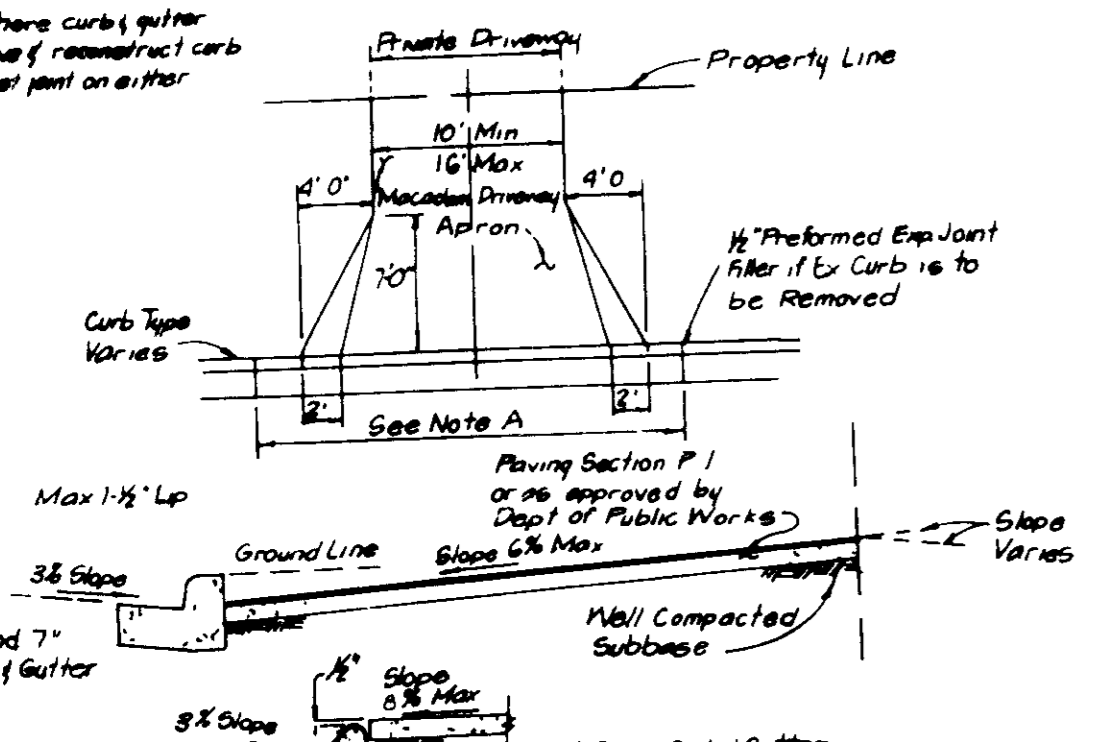
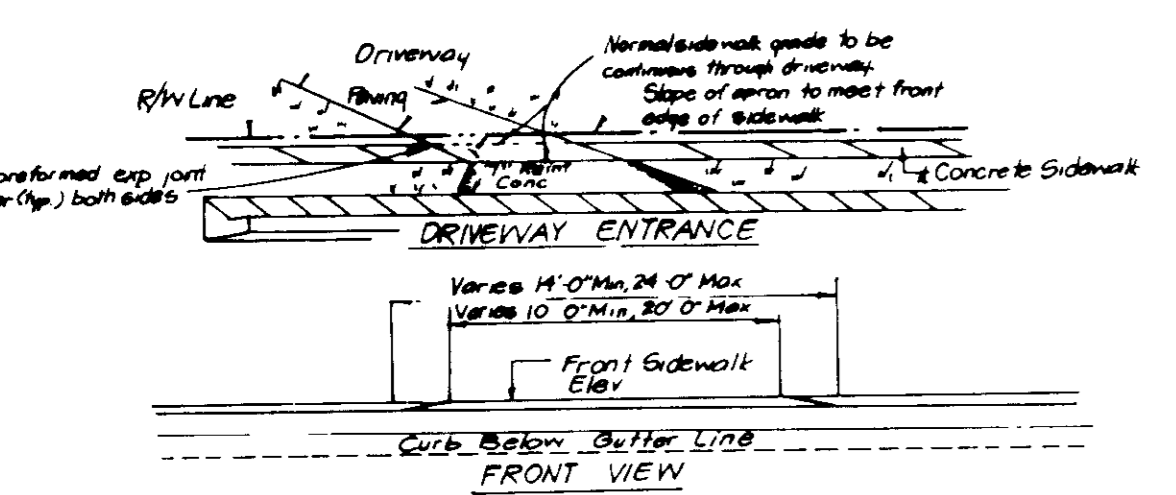


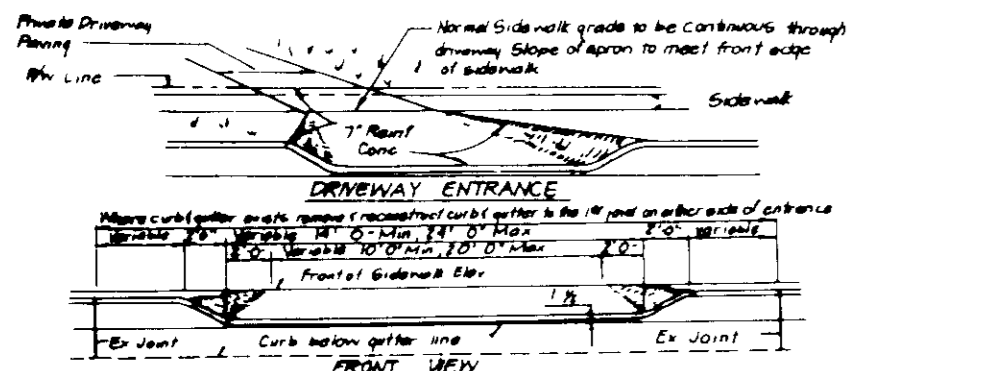
NOTE A Where curbs, gutters, curbs, remove if reconstruct curb & gutter to their joint on either side



