

VICINITY MAP

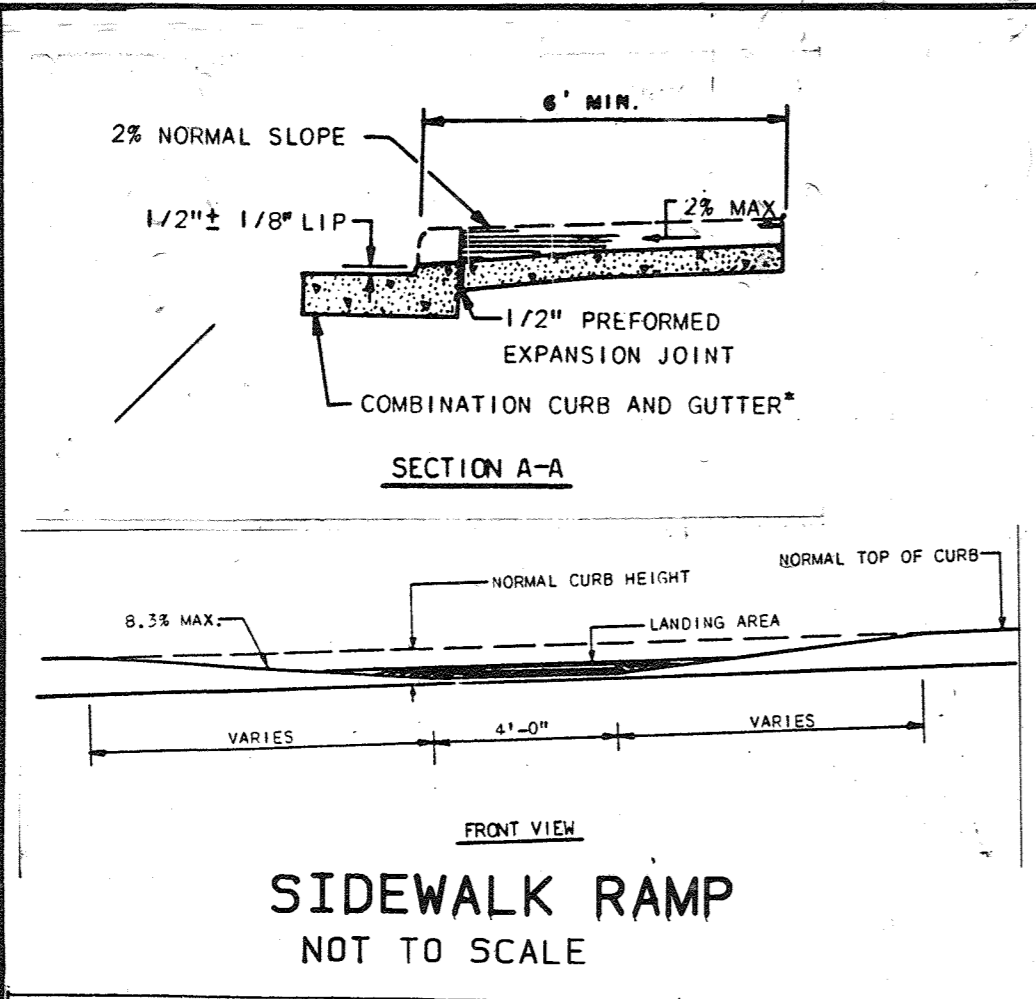
ADDRESS CHART

LOT NUMBER	STREET ADDRESS
6700	FREETOWN ROAD

SUBDIVISION NAME	SECT./AREA	LOT/PARCEL
N/A		292

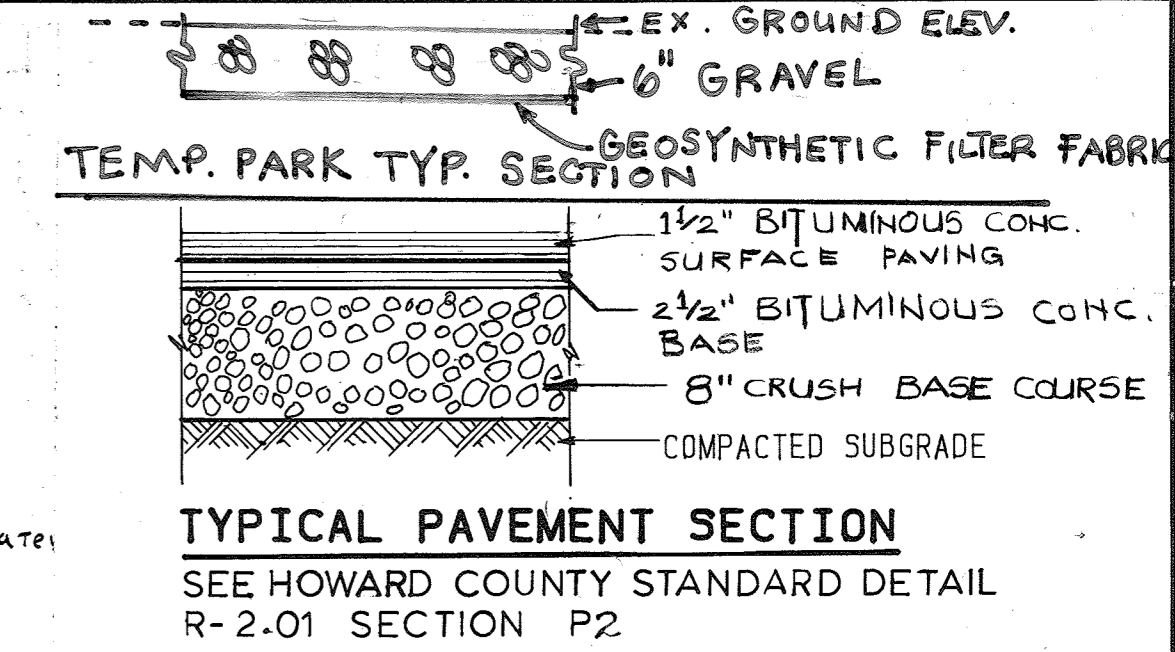
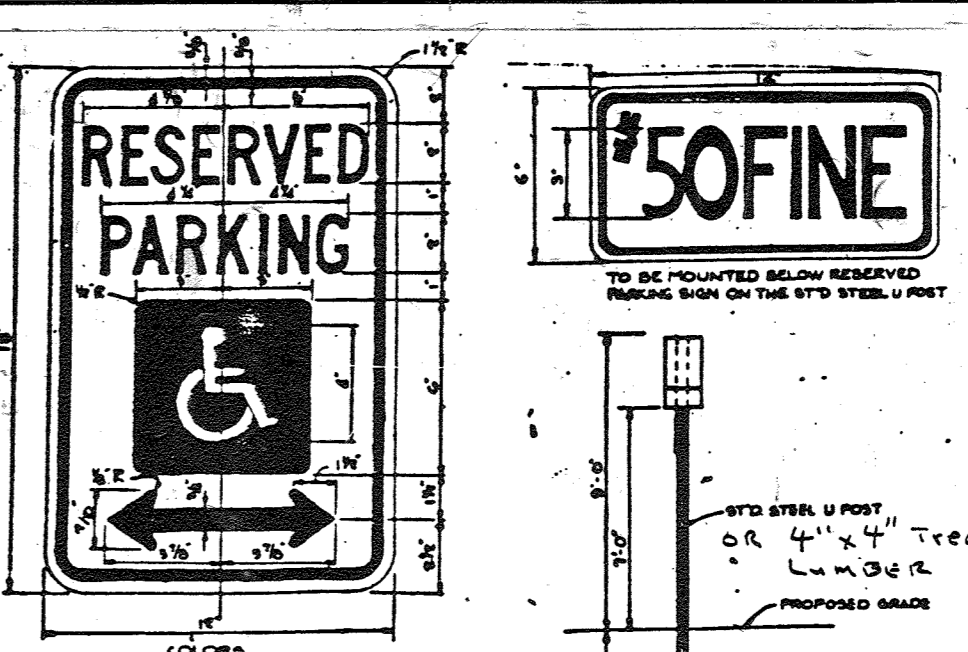
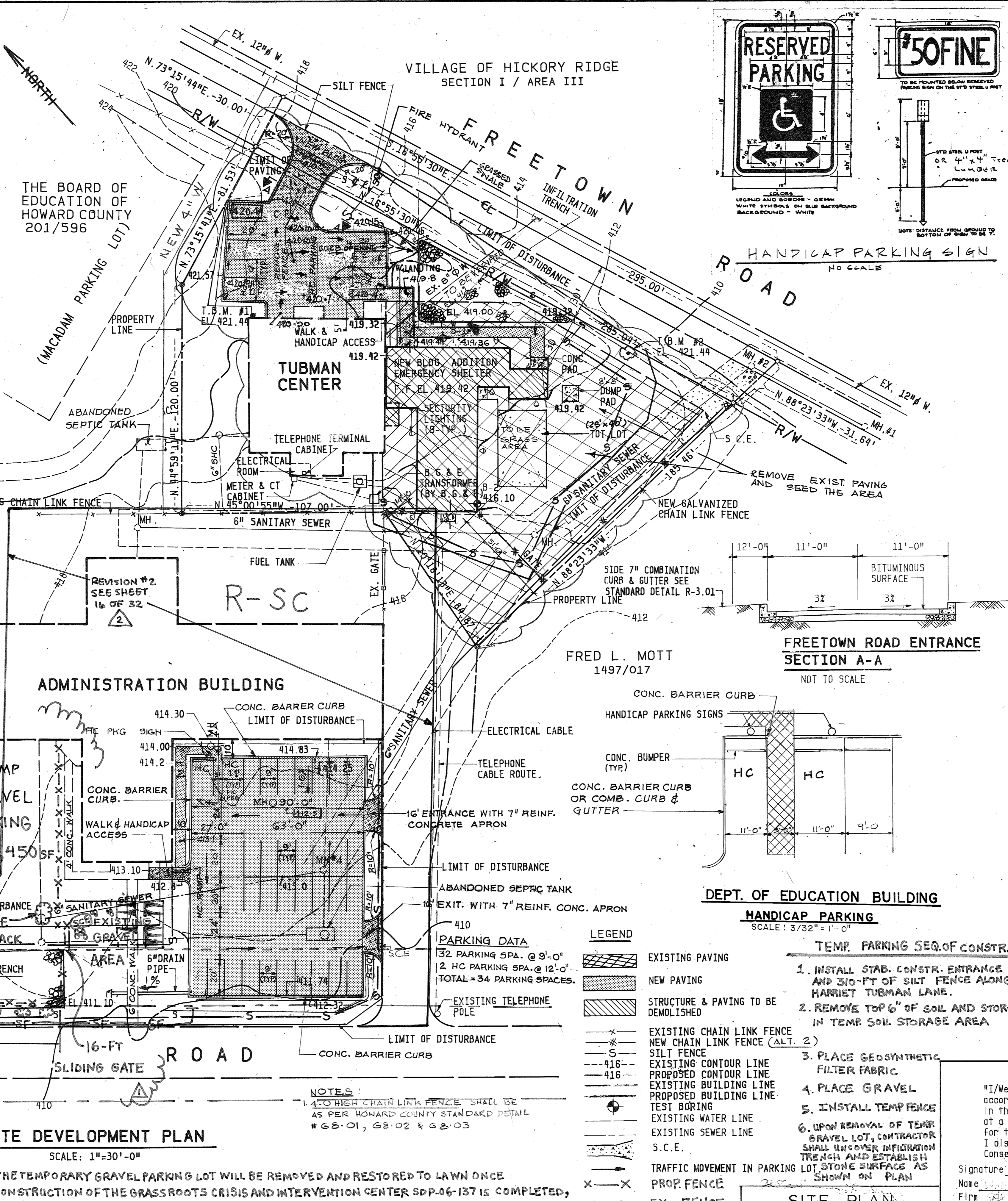
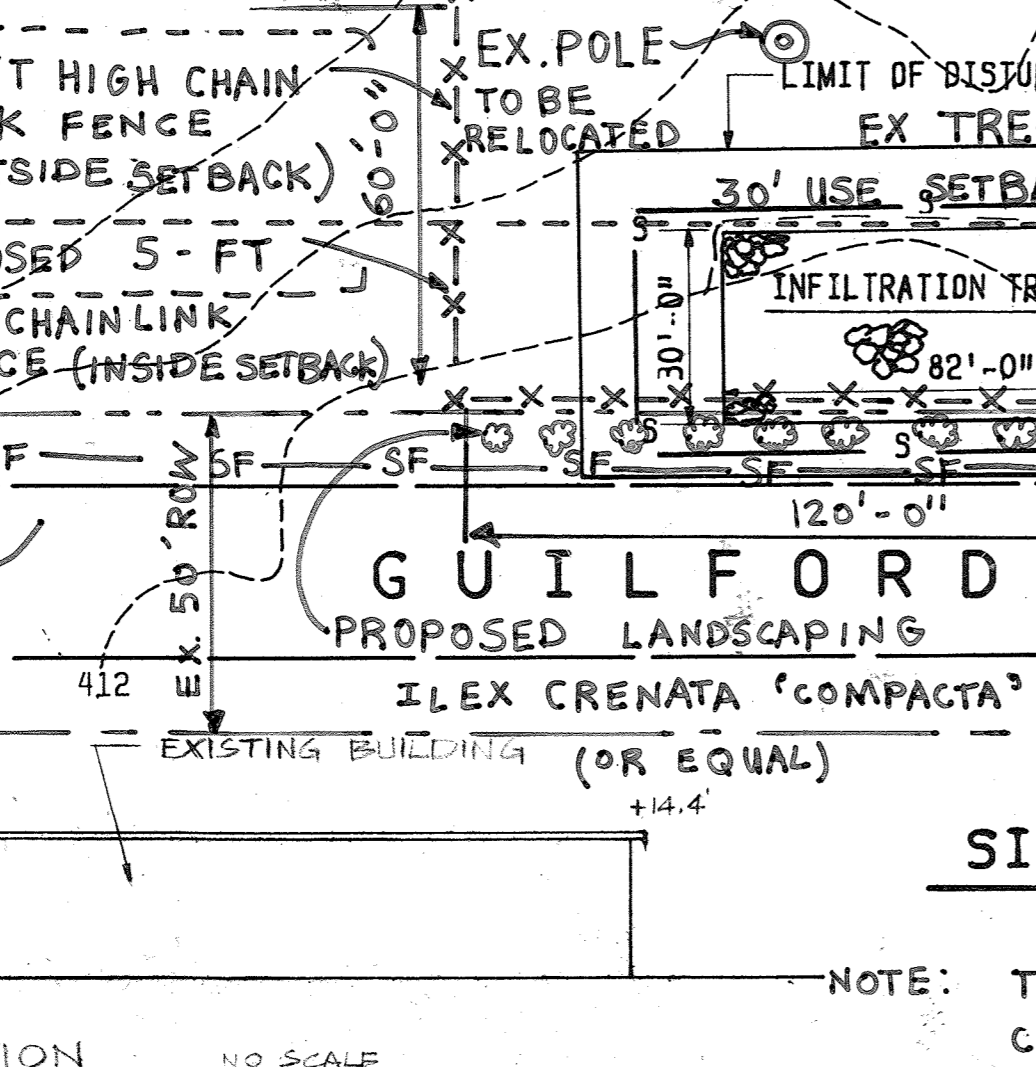
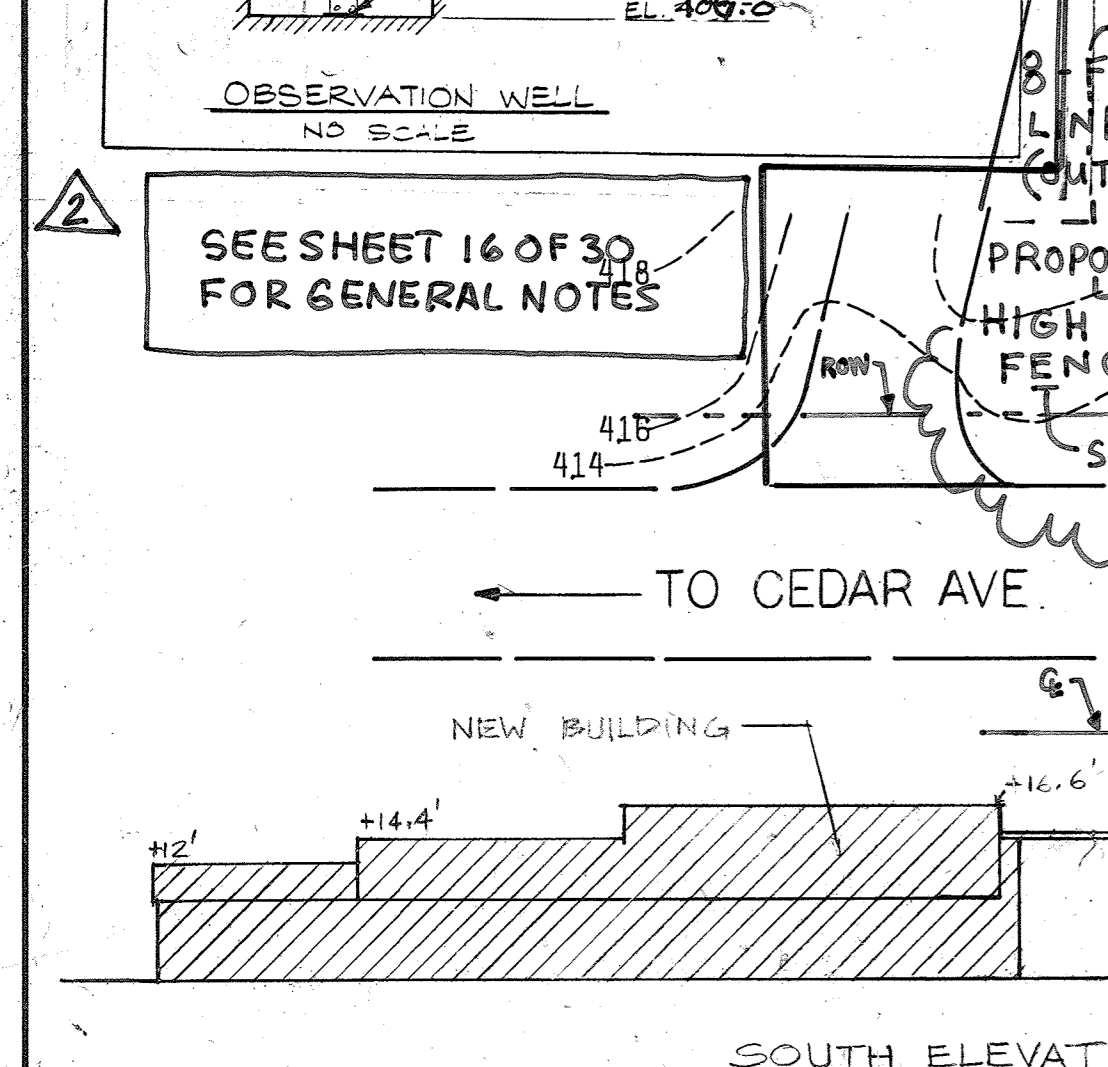
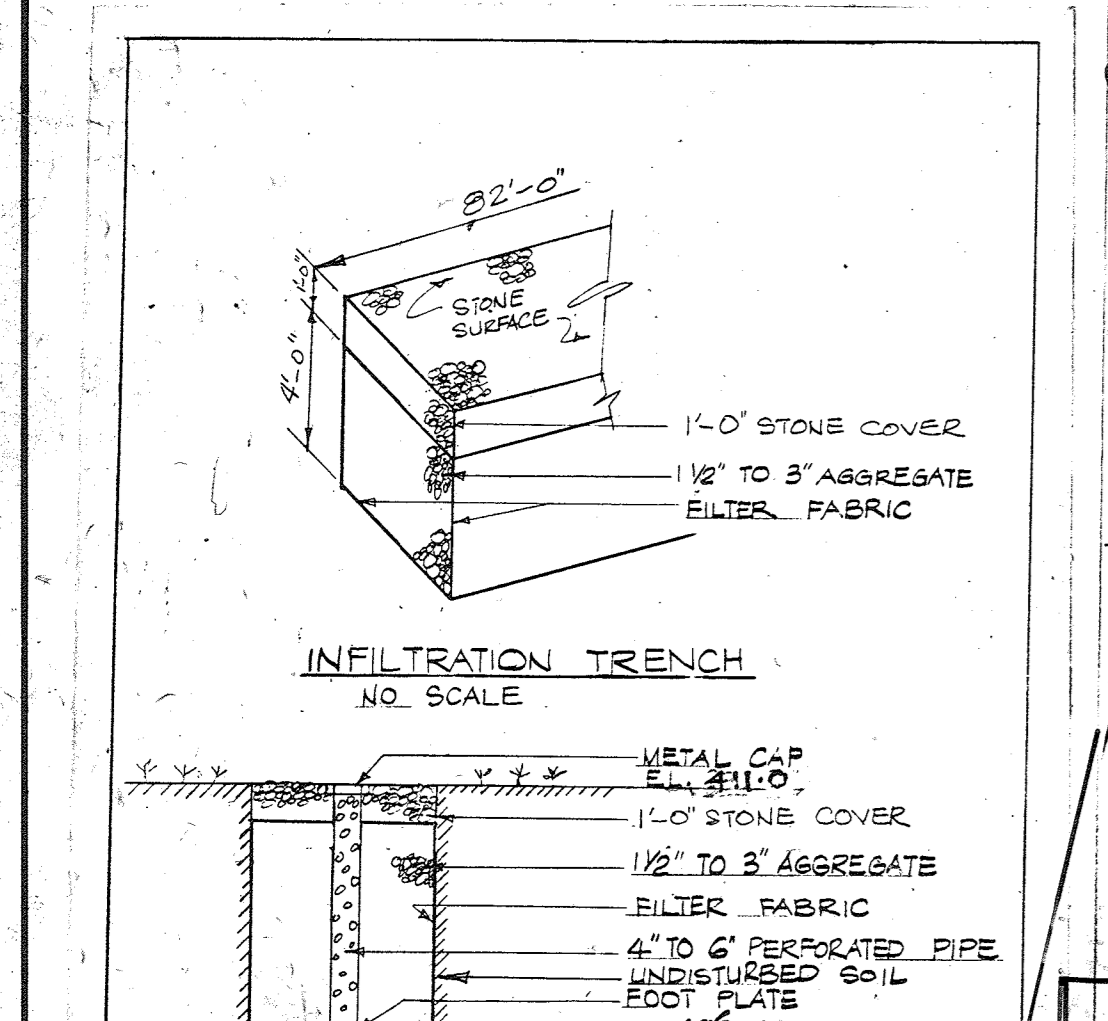
PLAT OR L/F	BLOCK	ZONE	TAX/ZONE MAP	ELEC. DIST.	CENSUS TR.
201/292	24	R-SC	35	5	6053-01

WATER CODE	SEWER CODE
E 29	532500



ITEM	EXISTING	PROPOSED
Total Area	3.48 acre	3.48 ACRES
Paved Bldg Area	0.49 acre	0.29 acre
Area to be Vegetated	-	0.023 acre
Total Disturbed Area	0	1.2 acre
Total Undisturbed Area	3.48	2.28 acre
Parking Places	26	REGULAR = 37 HC = 4
Temp. Parking Places	29	Maint. Veh. Only
Temp. Dist. Area	0.29 acre	EXISTING CHAIN LINK FENCE

- PLAN SHEET INDEX**
- SITE DEVELOPMENT PLAN
 - SEDIMENT CONTROL NOTES
 - FLOOR PLAN AND ELEVATIONS
 - SECTIONS AND DETAILS
 - EXTERIOR WALL DETAILS
 - INDIVIDUAL BEDROOM DETAIL AND DOOR SCHEDULE
 - FOUNDATION, ROOF FRAMING PLAN AND DETAILS
 - HVAC PLAN
 - PLUMBING AND SCHEDULE
 - FIRE PROTECTION PLAN
 - ELECTRICAL LIGHTING
 - ELECTRICAL POWER AND COMMUNICATION
 - PANEL SCHEDULES
 - EXISTING CONDITIONS PLAN
 - DEMOLITION PLAN
 - PROPOSED CONDITIONS PLAN
 - PROPOSED STAIRS AND PAVEMENT MARKING PLAN
 - SITE DETAILS
 - PLAYGROUND DETAILS
 - STORM DRAIN PLAN AND PROFILES
 - SANITARY PROFILES
 - EROSION & SEDIMENT CONTROL PLAN
 - EROSION & SEDIMENT CONTROL DETAILS
 - EROSION & SEDIMENT CONTROL NOTES
 - EROSION & SEDIMENT CONTROL NOTES
 - STORMWATER MANAGEMENT PLAN - MMSIA
 - STORMWATER MANAGEMENT PLAN - MMSIB
 - STORMWATER MANAGEMENT DETAILS
 - PROPOSED LANDSCAPE PLAN
 - PROPOSED LANDSCAPE NOTES AND DETAILS



TYPICAL PAVEMENT SECTION
SEE HOWARD COUNTY STANDARD DETAIL R-2-01 SECTION P2

APPROVED: HOWARD COUNTY GENERAL ENGINEERING DIV.
CHIEF: [Signature] DATE: [Date]

APPROVED: HOWARD COUNTY DEPT. OF CITIZEN SERVICE
DIRECTOR: [Signature] DATE: [Date]

APPROVED: HOWARD COUNTY BUREAU OF HIGHWAYS, TRAFFIC ENGINEERING DIVISION.
CHIEF: [Signature] DATE: [Date]

APPROVED: HOWARD COUNTY BUREAU OF LAND AND PERMITS.
CHIEF: [Signature] DATE: [Date]

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.
SIGNATURE: [Signature] DATE: 7/26/88

U.S. SOIL CONSERVATION SERVICE
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
APPROVED: [Signature] DATE: 7/26/88

APPROVED: FOR HOWARD COUNTY PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
[Signature] County Health Officer DATE: 7/26/88

APPROVED: Howard County Office of Planning and Zoning.
Director: [Signature] DATE: 7-27-88

Chief: Division of Community Planning And Land Development
[Signature] DATE: 7-28-88

APPROVED: For Public Water and Public Sewerage, Storm Drainage Systems and Public Roads.
Howard County Department of Public Works.
Director: [Signature] DATE: 7/28/88

Chief: Bureau of Engineering
[Signature] DATE: 7/28/88

ENGINEER'S CERTIFICATE

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District".

[Signature] SNEHAL MUNSHI DATE: 7-13-88

Registered Professional Engineer #5940

OWNER'S/DEVELOPER'S CERTIFICATION

"I/We Certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District".

Signature: [Signature] Title: [Title] Date: [Date]

Firm: [Firm Name] Complete Address: [Address] Phone No.: [Phone No.]

ARCHITECTURAL TECHNOLOGIES, INC.
Architects and Construction Consultants
8950 Route 108, Gorman Plaza, suite 114
Columbia, MD, 21045 (301)995-4067

AASTECH INC.
CONSULTING ENGINEER
2511, ST. PAUL STREET
BALTIMORE, MD. 21218.
(301)366-3737.

THE BOARD OF EDUCATION OF HOWARD COUNTY
201/596

[Professional Engineer Seal]

REVISIONS

- 12/06 ADD A TEMP. PARKING LOT WITH FENCING
- 7/11/21 REVISED PLANS TO SHOW SITE MODS FOR THE EX. BLDG., NEW SWM & SITE IMPROVEMENTS

REVISOR

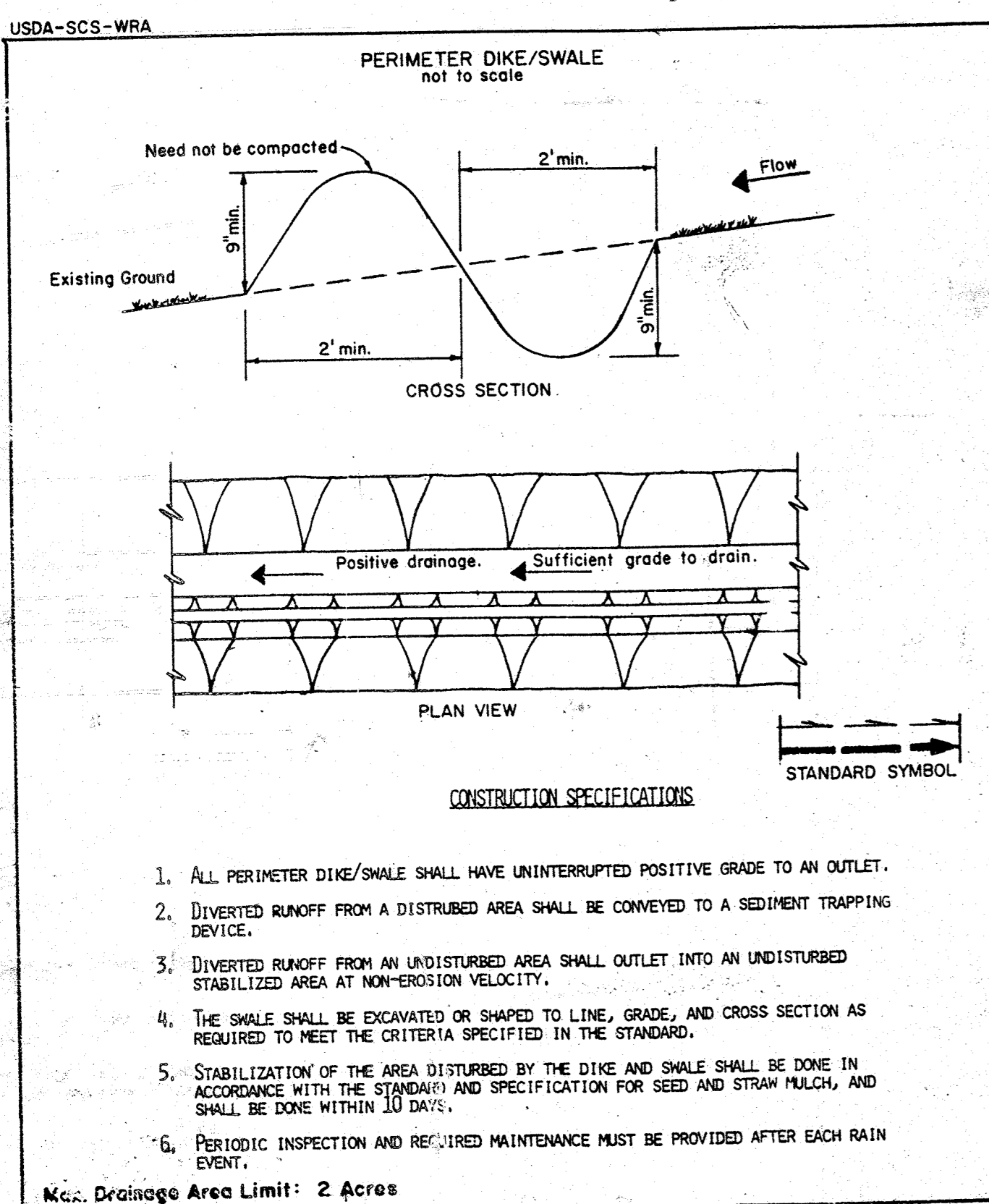
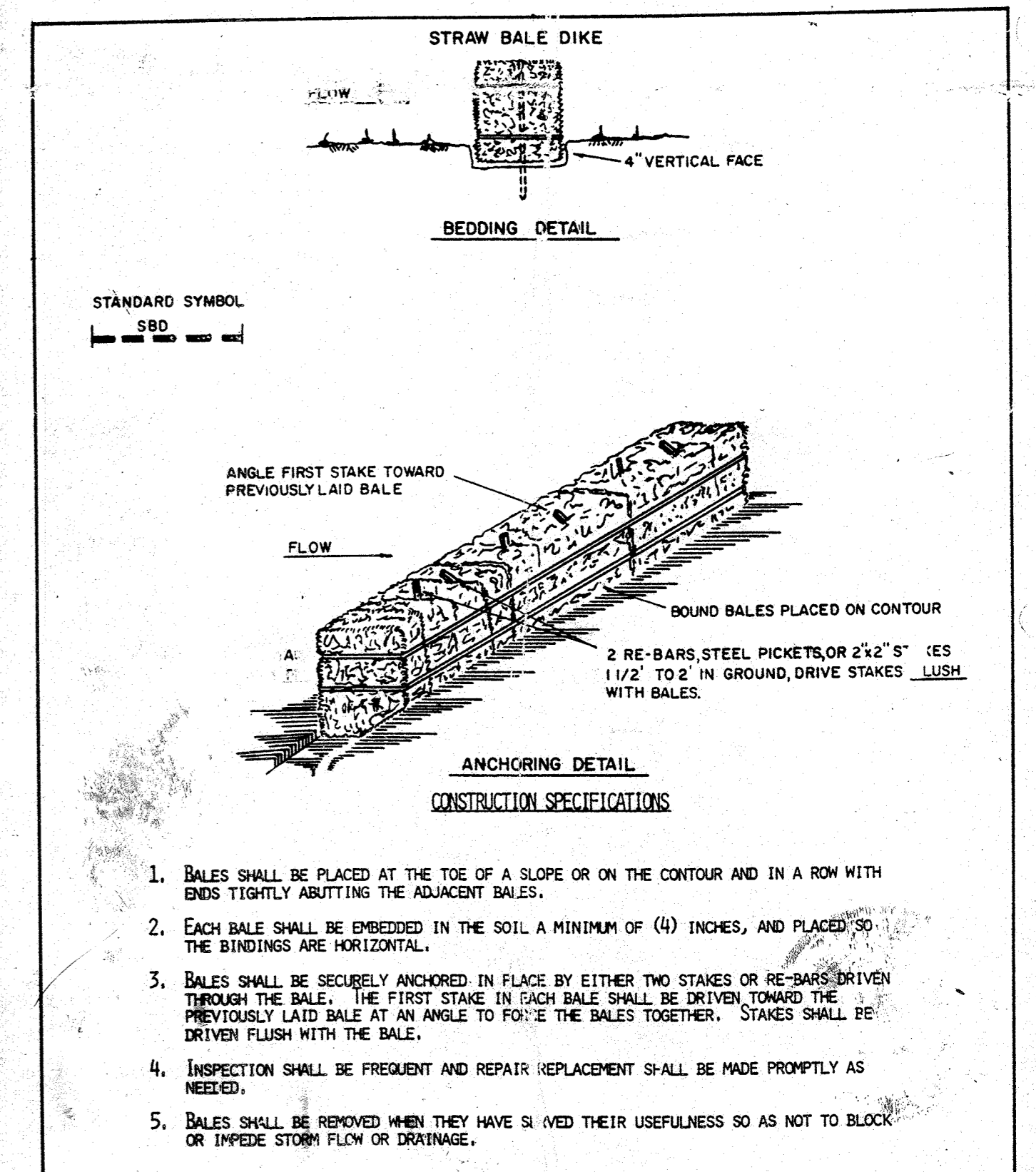
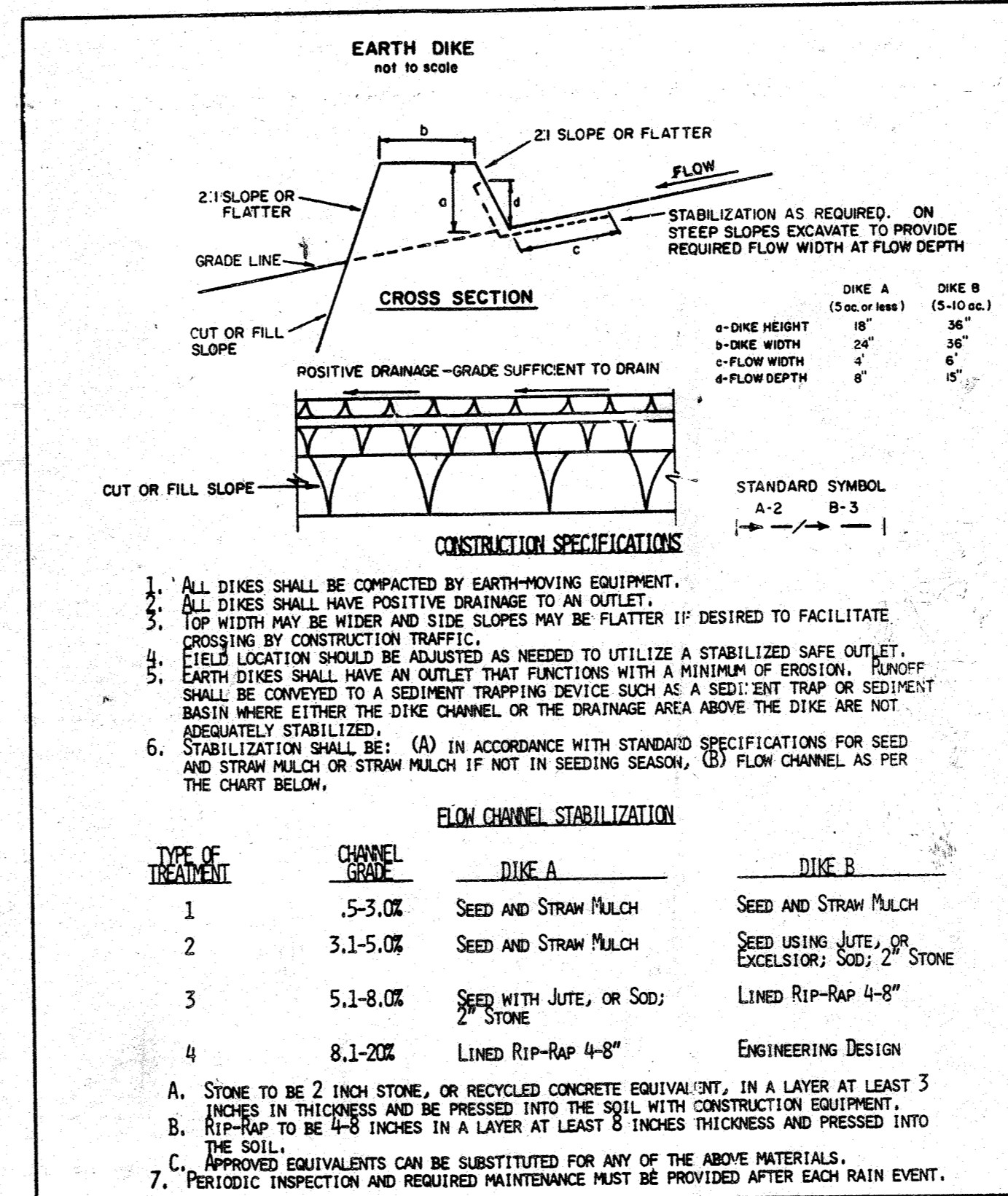
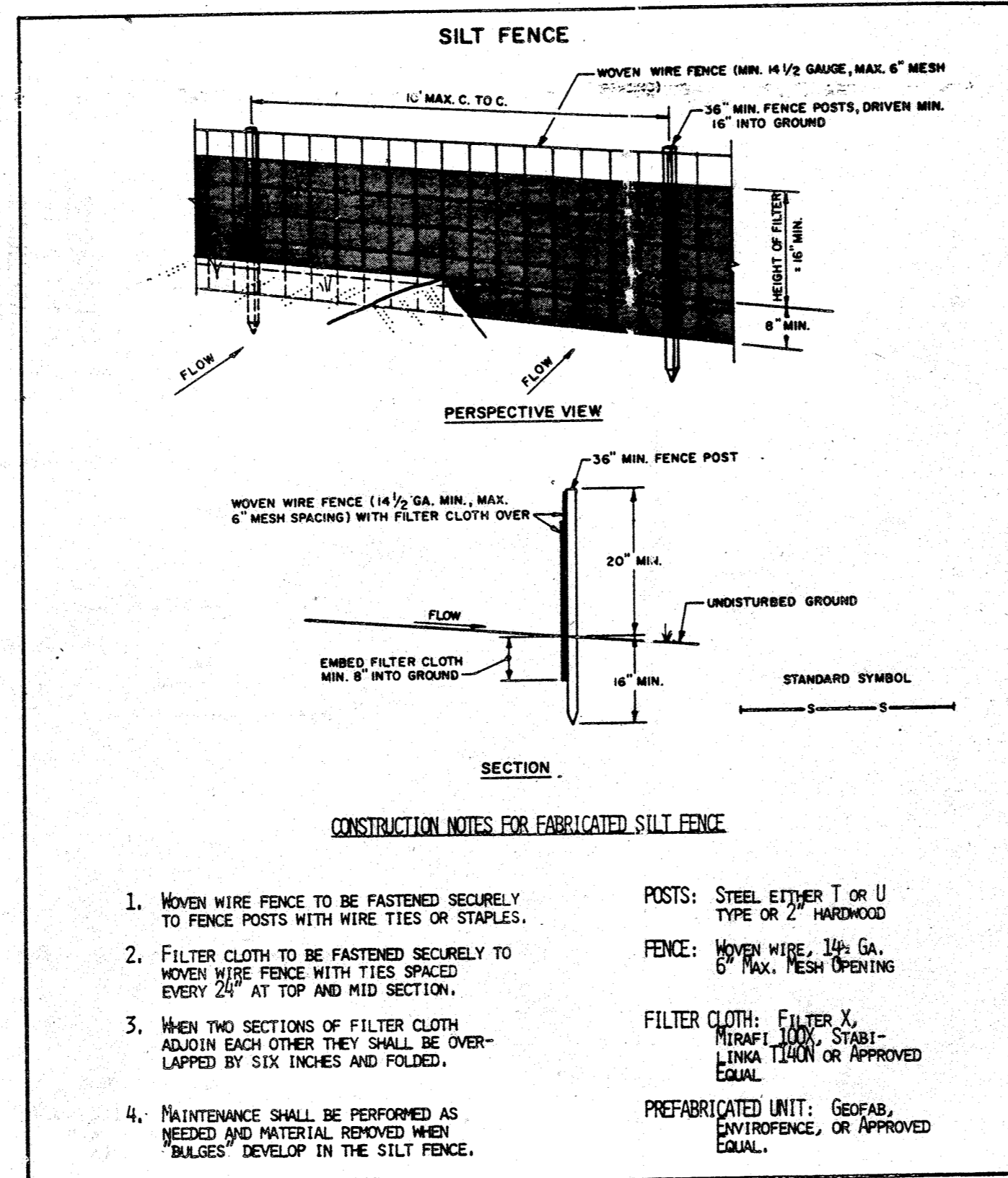
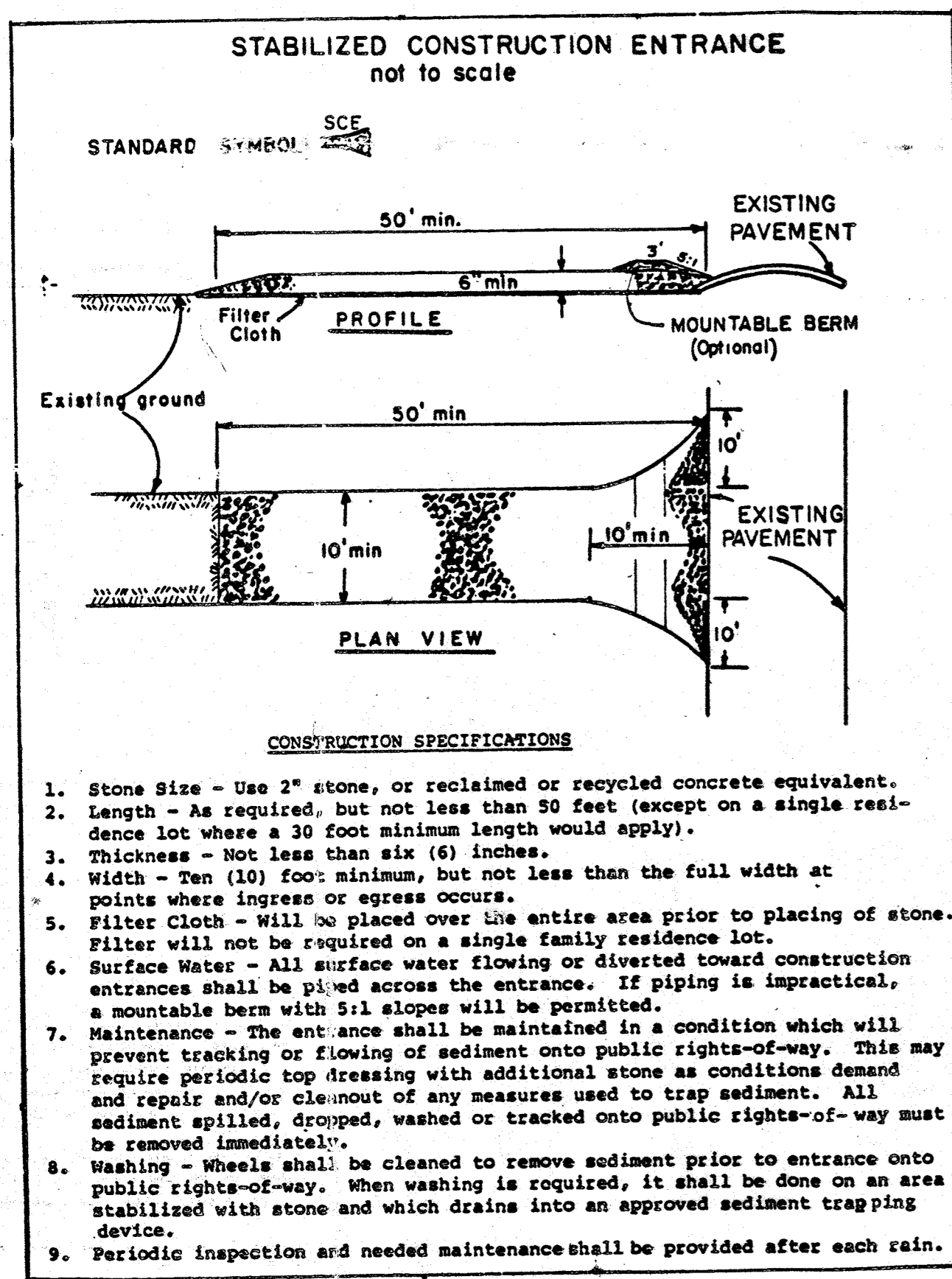
12/06 ADD A TEMP. PARKING LOT WITH FENCING

7/11/21 REVISED PLANS TO SHOW SITE MODS FOR THE EX. BLDG., NEW SWM & SITE IMPROVEMENTS

REVISOR

12/06 ADD A TEMP. PARKING LOT WITH FENCING

7/11/21 REVISED PLANS TO SHOW SITE MODS FOR THE EX. BLDG., NEW SWM & SITE IMPROVEMENTS



- ### SEDIMENT CONTROL NOTES
- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (992-2437).
 - All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
 - Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
 - All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
 - All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec.51), sod (Sec.54), temporary seeding (Sec.50) and mulching (Sec.52). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
 - All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
 - Site Analysis:
 Total Area of Site: 3.48 AC
 Area Disturbed: 1.20 AC
 Area to be roofed or paved: 0.29 AC
 Area to be vegetatively stabilized: 0.91 AC
 *Total Cut:
 *Total Fill:
 Offsite waste/borrow area location: TO BE SUBMITTED BY CONTRACTOR
 * These quantities are provided for the Howard County S.C.D. information only. The contractor shall not rely on these quantities and shall not be relieved from the terms of the Contract Documents.
 - Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
 - Additional sediment controls must be provided, if deemed necessary by the Howard County D.P.W. sediment control inspector.
 - On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.

- ### GENERAL NOTES
- The approximate location of all utilities is shown based on the information obtained from available records. The contractor shall locate, protect, and support the existing utilities and maintain uninterrupted service. Any damage incurred shall be repaired immediately to the satisfaction of the engineer/inspector at the contractor's expense.
 - The contractor shall locate existing utilities a minimum of two (2) weeks in advance of construction operations in the vicinity of the proposed utilities at his own expense.
 - Contractor shall notify the following utilities or agencies at least five (5) working days before starting work shown on these plans.
 State Highway Administration: 531-5533
 Baltimore Gas & Electric Co.: 243-6313
 Contractor Service: 561-2585
 Underground Damage Control: 243-6313
 Trouble-Shooting: 298-9013
 Miss Utility: (800)257-7777
 C&P Telephone Company: 725-9976
 Bureau of Utilities/Howard Co.: 992-2366
 - All details not shown on the drawings shall be constructed in accordance with Howard County Standard details.
 - All materials and construction methods shall be in accordance with Howard County specifications and Howard County Design Manual, Volume IV.
 - All horizontal and vertical controls are based on Maryland State Plane Coordinates System provided by Howard County.
 - All pipe elevations are invert elevations.
- ### CONSTRUCTION SEQUENCE
- Obtain grading permit.
 - Install SCE, clear perimeter for, and install silt fence and all other erosion and sediment controls. Complete this work without interruptions. - 7 DAYS
 - Demolish existing pavement at the locations for the proposed building, tot lot and walk and handicapped access. - 2 DAYS
 - Rough grade site. - 7 DAYS
 - Contact MISS UTILITY and install utilities. - 7 DAYS
 - Construct building and pave areas to be paved. - 20 DAYS
 - Construct infiltration trench. - 7 DAYS
 - Fine grade and stabilize site. - 15 DAYS
 - Remove all sediment control measures with permission of sediment control inspector, and stabilize the area occupied by the measures. - 7 DAYS

SEDIMENT CONTROL CERTIFICATION

By the Developer:

"I certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Richard S. Johnson 7/26/88
 Signature of Developer Date
 Print name below signature

By the Engineer:

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Richard S. Johnson 7-15-88
 Signature of Engineer Date
 Print name below signature

Reviewed for HOWARD S.C.D. and meets Technical Requirements
Richard S. Johnson 7/26/88
 U.S. Soil Conservation Date
 Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

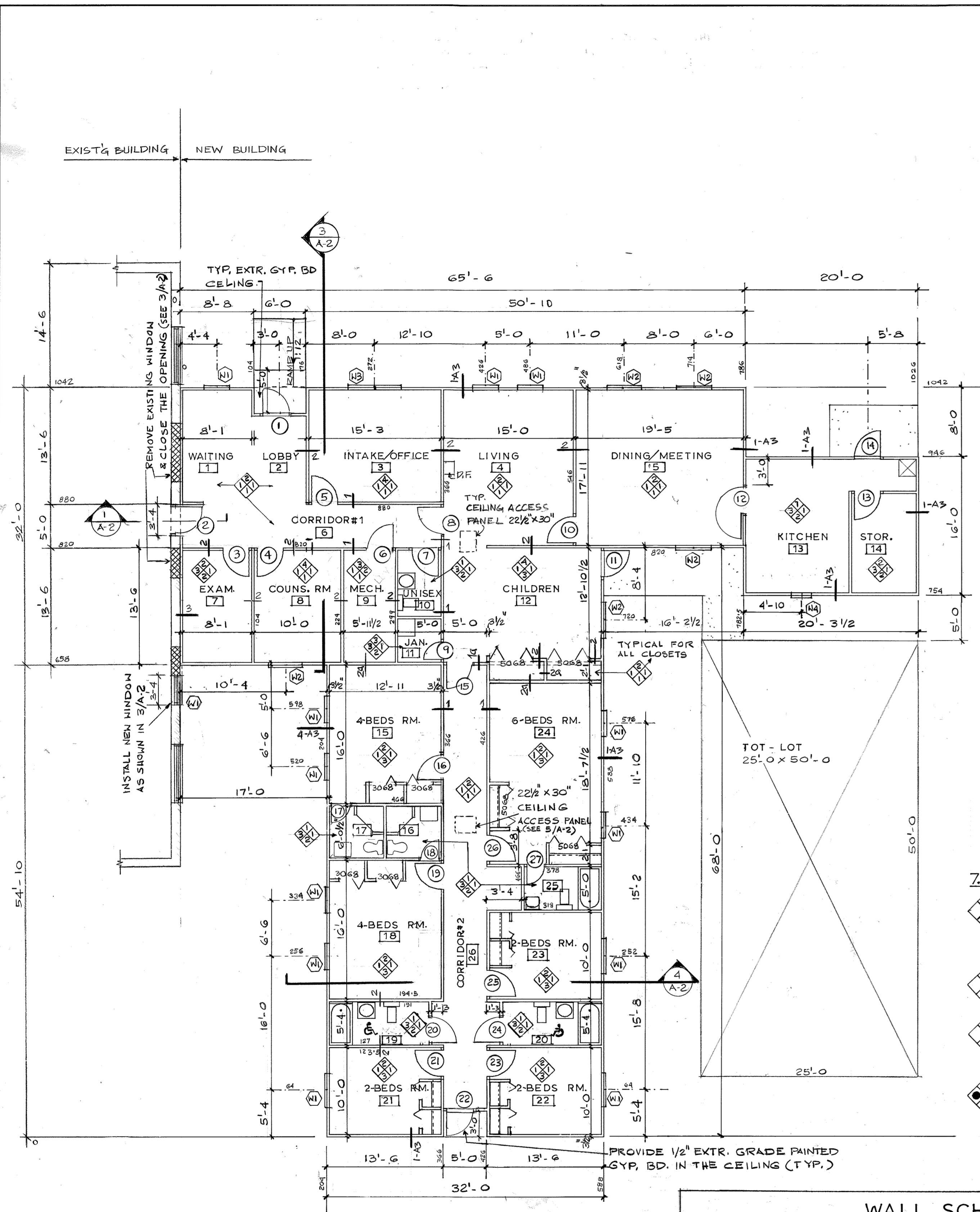
Richard S. Johnson 7/26/88
 Howard S.C.D. Date

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

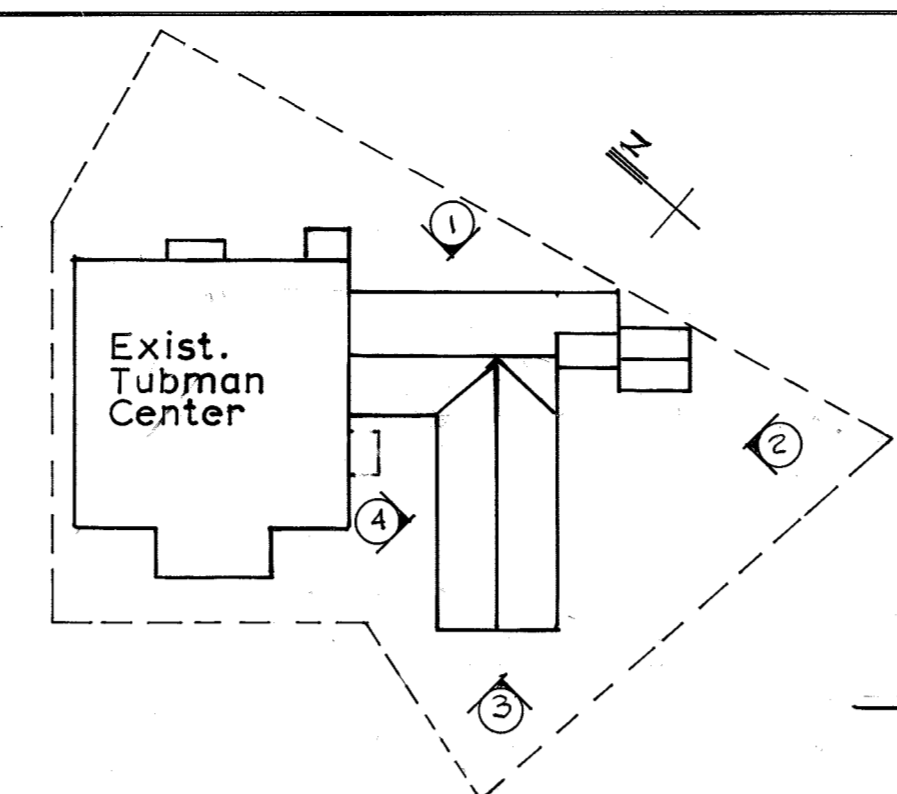
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER DATE
 APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
 DATE 7-27-88
 DIRECTOR DATE 7-28-88
 CHIEF BUREAU OF ENGINEERING DATE
 Chief, Division of Community Planning and Land Development

SEDIMENT CONTROL & NOTES



1. First Floor Plan 1/8" = 1'-0"



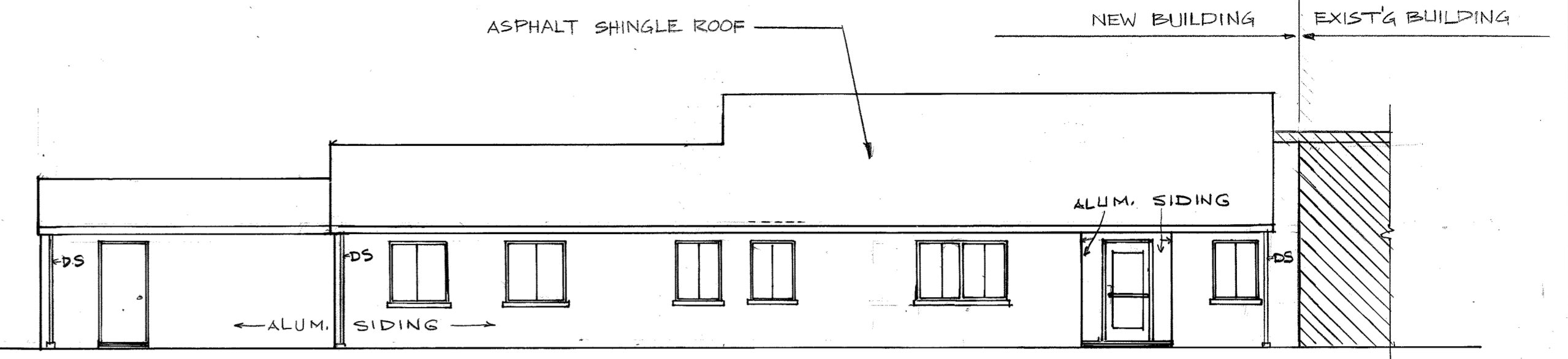
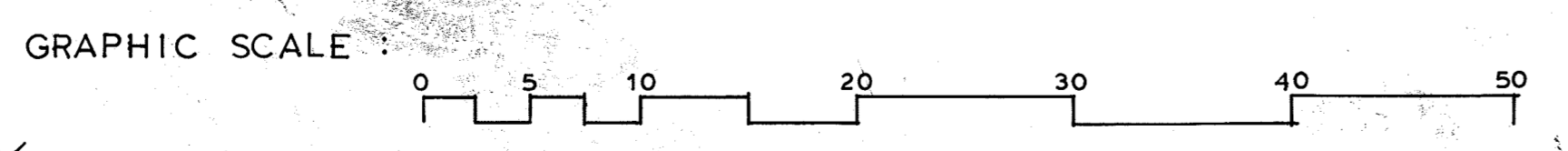
2. Key Plan no scale

GENERAL NOTES:
 DO NOT SCALE DRAWINGS.
 DIMENSIONS ARE SHOWN TO FACE OF STUDS OR NOMINAL FACE OF MASONRY, UNLESS OTHERWISE NOTED.
 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES, BOUNDARIES AND CONSTRUCTION BEFORE PROCEEDING WITH THE WORK AND HE SHALL IMMEDIATELY REPORT ANY DISCREPANCIES TO THE A/E.
 ALL CROSS HATCHED LINES IN THIS DRAWING INDICATE NEW WALL TO BE CONSTRUCTED TO MATCH WITH THE EXISTING WALL. TOOTH NEW MASONRY WALLS INTO EXISTING. PATCH ADJOINING WALLS, FLOORS, AND CEILING TO MATCH WITH ADJOINING FINISHES.
 ALL FIXTURES IN THE HANDICAPPED BATHROOMS SHALL BE INSTALLED ACCORDING TO ANSI A117.1-1986.
 THERMOSTATS, FIRE-ALARMS, PULL BOXES SWITCHES IN THE COMMON AREAS SHALL BE LOCATED NOT MORE THAN 4'-0" ABOVE THE FLOOR FINISH.

