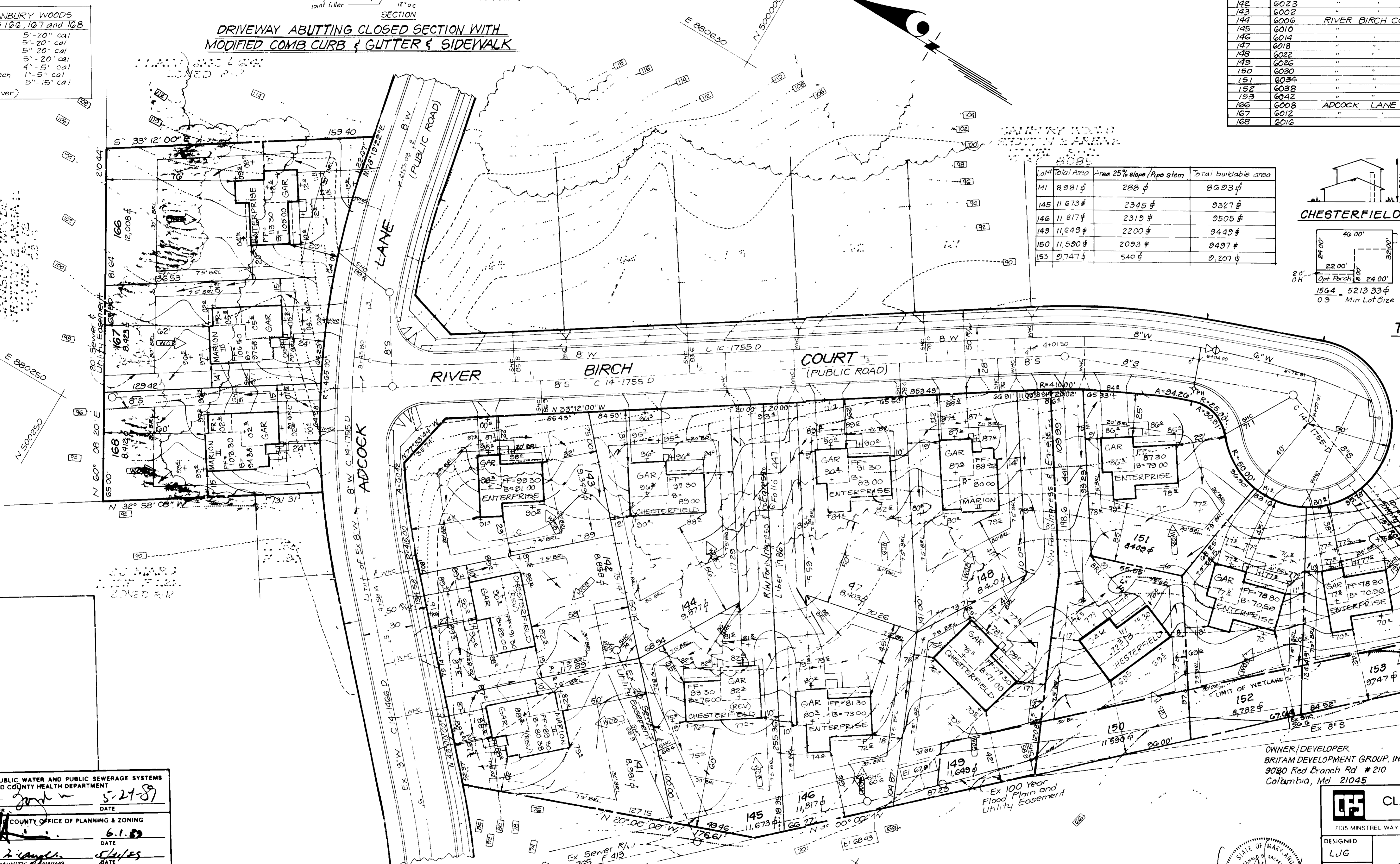


ADDRESS CHART

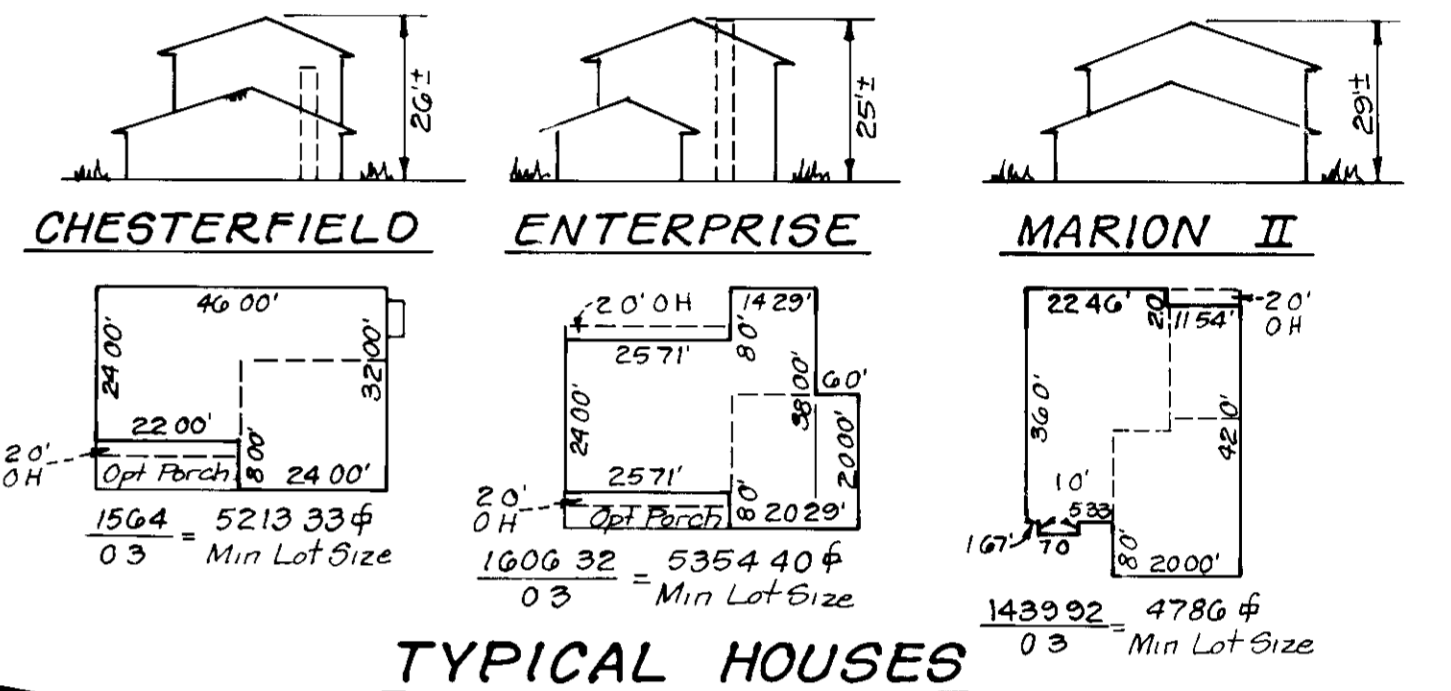
LOT NO	STREET ADDRESS
141	6027 ADCOCK LANE
142	6023 " "
143	6002 " "
144	6006 RIVER BIRCH COURT
145	6010 " "
146	6014 " "
147	6018 " "
148	6022 " "
149	6026 " "
150	6030 " "
151	6034 " "
152	6038 " "
153	6042 " "
154	6046 " "
155	6050 " "
156	6008 ADCOCK LANE
157	6012 " "
158	6016 " "



VICINITY MAP
Scale 1" = 2000'



Lot	Total Area	Area 25% slope / Pipe stem	Total buildable area
141	8,981 \$	288 \$	8,693 \$
145	11,673 \$	2345 \$	9,327 \$
146	11,817 \$	2319 \$	9,505 \$
149	11,649 \$	2200 \$	9,449 \$
150	11,500 \$	2093 \$	9,407 \$
153	9,747 \$	540 \$	9,207 \$



