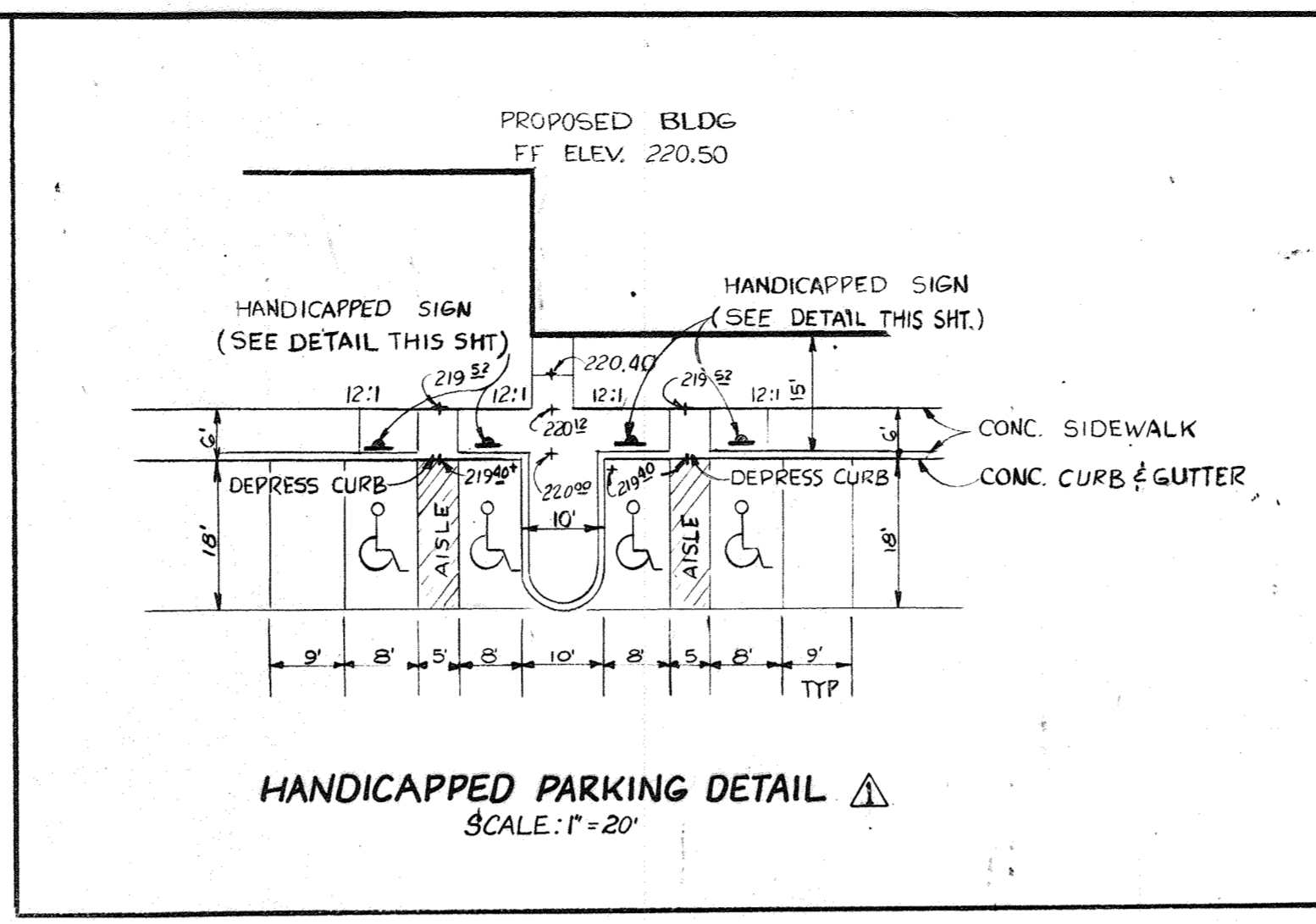
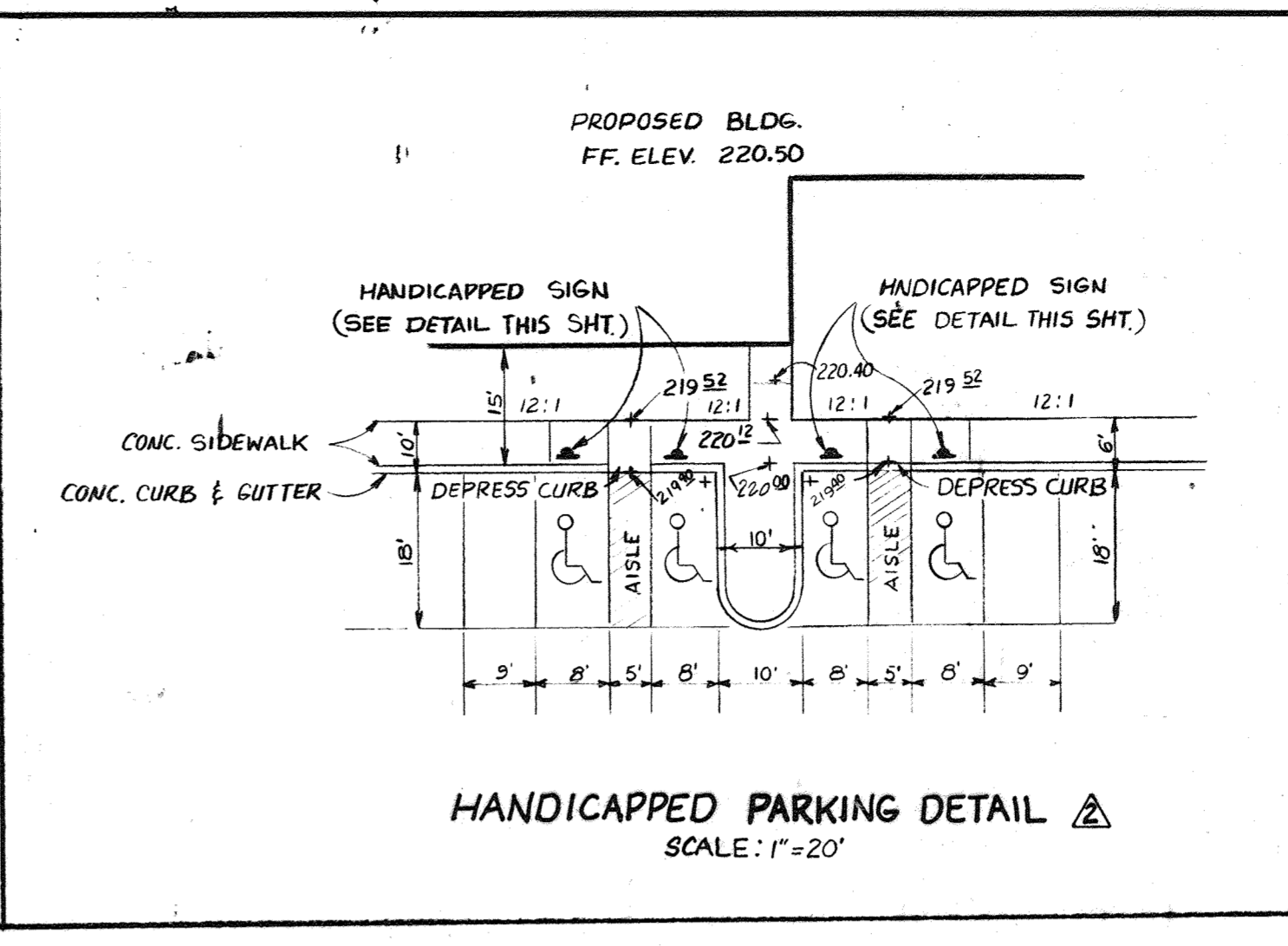


SECTION 'A-A'. SCALE: HORZ. 1"=100' VERT. 1"=10'



HANDICAPPED PARKING DETAIL SCALE: 1"=20'



HANDICAPPED PARKING DETAIL SCALE: 1"=20'

**RESERVED PARKING**

**\$50 FINE**

Colors:  
Green - Legend and Border  
White - Symbol on Blue Background  
White - Background  
\$50 FINE

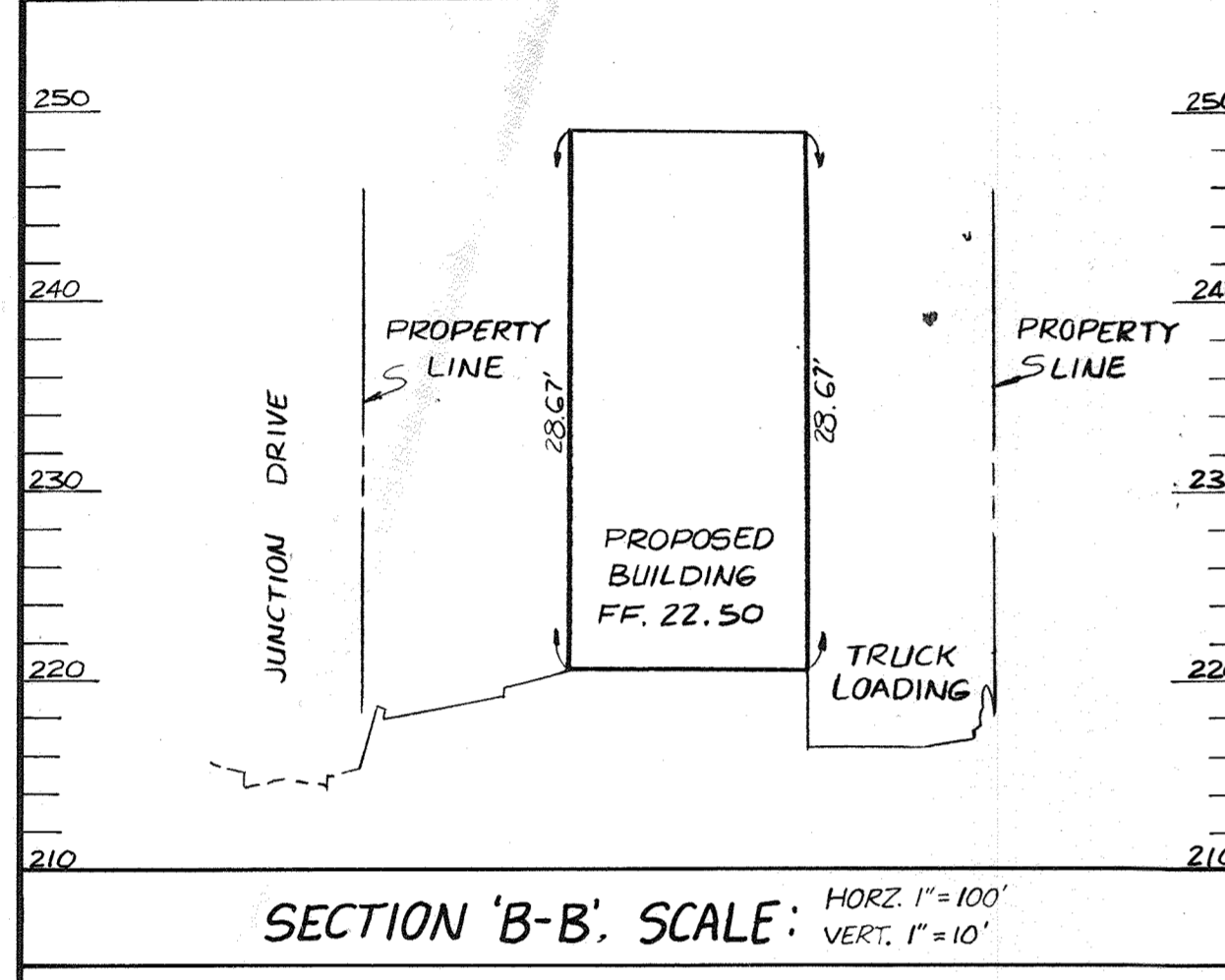
STANDARD R7-8 RESERVE PARKING SIGN

\$50 FINE SIGN

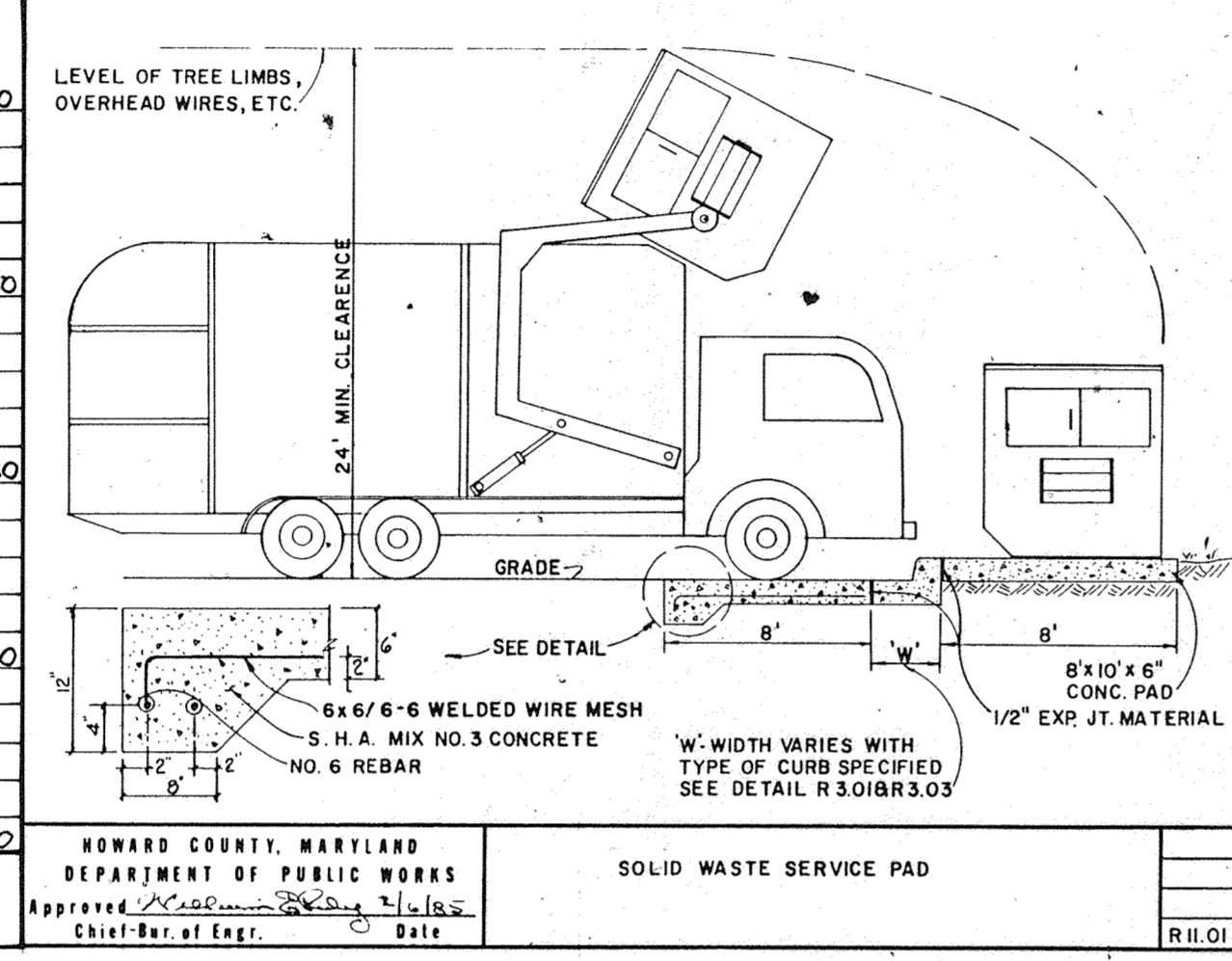
Sign to utilize an aluminum blank 6" x 12" x 8.080 inch thick with two single post mounting holes.

The text and border shall be standard green to match that on R7-8 and, the background shall be reflective white. Text shall be in 3" characters.

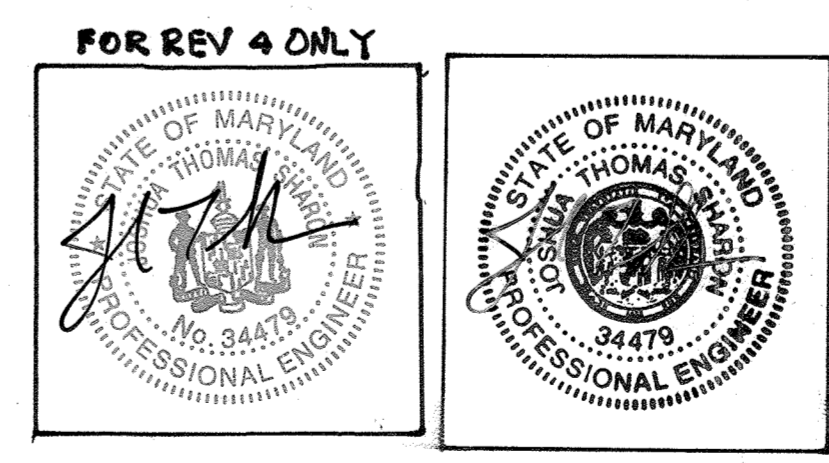
Sign shall be mounted directly below the standard R7-8 Reserved Parking or Handicapped sign. Its bottom edge shall be no less than 7 feet above ground. If the sign is placed against a building, structure, or other location where vehicle or pedestrian traffic is not obstructed the bottom edge of sign shall be at least 6 feet but not more than 10 feet above ground.



SECTION 'B-B'. SCALE: HORZ. 1"=100' VERT. 1"=10'



FOR REV 4 ONLY



FOR REV 3 ONLY  
**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A PAID LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE #34479, EXPIRATION DATE: 6/21/2024

APPROVED  
DIVISION of COMMUNITY PLANNING & LAND DEVELOPMENT  
HOWARD COUNTY, MARYLAND  
DATE: 10-13-88  
LKS

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.  
DIRECTOR: [Signature] 1/1/89  
CHIEF BUREAU OF ENGINEERING: [Signature] 1-6-89

THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
APPROVED: [Signature] DATE: 12/2/88  
HOWARD SOIL CONSERVATION DISTRICT

REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.  
SIGNATURE: [Signature] DATE: 12-23-88  
UNITED STATES SOIL CONSERVATION SERVICE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT.  
COUNTY HEALTH OFFICER: [Signature] DATE: 1-12-89

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING.  
DIRECTOR: [Signature] DATE: 1-26-89  
CHIEF DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT: [Signature] DATE: 1-29-89

**GW&S**  
GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.  
CIVIL ENGINEERS & LAND SURVEYORS  
303 ALLEGHENY AVENUE  
TOWSON, MARYLAND 21284  
(301) 825-8120



I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
ENGINEER: TAPOBRATA CHAKRABARTI  
REG. NO. 18920 DATE: 7/29/88

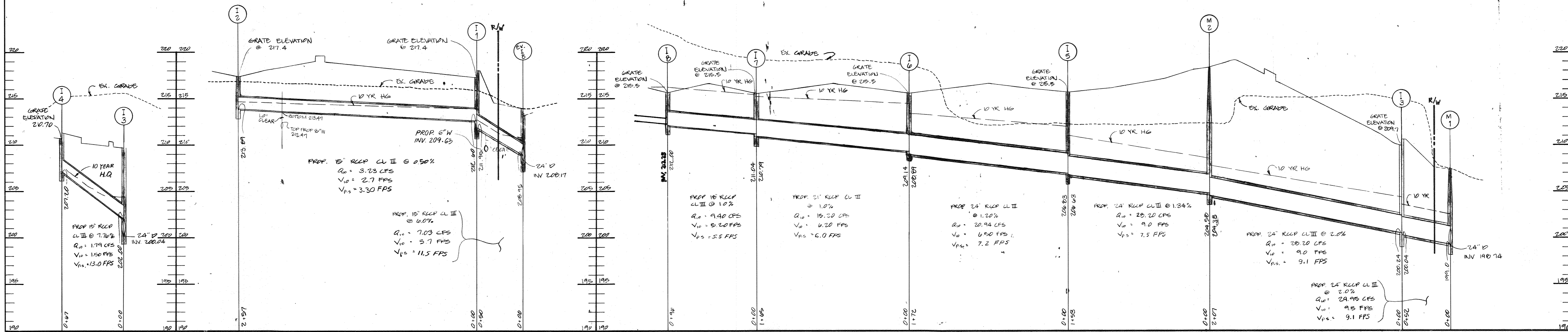
OWNER/DEVELOPER  
**CHIRPEWA LIMITED PARTNERSHIP**  
7840 PARKWAY DRIVE SUITE 170  
HANOVER, MARYLAND 21076  
301-796-8966

I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT.  
DEVELOPER: Vincent M. Dora DATE: 7/29/88

DESIGNED: PRC  
DRAWN: SHL/INK  
CHECKED: PRC/TC  
PN 6094  
REVISIONS  
03/11/2009  
10/11/2002  
ADDED CURB, Storm Drain CHILLERS