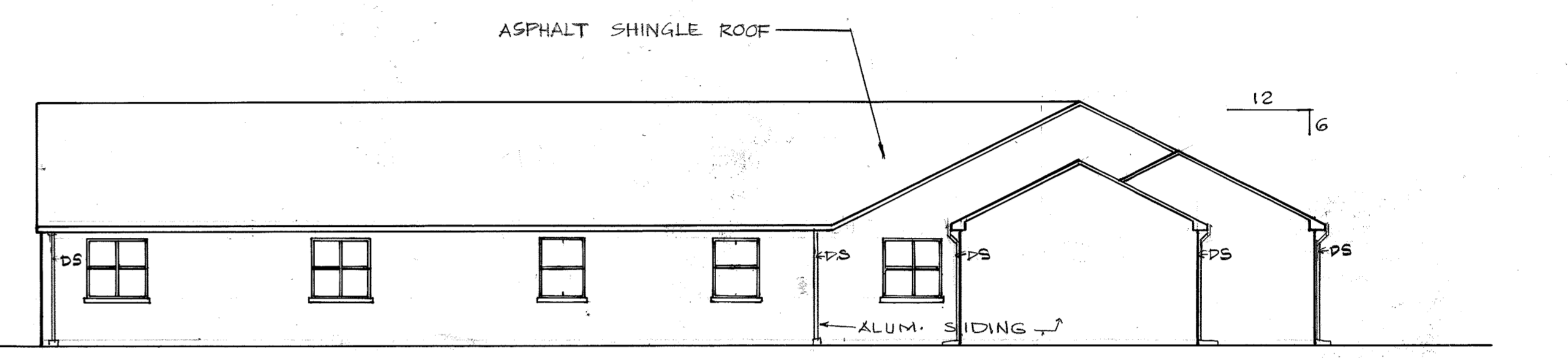
- 7. FINISH SCHEDULE**
- FLOOR: 1. SHEET VINYL
2. VINYL TILE
3. CONCRETE HARDENED
4. COMMERCIAL CARPET
 - BASE: 1. VINYL
2. NO BASE
 - WALL: 1. PAINTED GYP. WALL BD.(GWB)
2. EPOXY PAINTED GWB
3. PAINTED MASONITE BD ON GWB
 - CEILING: 1. PAINTED INTERIOR GWB
2. PAINTED EXTERIOR GWB
3. EPOXY PAINTED GWB

WALL SCHEDULE

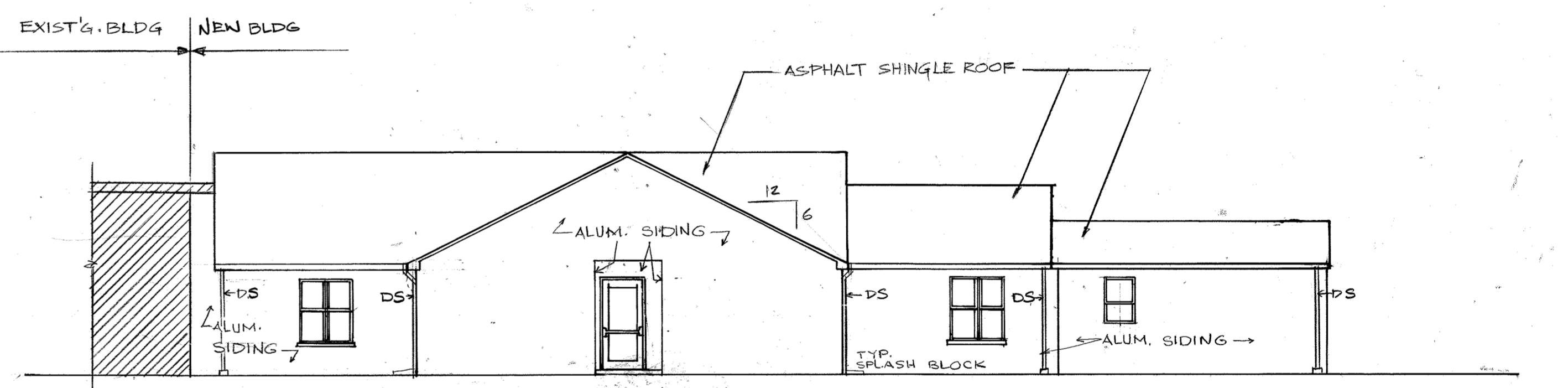
TYPE	DESCRIPTION	FIRE RESISTANT
1.	2x4 STUDS @ 24" O.C. 5/8" GYP. BD. ON BOTH SIDES	1 HR. UL # U309
1a.	2x4 STUDS @ 16" O.C. 5/8" GYP. BD. ON BOTH SIDES	1 HR. UL # U309
2.	2x4 STUDS @ 24" O.C. 1/2" GYP. BD. ON BOTH SIDES	1 HR. UL # U309
2a.	2x4 STUDS @ 16" O.C. 5/8" GYP. BD. ON BOTH SIDES	1 HR. UL # U309
3.	1 x 3 FURRING STRIP @ 24" O.C. 1/2" GYP. BD. ONE SIDE	



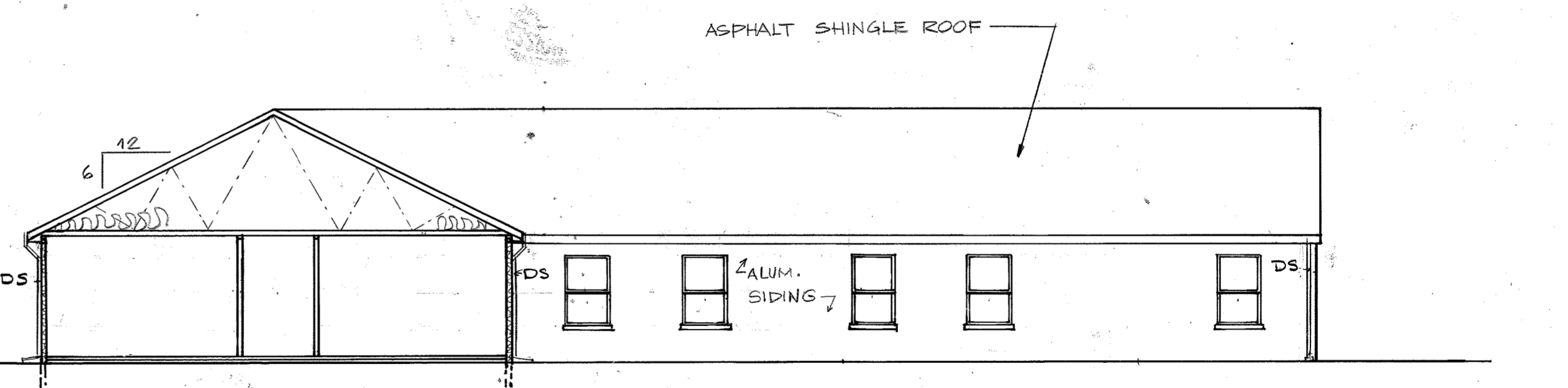
3. Elevation 1 : 1/8" = 1'-0"



4. Elevation 2 : 1/8" = 1'-0"

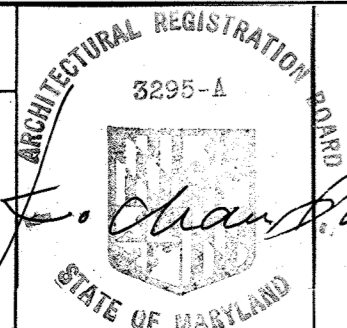


5. Elevation 3 : 1/8" = 1'-0"

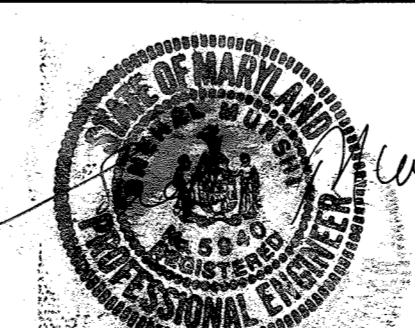


6. Elevation 4 : 1/8" = 1'-0"

ARCHITECTURAL TECHNOLOGIES, INC.
 Architects and Construction Consultants
 8950 Route 108, Gorman Plaza, suite 114
 Columbia, MD, 21045 (301)995-4067



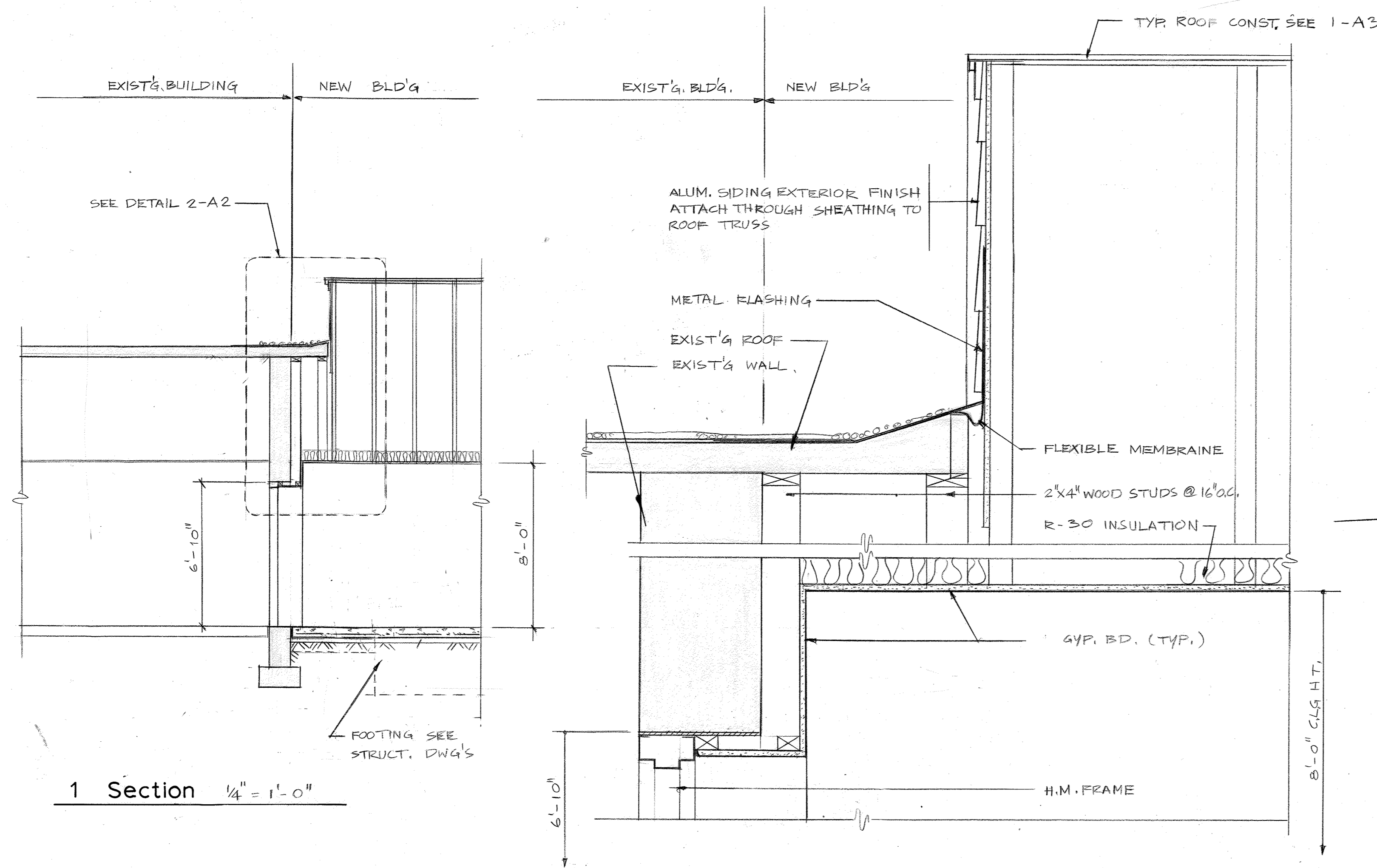
AASTECH INC.
 CONSULTING ENGINEER
 2511, ST. PAUL STREET
 BALTIMORE, MD. 21218.
 (301)366-3737.



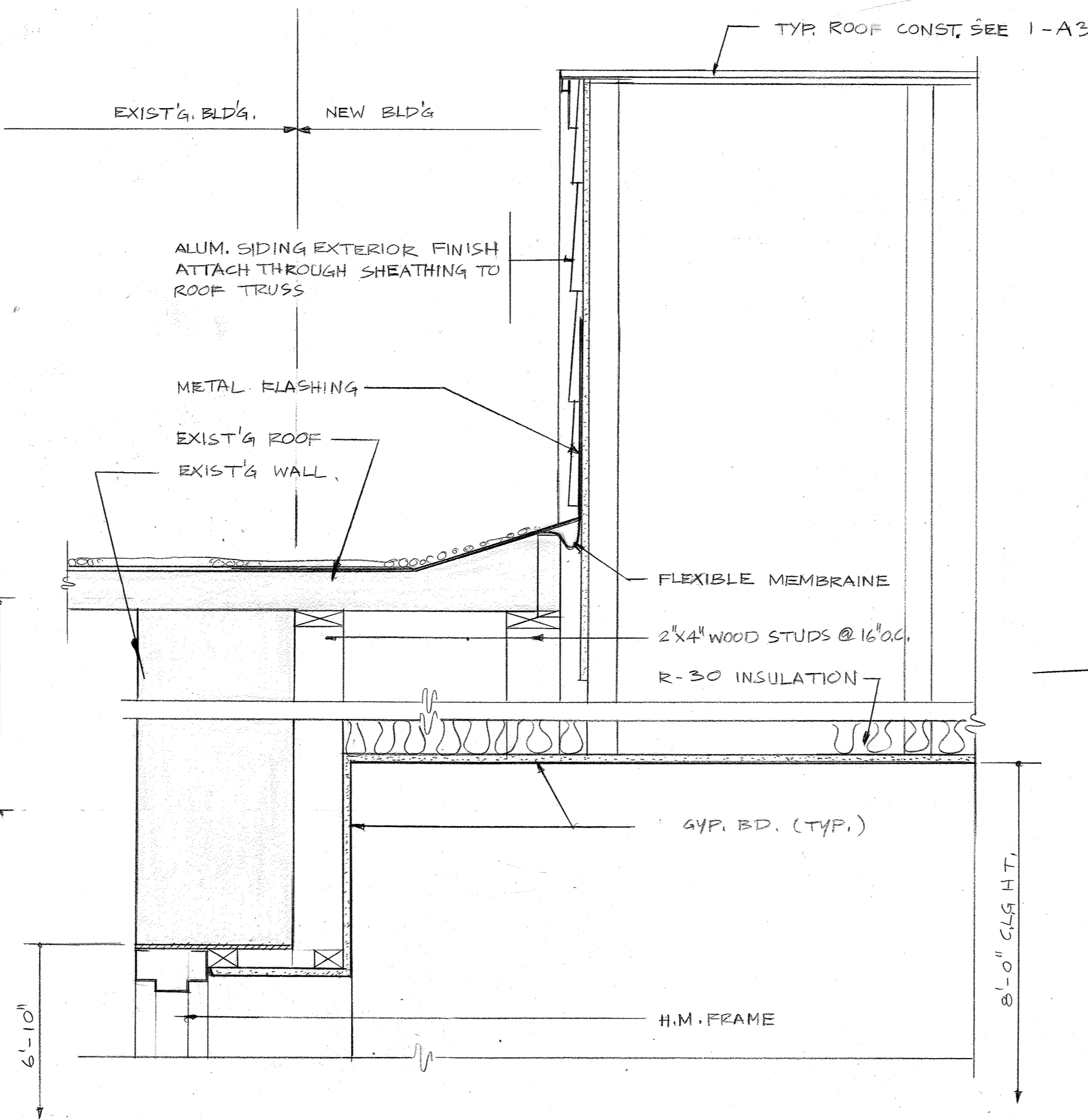
REVISIONS
 7/1/2021 REVISED PLANS TO SHOW SITE MODS FOR THE EX. BLDG., NEW SWM & SITE IMPROVEMENTS

FLOOR PLAN & ELEVATIONS		3 OF 32
REVISED SITE DEVELOPMENT PLAN AUDITORIUM RENOVATIONS HARRIET TUBMAN BUILDING 8045 HARRIET TUBMAN LANE COLUMBIA, MARYLAND		CAPITAL PROJECT NO. C - 0194 DATE: 07/14/08 DRAWING NO. A1

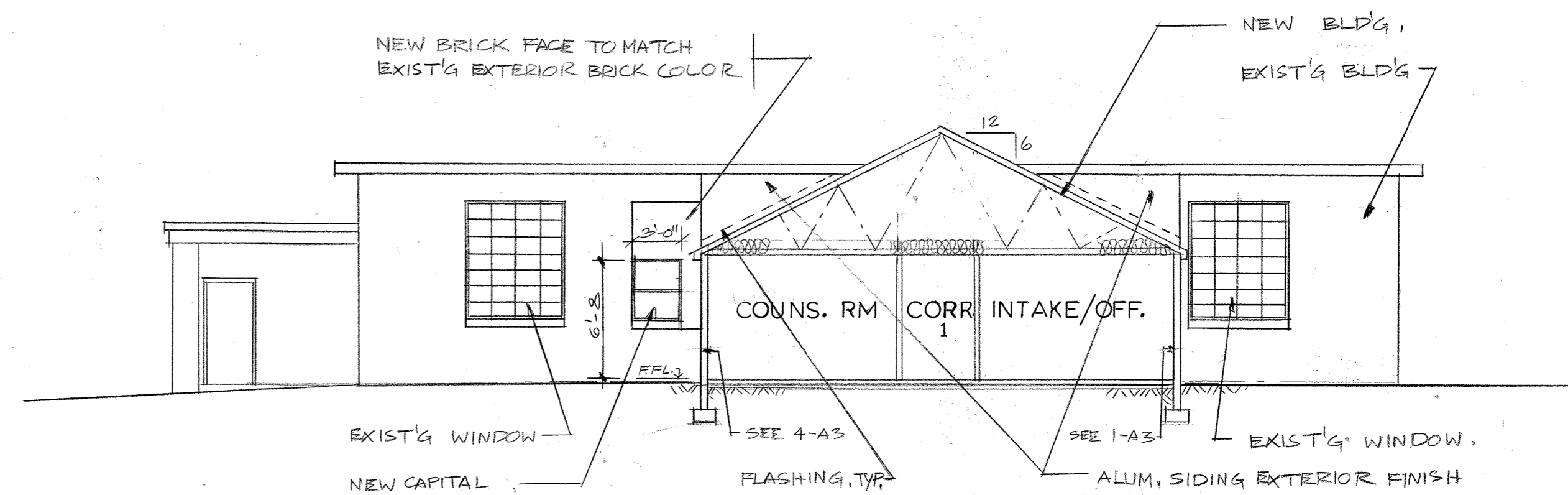
SDP 89-28



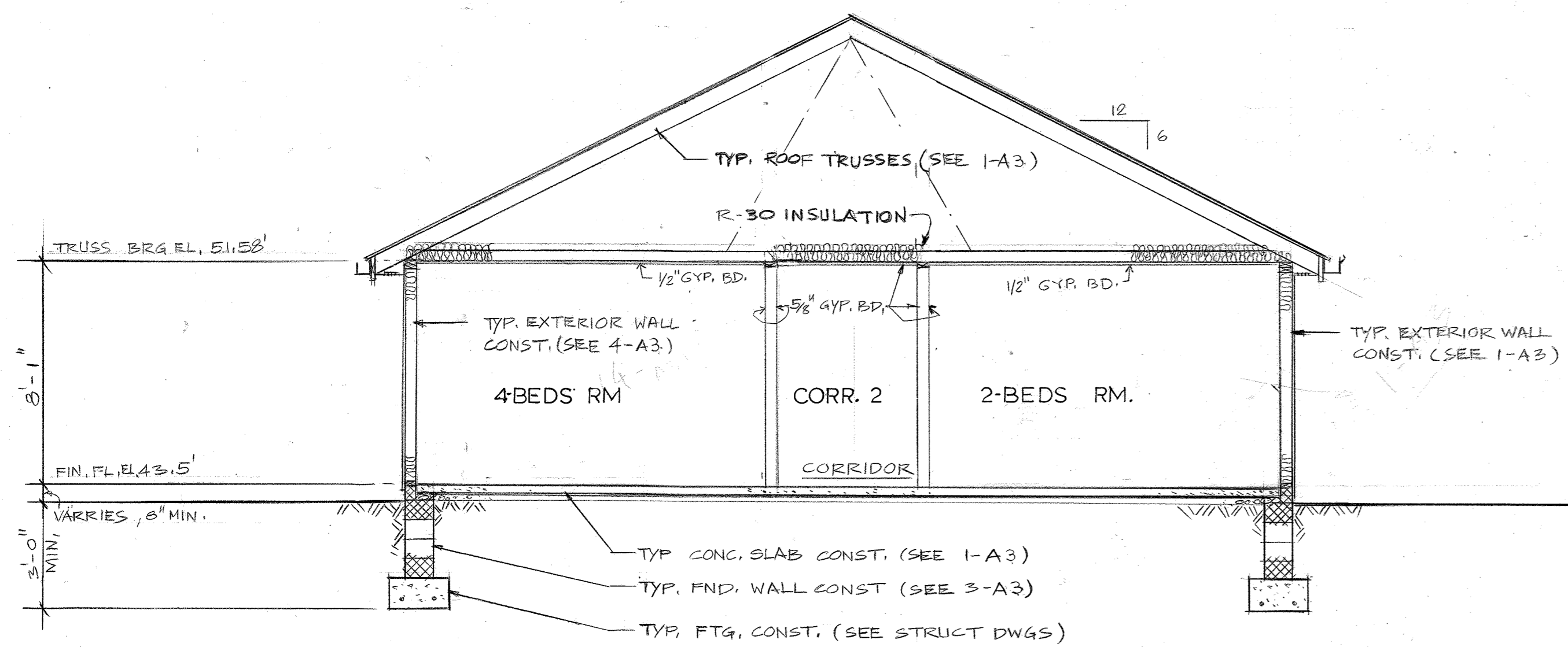
1 Section 1/4" = 1'-0"



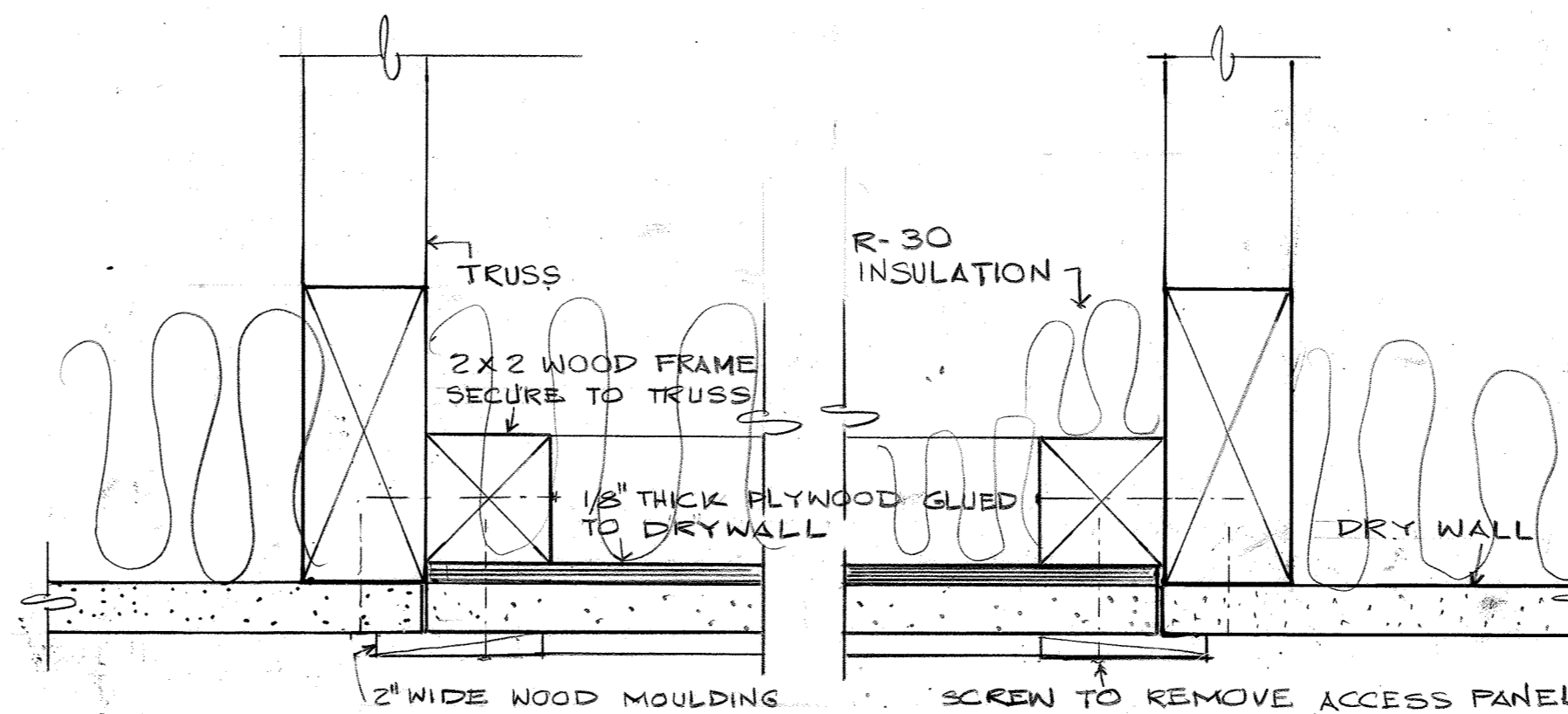
2 Detail 1/2" = 1'-0"



3. Section 1/8" = 1'-0"

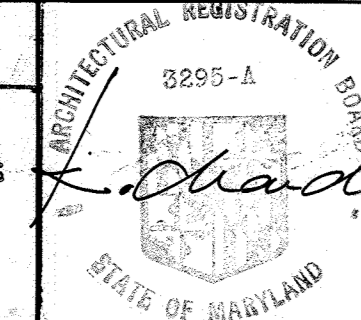


4 Typical Section 1/4" = 1'-0"

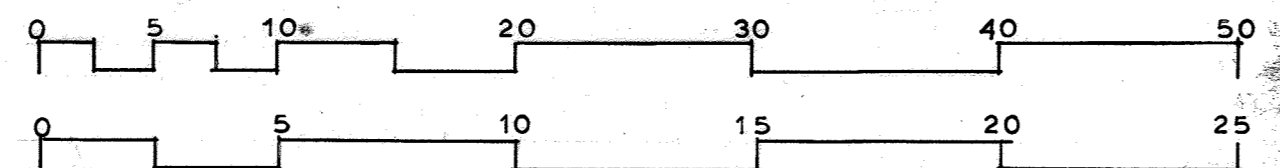


5. ACCESS PANEL NO SCALE

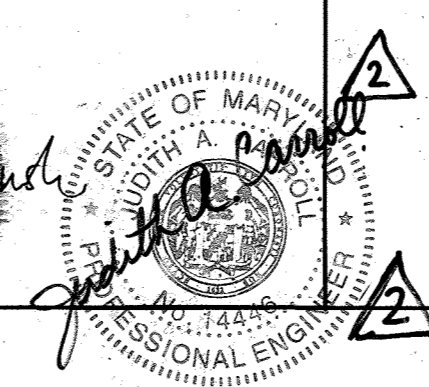
ARCHITECTURAL TECHNOLOGIES, INC.
Architects and Construction Consultants
8950 Route 108, Gorman Plaza, suite 114
Columbia, MD, 21045 (301)995-4067



GRAPHIC SCALE :



AASTECH INC.
CONSULTING ENGINEER
2511, ST. PAUL STREET
BALTIMORE, MD. 21218.
(301)365-3737.



REVISIONS
7/1/2021 REVISED PLANS TO SHOW SITE MODS FOR THE EX. BLDG., NEW SWM @ SITE IMPROVEMENTS.

SECTIONS & DETAIL	4 OF 32
REVISD SITE DEVELOPMENT PLAN AUDITORIUM RENOVATIONS HARRIET TUBMAN BUILDING	CAPITAL PROJECT NO. C - 0194
8045 HARRIET TUBMAN LANE COLUMBIA, MARYLAND	DATE, 07/14/88
	DRAWING NO. A2

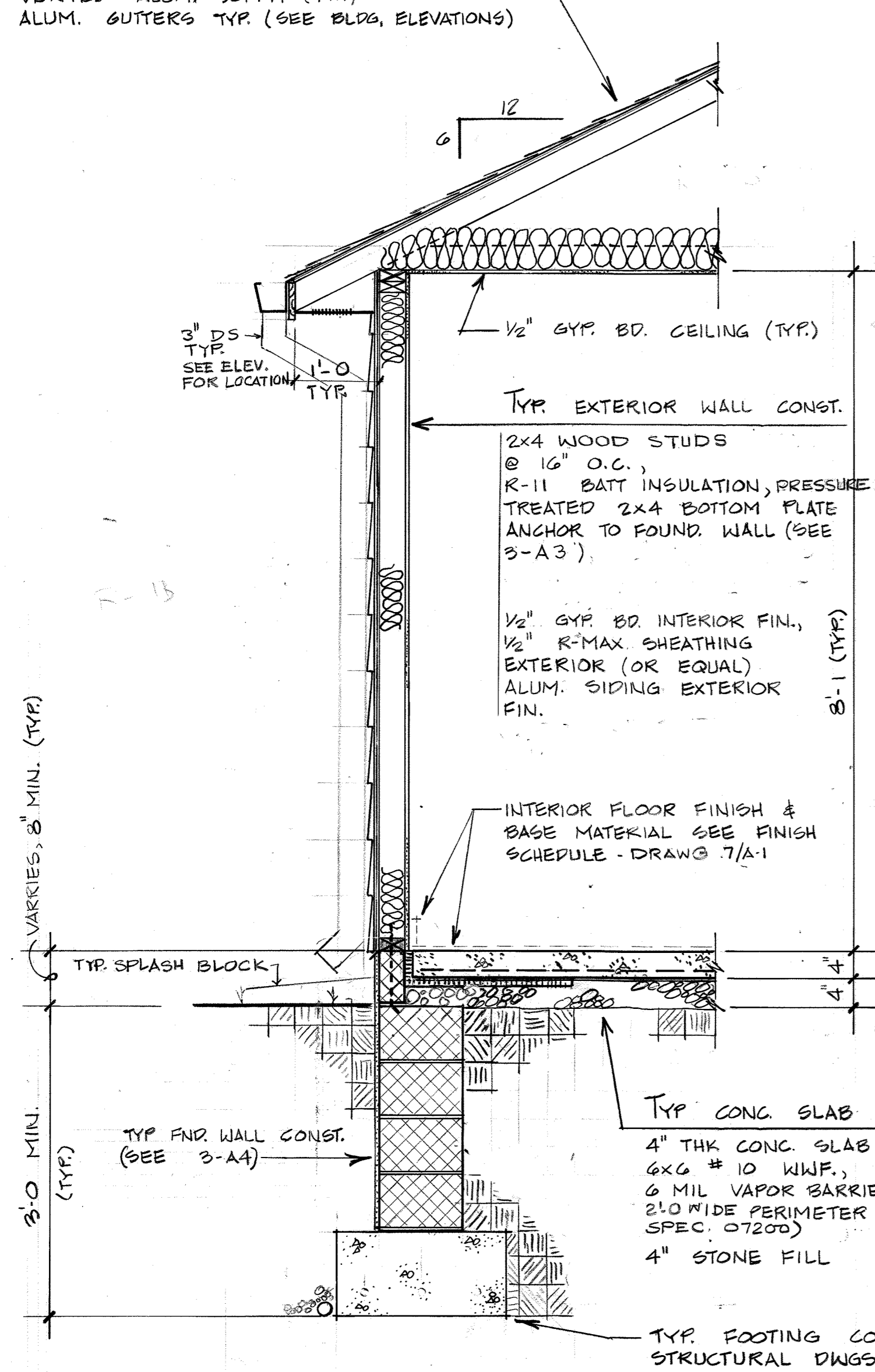
SDP 89-28

NOTES:

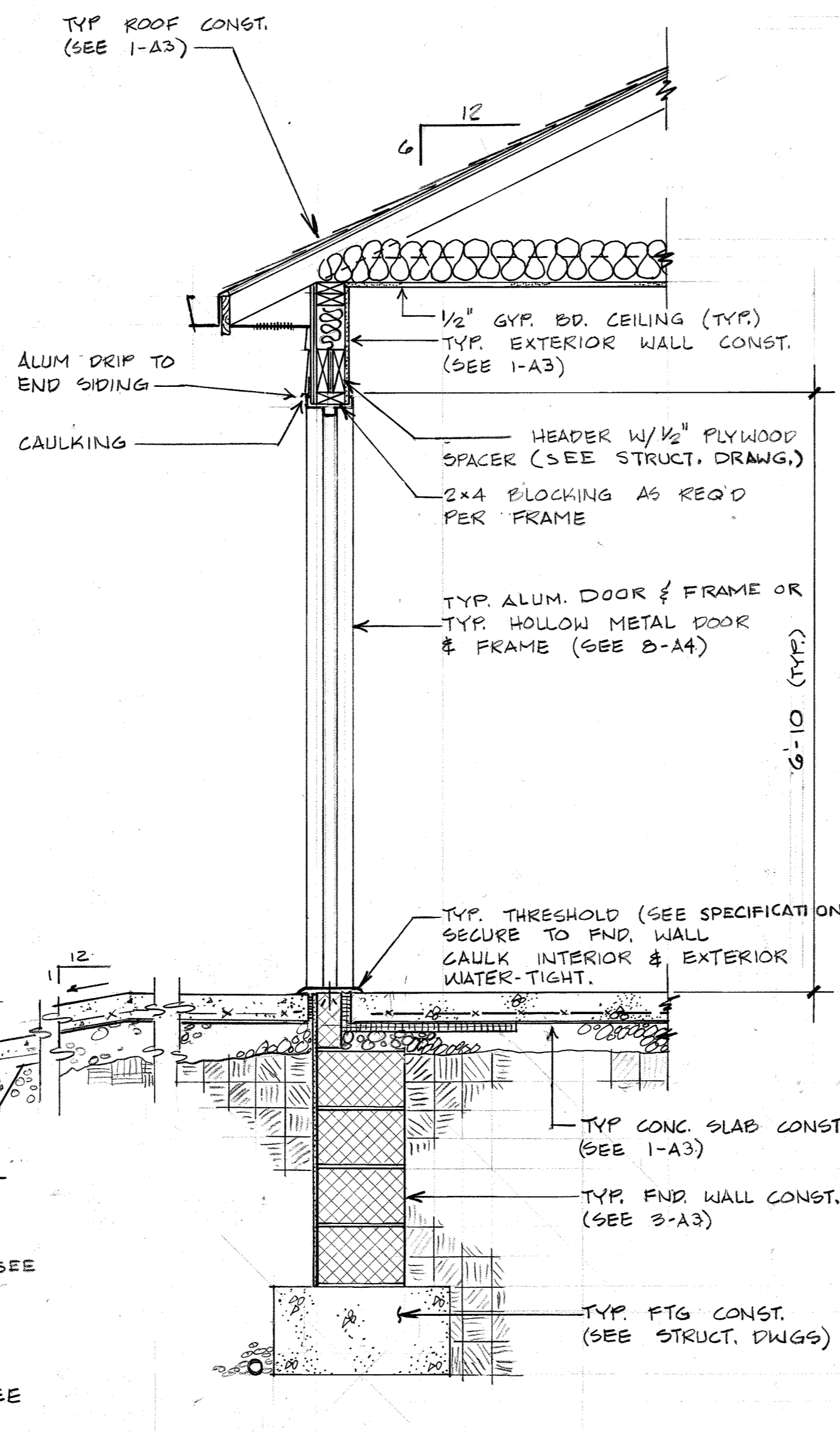
1. COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE NIMA'S "NATIONAL DESIGN SPECIFICATIONS FOR STRESS GRADED LUMBER AND ITS FASTENINGS", AND THE TRUSS PLATE INSTITUTE'S "LIGHT METAL CONNECTED WOOD TRUSSES".
2. PROVIDE TRUSS MANUFACTURER'S DESIGN AND ENGINEERING DATA FOR THE REQUIRED TRUSSES INCLUDING STRESS DIAGRAMS UNDER THE SIGNATURE SEAL AND REGISTERED NUMBER AND STATE OF REGISTRY OF A LICENSED STRUCTURAL ENGINEER.
3. TRUSS MEMBERS: NOT LESS THAN 1,600 PSI STRESS RATED GRADE OF DOUGLAS FIR, WESTERN HEMLOCK (WPA OR WCLA) OR SOUTHERN PINE (SPIB), GRADE NO. 1 FOR 2" X 4", GRADE NO. 2 FOR 2" X 6", MAXIMUM MOISTURE CONTENT KILN DRIED = 15%.
4. TRUSS CONNECTIONS SHALL COMPLY WITH THE TRUSS PLATE INSTITUTE'S "LIGHT METAL CONNECTED WOOD TRUSSES".
5. PROVIDE TEMPORARY SUPPORTS AND BRACING. PROVIDE PERMANENT 2" X 4" CROSSBRIDGING.
6. STUD FRAMING:
 - A. 2" X 4"- SOUTHERN PINE WITH MAXIMUM CONTENT KILN DRIED-15% OR SPRUCE PINE FIR WITH MAXIMUM MOISTURE CONTENT SURFACED DRY = 19%.
 - B. 2" X 6"- SOUTHERN PINE OR SPRUCE PINE FIR WITH MAXIMUM MOISTURE CONTENT SURFACED DRY = 19%.
 - C. STUD OR CONSTRUCTION GRADE.
7. RAFTER FRAMING:
 - A. SOUTHERN PINE NO. 2 GRADE
 - B. ALLOWABLE EXTREME FIBER STRESS IN BENDING (F_b): 1,200 PSI.
 - C. MODULUS OF ELASTICITY (E): 1,600,000 PSI.
 - D. MAXIMUM MOISTURE CONTENT SURFACE DRIED = 19%.

TYP ROOF CONST.

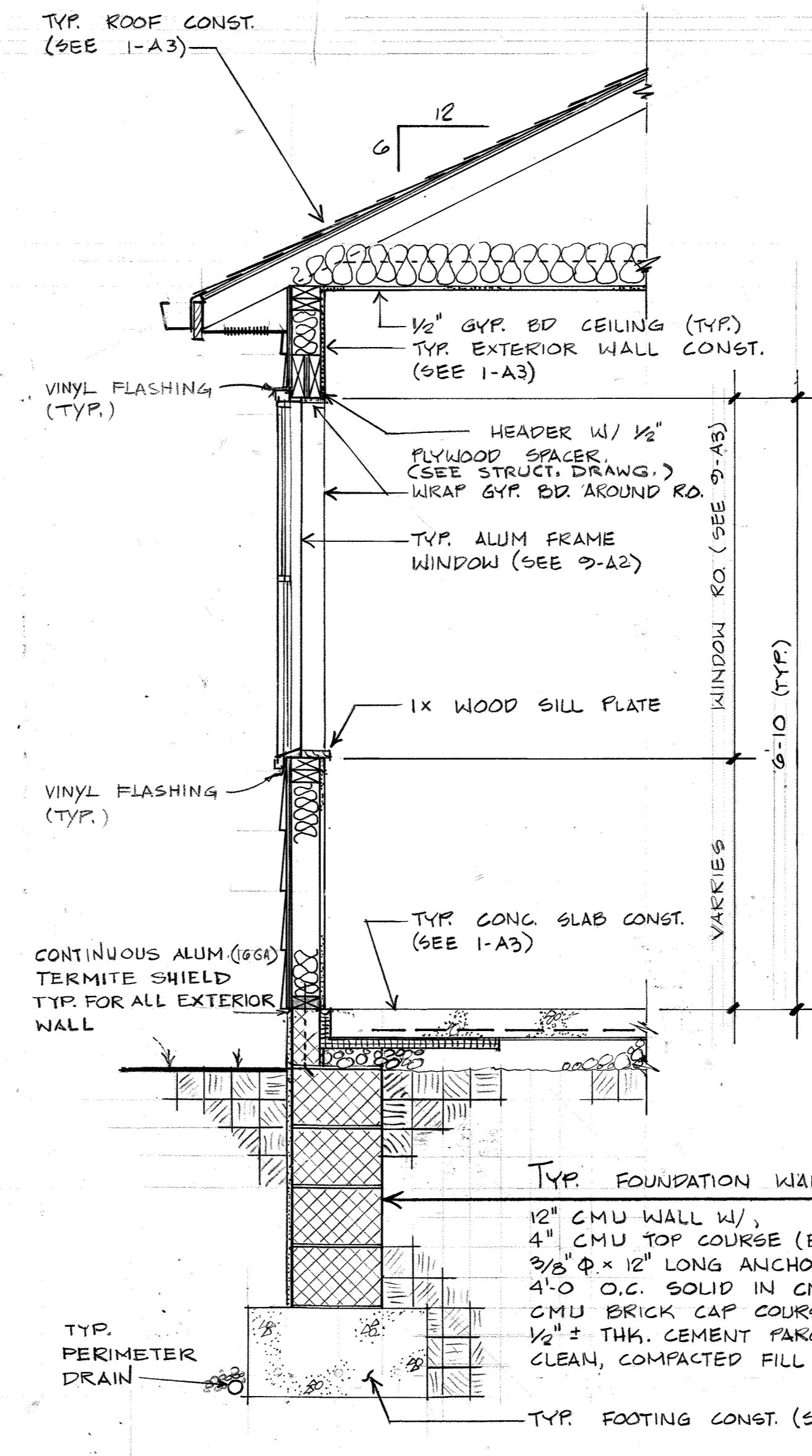
WOOD ROOF TRUSSES @ 24" O.C.,
 3/16" OSB SHEATHING W/ FLY-CLIPS @
 4'-0" O.C.,
 ROOFING SHINGLES & FELT (SEE SPEC'S)
 R-20 INSULATION
 1x6 PAINTED WOOD FASCIA BD.
 VENTED ALUM. SOFFIT (TYP.)
 ALUM. GUTTERS TYP. (SEE BLDG. ELEVATIONS)



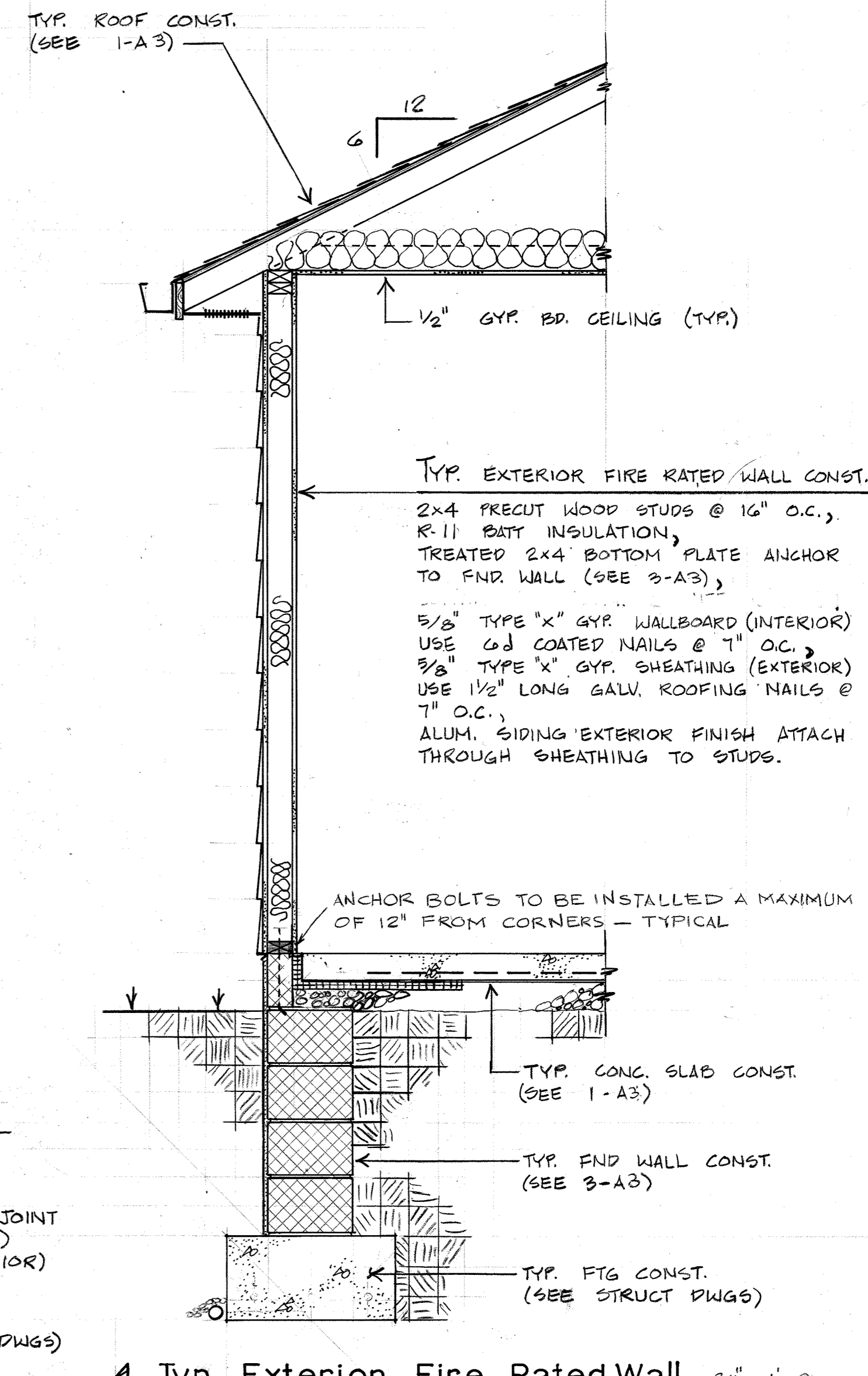
1. Typ. Exterior Wall 3/4" = 1'-0"



2. Typ. Exterior Door 3/4" = 1'-0"

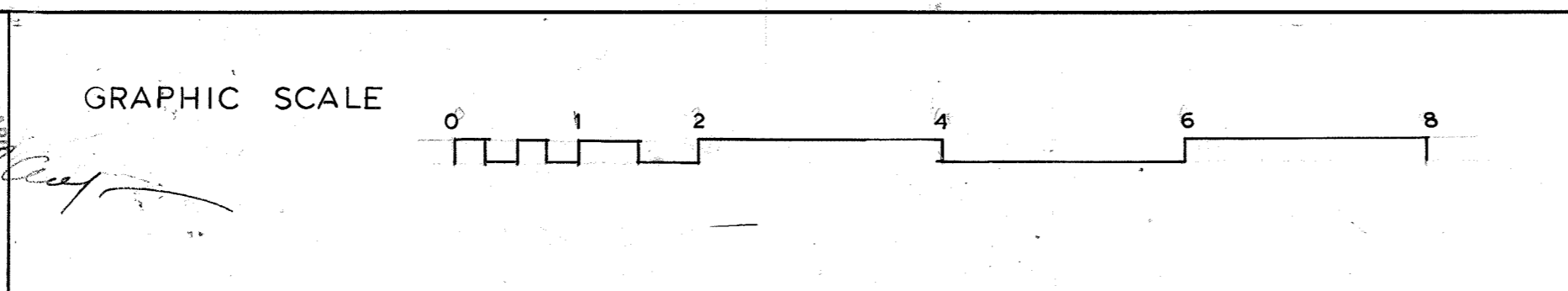
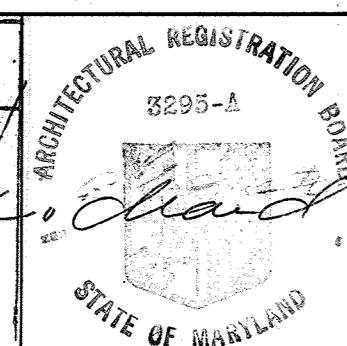


3. Typ. Exterior Window 3/4" = 1'-0"



4 Typ. Exterior Fire Rated Wall 3/4" = 1'-0"

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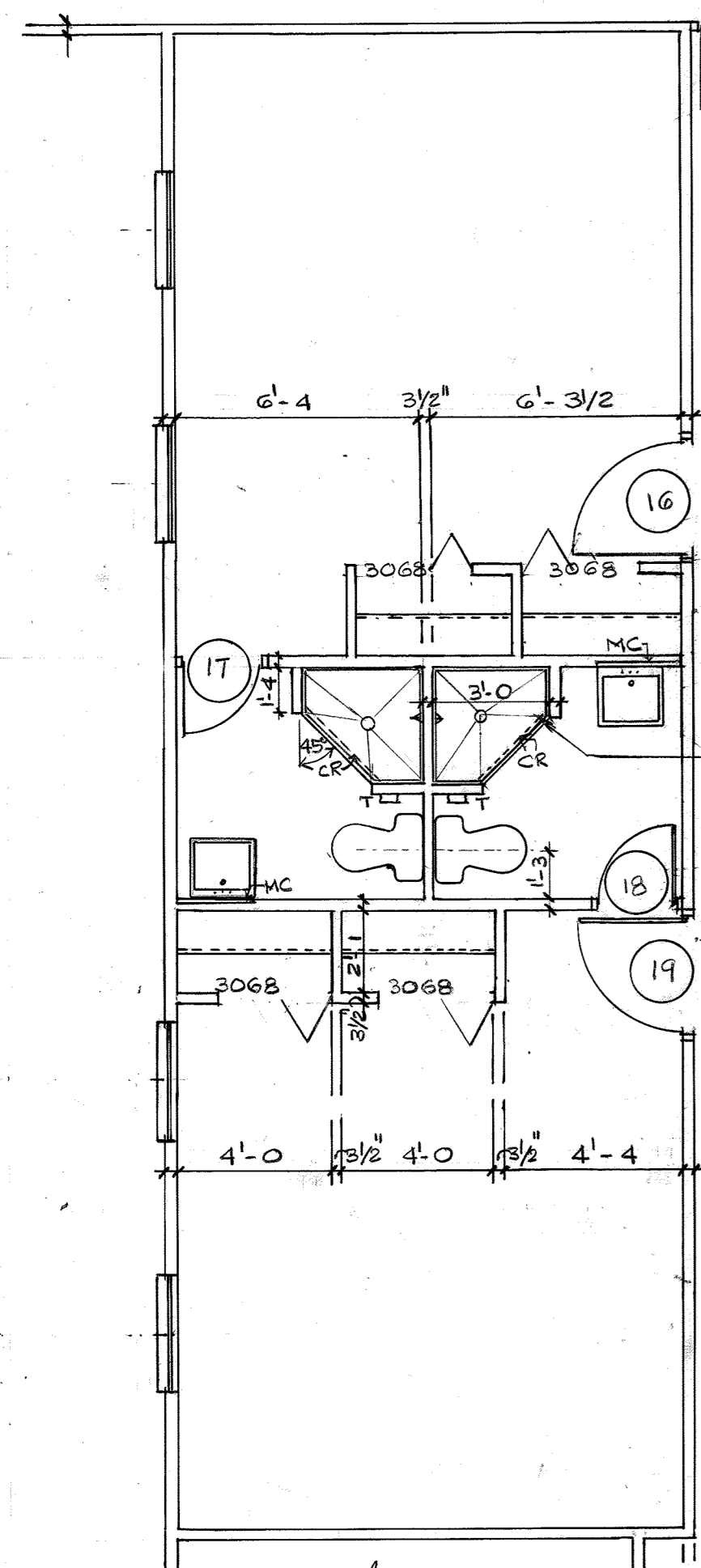
AASTECH INC.
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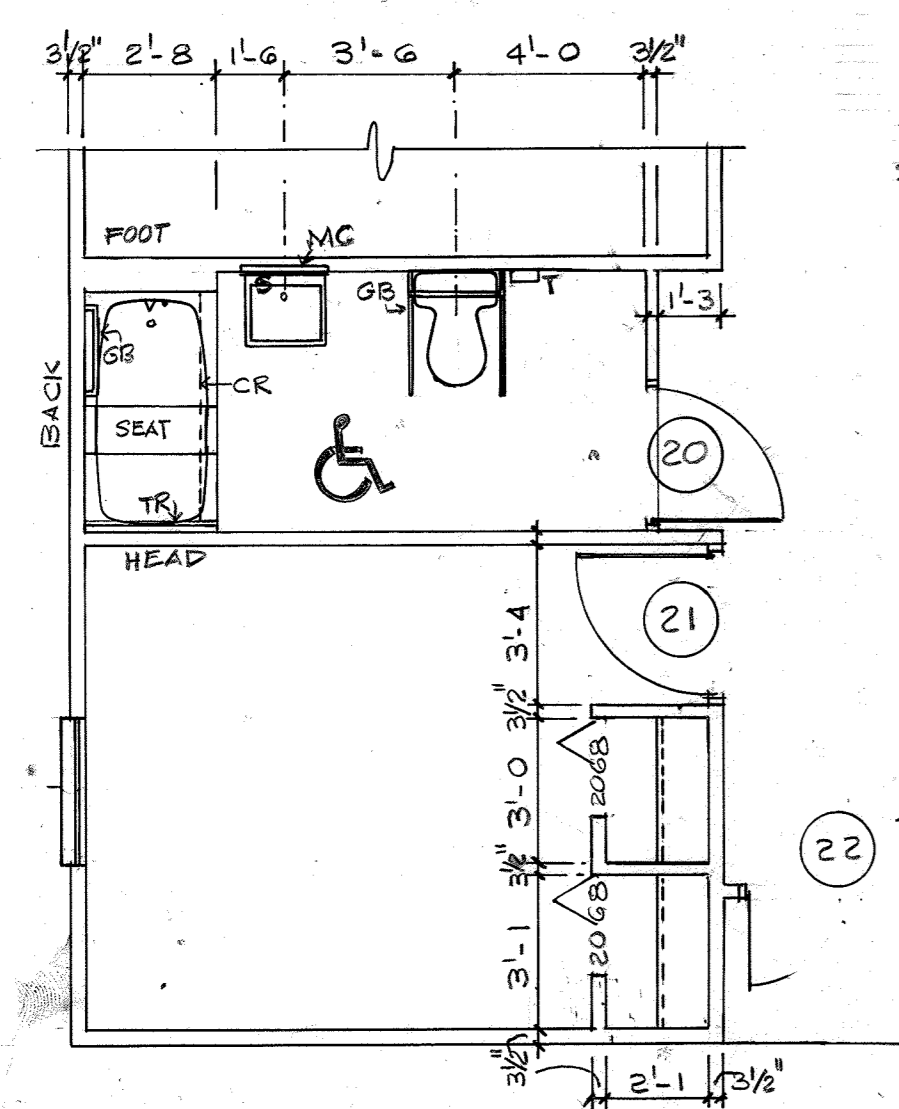
REVISIONS
 7/1/2021 REVISED PLANS TO
 SHOW SITE MODS FOR THE
 EX. BLDG., NEW SWM & SITE
 IMPROVEMENTS.