TYPICAL HOUSES
SCALE 1" = 30'

Note: All houses have 1" roof eaves front and rear.

APPROVED

DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT
DATE: 3-22-89

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
DATE: 5-27-89

APPROVED FOR COUNTY OFFICE OF PLANNING & ZONING
DATE: 6-1-89

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DATE: 5-14-89

OWNER/DEVELOPER
BRITAM DEVELOPMENT GROUP, INC.
9080 Red Branch Rd # 210
Columbia, Md 21045

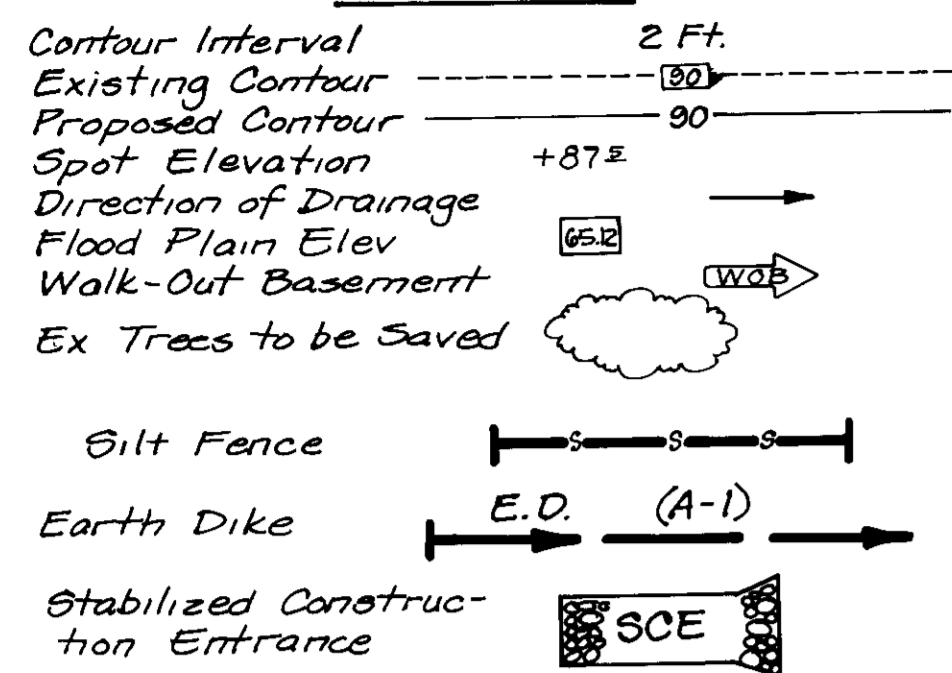
CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS
7135 MINSTREL WAY • COLUMBIA MD 21045 • (301) 381-7500 - BALTO • (301) 711-8100 - WASH