PROPOSED OFFICE/WAREHOUSE  
**THE JUNCTION INDUSTRIAL PARK**  
SECTION 1 AREA 1  
PARCEL C-2  
TAX MAP: 48  
HOWARD CO., MD.  
SCALE: 1"=50'  
PARCEL: 47  
ELECT. DIST.: 6  
SHEET 2 OF 9

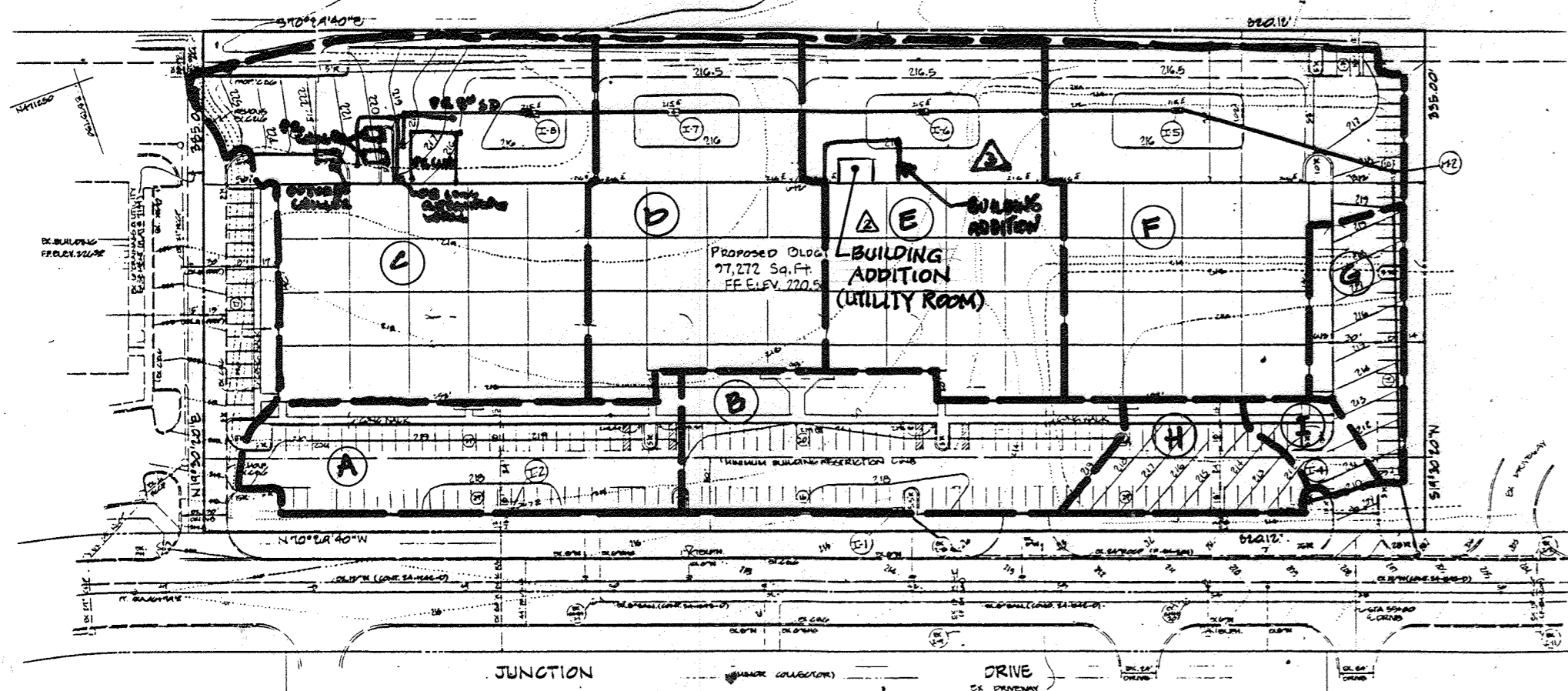




**STORM DRAIN PROFILE**  
SCALE: HORIZ. 1"=50' VERT. 1"=5'

**STORM DRAIN PROFILE**  
SCALE: HORIZ. 1"=50' VERT. 1"=5'

**STORM DRAIN PROFILE**  
SCALE: HORIZ. 1"=50' VERT. 1"=5'



**STORM DRAIN DRAINAGE AREA MAP**  
SCALE: 1"=100'

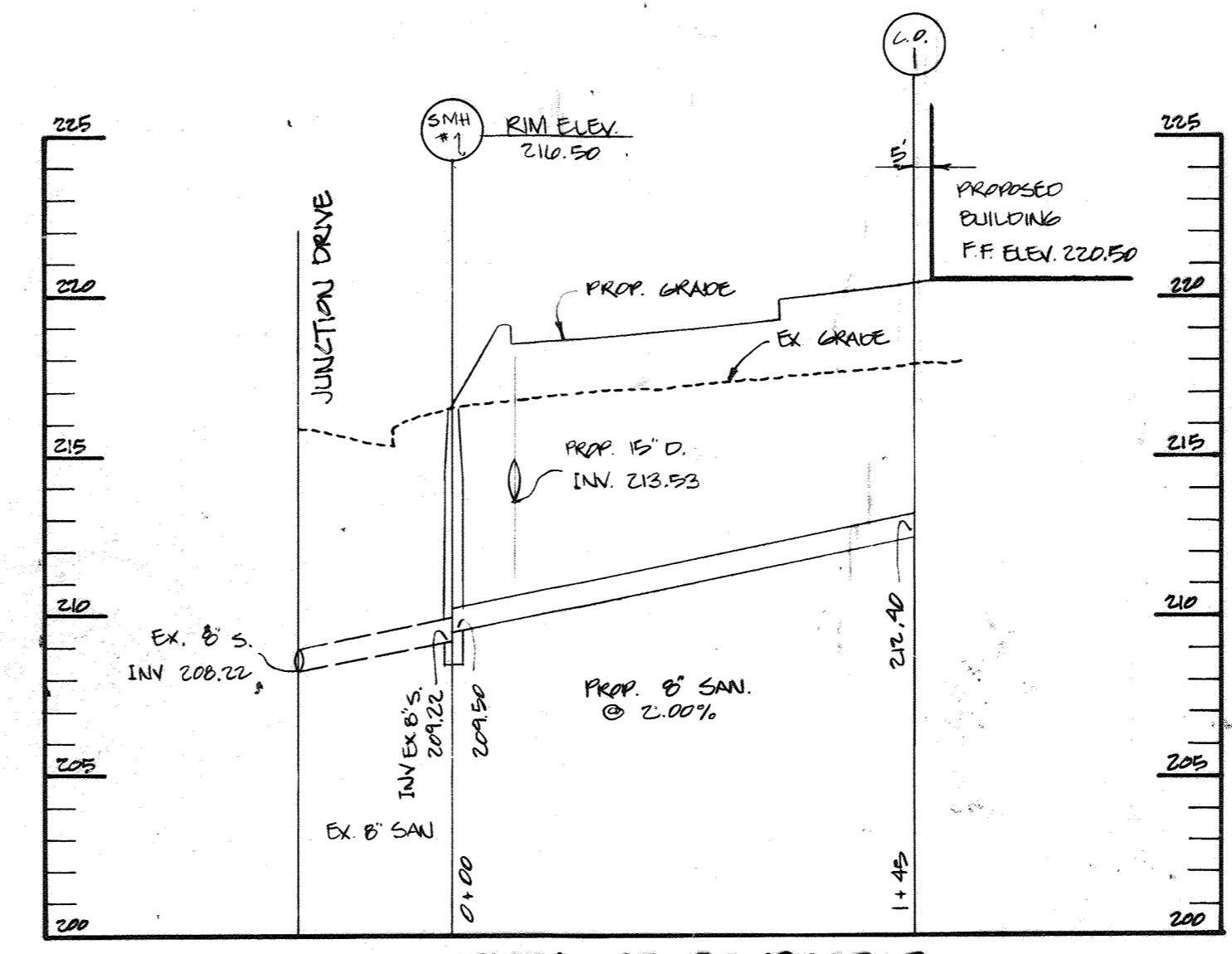
AREA	A	C
A	0.45 AC	0.80
B	0.62 AC	0.91
C	1.27 AC	0.91
D	0.78 AC	0.95
E	0.84 AC	0.95
F	1.11 AC	0.94
G	0.23 AC	0.84
H	0.23 AC	0.90
I	0.10 AC	0.85

MANHOLE & INLET SCHEDULE					
NO.	TYPE	INV. IN	INV. OUT	TOP ELEV.	REMARKS
I-1	DOUBLE 'S' COMB.	212.60	211.95	217.40	SEE HO. CO. STD. S.D. A.34
I-2	DOUBLE 'S' COMB.	---	213.89	217.40	" " " " " "
I-3	DOUBLE 'S' COMB.	202.00	200.04	209.70	" " " " " "
I-4	DOUBLE 'S' COMB.	---	207.20	210.70	" " " " " "
I-5	DOUBLE 'S'	206.83	204.63	215.50	SEE HO. CO. STD. S.D. 4.23
I-6	DOUBLE 'S'	209.14	208.89	215.50	" " " " " "
I-7	DOUBLE 'S'	211.04	210.79	215.50	" " " " " "
I-8	DOUBLE 'S'	---	212.00	215.50	" " " " " "
M-1	PRECAST MH	199.00	190.74	207.30	SEE HO. CO. STD. G. 5.12
M-2	PRECAST MH	204.58	204.38	218.55	" " " " " "

FOR REV 4 ONLY

FOR REV 3 ONLY

**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE CALCULATIONS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A QUALIFIED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 34479, EXPIRES DATE 6/30/2026 24



SEAL APPLICABLE TO ALL REVISIONS ONLY  
 10/31/05

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.  
 Director: James G. Clark 1/1/07  
 Chief Bureau of Engineering: James S. Pridemore 1-6-89

THIS PLAN IS CONTROLLED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
 Approved: Howard Soil Conservation District 12/22/88

REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.  
 Signature: [Signature] DATE: 12/22/88  
 UNITED STATES SOIL CONSERVATION SERVICE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT.  
 County Health Officer: [Signature] DATE: 1-12-89

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING.  
 Director: [Signature] DATE: 1-26-89  
 Chief Division of Community Planning & Land Development: [Signature] DATE: 1/28/89

APPROVED  
 DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT  
 HOWARD COUNTY, MARYLAND  
 DATE: 10-13-88  
 LKS

**GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.**  
 CIVIL ENGINEERS & LAND SURVEYORS  
 303 ALLEGHENY AVENUE  
 TOWSON, MARYLAND 21204  
 (301) 825-8120

ENGINEER'S CERTIFICATE:  
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENT A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
 ENGINEER: [Signature] DATE: 7/24/88  
 REG. NO. 34479

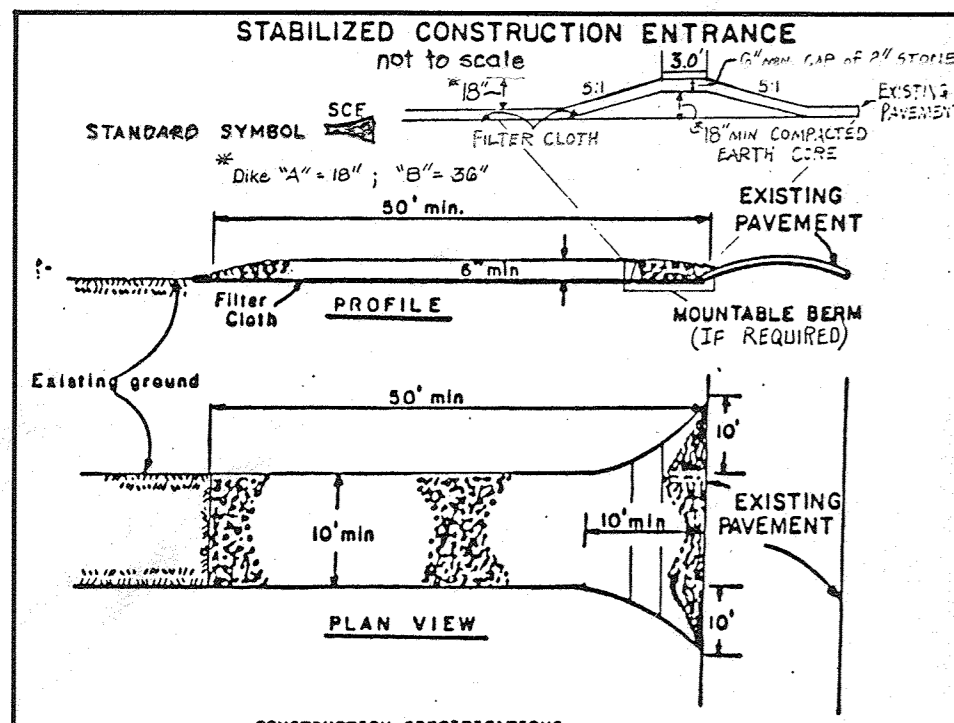
OWNER / DEVELOPER  
**CHIPPEWA LIMITED PARTNERSHIP**  
 808 JUNCTION DRIVE, ALL 7240 PARKWAY DRIVE  
 108 SUITE STREET 301E MD  
 SAN FRANCISCO, CA 94107 HANOVER, MARYLAND 21076  
 301-796-8636

DEVELOPER'S CERTIFICATE  
 I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT.  
 DEVELOPER: [Signature] DATE: 7/24/88

DESIGNED: PRC  
 DRAWN: SHL/INK  
 CHECKED: PRC/TC  
 P.N. 6094  
 REVISIONS  
 ADDED BUILDING ADDITION  
 03/20/89  
 ADD BUILDING ADDITION.

PROPOSED OFFICE/WAREHOUSE  
 THE JUNCTION INDUSTRIAL PARK  
 SECTION 1 AREA 1  
 PARCEL 2  
 TAX MAP: 48  
 HUNTER, COUNTY MD SCALE: 1"=50'  
 PARCEL: 47  
 SUBST. DIST: 6  
 SHEET 8 OF 9





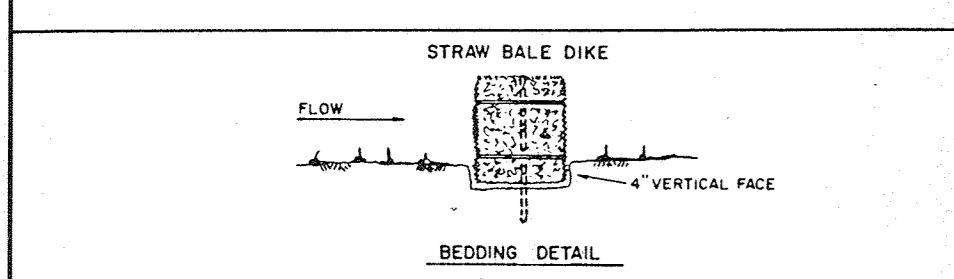
**STABILIZED CONSTRUCTION ENTRANCE**  
not to scale

STANDARD SYMBOL: 1/2" = 1'-0"

1. Stone Size - Use 2" stone, or reclaimed or recycled concrete equivalent.  
2. Length - As required, but not less than 30 ft. (except on a single residence lot where a 30 ft. minimum length would apply).  
3. Thickness - Not less than six (6) inches.  
4. Width - Ten (10) ft. minimum, but not less than the full width at points where ingress or egress occurs.  
5. Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residence lot.  
6. Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mounatable beam with 3:1 slopes will be permitted.  
7. Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or treatment of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.  
8. Washing - Trucks shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.  
9. Periodic inspection and needed maintenance shall be provided after each rain.

U.S. DEPARTMENT OF AGRICULTURE  
SOIL CONSERVATION SERVICE  
COLLEGE PARK, MD.

STABILIZED CONSTRUCTION ENTRANCE  
Standard Drawing  
SD-1



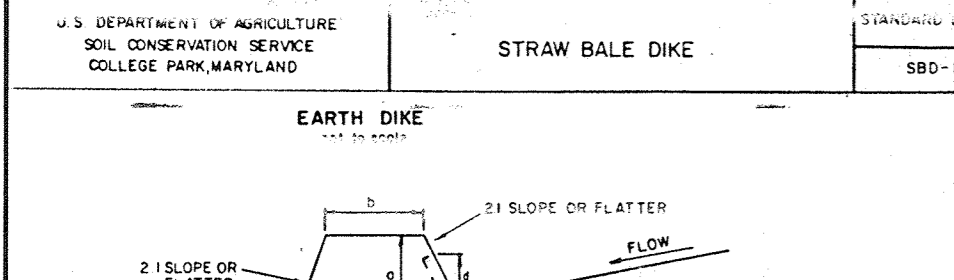
**STRAW BALE DIKE**

STANDARD SYMBOL: 1/2" = 1'-0"

1. Bales shall be placed at the toe of a slope or on the contour and in a row with ties tightly abutting the adjacent bales.  
2. Each bale shall be embedded in the soil a minimum of (4) inches, and placed so the bindings are horizontal.  
3. Bales shall be securely anchored in place by either two stakes or re-bars driven through the bales. The first stake in each bale shall be driven toward the previously laid bale at an angle to force the bales together. Stakes shall be driven flush with the bales.  
4. Inspection shall be frequent and repair replacement shall be made promptly as needed.  
5. Bales shall be removed when they have served their usefulness so as not to block or impede storm flow or drainage.

U.S. DEPARTMENT OF AGRICULTURE  
SOIL CONSERVATION SERVICE  
COLLEGE PARK, MARYLAND

STRAW BALE DIKE  
Standard Drawing  
SBD-1



**EARTH DIKE**

STANDARD SYMBOL: 1/2" = 1'-0"

1. ALL DIKES SHALL BE COMPACTED BY EARTH-MOVING EQUIPMENT.  
2. ALL DIKES SHALL HAVE POSITIVE DRAINAGE TO AN OUTLET.  
3. TOP WIDTH MAY BE WIDER AND SIDE SLOPES MAY BE FLATTER IF DESIRED TO FACILITATE CROSSING BY CONSTRUCTION TRAFFIC.  
4. ELEVATION SHOULD BE ADJUSTED AS NEEDED TO UTILIZE A STABILIZED SAFE OUTLET.  
5. EARTH DIKES SHALL HAVE AN OUTLET THAT FUNCTIONS WITH A MINIMUM OF EROSION. RIPPAP SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE SUCH AS A SEDIMENT TRAP OR SEDIMENT BASIN WHERE EITHER THE DIKE CHANNEL OR THE DRAINAGE AREA ABOVE THE DIKE ARE NOT RESIDENTIALLY STABILIZED.  
6. STABILIZATION SHALL BE: (A) IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEED AND STRAW MULCH OR STRAW MULCH IF NOT IN SEEDING SEASON; (B) FLOW CHANNEL AS PER THE CHART BELOW.  
7. PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

TYPE OF TREATMENT	CHANNEL SLOPE	DIKE A	DIKE B
1	5-3.0%	SEED AND STRAW MULCH	SEED AND STRAW MULCH
2	3.1-5.0%	SEED AND STRAW MULCH	SEED WITH JUTE, OR COCKLESHU, ROD, OR STONE
3	5.1-8.0%	SEED WITH JUTE, OR ROD, OR STONE	LINED RIP-RAP 4-8"
4	8.1-20%	LINED RIP-RAP 4-8"	ENGINEERING DESIGN

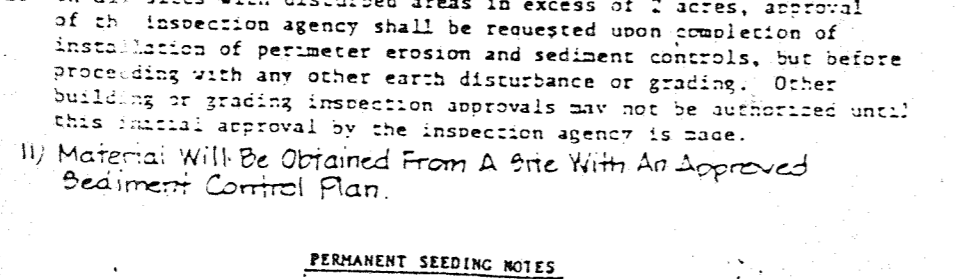
A. Stone to be 2" inch stone, or recycled concrete equivalent, in a layer at least 3 inches in thickness and be pressed into the soil with construction equipment.  
B. Rip-rap to be 4-8 inches in a layer at least 3 inches thickness and pressed into the soil.  
C. Approved equivalents can be substituted for any of the above materials.  
7. PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

U.S. DEPARTMENT OF AGRICULTURE  
SOIL CONSERVATION SERVICE  
COLLEGE PARK, MARYLAND

EARTH DIKE  
Standard Drawing  
ED-1

**SEDIMENT CONTROL NOTES**

- A minimum of 14 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (892-2377)
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 31) sod (Sec. 54), temporary seeding (Sec. 50) and mulching (Sec. 52). Temporary stabilization with mulch alone can only be done when recommended seeding rates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:  
Total Area of Site: 6.307 Acres  
Area Disturbed: 6.307 Acres  
Area to be roofed or paved: 5.04 Acres  
Area to be vegetatively stabilized: 1.27 Acres  
Total Fill: 19,176 Cu. yds  
On-site waste/borrow area location
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment controls must be provided, if deemed necessary by the Howard County DPW sediment control inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is issued.
- Material Will Be Obtained From A Site With An Approved Sediment Control Plan.