EXTERIOR WALL DETAILS		5 OF 32
REVISOR: [Signature] REVISION: REVISOR: [Signature] REVISION: REVISOR: [Signature]		CAPITAL PROJECT NO. C - 0194
8045 HARRIET TUBMAN LANE COLUMBIA, MARYLAND		DATE: 7/14/88 DRAWING NO. A3

SDP 89-28



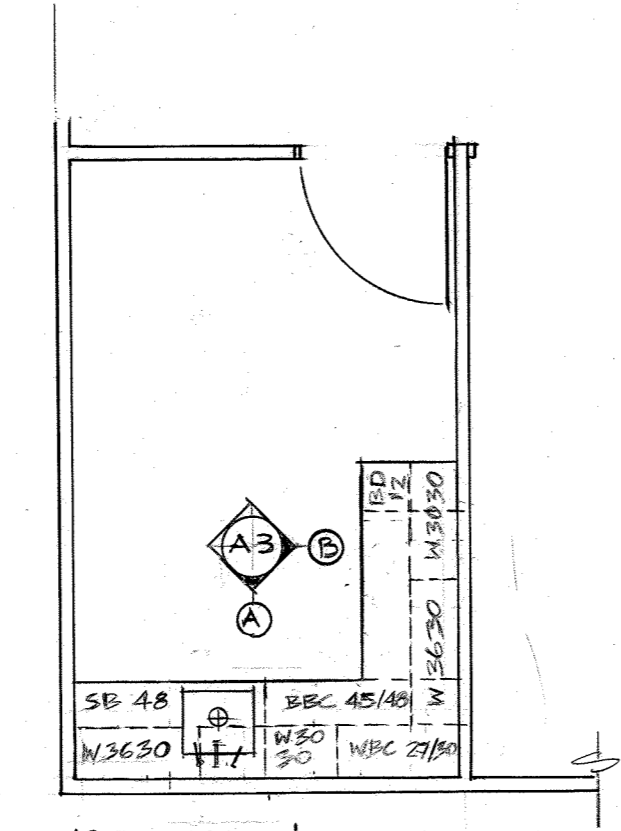
4. 4-BEDS RM. & BATH
1/4" = 1'-0"



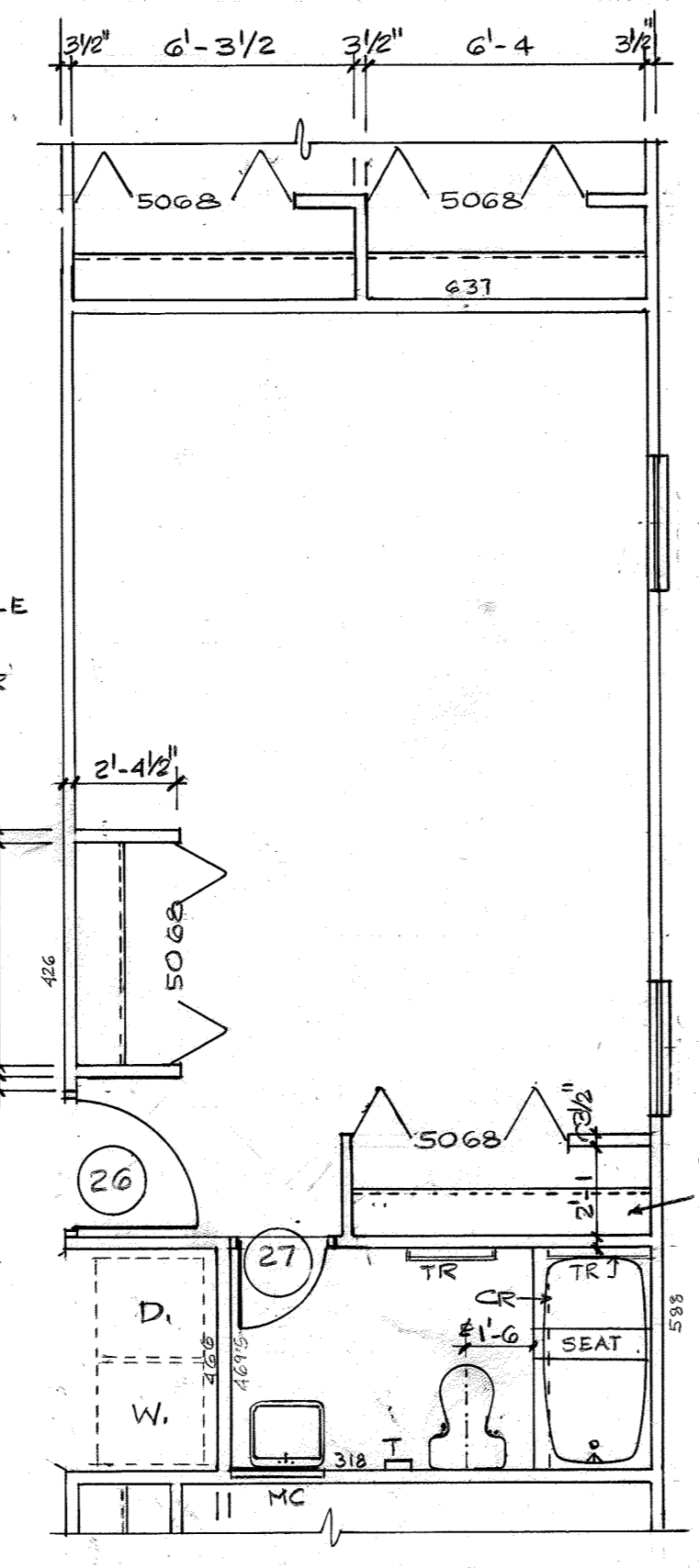
1. 2-BEDS RM. & HANDIC. BATH RM.
1/4" = 1'-0"

SHOWER RECEPTORS -
TERRAZZO BY
FLORESTONE PRODUCT
COMPANY #DELUXE 350
SIZE 36" x 36"

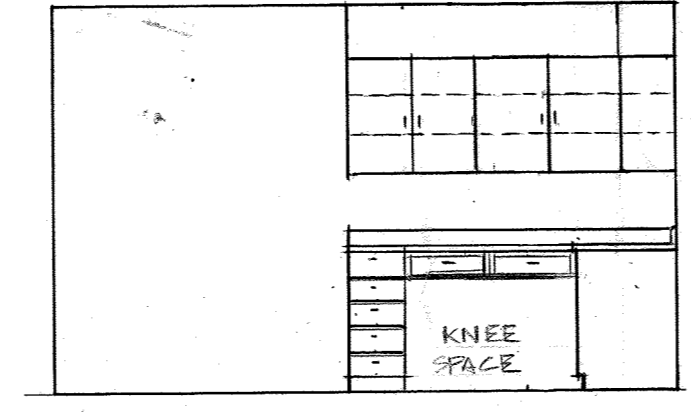
LEGEND FOR BATH/TOILET:
MC: 18" x 24" MEDICINE
CABINET W/ MIRROR
T: TOILET PAPER HOLDER
CR: CURTAIN ROD
GB: GRAB BAR
TR: TOWEL ROD
NR: WASTE PAPER RECEPTACLE
PT: PAPER TOWEL HOLDER
D: LIQUID SOAP DISPENSER



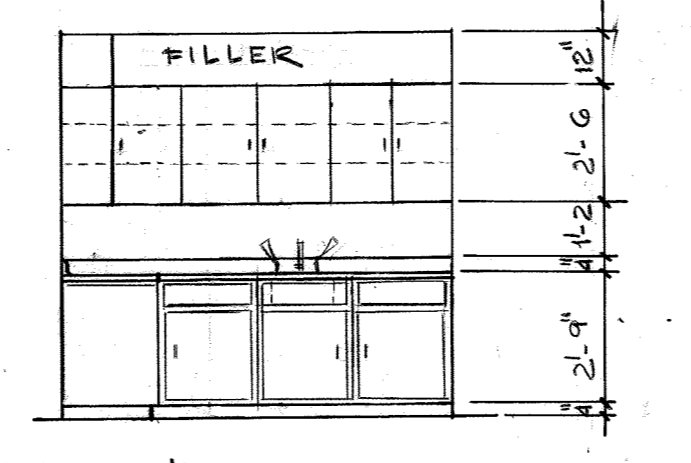
5. EXAM. RM.
1/4" = 1'-0"



2. 6-BEDS RM. & BATH RM.
1/4" = 1'-0"

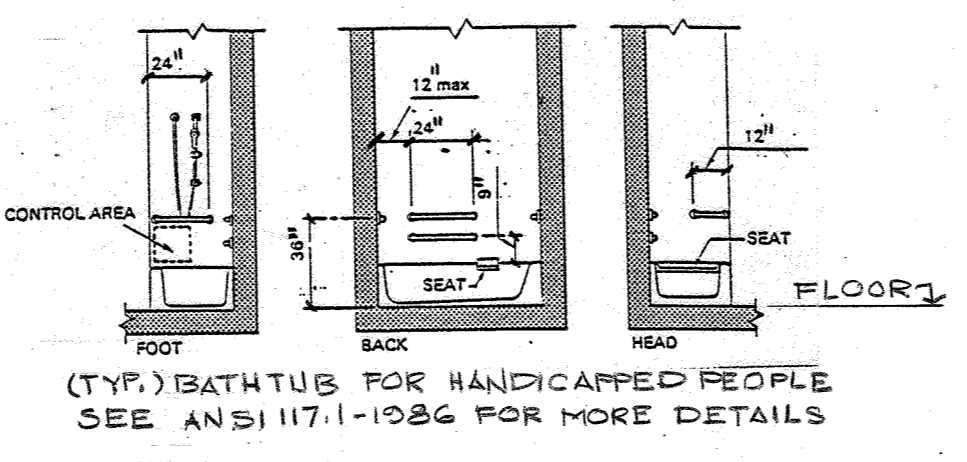


7. Door Types



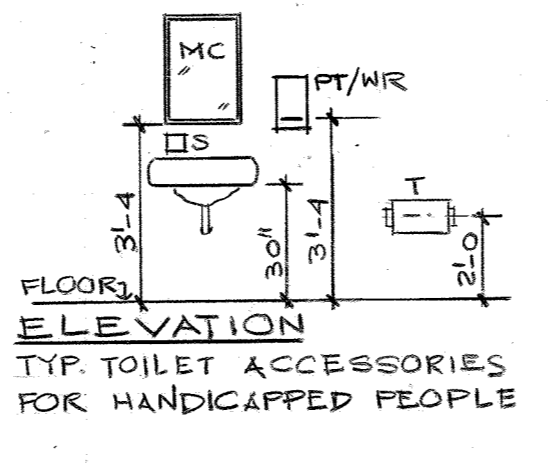
6. UNISEX & JAN.
1/4" = 1'-0"

A. ELEVATION
1/4" = 1'-0"



9. WINDOW TYPE

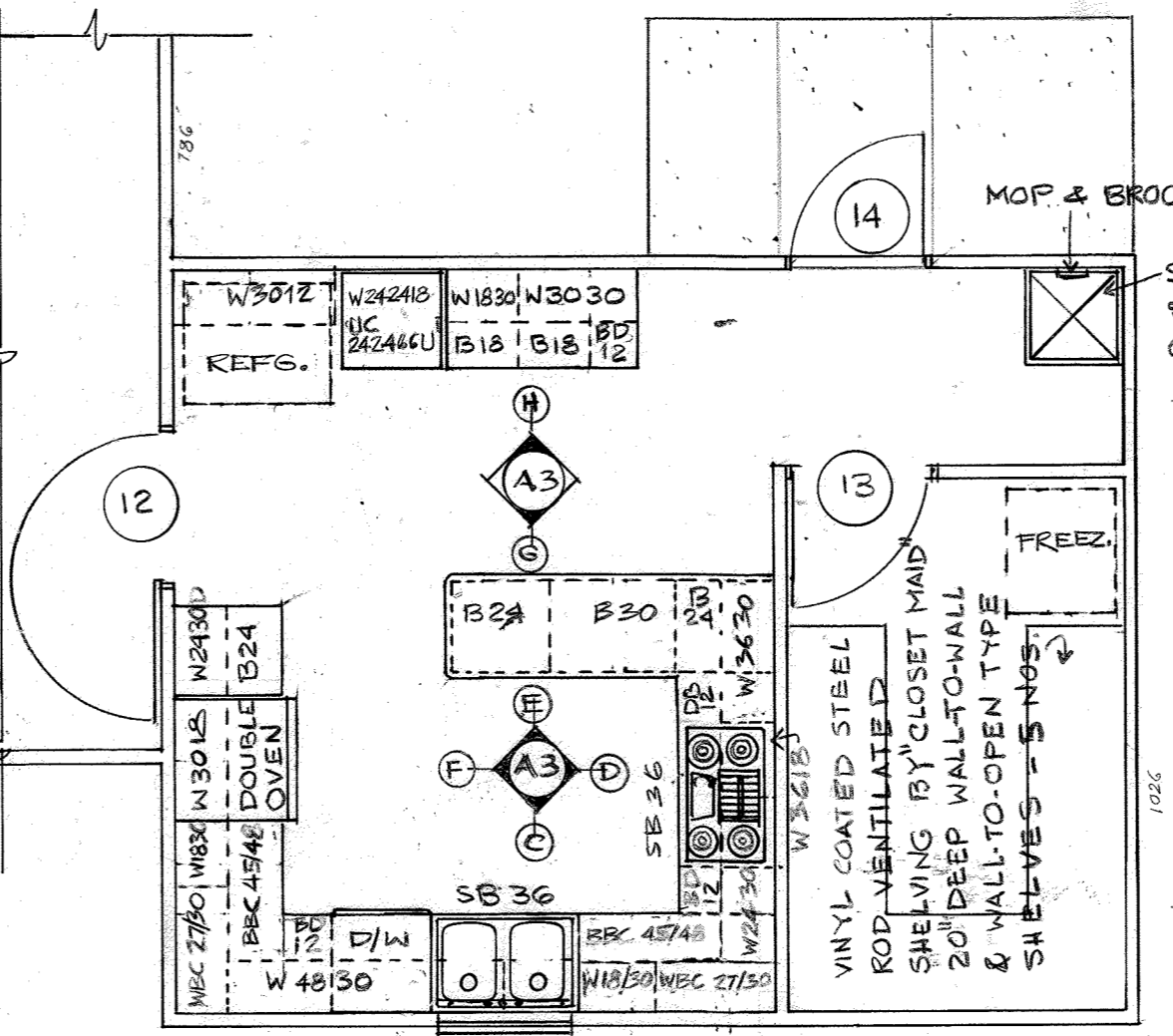
CAPITOL-ALUMINUM WINDOW THERMAL
BREAK "E"-500
 (W1) 3450
 (W2) Pr. 2450
 (W3) Pr. 3450
 (W4) 2834



3. KITCHEN/STOR.
1/4" = 1'-0"

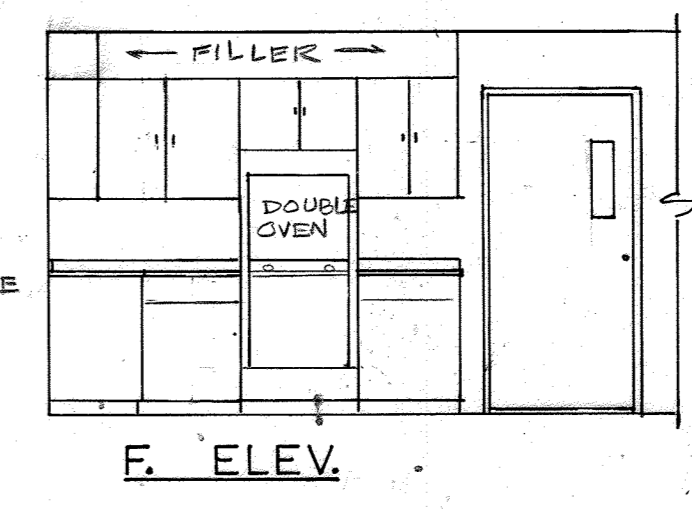
WALL TO FLOOR STRADDLE
GRAB BAR - UG 120N OF A & J
WASHROOM ACCESSORIES OR EQUAL
(SUPPLY WITH TOILET PAPER HOLDER
(T))

TYPICAL "CLOSET MAID"
REACH-IN CLOSET SHELVES
WITH SHOE-RACK

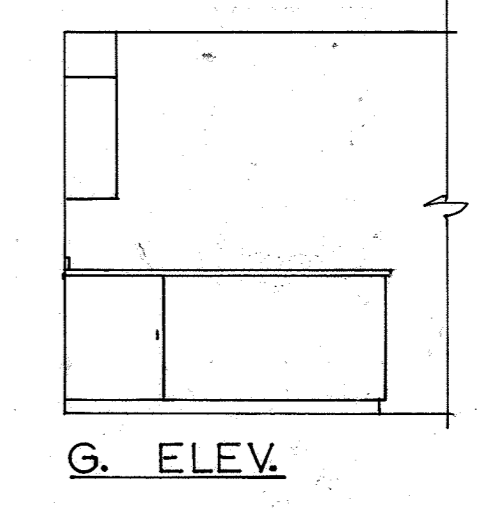


NOTE: KITCHEN CABINET SPECIFIED MERILLAT LINES

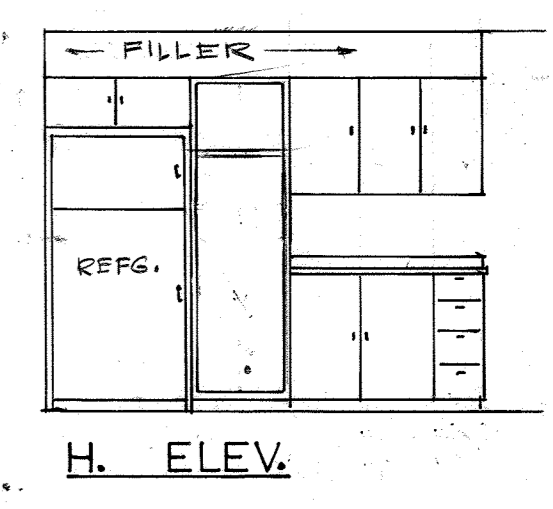
Door		Frame		Fire-resist		Hardware	
Mark	Size w x h x th	Material & Construction	UNDERCUT Type	Material & Construction	Details Label	Hour	Set
1	3'-0" x 6'-8" x 1 3/4"	ALUM & GLASS	B	ALUM.			
2	3'-0" x 6'-8" x 1 3/4"	SOLID CORE WOOD	D	HOLLOW METAL	C	1/3	
3	3'-0" x 6'-8" x 1 3/4"	SOLID CORE WOOD		HOLLOW METAL			
4			C				
5			C			C	1/3
6		HOLLOW METAL	E			C	1/3
7	2'-10" x 6'-8" x 1 3/4"	SOLID CORE WOOD	A			C	1/3
8	3'-0" x 6'-8" x 1 3/4"	SOLID CORE WOOD	D			C	1/3
9	2'-10" x 6'-8" x 1 3/4"	HOLLOW METAL	A				
10	3'-0" x 6'-8" x 1 3/4"	SOLID CORE WOOD	C				
11		HOLLOW METAL	A				
12		SOLID CORE WOOD	C				
13			A				
14		HOLLOW METAL	A				
15	3'-0" x 6'-8" x 1 3/4"	SOLID CORE WOOD	D			C	1/3
16	3'-0" x 6'-8" x 1 3/4"	SOLID CORE WOOD	A			C	1/3
17	2'-0" x 6'-8" x 1 3/4"		A				
18			A				
19	3'-0" x 6'-8" x 1 3/4"		A			C	1/3
20	2'-10" x 6'-8" x 1 3/4"		A			C	1/3
21	3'-0" x 6'-8" x 1 3/4"		A			C	1/3
22	3'-0" x 6'-8" x 1 3/4"	ALUM & GLASS	B	ALUM.			
23	3'-0" x 6'-8" x 1 3/4"	SOLID CORE WOOD	A	HOLLOW METAL		C	1/3
24	2'-10" x 6'-8" x 1 3/4"		A			C	1/3
25	3'-0" x 6'-8" x 1 3/4"		A			C	1/3
26	3'-0" x 6'-8" x 1 3/4"		A			C	1/3
27	2'-0" x 6'-8" x 1 3/4"		A				



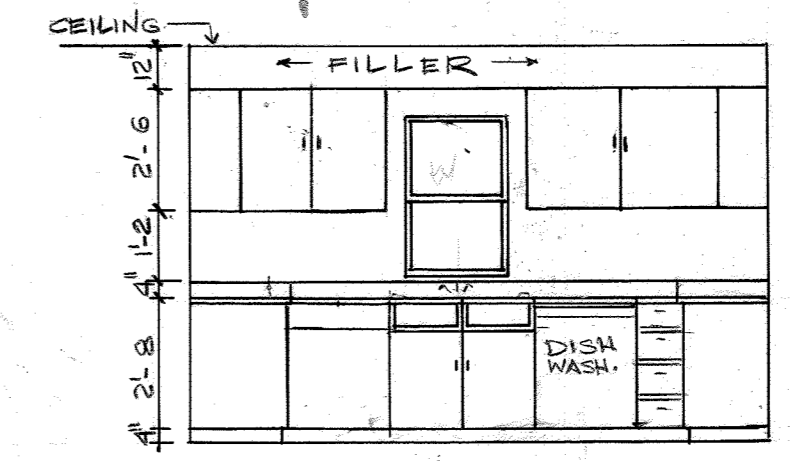
F. ELEV.



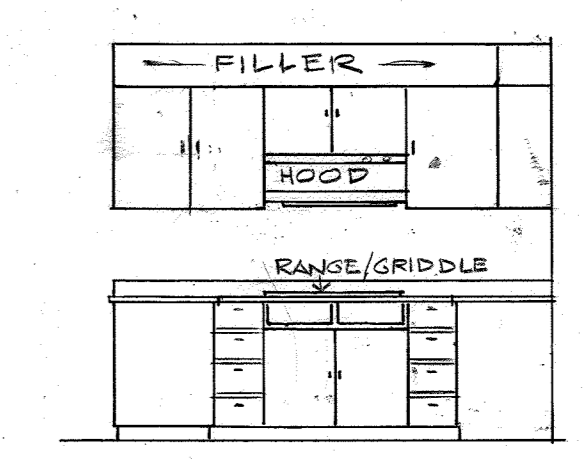
G. ELEV.



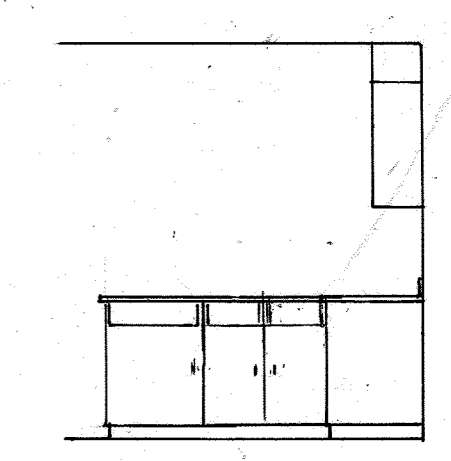
H. ELEV.



C. ELEV.



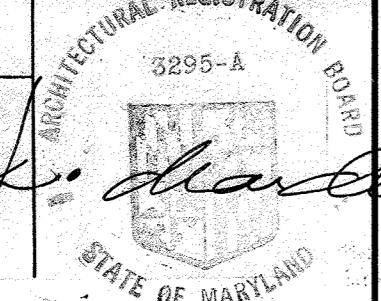
D. ELEV.



E. ELEV.



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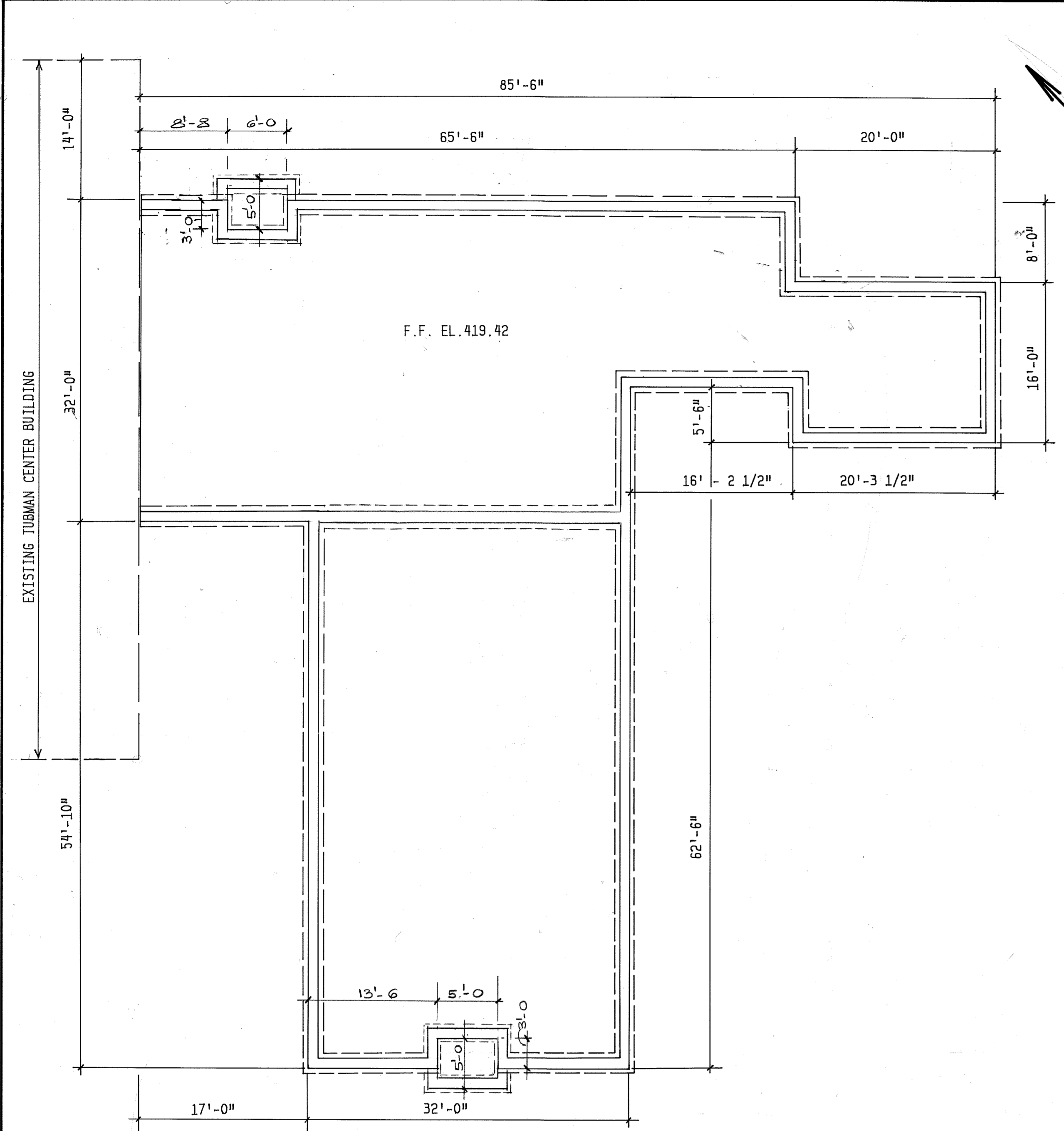
AASTECH INC.
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BALTIMORE, MD. 21218.
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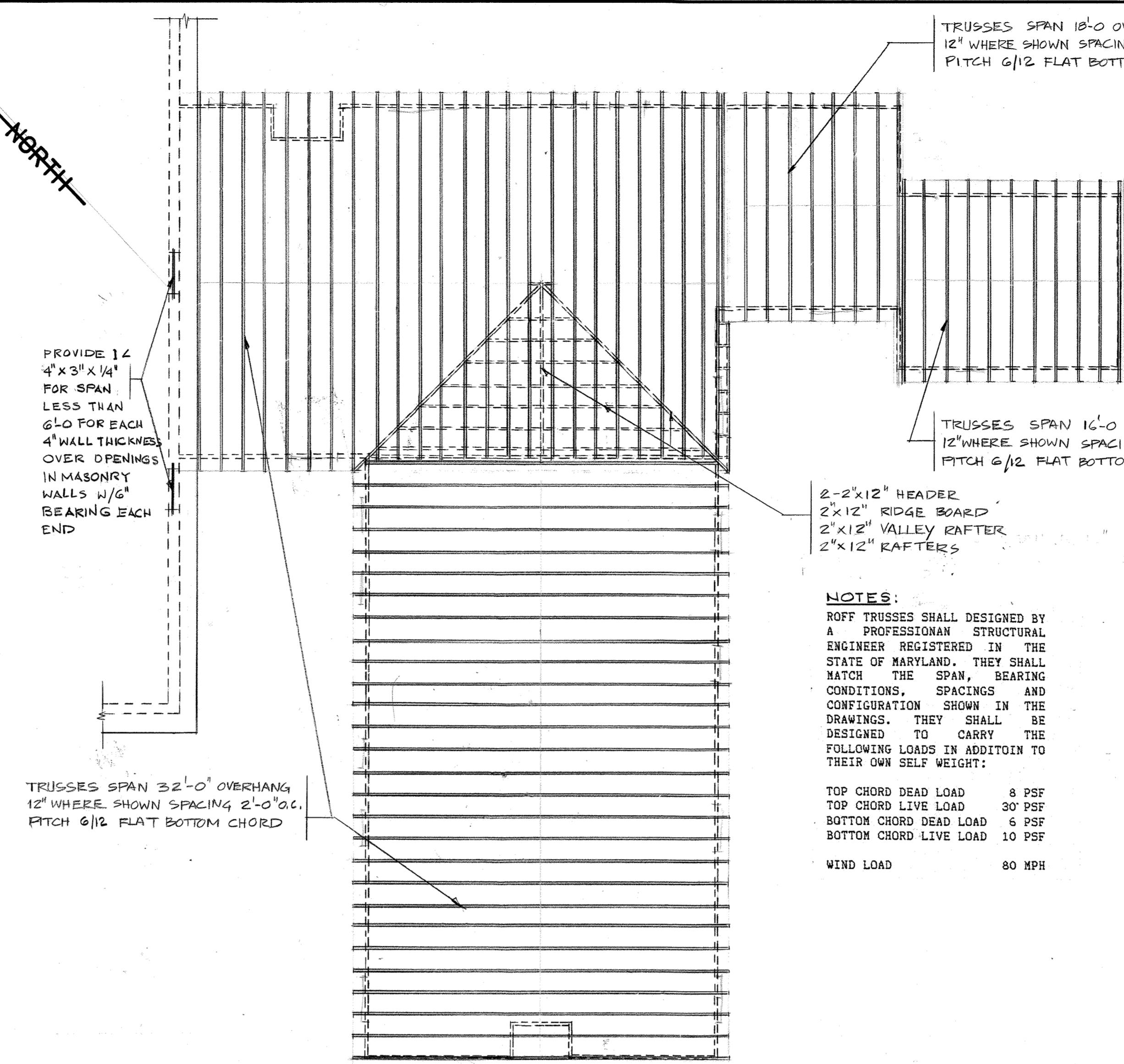
REVISIONS
7/1/2021 REVISED PLANS TO
SHOW SITE MODS FOR THE EX.
BLDG., NEW SWM & SITE
IMPROVEMENTS

INDIVIDUAL BEDROOM DETAIL & DOOR SCHEDULE	6 OF 32
REVISED SITE DEVELOPMENT PLAN AUDITORIUM RENOVATIONS HARRIET TUBMAN BUILDING	CAPITAL PROJECT NO. C - 0194
8045 HARRIET TUBMAN LANE COLUMBIA, MARYLAND	DATE: 07/14/2021
	DRAWING NO. A4

SDP 89-28



1 FOUNDATION PLAN
SCALE: 1/8"=1'-0"



6 ROOF PLAN
1/8"=1'-0"

NOTES:
ROOF TRUSSES SHALL BE DESIGNED BY A PROFESSIONAL STRUCTURAL ENGINEER REGISTERED IN THE STATE OF MARYLAND. THEY SHALL MATCH THE SPAN, BEARING CONDITIONS, SPACINGS AND CONFIGURATION SHOWN IN THE DRAWINGS. THEY SHALL BE DESIGNED TO CARRY THE FOLLOWING LOADS IN ADDITION TO THEIR OWN SELF WEIGHT:

TOP CHORD DEAD LOAD	8 PSF
TOP CHORD LIVE LOAD	30 PSF
BOTTOM CHORD DEAD LOAD	6 PSF
BOTTOM CHORD LIVE LOAD	10 PSF
WIND LOAD	80 MPH

STRUCTURAL NOTES:

DESIGN LOADS:

ROOF LIVE LOAD = 30 PSF (SNOW)
WIND LOAD = 20 PSF

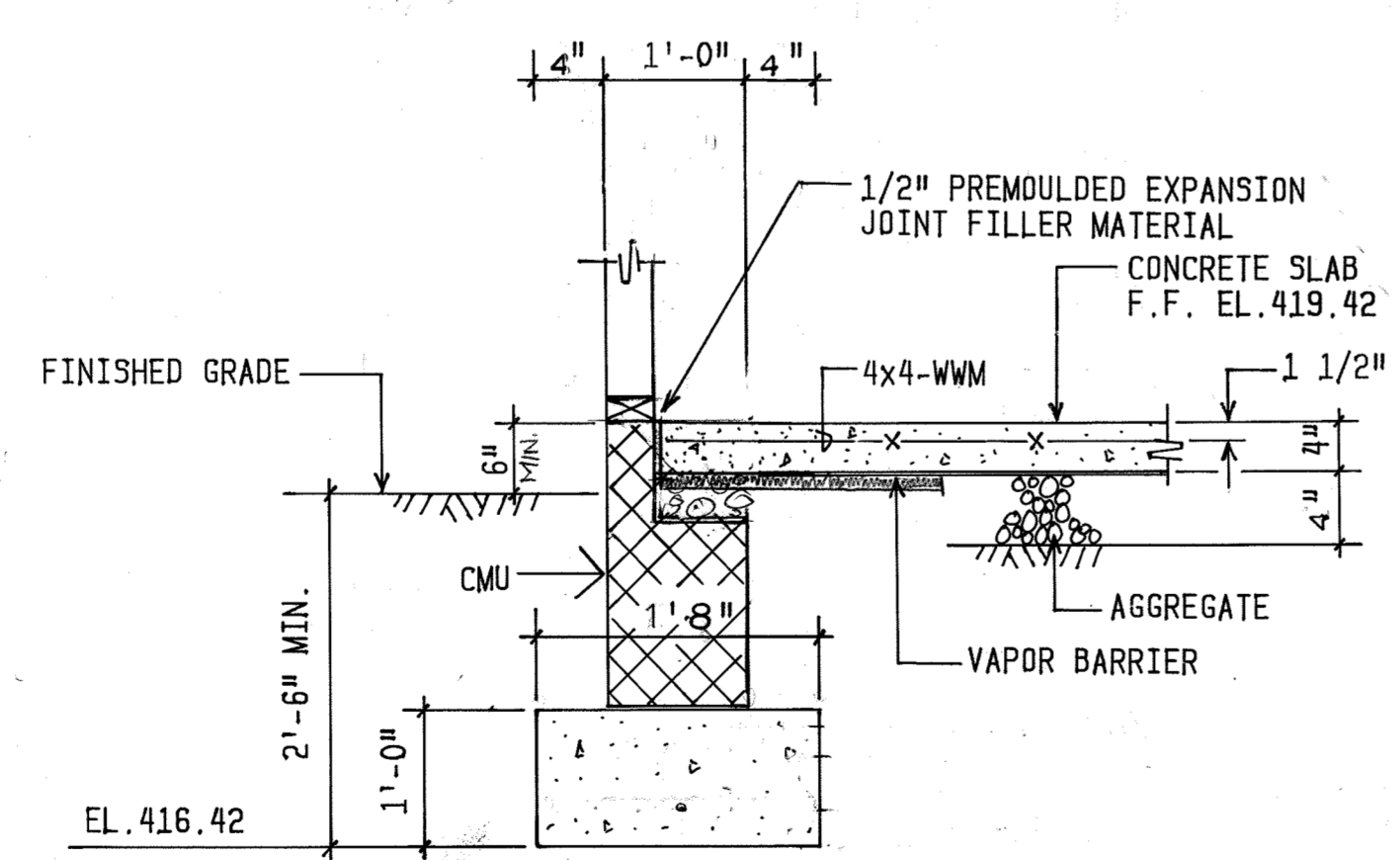
FOUNDATION

ALLOWABLE BEARING PRESSURE = 2,500 PSF.

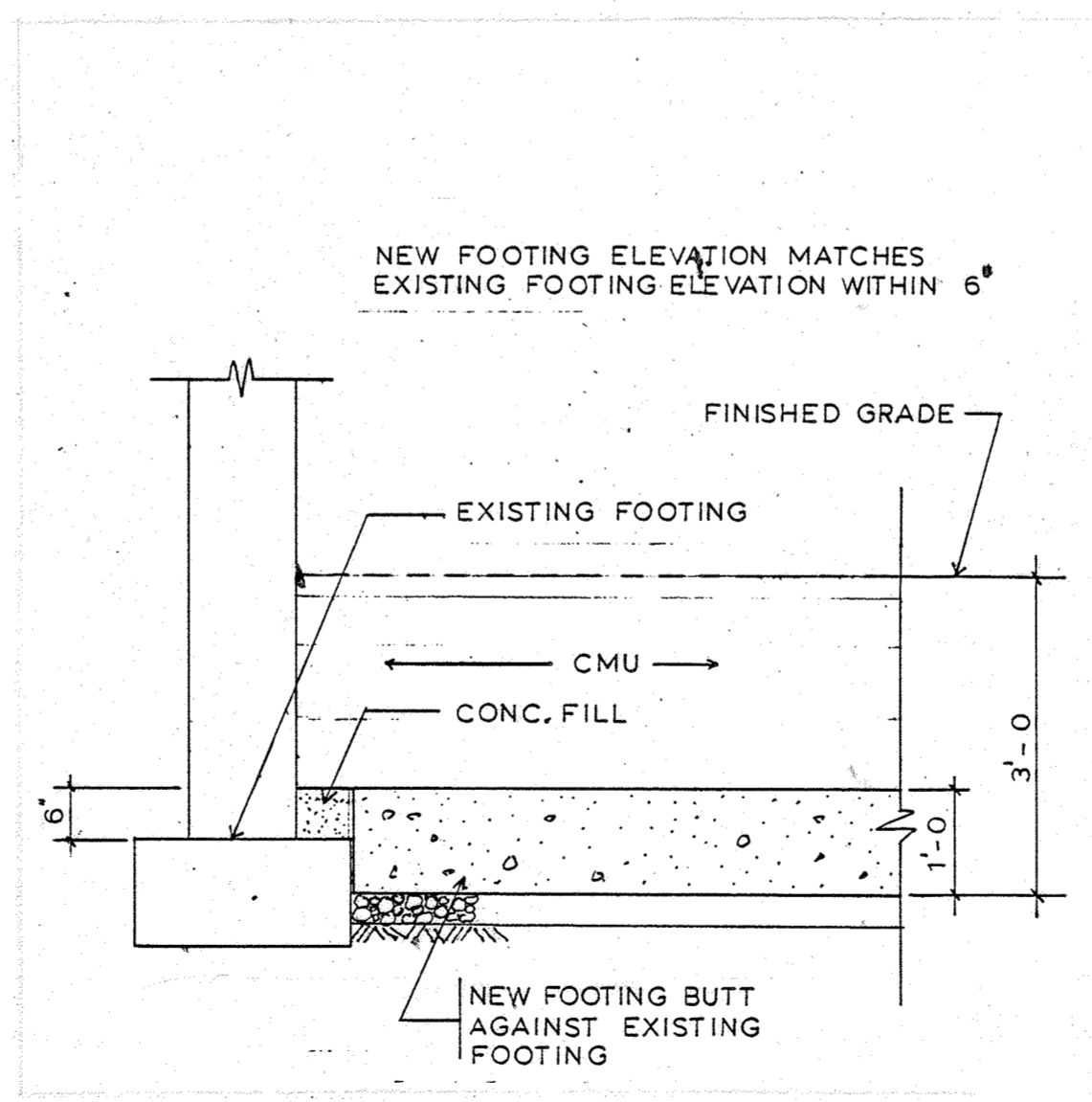
CAST IN PLACE CONCRETE

- CONCRETE SHALL HAVE A MINIMUM 28 DAYS COMPRESSIVE STRENGTH OF 3,500 PSI FOR ALL AREAS.
- REINFORCING STEEL SHALL CONFORM TO A.S.T.M. A615, GRADE 60.
- WELDED WIRE FABRIC SHALL CONFORM TO A.S.T.M. A165.

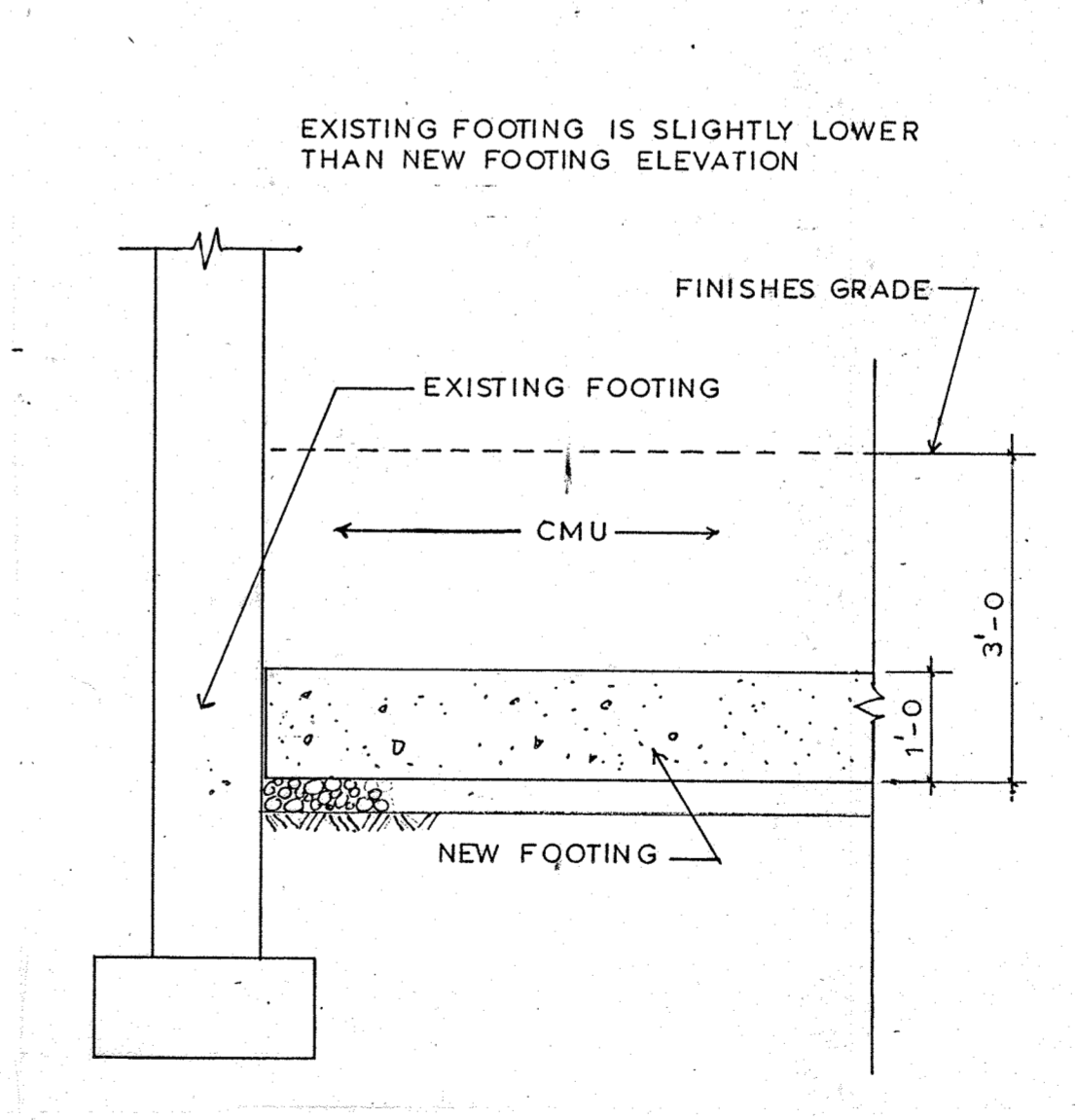
CONTRACTOR SHALL VERIFY EXISTING FOOTING CONDITION AND ELEVATION AND USE APPROPRIATE CONDITIONS 3, 4, OR 5 AS SHOWN DETAIL IN THIS DRAWING.