SITE DEVELOPMENT PLAN
LOTS 70-72, 74-79, 92, 93, 138-153
and 166-168

CANBURY WOODS
SECTION 1 - AREA 2
SECTION 2 - AREA 2
1ST ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

FOR THE LAND GROUP, INC.
7-30 Minstrel Way Suite 216
Columbia, Maryland 21045

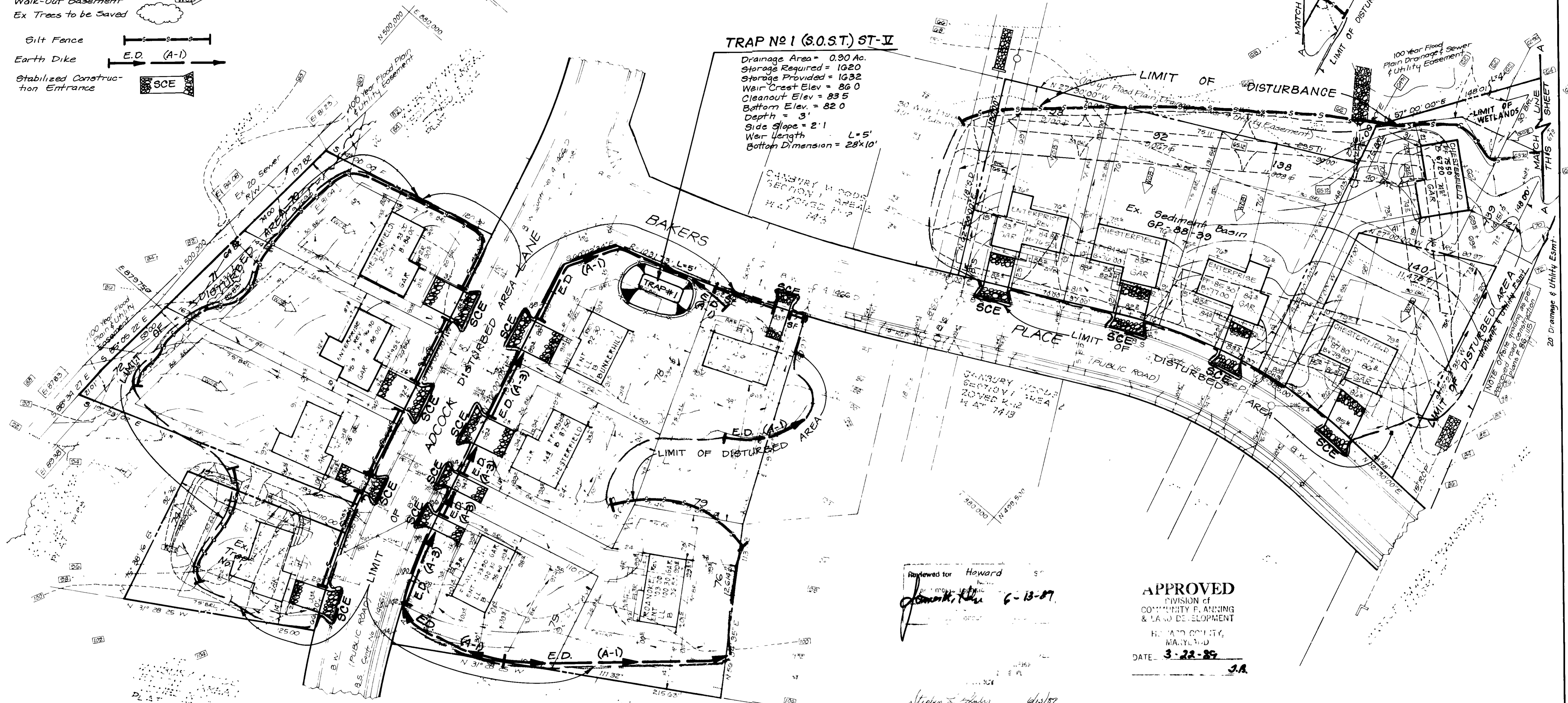
LEGEND



NOTE Contact B.G. & E. prior to commencement of any work within R/W Ex utilities to be located by test pits by hand prior to construction