DRIVEWAY ABUTTING CLOSED SECTION WITHOUT CONCRETE SIDEWALK



DRIVEWAY ABUTTING CLOSED SECTION WITH MODIFIED COMB CURB & GUTTER & SIDEWALK



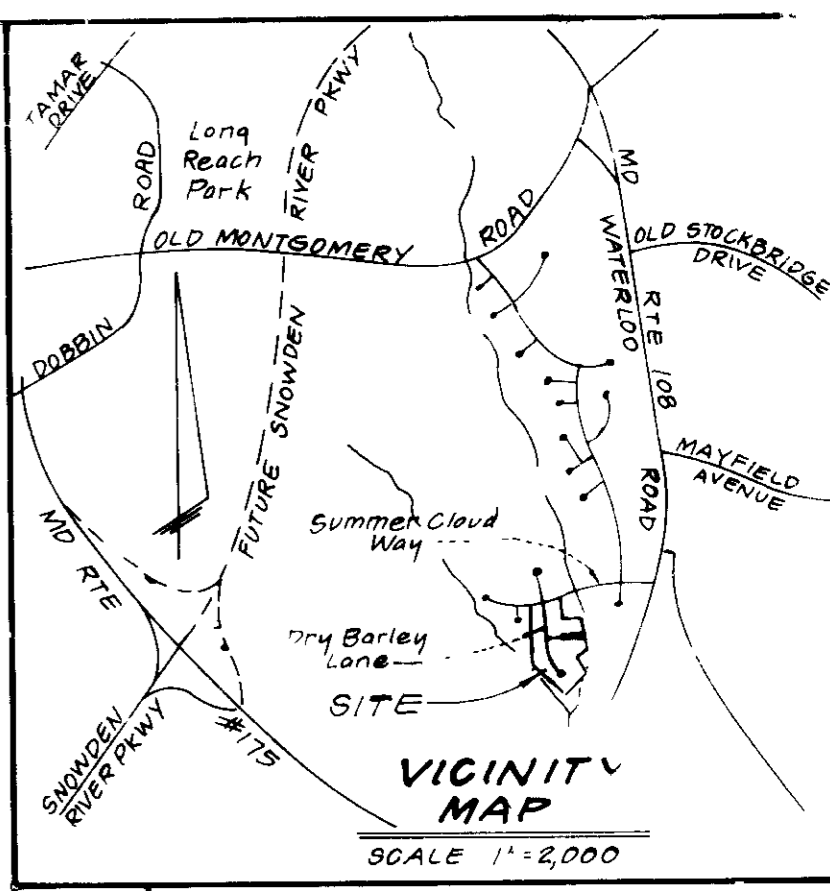
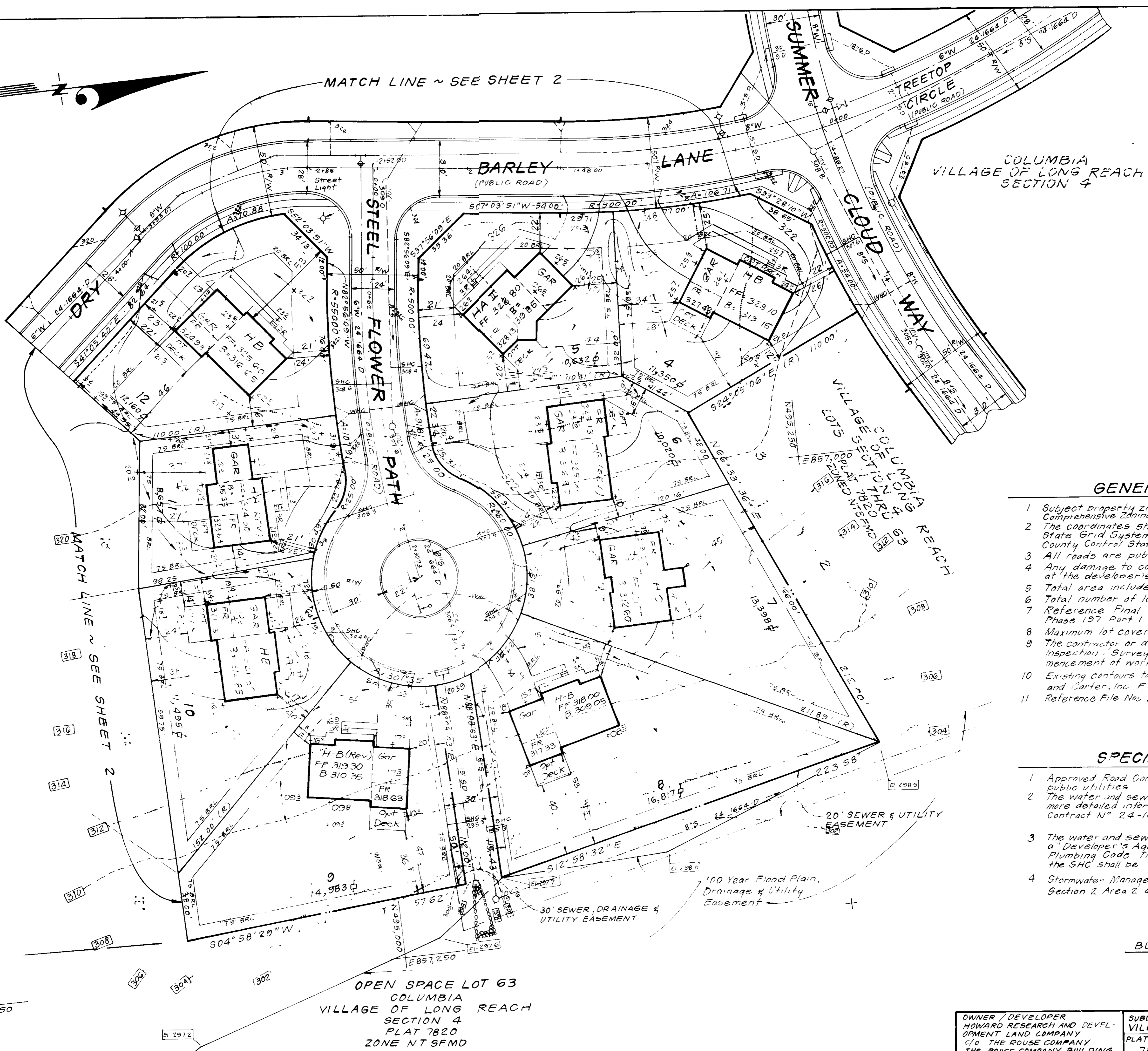
DRIVEWAY ABUTTING CLOSED SECTION WITH 6x7" CURB, GUTTER & SIDEWALK SET BACK FROM CURB