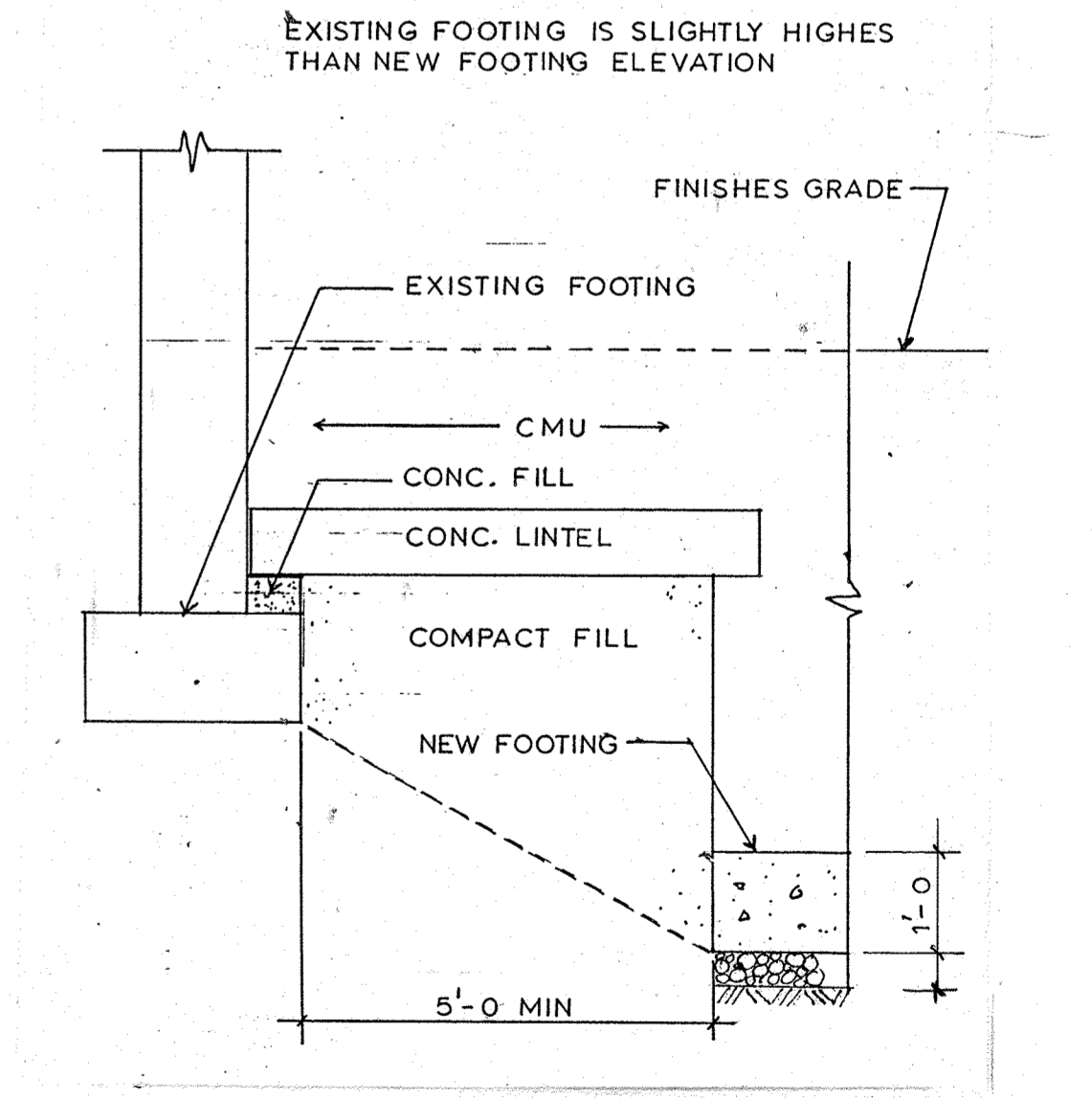
2. SECTION THRU EXTERIOR WALL
SCALE: 3/4"=1'-0"



3 SECTION THRU EXISTING FOOTING CONDITION A
NO SCALE

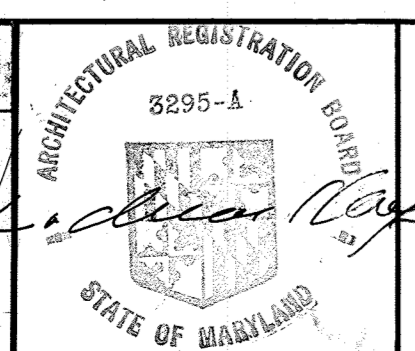


4 SECTION THRU EXISTING FOOTING CONDITION B
NO SCALE



5 SECTION THRU EXISTING FOOTING CONDITION C
NO SCALE

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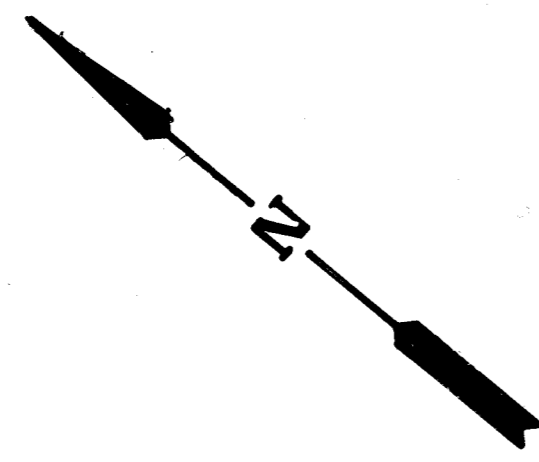
AASTECH INC.
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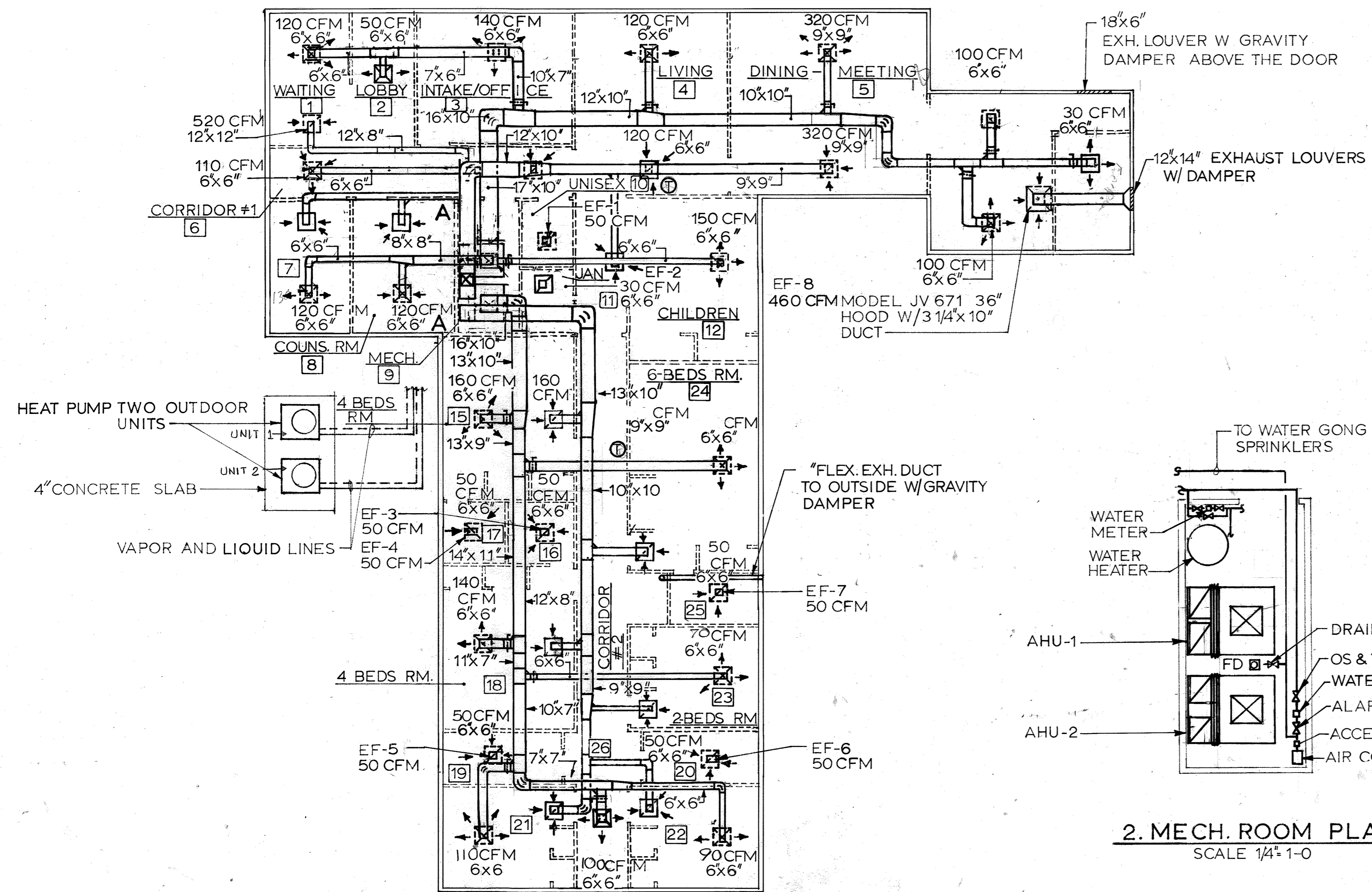
REVISIONS
7/1/2021 REVISED PLANS TO SHOW SITE MODS FOR THE EX. BLDG., NEW SWM & SITE IMPROVEMENTS.

FOUNDATION, ROOF FRAMING PLAN & DETAILS		7 OF 32
REVIS REVISITED SITE DEVELOPMENT PLAN AUDITORIUM RENOVATIONS HARRIET TUBMAN BUILDING 8045 HARRIET TUBMAN LANE COLUMBIA, MARYLAND		CAPITAL PROJECT NO. C - 0194 DATE: 07/14/88 DRAWING NO. S1

DP 89-28

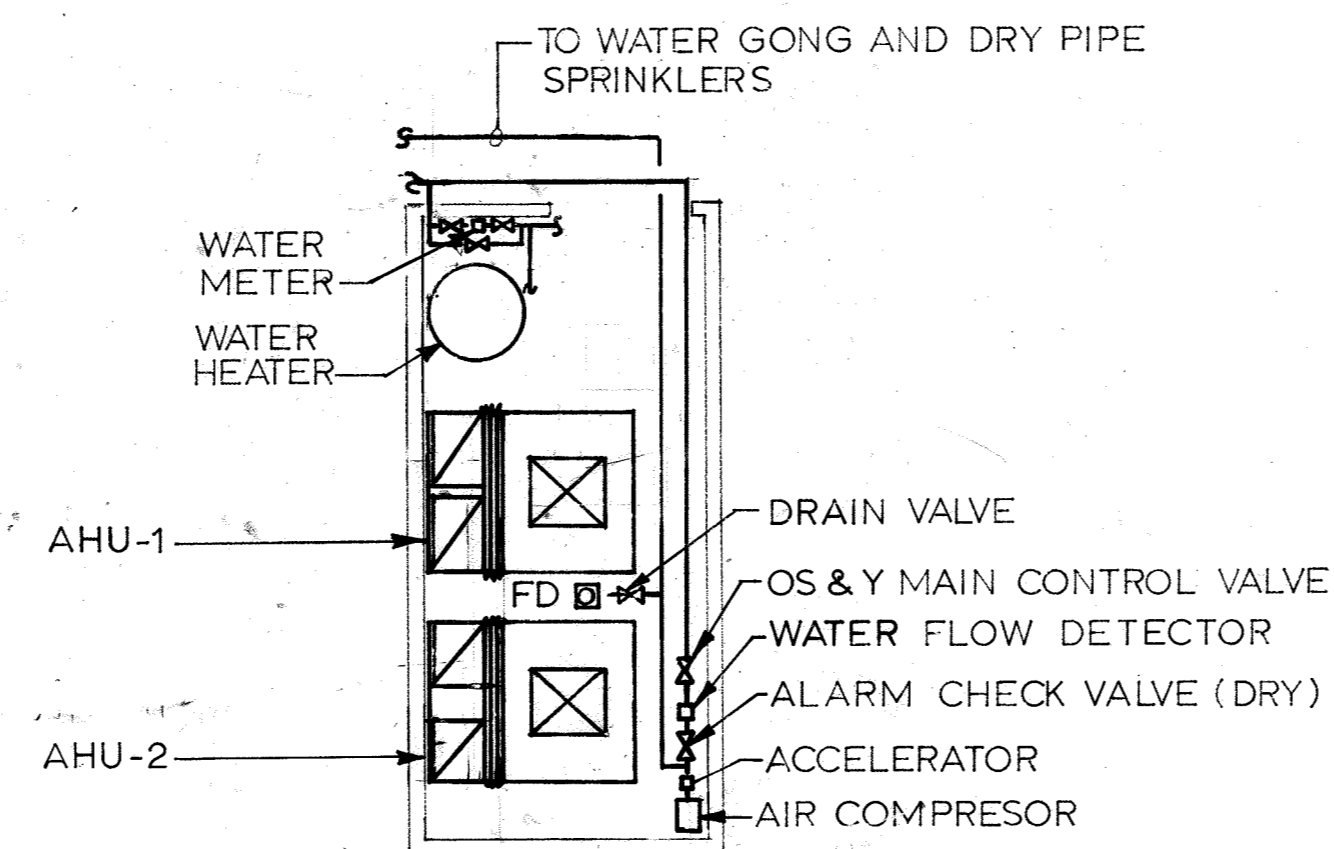


EXHAUST FAN SCHEDULE						
ITEM	SERVICE	LOCATION	CFM	STATIC PRES.	ELECTRICAL REQUIREMENT	REMARKS
EF-1	TOILET	ROOF	50	0.15	1/25 HP	GREENHECK - PENN OR EQUAL
EF-2	BATHROOM	ROOF	30	0.15	1/25 HP	
EF-3	BATHROOM	ROOF	50	0.15	1/25 HP	
EF-4	BATHROOM	ROOF	50	0.15	1/25 HP	
EF-5	BATHROOM	ROOF	50	0.15	1/25 HP	
EF-6	BATHROOM	ROOF	50	0.15	1/25 HP	
EF-7	BATHROOM	ROOF	50	0.15	1/25 HP	

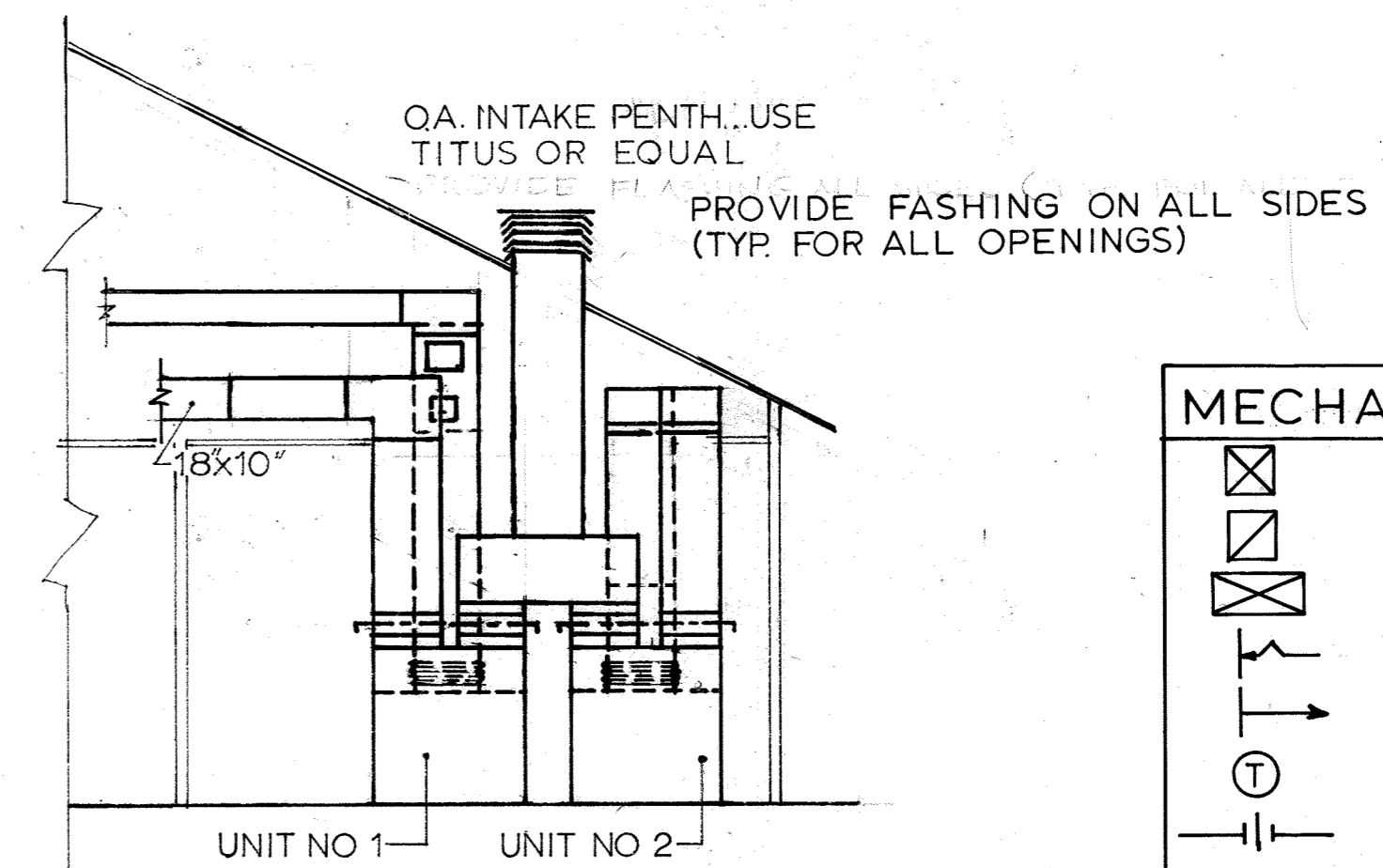


1. ATTIC PLAN - HVAC
SCALE 1/8"=1'-0"

HEAT PUMP UNITS												
UNIT NO	COOL. CAP. BTUH	HEAT CAP. BTUH	ELECTR. RESIST. HEAT	CFM			COOL. COIL		COND. UNIT EAT	REMARKS		
				OA	SUPL.	INWG	ENT. DB	COIL WB				
1	55000	70000	20 KW	250	1500	1.2	78	63	55	54	94	CARRIER OR EQUAL
2	35000	50000	15 KW	150	800	1.0	78	63	55	54	94	



2. MECH. ROOM PLAN
SCALE 1/4"=1'-0"



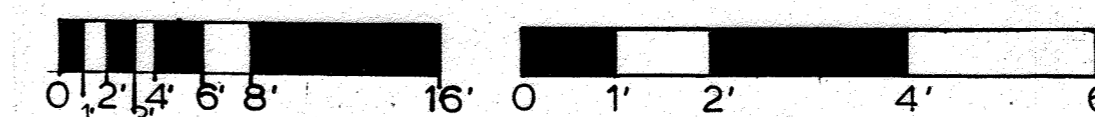
3. SECTION A-A
SCALE 1/4"=1'-0"

MECHANICAL SYMBOL LIST	
	SUPPLY DUCT
	RETURN DUCT
	RECTANGULAR SUPPLY DIFFUSER
	RETURN WALL GRILLE
	SUPPLY WALL DIFFUSER
	THERMOSTAT
	UNION
	CLEAN OUT
	COLD WATER (CW)
	HOT WATER (HW)
	ATC AUTOMATIC TEMP. CONTROL
	VTR VENT THRU ROOF

GRAPHIC SCALE

1/8"=1'0"

1/2"=1'0"

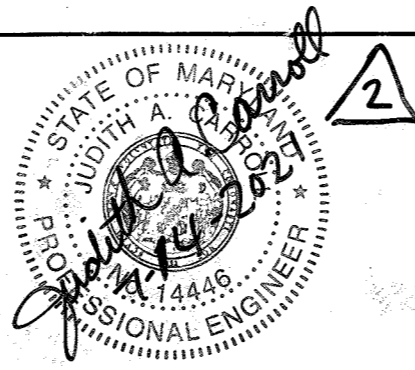


HVAC PLAN

8 OF 32

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BALTIMORE, MD. 21218.
(301)365-3737.



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2033 YORK RD.
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(301) 561-5130

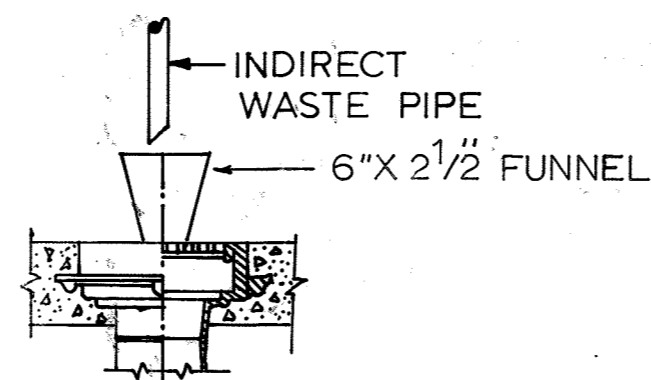


REVISIONS
7/1/2021 REVISED PLANS TO SHOW SITE MODS FOR THE EX. BLDG., NEW SWM & SITE IMPROVEMENTS.

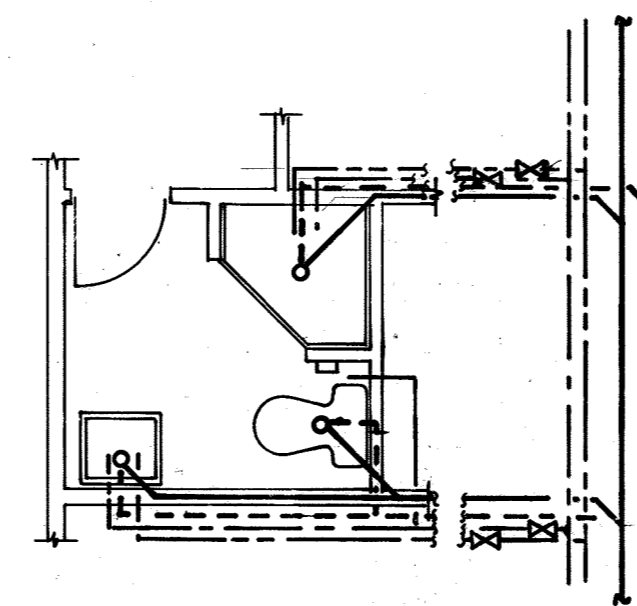
REVISED SITE DEVELOPMENT PLAN
AUDITORIUM RENOVATIONS
HARRIET TUBMAN BUILDING
8045 HARRIET TUBMAN LANE
COLUMBIA, MARYLAND

CAPITAL PROJECT NO. C - 0194
DATE: 7/1/18
DRAWING NO. M-1

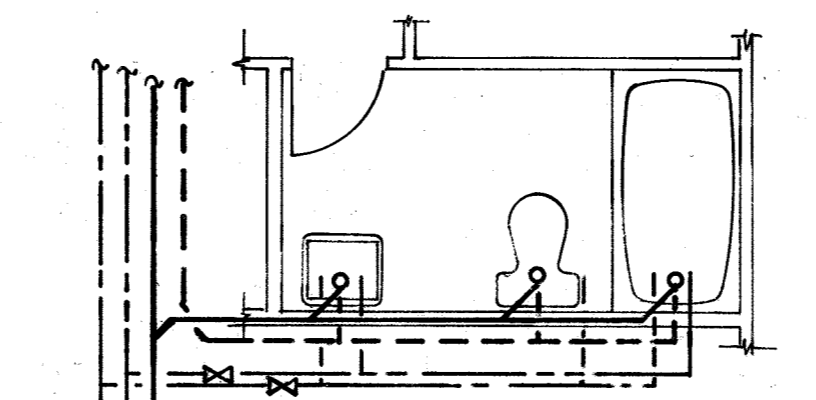
SDP 89-28



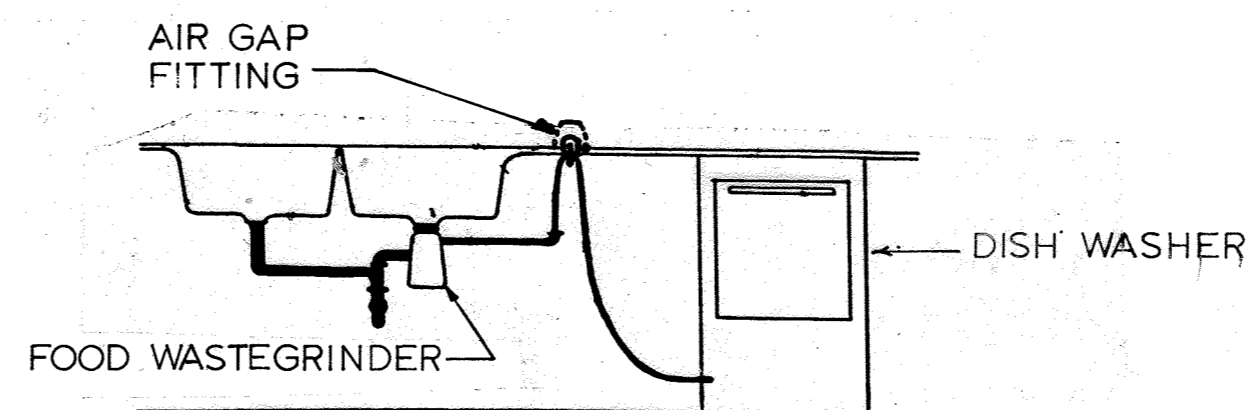
4. INDIRECT WASTE DRAIN CONNECTION IN MECH. ROOM
NOT TO SCALE



5. TOILET AREA NO 1.
SCALE 1/4" = 1'-0"



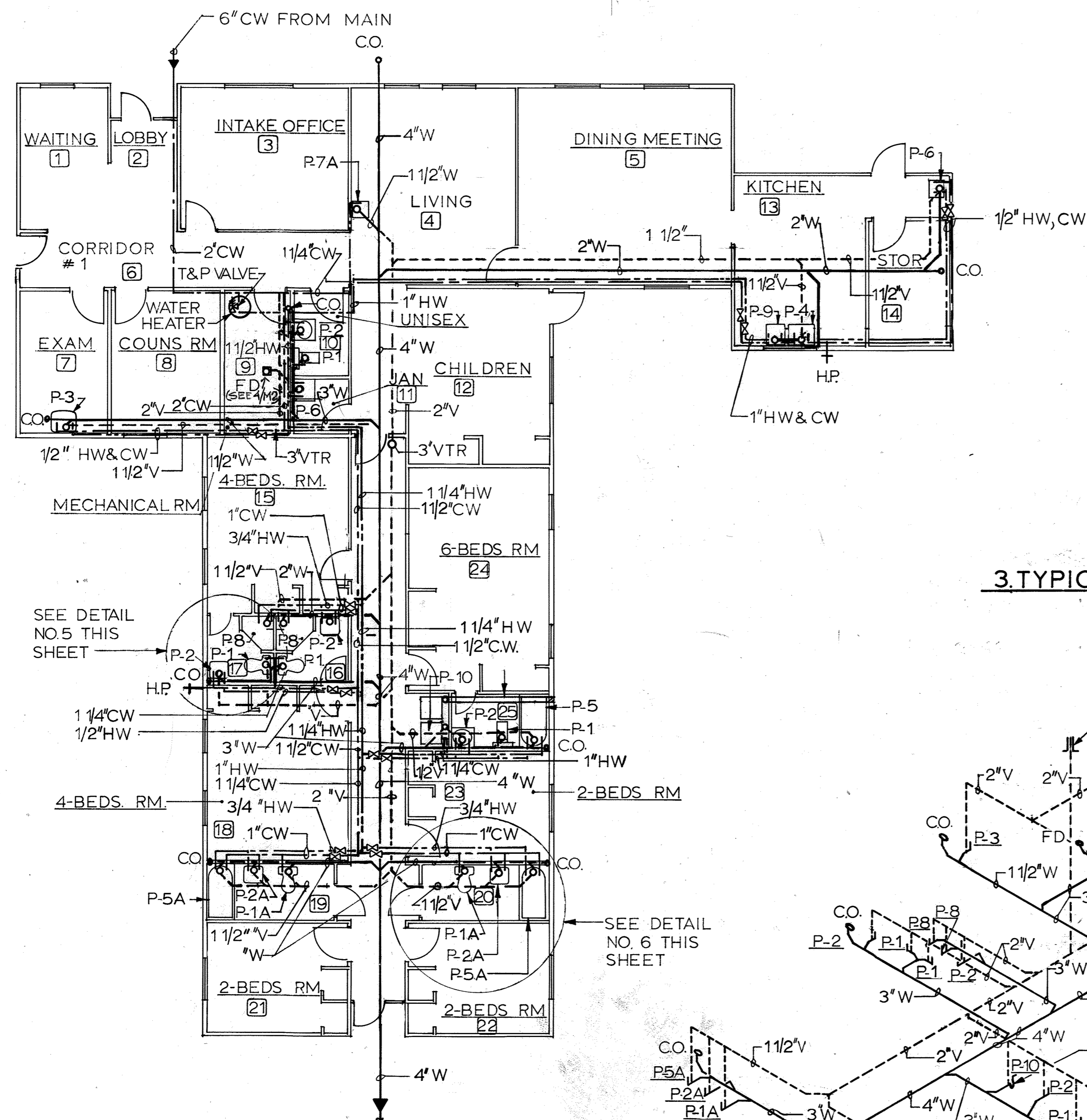
6. TOILET AREA NO 2.
SCALE 1/4" = 1'-0"



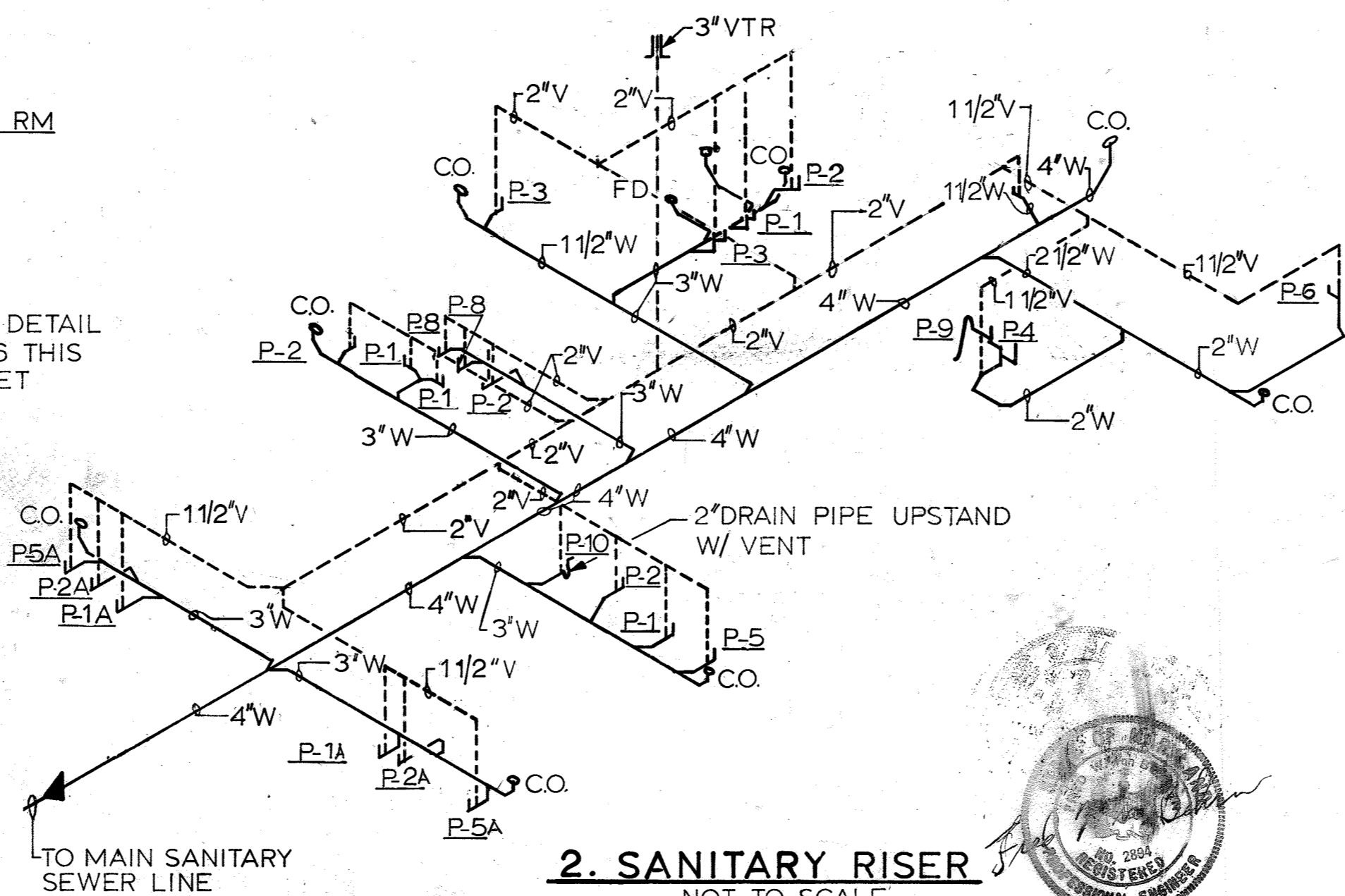
3. TYPICAL SINK, DISHWASHER AND FOOD WASTE GRINDER CONN.
NOT TO SCALE

6. PLUMBING FIXTURE SCHEDULE					
ITEM	DESCRIPTION	CW	HW	DRAIN	VENT
P-1 & P-1A	WATER CLOSET	1/2"	—	2"	1 1/2"
P-2 & P-2A	LAVATORY	3/8"	3/8"	1 1/2"	1 1/2"
P-3	COUNTER TOP SINK	1/2"	1/2"	2"	1 1/2"
P-4	KITCHEN SINK	1/2"	1/2"	2"	1 1/2"
P-5 & P-5A	BATHTUB	1/2"	1/2"	2"	1 1/2"
P-6	MOP SERVICE SINK	1/2"	1/2"	2"	1 1/2"
P-7A	DRINKING FOUNTAIN	3/8"	—	1 1/2"	1 1/2"
P-8	SHOWER	1/2"	1/2"	2"	1 1/2"
P-9	DISHWASHER	1"	1"	1 1/2"	1 1/2"
P-10	LAUNDRY MACHINE	1"	1"	2"	1 1/2"

NOTE: ITEMS WITH DESIGNATION "A" INDICATE HANDICAPPED FIXTURE.



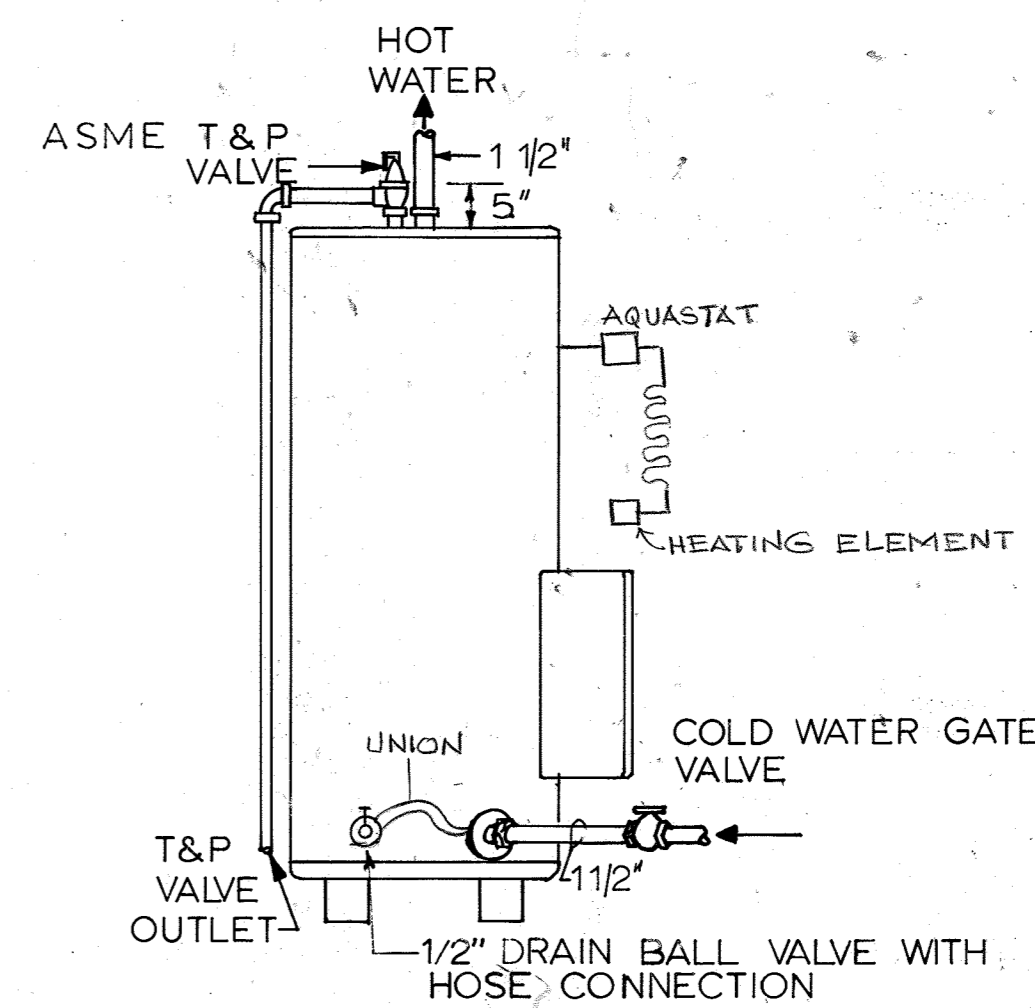
1. PLUMBING PLAN-GROUND FLOOR
SCALE 1/8" = 1'-0"



2. SANITARY RISER
NOT TO SCALE

7. LEGEND	
—	SANITARY SEWER
---	COLD WATER
----	HOT WATER
-----	VENT PIPE
CO	CLEAN-OUT
FD	FLOOR DRAIN
VTR	VENT THROUGH ROOF
V	VENT
CW	COLD WATER
HW	HOT WATER
W	SANITARY SEWER

8. SCHEDULE	
1.	WATER HEATER 120 GALS. STORAGE CAP 55 GALS HR. RECOVERY CAP AT 100°F RISE, 13.5 KW. MANUFACTURED BY STATE HEATERS OR EQUAL.



8. ELECTRIC WATER HEATER DETAIL
NOT TO SCALE

GRAPHIC SCALE

1/8" = 1'-0"

1/2" = 1'-0"



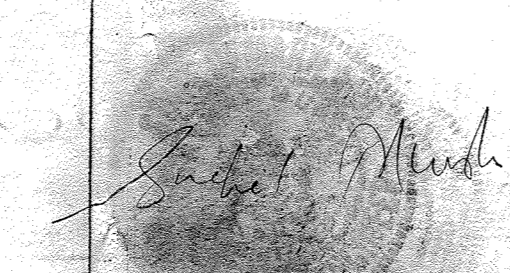
PLUMBING & SCHEDULE

9 OF 32

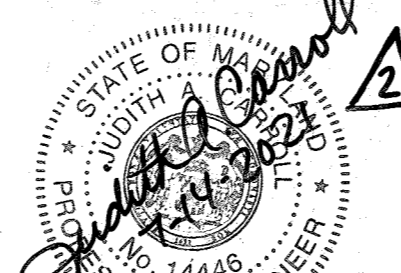
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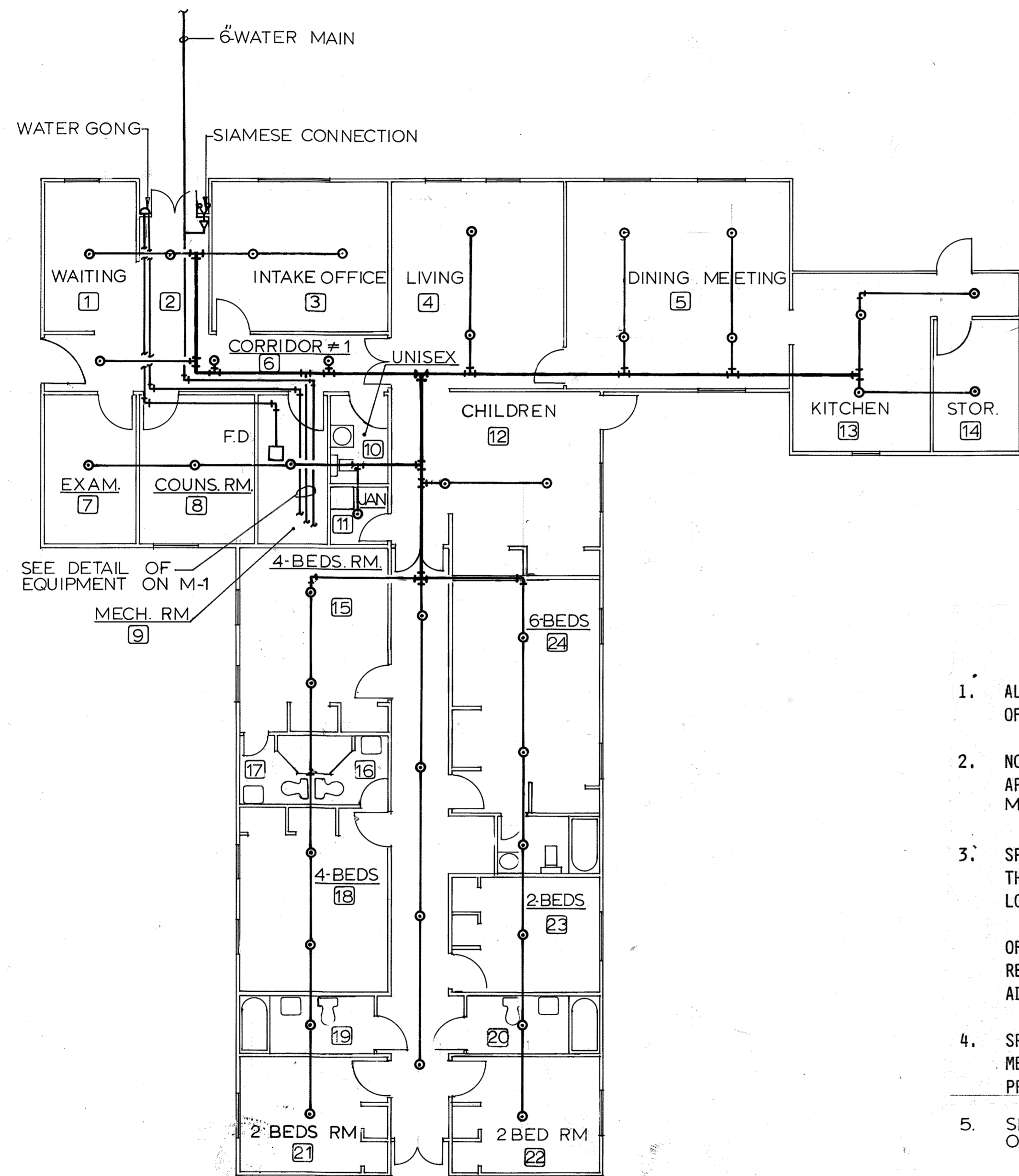


REVISIONS
7/1/2021 REVISED PLANS TO SHOW SITE MODS FOR THE EX. BLDG., NEW SWM & SITE IMPROVEMENTS.

REVISED SITE DEVELOPMENT PLAN
AUDITORIUM RENOVATIONS
HARRIET-TUGMAN BUILDING
8045 HARRIET TUGMAN LANE
COLUMBIA, MARYLAND

CAPITAL PROJECT NO. C - 0194
DATE: 7/1/88
DRAWING NO. M-2

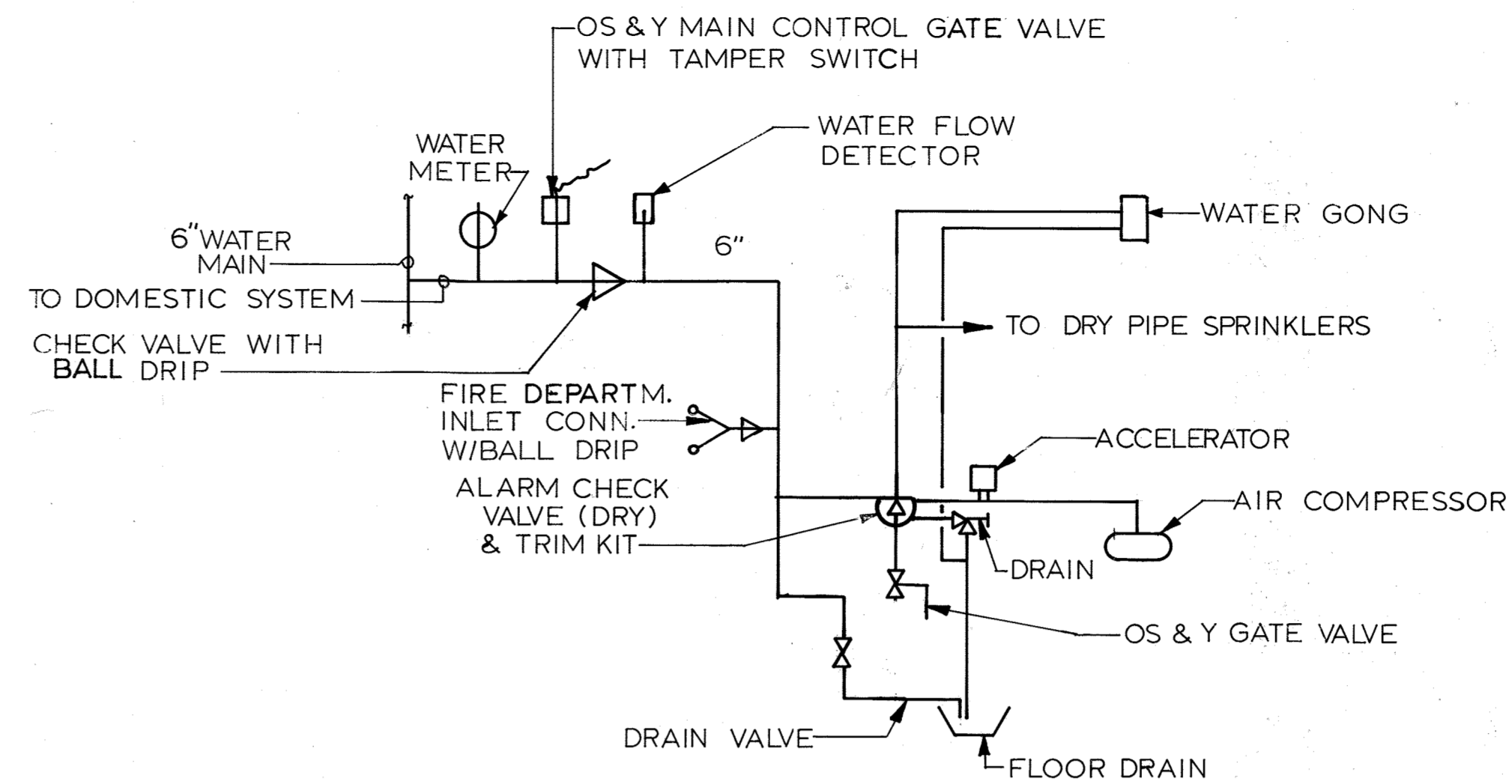
SDP 89-28



1. FIRE PROTECTION PLAN

SCALE 1/8" = 1'-0"

NOTE: IN ATTIC INSTALL UPRIGHT SPRINKLERS ABOVE PENDENT SPRINKLERS.



2. DRY PIPE SPRINKLERS RISER DIAGRAM

NOT TO SCALE

SPRINKLER - GENERAL REQUIREMENTS

- ALL SPRINKLERS SHALL BE INSTALLED TO MEET CURRENT REQUIREMENTS OF NFPA AND MARYLAND STATE FIRE MARSHALL.
- NO SPRINKLER SYSTEM COMPONENTS MAY BE INSTALLED BEFORE WRITTEN APPROVAL OF THE SHOP DRAWINGS HAVE BEEN OBTAINED FROM BOTH THE MARYLAND STATE FIRE MARSHALL AND ENGINEER.
- SPRINKLER HEAD LAYOUTS ARE FOR GUIDANCE FOR SPRINKLERS INSTALLATION. THE FINAL ARRANGEMENT OF SPRINKLERS HEADS MAY VARY PROVIDED HEAD LOCATIONS ARE COORDINATED WITH THE OTHER DRAWINGS. THIS WILL REQUIRE PROVISION AND INSTALLATION OF GREATER NUMBER OF SPRINKLERS THAN ARE REQUIRED TO MEET MINIMAL REQUIREMENTS. THESE ADDITIONAL SPRINKLERS SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
- SPRINKLER PIPING LAYOUT MUST BE ARRANGED TO AVOID CONFLICT WITH OTHER MECHANICAL AND ELECTRICAL SERVICES, AND ADDITIONAL PIPING MUST BE PROVIDED TO MEET THIS REQUIREMENT.
- SPRINKLER INSTALLER SHALL BE REGISTERED IN THE STATE OF MARYLAND.

LEGEND

	FW	FIRE WATER PIPING
		OS & Y GATE VALVE WITH TAMPER SWITCH
		FLOW DETECTOR SWITCH
		CHECK VALVE
		PENDENT SPRINKLER AND UPRIGHT SPRINKLER
		FIRE DEPARTMENT INLET CONNECTION 1 1/2" x 1 1/2" x 6"

GRAPHIC SCALE

1/8" = 1'-0"

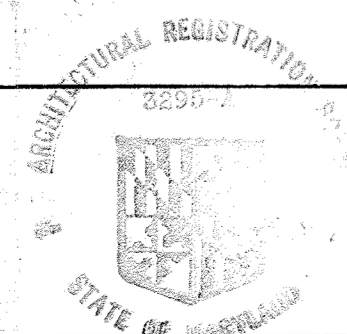
1/2" = 1'-0"



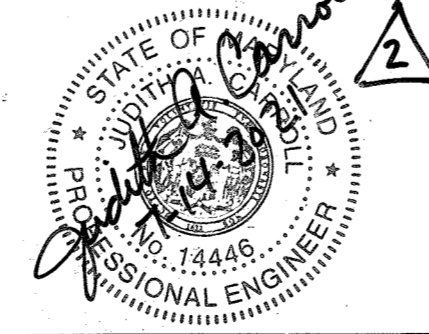
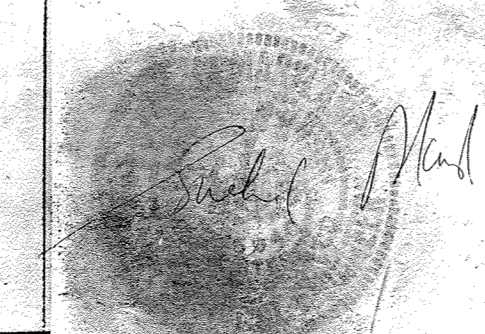
FIRE PROTECTION PLAN

10 OF 32

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(301)366-3737.



SIDHU ASSOCIATES INC.
2033 YORK RD.
TIMONIUM, MD. 21093
(301) 561-5130

REVISION
7/1/2021 REVISED PLANS TO
SHOW SITE MODS FOR THE EX.
BLDG., NEW SWM + SITE
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REVISED SITE DEVELOPMENT PLAN
AUDITORIUM RENOVATIONS
HARRIET TUBMAN BUILDING
8045 HARRIET TUBMAN LANE
HOWARD COUNTY
COLUMBIA, MARYLAND

CAPITAL PROJECT NO. C - 0194
DATE: 7/1/88
DRAWING NO. M - 3

SDP 89-28

ABBREVIATIONS

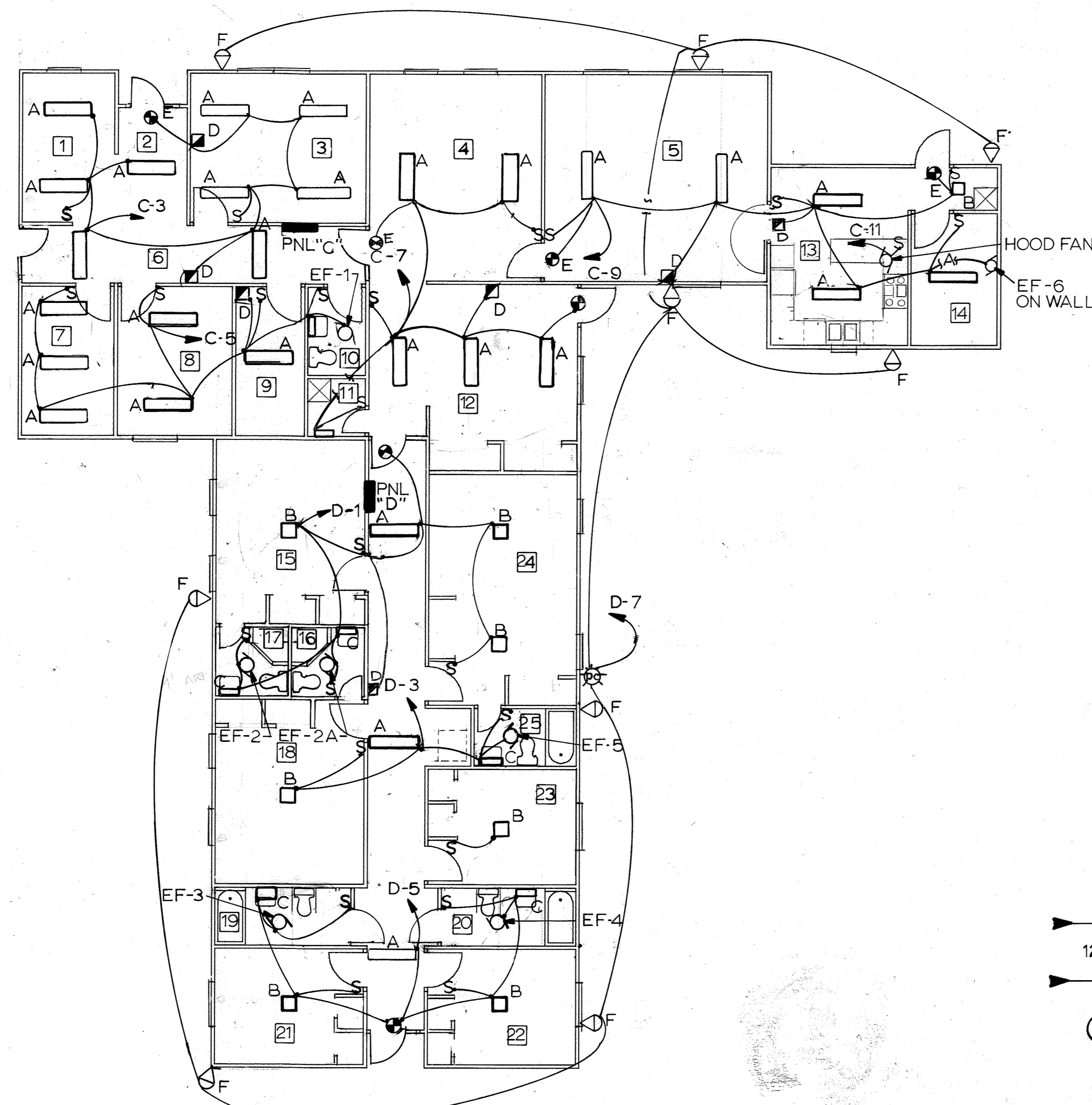
- A AMPERE
- AFF ABOVE FINISH FLOOR
- BP BURGLAR PANEL
- C CONDUIT
- CT CURRENT TRANSFORMER
- DRG DRAWING
- EOL END OF LINE
- EXIST. EXISTING
- FAP FIRE ALARM PANEL
- G GROUND
- GFCI GROUND FAULT CURRENT INTERRUPTING
- M METER
- MDP MAIN DISTRIBUTION PANEL
- NFSS NON FUSE SAFETY SWITCH
- PNL PANEL
- S SWITCH
- TTC TELEPHONE TERMINAL CABINET
- WP WEATHER PROOF

SCHEDULE OF LIGHTING FIXTURES

SYMBOL	TECHNICAL DESCRIPTION	MANUFACTURER CAT. NO.
A	SURFACE MOUNTED FLUORESCENT LIGHT FIXTURES 12"x49" WITH SHALLOW ONE PIECE DIE FORMED BODY FINISHED IN WHITE POLYESTER POWDER COATING & DIFFUSER ONE PIECE POLYESTER MOLDED PRISMATIC ACRYLIC, COMPLETE WITH HPF BALLAST & LAMPS AS SPECIFIED.	45257-4 DAYBRITE
B	SURFACE MOUNTED SQUARE FIXTURES 12"x12" WHITE FINISH WITH DROP OPEN GLASS DIFFUSER HELD BY TORSION SPRINGS & 2 NOS 60W LAMPS	P-3721-16 PROGRESS
C	WHITE CERAMIC GLASS WITH CLEAR DOUBLE RIBBED DIFFUSER, CHROME CANOPY. GROUNDED CONVENIENCE OUTLET WITH TWO 75 WATT LAMPS.	P-3030 PROGRESS
D	EMERGENCY LIGHT SELF CONTAINED WITH 12 VOLTS CHARGEABLE BATTERY PACK WITH INPUT VOLTAGE 120 VOLTS AC. THE UNIT SHOULD BE RECESS TYPE WITH FACE PLATE FLUSHING TO THE WALL. LAMPS PAR-36 INCANDESCENT SEALED BEAM. FACE PLATE FINISH IVORY WHITE.	ELR-4 LITHONIA
E	EXIT LIGHT SINGLE FACE WALLMOUNTED WITH GREEN INSCRIPTION ON WHITE STENCIL THE UNIT IS SELF CONTAINED WITH CHARGEABLE MAINTENANCE FREE BATTERY AND SUITABLE FOR 120V AC PRIMARY INPUT AS SPECIFIED	ELU-4X LITHONIA EPIG LITHONIA
F	AREA LIGHTING UNIT OUTDOOR TYPE PHOTOCELL CONTROLLED IN ONE PIECE DIE CAST ALUMINIUM HOUSING. HIGH POWER FACTOR BALLAST AND 100 WATT HIGH PRESSURE SODIUM LAMPS AS SPECIFIED	FLS10 HS DAYBRITE

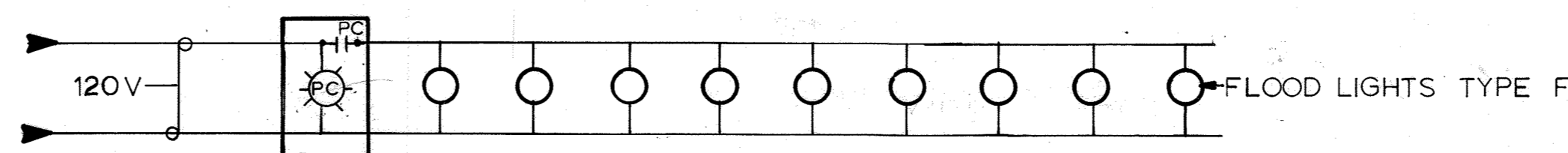
DRAWING SYMBOLS

SYMBOL	DESCRIPTION
[Symbol]	ELECTRICAL PANEL
[Symbol]	CURRENT TRANSFORMER
[Symbol]	NONFUSED SAFETY SWITCH
[Symbol]	208 VOLTS RECEPTACLE 30A, 2P, 3W, 1Ø
[Symbol]	DUPLEX RECEPTACLE
[Symbol]	FIRE ALARM PANEL
[Symbol]	SMOKE DETECTOR
[Symbol]	HEAT DETECTOR
[Symbol]	FIRE ALARM PULL STATION
[Symbol]	FIRE ALARM WITH CHIMES
[Symbol]	BURGLAR ALARM DOOR UNIT
[Symbol]	BURGLAR ALARM ANNUNCIATOR
[Symbol]	1'x4' FLUORESCENT LIGHT FIXTURE
[Symbol]	12'x12" INCANDESCENT FIXTURE
[Symbol]	MIRROR LIGHTS
[Symbol]	EMERGENCY LIGHT
[Symbol]	ROOM NUMBERS, DIGIT IN THE BOX IDENTIFIES THE ROOM.
[Symbol]	EXIT LIGHT
[Symbol]	TOILET EXHAUST FAN
[Symbol]	FLOOD LIGHT
[Symbol]	PHOTO CELL
[Symbol]	SWITCH
[Symbol]	HOMERUN-LETTER DENOTES PANEL AND DIGIT FOR CIRCUIT NO.
[Symbol]	NUMBER OF CROSSLINES DENOTE NO. OF WIRES, NO. CROSSLINES MEANS 2#12 AND #12 GROUND.
[Symbol]	TELEPHONE OUTLET
[Symbol]	END OF LINE RESISTOR
[Symbol]	TELEPHONE TERMINAL CABINET TO BE DEMOLISHED.
[Symbol]	TAMPER SWITCH ON SPRINKLER VALVE



NOTES

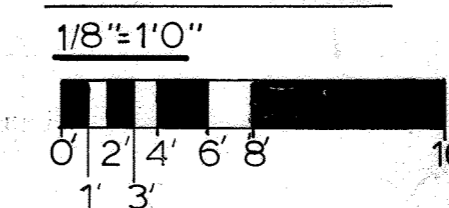
- CONNECT EMERGENCY LIGHTS AND EXIT LIGHTS TO THE LIGHTING CIRCUITS BEFORE THE SWITCH.
- THE PHOTOCELL FOR CONTROL OF FLOOD LIGHTS WILL HAVE 20AMPS CONTACT RATING.