TRAP NO 1 (S.O.S.T.) ST-II

Drainage Area = 0.90 Ac.
 Storage Required = 1620
 Storage Provided = 1632
 Weir Crest Elev = 86.0
 Cleanout Elev = 82.5
 Bottom Elev = 82.0
 Depth = 3'
 Side Slope = 2:1
 Weir Length L = 5'
 Bottom Dimension = 28x10'



Reviewed for Howard
 [Signature] 6-13-89

APPROVED
 DIVISION OF
 COMMUNITY PLANNING
 & LAND DEVELOPMENT
 HOWARD COUNTY,
 MARYLAND
 DATE 3-22-89
 J.A.

[Signature]
 APPROVED DATE 4/1/89

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT	[Signature]	DATE 5-14-89
APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING	[Signature]	DATE 6-1-89
PLANNING DIRECTOR	[Signature]	DATE 5/15/89
CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT	[Signature]	DATE
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS	[Signature]	DATE 5/22/89
DIRECTOR	[Signature]	DATE 5-19-89
CHIEF BUREAU OF ENGINEERING	[Signature]	DATE

ENGINEER'S CERTIFICATE
 I hereby certify that this plan for Erosion and Sediment Control represents a practical and effective plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 [Signature] 6/1/89
 DATE 7-25-89
 G Nelson Clark



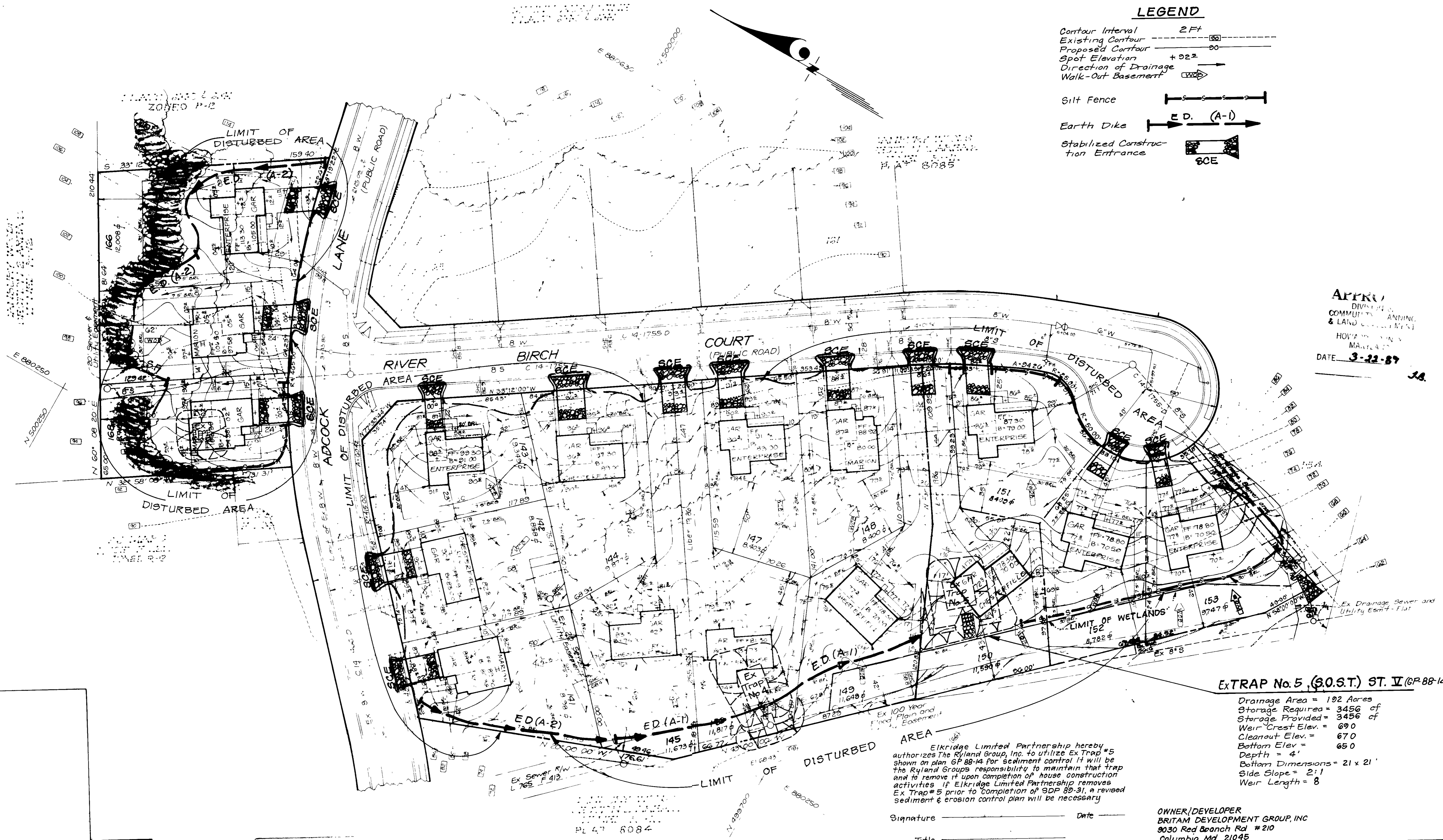
OWNER/DEVELOPER BRITAM DEVELOPMENT GROUP, INC. 3030 Red Branch Rd # 210 Columbia, Md 21045	SUBDIVISION NAME CANBURY WOODS	SECT/AREA 1/2 & 2/2	LOTS 70-72, 74-78, 82, 83, 138-153 & 166-168
PLAT NO 7412, 7413	BLOCK NO R-12	TAX/MAP NO 38	ELEC DIST 157
WATER CODE	SEWER CODE		