- LEGEND**
- 1 Contour Interval 2 Ft
 - 2 Existing Contour
 - 3 Proposed Contour
 - 4 Spot Elevation +105
 - 5 Direction of Drainage
 - 6 Walk-Out Basement
 - 7 Existing Trees
 - 8 Existing Trees to be Saved

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER: [Signature] DATE: 9-26-88

APPROVED FOR HOWARD COUNTY OFFICE OF PLANNING & ZONING
 PLANNING DIRECTOR: [Signature] DATE: 10-5-88

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DATE: 9-23-88



LOT	STREET ADDRESS
4	6403 Dry Barley Lane
5	6407 Dry Barley Lane
6	6405 Steel Flower Path
7	6409
8	6413
9	6412
10	6408
11	6404
12	6415 Dry Barley Lane
13	6425
14	6435
15	6439
16	6413
17	6438
18	6434
19	6430
20	6426
21	6422
22	6418
23	6413
24	6410
25	6406
26	6402 Dry Barley Lane

- GENERAL NOTES**
- Subject property zoned New Town Single Family Medium Density per Comprehensive Zoning Plan dated 8/2/85
 - The coordinates shown herein are based on the Maryland State Grid System and derived from the following Howard County Control Stations No 2544002 and No 2544008
 - All roads are public and existing
 - Any damage to county owned rights-of-way to be corrected at the developer's expense
 - Total area included: 273,563 sq ft or 6.2801 Acres
 - Total number of lots: 22
 - Reference Final Development Plan Criteria Section 4, Phase 197 Part 1
 - Maximum lot coverage is 30%
 - The contractor or developer shall contact the Construction Inspection Survey Division, 24 hrs in advance of commencement of work at 792-2630
 - Existing contours taken from plans prepared by Fisher Collins and Carter, Inc F 88-76
 - Reference File No. 9-87-39, P 87 60 & F 88 76

- SPECIAL NOTES**
- Approved Road Construction Plans shall be used for all public utilities
 - The water and sewer shown is for reference only. For more detailed information, see Water and Sewer plans Contract No 24-1664-D
 - The water and sewer house connections not included in a Developer's Agreement shall conform to Howard County Plumbing Code. The on-site WHC shall be 1" copper and the SHC shall be 4" iron
 - Stormwater Management provided in Columbia Village of Long Reach Section 2 Area 2 and Section 4 F 88-76

BUILDING RESTRICTION LINES
 Front: 20' Min
 Sides & Rear: 7.5' Min

OWNER / DEVELOPER HOWARD RESEARCH AND DEVELOPMENT LAND COMPANY C/O THE ROUSE COMPANY THE ROUSE COMPANY BUILDING 10275 LITTLE PATUXENT PKWY COLUMBIA, MARYLAND 21044	SUBDIVISION NAME - COLUMBIA-VILLAGE OF LONG REACH PLAT N° 7820 BLOCK N° 14 SEMD	SECT / AREA 4 / 1 37 / 6	LOTS 4-26 6065 02
	WATER CODE E08	SEWER CODE 3460000	

CLARK • FINEFROCK & SACKETT, INC
 ENGINEERS • PLANNERS • SURVEYORS
 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (301) 961-7510 • BALTO • (410) 326-1200

DESIGNED: CMS
 DRAWN: VLM
 CHECKED: CMS
 DATE: 8-8-88

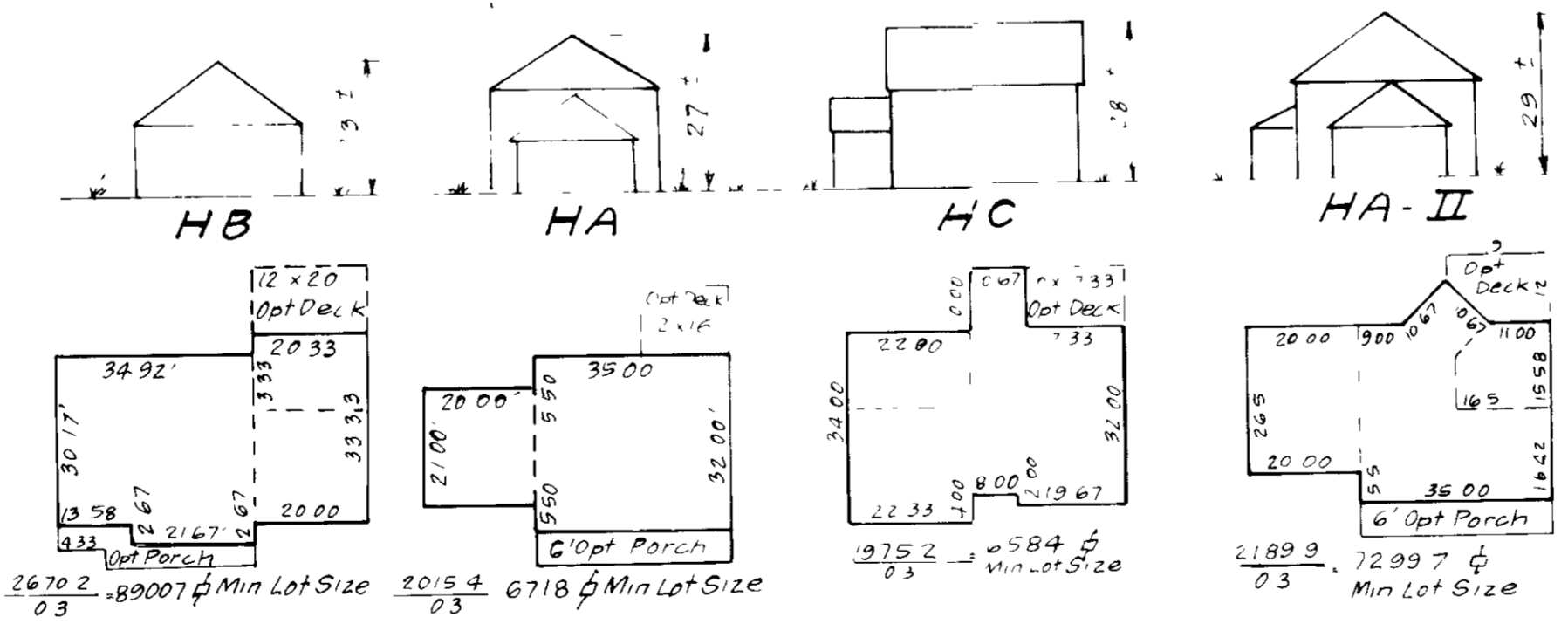
SITE DEVELOPMENT PLAN
 LOTS 4 THRU 26
COLUMBIA
 VILLAGE OF LONG REACH
 SECTION 4 AREA 1
 6th ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