**PERMANENT SEEDING NOTES**

Seeding Preparation: Loosen upper 3 inches of soil by raking, discing or other acceptable means before seeding.

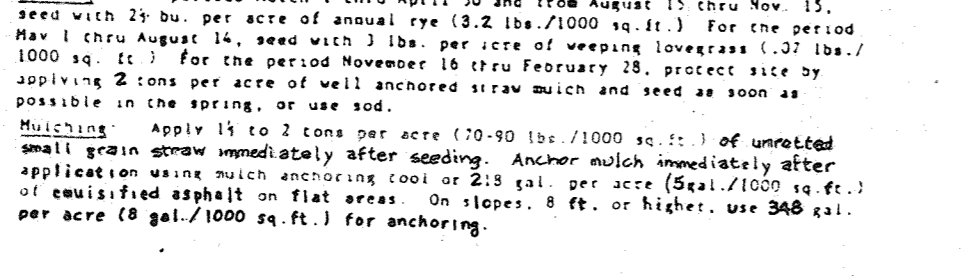
Soil Amendments: Use one of the following schedules:

- Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs./1000 square ft.) and 400 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq. ft.) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs. per acre 30-0-0 urea form fertilizer (9 lbs./1000 sq. ft.).
- Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq. ft.) and 1000 lbs. per acre 10-10-0 fertilizer (12 lbs./1000 sq. ft.) before seeding. Harrow or disc into upper three inches of soil.

Seeding - For the periods March 1 thru April 30, and from August 1 thru October 15, seed with 40 lbs. per acre (14 lbs./1000 sq. ft.) of Kentucky 31 tall fescue. For the period May 1 thru July 31, seed with 40 lbs. Kentucky 31 tall fescue per acre and 2 lbs. per acre (.02 lbs./1000 sq. ft.) of wintering clovergrass. During the period of October 16 thru February 28, protect site by applying (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 40 lbs./acre Kentucky 31 tall fescue and mulch with 2 tons/acre well anchored straw.

Mulching - Apply 18 to 2 tons per acre (70 to 90 lbs./1000 sq. ft.) of untreated small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 galtons per acre (5 gal./1000 sq. ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 galtons per acre (8 gal./1000 sq. ft.) for anchoring.

Maintenance - Inspect all seeded areas and make needed repairs, replacements and reseedings.

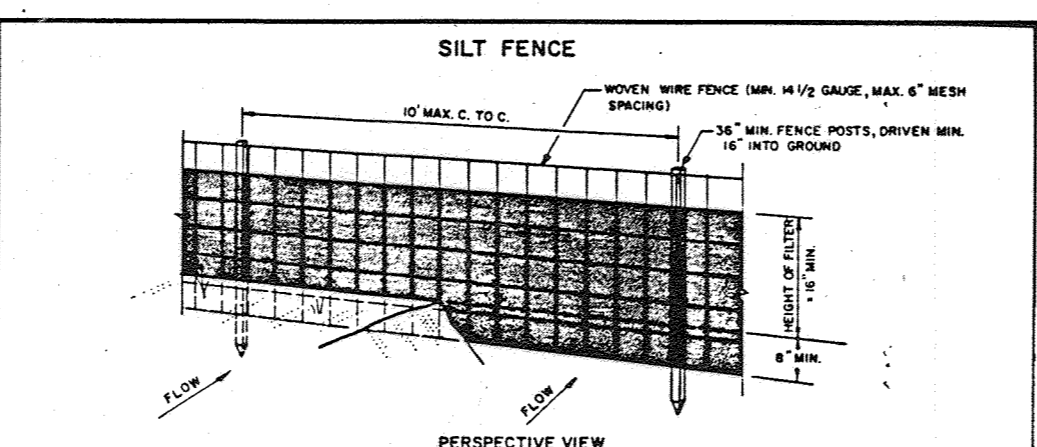


**MOUNTABLE BEAM DETAIL**  
NO SCALE

1. ALL DIKES SHALL BE COMPACTED BY EARTH-MOVING EQUIPMENT.  
2. ALL DIKES SHALL HAVE POSITIVE DRAINAGE TO AN OUTLET.  
3. TOP WIDTH MAY BE WIDER AND SIDE SLOPES MAY BE FLATTER IF DESIRED TO FACILITATE CROSSING BY CONSTRUCTION TRAFFIC.  
4. ELEVATION SHOULD BE ADJUSTED AS NEEDED TO UTILIZE A STABILIZED SAFE OUTLET.  
5. EARTH DIKES SHALL HAVE AN OUTLET THAT FUNCTIONS WITH A MINIMUM OF EROSION. RIPPAP SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE SUCH AS A SEDIMENT TRAP OR SEDIMENT BASIN WHERE EITHER THE DIKE CHANNEL OR THE DRAINAGE AREA ABOVE THE DIKE ARE NOT RESIDENTIALLY STABILIZED.  
6. STABILIZATION SHALL BE: (A) IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEED AND STRAW MULCH OR STRAW MULCH IF NOT IN SEEDING SEASON; (B) FLOW CHANNEL AS PER THE CHART BELOW.  
7. PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

U.S. DEPARTMENT OF AGRICULTURE  
SOIL CONSERVATION SERVICE  
COLLEGE PARK, MARYLAND

EARTH DIKE  
Standard Drawing  
ED-1



**SILT FENCE**

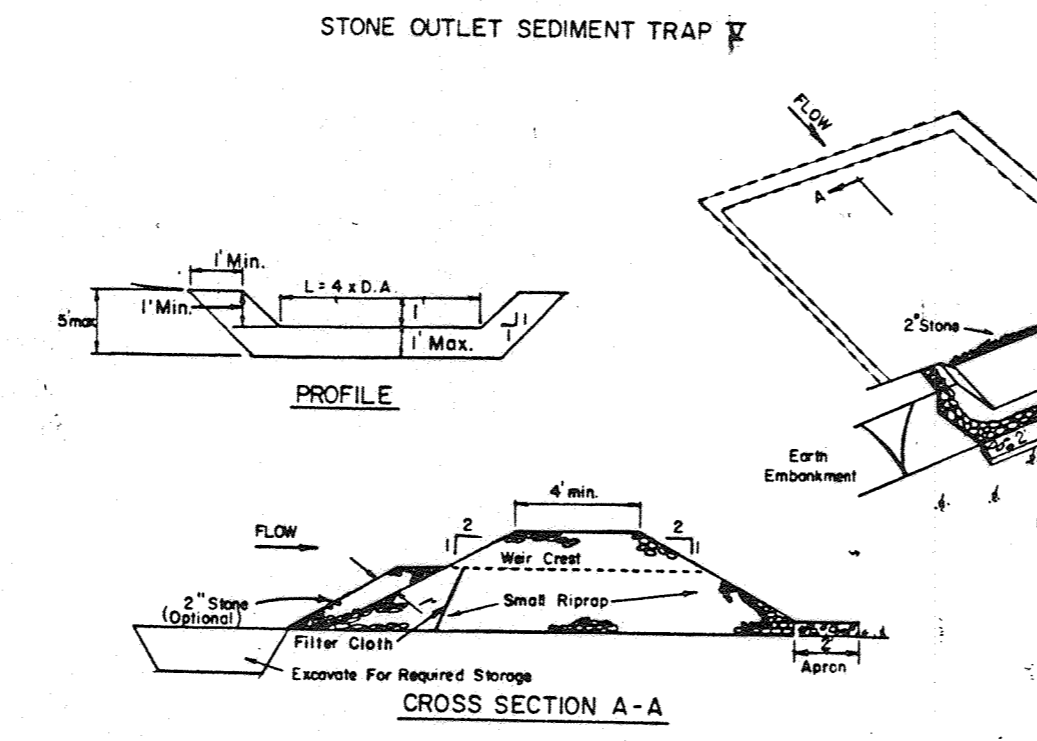
CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

- MONOWIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH TO BE FASTENED SECURELY TO MONOWIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
- WHEN THE SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN BUILDS UP OVER THE SILT FENCE.

POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD  
FENCE: MONOWIRE, 1/4" GA. 5' GAL. VEG. DRAINING  
FILTER CLOTH: FILTER Y, TENSILE 100 LB., 200 LB., 300 LB. LINEN TENSILE OR APPROVED EQUIV.  
PREFABRICATED UNIT: GEOTEX, DIVERSIFENCE, OR APPROVED EQUIV.

U.S. DEPARTMENT OF AGRICULTURE  
SOIL CONSERVATION SERVICE  
COLLEGE PARK, MARYLAND

SILT FENCE  
Standard Drawing  
SF-1



**STONE OUTLET SEDIMENT TRAP**

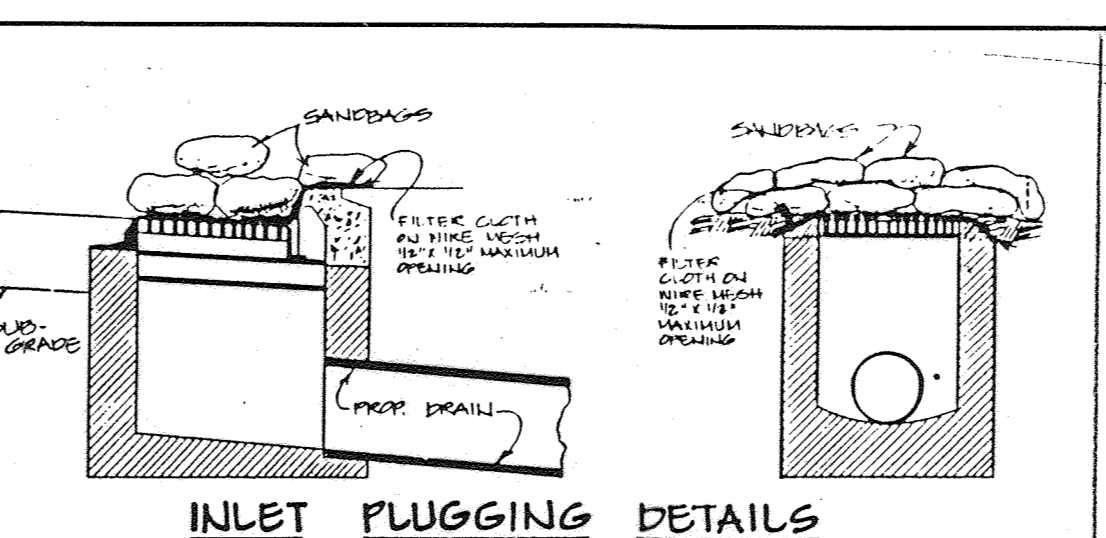
OPTION: A one foot layer of 2" stone may be placed on the upstream side of the riprap in place of the embedded filter cloth.

**CONSTRUCTION SPECIFICATIONS FOR ST-Y**

- Area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat. The pool area shall be cleared.
- The fill material for the embankment shall be free of roots and other woody vegetation as well as over-sized stones, rocks, organic material or other objectionable material. The embankment shall be compacted by traversing with equipment while it is being constructed.
- All cut and fill slopes shall be 2:1 or flatter.
- The stone used in the outlet shall be small riprap 4"-8" along with a 1' thickness of 2" aggregate placed on the upgrade side on the small riprap in embedded filter cloth in the riprap.
- Sediment shall be removed and trap restored to its original dimensions when the sediment has accumulated to 1/2 the design depth of the trap.
- The structure shall be inspected after each rain and repairs made as needed.
- Construction operations shall be carried out in such a manner that erosion and water pollution is minimized.
- The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.

U.S. DEPARTMENT OF AGRICULTURE  
SOIL CONSERVATION SERVICE  
COLLEGE PARK, MARYLAND

STONE OUTLET SEDIMENT TRAP  
Standard Drawing  
ST-X



**INLET PLUGGING DETAILS**  
NO SCALE

CONSTRUCTION SPECIFICATIONS

- PLACE NINE MESH OVER INLET GRATE AND THROAT OPENING OVERLAP 2 FEET AT ALL ENDS.
- PLACE A PIECE OF APPROVED FILTER CLOTH (40-60 SIEVE) OF THE SAME DIMENSIONS OF THE NINE MESH OVER THE NINE MESH.
- PLACE SANDBAGS OVER FILTER CLOTH AND NINE MESH SANDBAGS SHOULD OVERLAP AND COVER COMPLETE SURFACE OF THE NINE MESH.
- INSPECT FREQUENTLY TO INSURE SANDBAGS ARE SECURE AND FILTER CLOTH IS FREE OF SEDIMENT. REPLACE FILTER CLOTH IF CLOGGED.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

James P. ... 11/23/88  
DIRECTOR

... 1-6-89  
CHIEF BUREAU OF ENGINEERING

THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Approved: ... DATE: 12/22/88  
HOWARD SOIL CONSERVATION DISTRICT

REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

SIGNATURE: ... DATE: 12/22/88  
UNITED STATES SOIL CONSERVATION SERVICE

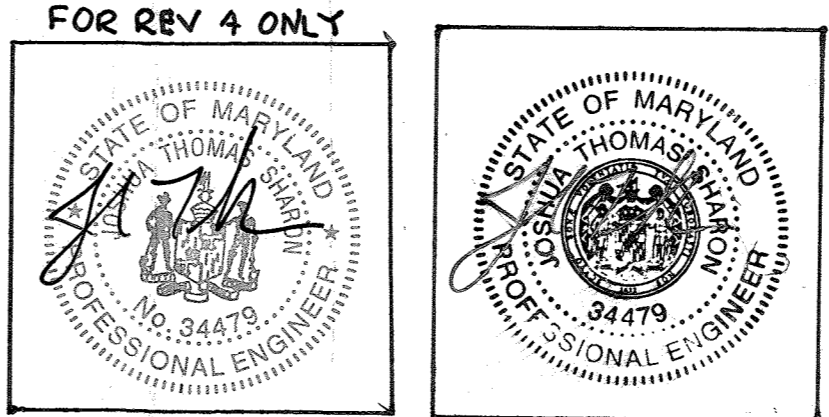
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT.

... 1-12-89  
COUNTY HEALTH OFFICER

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING.

... 1-26-89  
DIRECTOR

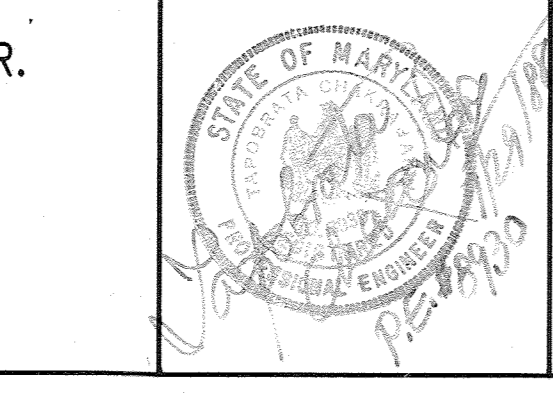
... 1-21-89  
CHIEF DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT



APPROVED  
DIVISION OF  
COMMUNITY PLANNING  
& LAND DEVELOPMENT  
HOWARD COUNTY,  
MARYLAND  
DATE: 10-13-88  
LWS

FOR REV 3 ONLY  
**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 34479, EXPIRES 06/30/2024

GEORGE WILLIAM STEPHENS, JR.  
AND ASSOCIATES, INC.  
CIVIL ENGINEERS & LAND SURVEYORS  
303 ALLEGHENY AVENUE  
TOWSON, MARYLAND 21204  
(301) 825-8120



ENGINEER'S CERTIFICATE:  
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENT A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

ENGINEER: ...  
REG. NO. ... DATE: 7/27/88

OWNER/DEVELOPER  
CHITREWA LIMITED PARTNERSHIP  
1800 SUTTER STREET  
SUITE 200  
SAN FRANCISCO, CA 94104  
301-796-8066

DEVELOPER'S CERTIFICATE  
I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT.

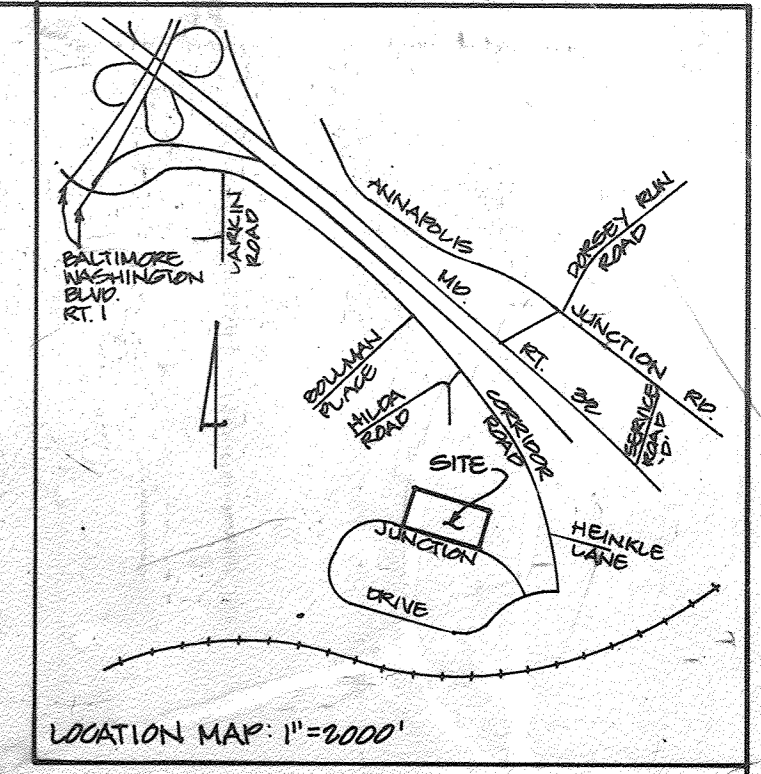
DEVELOPER: ... DATE: 7/27/88

DESIGNED: PRC  
DRAWN: SHL/INK  
CHECKED: PRC/TC  
PN 6094

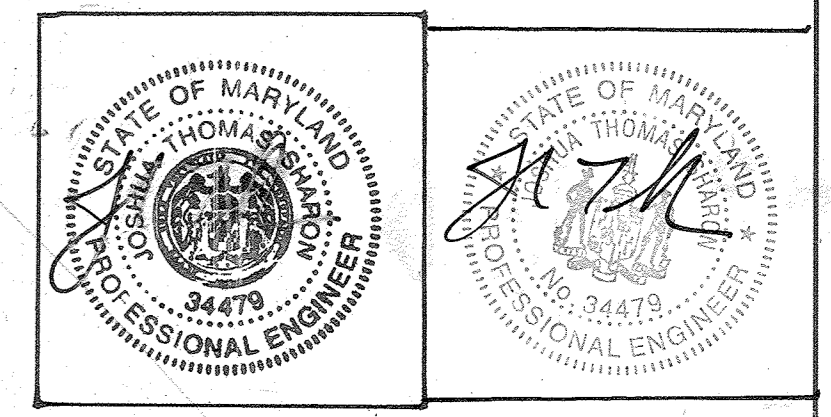
SEDIMENT & EROSION CONTROL DETAILS  
I REPRODUCED OFFICE/WAREHOUSE THE SUNCTION INDUSTRIAL PARK SECTION 1 AREA 1 PARCEL 6-2 PARCEL 4-7 ELEV. DIST. 1

TAX MAP 1-88  
UNWRKED CO, MD  
SCALE: 1"=50'  
SHEET 4 OF 9





FOR REV 4 ONLY



FOR REV 3 ONLY  
**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 34479 EXPIRATION DATE 6/21/2022 241



SEAL APPLICABLE TO REVISION ONLY

APPROVED  
 DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT  
 HOWARD COUNTY, MARYLAND  
 DATE: 10-13-88  
 LKS

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

DIRECTOR: James P. LKS 11/1/89  
 CHIEF BUREAU OF ENGINEERING: [Signature] 1-6-89

THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: [Signature] DATE: 12/23/88  
 HOWARD SOIL CONSERVATION DISTRICT

REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

SIGNATURE: [Signature] DATE: 12/23/88  
 UNITED STATES SOIL CONSERVATION SERVICE

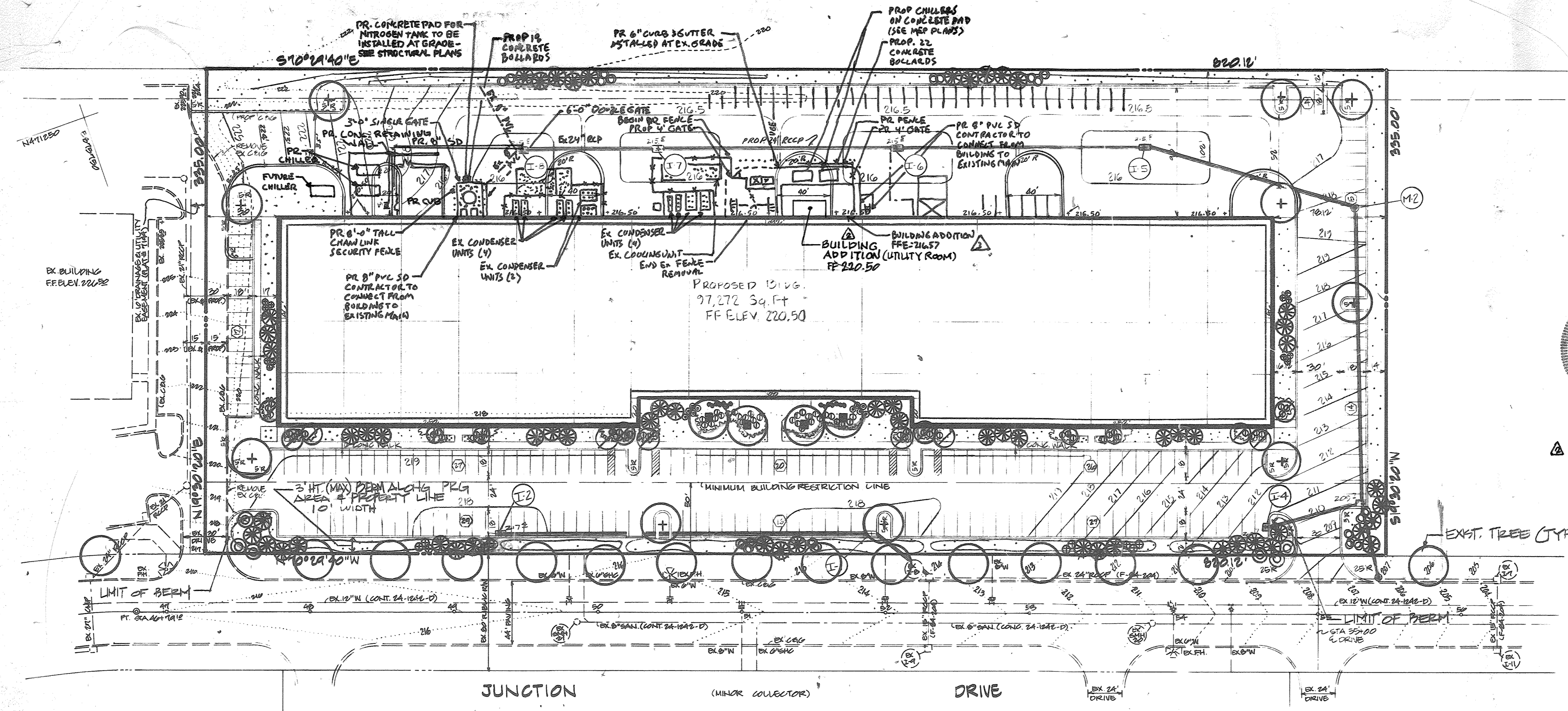
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT.