CLARK • FINEPROCK & SACKETT, INC ENGINEERS • PLANNERS • SURVEYORS	7130 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 875-0100
DESIGNED DT	SEDIMENT AND EROSION CONTROL PLAN LOTS 70-72, 74-78, 82, 83, 138-153 and 166-168
DRAWN LAI	CANBURY WOODS SECTION 1 AREA 2 SECTION 2 AREA 2 1st ELECTION DISTRICT
CHECKED DT	HOWARD COUNTY, MARYLAND
DATE July, 1988	FOR THE RYLAND GROUP - Columbia Division 7130 Minstrel Way - Suite 215 Columbia, Maryland 21045
	SCALE 1" = 30' DRAWING 3 of 5 JOB NO 88-035 FILE NO 88-035SE

LEGEND

- Contour Interval 2 Ft
- Existing Contour
- Proposed Contour
- Spot Elevation + 92.2
- Direction of Drainage
- Walk-Out Basement
- Silt Fence
- Earth Dike
- Stabilized Construction Entrance

APPROVED
 DIVISION OF PLANNING
 & LAND DEVELOPMENT
 HOWARD COUNTY
 DATE 3-22-89



EXTRAP No. 5 (S.O.S.T.) ST. V (GP-88-14)

Drainage Area = 192 Acres
 Storage Required = 3456 of
 Storage Provided = 3456 of
 Weir Crest Elev. = 69.0
 Cleanout Elev. = 67.0
 Bottom Elev. = 65.0
 Depth = 4'
 Bottom Dimensions = 21 x 21'
 Side Slope = 2:1
 Weir Length = 8

I, Elkrige Limited Partnership hereby authorizes The Ryland Group, Inc. to utilize Ex Trap #5 shown on plan GP-88-14 for sediment control. It will be the Ryland Group's responsibility to maintain that trap and to remove it upon completion of house construction activities. If Elkrige Limited Partnership removes Ex Trap #5 prior to completion of SDP 89-31, a revised sediment & erosion control plan will be necessary.

Signature _____ Date _____

Title _____

OWNER/DEVELOPER
 BRITAM DEVELOPMENT GROUP, INC
 8030 Red Beach Rd # 210
 Columbia, Md 21045

CLARK • FINEFROCK & SACKETT, INC
 ENGINEERS • PLANNERS • SURVEYORS

DESIGNED DT	SEDIMENT AND EROSION CONTROL PLAN LOTS 70-72, 74-79, 92, 95, 138-153 and 166-168 CANBURY WOODS SECTION 1 - AREA 2 SECTION 2 - AREA 1 & 2 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND FOR THE RYLAND GROUP INC 7150 Minstrel Way, Suite 215 Columbia, Maryland 21045	SCALE 1" = 30'
DRAWN BAL		DRAWING 4 of 5
CHECKED DT		JOB NO 88-035
DATE July 4, 1989		FILE NO 88-035E

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER: *[Signature]* DATE: 5-24-89

APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING
 PLANNING DIRECTOR: *[Signature]* DATE: 6-1-89

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE
 STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR: *[Signature]* DATE: 5-22-89