⑥ PHOTOCELL CONTROL WIRING FOR FLOOD LIGHT
NOT TO SCALE

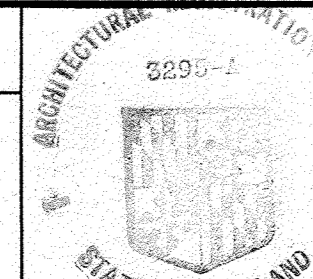
⑦ ELECTRICAL LIGHTING
SCALE 1/8" = 1'-0"

GRAPHIC SCALE



ELECTRICAL LIGHTING

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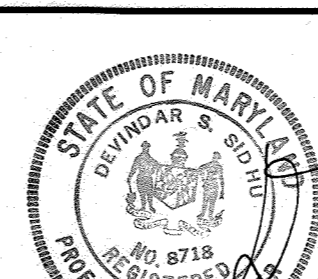


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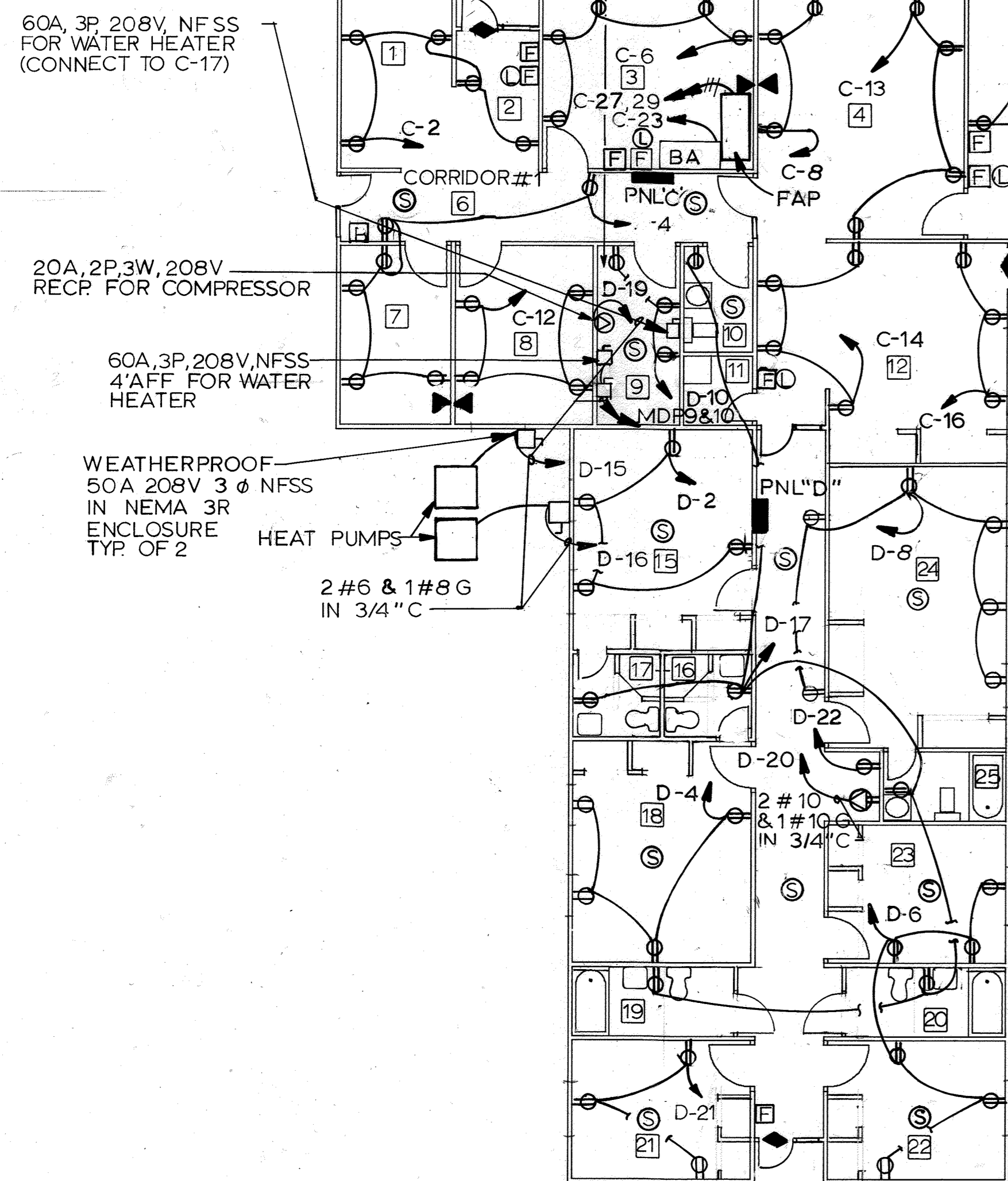


REVISIONS
7/1/2021 REVISED PLANS TO SHOW SITE MODS FOR THE EX. BLDG., NEW SWM + SITE IMPROVEMENTS.

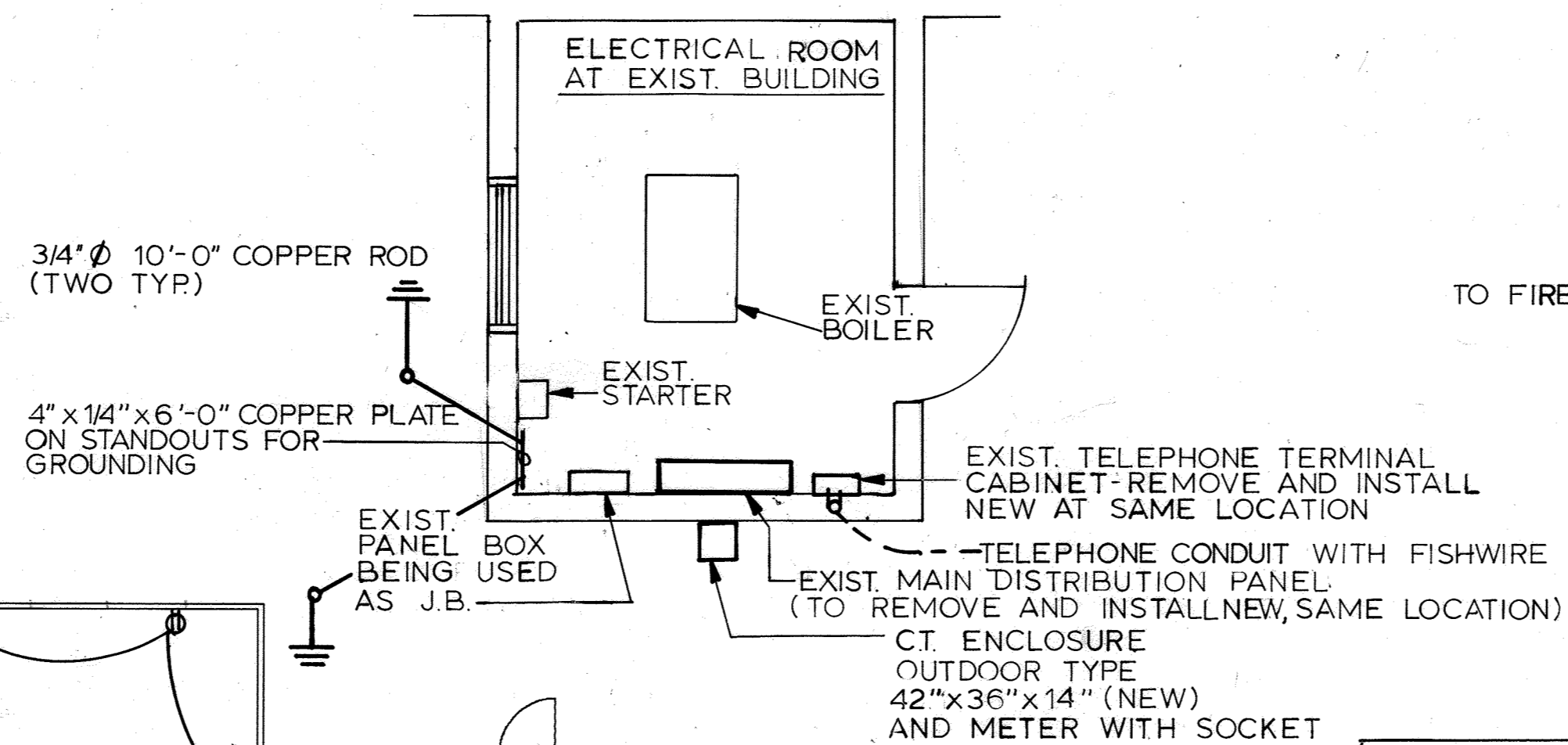
REVISED SITE DEVELOPMENT PLAN
AUDITORIUM RENOVATIONS
HARRIET TUBMAN BUILDING
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HOWARD COUNTY
COLUMBIA, MARYLAND

CAPITAL PROJECT NO. C-0194
DATE: 7/14/08
DRAWING NO. E-1

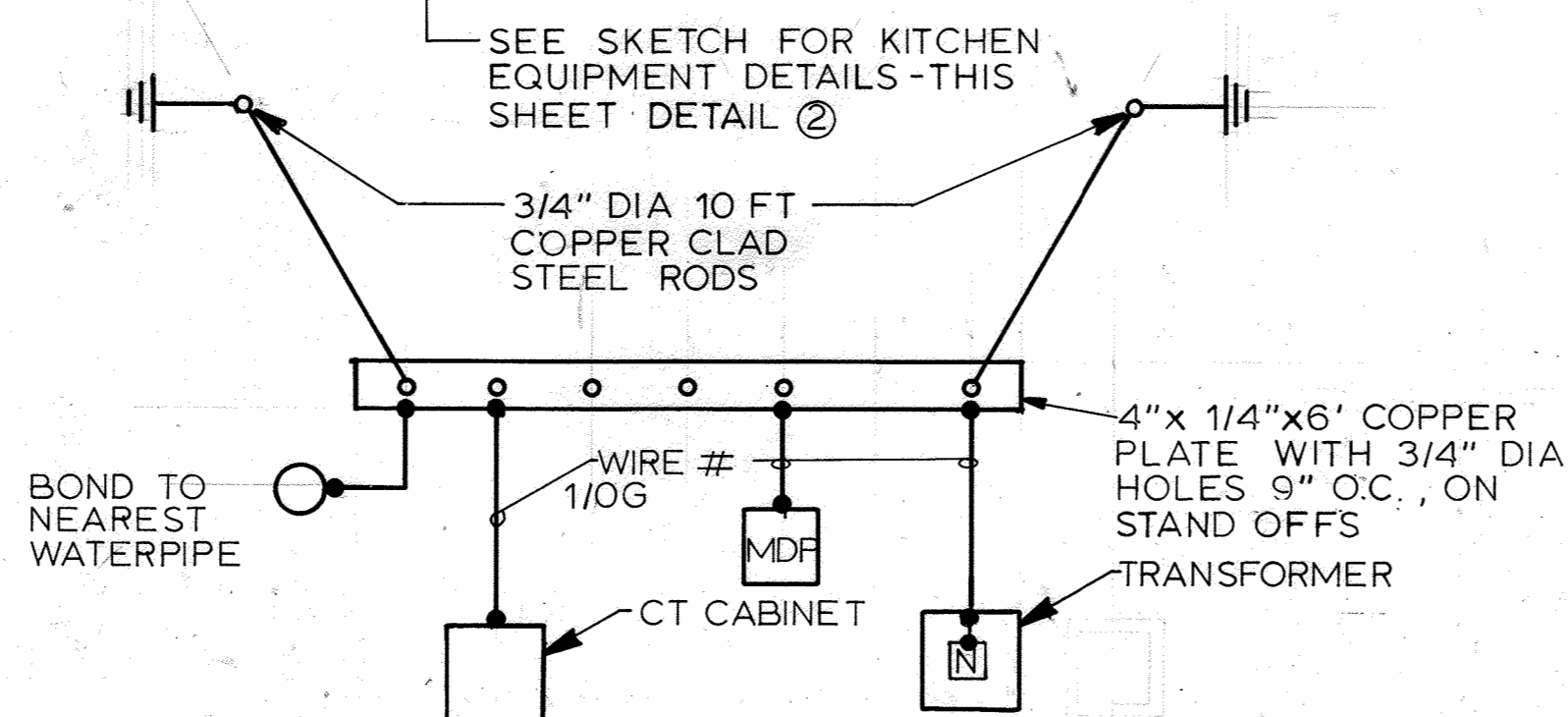
SDP 89-28



① **ELECTRICAL POWER**
SCALE 1/8" = 1'-0"

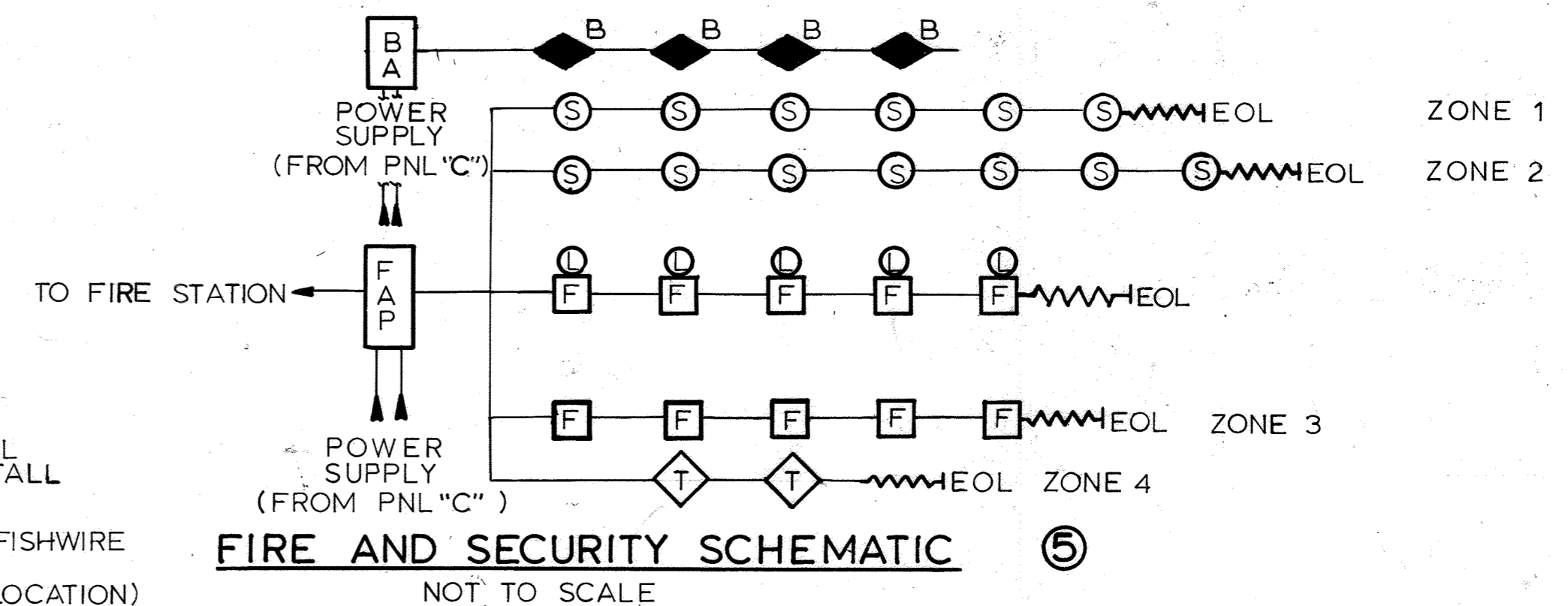


EXIST. ELECT. ROOM DETAILS
NOT TO SCALE

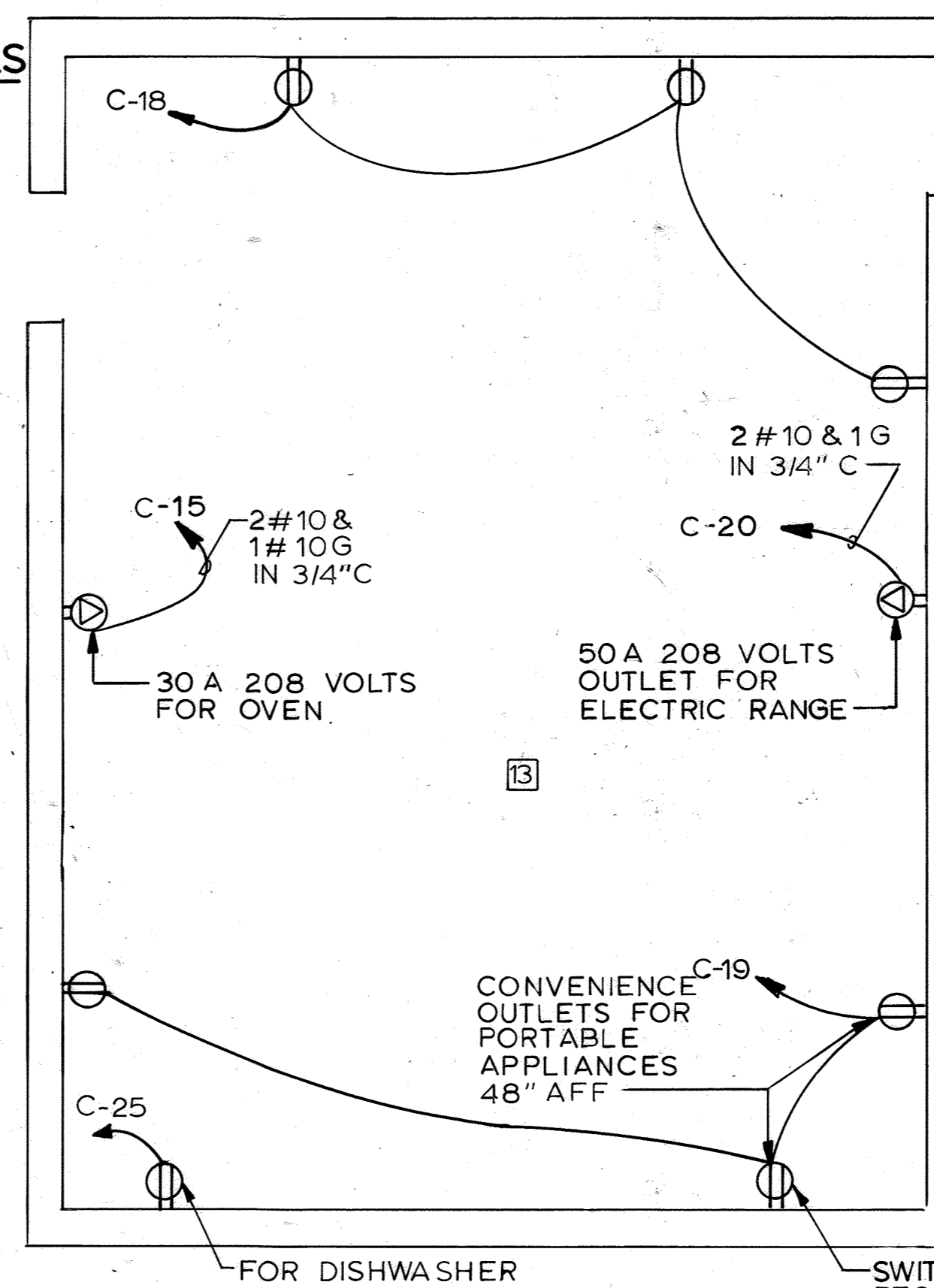


GROUNDING
NO SCALE

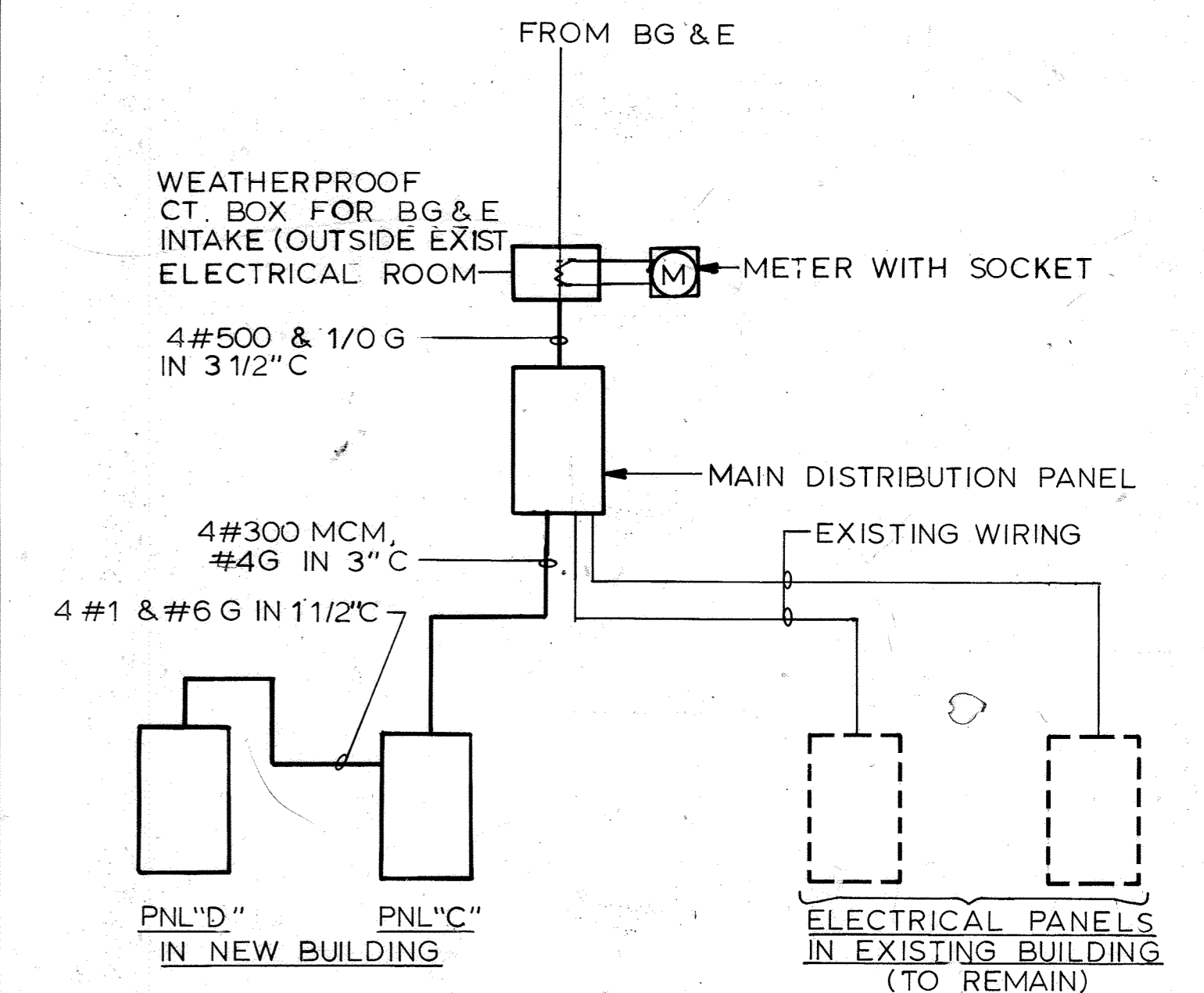
- NOTES:
- CONNECT ALL TOILET RECEPTACLES ON ONE CIRCUIT WITH GFCI BREAKER.
 - THE EXISTING BURGLAR ALARM PANEL IS IN PHONE ROOM OF EXISTING BUILDING. DISTANCE OF PHONE ROOM FROM ENTRANCE OF NEW BUILDING IS 90 FT.
 - PROVIDE GFCI RECEPTACLES FOR DISHWASHER AND GARBAGE DISPOSER IN KITCHEN AS SHOWN IN KITCHEN DETAIL.
 - GFCI RECEPTACLE FOR GARBAGE DISPOSER WILL HAVE A SWITCH.



FIRE AND SECURITY SCHEMATIC
NOT TO SCALE



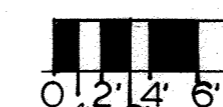
② **KITCHEN EQUIPMENT POWER DETAILS**
SCALE: 1/2" = 1'-0"



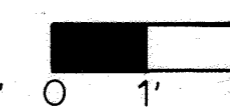
③ **ONE LINE POWER DIAGRAM**
NOT TO SCALE

GRAPHIC SCALE

1/8" = 1'-0"



1/2" = 1'-0"

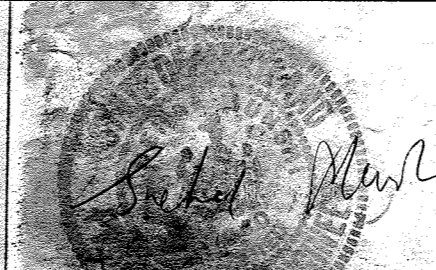


ELECTRICAL POWER & COMMUNICATION

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② **REVISIONS**
7/1/2021 REVISED PLANS TO
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② **REVISED SITE DEVELOPMENT PLAN**
AUDITORIUM RENOVATIONS
HARRIET TUBMAN BUILDING
8045 HARRIET TUBMAN LANE
HOWARD COUNTY
COLUMBIA, MARYLAND

12 OF 32
CAPITAL PROJECT NO. C - 0194
DATE: 7/14/88
DRAWING NO. E-2

SDP 89-28

PANEL SCHEDULE "G" 225 AMPS 120/208V, 3Ø, 4W, CORRIDOR #1-MLO

CKT NO.	FOR	BREAKER			I.C.	CKT NO.	FOR	BREAKER			I.C.
		FRAM	POLE	CALIB				FRAM	POLE	CALIB	
1	SPARE	100	1	20	25	2	RECP. WTG RM & LOBBY	100	1	20	25
3	LTG WTG RM, LOBBY, OFFICE	100	1	20	25	4	RECP. EXM RM, CORR #1	100	1	20	25
5	LTG EXRM, CONSLG, MECH RM	100	1	20	25	6	RECP. OFFICE	100	1	20	25
7	LTG LVG RM, CHILD RM	100	1	20	25	8	RECP LIVING ROOM	100	1	20	25
9	LTG DINING, KITCH, STORE	100	1	20	25	10	RECP DINING ROOM	100	1	20	25
11	KITCHEN HOOD FAN&LGT	100	1	20	25	12	RECP COUNSELING ROOM	100	1	20	25
13	RECP. LVG RM.	100	1	20	25	14	RECP CHILDREN ROOM	100	1	20	25
15	30A RECP FOR OVEN	100	2	30	25	16	RECP KITCHEN STORE	100	2	20	25
17	ELECT. BOILER M/C RM	100	3	50	25	18	RECP IN KITCHEN	100	1	20	25
19	PANEL 'B'	100	3	100	25	20	50 AMP SUPPLY-RANGE	100	2	50	25
21	SPARE	100	1	20	25	22	RECP FOR KTCH APPLIAN	100	1	20	25
23	BURGLAR ALARM PANEL	100	1	20	25	24	FIRE SUPPRE. EQUIP	100	2	20	25
25	DISHWASHER	100	1	20	25	26	SPARE	100	1	20	25
27	F. A. PANEL	100	1	20	25	28	SPARE	100	1	20	25
29	F. A. PANEL	100	1	20	25	29	SPARE	100	1	20	25

225-MLO-25 PROVIDE SOLID NEUTRAL AND GROUND BUS

I.C.=INTERRUPTING CAPACITY IN THOUSANDS OF SYMMETRICAL RMS AMPERES.

PANEL SCHEDULE D 100 AMPS, 120/208V, 3Ø, 4W, CORRIDOR #2 M.L.O.

CKT NO.	FOR	BREAKER			I.C.	CKT NO.	FOR	BREAKER			I.C.
		FRAM	POLE	CALIB				FRAM	POLE	CALIB	
1	LTG BED ROOMS & TOILETS	100	1	20	25	2	RECP BDRM-15,	100	1	20	25
3	LTG BED RM & TOILETS	100	1	20	25	4	DO BDRM 18,21,	100	1	20	25
5	LTG BED RMS & TOILETS	100	1	20	25	6	DO BDRM 22,23,	100	1	20	25
7	FLOOD LIGHTS	100	1	20	25	8	DO BDRM 24	100	1	20	25
9	SPARE	100	1	20	25	10	RECP INM/C ROOM	100	1	20	25
11	SPARE	100	1	20	25	12	SPARE	100	2	20	25
13	AIR COMPRESSOR,M/C RM	100	1	20	25	14	A/C EVAPORATOR	100	2	20	25
15	50 A NFSS FOR HEAT PUMP	100	3	50	25	16	50A NFSS FOR HEAT PUMP	100	3	50	25
17	TOILET RECPTACLES	100	1	20	25	18	A/C EVAPORATOR	100	2	20	25
19	RECP. IN M/C RM	100	2	20	25	20	DRYER CORRIDOR #2	100	2	30	25
21	RECP BED RM. 21	100	1	20	25	22	WASHER CORR. #2	100	1	20	25

225-MLO-25-PROVIDE SOLID NEUTRAL AND GROUND BUS

I.C.=INTERRUPTING CAPACITY IN THOUSANDS OF SYMMETRICAL RMS AMPERES.

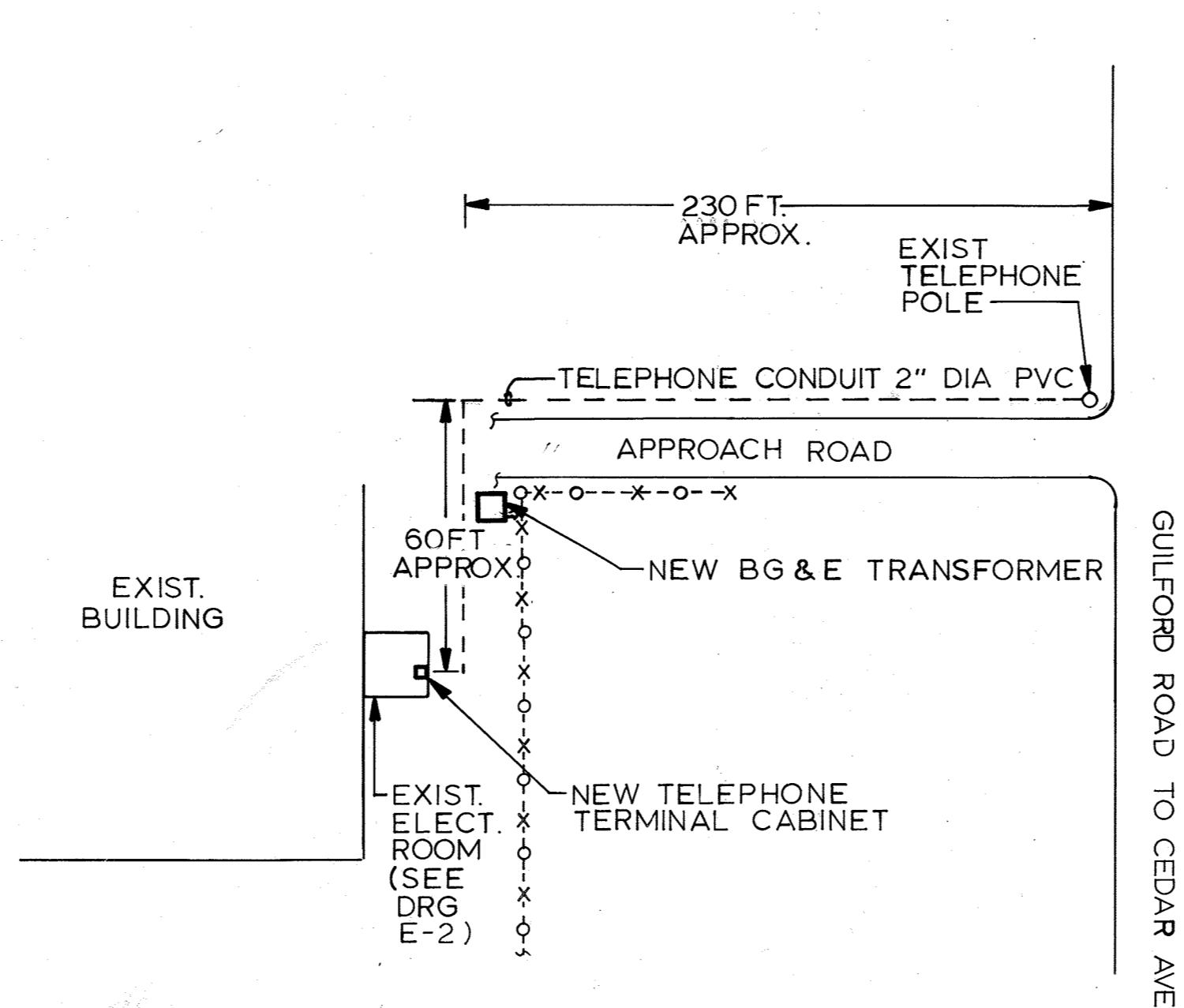
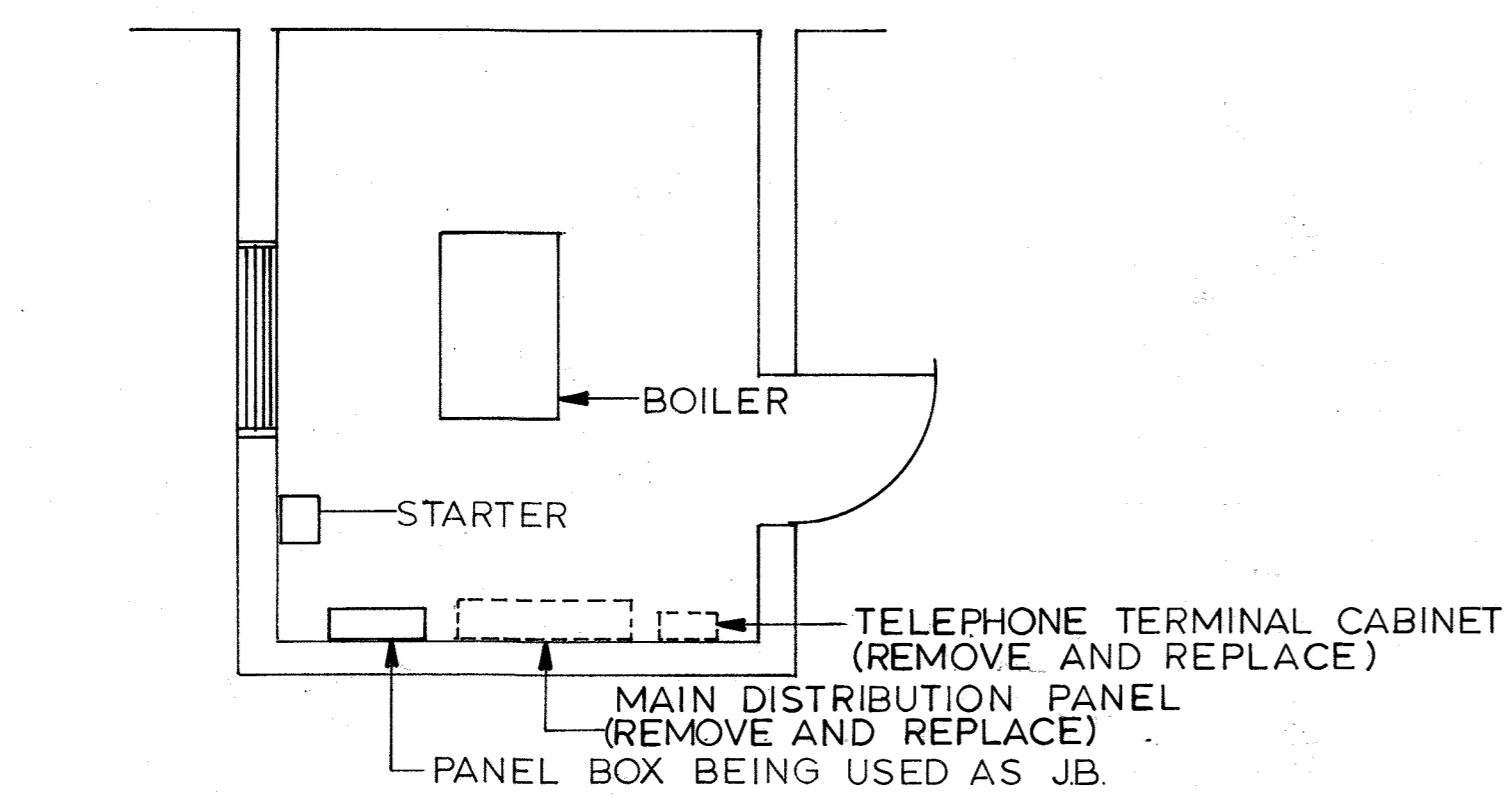
ALL TOILET RECEPTACLES ON ONE CIRCUIT WITH GFCI BREAKER

PANEL SCHEDULE MDP 400A 120/208V 3Ø 4W IN EXISTING ELECT. ROOM-WITH 400A MAIN BREAKER

CKT NO.	FOR	BREAKER			I.C.	CKT NO.	FOR	BREAKER			I.C.
		FRAM	POLE	CALIB				FRAM	POLE	CALIB	
1	SUB PANEL 'B' EXIST	100	3	100	25	2	SUB PANEL 'A' NEW	225	3	225	25
3	SUB PANEL 'A' EXIST	100	3	100	25	4	BOILER - EXIST	100	1	20	25
5	WELL PUMP EXIST	100	3	40	25	6	FLOOD LIGHTS - EXIST	100	1	20	25
7	A/C UNIT 'A' EXIST	100	3	70	25	8	A/C UNIT 'B' - EXIST	100	3	70	25
9	ELECTRIC DUCT HEATER	100	3	40	25	10	ELECTRIC DUCT HEATER	100	3	40	25
11	SPARE	100	3	70	25	12	SPARE	100	1	20	25
13	SPARE	100	1	20	25	14	SPARE	100	1	20	25

400-3-400-25 PROVIDE SOLID NEUTRAL AND GROUND BUS

I.C.=INTERRUPTING CAPACITY IN THOUSANDS OF SYMMETRICAL RMS AMPERES

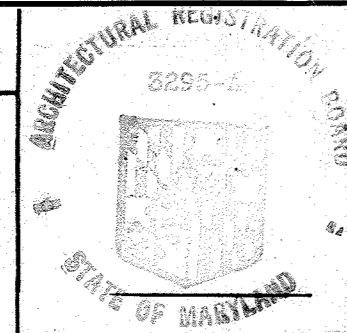


NOTES

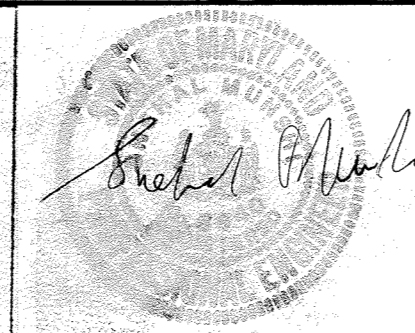
- PROVIDE PULL WIRE IN THE PVC CONDUIT FOR C & P USE.
- TERMINATE PVC CONDUIT AT EXIST. TELEPHONE POLE 2 FT ABOVE GROUND AND CLOSE IT.
- PROVIDE 6FTx6FT LEVELLED GROUND FOR BG & E TRANSFORMER AS SHOWN ON THE DRG.

PANEL SCHEDULES

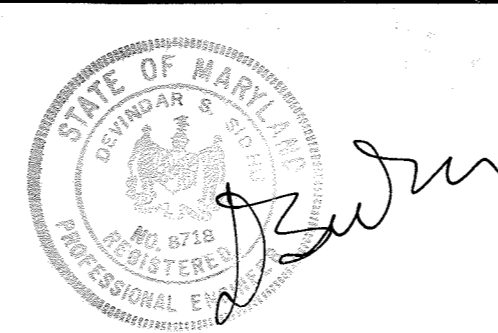
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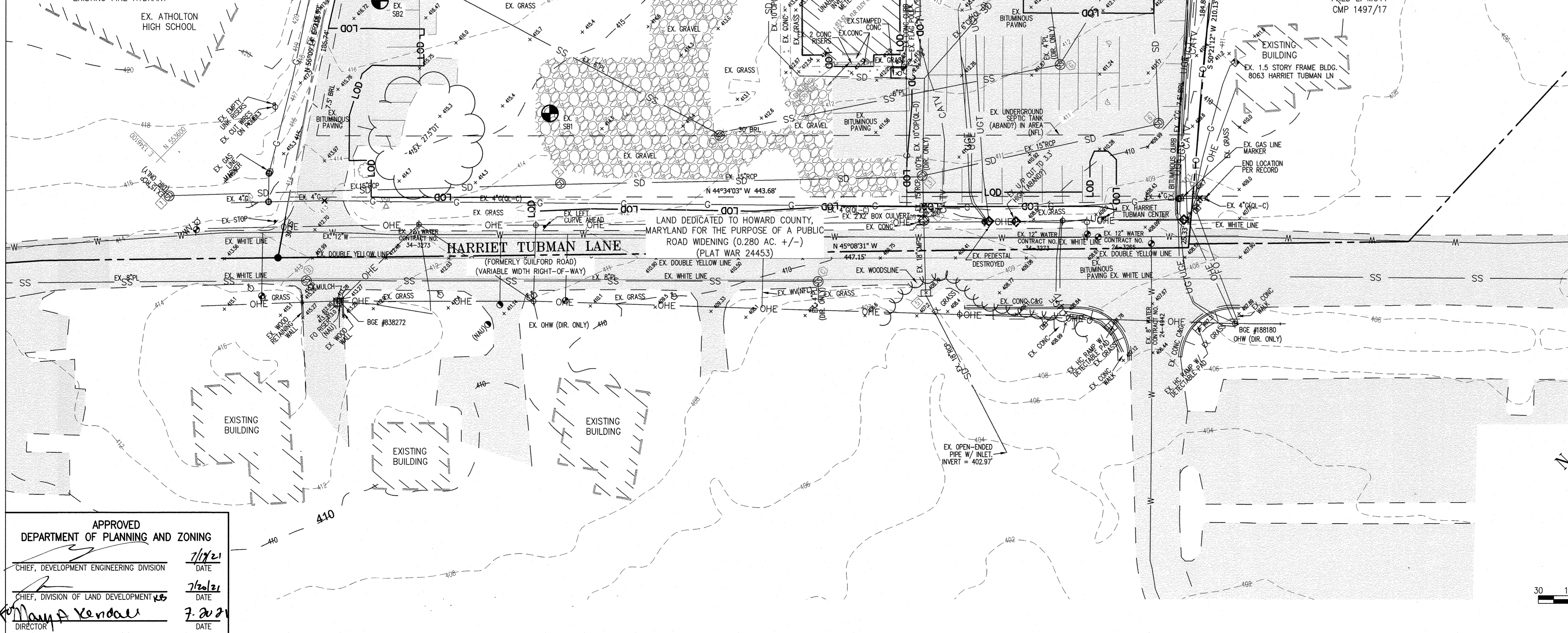
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REVISED SITE DEVELOPMENT PLAN
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13 OF 32
CAPITAL PROJECT NO. C - 0194
DATE: 7/14/08
DRAWING NO. E-3

SDP 89-28

- LEGEND**
- EXISTING PROPERTY LINE
 - EXISTING RIGHT-OF-WAY
 - EXISTING EASEMENT
 - EXISTING SETBACK
 - EXISTING BUILDING
 - 400 EXISTING MAJOR CONTOUR
 - 401 EXISTING MINOR CONTOUR
 - EXISTING CURB
 - EXISTING CURB & GUTTER
 - EXISTING ROADWAY
 - EXISTING PAVEMENT
 - EXISTING ASPHALT PAVING
 - EXISTING CONCRETE PAVING
 - EXISTING GRAVEL
 - X EXISTING FENCELINE
 - EXISTING BOLLARD
 - EXISTING SIGN
 - ⊠ EXISTING ELECTRIC HANDBOX
 - ⊙ EXISTING ELECTRIC MANHOLE
 - O— EXISTING OVERHEAD ELECTRIC
 - UG— EXISTING UNDERGROUND ELECTRIC
 - COND— EXISTING UNDERGROUND CONDUIT
 - UGD— EXISTING DUCTBANK
 - ⊠ EXISTING COMM HANDBOX
 - COMM EXISTING COMMUNICATION
 - CATV EXISTING CABLE TELEVISION
 - FO EXISTING FIBER OPTIC
 - FA EXISTING FIRE ALARM
 - G EXISTING GAS LINE
 - OV# EXISTING GAS VALVE
 - SS EXISTING SANITARY LINE
 - SSFM EXISTING SANITARY FORCE MAIN
 - ⊙ EXISTING SANITARY MANHOLE
 - ⊙ EXISTING SANITARY CLEANOUT
 - ST EXISTING STEAM LINE
 - ⊙ EXISTING STORMDRAIN LINE
 - ⊙ EXISTING STORMDRAIN INLET
 - ⊙ EXISTING STORMDRAIN MANHOLE
 - ⊙ EXISTING STORMDRAIN CLEANOUT
 - UGT EXISTING TELEPHONE
 - ⊙ EXISTING TELEPHONE MANHOLE
 - ⊙ EXISTING TELEPHONE PEDESTAL
 - EXISTING UTILITY POLE
 - W EXISTING LIGHT POLE
 - WM EXISTING WATER LINE
 - W EXISTING WATER METER
 - WV EXISTING WATER VALVE
 - ⊙ EXISTING WATER MANHOLE
 - ⊙ EXISTING FIRE HYDRANT



GENERAL NOTES:

- FIELD RUN TOPOGRAPHICAL AND BOUNDARY SURVEY PERFORMED BY A/E/DATA, DATED APRIL/MAY 2020. ADDITIONAL INFORMATION ON UTILITIES, BUILDINGS, AND HARDSCAPES LOCATIONS ARE BASED UPON COUNTY GIS DATA, AS-BUILT DRAWINGS, UTILITY LOCATION AND FIELD OBSERVATION AND IS NOT GUARANTEED TRUE & CORRECT. ALL HORIZONTAL SURVEY DATA SHOWN HEREON ARE REFERENCED TO THE MARYLAND COORDINATE SYSTEM MD83 (NA2011), AND ALL VERTICAL SURVEY DATA SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), AS DERIVED FROM THE FOLLOWING POINTS PROVIDED BY THE HOWARD COUNTY BUREAU OF ENGINEERING:

POINT#	NORTHING	EASTING	ELEVATION	DESCRIPTION
351A	555450.56	1346039.78	412.30	CONC MONUMENT
351C	553504.39	1346160.58	414.35	CONC MONUMENT
41CC	552494.25	1347062.46	399.99	CONC MONUMENT

- EXISTING UNDERGROUND UTILITIES DESIGNATED ON THE PLANS ARE BASED ON CURRENTLY AVAILABLE INFORMATION AND ARE SHOWN FOR REFERENCE ONLY. THE OWNER AND ENGINEER DISCLAIM ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF SAID INFORMATION BEYOND THE DESIGNATION INDICATED. THE QUALITY LEVEL DESIGNATED IS IN ACCORDANCE WITH ASCE "STANDARD GUIDELINE FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA" (CI/ASCE 38-02). THE CONTRACTOR SHALL MAKE HIMSELF FAMILIAR WITH THESE STANDARDS PRIOR TO ANY RELIANCE ON THE INFORMATION SHOWN ON THESE PLANS. PRIOR TO ANY EXCAVATION, IN THE ABSENCE OF QUALITY LEVEL A OR B DESIGNATION, THE CONTRACTOR SHALL VERIFY, TO HIS OWN SATISFACTION, THE EXISTENCE, DEPTH, SIZE, MATERIAL, AND LOCATION OF ALL UNDERGROUND UTILITIES, AND DETERMINE WHETHER THOSE UTILITIES ARE LIVE. ANY EARTHWORK IN LOCATIONS WHERE UTILITIES ARE POSSIBLE SHALL BE DONE WITH EXTREME CAUTION. THE GIVING OF INFORMATION ON THE PLANS WILL NOT RELIEVE THE CONTRACTOR OF HIS OBLIGATION TO SUPPORT AND PROTECT ALL DESIGNATED OR UNDESIGNATED EXISTING UTILITIES AND APPURTENANCES. SHOULD ANY EXISTING UTILITY BE DAMAGED BY THE CONTRACTOR, THE CONTRACTOR SHALL REPAIR THE DAMAGE CAUSED TO THE UTILITY OWNER'S SATISFACTION, AT THE CONTRACTOR'S EXPENSE.
- LIVE UNDERGROUND UTILITIES MAY EXIST WITHIN THE WORK AREA. CONTRACTOR SHALL USE EXTREME CAUTION AND SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
- INFORMATION SHOWN ON THIS DRAWING HAS BEEN PROVIDED AS A GUIDE TO ASSIST THE CONTRACTOR IN ESTABLISHING THE LOCATIONS OF PROPOSED CONSTRUCTION WITH RESPECT TO EXISTING SITE IMPROVEMENTS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL CONSTRUCTION SURVEY STAKEOUT REQUIRED AND TO FIELD VERIFY ALL GRADES, ELEVATIONS, DIMENSIONS, ETC. PRIOR TO STARTING CONSTRUCTION.