FOR: HALLMARK BUILDERS, INC
 P.O. Box 1018
 Columbia, Maryland 21044

SCALE: 1" = 30'
 DRAWING: 1 OF 4
 JOB NO: 88-065
 FILE NO: 88-065 X
 SDP-87-30



OPEN SPACE LOT 63
COLUMBIA
VILLAGE OF LONG REACH
SECTION 4
PLAT 7820
ZONED NT SFMD



TYPICAL HOUSES
SCALE 1/8" = 1'-0"

NOTE: All houses have 8' eaves front & rear.
NOTE: Optional Decks and Porches can not go over Side Building Restriction Lines.

NOTE: Existing outside utility lines prepared by Howard County 2/12/2007.

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
DATE: 9-26-88
COUNTY HEALTH OFFICER

APPROVED HOWARD COUNTY, OFFICE OF PLANNING & ZONING
DATE: 10-5-88
PLANNING DIRECTOR

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DATE: 9-23-88
DIRECTOR

9-1-88
LWS



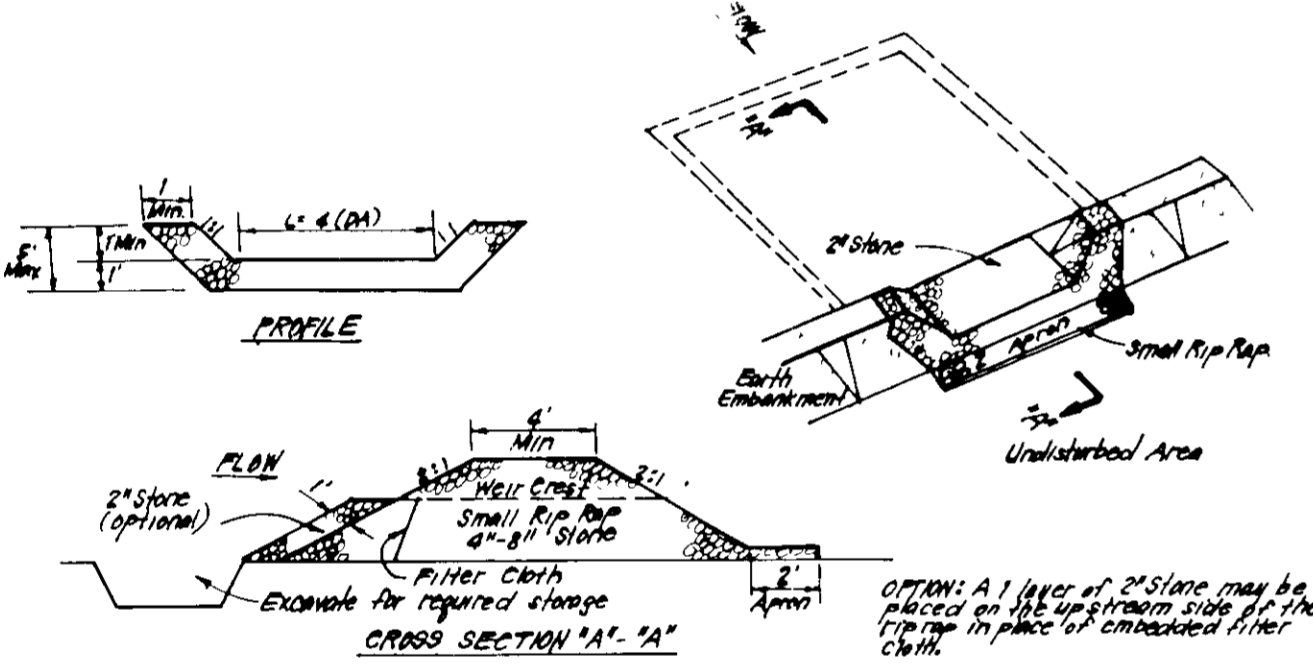
CLARK • FINEFROCK & SACKETT, INC. ENGINEERS • PLANNERS • SURVEYORS 1131 MINN. RFL. WAY • COLUMBIA, MD. 21045 • (301) 381-7530 • BALTO. • (301) 381-1000 • WASH.		
DESIGNED CMS	SITE DEVELOPMENT PLAN LOTS 4 THRU 26 COLUMBIA VILLAGE OF LONG REACH SECTION 4 AREA 1 6 ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 30'
DRAWN VLM		DRAWING 2 OF 4
CHECKED CMS		JOB NO. 88-065
DATE 9-8-88		FILE NO. 88-065 X
OWNER / DEVELOPER HOWARD RESEARCH AND DEVELOPMENT LAND COMPANY c/o THE ROUSE COMPANY THE ROUSE COMPANY BUILDING 10225 LITTLE PATRIOT PKWY COLUMBIA, MARYLAND 21044		FOR HALLMARK BUILDERS, INC. P.O. Box 1018 Columbia, Maryland 21044 SDP-89-30