CHIEF BUREAU OF ENGINEERING: *[Signature]* DATE: 5-19-89

Reviewed for: Howard
 and the: *[Signature]* DATE: 6/13/89
 U.S. GOVERNMENT

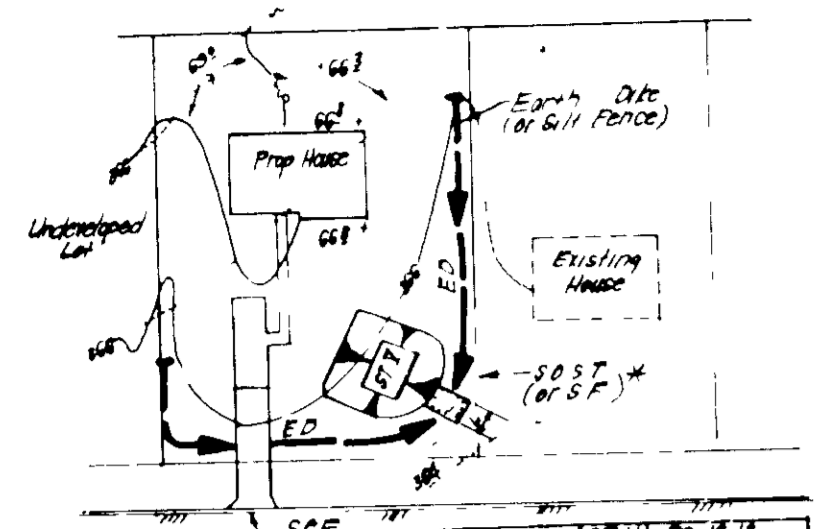
[Signature] DATE: 6/13/89
 Approved Date

I, Elkrige Limited Partnership hereby authorizes The Ryland Group, Inc. to utilize Ex Trap #5 shown on plan GP-88-14 for sediment control. It will be the Ryland Group's responsibility to maintain that trap and to remove it upon completion of house construction activities. If Elkrige Limited Partnership removes Ex Trap #5 prior to completion of SDP 89-31, a revised sediment & erosion control plan will be necessary.

[Signature] DATE: 8/1/88

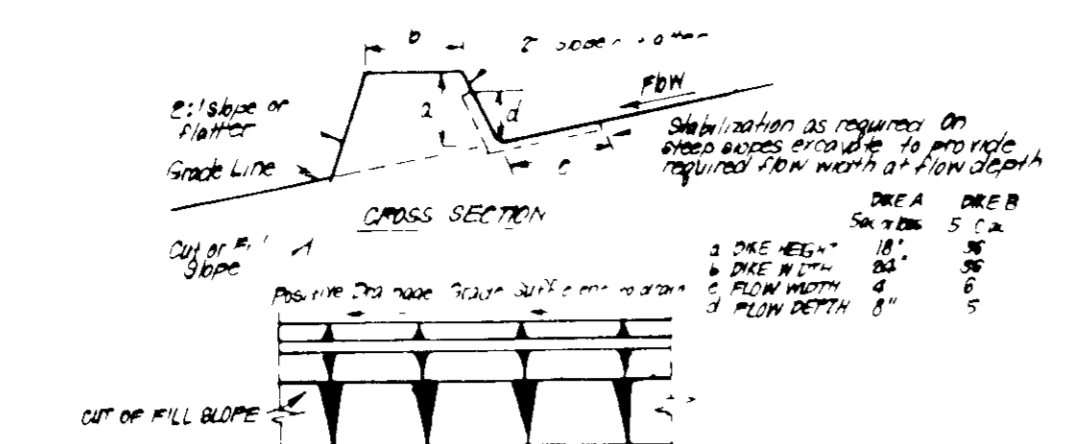
7-26-85
 Date: *[Signature]* G Nelson Clark





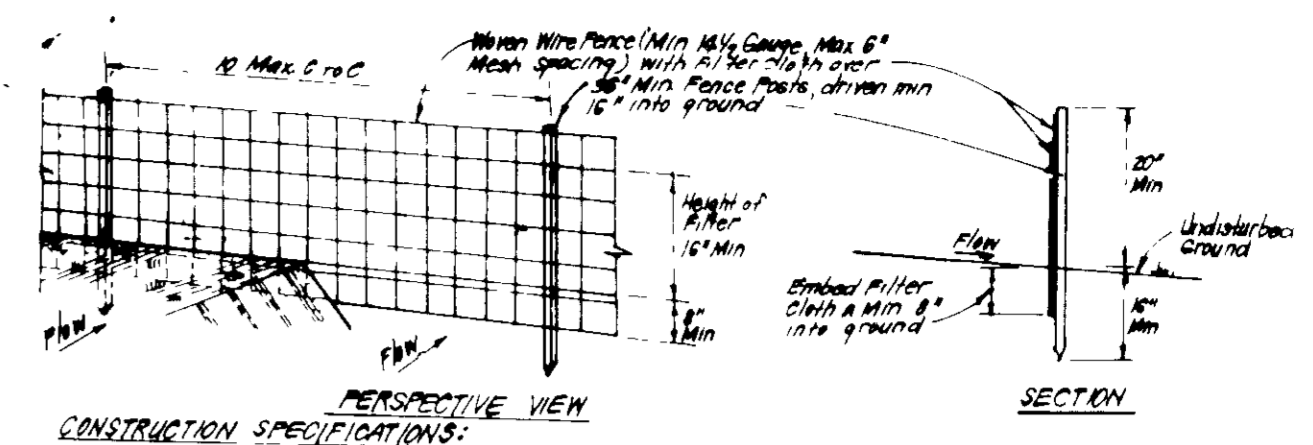
SINGLE LOT SEDIMENT CONTROL PLAN
NO SCALE

NOTE: Single lot details cannot be utilized if any two lots share common property lines or if to be distributed into the same lot or any lots showing a sediment trap.