SURVEY CONTROL TABLE

POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
100	553552.00	1346115.84	415.45	REBAR & CAP
101	553690.88	1346388.45	422.58	REBAR & CAP
102	553347.92	1346588.24	413.99	REBAR & CAP
103	553228.75	1346445.86	408.87	REBAR & CAP

UTILITY DESIGNATION DESCRIPTION:

QUALITY LEVEL D (QL-D):
INCLUDES UTILITIES DESIGNATED THROUGH RECORD DOCUMENTS. THIS DATA COULD BE DIGITAL RECORDS, PAPER RECORDS, OR GIS DATA. THE AVAILABLE DATA COULD BE LIMITED AND NOT PRODUCE A COMPLETE PICTURE OF WHAT IS ON SITE. THE SOURCE OF SOME DATA MAY BE UNKNOWN. THE COMPLETENESS AND ACCURACY OF THE INFORMATION COULD BE COMPROMISED. HOWEVER, THE DATA COLLECTED IS SHOWN AND DESIGNATED SO AS TO REFLECT THE POTENTIAL FOR THE EXISTENCE OF UTILITIES.

QUALITY LEVEL C (QL-C):
INCLUDES UTILITIES DESIGNATED THROUGH THE PROCESS OF SURVEYING THE VISIBLE UTILITY SURFACE FEATURES. THIS DATA IS COMPILED WITH THE QUALITY LEVEL D DATA TO PROVIDED AN INCREASED, NOT ABSOLUTE, LEVEL OF HORIZONTAL POSITION ACCURACY FOR UNDERGROUND, NON-VISIBLE, QUALITY LEVEL D INFORMATION.

QUALITY LEVEL B (QL-B):
INCLUDES DESIGNATING THE UNDERGROUND UTILITIES BY MARKINGS PROVIDED THROUGH AN 811 CALL BY CONTACTING AN INDIVIDUAL UTILITY COMPANY, OR PERFORMING TRACING OR GROUND PENETRATING RADAR. THE DESIGNATED UTILITY MARKINGS ARE THEN SURVEYED AND ADDED TO THE DRAWING. THIS DATA IS ADDED TO THE DATA COLLECTED FROM QUALITY LEVELS D AND C TO PROVIDE AN INCREASED LEVEL OF HORIZONTAL POSITION ACCURACY FOR UNDERGROUND, NON-VISIBLE UTILITIES.

QUALITY LEVEL A (QL-A):
INVOLVES PHYSICALLY LOCATING THE ACTUAL UTILITY BY MEANS OF TEST PITTING OR OTHER METHODS OF EXPOSURE. ONCE THE UTILITY IS EXPOSED IT IS LOCATED HORIZONTALLY AND VERTICALLY BY SURVEY MEASUREMENTS.

HOWARD COUNTY REFERENCE DRAWINGS:
WATER: 24-0553, 34-3273, 24-3265, 24-4942
SEWER: 20-0915-D
SDP-08-050, SDP-06-137, SDP-01-116, SDP-76-020, ECP-20-052

ADDRESS CHART

USE	STREET ADDRESS
RECREATIONAL BUILDING	8045 HARRIET TUBMAN LANE

SUBDIVISION NAME	SECTION/AREA	LOT/ PARCEL NO.
ATHOLTON HIGH SCHOOL	N/A	2-2022

PLAT OR L/F	ORIG	ZONING	TAX MAP DIST.	ELECT. DIST.	CONC. TRACT
2445-SS	0024	R-5C	8-5C	8-5C	0000

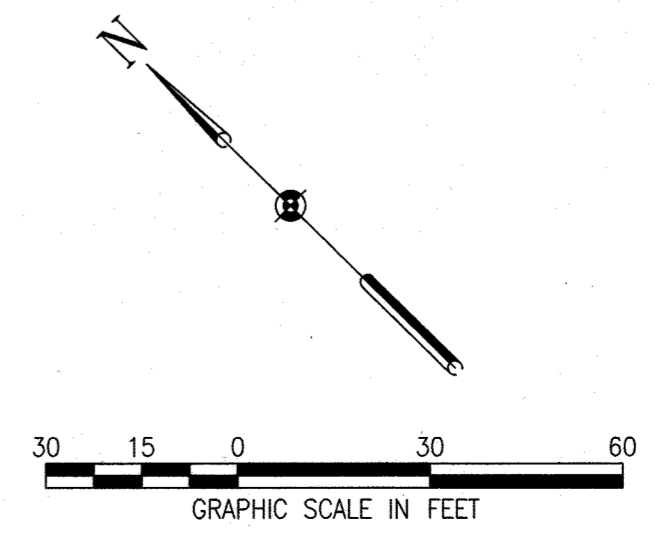
OWNER/DEVELOPER
HOWARD COUNTY RECREATION AND PARKS
CONTACT: MICHAEL KAMINETZ, 410-313-5781
8045 HARRIET TUBMAN LANE
COLUMBIA, MD 21044

APPROVED
DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 7/1/21

CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 7/20/21

Maya Kendall
DIRECTOR
DATE: 7-20-21



AUDITORIUM RENOVATIONS
HARRIET TUBMAN BUILDING
8045 HARRIET TUBMAN LANE, COLUMBIA MARYLAND

Murphy & Dittenhafer
A R C H I T E C T S

228 West Market Street, York, Pennsylvania 17401
800 North Charles Street, Baltimore, Maryland 21201
410-625-4923 voice 410-625-4971 fax 717-543-2480 fax

Mark	Date	Description
	04/10/2020	100% SD SUBMISSION
	08/19/2020	100% DD SUBMISSION
	10/16/2020	100% CONSTRUCTION DOCUMENTS
	11/23/2020	BID SET
	2/1/2021	APPENDIX #2
	5/7/2021	REVISION #2 - SITE MODIFICATIONS
	7/1/2021	REVISE PLANS TO SHOW SITE MODS FOR THE EX. BLDG., NEW SIGN & SITE IMPROVEMENTS.

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE No.: 14446 EXP. DATE: 5/25/23
PROJECT NO.: 18104A5
DRAWN BY: DWM
CHECKED BY: GWT
SHEET NAME: EXISTING CONDITIONS PLAN (ADDITIONAL SHEET)
SHEET NO.: C3

14 OF 32 **SDP-89-028**



LEGEND

- EXISTING PROPERTY LINE
- EXISTING BUILDING
- 400 EXISTING MAJOR CONTOUR
- 401 EXISTING MINOR CONTOUR
- EXISTING CURB
- EXISTING CURB & GUTTER
- EXISTING ROADWAY
- EXISTING PAVEMENT
- EXISTING FENCELINE
- EXISTING BOLLARD
- EXISTING SIGN
- EXISTING ELECTRIC HANDBOX
- EXISTING ELECTRIC MANHOLE
- OHE EXISTING OVERHEAD ELECTRIC
- UGE EXISTING UNDERGROUND ELECTRIC
- CONDN EXISTING UNDERGROUND CONDUIT
- UGE EXISTING DUCTBANK
- [C] EXISTING COMM HANDHOLE
- COMM EXISTING COMMUNICATION
- CATV EXISTING CABLE TELEVISION
- FO EXISTING FIBER OPTIC
- FA EXISTING FIRE ALARM
- G EXISTING GAS LINE
- GV # EXISTING GAS VALVE
- SS EXISTING SANITARY LINE
- SSFM EXISTING SANITARY FORCE MAIN
- [S] EXISTING SANITARY MANHOLE
- [C] EXISTING SANITARY CLEANOUT
- ST EXISTING STEAM LINE
- EXISTING STORMDRAIN LINE
- EXISTING STORMDRAIN INLET
- EXISTING STORMDRAIN MANHOLE
- EXISTING STORMDRAIN CLEANOUT
- UGT EXISTING TELEPHONE
- [T] EXISTING TELEPHONE MANHOLE
- [P] EXISTING TELEPHONE PEDESTAL
- [U] EXISTING UTILITY POLE
- [L] EXISTING LIGHT POLE
- W EXISTING WATER LINE
- WM EXISTING WATER METER
- WV EXISTING WATER VALVE
- [M] EXISTING WATER MANHOLE
- [H] EXISTING FIRE HYDRANT
- [A] ASPHALT TO BE REMOVED
- [M] ASPHALT TO BE MILLED
- [C] CONCRETE TO BE REMOVED
- [G] GRAVEL TO BE REMOVED
- [L] LIMIT OF SAWCUT/EXCAVATION
- [T] TREE TO BE REMOVED
- [L] LIMIT OF DISTURBANCE

GENERAL NOTES:

- FIELD RUN TOPOGRAPHICAL AND BOUNDARY SURVEY PERFORMED BY A/I/DATE, DATED APRIL/MAY, 2020. ADDITIONAL INFORMATION ON UTILITIES, BUILDINGS, AND HARDSCAPE LOCATIONS ARE BASED UPON COUNTY GIS DATA, AS-BUILT DRAWINGS, UTILITY LOCATION AND FIELD OBSERVATION AND IS NOT GUARANTEED TRUE & CORRECT.
- ALL HORIZONTAL SURVEY DATA SHOWN HEREON ARE REFERENCED TO THE MARYLAND COORDINATE SYSTEM NAD83 (NA2011), AND ALL VERTICAL SURVEY DATA SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), AS DERIVED FROM THE FOLLOWING POINTS PROVIDED BY THE HOWARD COUNTY BUREAU OF ENGINEERING:

POINT#	NORTHING	EASTING	ELEVATION	DESCRIPTION
35IA	555450.56	1346039.78	412.30	CONC MONUMENT
35IC	553504.39	1346160.58	414.35	CONC MONUMENT
41CC	552494.25	1347062.46	399.99	CONC MONUMENT
- EXISTING UNDERGROUND UTILITIES DESIGNATED ON THE PLANS ARE BASED ON CURRENTLY AVAILABLE INFORMATION AND ARE SHOWN FOR REFERENCE ONLY. THE OWNER AND ENGINEER DISCLAIM ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF SAID INFORMATION BEYOND THE DESIGNATION INDICATED. THE QUALITY LEVEL DESIGNATED IS IN ACCORDANCE WITH ASCE "STANDARD GUIDELINE FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA" (CI/ASCE 38-02). THE CONTRACTOR SHALL MAKE HIMSELF FAMILIAR WITH THOSE STANDARDS PRIOR TO ANY RELIANCE ON THE INFORMATION SHOWN ON THESE PLANS. PRIOR TO ANY EXCAVATION, IN THE ABSENCE OF QUALITY LEVEL A OR B DESIGNATION, THE CONTRACTOR SHALL VERIFY TO HIS OWN SATISFACTION THE EXISTENCE, DEPTH, SIZE, MATERIAL AND LOCATION OF ALL UNDERGROUND UTILITIES, AND DETERMINE WHETHER THOSE UTILITIES ARE LIVE. ANY EARTHWORK IN LOCATIONS WHERE UTILITIES ARE POSSIBLE SHALL BE DONE WITH EXTREME CAUTION. THE GIVING OF INFORMATION ON THE PLANS WILL NOT RELIEVE THE CONTRACTOR OF HIS OBLIGATION TO SUPPORT AND PROTECT ALL DESIGNATED OR UNDESIGNATED EXISTING UTILITIES AND APPURTENANCES. SHOULD ANY EXISTING UTILITY BE DAMAGED BY THE CONTRACTOR, THE CONTRACTOR SHALL REPAIR THE DAMAGE CAUSED TO THE UTILITY OWNER'S SATISFACTION, AT THE CONTRACTOR'S EXPENSE.
- LIVE UNDERGROUND UTILITIES MAY EXIST WITHIN THE WORK AREA. CONTRACTOR SHALL USE EXTREME CAUTION AND SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
- INFORMATION SHOWN ON THIS DRAWING HAS BEEN PROVIDED AS A GUIDE TO ASSIST THE CONTRACTOR IN ESTABLISHING THE LOCATIONS OF PROPOSED CONSTRUCTION WITH RESPECT TO EXISTING SITE IMPROVEMENTS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL CONSTRUCTION SURVEY STAKEOUT REQUIRED AND TO FIELD VERIFY ALL GRADES, ELEVATIONS, DIMENSIONS, ETC. PRIOR TO STARTING CONSTRUCTION.

SITE DEMOLITION NOTES:

- PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL PROVIDE A DETAILED OUTLINE OF CONSTRUCTION PHASING AND MAINTENANCE OF ACCESS FOR OWNER'S REVIEW AND APPROVAL.
- CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO AND DURING CONSTRUCTION/DEMOLITION AND NOTIFY THE OWNER IMMEDIATELY OF ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE APPROVED PLANS.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY DISTURBANCE OR DEMOLITION OF ALL EXISTING STRUCTURES. SHALL BE INSTALLED PRIOR TO ANY DISTURBANCE OR DEMOLITION. REFER SHEET SET C600 FOR EROSION AND SEDIMENT CONTROL.
- PERMITS AND FEES REQUIRED FOR ANY DEMOLITION/DISPOSAL WORK MUST BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
- CONTRACTOR SHALL CONTACT OWNER TO SUBMIT A SCHEDULE 72 HOURS PRIOR TO COMMENCING ANY WORK.
- THE CONTRACTOR SHALL COORDINATE DEMOLITION WITH PROPOSED NEW CONSTRUCTION AND SHALL BE RESPONSIBLE FOR DESIGN AND INSTALLATION OF ALL SHEETING AND SHORING REQUIRED TO STABILIZE EXCAVATION AND/OR DEMOLITION AREAS AND TO PROTECT EXISTING IMPROVEMENTS TO REMAIN.
- CONTRACTOR SHALL PROTECT ALL AREAS BEYOND THE LIMITS OF DISTURBANCE AND SHALL RESTORE ANY AND ALL AREAS DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL OR BETTER CONDITION.
- CONTRACTOR SHALL STABILIZE ALL UNINTENTIONALLY DISTURBED AREAS OUTSIDE OF THE L.O.D. BY THE END OF THE SAME WORKING DAY.
- NO ITEMS ARE TO BE BURNED OR BURIED ON THE SITE.
- CONTRACTOR SHALL PROVIDE COMPACTED BACKFILL APPROVED BY THE GEOTECHNICAL ENGINEER IN ALL EXCAVATED AREAS.
- CONTRACTOR SHALL PROTECT ALL FACILITIES AND UTILITIES TO REMAIN FROM DAMAGE WHETHER SHOWN HEREON OR NOT.
- CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITY STRUCTURES REQUIRING THEIR RING & COVERS OR LIDS TO BE RESET TO FINISHED GRADE DURING DEMOLITION AND CONSTRUCTION ACTIVITIES AND TO PREVENT DEBRIS, SEDIMENT, OR WATER FROM ENTERING THE STRUCTURES.
- CONTRACTOR TO VERIFY TYPE, SIZE, AND LOCATION OF ALL UTILITIES PRIOR TO START OF DEMOLITION.
- CONTRACTOR SHALL COORDINATE WITH OWNER AND UTILITY PROVIDER TO MINIMIZE DURATION OF ALL UTILITY OUTAGES NECESSARY FOR CONSTRUCTION UTILITIES CRITICAL OPERATIONS AND SECURITY SHALL HAVE TEMPORARY SERVICE CONNECTED TO PROVIDE UNINTERRUPTED SERVICE WHERE DEEMED NECESSARY BY THE OWNER.
- ALL UTILITY WORK SHALL BE COORDINATED WITH THE OWNER, AND SHALL BE PERFORMED IN AN EXPEDITIOUS MANNER TO MINIMIZE ANY IMPACTS ON EXISTING FACILITY OPERATIONS.
- ALL LINEAR UTILITY DISTURBANCE SHALL HAVE PAVEMENT / GROUND MATERIAL REPLACED IN KIND. ALL LINEAR UTILITY CONSTRUCTION SHALL HAVE BOUNDARIES OF THE EXCAVATION SAWCUT AND SHALL HAVE SAME DAY STABILIZATION.
- CONTRACTOR SHALL EMPLOY A PRIVATE UTILITY LOCATOR TO IDENTIFY ALL UTILITIES WITHIN THE AREA PRIOR TO ANY DISTURBANCE.
- SAWCUT AND REMOVE PAVED AREA AS INDICATED. ALL SAWCUTS ARE TO BE NEAT, CLEAN, STRAIGHT AND FULL DEPTH.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTAINMENT OF DUST AND DEBRIS DURING THE DEMOLITION. DAILY CLEANING SHALL BE COMPLETED ALONG WITH ANY ADDITIONAL DAILY CLEANING AS REQUIRED BY THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY STRUCTURES AND NECESSARY SHORING, BRACING & SUPPORT FOR EXISTING STRUCTURES THROUGHOUT DEMOLITION AND CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL ENGAGE A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MARYLAND TO DESIGN AND SEAL THE PLANS AND DRAWINGS FOR ALL SHORING, BRACING AND TEMPORARY STRUCTURES.
- CONTRACTOR TO GRIND ALL STUMPS OF TREES / SHRUBS TO BE REMOVED.
- CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING AROUND EXISTING TREES TO REMAIN SO AS TO NOT DAMAGE THE TREES, TREE BRANCHES OR TREE ROOT SYSTEM.
- CONTRACTOR SHALL COORDINATE WITH SITE OWNER, OWNERS OF ADJACENT PROPERTIES AND UTILITY PROVIDERS TO MINIMIZE DURATION OF UTILITY OUTAGES. UTILITIES CRITICAL TO OPERATIONS AD SECURITY SHALL HAVE TEMPORARY SERVICE CONNECTIONS TO PROVIDE UNINTERRUPTED SERVICE WHERE DEEMED NECESSARY BY THE OWNER.
- ALL SUB-BASE MATERIAL ASSOCIATED WITH ANY EXISTING MATERIALS TO BE REMOVED SHALL BE REMOVED AND DISCARDED.
- CONTRACTOR SHALL RECYCLE ALL RECYCLABLE MATERIALS AND PROVIDE DATA REPORT OF THE RECYCLED MATERIAL PER "ALL ATAR PROGRAM OF MARYLAND RECYCLING ACT".
- CONTRACTOR SHALL DISPOSE OF ALL DEMOLISHED AND DELETERIOUS MATERIALS IN A SAFE AND LEGAL MANNER.
- CONTRACTOR SHALL OBTAIN ALL APPLICABLE PERMITS FOR DEMOLITION PURPOSES.
- CONTRACTOR SHALL RESTORE ANY AND ALL AREAS DISTURBED DURING CONSTRUCTION TO ORIGINAL CONDITION OR BETTER.
- ALL EXISTING PAINT MARKINGS ADJACENT TO THE PROJECT AREA WHICH BECOME FADED OR OBSCURED DUE TO CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR RESTORED AT NO ADDITIONAL COST TO THE OWNER.
- REFER TO ARCHITECTURAL MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL DEMOLITION DETAILS. SHOWN ON THIS PLAN VARIES FROM THE LIMIT OF DISTURBANCE USED FOR THE STORMWATER MANAGEMENT CALCULATIONS IN THE STORMWATER MANAGEMENT STUDY.

- SITE DEMOLITION LIST:**
- EXISTING ASPHALT TO BE CLEANLY SAW CUT, PER THE DEMOLITION PLAN, AND REMOVED.
 - EXISTING ASPHALT TO BE MILLED FOR OVERLAY UNDER PROPOSED CONDITION.
 - EXISTING GRAVEL TO BE REMOVED.
 - EXISTING TREE TO BE REMOVED.
 - EXISTING PARKING LOT STRIPING TO BE REMOVED.
 - REFER TO ARCHITECTURAL DRAWINGS FOR REMOVAL AND REPAIR OF EXISTING COAL CHUTES.
 - EXISTING ROOF LEADER TO BE CAPPED AND ABANDONED AS SHOWN.

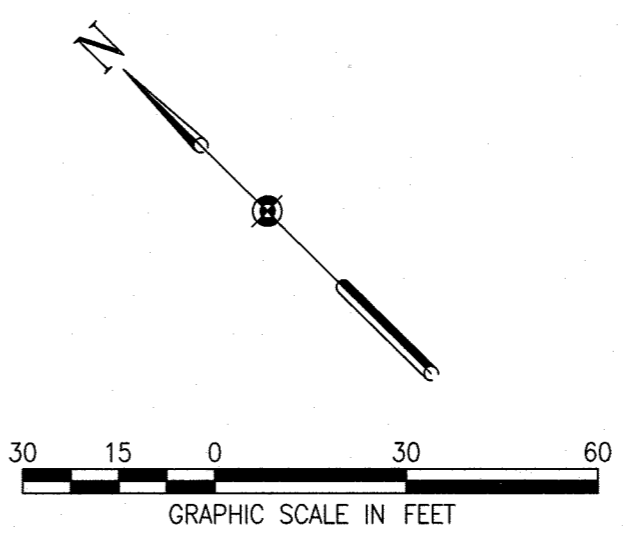
APPROVED
DEPARTMENT OF PLANNING AND ZONING

7/16/24
DATE

7/16/24
DATE

7.20.24
DATE

REFER TO EROSION AND SEDIMENT CONTROL PLAN FOR EROSION AND SEDIMENT CONTROL MEASURES



HOWARD COUNTY REFERENCE DRAWINGS:

WATER: 24-0553, 34-3273, 24-3265, 24-4942

SEWER: 20-0915-D

SDP-08-050, SDP-06-137, SDP-01-116, SDP-89-028, SDP-76-020, ECP-20-052

ADDRESS CHART

USE	STREET ADDRESS
RECREATIONAL BUILDING	8045 HARRIET TUBMAN LANE

SECTION/AREA	LOT/ PARCEL NO.
N/A	2/2002

OWNER/DEVELOPER	HOWARD COUNTY RECREATION AND PARKS
CONTACT: MICHAEL KAMNETZ, 410-313-5781	8045 HARRIET TUBMAN LANE
	COLUMBIA, MD 21044

AUDITORIUM RENOVATIONS
HARRIET TUBMAN BUILDING
8045 HARRIET TUBMAN LANE, COLUMBIA MARYLAND

Murphy & Dittenhafer
A R C H I T E C T S

805 North Charles Street, Baltimore, Maryland 21201
410-525-4233 voice 410-525-4674 fax

Mark	Date	Description
	04/10/2020	100% SD SUBMISSION
	06/19/2020	100% DD SUBMISSION
	10/16/2020	100% CONSTRUCTION DOCUMENTS
	11/23/2020	BID SET
	2/1/2021	ADDENDUM #2
	5/7/2021	REVISION #2 - SITE MODIFICATIONS
	7/1/2021	REVISE PLANS TO SHOW SITE WORK FOR THE EX. BLDG., NEW SWM & SITE IMPROVEMENTS.

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE No.: 14446 EXP. DATE: 5/25/23

PROJECT NO: 18104A5

DRAWN BY: DWM

CHECKED BY: GWT

SHEET NAME: DEMOLITION PLAN (ADDITIONAL SHEET)

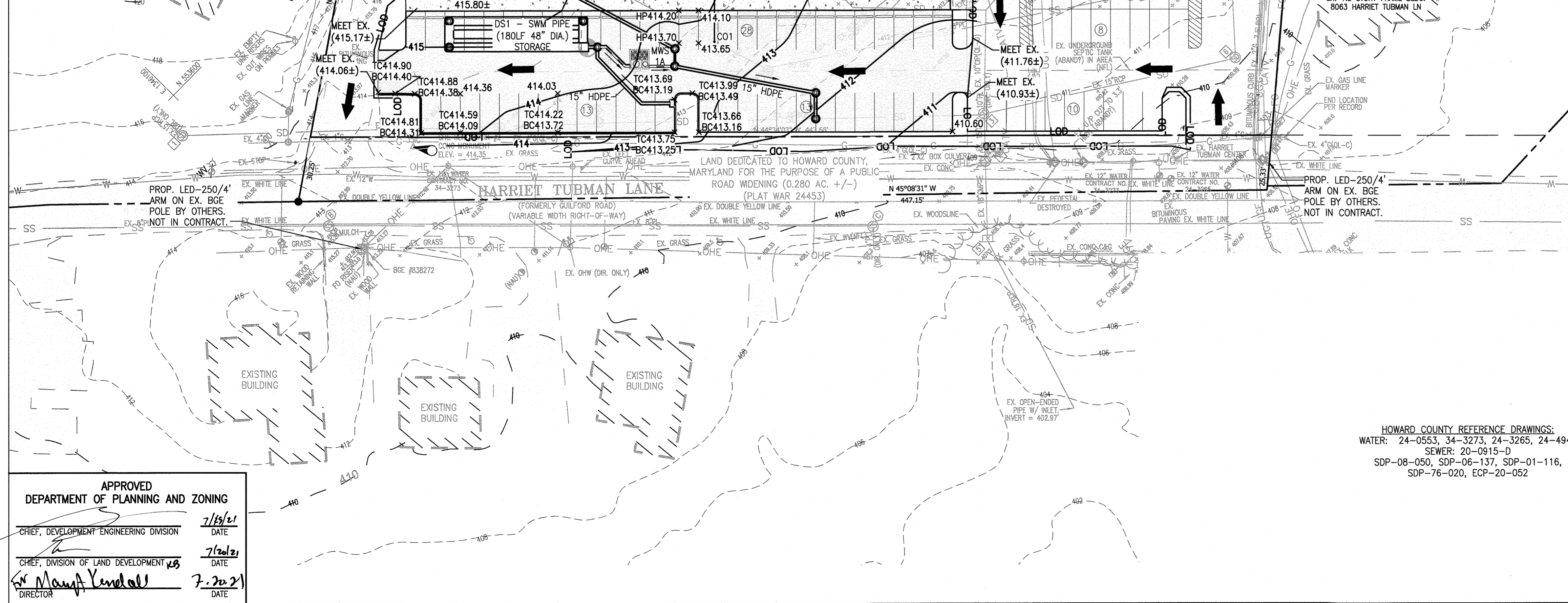
SHEET NO. C4

SDP-89-028

LEGEND

---	EXISTING PROPERTY LINE
---	EXISTING RIGHT-OF-WAY
---	EXISTING EASEMENT
---	EXISTING SETBACK
---	EXISTING BUILDING
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	EXISTING CURB
---	EXISTING CURB & GUTTER
---	EXISTING ROADWAY
---	EXISTING PAVEMENT
---	EXISTING ASPHALT PAVING
---	EXISTING CONCRETE PAVING
---	EXISTING GRAVEL
---	EXISTING FENCELINE
---	EXISTING BOLLARD
---	EXISTING SIGN
---	EXISTING ELECTRIC HANDBOX
---	EXISTING ELECTRIC MANHOLE
---	EXISTING OVERHEAD ELECTRIC
---	EXISTING UNDERGROUND ELECTRIC
---	EXISTING UNDERGROUND CONDUIT
---	EXISTING DUCTBANK
---	EXISTING COMM. HANDBOX
---	EXISTING COMMUNICATION
---	EXISTING CABLE TELEVISION
---	EXISTING FIBER OPTIC
---	EXISTING FIRE ALARM
---	EXISTING GAS LINE
---	EXISTING GAS VALVE
---	EXISTING SANITARY LINE
---	EXISTING SANITARY FORCE MAIN
---	EXISTING SANITARY MANHOLE
---	EXISTING SANITARY CLEANOUT
---	EXISTING STEAM LINE
---	EXISTING STORMDRAIN LINE
---	EXISTING STORMDRAIN INLET
---	EXISTING STORMDRAIN MANHOLE
---	EXISTING STORMDRAIN CLEANOUT
---	EXISTING TELEPHONE
---	EXISTING TELEPHONE MANHOLE
---	EXISTING TELEPHONE PEDESTAL
---	EXISTING UTILITY POLE
---	EXISTING LIGHT POLE
---	EXISTING WATER LINE
---	EXISTING WATER METER
---	EXISTING WATER VALVE
---	EXISTING WATER MANHOLE
---	EXISTING FIRE HYDRANT

---	PROPOSED BUILDING
---	PROPOSED BIOCLEAN MODULAR WETLANDS SYSTEM (SWM)
---	PROPOSED CONCRETE WALK
---	PROPOSED CONCRETE PAD
---	PROPOSED ASPHALT PAVING
---	PROPOSED MILL & OVERLAY
---	PROPOSED RUBBERIZED SURFACE
---	PROPOSED SANITARY LINE
---	PROPOSED STORMDRAIN LINE
---	PROPOSED STORMDRAIN INLET
---	PROPOSED STORMDRAIN MANHOLE



- GENERAL NOTES:**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
 - THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
 - THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
 - TRAFFIC CONTROL DEVICES, MARKING AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
 - ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM.
- | POINT# | NORTHING | EASTING | ELEVATION | DESCRIPTION |
|--------|-----------|------------|-----------|---------------|
| 351A | 555450.56 | 1346039.78 | 412.30 | CONC MONUMENT |
| 351C | 553504.39 | 1346160.58 | 414.35 | CONC MONUMENT |
| 411C | 552494.25 | 1347052.46 | 399.99 | CONC MONUMENT |
- SITE WILL BE SERVED BY PUBLIC WATER AND SANITARY. OFFSITE WATER & SEWER IS PUBLIC. CONTRACT NO. 24-0553 & 20-0915-D.
 - PROPOSED STORMWATER MANAGEMENT LEVEL OF CONTROL WILL BE ENVIRONMENTAL SITE DESIGN (ESD) TO THE MOST EXTENT PRACTICAL (MEP) WITH SAFE PASSAGE OF THE 2, 10 AND 100-YR STORM EVENTS. ALL STORMWATER MANAGEMENT PRACTICES SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL; VOLUME 1, CHAPTER 5; REVISED MAY 3, 2010 AND CURRENT STATE OF MARYLAND REQUIREMENTS. STORMWATER MANAGEMENT QUALITY CONTROLS WILL BE PROVIDED BY THE IMPLEMENTATION OF BIOCLEAN MODULAR WETLANDS SYSTEMS (MWS) OR OTHER APPROVED ENVIRONMENTALLY SENSITIVE DESIGN PRACTICES THROUGHOUT THE SITE.
 - SWM FACILITIES WILL BE OWNER MAINTAINED.
 - ALL EXTERIOR LIGHT FIXTURES SHALL BE ORIENTED TO DIRECT LIGHT INWARD AND DOWNWARD AND AWAY FROM ALL ADJOINING RESIDENTIAL PROPERTIES AND PUBLIC ROADS IN ACCORDANCE WITH SECTION 134.0 OF THE HOWARD COUNTY ZONING REGULATIONS.
 - ANY DAMAGE TO THE COUNTY OWNED RIGHT OF WAY SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
 - TRENCH BEDDING FOR STORM DRAINAGE STRUCTURES SHALL BE IN ACCORDANCE WITH HOWARD COUNTY STANDARD G2.01.
 - ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS OR MSHA STANDARDS AS SPECIFIED ON THE PLANS.
 - ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING PROPERTY WHICH MAY OCCUR AS A RESULT OF NEGLIGENCE DURING THE EXECUTION OF WORK.
 - LANDSCAPE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY IN THE AMOUNT OF \$32,550.00 WILL BE POSTED WITH THE GRADING PERMIT APPLICATION FOR THIS PLAN FOR THE REQUIRED 17 SHADE TREES, 183 SHRUBS. REFER TO LETTER OF JUSTIFICATION FOR ALTERNATIVE PLANTINGS, DATED JULY 9, 2021, FOR EXPLANATION OF ALTERNATIVE COMPLIANCE TO LANDSCAPING REQUIREMENTS.
 - THIS PROJECT IS EXEMPT FROM FOREST CONSERVATION REQUIREMENTS UNDER SECTION 16.1202.(b)(1)(ii) OF THE MANUAL. THERE ARE NO FOREST CONSERVATION EASEMENTS ON THE SITE.
 - STORM DRAINS ARE PRIVATE.
 - THERE ARE NO FOREST CONSERVATION EASEMENTS, WETLANDS, WETLAND BUFFER, STREAMS, STREAM BUFFER AREAS OR 100-YEAR FLOODPLAIN ON THE SITE, SO NONE WILL BE IMPACTED. STEEP SLOPES OF 15% OR GREATER ARE MINIMAL AND ONLY EXIST AT THE SWALE ALONG HARRIET TUBMAN LANE.
 - THE SUBJECT PROPERTY IS ZONED R-SC IN ACCORDANCE WITH THE OCTOBER 6, 2013 ZONING REGULATIONS.
 - NO CEMETERIES OR GRAVE SITES ARE CONTAINED WITHIN THE PROJECT AREA.
 - REFER TO STORMWATER MANAGEMENT REPORT FOR THE BREAKDOWN OF PEAK MANAGEMENT AND PRE VERSUS POST 100-YEAR DISCHARGES PER STORMWATER MANAGEMENT DEVICE.
 - REFER TO LETTER OF PARKING NEEDS ANALYSIS JUSTIFICATION, DATED JULY 9, 2021, FOR DETAILED EXPLANATION OF PROVIDED PARKING CALCULATIONS AND REFERENCES TO PREVIOUS PARKING STUDIES.

SITE ANALYSIS DATA CHART

BUILDING ADDRESS	8045 HARRIET TUBMAN LANE
PRESENT ZONING	ELKRIDGE, MD 21044
PROPOSED USE	R-SC
EXISTING USE	GOVERNMENT LAND USE
PROPERTY AREA TOTAL	2.40 AC.
LIMIT OF DISTURBANCE (LOD)	0.90 AC.±
GREEN OPEN AREA (LOD)	0.22 AC.
IMPERVIOUS AREA (LOD)	0.68 AC.
BUILDING COVERAGE OF SITE/GROSS SF	99,317 / 28,657
COMMUNITY USE	16,130 S.F.
EXHIBIT	5,758 S.F.
OFFICE	2,635 S.F.
DAYCARE	1,317 S.F.
BASEMENT/UNOCCUPIED	2,817 S.F.
TOTAL	28,657
PROPOSED WATER	PUBLIC
PROPOSED SEWER	PUBLIC
STEEP SLOPE (15% & GREATER) AREA	0.002 AC. (W/ LOD)
ERODIBLE SOILS	N/A
REQUIRED PARKING COUNT: PER NORTH LAUREL COMMUNITY CENTER & HILLTOP REDEVELOPMENT, PHASE 1 PARKING STUDIES	
COMMUNITY USE: CALCULATED AT 5.03 UNITS PER 1,000	16,130 x 5.03 = 81.13
EXHIBIT: CALCULATED AT 3.3 UNITS PER 1,000	5,758 x 3.3 = 19.00
OFFICE: CALCULATED AT 3.3 UNITS PER 1,000	2,635 x 3.3 = 8.70
DAYCARE: CALCULATED AT 3 UNITS PER 1,000	1,317 x 3 = 3.95
BASEMENT/UNOCCUPIED: CALCULATED AT 0 UNITS PER 1,000	2,817 x 0 = 0.00
TOTAL	113 (112.78)
PROVIDED PARKING COUNT:	114 INCLUDING 5 HANDICAPPED

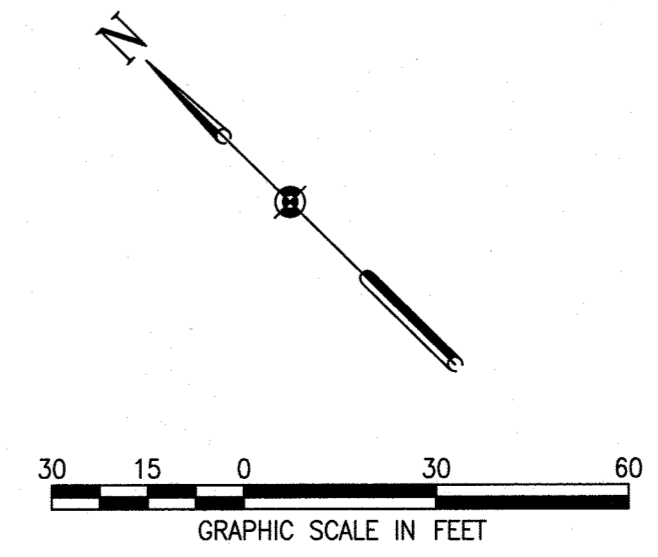
APPROVED
DEPARTMENT OF PLANNING AND ZONING

7/19/21
DATE

7/20/21
DATE

7-20-21
DATE

HOWARD COUNTY REFERENCE DRAWINGS:
WATER: 24-0553, 34-3273, 24-3265, 24-4942
SEWER: 20-0915-D
SDP-08-050, SDP-06-137, SDP-01-116,
SDP-76-020, ECP-20-052



ADDRESS CHART

USE	STREET ADDRESS
RECREATIONAL BUILDING	8045 HARRIET TUBMAN LANE

SUBDIVISION NAME	SECTION/AREA	LOT/ PARCEL NO.
ATHOLTON HIGH SCHOOL	N/A	N/A
24451-53	024	R-SC
	025	R-SC
	026	R-SC

OWNER/DEVELOPER
HOWARD COUNTY RECREATION AND PARKS
CONTACT: MICHAEL KAMINETZ, 410-313-5781
8045 HARRIET TUBMAN LANE
COLUMBIA, MD 21044

AUDITORIUM RENOVATIONS
HARRIET TUBMAN BUILDING
8045 HARRIET TUBMAN LANE, COLUMBIA MARYLAND

Murphy & Dittenhafer
ARCHITECTS

228 West Market Street, York, Pennsylvania 17401
410-662-6623 Voice 410-662-4614 Fax

805 North Charles Street, Baltimore, Maryland 21201
410-682-8623 Voice 410-682-8614 Fax

Description	Date	Mark
100% SD SUBMISSION	04/10/2020	
100% DD SUBMISSION	08/19/2020	
100% CONSTRUCTION DOCUMENTS	10/16/2020	
BID SET	11/23/2020	
ADDENDUM #2	21/2021	
REVISION #2 - SITE MODIFICATIONS	6/7/2021	
REVISED SITE MODIFICATIONS	7/1/2021	

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE No.: 14446 EXP. DATE: 5/25/23

PROJECT NO.: 18104A5

DRAWN BY: DW/M

CHECKED BY: GWT

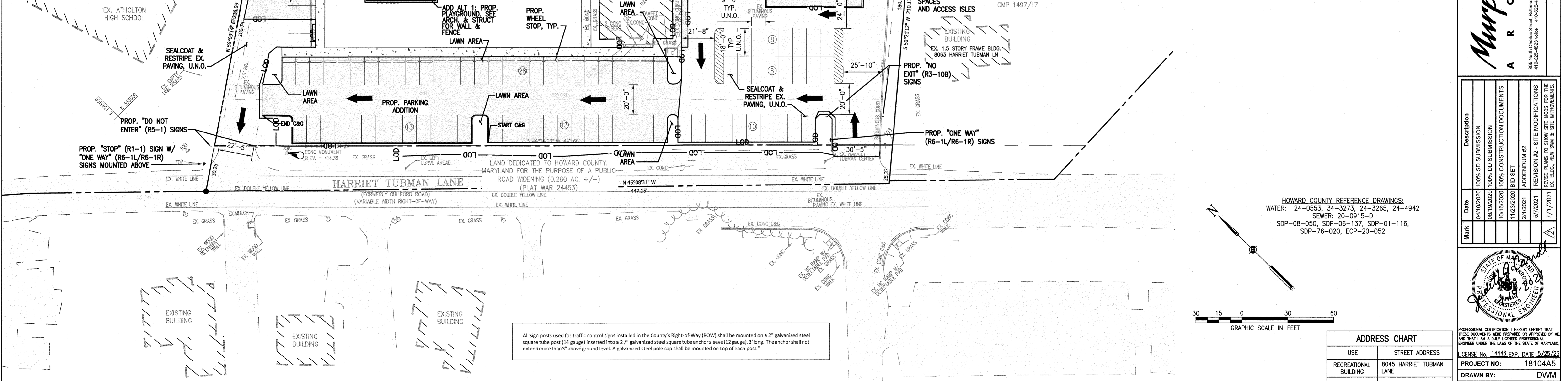
SHEET NAME: PROPOSED CONDITIONS PLAN (ADDITIONAL SHEET)

SHEET NO.: C5

SDP-89-028

- LEGEND**
- EXISTING PROPERTY LINE
 - EXISTING RIGHT-OF-WAY
 - EXISTING EASEMENT
 - EXISTING SETBACK
 - EXISTING BUILDING
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - EXISTING CURB
 - EXISTING CURB & GUTTER
 - EXISTING ROADWAY
 - EXISTING PAVEMENT
 - EXISTING ASPHALT PAVING
 - EXISTING CONCRETE PAVING
 - EXISTING GRAVEL
 - EXISTING FENCELINE
 - EXISTING BOLLARD
 - EXISTING SIGN
 - EXISTING ELECTRIC HANDBOX
 - EXISTING ELECTRIC MANHOLE
 - OHE EXISTING OVERHEAD ELECTRIC
 - UGE EXISTING UNDERGROUND ELECTRIC
 - COND EXISTING UNDERGROUND CONDUIT
 - UGE EXISTING DUCTBANK
 - COMM EXISTING COMM HANDHOLE
 - COMM EXISTING COMMUNICATION
 - CATV EXISTING CABLE TELEVISION
 - FO EXISTING FIBER OPTIC
 - FA EXISTING FIRE ALARM
 - G EXISTING GAS LINE
 - GYV EXISTING GAS VALVE
 - SS EXISTING SANITARY LINE
 - SSFM EXISTING SANITARY FORCE MAIN
 - S EXISTING SANITARY MANHOLE
 - SC EXISTING SANITARY CLEANOUT
 - ST EXISTING STEAM LINE
 - EXISTING STORMDRAIN LINE
 - EXISTING STORMDRAIN INLET
 - EXISTING STORMDRAIN MANHOLE
 - EXISTING STORMDRAIN CLEANOUT
 - UGT EXISTING TELEPHONE
 - EXISTING TELEPHONE MANHOLE
 - EXISTING TELEPHONE PEDESTAL
 - EXISTING UTILITY POLE
 - EXISTING LIGHT POLE
 - EXISTING WATER LINE
 - WM EXISTING WATER METER
 - WV EXISTING WATER VALVE
 - EXISTING WATER MANHOLE
 - EXISTING FIRE HYDRANT

- PROPOSED BUILDING
- PROPOSED BIOCLEAN MODULAR WETLANDS SYSTEM (SWM)
- PROPOSED CONCRETE WALK
- PROPOSED CONCRETE PAD
- PROPOSED ASPHALT PAVING
- PROPOSED MILL & OVERLAY
- SS PROPOSED SANITARY LINE
- PROPOSED STORMDRAIN LINE
- PROPOSED STORMDRAIN INLET
- PROPOSED STORMDRAIN MANHOLE
- ACCESSIBLE ROUTE



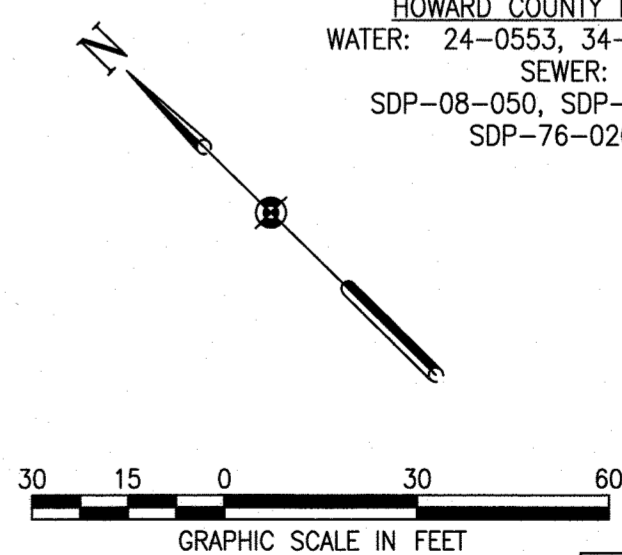
APPROVED
DEPARTMENT OF PLANNING AND ZONING

7/19/21
 DATE

7/20/21
 DATE

7-20-21
 DATE

All sign posts used for traffic control signs installed in the County's Right-of-Way (ROW) shall be mounted on a 2" galvanized steel square tube post (1 1/2" diameter) inserted into a 2 1/2" galvanized steel square tube anchor sleeve (1 1/2" diameter), 3' long. The anchor shall not extend more than 3" above ground level. A galvanized steel pole cap shall be mounted on top of each post.



HOWARD COUNTY REFERENCE DRAWINGS:
 WATER: 24-0553, 34-3273, 24-3265, 24-4942
 SEWER: 20-0915-D
 SDP-08-050, SDP-06-137, SDP-01-116,
 SDP-76-020, ECP-20-052

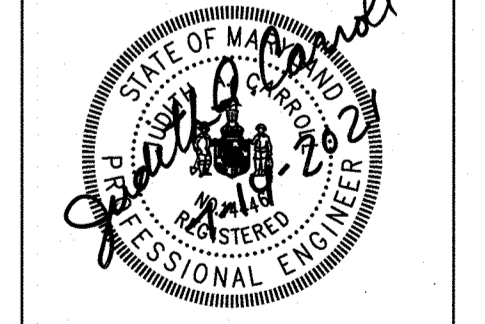
ADDRESS CHART

USE	STREET ADDRESS
RECREATIONAL BUILDING	8045 HARRIET TUBMAN LANE

SUBDIVISION NAME	SECTION/AREA	LOT/ PARCEL NO.
ATHOLTON HIGH SCHOOL	N/A	24092
PLAT/ OR L/P	ORFP	ZONING
24451-53	0024	R-SC
		0035
		5th E.D.

OWNER/DEVELOPER
 HOWARD COUNTY RECREATION AND PARKS
 CONTACT: MICHAEL KAMINETZ, 410-313-5781
 8045 HARRIET TUBMAN LANE
 COLUMBIA, MD 21044

Mark	Date	Description
	04/10/2020	100% SD SUBMISSION
	06/19/2020	100% DD SUBMISSION
	10/16/2020	100% CONSTRUCTION DOCUMENTS
	11/23/2020	BID SET
	2/17/2021	ADDENDUM #2
	5/7/2021	REVISION #2 - SITE MODIFICATIONS
	7/1/2021	EX. BLDG., NEW SWM & SITE IMPROVEMENTS.



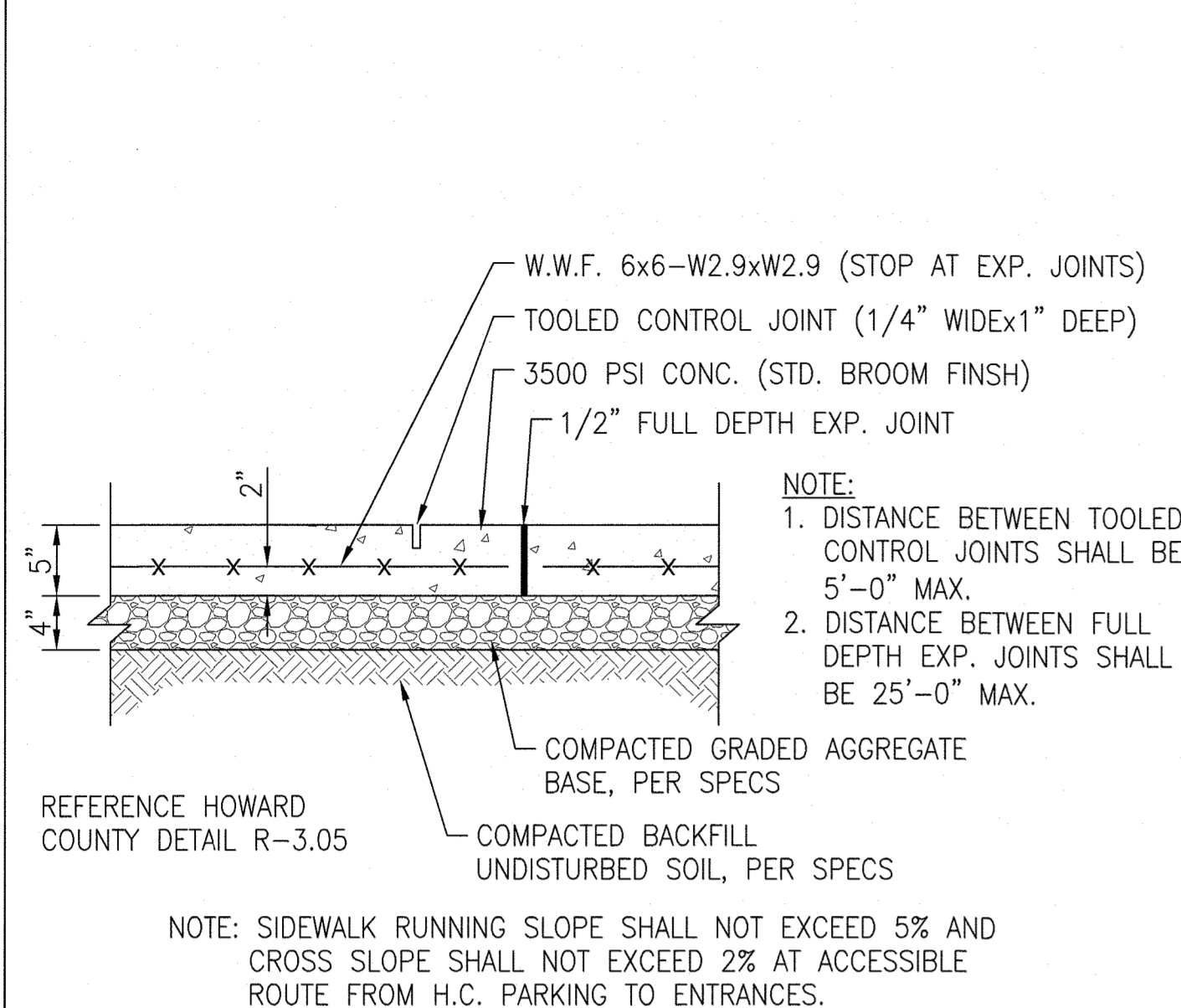
SIGNAGE AND PAVEMENT MARKING PLAN

PROJECT NO: 18104A5
 DRAWN BY: DWM
 CHECKED BY: GWT

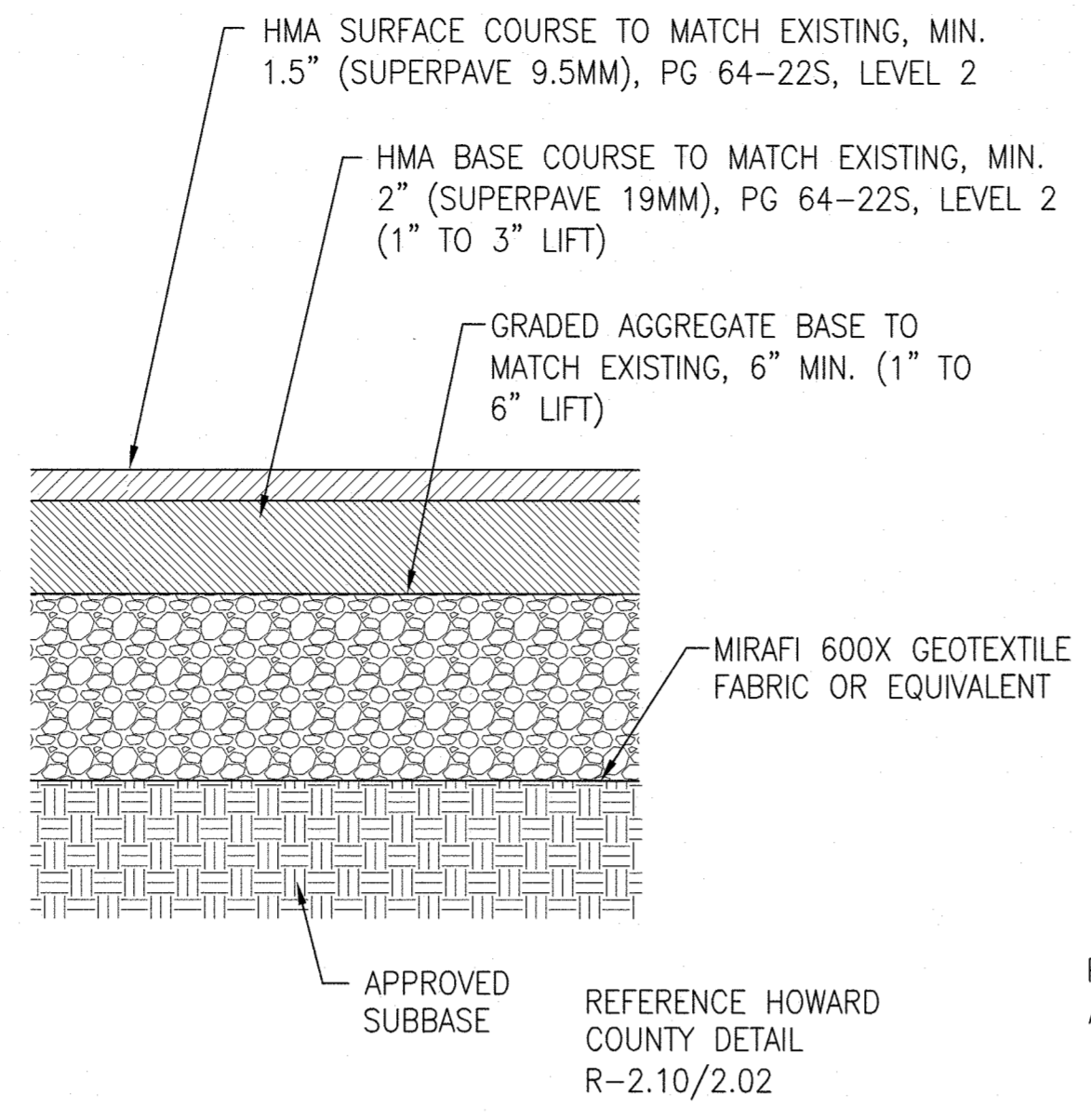
SHEET NO. **C6**

AUDITORIUM RENOVATIONS
HARRIET TUBMAN BUILDING
 8045 HARRIET TUBMAN LANE, COLUMBIA MARYLAND

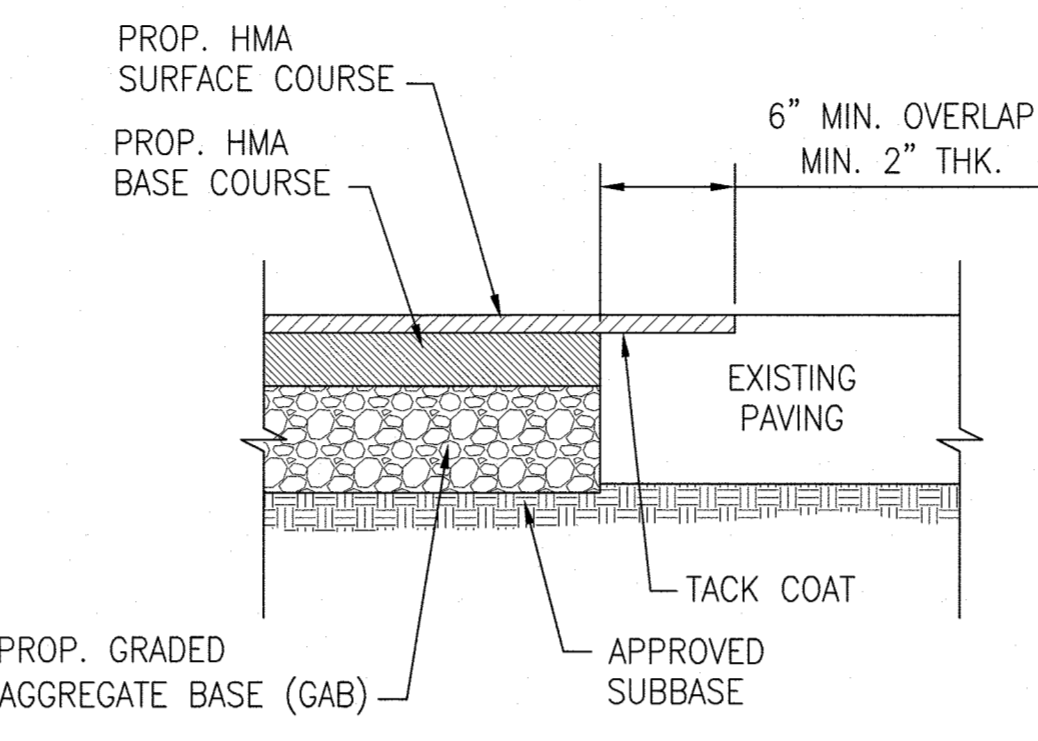
Murphy & Pitenhafer
 ARCHITECTS
 808 North Charles Street, Baltimore, Maryland 21201
 410-625-8823 voice 410-625-4674 fax
 228 West Market Street, York, Pennsylvania 17401
 717-843-2449 fax