1. A minimum 24 hour notice must be given to the Chief Engineer of the Division of Public Water and Sewerage Systems of the County Health Department (992-2172).
2. All erosion and sediment control structures shall be installed in accordance with the provisions of this plan and the 1983 Maryland Standards and Specifications for Soil Erosion and Sediment Control Structures, Sidewalks and Driveways (Sec. 51) and (Sec. 52), temporary stabilization with mulch and seeding (Sec. 53) and temporary stabilization with straw bales and seeding as done above recommended seeding rates.
3. Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all areas greater than 31, 14 days for all other disturbed or graded areas on the project site.
4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 1 of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
5. All disturbed areas must be stabilized within 7 calendar days of specified above in accordance with the 1983 Maryland Standards and Specifications for Soil Erosion and Sediment Control Structures, Sidewalks and Driveways (Sec. 51) and (Sec. 52), temporary stabilization with mulch and seeding (Sec. 53) and temporary stabilization with straw bales and seeding as done above recommended seeding rates.
6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
7. Site Data:
 - Total Area of Site: 6.3 Acres
 - Area to be Graded or Paved: 1.3 Acres
 - Area to be Temporarily Stabilized: 2.2 Acres
 - Total Cut: 5010 Cu Yds
 - Total Fill: 5000 Cu Yds
 - Off-site stock/borrow area location: N/A
8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
9. Additional sediment control must be provided, if deemed necessary by the Howard County DWS sediment control inspector.
10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment control, but before proceeding with any other earth disturbance or grading, either building or grading. Inspection approvals may not be authorized until this initial approval by the inspection agency is made.
11. If houses are to be constructed on "A-B" basis, at random, Single Lot Sediment Control as shown below shall be implemented.
12. All dikes to be blocked at the end of each day (see detail below).
13. The total amount of straw bale dikes/silt fence equals 3,000 LF.

Reviewed for HOWARD COUNTY SCD
Name: Howard County
and meets Technical Requirements
U.S. Soil Conservation Service
This plan is APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Approved: *Stephen J. Schwab* 9/15/88
Date: 9/15/88

TRAP # 2 ST-V S.O.S.T.
D.A. = 0.8 Acre
Storage Req'd = 1440 cf
Storage Provided = 1452 cf
Weir Crest El. = 304.5
Depth = 3'
Bottom Elev. = 300.5
Bottom Dim = 16' x 16'
Cleanout Elev. = 302.0

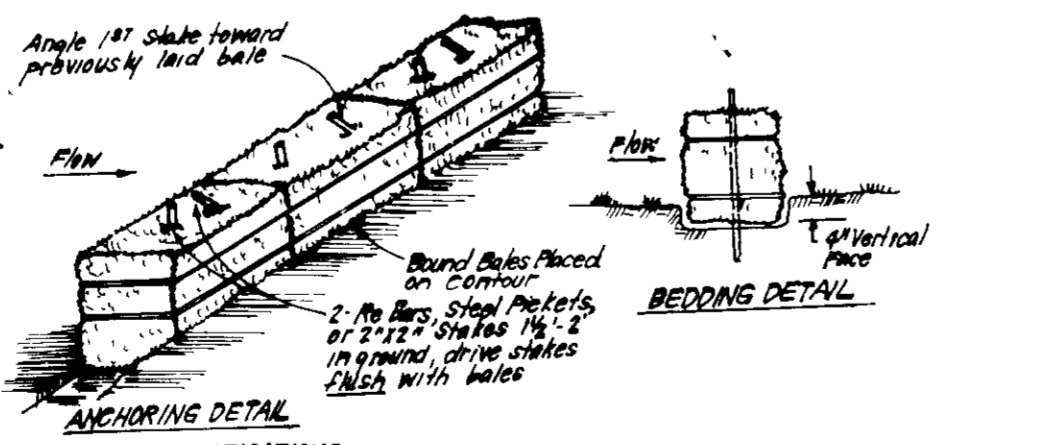


- CONSTRUCTION SPECIFICATIONS:
1. Area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat. The trap area shall be cleared.
 2. The 1/2" diameter rebar reinforcement shall be free of rust and other impurities as well as any sized stones, rocks, organic material or other objectionable material. The reinforcement shall be compacted by tamping with 1/2" x 1/2" x 1/2" blocks shall be 1/2" of diameter.
 3. The stone used in the outlet shall be small rip rap 4" x 4" with a thickness of 2" aggregate placed on the upstream side of the outlet. The outlet shall be 1/2" thick in the rip rap.
 4. Sediment shall be removed and trap restored to its original dimensions when the sediment has accumulated to the design depth of the trap.
 5. The structure shall be constructed on "A-B" basis, at random. Single Lot Sediment Control as shown below shall be implemented.
 6. Construction operations shall be carried out in such a manner that erosion and water pollution is minimized.
 7. The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.

STONE OUTLET SEDIMENT TRAP (S.O.S.T.) ST-V
NO SCALE

CONSTRUCTION SEQUENCE: # OF DAYS

A. Obtain Grading Permit and Install Sediment and Erosion Control Devices and Stabilize.	7
B. Excavate for foundations and Rough Grade & Temporarily Stabilize	45
C. Construct Structures, Sidewalks and Driveways.	300
D. Final Grade and stabilize in accordance with Stds. & Specs.	14
E. Upon approval of the sediment control inspector, remove sediment and erosion controls and stabilize.	7



- CONSTRUCTION SPECIFICATIONS:
1. Bales shall be placed at the top of a slope or on the contour and in a row with ends facing the same direction.
 2. Each bale shall be compacted in place by either 2 slates or 2 bales driven from the back.
 3. Bales shall be securely anchored in place by either 2 slates or 2 bales driven from the back.
 4. Inspection shall be frequent and repair/replacement shall be made promptly as needed.
 5. Bales shall be removed when they have served their usefulness so as not to block or impede storm flow or drainage.