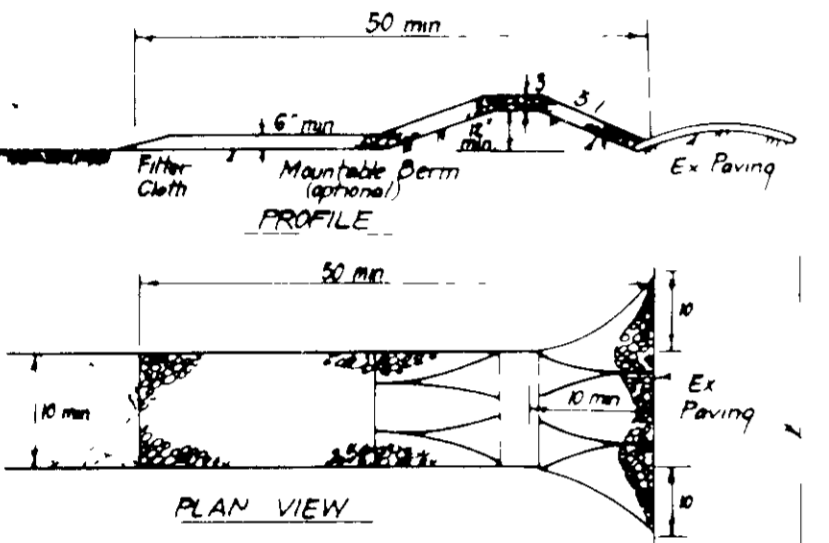
EARTH DIKE DETAIL (ED)
NO SCALE

CONSTRUCTION SPECIFICATIONS:
1. All dikes shall be constructed by earth moving equipment.
2. A dikes top shall have a minimum width of 10 feet.
3. Top width may be wider and side slopes may be flatter if desired to facilitate access to construction equipment.
4. Slope section should be as shown or as required to be a stabilized slope with a minimum of 1:1.
5. Earth dikes shall have an outer slope facing away from the site with a minimum of 1:1.
6. Earth dikes shall be constructed in a series of sections with a sediment trap located at each section where there is a change in the drainage area above the dike or at an adequate interval.
7. Dikes shall be constructed in accordance with standards set forth in the manual and approved by the local health officer.



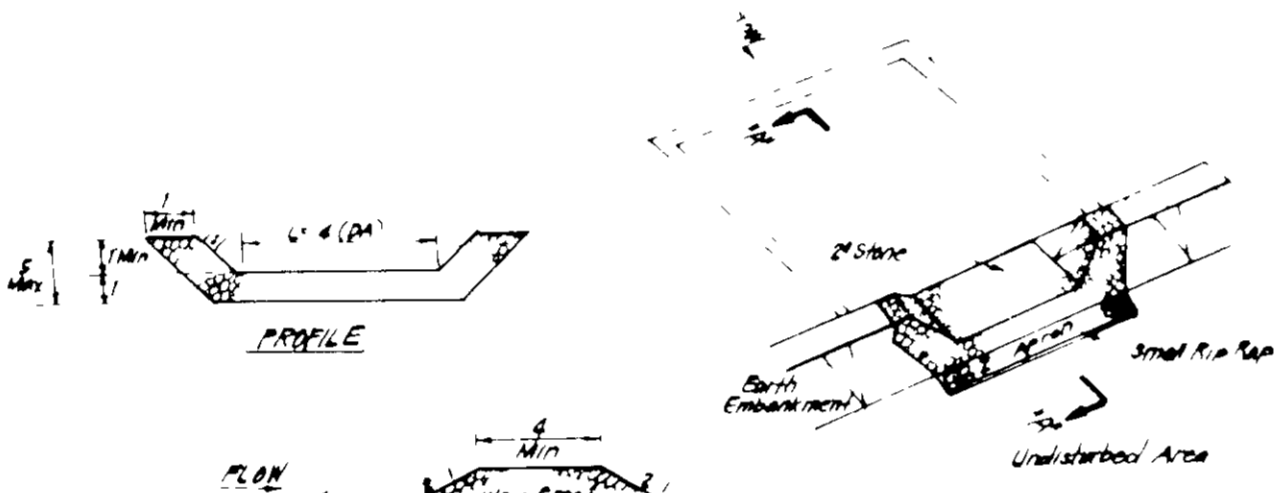
SILT FENCE DETAIL (S)
NO SCALE

CONSTRUCTION SPECIFICATIONS:
1. When wire fence is to be installed securely to fence posts with wire ties or staples.
2. Wire shall be attached securely to wooden fence posts with ties spaced every 10 feet and attached to the fence posts.
3. When 2 sections of filter cloth are used they shall be overlapped by 6 inches.
4. Maintenance shall be performed as needed and material removed when it becomes clogged or damaged.