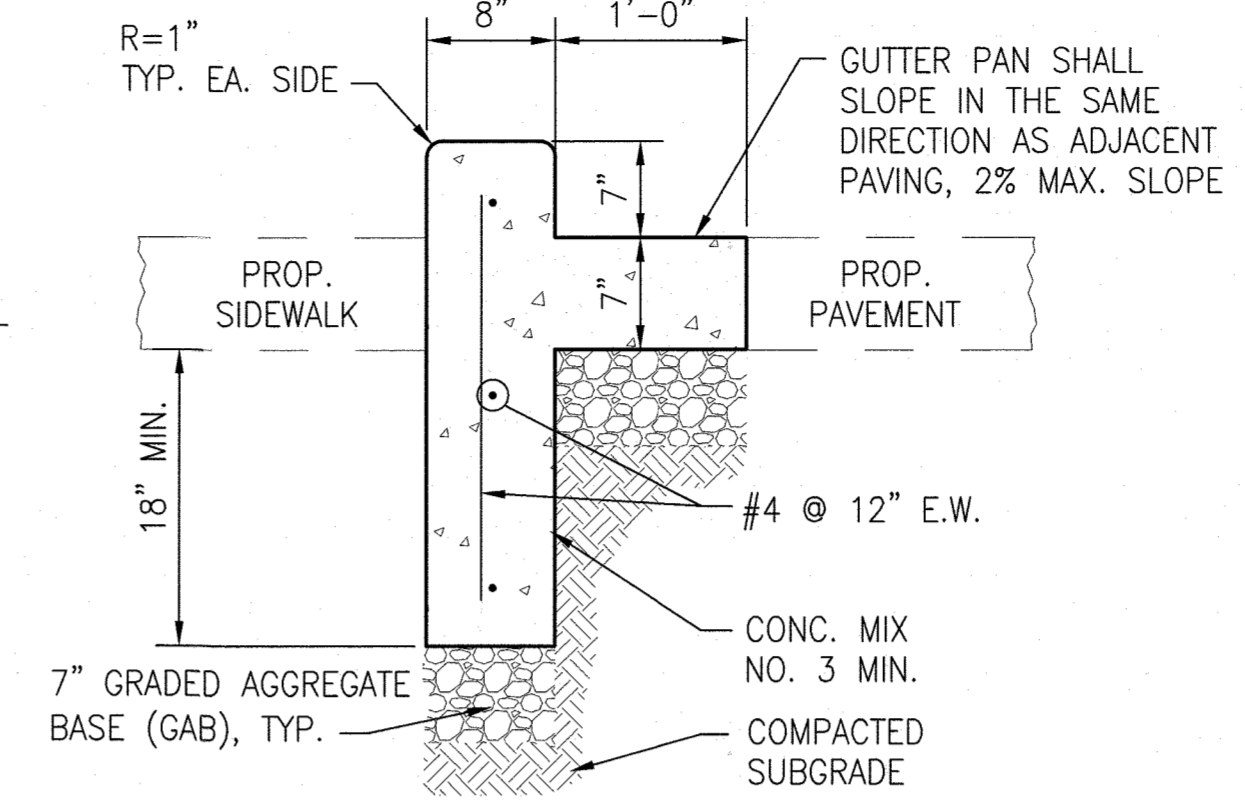
1 TYPICAL CONCRETE SIDEWALK SECTION
NOT TO SCALE



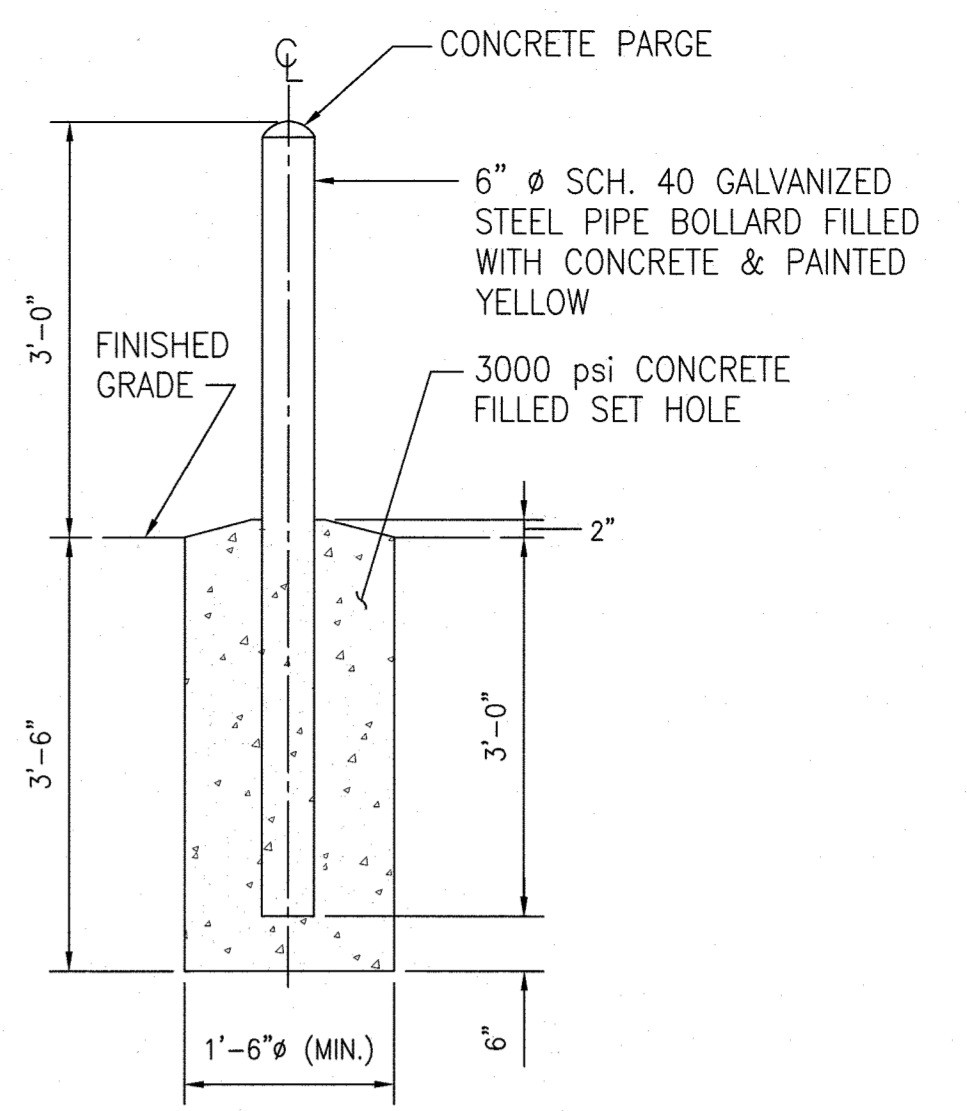
2 TYPICAL HOT MIX ASPHALT (HMA) PAVING SECTION
NOT TO SCALE



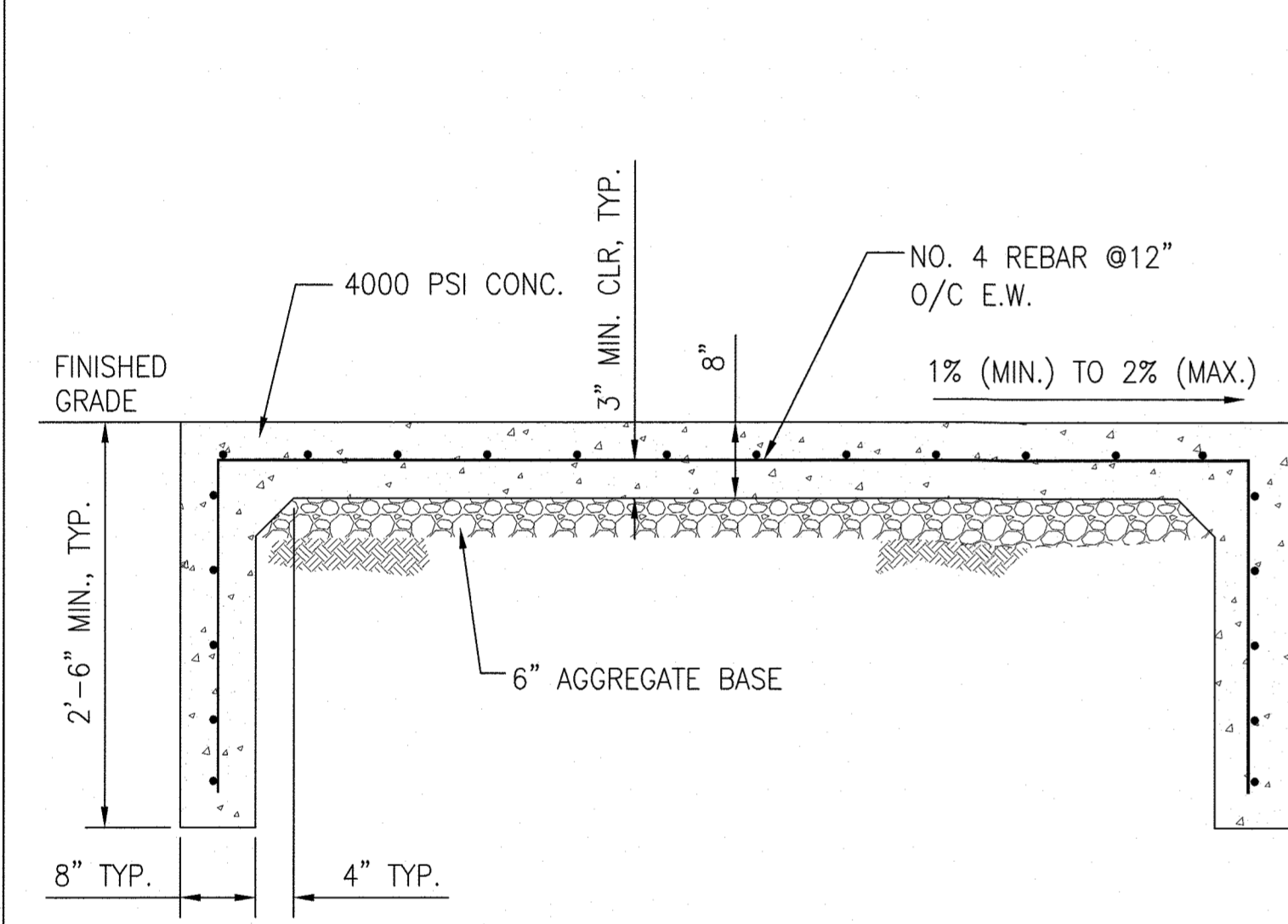
3 TYPICAL HMA PAVING TRANSITION DETAIL
NOT TO SCALE



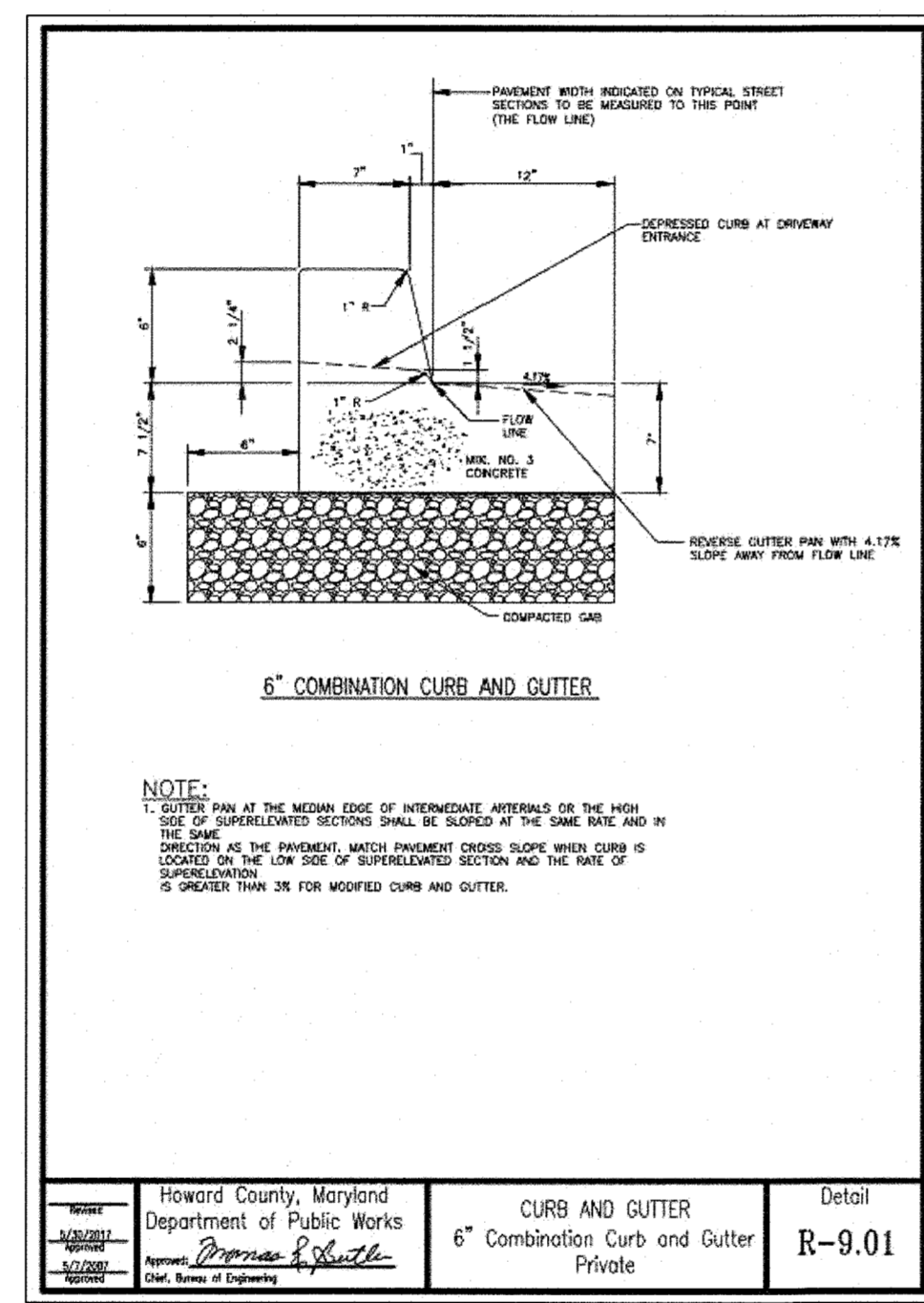
4 TYPICAL CURB @ VESTIBULE
NOT TO SCALE



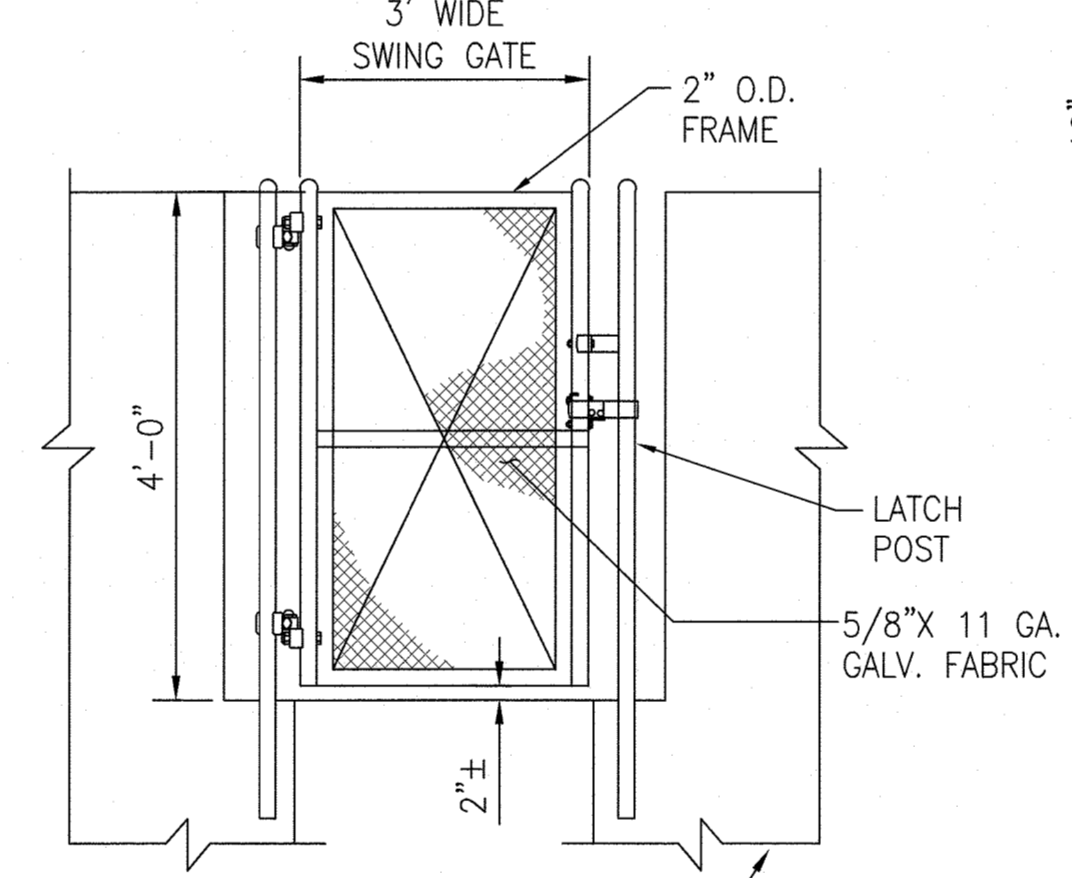
5 TYPICAL PIPE BOLLARD
NOT TO SCALE



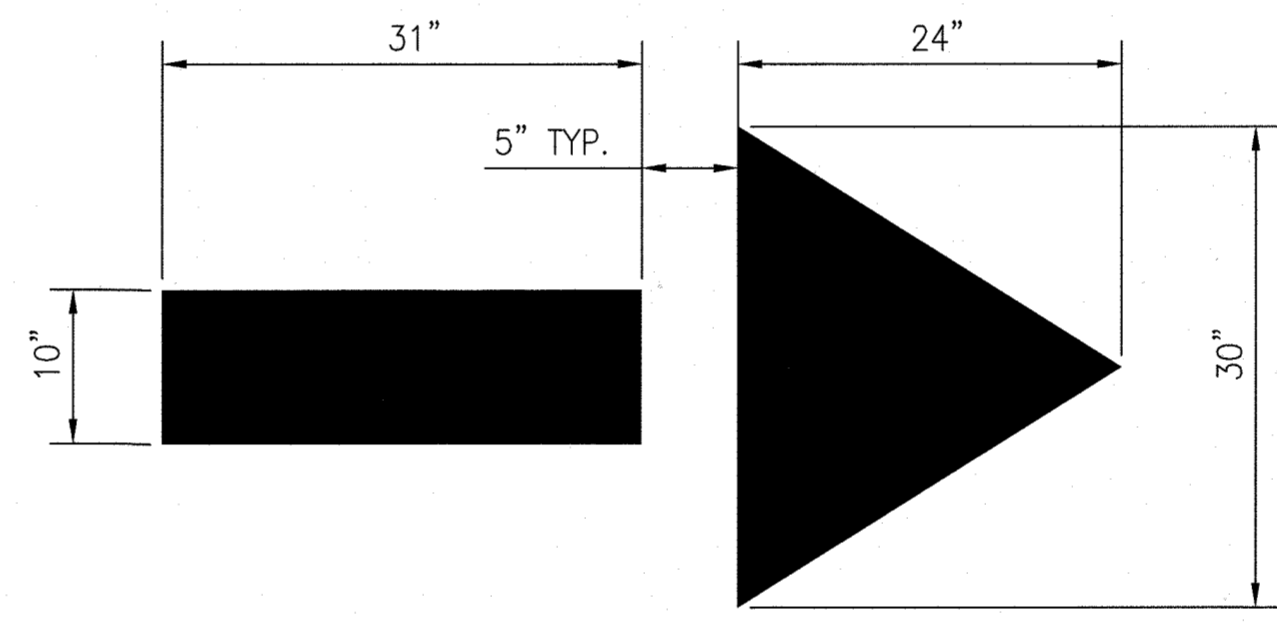
6 TYPICAL CONCRETE PAD SECTION
NOT TO SCALE



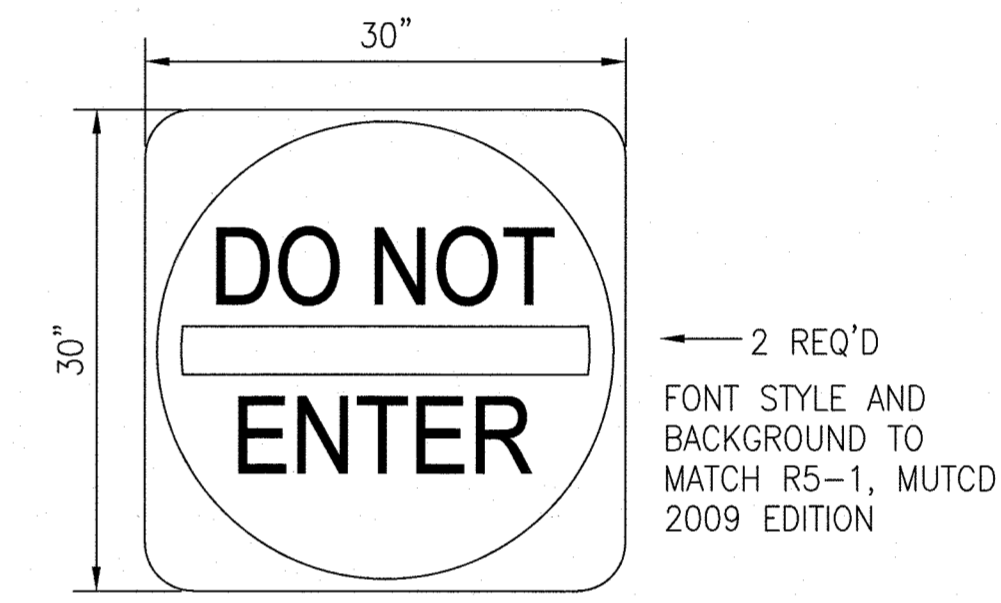
7 6\"/>



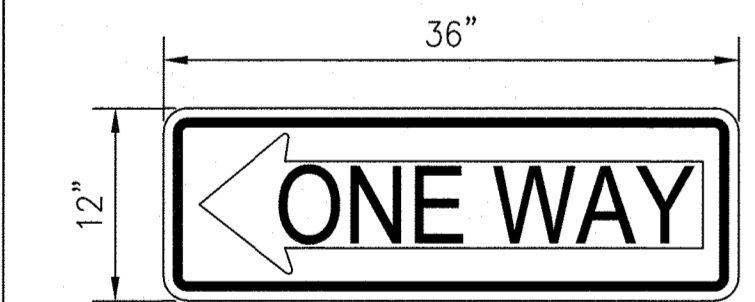
8 SINGLE SWING GATE @ SEATING AREA
NOT TO SCALE



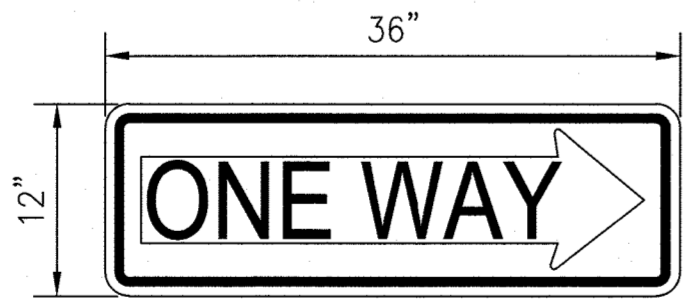
9 WHITE, ANTI-SKID, HIGH REFLECTIVE PARKING LOT ARROW
NOT TO SCALE



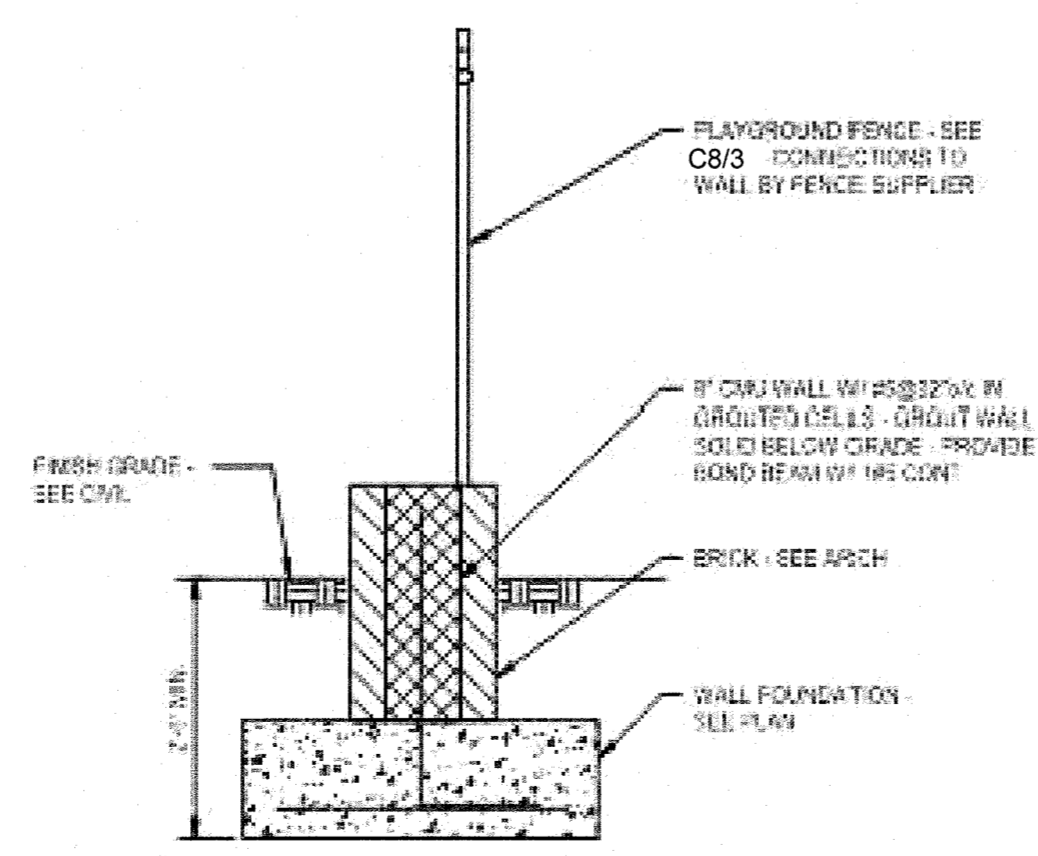
10 DO NOT ENTER SIGN
NOT TO SCALE



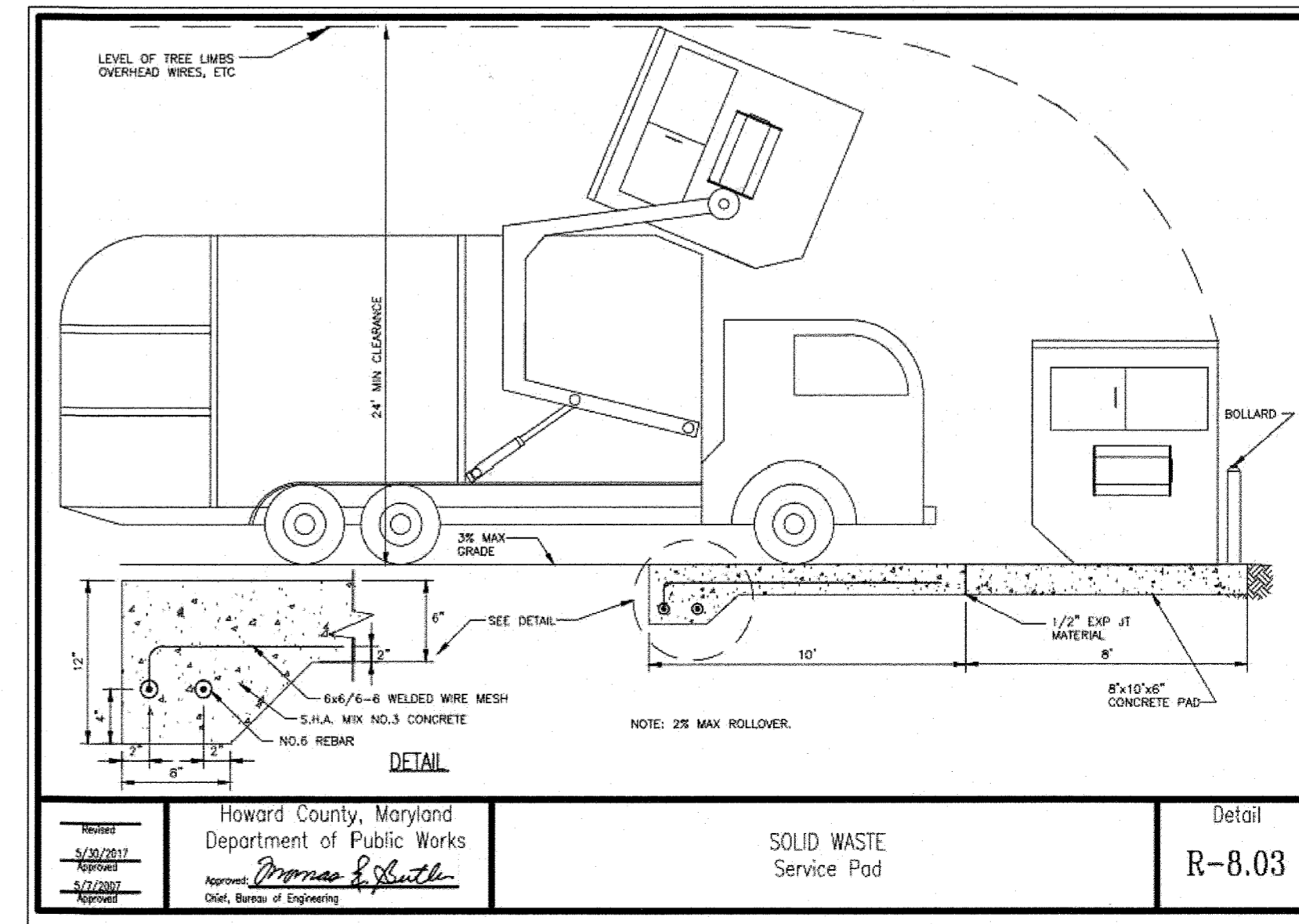
11 ONE WAY SIGN
NOT TO SCALE



12 ONE WAY SIGN
NOT TO SCALE



13 PLAYGROUND WALL
NOT TO SCALE



14 CONCRETE DUMPSTER SERVICE PAD
NOT TO SCALE

NOTE:
1. REFER TO PLANS FOR SLAB DIMENSIONS.
2. INSTALL EXPANSION JOINT AT BUILDING. SEE PLANS FOR LOCATION.

NOTE:
1. CURB PAN AT THE MEDIAN EDGE OF INTERMEDIATE APPROACHES OR THE HIGH SIDE OF SUPERELEVATED SECTIONS SHALL BE SUPPORTED AT THE SAME RATE AND IN THE SAME DIRECTION AS THE PAVEMENT CROSS SLOPE WHICH CURB IS LOCATED TO THE LOW SIDE OF SUPERELEVATED SECTION AND THE RATE OF SUPERELEVATION IS GREATER THAN 2% FOR WOODED CURB AND GUTTER.

NOTE:
1. REFER TO PLANS FOR LOCATIONS.

NOTES:
1. EACH DO NOT ENTER SIGN SHALL BE POST MOUNTED. EDGE AT LEAST 7 FEET ABOVE THE GROUND.
2. SEE DETAIL 5, THIS SHEET, FOR SIGN POST.

NOTES:
1. EACH ONE WAY SIGN SHALL BE POST MOUNTED. EDGE AT LEAST 7 FEET ABOVE THE GROUND.
2. SEE DETAIL 5, THIS SHEET, FOR SIGN POST.

NOTES:
1. EACH ONE WAY SIGN SHALL BE POST MOUNTED. EDGE AT LEAST 7 FEET ABOVE THE GROUND.
2. SEE DETAIL 5, THIS SHEET, FOR SIGN POST.

APPROVED
DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 7/26/21
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 7-26-21
DIRECTOR

COLORS
LEGEND AND BORDER - WHITE
BACKGROUND - WHITE & BLACK

COLORS
LEGEND AND BORDER - WHITE
BACKGROUND - WHITE & BLACK

COLORS
LEGEND AND BORDER - WHITE
BACKGROUND - WHITE & BLACK

COLORS
LEGEND - WHITE
BACKGROUND - WHITE & RED

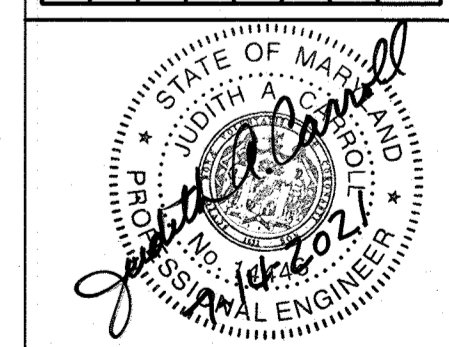
COLORS
LEGEND - WHITE
BACKGROUND - WHITE & RED

Project	Howard County, Maryland	Detail	R-9.01
Agency	Department of Public Works	Curb and Gutter	
Author	James P. ...	6\"/>	

Project	Howard County, Maryland	Detail	R-8.03
Agency	Department of Public Works	Solid Waste Service Pad	
Author	James P. ...		

ADDRESS CHART			
USE	STREET ADDRESS		
RECREATIONAL BUILDING	8045 HARRIET TUBMAN LANE		
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO.	LOT/PARCEL NO.
ATHOLTON HIGH SCHOOL	N/A	N/A	2/2002
PLAT OR L/P	ZONING	TAX MAP	ELECT. CENSUS TRACT
24451-53	0024	R-3C	0035 500 E.G.
OWNER/DEVELOPER			
HOWARD COUNTY RECREATION AND PARKS			
CONTACT: MICHAEL KAMINETZ, 410-313-5781			
8045 HARRIET TUBMAN LANE			
COLUMBIA, MD 21044			

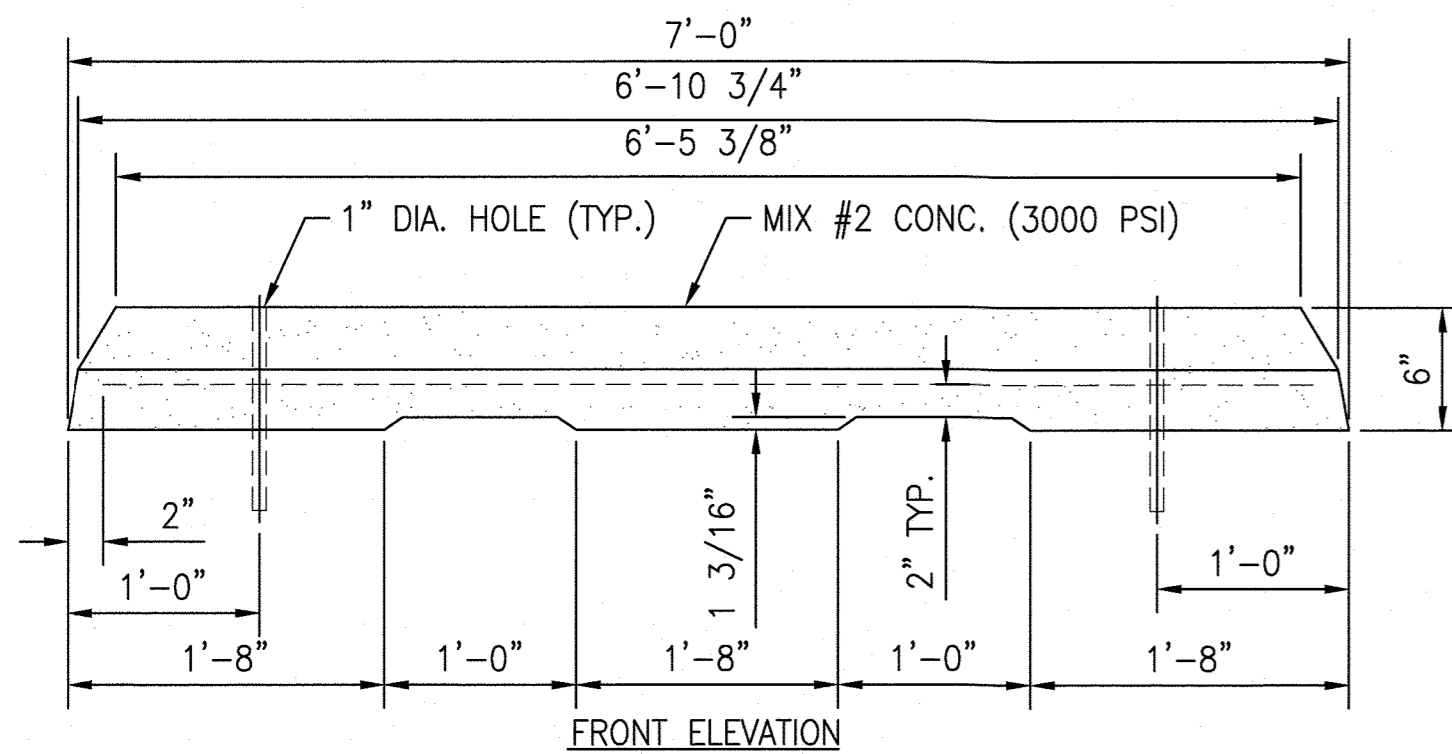
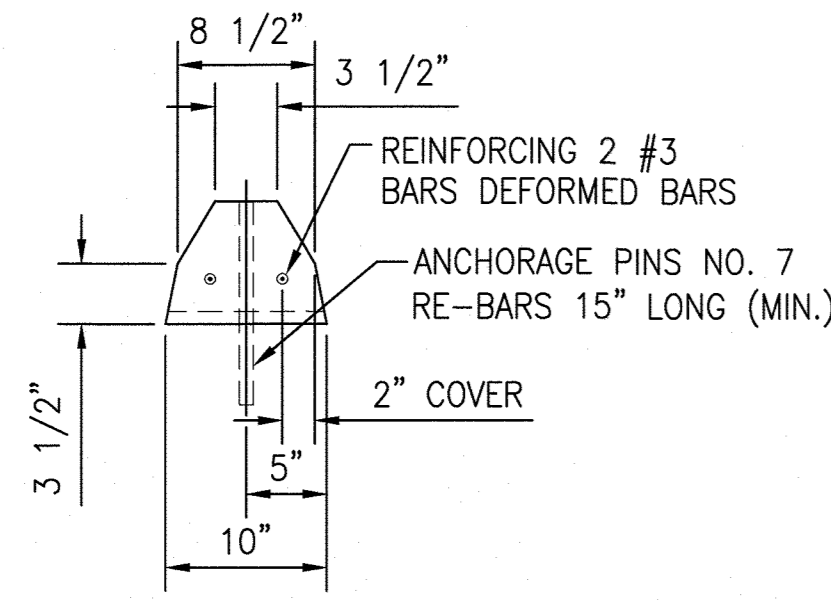
Mark	Date	Description
	04/10/2020	100% SD SUBMISSION
	08/19/2020	100% CD SUBMISSION
	10/16/2020	100% CONSTRUCTION DOCUMENTS
	11/23/2020	BID SET
	2/1/2021	ADDENDUM #2
	5/7/2021	REVISION #2 - SITE MODIFICATIONS
	7/1/2021	REVISE PLANS TO SHOW SITE MODS FOR THE 410-625-4823 voice 410-625-4674 fax



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE No.: 14446 EXP. DATE: 5/25/23
PROJECT NO.: 18104A5
DRAWN BY: DWM
CHECKED BY: GWT
SHEET NAME:
SITE DETAILS (ADDITIONAL SHEET)
SHEET NO.: C7

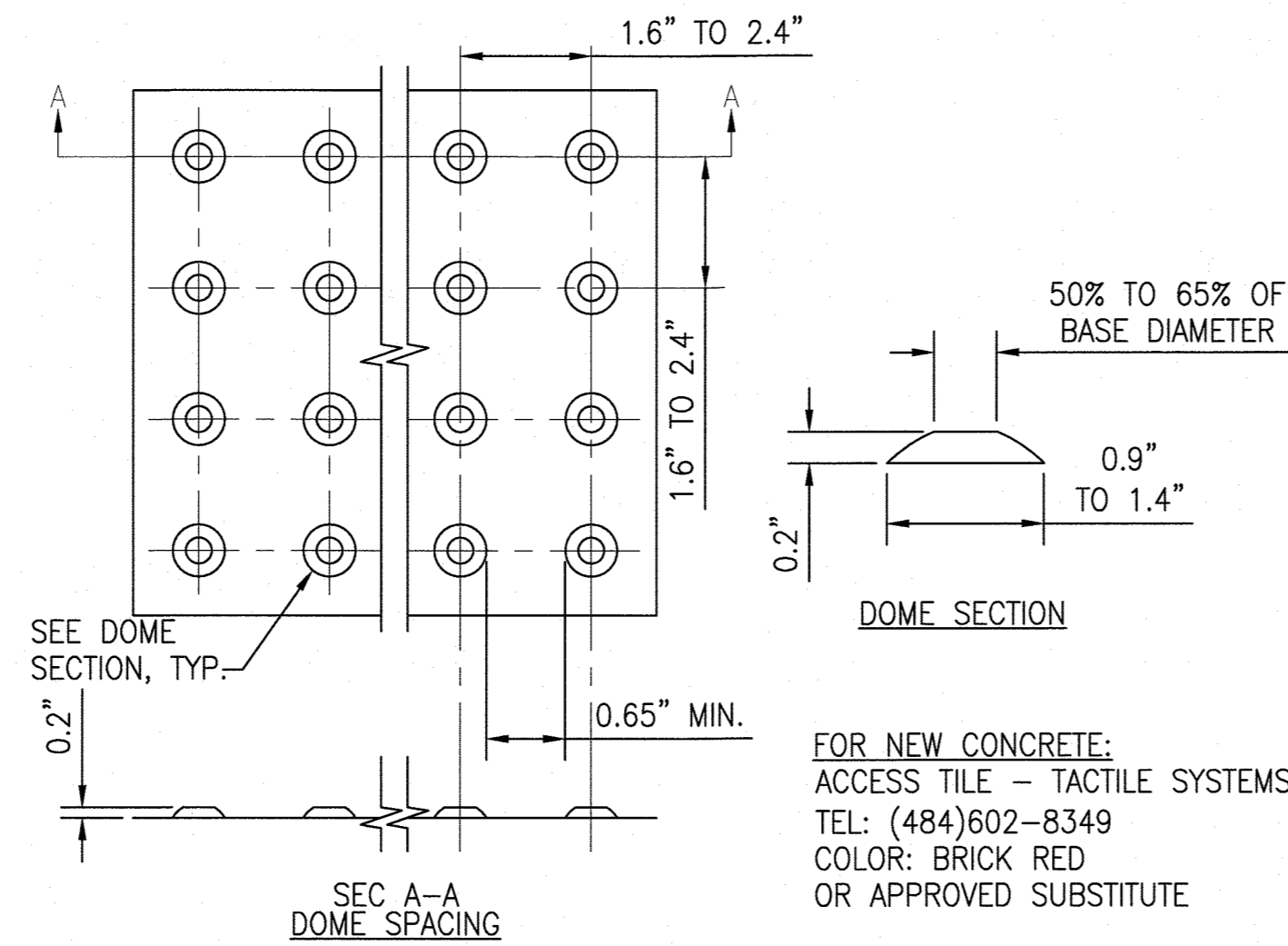
Murphy & Dittenhafer
ARCHITECTS
808 North Charles Street, Baltimore, Maryland 21201
410-625-4823 voice 410-625-4674 fax
233 West Market Street, York, Pennsylvania 17401
717-843-2449 fax

AUDITORIUM RENOVATIONS
HARRIET TUBMAN BUILDING
8045 HARRIET TUBMAN LANE, COLUMBIA MARYLAND



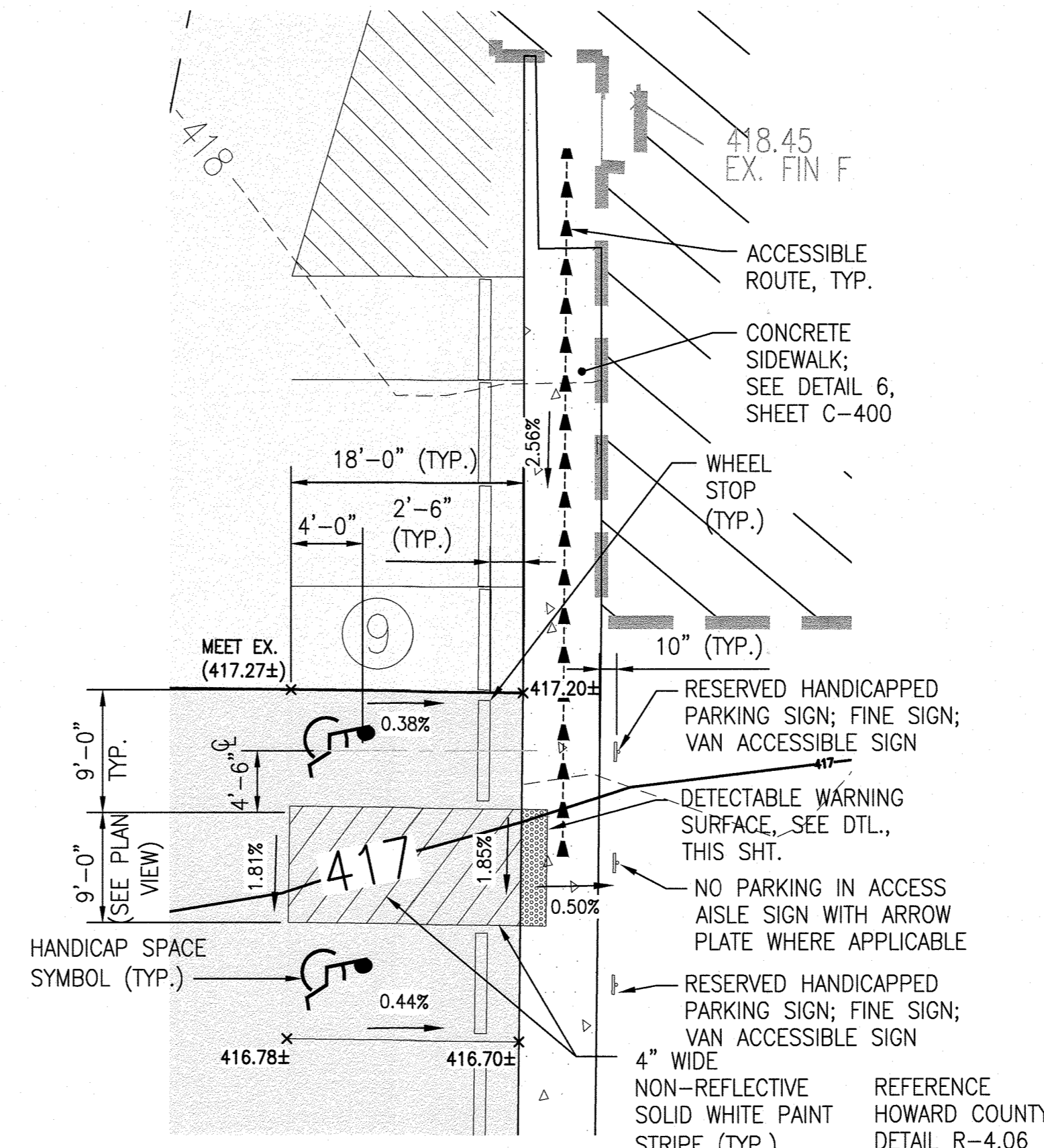
NOTE:
WHEEL STOP ARE TO BE INSTALLED AT
HANDICAPPED PARKING SPACES ONLY.

① TYPE I WHEEL STOP
NOT TO SCALE

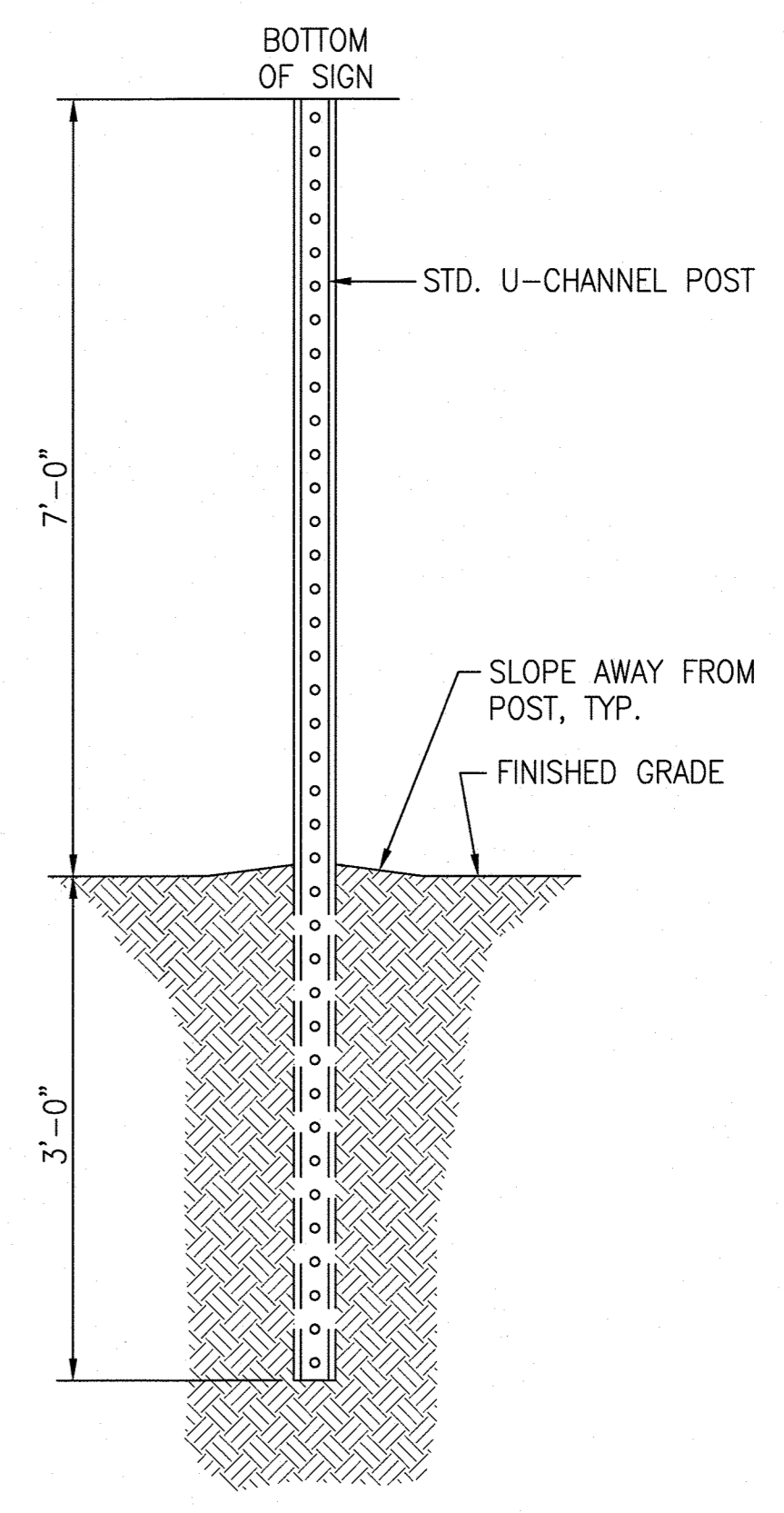


FOR NEW CONCRETE:
ACCESS TILE - TACTILE SYSTEMS
TEL: (484)602-8349
COLOR: BRICK RED
OR APPROVED SUBSTITUTE

② DETECTABLE WARNING SURFACE
NOT TO SCALE



③ TYPICAL HANDICAP STRIPING (WEST PARKING LOT)
NOT TO SCALE

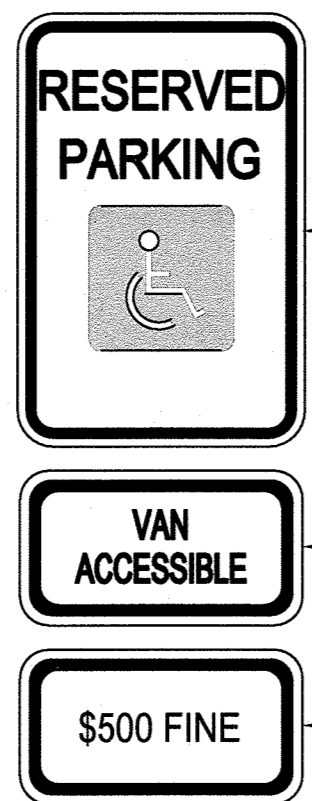


④ TYPICAL SIGN POST
NOT TO SCALE



- USE MUTCD SECTION 2B-39
- APPROPRIATE ARROW PLATE MAY BE USED WHEN IT IS NECESSARY TO OFFSET INSTALLATION LOCATION DUE TO ACCESS RAMP.