COUNTY HEALTH OFFICER: [Signature] DATE: 1-12-89

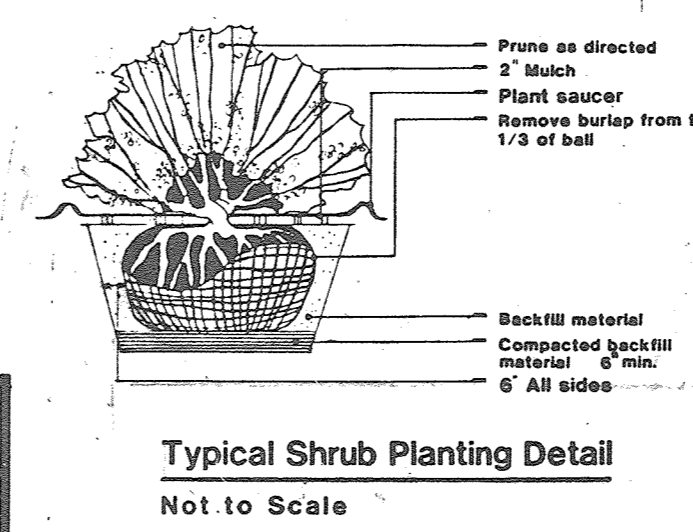
APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING. DATE: 1.26.89

DIRECTOR: [Signature] DATE: 1/24/89  
 CHIEF DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT LKS

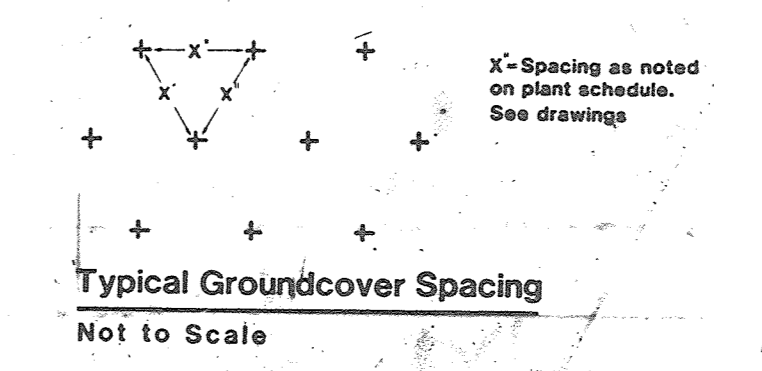
ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
PARCEL C-2	4020 JUNCTION DRIVE
SUBDIVISION NAME: THE JUNCTION INDUSTRIAL PARK	
PLAT # 89-17-F	BLOCK # 11-2
ZONE U-2	TAX/ZONE MAP 40
SEWER CODE 604	SEWER CODE 402.0000
SECT./AREA	LOT/PARCEL #
11-2	C-2
ELECT. DIST. 0	CENSUS TRACT 6004



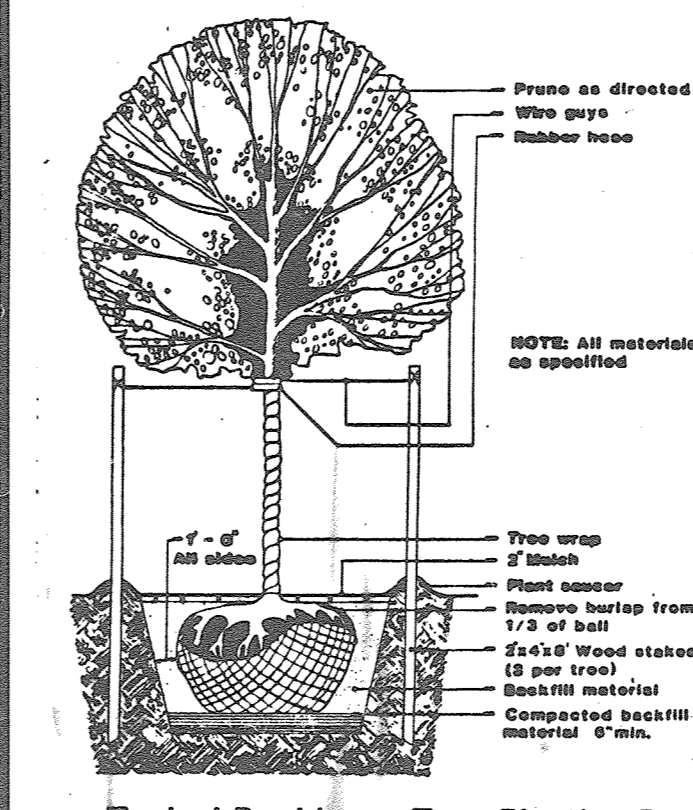
NOTE: THIS plan to be utilized only for the location, species & size of plant materials. Locations shown are approximate. Final locations to be approved in the field.  
 PLAN SCALE: 1"=30'



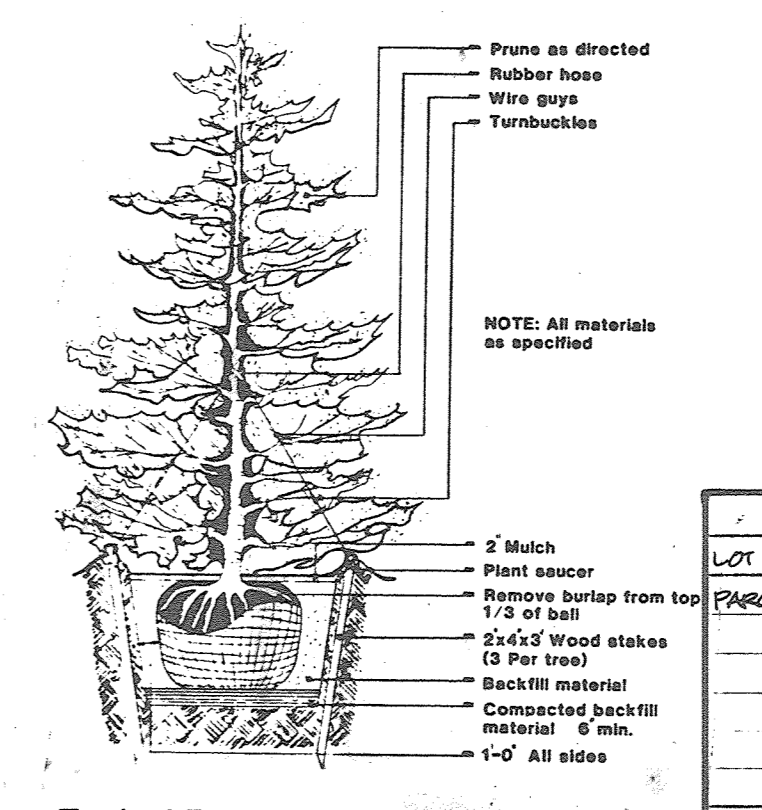
Typical Shrub Planting Detail  
 Not to Scale



Typical Groundcover Spacing  
 Not to Scale



Typical Deciduous Tree Planting Detail  
 Not to Scale



Typical Evergreen Tree Planting Detail  
 Not to Scale

- GENERAL NOTES**
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH HOWARD COUNTY STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, OR AS SHOWN ON THESE PLANS.
  - ALL AREAS NOT BEING PAVED OR RECEIVING BUILDING COVERAGE SHALL BE STABILIZED IN ACCORDANCE WITH THE PLANS APPROVED BY THE HOWARD SOIL CONSERVATION DISTRICT.
  - ANY DAMAGE TO PUBLIC RIGHTS-OF-WAY AND/OR ADJACENT PROPERTIES SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
  - THE CONTRACTOR SHALL MAINTAIN AT LEAST 2' LEVEL BENCH BEHIND ALL CURB AND GUTTER.
  - THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES TO HIS OWN SATISFACTION BEFORE STARTING CONSTRUCTION.
  - ALL SLOPES SHALL BE 2:1 OR FLATTER.
  - THE CONTRACTOR SHALL NOTIFY THE C & P TELEPHONE CO. AND THE GAS AND ELECTRIC COMPANY FIVE DAYS PRIOR TO STARTING WORK SHOWN ON THESE PLANS BY CALLING "MISS UTILITY" CALL COLLECT 1-559-0100.
  - FOR DETAILS OF RAMPS AND SIGNS FOR THE HANDICAPPED SEE THE MARYLAND BUILDING CODE FOR THE HANDICAPPED AND AGED AND AS SHOWN HEREON.
  - THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3.5' OF COVER OVER ALL PROPOSED WATER LINES, UNLESS OTHERWISE NOTED ON THE PLAN.
  - THE CONTRACTOR OR DEVELOPER SHALL CONTACT THE CONSTRUCTION/INSPECTION/SURVEY DIVISION 24 HOURS IN ADVANCE OF COMMENCEMENT OF WORK AT 992-2417 OR 792-7272.
  - THE CONTRACTOR SHALL REMOVE ALL EXISTING PAVING, CURB AND GUTTER, ETC., THAT MAY INTERFERE WITH PROPOSED CONSTRUCTION.
  - ALL UTILITIES INSTALLED UNDER PAVING SHALL RECEIVE FULL TRENCH COMPACTION.
  - ALL WATER MAIN TEES, BENDS, CAPS, ETC. SHALL BE BUTTRESSED IN ACCORDANCE WITH HOWARD COUNTY DESIGN REQUIREMENTS.
  - CONTRACTOR TO PROVIDE "AS-BUILT" LOCATION AT WATER MAIN IF THERE IS ANY DEVIATION FROM THE PLAN LOCATION.
  - ALL CURB & GUTTER SHALL BE HOWARD COUNTY STD. COMBINATION CONCRETE CURB & GUTTER.

**PLANT SCHEDULE**

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANT.	HEIGHT	SPREAD	CALIPER	B&B	GENERAL COMMENTS
+	ABER KUDAM COPPER GLORY	VICTORIA GLORY RED MAPLE	10	18'-11"	8'-10"	3"-3 1/2"	YES	SPECIMEN
□	PERNO CALIFORNIA PRUNEFORD	PRUNEFORD CALLERY PEAR	4	12'-13"	6'-8"	1"-3 1/2"	YES	SPECIMEN
●	FRANS NIKA	AUSTRIAN PINE	20	7'-9"	4'-5"	-	YES	SPECIMEN
●	FRANS STROB	WHITE PINE	20	7'-9"	4'-5"	-	YES	SPECIMEN
○	CERCIPTANTHUM JAPONICUM	KASARA TREE	12	8'-10"	4'-5"	-	YES	SPECIMEN
⊕	CORDON ROSEA	ROSEA DOGWOOD	4	8'-10"	4'-5"	-	YES	SPECIMEN
⊙	HELIUM RADIANT	RADIANT CLOVERLEAF	6	8'-10"	4'-5"	2"-2 1/2"	YES	SPECIMEN
⊗	VIBURNUM PLATANIFOLIUM TOMENTOSUM	DOUBLE FILE VIBURNUM	20	2'-2 1/2"	10"-24"	-	CONT.	SPECIMEN
⊗	VIBURNUM JUDZI	JUDZI VIBURNUM	10	2'-2 1/2"	12"-24"	-	CONT.	SPECIMEN
⊗	TAXUS DISTICATA	WINDSOR WAX	10	18"-24"	18"-24"	-	CONT.	SPECIMEN
⊗	QUERCUS HYBRIDA	WINDSOR WAX	12	18"-24"	18"-24"	-	CONT.	SPECIMEN
⊗	EUCALYPTUS ALATA COMPACTUM	CONDOR QUERCUS BUCKINGHAM	20	21"-24"	18"-24"	-	CONT.	SPECIMEN
⊗	JUNIPERUS TARTARICUS	TAM JUNIPER	20	-	15"-18"	-	CONT.	SPECIMEN

- LEGEND**
- TRACT OUTLINE
  - R/W LINE
  - EASEMENTS
  - MINIMUM BUILDING RESTRICTION LINE
  - EXISTING GROUND
  - PROPOSED GRADE
  - NUMBER PARKING SPACES
  - HANDICAP PARKING
  - TYPE 'A' PAVING (40.00 P-1) CAR
  - TYPE 'B' PAVING (40.00 P-2) TRUCK

**OWNER/DEVELOPER**  
 CHIPRENA LIMITED PARTNERSHIP  
 884 JUNCTION DRIVE, SUITE 110  
 100 SUTTEL STREET, SUITE 200  
 SAN FRANCISCO, CA 94104  
 415-778-8800

**DESIGNED/DRANK/CHECKED BY:**  
 [Signature]

**DEVELOPER'S CERTIFICATE**  
 I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT.  
 DEVELOPER: [Signature] DATE: 8/8/89

**DESIGNED/DRANK/CHECKED BY:**  
 [Signature]

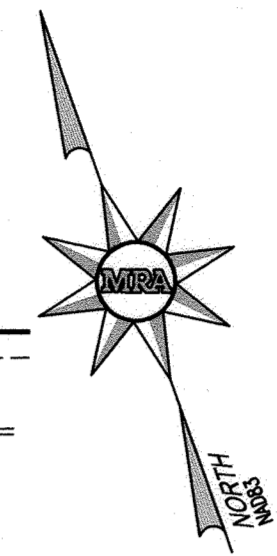
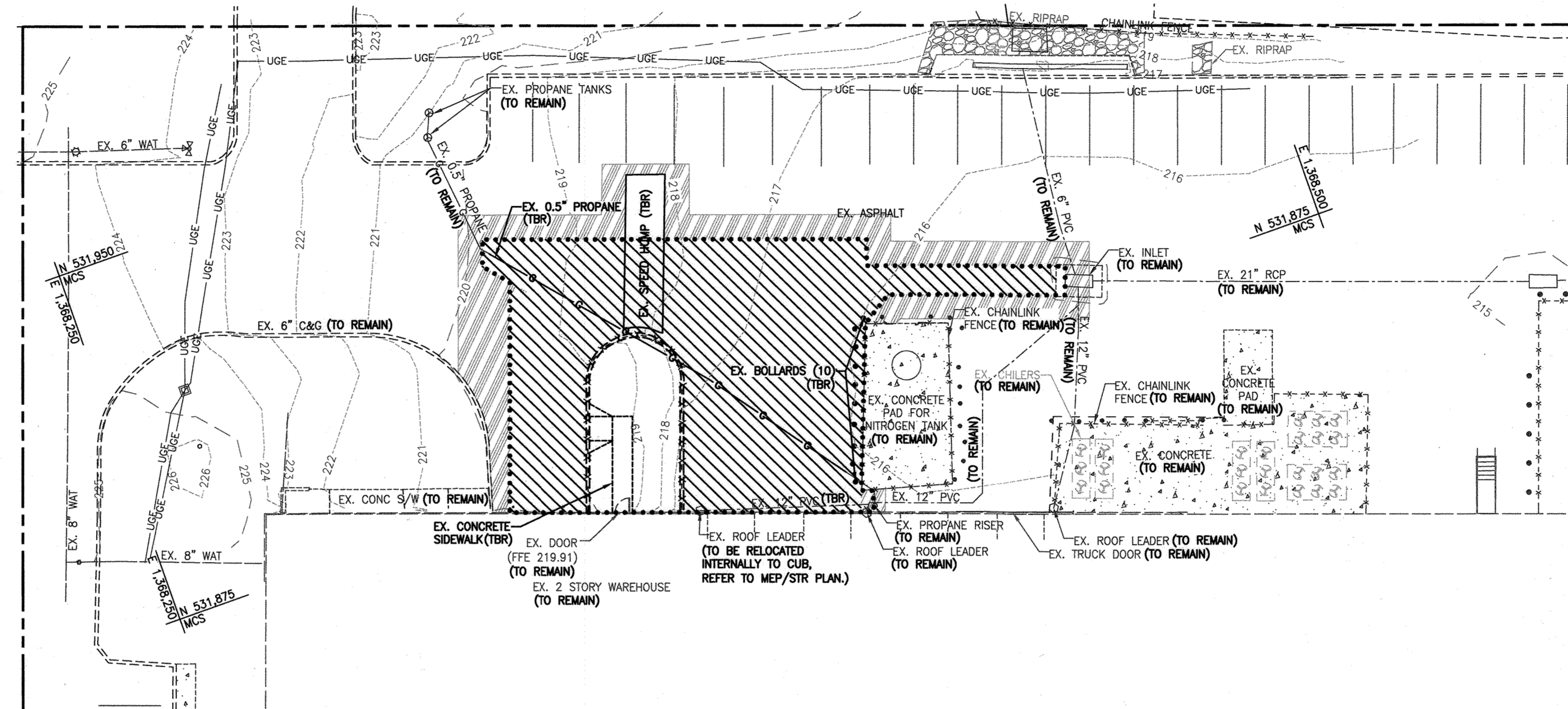
**REVISIONS**  
 1. ADD BUILDING ADDITION  
 2. ADD BURNING ADDITION  
 DATE: 05/20/2019

**LANDSCAPE PLAN**  
 PROPOSED OFFICE/WAREHOUSE  
 THE JUNCTION INDUSTRIAL PARK  
 SECTION 1 AREA 1  
 PARCEL C-2  
 TAX MAP: 40  
 HOWARD CO, MD  
 SCALE: 1"=50'  
 PARCEL: 47  
 ELECT. DIST. 0  
 SHEET 5 OF 9



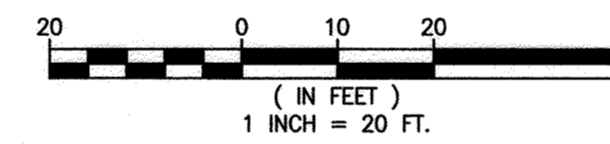
**LEGEND**

- EX. PROPERTY LINE
- - - EX. ADJACENT PROPERTY LINE
- - - EX. RIGHT OF WAY LINE
- - - EX. 1' CONTOUR
- - - EX. 2' CONTOUR
- - - EX. 10' CONTOUR
- ▭ EX. BUILDING
- ▭ EX. CONCRETE
- ▭ EX. PAVEMENT STRIPING
- ▭ EX. CURB
- ⊙ EX. STORM DRAIN
- ⊙ EX. WATER
- ⊙ EX. SANITARY LINE
- UGE EX. UNDERGROUND ELECTRIC
- UGT EX. UNDERGROUND TELE CABLE
- EX. GAS LINE
- EX. BOLLARDS
- PR. LIMIT OF DISTURBANCE
- ▭ EX. CURB (TBR)
- ▭ EX. PAVEMENT (TBR)
- ▭ EX. MILL AND OVERLAY



**PLAN**

SCALE: 1" = 20'



**SOILS CLASSIFICATION CHART/SITE AREA**

MAP SYMBOL AND SOIL NAME	HYDROLOGIC GROUP	SLOPES	ACREAGE ON-SITE
UD URBAN LAND-UDORIENTS COMPLEX	D	-	0.09 AC.