STRAW BALE DIKE DETAIL (SBD)
NO SCALE

OPEN SPACE LOT 63
TRAP # 1 ST-V S.O.S.T.
D.A. = 0.6 Acre
Storage Req'd = 1080 cf
Storage Provided = 1083 cf
Weir Crest Elev. = 305.0
Depth = 3'
Bottom Elev. = 301.0
Bottom Dim = 13' x 13'
Cleanout Elev. = 302.5

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Dept. of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

Signature of Developer/Builder: *Jeffrey V. Schwab* 8/9/88 Date

LEGEND

1. Contour Interval 2 FT
2. Existing Contour --- 310 ---
3. Proposed Contour --- 310 ---
4. Spot Elevation + 10 ±
5. Direction of Drainage
6. Walk-Out Basement
7. Straw Bale Dike or Silt Fence
8. Earth Dike
9. Stabilized Construction Entrance
10. Trees to be Saved

FLOW CHANNEL STABILIZATION

TYPE OF TREATMENT	CHANNEL GRADE	DISE A	DISE B
1	1.5 - 2.0%	Seed or Straw Mulch	Seed or Straw Mulch
2	3.1 - 5.0%	Seed or Straw Mulch	Seed or Straw Mulch
3	5.1 - 8.0%	Seed or Straw Mulch	Seed or Straw Mulch
4	8.1 - 10.0%	Seed or Straw Mulch	Seed or Straw Mulch

NOTE: A slope to be 2" Stone or crushed concrete equivalent in a layer at least 3" thick and be pressed into the soil with construction equipment.
B. Rip Rap to be 4" x 4" in a layer at least 4" thick, pressed into soil.
Approved agents for erosion control are listed for any of the above materials.
7. Periodic inspection and required maintenance must be provided after each rain.

EARTH DIKE DETAIL (E.D.)
NO SCALE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
COUNTY HEALTH OFFICER: *John J. ...* 9-26-88
DATE: 9-26-88

APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING
PLANNING DIRECTOR: *John J. ...* 10-5-88
DATE: 10-5-88

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DIRECTOR: *John J. ...* 11-23-88
DATE: 11-23-88

CHIEF BUREAU OF ENGINEERING: *John J. ...* 9-23-88
DATE: 9-23-88

ENGINEER'S CERTIFICATE

"I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Signature of Engineer: *Jeffrey V. Schwab* 8/9/88 Date
Jeffrey V. Schwab

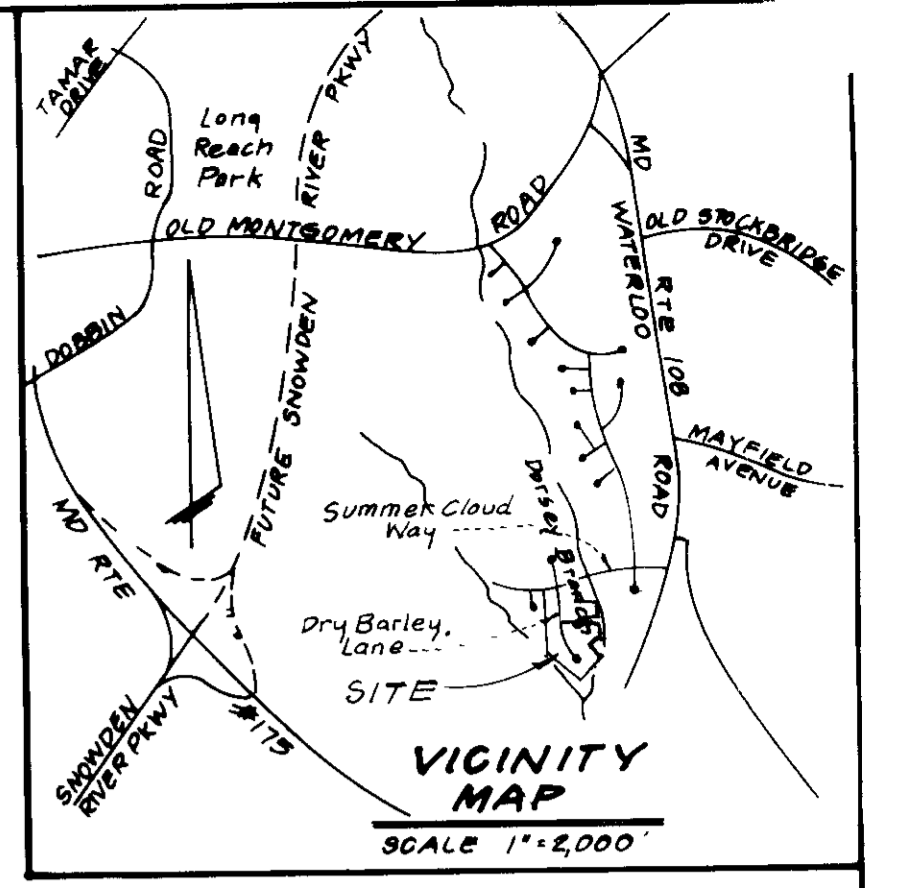


OWNER/DEVELOPER
HOWARD RESEARCH AND DEVELOPMENT
LAND COMPANY
THE HOUSE COMPANY
10215 LITTLE PATENT PKWY
COLUMBIA, MARYLAND 21044

CLARK • FINEPROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS
7135 MINTREL WAY • COLUMBIA MD 21045 • (301) 381-7530 • BALTO • (301) 621-8300 • WASH

DESIGNED: MCB
DRAWN: VLM
CHECKED: MCB
DATE: 8-1-88

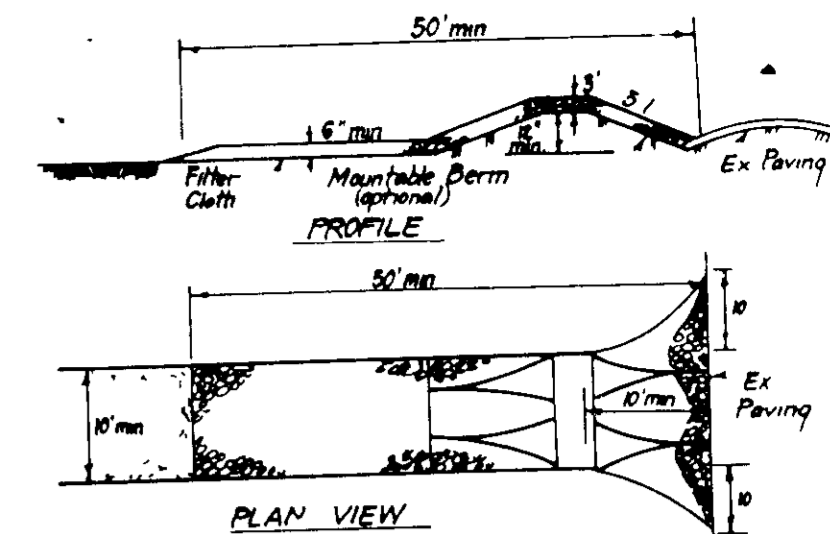
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DRAWING: 3 OF 4
JOB NO: 88-065
FILE NO: 88-065SE
FOR: HALLMARK BUILDERS, INC
PO Box 101B
Columbia, Maryland 21044
SDP 89-30