STABILIZED CONSTRUCTION ENTRANCE (SCE)
NO SCALE

CONSTRUCTION SPECIFICATIONS:
1. Stone size - Use 2 stone or equivalent of recycled concrete equipment.
2. Length - As required, but not less than 50 feet, except on simple residence lot where a 30 foot minimum length would apply.
3. Thickness - Not less than six (6) inches.
4. Width - Ten (10) foot minimum but not less than the full width of points where ingress or egress occurs.
5. Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on simple residence lot.
6. Surface Water - All surface water flowing or diverted towards construction entrances shall be piped across the entrance. If doing an impractical, a mountable berm with 3' slopes will be permitted.
7. Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights of way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanup of any measures used to trap sediment. All sediment applied, dropped, washed or tracked onto public rights of way must be removed immediately.
8. Highways - Where they shall be cleaned to remove sediment prior to entrance onto public rights of way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
9. Periodic inspection and needed maintenance shall be provided after each rain.



STONE OUTLET SEDIMENT TRAP (SOST) STY
NO SCALE

CONSTRUCTION SPECIFICATIONS:
1. Area under embankment shall be cleared, grubbed and all weeds of any vegetation and root matter shall be cleared.
2. The filter material for the embankment shall be free of rocks and other impurities as well as any silt, sand, or other objectionable material. The embankment shall be compacted by tamping with equipment while it is being constructed.
3. All cut and fill slopes shall be 1:1 or flatter.
4. The stone used in the outlet shall be small (top of 8" along with 1 thickness of 12" aggregate placed on the stone) made on the street or from a crusher. The stone shall be placed in the outlet.
5. The structure shall be constructed of stone and repair made as needed.
6. The structure shall be constructed of stone and repair made as needed.
7. Construction operations shall be carried out in such a manner that erosion and water run-off is minimized.
8. The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.

CONSTRUCTION SEQUENCE

1. Obtain Permit	5 Days
2. Install S&L Controls on the following groups of lots as follows:	14 Days
a. Lots 70-72, & 74 - Install silt fence and stabilized construction entrances. Work may not begin on lot #74 until Ex Trap #1 is removed.	
b. Lots 75-79 - Install Trap #1, earth dike, silt fence and stabilized construction entrance as shown on plan.	
c. Lots 92, 93, 138-140 - Work may not begin until Ex Sediment Basin has been removed per approval of S&L inspector. Once removed install silt fence, stabilized construction entrances as shown on plan.	
d. Lots 166-168 - Install silt fence and stabilized construction entrances as shown on plan. Work may not begin until Ex Trap #3 has been removed from lot #168.	
e. Lots 141-153 - Remove Ex Trap #4 on lot 146 and rebarbush Ex Trap No. 5 on lot #150. Install earth dike, silt fence and stabilized construction entrances. Work may not begin on lot #150 until Ex Trap #5 is removed.	
3. Excavate for foundations and rough grade. Temporarily stabilize	75 Days
4. Construct houses, sidewalks and driveways	125 Days
5. Fine grade. Permanently stabilize in accordance with standards and specifications	45 Days
6. Upon approval of the Sediment Control Inspector remove sediment and erosion controls and permanently stabilize those areas	14 Days

PERMANENT SOIL TEST

Apply 100 lbs per acre of 10-10-10 fertilizer (10 lbs 1000 sq ft) before seeding.

Seeding - Apply 2 tons per acre of 10-10-10 fertilizer (2 lbs 1000 sq ft) before seeding.

Seeding - Apply 2 tons per acre of 10-10-10 fertilizer (2 lbs 1000 sq ft) before seeding.

Seeding - Apply 2 tons per acre of 10-10-10 fertilizer (2 lbs 1000 sq ft) before seeding.

Reviewed for Howard
Name
and meets Technical Requirements
John M. Nelson 6/13/89
Signature Date
U.S. Soil Conservation Service

THIS DOCUMENT IS APPROVED
DATE
APPROVED DATE

APPROVED
DIVISION OF
COMMUNITY PLANNING
& LAND DEVELOPMENT
HOWARD COUNTY,
MARYLAND
DATE **3-22-89**

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
DATE **5-24-89**

APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING
DATE **6-1-89**

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DATE **5-19-89**

DEVELOPERS/BUILDER'S CERTIFICATE

I hereby certify that the plan for Erosion and Sediment Control...
Signature of Developer/Builder
Date **8/1/88**

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Erosion and Sediment Control...
Signature of Engineer
Date **4-24-89**

OWNER/DEVELOPER
BRITAM DEVELOPMENT GROUP, INC
9030 Red Branch Rd. # 210
Columbia, Md 21045

CLARK • FINEROCK & SACKETT, INC
ENGINEERS • PLANNERS • SURVEYORS

SEDIMENT AND EROSION CONTROL PLAN
LOTS 70-72, 74-79, 92, 93, 138-153
and 166-168

CANBURY WOODS
SECTION 1 AREA 2
SECTION 2 AREA 1 & 2
1st ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

DESIGNED DT
DRAWN LAI
CHECKED DT
DATE July, 1988

DATE July, 1988

FILE NO 88-0356E

SDP 87-31