**UTILITY NOTE**

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL HAVE THIS PRIVATE UTILITY LOCATOR REMARK THE EXISTING UTILITIES WITHIN THE WORK AREA:

J.W. DELL COMPANY, INC.  
591 HANOVER PIKE  
HAMPSHIRE, MD 21097  
(410) 833-5510

**NOTES**

1. THE PROPERTY IS ZONED M-2.
2. THE LOCATIONS OF FEATURES SHOWN ON THIS PLAN HAVE BEEN FIELD VERIFIED.
3. WATER SERVICE: PUBLIC
4. SEWER SERVICE: PUBLIC
5. THERE ARE NO NATURAL STEEP SLOPES (25%+) ON SITE WHICH MEET THE COUNTY DEFINITION OF STEEP SLOPES.
6. THERE ARE NO WETLANDS AND STREAMS LOCATED ON SITE.
7. THERE ARE NO 100 YEAR FLOODPLAINS ON SITE. THE SITE LIES WITHIN ZONE X OF THE FEMA FLOOD INSURANCE MAP 24027C0170D, DATED NOVEMBER 6, 2013 FOR HOWARD COUNTY, MD.
8. THE SITE IS NOT LOCATED IN THE CRITICAL AREA OR BOG.
9. THERE ARE NO ARCHAEOLOGICAL RESOURCES, CEMETARIES, ETC. ON SITE.

**NOTE**

THE CORRECTNESS OR COMPLETENESS OF EXISTING INFORMATION SHOWN ON THE DRAWINGS IS NOT WARRANTED OR GUARANTEED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF UTILITIES AND UNDERGROUND FACILITIES, BY TEST PITS OR OTHER METHODS APPROVED BY THE OWNER'S REPRESENTATIVE, AS REQUIRED TO VERIFY EXACT LOCATIONS AND DEPTHS WITHIN THE LIMIT OF DISTURBANCE. ALL DISCREPANCIES BETWEEN INFORMATION SHOWN ON THE DRAWINGS AND THAT WERE VERIFIED IN THE FIELD SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

DIRECTOR \_\_\_\_\_  
CHIEF BUREAU OF ENGINEERING \_\_\_\_\_

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

*[Signature]* 03/01/23  
HOWARD SCD DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
*[Signature]* 3/23/23  
COUNTY HEALTH OFFICER DATE  
HOWARD COUNTY HEALTH DEPARTMENT 98

APPROVED: DEPARTMENT OF PLANNING & ZONING  
*[Signature]* 3-13-23  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE  
*[Signature]* 3/16/23  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE  
DIRECTOR DATE

ADDRESS CHART

LOT/PARCEL #	STREET ADDRESS
PARCEL C-2	4020 JUNCTION DRIVE

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECT./AREA	LOT/PARCEL #
THE JUNCTION INDUSTRIAL PARK	1 1	C-2
PLAN # OR L.F.	GRID #	ZONING
6555	19 & 19	M-2
TAX MAP NO.	ELECT. DIST.	CENSUS TRACT
40	6	6064
WATER CODE	SEWER CODE	
C 04	4020000	

**Civil & Structural Engineers**  
1220-B East Joppa Road  
Suite 400K  
Towson, MD 21286  
410-821-1690

MORRIS & RITCHIE ASSOCIATES, INC.



**ENGINEER'S CERTIFICATE**  
I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT

*[Signature]* Joshua T. Shanon  
SIGNATURE OF ENGINEER (PRINT NAME BELOW SIGNATURE)

12-9-2022  
DATE

**OWNER/DEVELOPER**  
BBK JUNCTION DRIVE, LLC  
180 SUTTER STREET  
SUITE 200  
SAN FRANCISCO, CA 94104

**DEVELOPER'S CERTIFICATE**  
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

*[Signature]* David Milner  
SIGNATURE OF DEVELOPER (PRINT NAME BELOW SIGNATURE)

12/16/2022  
DATE

DRAWN BY: AP/JDLG  
DESIGN BY: THIS  
REVIEW BY: THIS

REVISIONS  
10/14/2022  
ADDED CURB, STORM DRAIN, CHILLERS

EXISTING CONDITIONS AND DEMOLITION PLAN  
PROPOSED OFFICE/WAREHOUSE  
THE JUNCTION INDUSTRIAL PARK  
SECTION 1 AREA 1  
PARCEL C-2

TAX MAP: 48  
HOWARD COUNTY, MD  
SCALE: AS SHOWN

PARCEL: 47  
ELECT. DIST. 6

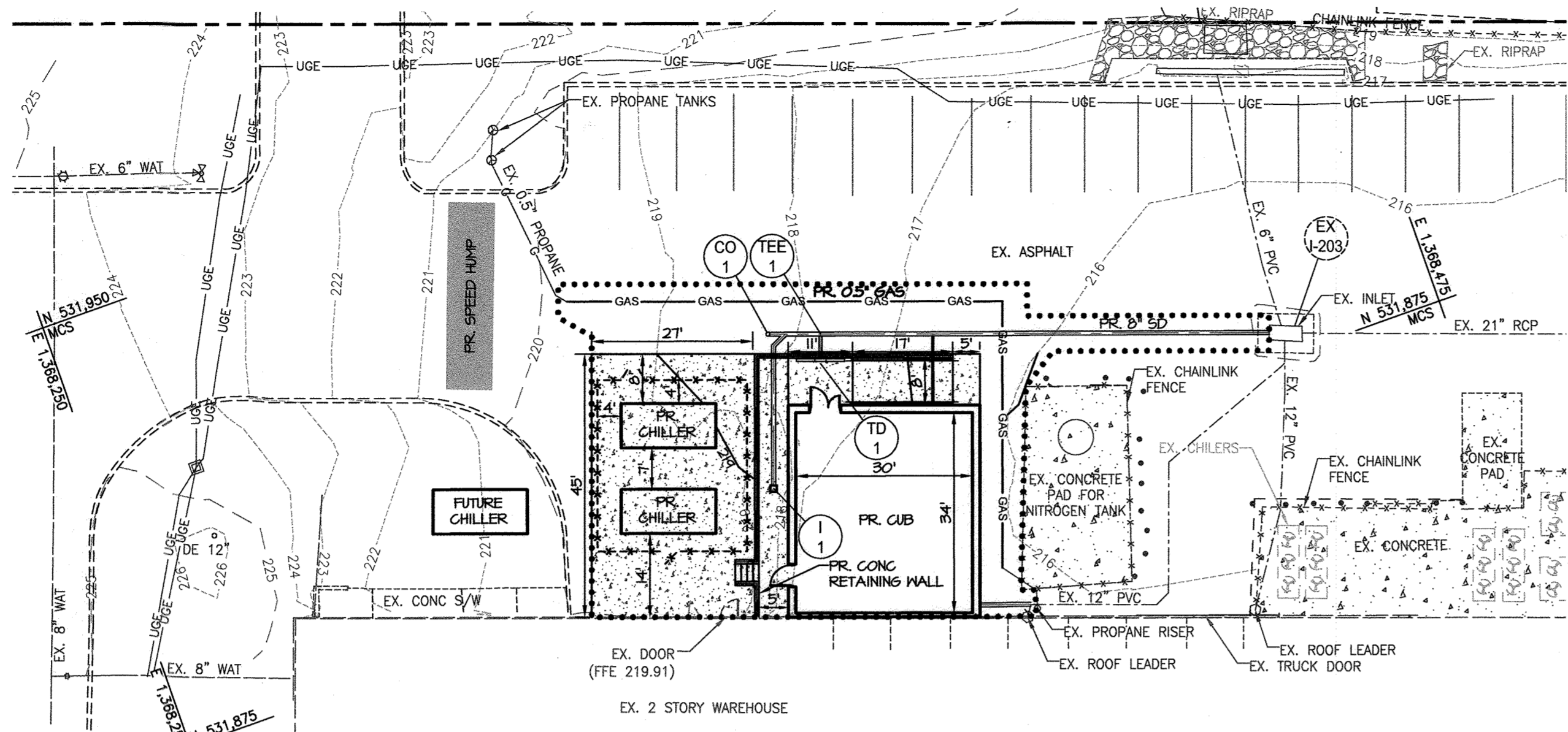
SHEET 6 OF 9

SDP-89-029



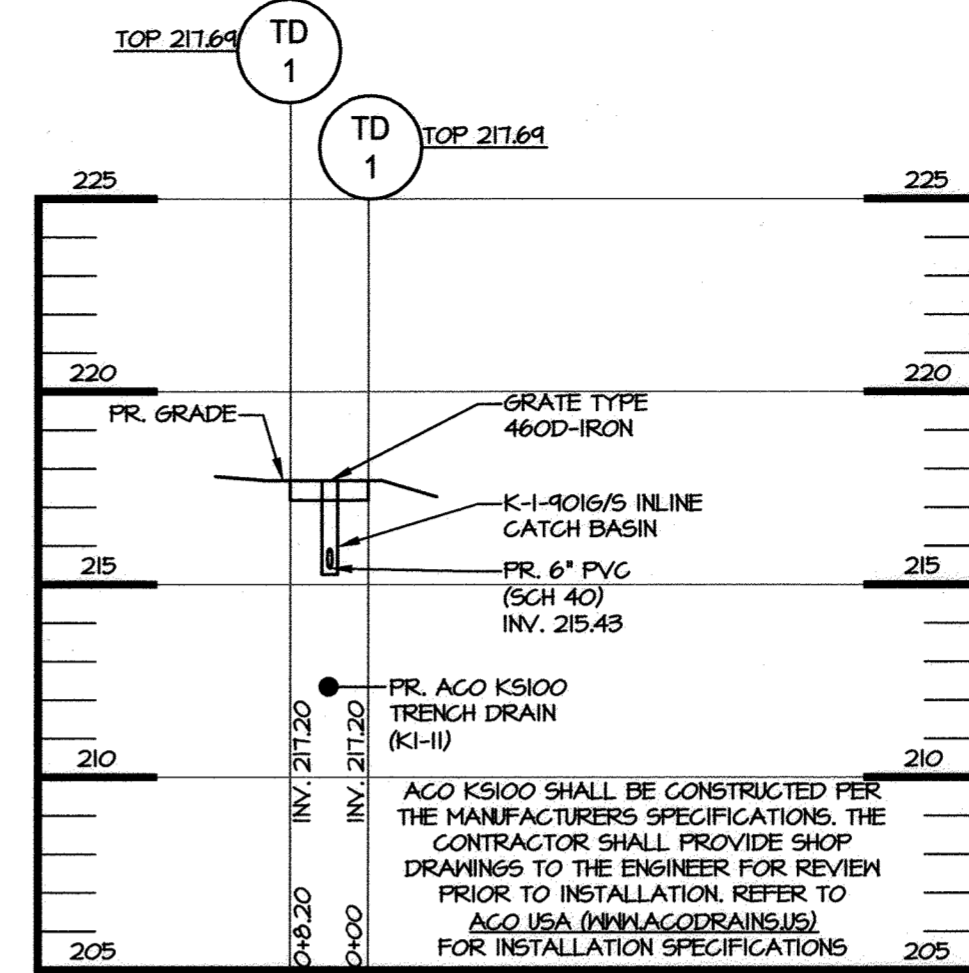
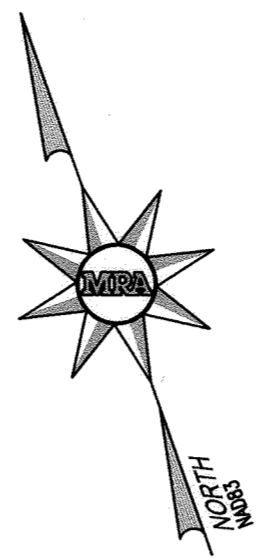
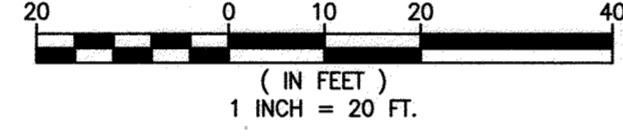
**LEGEND**

- EX. PROPERTY LINE
- EX. ADJACENT PROPERTY LINE
- EX. RIGHT OF WAY LINE
- - - EX. 1' CONTOUR
- - - EX. 2' CONTOUR
- - - EX. 10' CONTOUR
- ▭ EX. BUILDING
- ▭ EX. CONCRETE
- ▭ EX. PAVEMENT STRIPING
- ▭ EX. STORM DRAIN
- EX. WATER
- EX. SANITARY LINE
- EX. UNDERGROUND ELECTRIC
- EX. UNDERGROUND TELE CABLE
- EX. GAS LINE
- ⋯ PR. LIMIT OF DISTURBANCE
- EX. BOLLARD
- ▭ PR. BUILDING
- ▭ PR. CONCRETE
- ▭ PR. CURB AND GUTTER
- ▭ PR. TRANSITION CURB
- ▭ PR. FLUSH CURB
- ▭ PR. STORM DRAIN
- ▭ PR. GAS
- ▭ PR. METAL FENCE
- ⋯ PR. LIMIT OF DISTURBANCE
- 1 PR. 1' CONTOUR
- 2 PR. 2' CONTOUR
- 10 PR. 10' CONTOUR



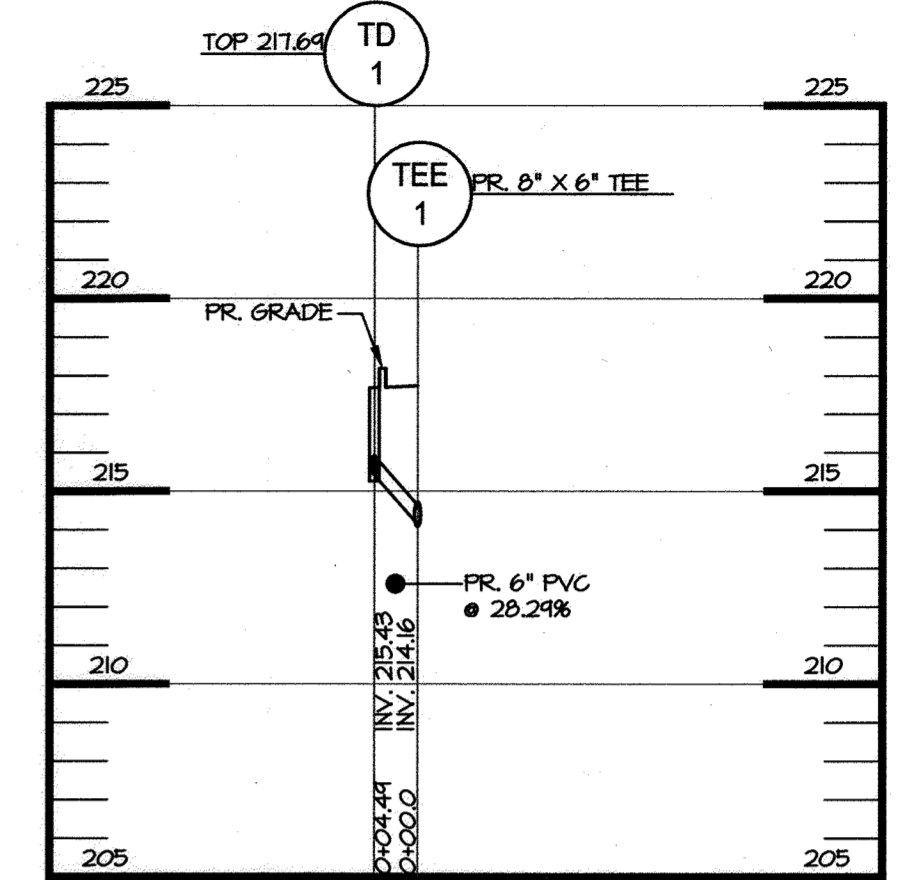
**PLAN**

SCALE: 1" = 20'



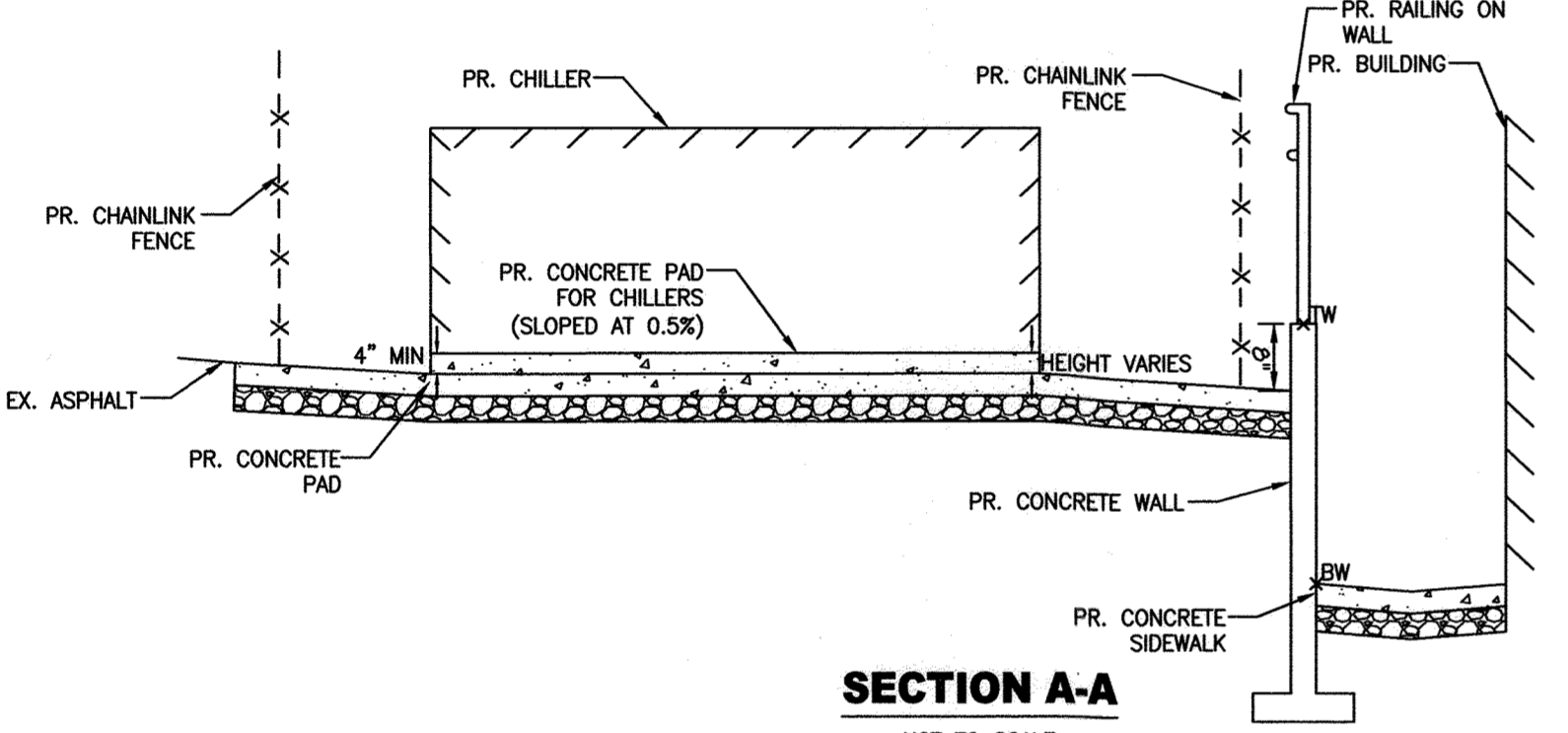
**TRENCH DRAIN PROFILE**

SCALE: H: 1"=20'  
V: 1"=5'