20' SEWER & UTILITY EASEMENT

OPEN SPACE LOT 63

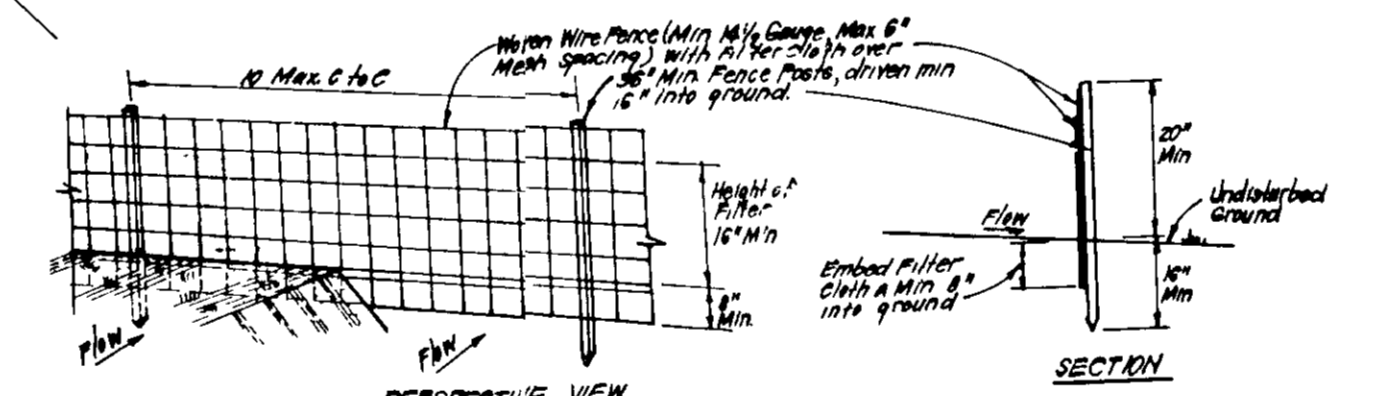
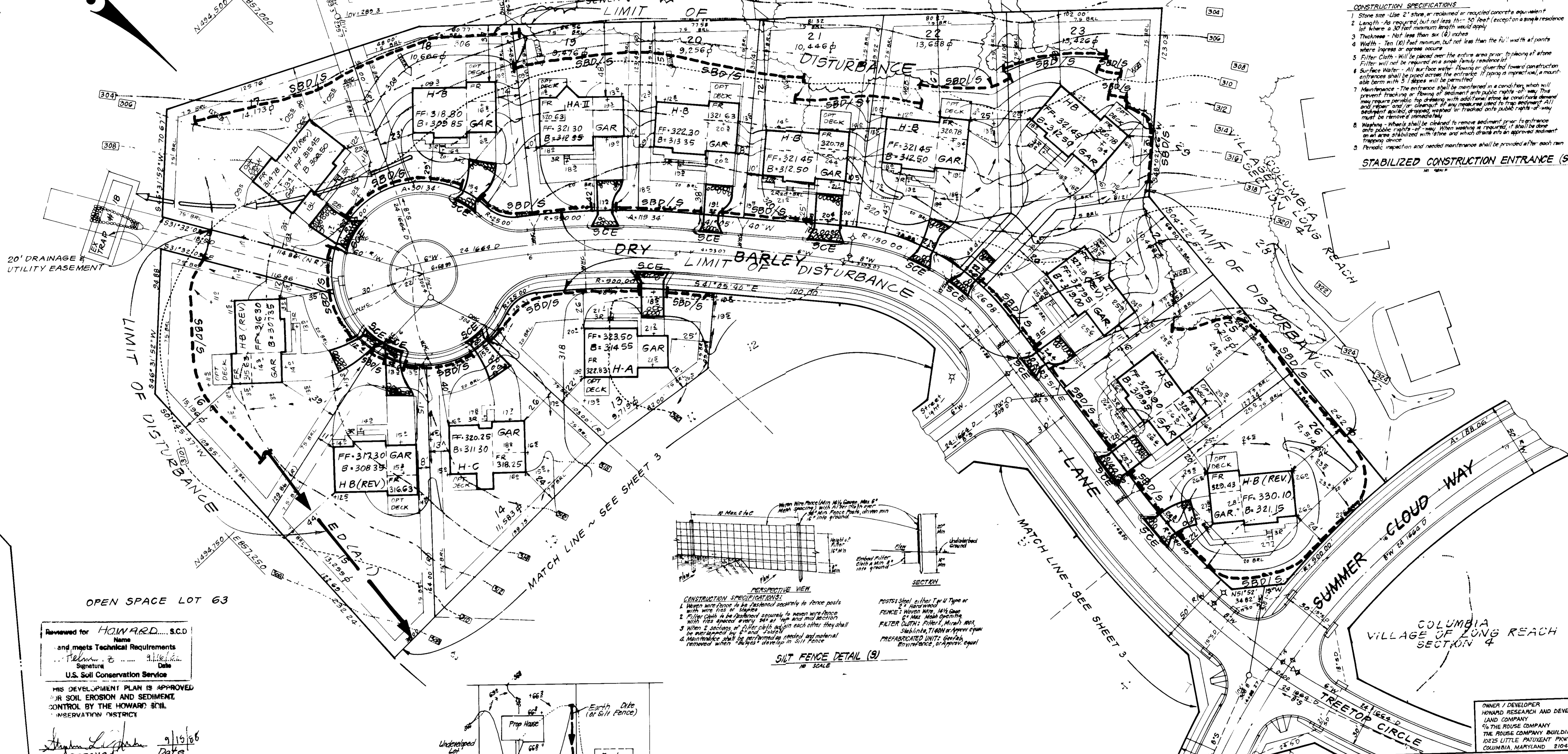
100 YEAR FLOOD PLAIN EASEMENT



CONSTRUCTION SPECIFICATIONS

1. Stone size - Use 2 1/2" stone or recycled concrete equivalent
2. Length - As required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply)
3. Thickness - Not less than six (6) inches
4. Width - Ten (10) feet minimum, but not less than the full width of a lot where ingress or egress occurs
5. Filter Cloth - Will be placed over the entire area prior to placing of stone
6. Surface Water - All surface water flowing or directed toward construction entrance shall be passed across the entrance. If piping is impractical, a mounded berm with 5' slopes will be permitted
7. Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment into public rights-of-way. This may require periodic top dressing with additional stone. In cases where sediment is tracked or flows into public rights-of-way, it shall be removed immediately.
8. Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
9. Periodic inspection and needed maintenance shall be provided after each rain.