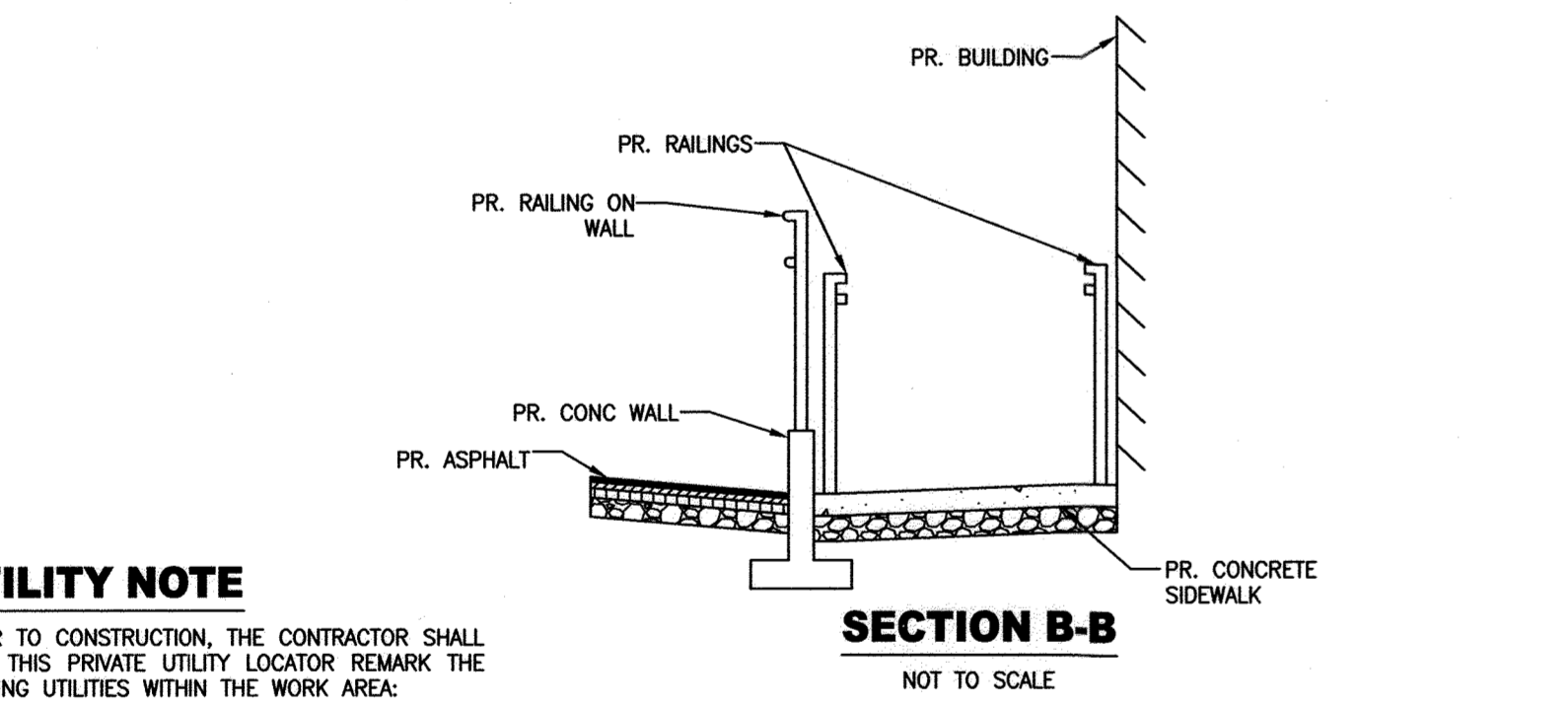
**STORM DRAIN PROFILE**

SCALE: H: 1"=20'  
V: 1"=5'



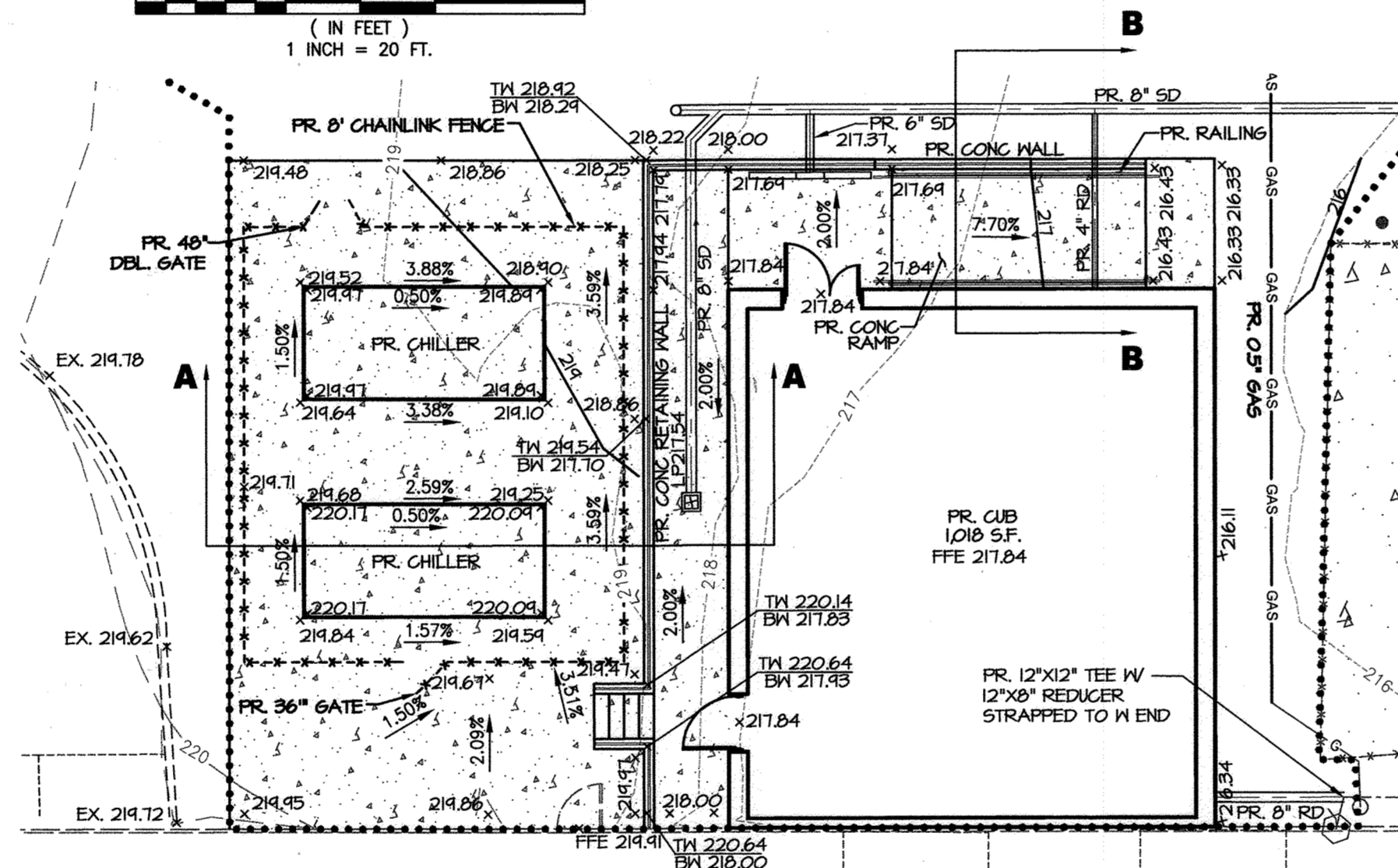
**SECTION A-A**

NOT TO SCALE



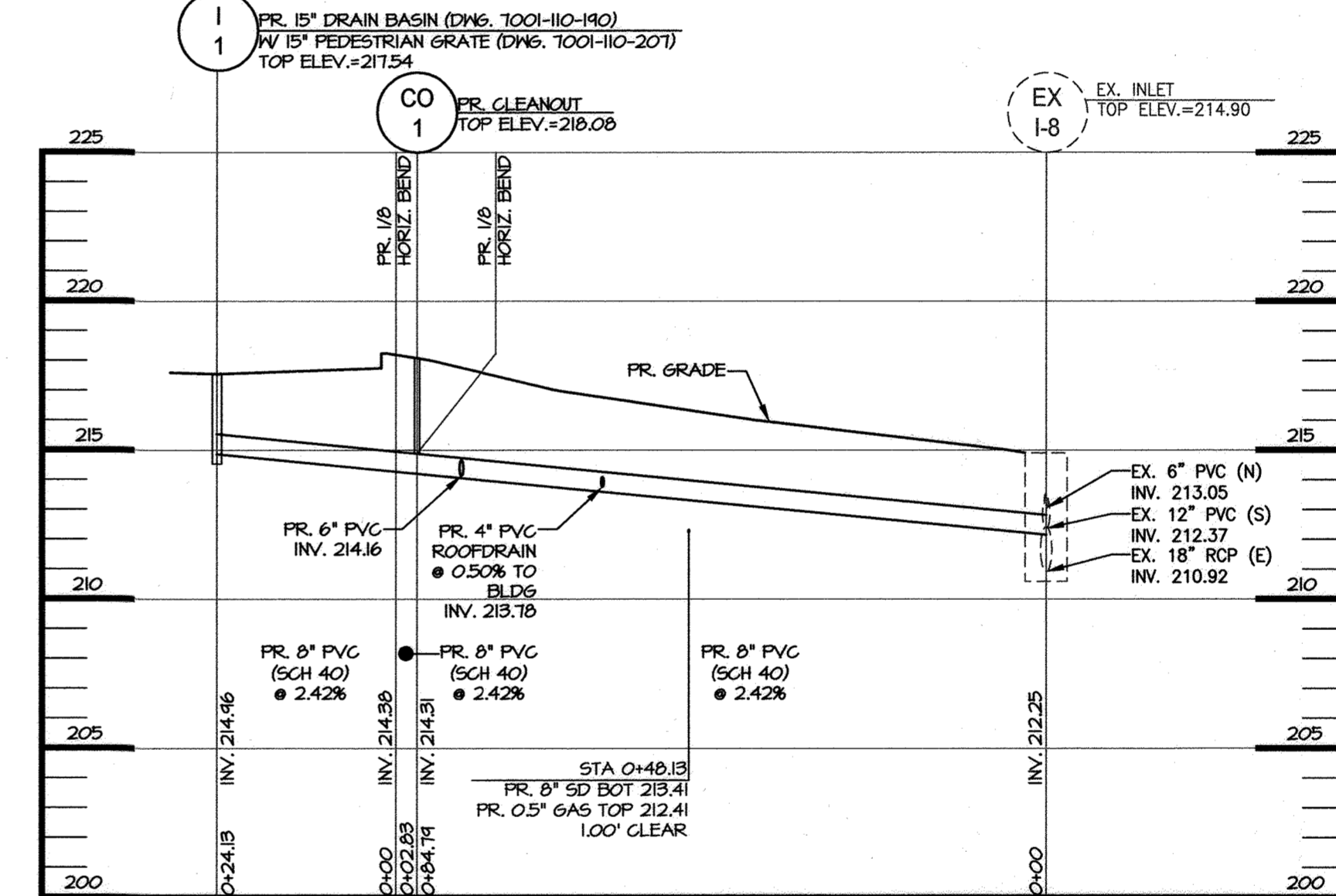
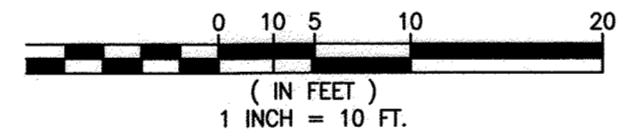
**SECTION B-B**

NOT TO SCALE



**PROPOSED GRADING INSET**

SCALE: 1" = 10'



**STORM DRAIN PROFILE**

SCALE: H: 1"=20'  
V: 1"=5'

**UTILITY NOTE**

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL HAVE THIS PRIVATE UTILITY LOCATOR REMARK THE EXISTING UTILITIES WITHIN THE WORK AREA.

J.W. DELL COMPANY, INC.  
551 HANOVER PIKE  
HAMPSTEAD, MD 21097  
(410) 833-5510

**CONCRETE NOTE**

THE CONTRACTOR SHALL VERIFY CONCRETE FORM PLACEMENT TO ASSURE COMPLIANCE WITH CURRENT LOCAL AND STATE ADA AS WELL AS BUILDING CODES. ADA INSPECTION SHALL BE REQUIRED PRIOR TO POURING CONCRETE. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR MEETING ALL APPLICABLE HANDICAP SLOPE AND DISTANCE REQUIREMENTS AS WELL AS OTHER REQUIREMENTS AS STATED IN THE APPLICABLE CODES.

ANY DISCREPANCIES FOUND SHOULD BE BROUGHT TO THE SITE ENGINEER'S ATTENTION BEFORE ANY CONCRETE IS PLACED.

**NOTE**

THE CORRECTNESS OR COMPLETENESS OF EXISTING INFORMATION SHOWN ON THE DRAWINGS IS NOT WARRANTED OR GUARANTEED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF UTILITIES AND UNDERGROUND FACILITIES, BY TEST PITS OR OTHER METHODS APPROVED BY THE OWNER'S REPRESENTATIVE, AS REQUIRED TO VERIFY EXACT LOCATIONS AND DEPTHS WITHIN THE LIMIT OF DISTURBANCE. ALL DISCREPANCIES BETWEEN INFORMATION SHOWN ON THE DRAWINGS AND THAT WERE VERIFIED IN THE FIELD SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

DIRECTOR \_\_\_\_\_

CHIEF BUREAU OF ENGINEERING \_\_\_\_\_

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

*Alvander Bantre* 03/01/23 DATE  
HOWARD SCD

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

*[Signature]* 3/27/23 DATE  
COUNTY HEALTH OFFICER  
HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: DEPARTMENT OF PLANNING & ZONING

*[Signature]* 3.13.23 DATE  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

*[Signature]* 3/16/23 DATE  
CHIEF, DIVISION OF LAND DEVELOPMENT

*[Signature]* 3/16/23 DATE  
DIRECTOR

ADDRESS CHART		
LOT/PARCEL #	STREET ADDRESS	
PARCEL C-2	4020 JUNCTION DRIVE	
PERMIT INFORMATION CHART		
SUBDIVISION NAME THE JUNCTION INDUSTRIAL PARK	SECT./AREA 1/1	LOT/PARCEL # C-2
PLAT # OR L.F. 6225	GRID # 15 & 14	ZONING M-2
TAX MAP NO. 48	ELECT. DIST. 6	CENSUS TRACT 6064
WATER CODE C 04	SEWER CODE 4020000	

**MRA** Civil & Structural Engineers  
1220-B East Joppa Road  
Suite 400K  
Towson, MD 21286  
410-821-1690

MORRIS & RITCHIE ASSOCIATES, INC.

ENGINEER'S CERTIFICATE  
I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT

*[Signature]* Joshua T. Sharon  
SIGNATURE OF ENGINEER (PRINT NAME BELOW SIGNATURE)

12-9-2022  
DATE

OWNER/DEVELOPER  
BBK JUNCTION DRIVE, LLC  
180 SUTTER STREET  
SUITE 200  
SAN FRANCISCO, CA 94104

DEVELOPER'S CERTIFICATE  
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

*[Signature]* David Milner  
SIGNATURE OF DEVELOPER (PRINT NAME BELOW SIGNATURE)

12/12/2022  
DATE

DRAWN BY: APJ/DLG  
DESIGN BY: THIS  
REVIEW BY: THIS

REVISIONS  
10/14/2022  
ADDED CURB, STORM DRAIN, CHILLERS

PROPOSED CONDITIONS PLAN  
PROPOSED OFFICE/WAREHOUSE  
THE JUNCTION INDUSTRIAL PARK  
SECTION 1 AREA 1  
PARCEL C-2

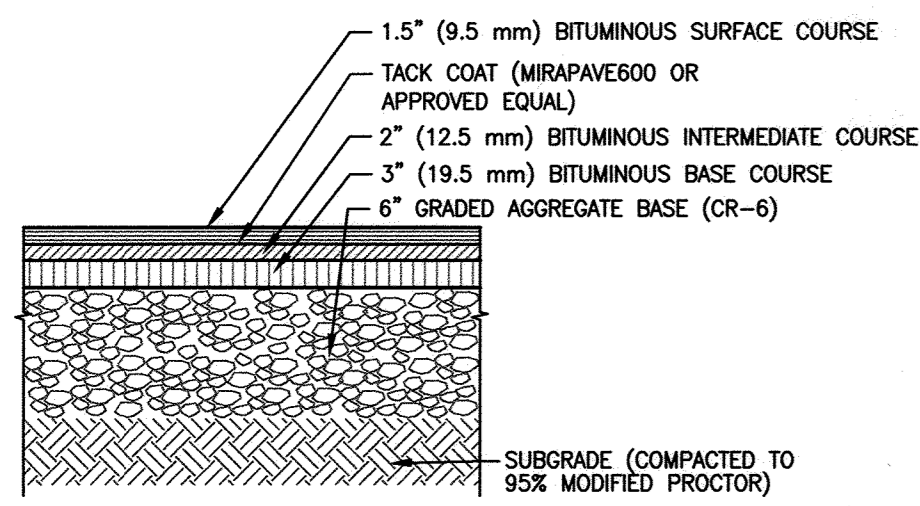
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HOWARD COUNTY, MD  
SCALE: AS SHOWN

PARCEL: 47  
ELECT. DIST. 6

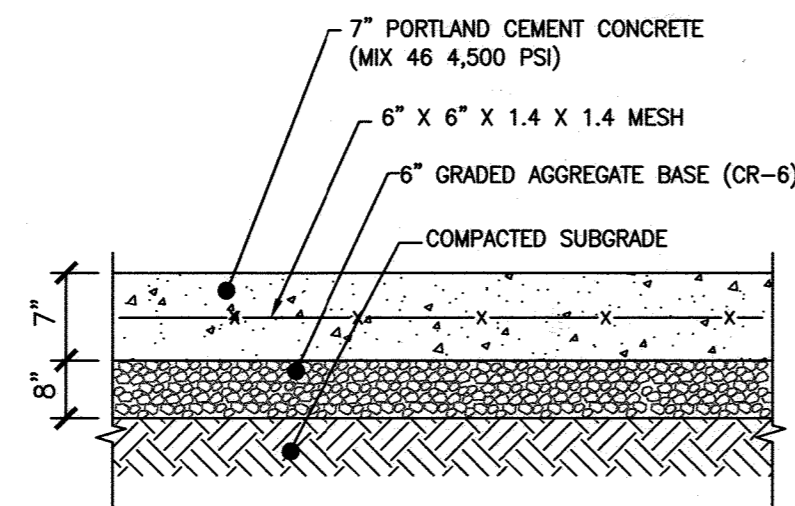
SHEET 7 OF 9

SDP-89-029

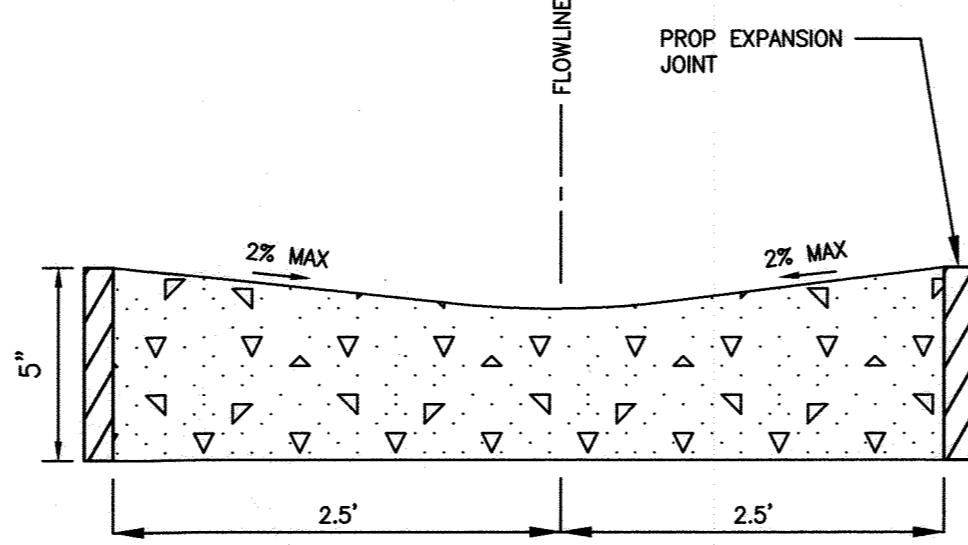




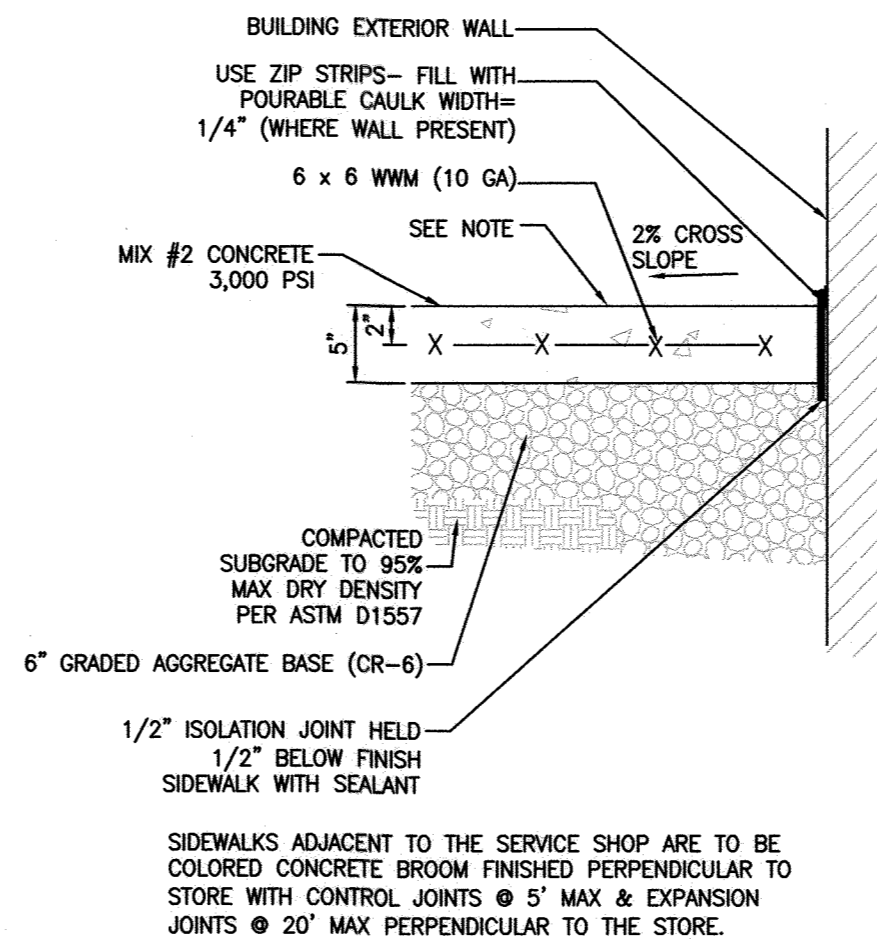
**1 ASPHALT PAVING SECTION**  
NOT TO SCALE



**2 CONCRETE PAD DETAIL**  
NOT TO SCALE



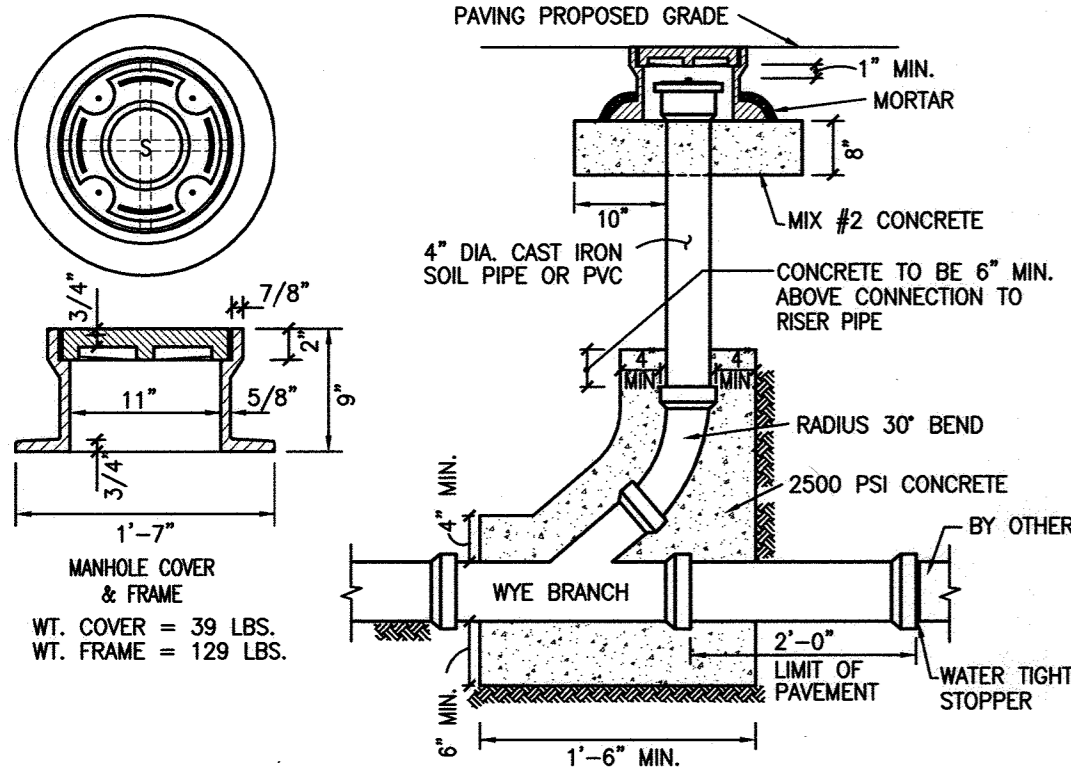
**3 SIDEWALK DETAIL**  
NOT TO SCALE



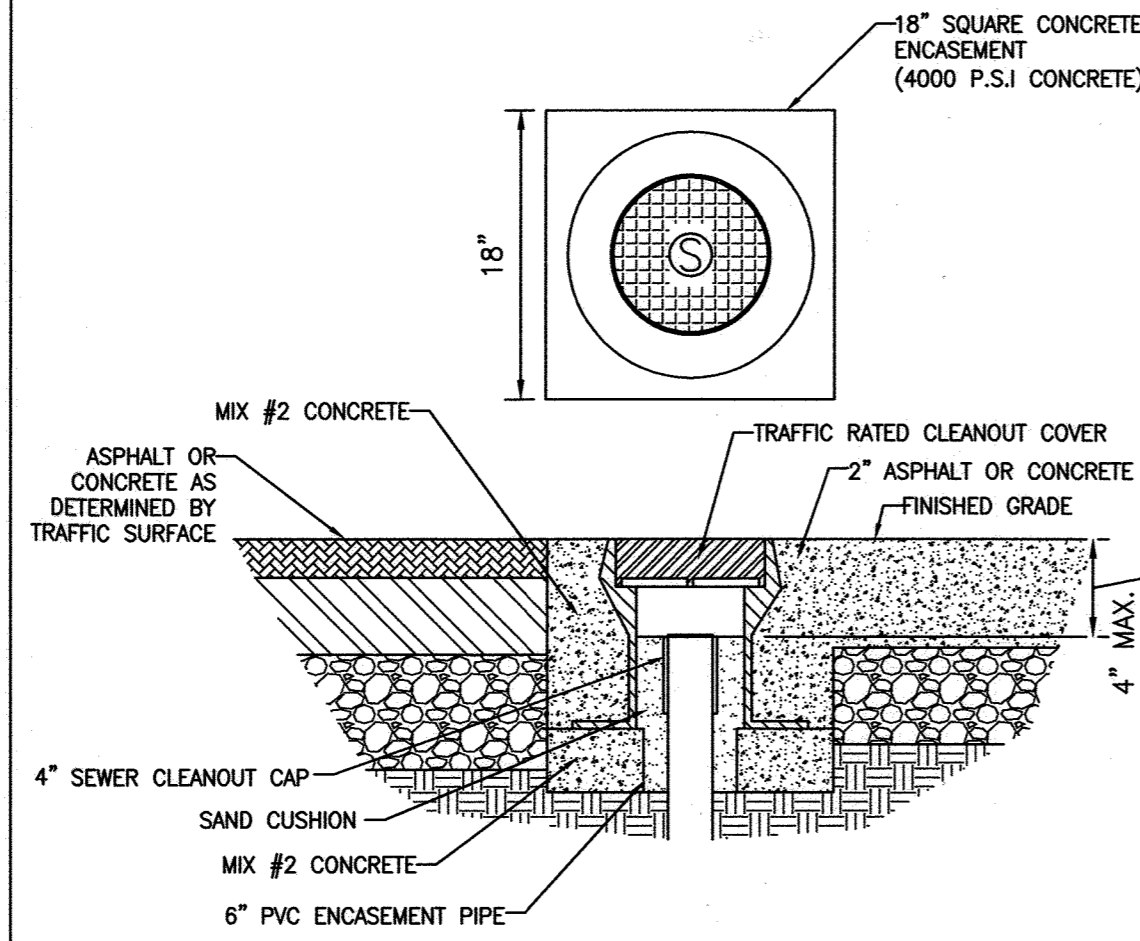
**4 SIDEWALK ADJACENT TO BUILDING DETAIL**  
NOT TO SCALE

**DEMOLITION NOTES**

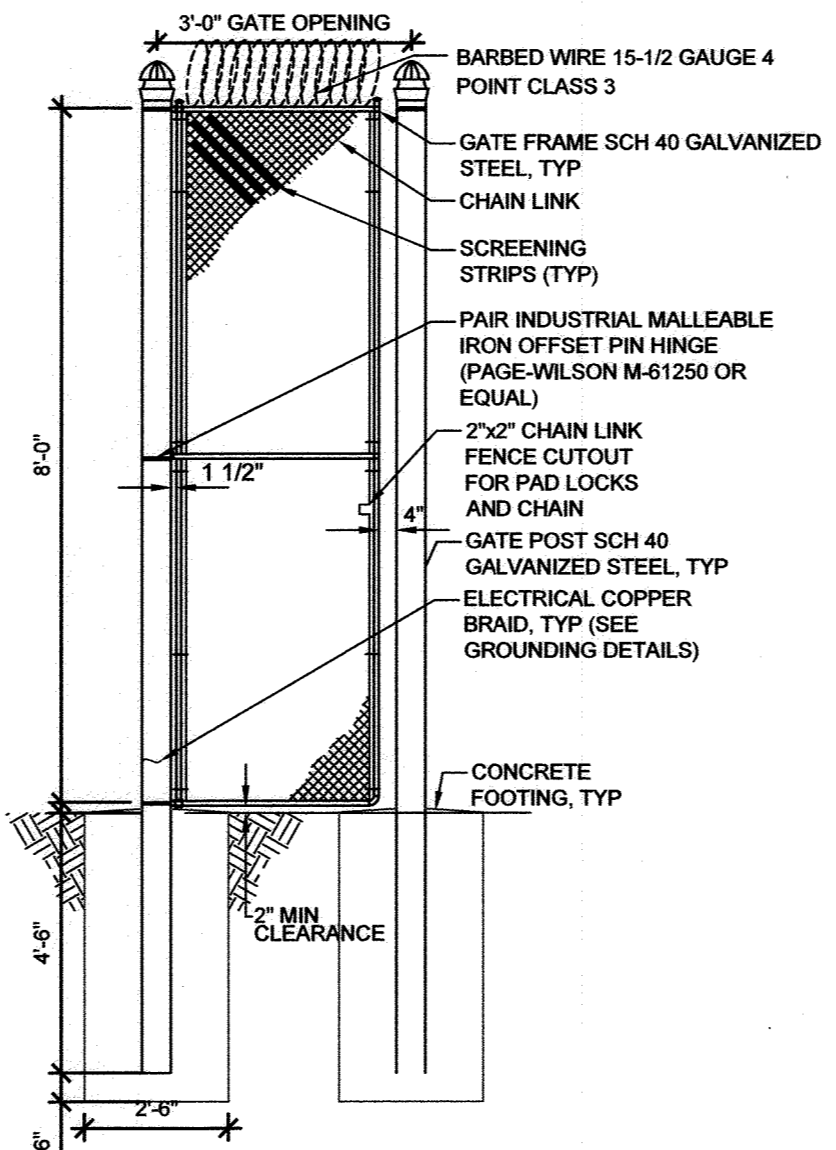
- THE CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS FROM ALL APPLICABLE AGENCIES FOR HIS DEMOLITION AND DISPOSAL OF ANY DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL POST BONDS AND PAY PERMIT FEES AS REQUIRED TO ALL INVOLVED AGENCIES.
- PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES, THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES TO VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CALL "MISS UTILITY" 811, 72 HOURS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL PREPARE ALL MANIFEST DOCUMENTS AS REQUIRED PRIOR TO COMMENCEMENT OF DEMOLITION.
- REMOVE AND DISPOSE OF ANY SIDEWALKS, FENCES, STAIRS, WALLS, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE SITE AREA IN AN APPROVED LANDFILL. THE CONTRACTOR IS RESPONSIBLE TO SECURE ALL NECESSARY PERMITS FOR DISPOSAL OF CONSTRUCTION MATERIALS.
- BACKFILL DEPRESSIONS, FOUNDATION HOLES AND REMOVED DRIVEWAY AREAS WITH APPROVED SOIL MATERIAL AND COMPACT, FERTILIZE, SEED AND MULCH DISTURBED AREAS NOT SUBJECT TO FURTHER SITE CONSTRUCTION. EMPLOY WATERING EQUIPMENT FOR DUST CONTROL.
- IF ASBESTOS OR HAZARDOUS MATERIAL ARE FOUND ON SITE, THEY MUST BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR. IF FOUND CONTRACTOR SHALL NOTIFY OWNER.
- UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE. LOCATED FROM FIELD SURVEYS OR UTILITY COMPANY RECORDS. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE EXACT LOCATION AND DEPTH OF ALL UTILITY LINES BEFORE THE START OF DEMOLITION.
- NECESSARY PRECAUTIONS SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SERVICES AND MAINS, AND ANY DAMAGE TO THEM DUE TO HIS NEGLIGENCE SHALL BE REPAIRED IMMEDIATELY AT HIS OWN EXPENSE.
- THE CONTRACTOR MUST SUBMIT DISCONNECT NOTIFICATION TO HOWARD COUNTY PUBLIC WORKS, AND ALL ASSOCIATED UTILITY COMPANIES RELATING TO THIS SITE AT LEAST THREE (3) WEEKS PRIOR TO BEGINNING DEMOLITION.
- THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY COMPANY TO CUT AND PLUG ALL SERVICE PIPING AT THE STREET LINE OR MAIN, AS REQUIRED BY LOCAL UTILITY COMPANY, AND/OR ANNE ARUNDEL COUNTY ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED.
- THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS THAT WILL NOT BE REMOVED AND SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
- OSHA REGULATIONS MAKE IT UNLAWFUL TO OPERATE CRANES, BOOMS, HOISTS, ETC. WITHIN TEN (10) FEET OF ANY ELECTRIC LINE UNDER (50KV). IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO B6&E POWER ELECTRIC LINE(S), CONTACT THE POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR SECURING ALL PERMITS FOR DEMOLITION FROM HOWARD COUNTY AND MUST FURNISH THE REQUIRED MATERIAL AND PAY ALL FEES.
- CONTRACTOR SHALL VERIFY THAT EXISTING UNDERGROUND UTILITIES SHOWN ON PLAN WHERE DEMOLITION IS CALLED OUT FOR WILL NOT BE HINDERED DURING THE DEMOLITION WORK BY PERFORMING TEST PITS AT DESIGNATED LOCATIONS. CONTRACTOR IS LIABLE FOR ANY DAMAGE TO UTILITIES. TEST PIT LOCATIONS SHOWN HEREON ARE APPROXIMATE AND CONTRACTOR SHALL PERFORM TEST PITS FOR EACH UTILITY IN AREA WHERE DEEPEST VERTICAL DISTANCE OF DEMOLITION IS TO BE PERFORMED I.E. FULL DEPTH SAW CUT.
- AS FIELD CONDITIONS CHANGE, THE CONTRACTOR SHALL DETERMINE THE FINAL LIMITS OF PAVING AREAS, I.E. WEDGE/LEVEL AREAS, MLL/OVERLAY AREAS AND FULL DEPTH PAVING AREAS.