STABILIZED CONSTRUCTION ENTRANCE (SCE)



CONSTRUCTION SPECIFICATIONS:

1. Woven wire fence to be fastened securely to fence posts with wire ties or staples.
2. Filter cloth to be fastened securely to woven wire fence with ties spaced every 8' at top and mid sections.
3. When 2 sections of filter cloth adjoin each other they shall be overlapped by 6" and stapled.
4. Maintenance shall be performed as needed and material returned when 20% of top layer is eroded or material trapped within 24 hours of development in silt fence.

POSTS: Steel either Type U Type or 2" HARDWOOD
FENCE: Woven Wire, 14" Dia, 6" Max Mesh Opening
FILTER CLOTH: Filter, Miracel 100, 36" x 120" or approved equal
PREFABRICATED UNITS: Geotextiles, 36" x 120" or approved equal

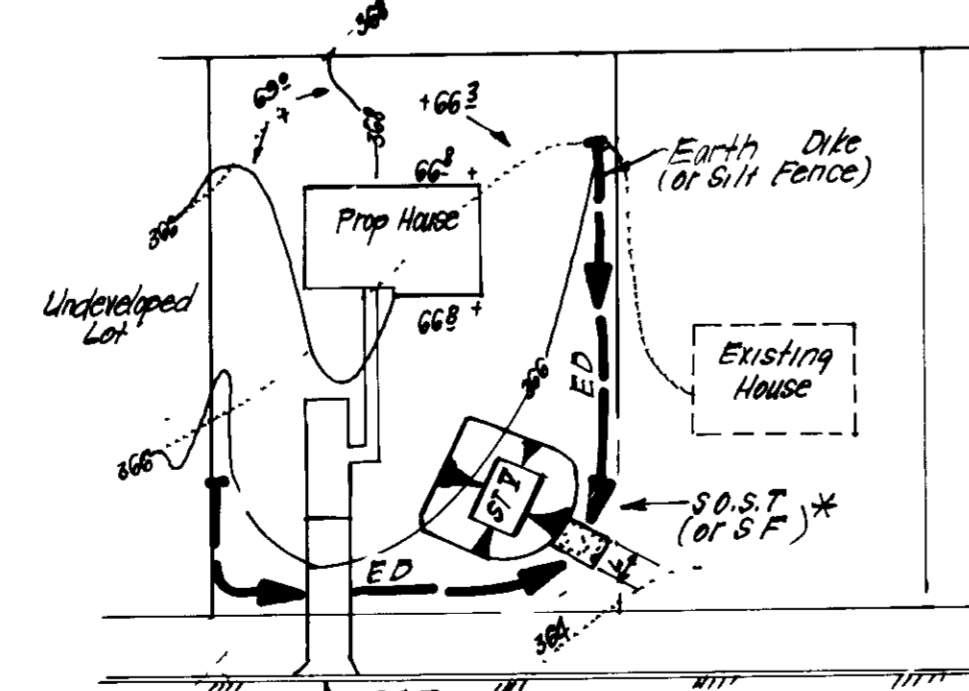
SILT FENCE DETAIL (S)

Reviewed for **HOWARD** S.C.D. Name
 and meets Technical Requirements
 Signature: *[Signature]* Date: *[Date]*
 U.S. Soil Conservation Service

HIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT
 Approved: *[Signature]* Date: *[Date]*

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER: *[Signature]* DATE: 9-26-88
 APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING
 PLANNING DIRECTOR: *[Signature]* DATE: 10-1-88
 CHIEF DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT
 APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR: *[Signature]* DATE: 9-23-88
 CHIEF BUREAU OF ENGINEERING

9-1-88
 WLS



* NOTE: Single lot detail can not be utilized if any two lots sharing common property lines are to be disturbed at the same time or on any lots showing a sediment trap

NO.	DESCRIPTION	DATE
1	DESIGNED	9-1-88
2	CHECKED	9-1-88
3	DATE	9-1-88

SINGLE LOT SEDIMENT CONTROL PLAN
 NO SCALE

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Dept. of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

Signature of Developer/Builder: *[Signature]* Date: *[Date]*

ENGINEER'S CERTIFICATE

"I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Signature of Engineer: *[Signature]* Date: *[Date]*



CLARK • FINEFROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 7135 MINSTREL WAY • COLUMBIA MD 21045 • (301) 381-7530 • BALTO • (301) 671-8100 • WASH-

DESIGNED	MCB	SCALE AS SHOWN
DRAWN	VLM	DRAWING 4 OF 4
CHECKED	MCB	JOB NO. 88-065
DATE	8-1-88	FILE NO. 88-065SE

FOR: **HALLMARK BUILDERS, INC.**
 P O Box 1018
 Columbia, Maryland 21044

SEDIMENT AND EROSION CONTROL PLAN
 LOTS 4 THRU 26
COLUMBIA
 VILLAGE OF LONG REACH
 SECTION 4 AREA 1
 6 ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

OWNER / DEVELOPER
 HOWARD RESEARCH AND DEVELOPMENT LAND COMPANY
 THE ROUSE COMPANY
 THE ROUSE COMPANY BUILDING
 1025 LITTLE PATUXENT Pkwy
 COLUMBIA, MARYLAND 21044

SDP-89-30