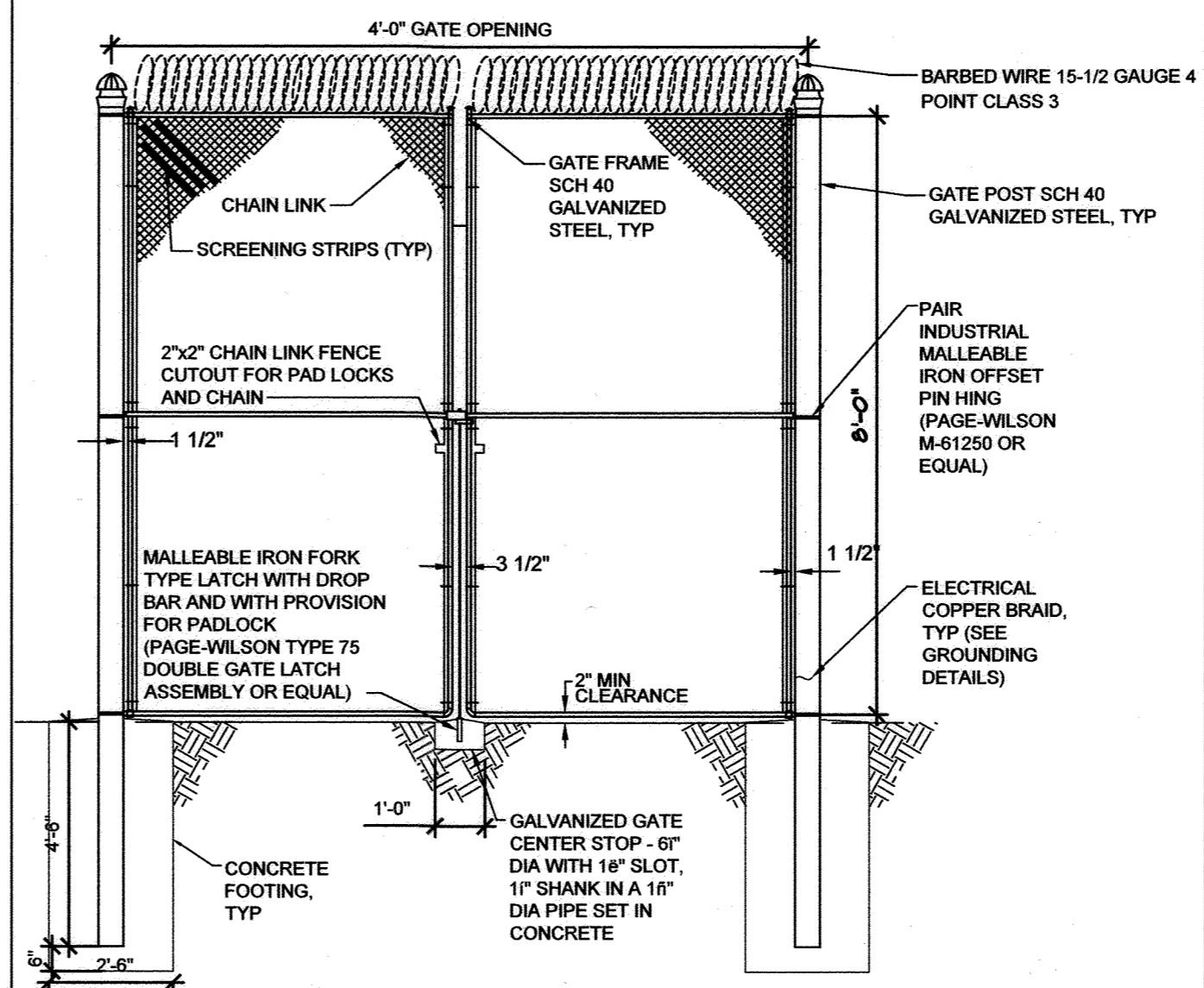
**5 CLEANOUT IN PAVEMENT DETAIL**  
NOT TO SCALE



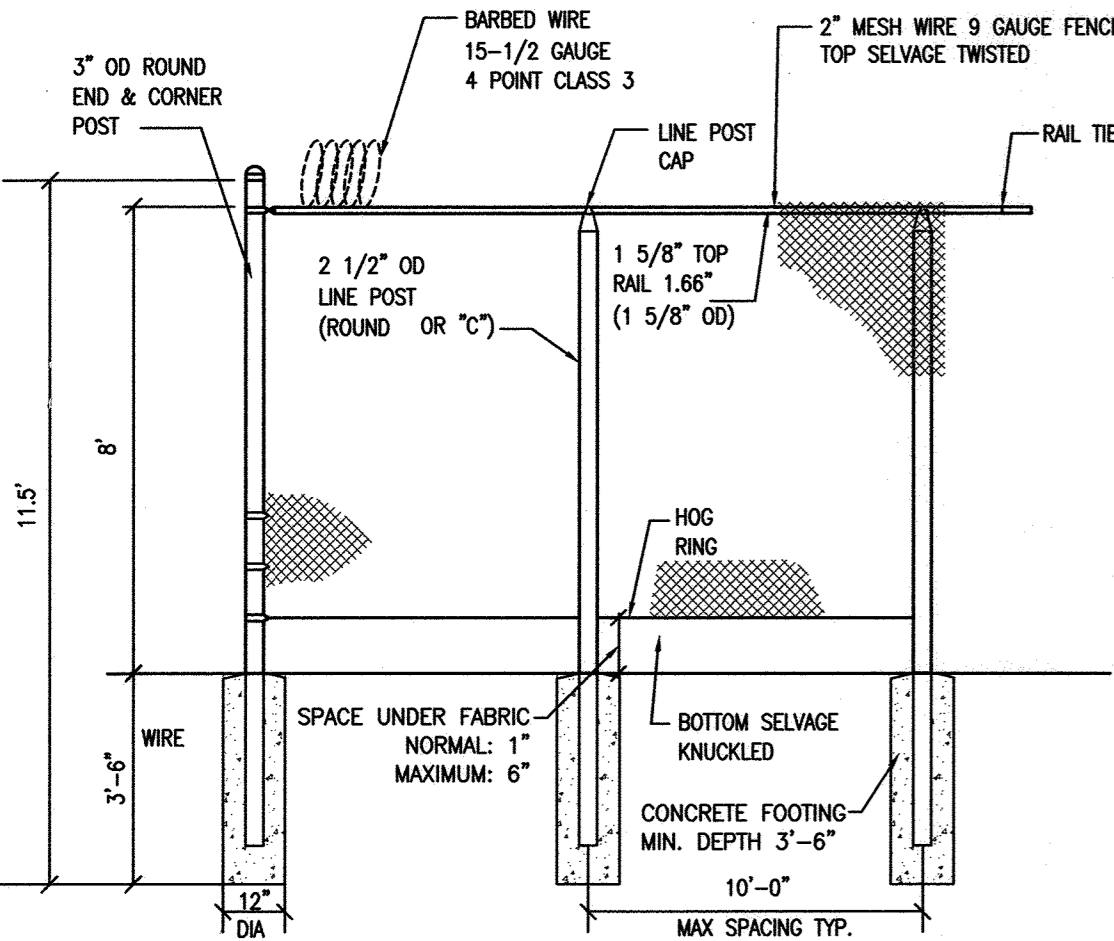
**6 TRAFFIC RATED CLEANOUT DETAIL**  
NOT TO SCALE



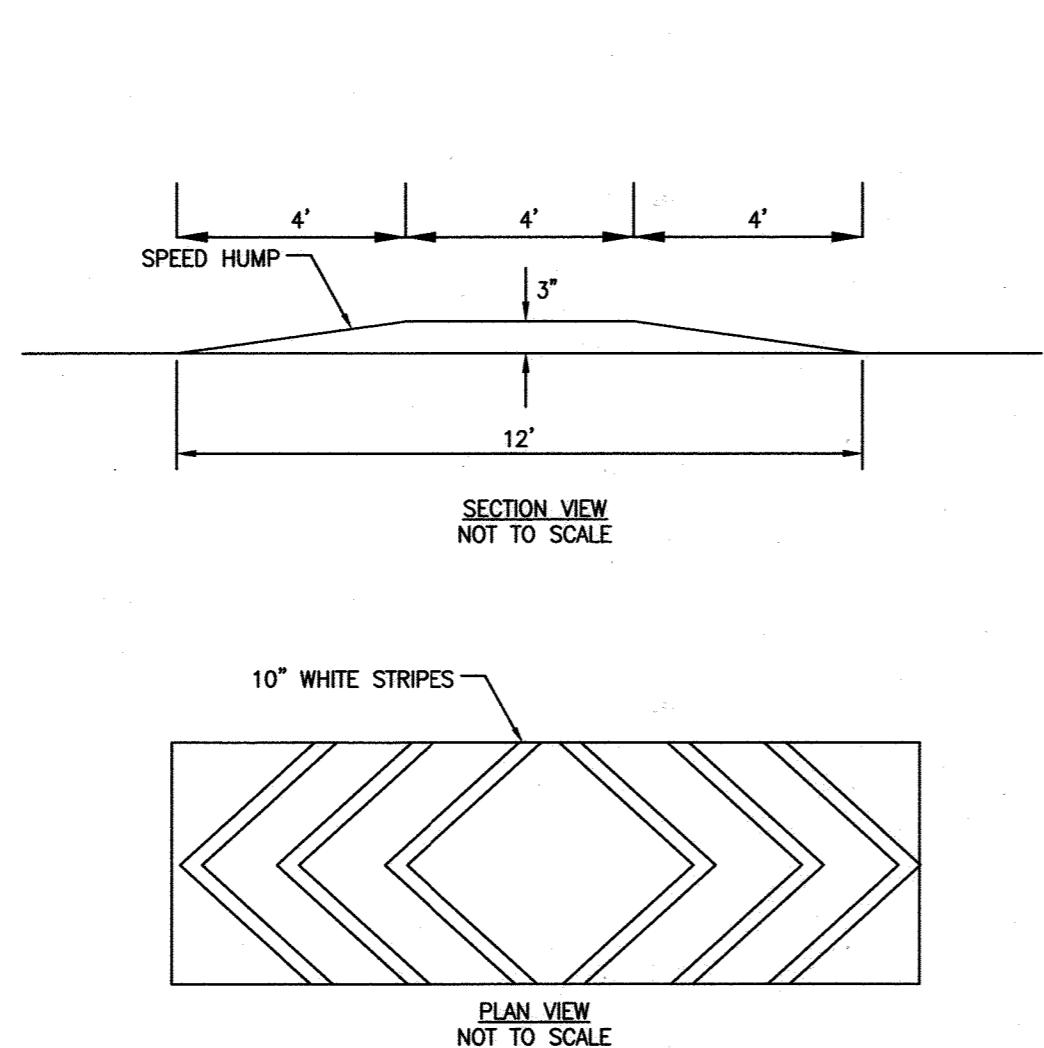
**7 36\"/>**



**8 48\"/>**



**9 8\"/>**



**10 SPEED HUMP AND WARNING SIGN DETAIL**  
NOT TO SCALE

**GENERAL NOTES**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST HOWARD CO. STANDARD DETAILS AND SPECIFICATIONS FOR CONSTRUCTION AND ALL ADDENDA THERETO, UNLESS OTHERWISE NOTED.
- THE EXISTING UTILITIES AND OBSTRUCTIONS SHOWN ARE FROM THE BEST AVAILABLE RECORDS AND SHALL BE VERIFIED BY THE CONTRACTOR TO HIS SATISFACTION PRIOR TO CONSTRUCTION.
- NECESSARY PRECAUTIONS SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SERVICES AND MAINS, AND ANY DAMAGE TO THEM DUE TO HIS NEGLIGENCE SHALL BE REPAIRED IMMEDIATELY AT HIS OWN EXPENSE.
- THE CONTRACTOR SHALL NOTE THAT IN CASE OF A DISCREPANCY BETWEEN THE SCALED AND THE FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
- IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AGENCIES AT LEAST (5) FIVE WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS:  
A. MISS UTILITY 1-800-257-7777 OR 811  
B. THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION (410) 313-1880
- TAMPED FILL TO BE COMPACTED TO A MINIMUM DENSITY OF 95% IN ACCORDANCE WITH AASHTO DESIGNATION T-180 METHOD-C.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", ISSUED BY THE WATER RESOURCES ADMINISTRATION AND SOIL CONSERVATION SERVICE. ALL CONSTRUCTION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH ANNE ARUNDEL COUNTY STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (JANUARY 2001, AS AMENDED).
- SOILS ARE MAPPED AND LABELED IN ACCORDANCE WITH THE UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE'S WEB SOIL SURVEY.
- THE HORIZONTAL AND VERTICAL CONTROL SHOWN ON THESE PLANS REFER TO THE MARYLAND STATE SYSTEM (MAD 83/91 & NAVD 88) OF PLANE COORDINATES.
- THE MEASURES REQUIRED IN THE APPROVED SEDIMENT CONTROL PLAN SHALL APPLY AS IF SHOWN ON THIS PLAN, AND SHALL BE COMPLETED AND IN SERVICE PRIOR TO CONSTRUCTION OF THE UTILITIES SHOWN ON THIS PLAN.
- PAVEMENT, EARTHWORK AND EXCAVATION:  
A. CONTRACTOR SHALL REFER TO THE FINAL GEOTECHNICAL REPORT FOR PAVING SECTIONS FOR CONCRETE AND FULL DEPTH PAVING.  
B. GEOTEXTILES OR GEORIGIDS, IF REQUIRED, FOR SOIL STABILIZATION OR REINFORCING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.  
C. ALL UNPAVED AREAS OF THE SITE SHALL BE STABILIZED AND THEN SEEDED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN.  
D. UTILITIES - USE CLEAN, GRANULAR FILL MATERIAL, FREE OF ALL ROCKS, DEBRIS, AND OTHER UNSUITABLE MATERIAL FOR BACKFILLING UTILITY EXCAVATIONS. COMPACTION OF BACKFILL SHALL BE IN ACCORDANCE WITH GEOTECHNICAL REPORT.

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

DIRECTOR \_\_\_\_\_

CHIEF BUREAU OF ENGINEERING \_\_\_\_\_

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

*Allyson Bentz* 03/01/23 DATE  
HOWARD SCD

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

*David Milner* 3/13/23 DATE  
COUNTY HEALTH OFFICER  
HOWARD COUNTY HEALTH DEPARTMENT 98

APPROVED DEPARTMENT OF PLANNING & ZONING

*David Milner* 3/13/23 DATE  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

*Angie Gorn* 3/16/23 DATE  
CHIEF, DIVISION OF LAND DEVELOPMENT

DIRECTOR \_\_\_\_\_

ADDRESS CHART			
LOT/PARCEL #	STREET ADDRESS		
PARCEL C-2	4020 JUNCTION DRIVE		
PERMIT INFORMATION CHART			
SUBDIVISION NAME THE JUNCTION INDUSTRIAL PARK	SECT./AREA 1/1	LOT/PARCEL # C-2	
PLAT # OR L/F 6525	GRID # 19 & 14	ZONING/TAX MAP NO. M-2 48	ELECT. DIST. 6
WATER CODE C 04	SEWER CODE 4020000	CENSUS TRACT 6064	

**MRA** Civil & Structural Engineers  
1220-B East Joppa Road  
Suite 400K  
Towson, MD 21286  
410-821-1690

MORRIS & RITCHIE ASSOCIATES, INC.



ENGINEER'S CERTIFICATE  
I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT

*Stephen T. Sheeran*  
SIGNATURE OF ENGINEER (PRINT NAME BELOW SIGNATURE)

187-9-2022  
DATE

OWNER/DEVELOPER  
BBK JUNCTION DRIVE, LLC  
180 SUTTER STREET  
SUITE 200  
SAN FRANCISCO, CA 94104

DEVELOPER'S CERTIFICATE  
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

*David Milner*  
SIGNATURE OF DEVELOPER (PRINT NAME BELOW SIGNATURE)

12/12/2022  
DATE

DRAWN BY: APJ/DLG  
DESIGN BY: THIS  
REVIEW BY: THIS

REVISIONS  
10/14/2022  
ADDED GUB, STORM DRAIN, CHILLERS

SITE DETAILS - 1  
PROPOSED OFFICE/WAREHOUSE  
THE JUNCTION INDUSTRIAL PARK  
SECTION 1 AREA 1  
PARCEL C-2

TAX MAP: 48  
HOWARD COUNTY, MD  
SCALE: AS SHOWN

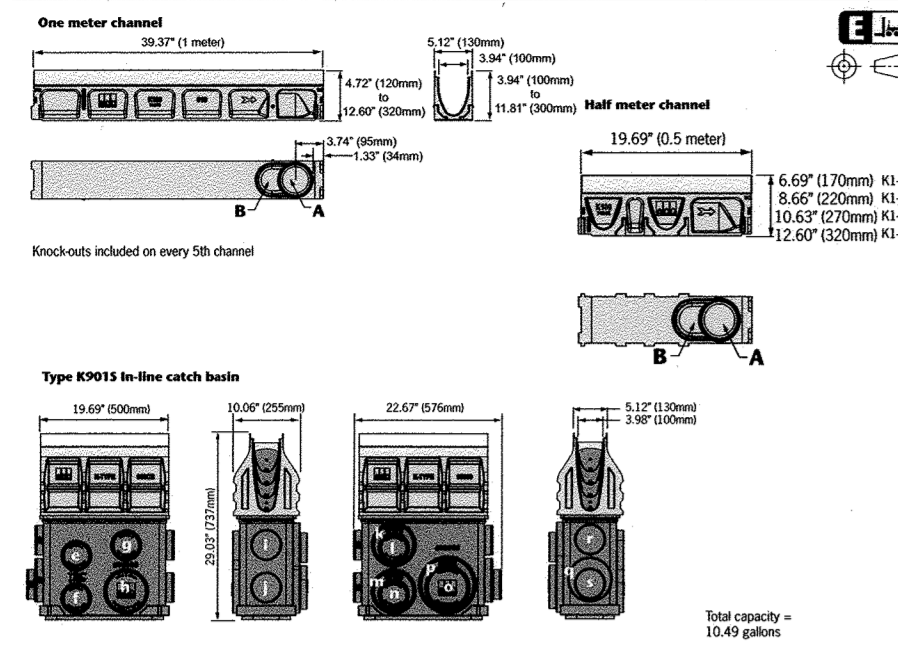
PARCEL: 47  
ELECT. DIST. 6

SHEET 8 OF 9

SDP-89-029



**ACO DRAIN**  
KlassikDrain - K5100 Stainless steel edge rail channel system



**ACO Specification Information**

Description	Part No.	Length (feet)	Weight (lbs)
K5100 Main channel - 30.37" (9.54m)	74411	3.00	28.1
K5100 Main channel - 30.37" (9.54m)	74412	1.50	14.1
K5100 Main channel - 30.37" (9.54m)	74413	1.00	9.4
K5100 Main channel - 30.37" (9.54m)	74414	0.75	7.1
K5100 Main channel - 30.37" (9.54m)	74415	0.50	4.7
K5100 Main channel - 30.37" (9.54m)	74416	0.25	2.4
K5100 Main channel - 30.37" (9.54m)	74417	0.125	1.2
K5100 Main channel - 30.37" (9.54m)	74418	0.0625	0.6
K5100 Main channel - 30.37" (9.54m)	74419	0.03125	0.3
K5100 Main channel - 30.37" (9.54m)	74420	0.015625	0.15
K5100 Main channel - 30.37" (9.54m)	74421	0.0078125	0.075
K5100 Main channel - 30.37" (9.54m)	74422	0.00390625	0.0375
K5100 Main channel - 30.37" (9.54m)	74423	0.001953125	0.01875
K5100 Main channel - 30.37" (9.54m)	74424	0.0009765625	0.009375
K5100 Main channel - 30.37" (9.54m)	74425	0.00048828125	0.0046875
K5100 Main channel - 30.37" (9.54m)	74426	0.000244140625	0.00234375
K5100 Main channel - 30.37" (9.54m)	74427	0.0001220703125	0.001171875
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K5100 Main channel - 30.37" (9.54m)	74429	0.000030517578125	0.00029296875
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K5100 Main channel - 30.37" (9.54m)	74452	0.000000000003637981248497572509765625	0.0000000000349245965480805589375
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K5100 Main channel - 30.37" (9.54m)	74467	0.000000000000000111022377076388934375	0.0000000000000010658141034846875
K5100 Main channel - 30.37" (9.54m)	74468	0.0000000000000000555111885381944446934375	0.00000000000000053290705172234375
K5100 Main channel - 30.37" (9.54m)	74469	0.00000000000000002775559426909722234375	0.000000000000000266453525861171875
K5100 Main channel - 30.37" (9.54m)	74470	0.000000000000000013877797134548611171875	0.0000000000000001332267629305589375
K5100 Main channel - 30.37" (9.54m)	74471	0.00000000000000000693889856727272734375	0.0000000000000000666133714627946875
K5100 Main channel - 30.37" (9.54m)	74472	0.0000000000000000034694492836363636875	0.000000000000000033306685714627946875
K5100 Main channel - 30.37" (9.54m)	74473	0.00000000000000000173472464181818184375	0.00000000000000001665334285714627946875
K5100 Main channel - 30.37" (9.54m)	74474	0.0000000000000000008673623209090909375	0.0000000000000000083266714285714627946875
K5100 Main channel - 30.37" (9.54m)	74475	0.00000000000000000043368116045454546875	0.000000000000000004163335714285714627946875
K5100 Main channel - 30.37" (9.54m)	74476	0.000000000000000000216840580227272734375	0.0000000000000000208166785714285714627946875
K5100 Main channel - 30.37" (9.54m)	74477	0.00000000000000000010842029011363636875	0.000000000000000010408339285714285714627946875
K5100 Main channel - 30.37" (9.54m)	74478	0.000000000000000000054210145056818184375	0.00000000000000000520416964285714285714627946875
K5100 Main channel - 30.37" (9.54m)	74479	0.00000000000000000002710507252840909375	0.000000000000000026020848214285714285714627946875
K5100 Main channel - 30.37" (9.54m)	74480	0.000000000000000000013552536264204546875	0.00000000000000001301042410714285714285714627946875
K5100 Main channel - 30.37" (9.54m)	74481	0.0000000000000000000067762681302272734375	0.0000000000000000065052120535714285714285714627946875
K5100 Main channel - 30.37" (9.54m)	74482	0.00000000000000000000338813406063636875	0.00000000000000003252606026785714285714285714627946875
K5100 Main channel - 30.37" (9.54m)	74483	0.000000000000000000001694067030318184375	0.0000000000000000162630301339285714285714285714627946875
K5100 Main channel - 30.37" (9.54m)	74484	0.0000000000000000000008470335151590909375	0.0000000000000000081315151369285714285714285714627946875
K5100 Main channel - 30.37" (9.54m)	74485	0.0000000000000000000004235167575754546875	0.0000000000000000406575756846875
K5100 Main channel - 30.37" (9.54m)	74486	0.00000000000000000000021175837878782272734375	0.000000000000000020328787842171875
K5100 Main channel - 30.37" (9.54m)	74487	0.000000000000000000000105879189393911363636875	0.00000000000000001016439392109375
K5100 Main channel - 30.37" (9.54m)	74488	0.000000000000000000000052939594696956818184375	0.00000000000000000508219696046875
K5100 Main channel - 30.37" (9.54m)	74489	0.00000000000000000000002646979734848484375	0.0000000000000000254109848303171875
K5100 Main channel - 30.37" (9.54m)	74490	0.000000000000000000000013234898671717171875	0.00000000000000001270549241516875
K5100 Main channel - 30.37" (9.54m)	74491	0.000000000000000000000006617449335888889375	0.000000000000000006352746207584375
K5100 Main channel - 30.37" (9.54m)	74492	0.000000000000000000000003308722169444446875	0.0000000000000000031763731037921875
K5100 Main channel - 30.37" (9.54m)	74493	0.00000000000000000000000165436108472222234375	0.0000000000000000015881865515939375
K5100 Main channel - 30.37" (9.54m)	74494	0.000000000000000000000000827180542361111171875	0.00000000000000000794092775796875
K5100 Main channel - 30.37" (9.54m)	74495	0.00000000000000000000000041359027118055556875	0.000000000000000003970463878984375
K5100 Main channel - 30.37" (9.54m)	74496	0.0000000000000000000000002067951355927272734375	0.000000000000000001985231939446875
K5100 Main channel - 30.37" (9.54m)	74497	0.000000000000000000000000103397567791363636875	0.0000000000000000099261596972234375
K5100 Main channel - 30.37" (9.54m)	74498	0.0000000000000000000000000516987838956818184375	0.0000000000000000049630798486171875
K5100 Main channel - 30.37" (9.54m)	74499	0.000000000000000000000000025849391947840909375	0.0000000000000000024815399243089375
K5100 Main channel - 30.37" (9.54m)	74500	0.0000000000000000000000000129246959738944446875	0.00000000000000000124076996215446875
K5100 Main channel - 30.37" (9.54m)	74501	0.000000000000000000000000006462347986944446875	0.00000000000000000620384981072234375
K5100 Main channel - 30.37" (9.54m)	74502	0.00000000000000000000000000323117399347222234375	0.00000000000000000310192490536171875
K5100 Main channel - 30.37" (9.54m)	74503	0.0000000000000000000000000016155869967361111171875	0.00000000000000000155096245268089375
K5100 Main channel - 30.37" (9.54m)	74504	0.0000000000000000000000000008077934983655556875	0.000000000000000007754812263404375
K5100 Main channel - 30.37" (9.54m)	74505	0.0000000000000000000000000004038967491827777871875	0.0000000000000000038774061317021875
K5100 Main channel - 30.37" (9.54m)	74506	0.000000000000000000000000000201948374591363636875	0.0000000000000000019387030658516875
K5100 Main channel - 30.37" (9.54m)	74507	0.0000000000000000000000000001009741872956818184375	0.0000000000000000009693515329285714285714627946875
K5100 Main channel - 30.37" (9.54m)	74508	0.000000000000000000000000000050487093647840909375	0.0000000000000000048467576646171875
K5100 Main channel - 30.37" (9.54m)	74509	0.0000000000000000000000000000252435468239204546875	0.0000000000000000024233788323089375
K5100 Main channel - 30.37" (9.54m)	74510	0.000000000000000000000000000012621773411962272734375	0.00000000000000000121168941615446875
K5100 Main channel - 30.37" (9.54m)	74511	0.000000000000000000000000000006310886705981363636875	0.000000000000000006058447080772234375
K5100 Main channel - 30.37" (9.54m)	74512	0.0000000000000000000000000000031554433529906818184375	0.000000000000000003029223540386