COLORS
LEGEND AND BORDER - RED
BACKGROUND - WHITE



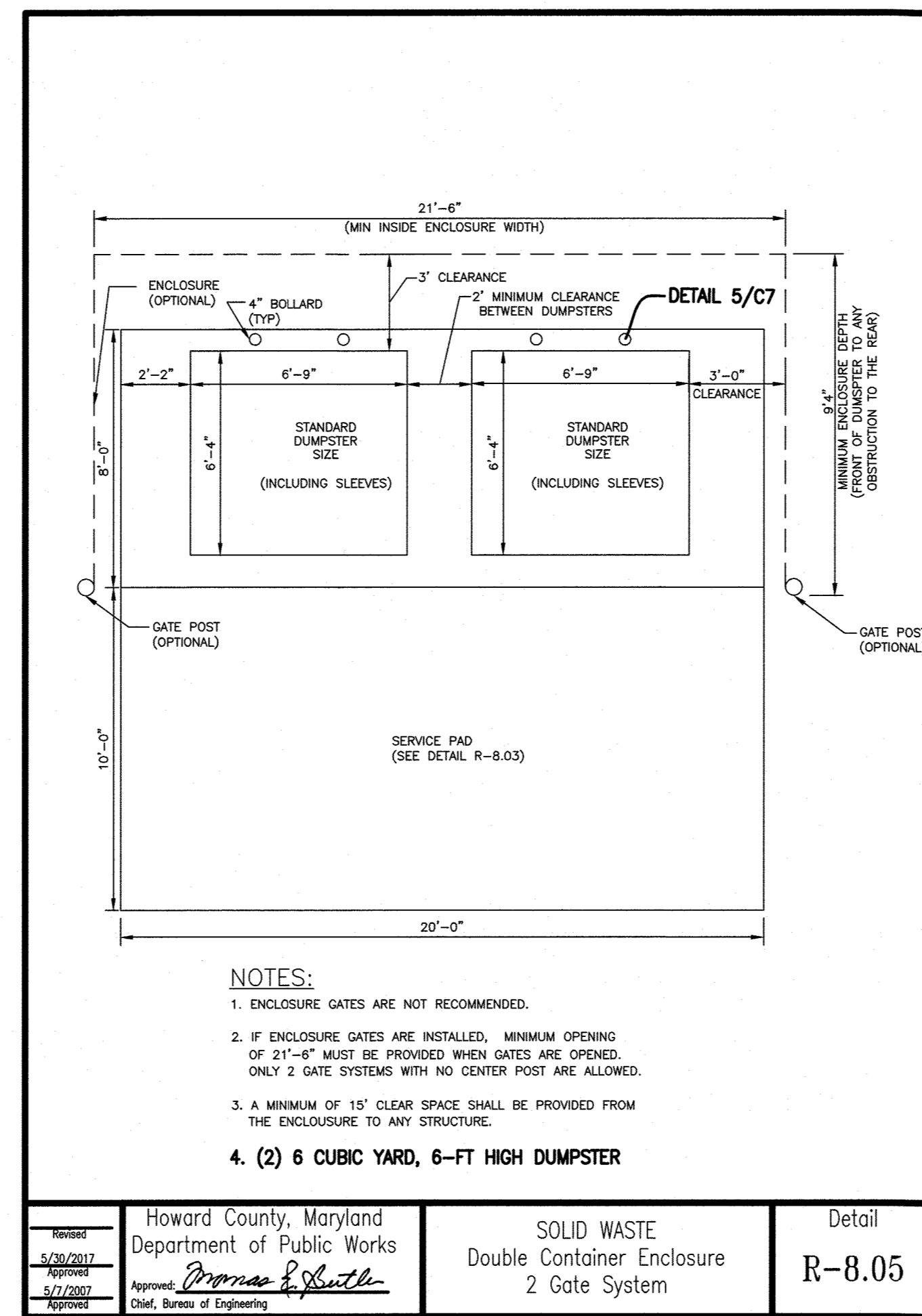
- 5 REQ'D USE MUTCD R7-8
- 4 REQ'D USE MUTCD R7-8a
- FINE

COLORS
LEGEND AND BORDER - GREEN
SYMBOL - WHITE ON BLUE BACKGROUND
BACKGROUND - WHITE

NOTES:

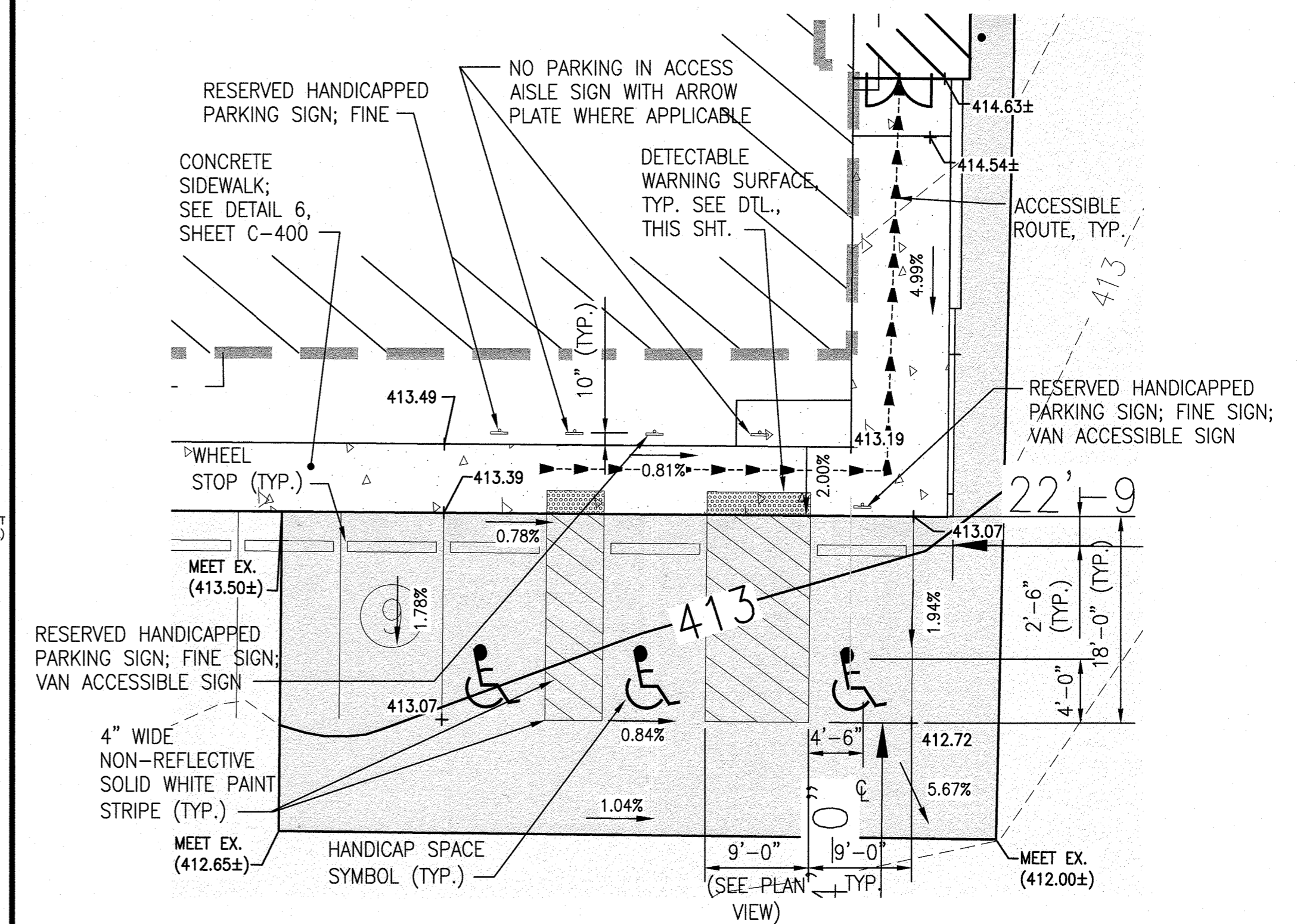
- EACH ACCESSIBLE PARKING SPACE SHALL BE IDENTIFIED BY AN APPROVED SIGN WITH THE BOTTOM EDGE AT LEAST 7 FEET ABOVE THE GROUND, UNLESS THE SIGN IS PLACED FLUSH AGAINST A BUILDING, STRUCTURE, OR OTHER LOCATION THAT DOES NOT OBSTRUCT VEHICLE OR PEDESTRIAN TRAFFIC, IN WHICH CASE THE SIGN SHALL BE AT LEAST 6 FEET AND NO MORE THAN 10 FEET ABOVE THE GROUND. SIGNS SHALL BEAR THE INTERNATIONAL SYMBOL OF ACCESS AND THE WORDS "RESERVED PARKING" AND SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION STANDARD SIGN MANUAL.
- ALL SIGNAGE TO COMPLY WITH CURRENT MUTCD GUIDELINES.
- REFER TO TYPICAL SIGN POST DETAIL, THIS SHEET, FOR MOUNTING.

⑥ RESERVED HANDICAPPED PARKING SIGN
NOT TO SCALE



- NOTES:
- ENCLOSURE GATES ARE NOT RECOMMENDED.
 - IF ENCLOSURE GATES ARE INSTALLED, MINIMUM OPENING OF 21'-6" MUST BE PROVIDED WHEN GATES ARE OPENED. ONLY 2 GATE SYSTEMS WITH NO CENTER POST ARE ALLOWED.
 - A MINIMUM OF 15' CLEAR SPACE SHALL BE PROVIDED FROM THE ENCLOSURE TO ANY STRUCTURE.
4. (2) 6 CUBIC YARD, 6-FT HIGH DUMPSTER

⑦ DUMPSTER ENCLOSURE
NOT TO SCALE



⑧ TYPICAL HANDICAP STRIPING (EAST PARKING LOT)
NOT TO SCALE

APPROVED
DEPARTMENT OF PLANNING AND ZONING

7/16/21
DATE

7/20/21
DATE

7-2-21
DATE

Howard County, Maryland Department of Public Works	SOLID WASTE Double Container Enclosure 2 Gate System	Detail R-8.05
---	--	------------------

ADDRESS CHART	
USE	STREET ADDRESS
RECREATIONAL BUILDING	8045 HARRIET TUBMAN LANE

SUBMISSION NAME ATHOLTON HIGH SCHOOL	SECTION/AREA N/A	LOT/ PARCEL NO. 2/022
PLAT# OR L/F 24451-S3	GRID 0024	ZONING R-SC
TAX MAP # 0035	ELECT 5th ED.	GENUS TRACT

OWNER/DEVELOPER
HOWARD COUNTY RECREATION AND PARKS
CONTACT: MICHAEL KAMINETZ, 410-313-5781
8045 HARRIET TUBMAN LANE
COLUMBIA, MD 21044

AUDITORIUM RENOVATIONS
HARRIET TUBMAN BUILDING
8045 HARRIET TUBMAN LANE, COLUMBIA MARYLAND

Murphy & Dittenhafer
ARCHITECTS

808 North Charles Street, Baltimore, Maryland 21201
410-625-8223 voice 410-625-8714 fax

Mark	Date	Description
	04/10/2020	100% SD SUBMISSION
	06/16/2020	100% DD SUBMISSION
	10/16/2020	100% CONSTRUCTION DOCUMENTS
	11/23/2020	BID SET
	2/1/2021	ADDENDUM #2
	5/7/2021	REVISION #2 - SITE MODIFICATIONS
	7/1/2021	REVISE PLANS TO SHOW SITE MODS FOR THE EX. EX. BLDG., NEW SIGN & SITE IMPROVEMENTS.

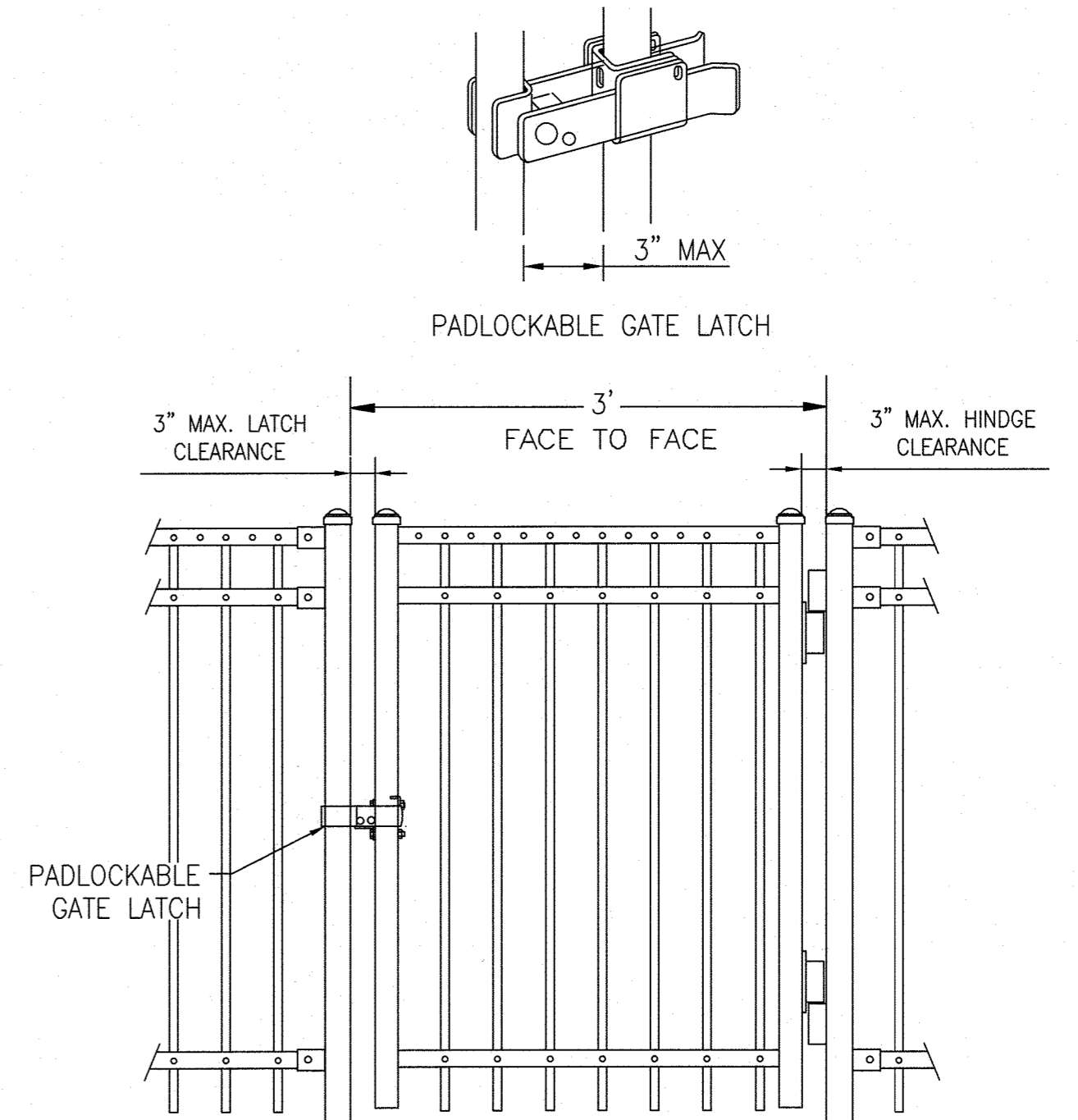
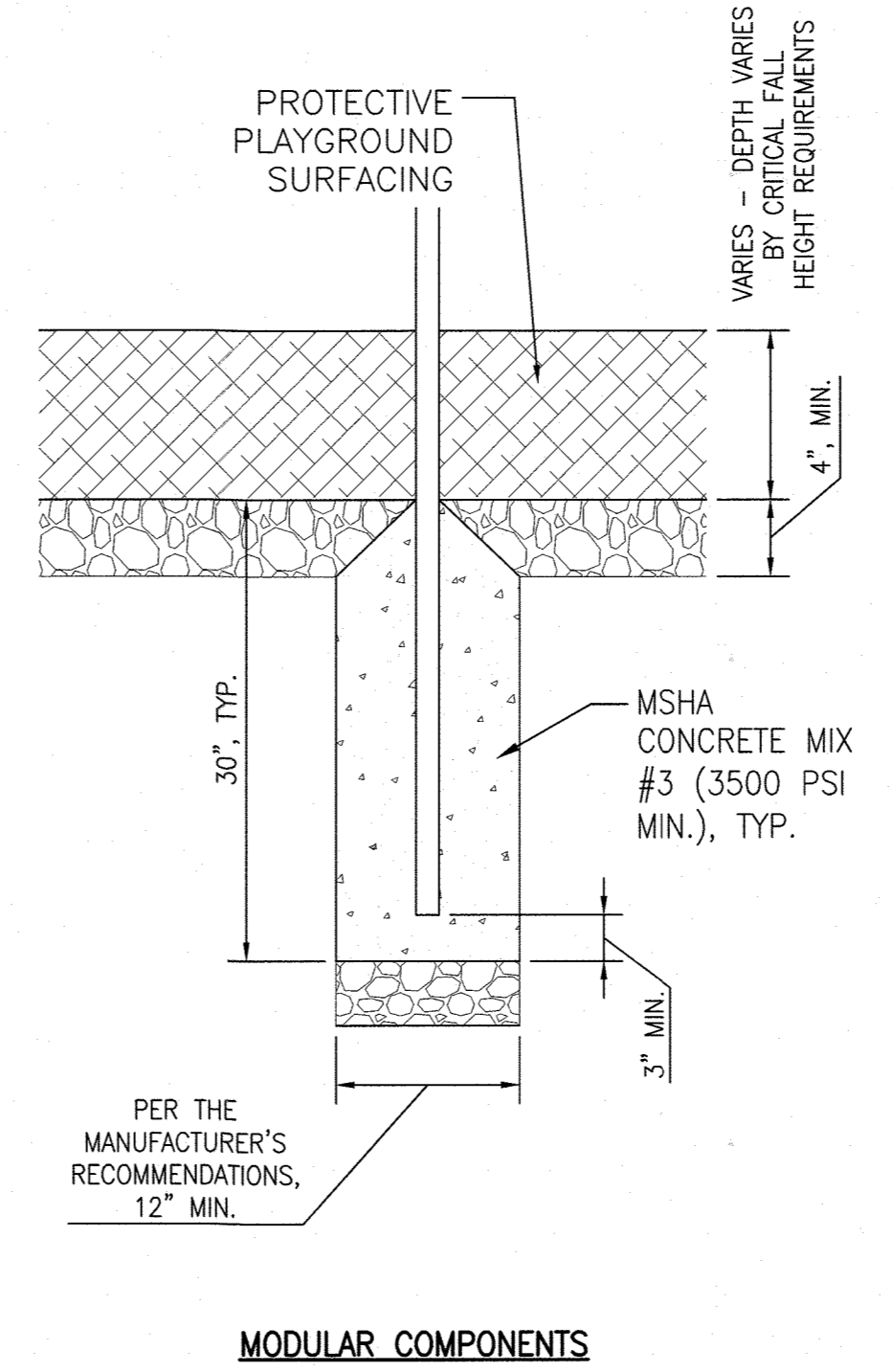
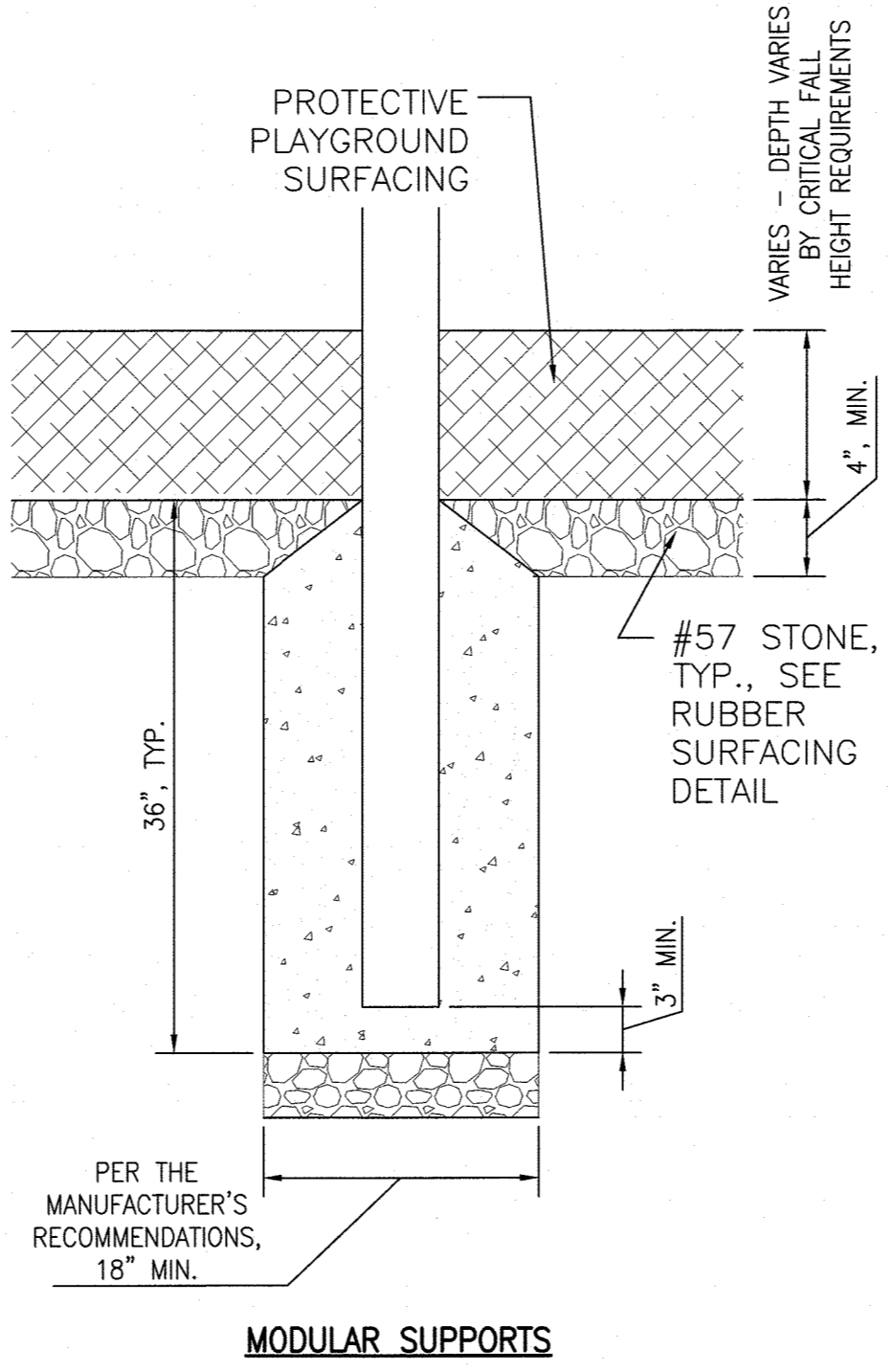
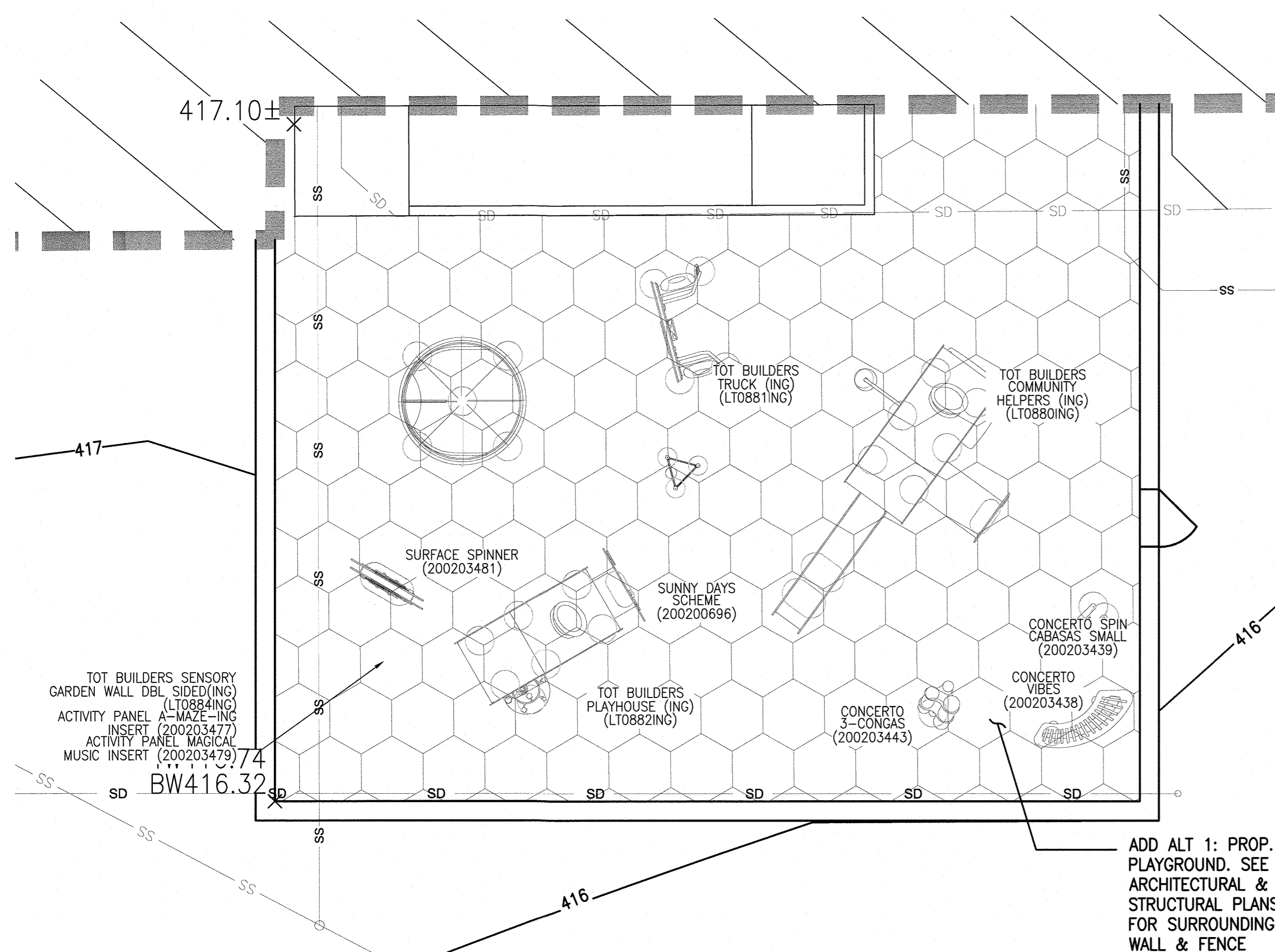
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE No.: 14446 EXP. DATE: 5/25/23

PROJECT NO: 18104A5
DRAWN BY: DWM
CHECKED BY: GWT

SITE DETAILS
(ADDITIONAL SHEET)

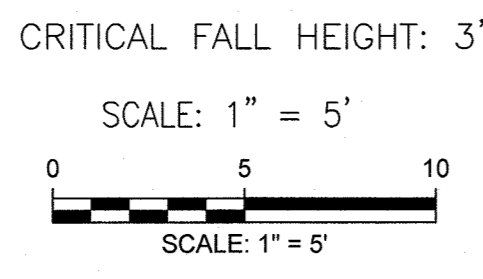
C8



- NOTE:
- CONTRACTOR TO ASSEMBLE AND INSTALL ALL PLAYGROUND EQUIPMENT PER MANUFACTURER'S SPECIFICATIONS.
 - CONTRACTOR TO PLACE PROTECTIVE PLAYGROUND SURFACING TO MEET CRITICAL FALL HEIGHT REQUIREMENT OF ASSOCIATED PLAYGROUND EQUIPMENT.
 - NO PLAY EQUIPMENT FOOTINGS SHALL BE PLACED OVER PROPOSED OR EXISTING UTILITIES. ALL UTILITIES SHALL HAVE A MINIMUM OF A 2" OFFSET BETWEEN THE FOOTING AND THE OUTER EDGE OF THE UTILITY UNLESS OTHERWISE APPROVED.

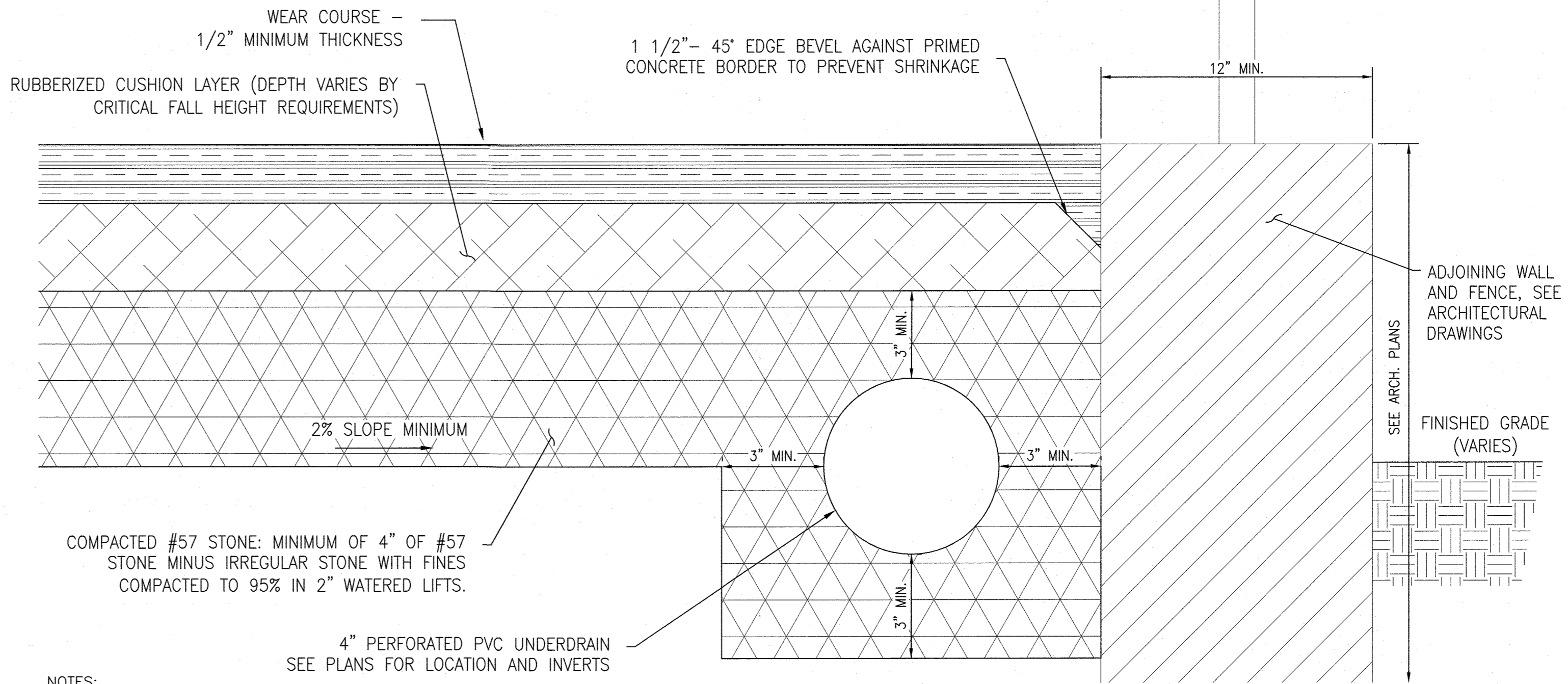
- NOTES:
- REFER TO STRUCTURAL AND ARCHITECTURAL DRAWINGS FOR WALL AND WALL ATTACHMENT DETAILS.
 - ALL 3' GATES SHALL HAVE A 90° SWING CAPACITY UNLESS OTHERWISE NOTED.
 - ALL FENCE HARDWARE SHALL HAVE TAMPER PROOF FASTENERS.
 - ALL STEEL FENCE COMPONENTS AND HARDWARE SHALL HAVE A BLACK POWDER COATED FINISH.
 - CONTRACTOR SHALL SUBMIT SHOP DRAWINGS SHOWING COMPOSITION, LOCATION AND SWING CAPACITY OF ALL FENCING AND GATES TO ARCHITECT / LANDSCAPE ARCHITECT PRIOR TO FENCING AND GATE FABRICATION.

ADD ALT #01 - PLAYGROUND ENLARGEMENT
 (COMMERCIAL RECREATION PRODUCTS, LLC)
 PROJECT # R0327_44166588858_01



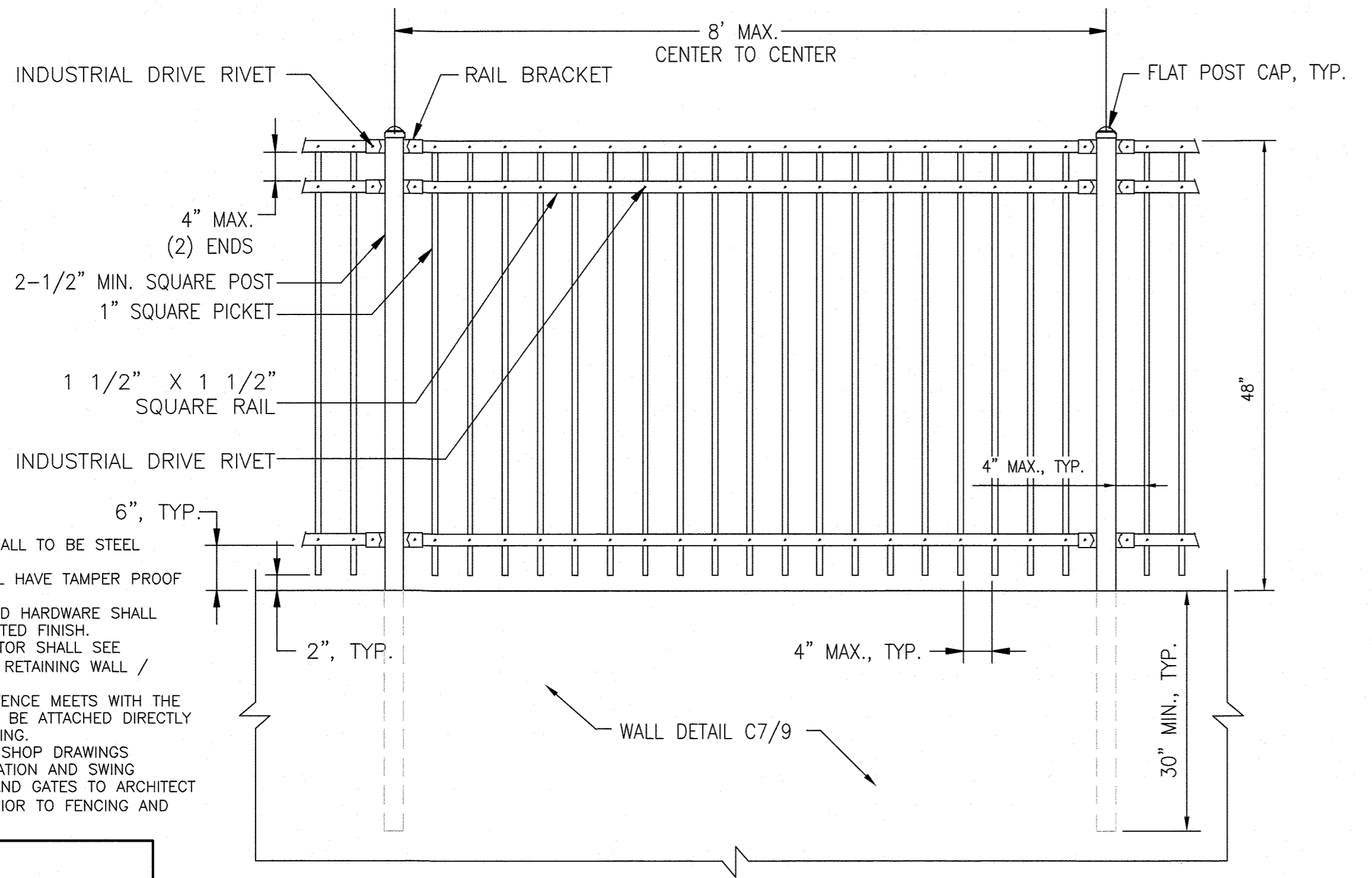
- GENERAL NOTES:
- PLAYGROUND EQUIPMENT MANUFACTURER: LITTLE TYKES COMMERCIAL. CONTRACTOR SHALL CONTACT COMMERCIAL RECREATION PRODUCTS, LLC., (CONTACT: JOHN A. AMICI, CPSI, COMMERCIAL RECREATION PRODUCTS, LLC., PH. 410-963-8417, E-MAIL COMMREC@YAHOO.COM) FOR PRICING AND LOCATION DETAILS OF THE PLAY EQUIPMENT.
 - SEE UTILITY PLANS, SHEET SET C410, FOR PLAYGROUND UNDERDRAIN INVERT ELEVATIONS.

1 PLAY EQUIPMENT FOOTINGS
NOT TO SCALE



- NOTES:
- ALL UNDERDRAINS SHALL BE LAID OUT AND INSTALLED IN CONJUNCTION WITH THE PLAYGROUND SUB-BASE AND EQUIPMENT.
 - RUBBERIZED PAVEMENT UNDERDRAINS SHALL BE TIED INTO THE STORM DRAIN SYSTEM AS CALLED OUT ON THE UTILITY PLANS. SEE SHEET SET C410.
 - THE PROPOSED SUB-GRADE SHALL HAVE A MINIMUM OF A 2% SLOPE TOWARD THE UNDERDRAIN.
 - THE UNDERDRAIN PIPING SHALL BE INSTALLED AT A MINIMUM SLOPE OF 0.5%.
 - UNDERDRAINS SHALL BE 4" PERFORATED PVC. PERFORATIONS SHALL BE 3/8" DIAMETER LOCATED 6" ON CENTER WITH A MINIMUM OF 3 HOLES PER ROW. PIPE SHALL BE WRAPPED WITH A 1/2" (NO.4 OR 4x4) GALVANIZED HARDWARE CLOTH.
 - THE 4" PVC UNDERDRAIN PIPE SHALL ONLY HAVE PERFORATION WHERE LOCATED BELOW THE RUBBERIZED PLAYGROUND SURFACING. ALL PORTIONS OF THE 4" PVC PIPE LOCATED OUTSIDE OF THE RUBBERIZED PLAYGROUND SURFACING FOOTPRINT SHALL NOT HAVE PERFORATIONS.
 - SEE THE ARCHITECTURAL DRAWINGS FOR ADJACENT WALL / BORDER AND ASSOCIATED FENCING WHEN PRESENT.

4 PROTECTIVE RUBBERIZED SAFETY SURFACE AND UNDERDRAIN
NOT TO SCALE



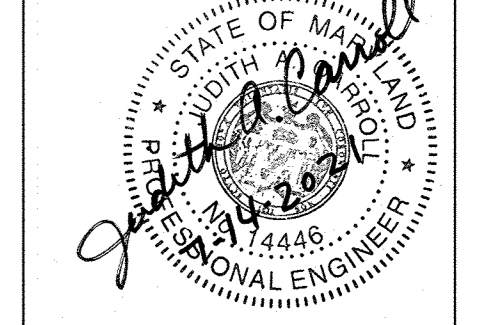
- NOTES:
- ALL FENCE COMPONENTS SHALL BE TO STEEL TUBING BARS AND SHAPES.
 - ALL FENCE HARDWARE SHALL HAVE TAMPER PROOF FASTENERS.
 - ALL FENCE COMPONENTS AND HARDWARE SHALL HAVE A BLACK POWDER COATED FINISH.
 - WHEN NECESSARY, CONTRACTOR SHALL SEE RETAINING WALL DETAIL FOR RETAINING WALL / FOOTING REINFORCEMENT.
 - AT LOCATIONS WHERE THE FENCE MEETS WITH THE BUILDING, THE FENCE SHALL BE ATTACHED DIRECTLY TO THE WALL OF THE BUILDING.
 - CONTRACTOR SHALL SUBMIT SHOP DRAWINGS SHOWING COMPOSITION, LOCATION AND SWING CAPACITY OF ALL FENCING AND GATES TO ARCHITECT / LANDSCAPE ARCHITECT PRIOR TO FENCING AND GATE FABRICATION.

3 PLAYGROUND FENCE
NOT TO SCALE

APPROVED
 DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 7/26/21
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 7-20-21
 DIRECTOR

ADDRESS CHART	
USE	STREET ADDRESS
RECREATIONAL BUILDING	8045 HARRIET TUBMAN LANE
SUBDIVISION NAME	ATHOLTON HIGH SCHOOL
SECTION/AREA	N/A
LOT/ PARCEL NO.	2/092
PLAT# OR L/P	0024
ZONING	R-SC
TAX MAP ID#	0035
ELECT DIST	5th E.D.
CENSUS TRACT	
OWNER/DEVELOPER	
HOWARD COUNTY RECREATION AND PARKS	
CONTACT: MICHAEL KAMINZET, 410-313-5781	
8045 HARRIET TUBMAN LANE	
COLUMBIA, MD 21044	

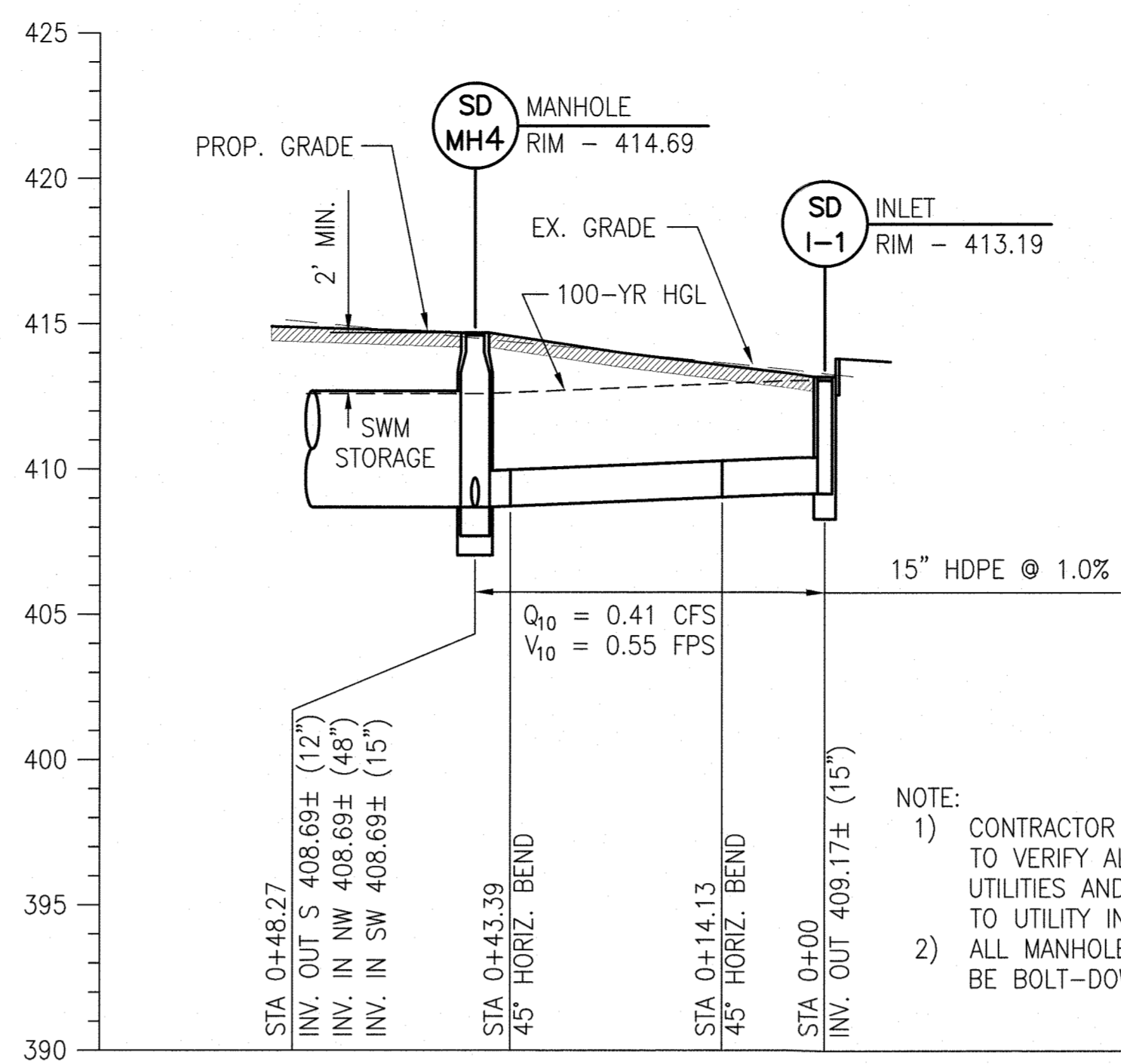
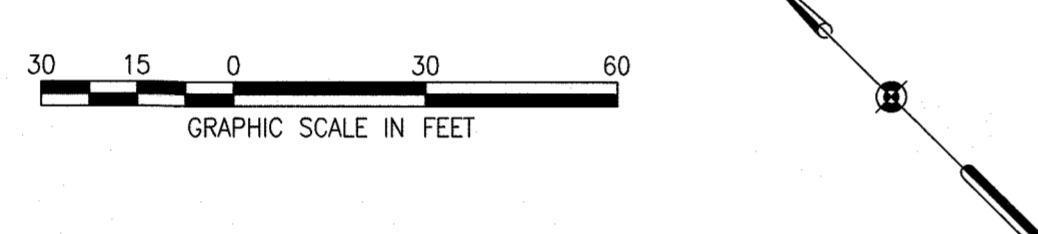
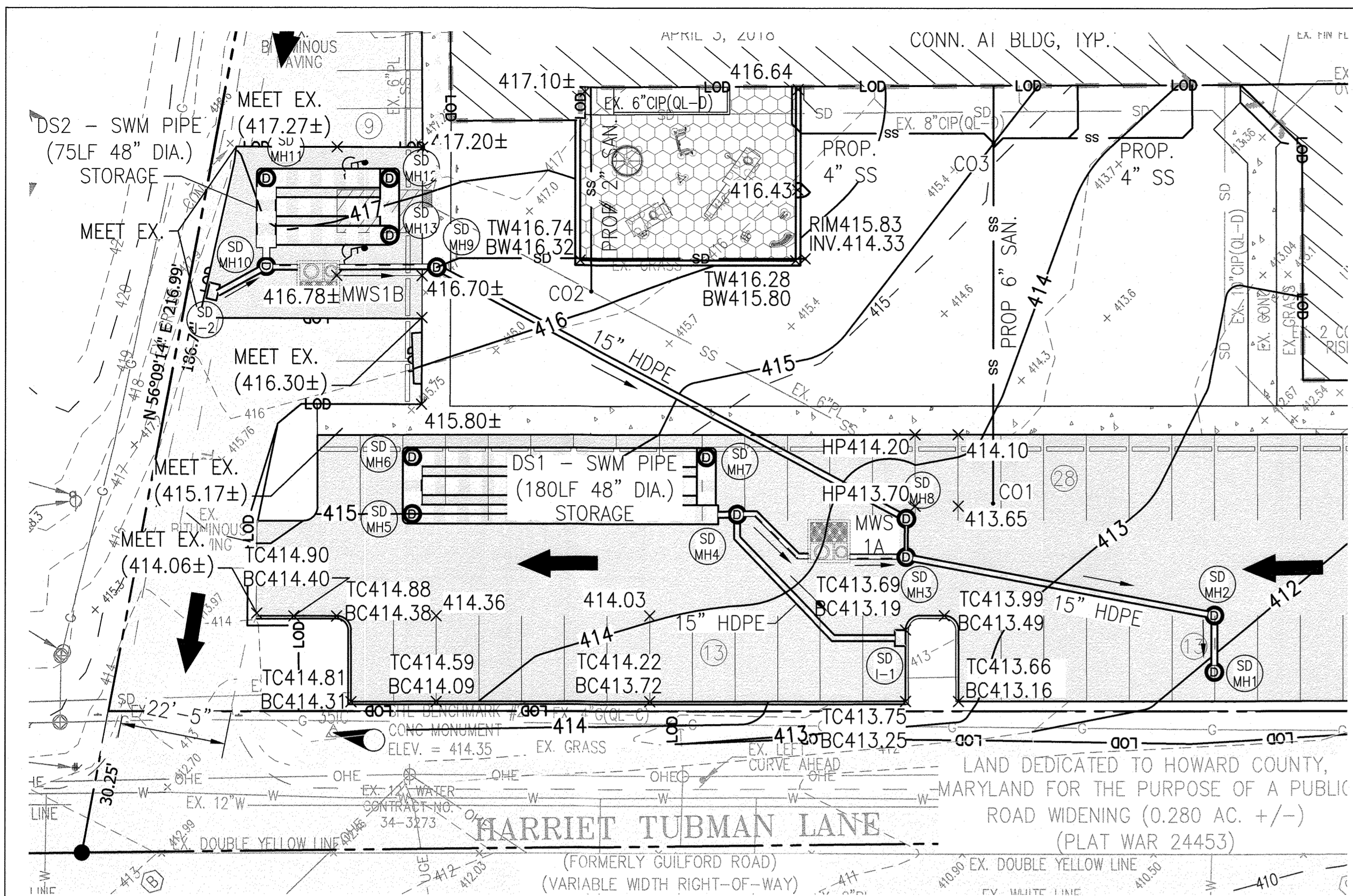
Mark	Date	Description
	04/10/2020	100% SD SUBMISSION
	08/19/2020	100% DD SUBMISSION
	10/16/2020	100% CONSTRUCTION DOCUMENTS
	11/23/2020	BID SET
	2/2/2021	ADDENDUM #2
	5/7/2021	REVISION #2 - SITE MODIFICATIONS
	7/1/2021	REVERSE PLANS TO SHOW SITE MODS FOR THE EX. BLDG., NEW SWIM & SITE IMPROVEMENTS.



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO.: 14446 EXP. DATE: 5/25/23
 PROJECT NO.: 18104A5
 DRAWN BY: DWM
 CHECKED BY: GWT
 SHEET NAME: PLAYGROUND DETAILS (ADDITIONAL SHEET)
 SHEET NO.: C9

AUDITORIUM RENOVATIONS
 HARRIET TUBMAN BUILDING
 8045 HARRIET TUBMAN LANE, COLUMBIA MARYLAND

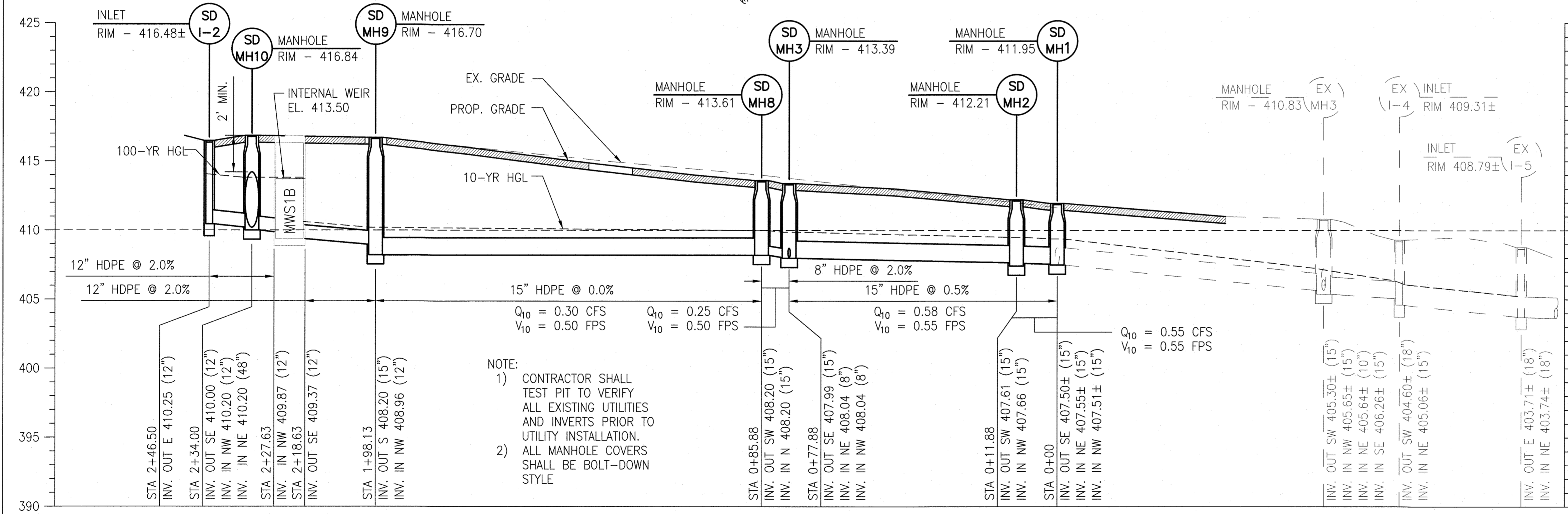
Murphy & Pattenhafer
 ARCHITECTS
 805 North Charles Street, Baltimore, Maryland 21201
 410-625-8823 voice 410-625-8874 fax 410-625-2489 fax



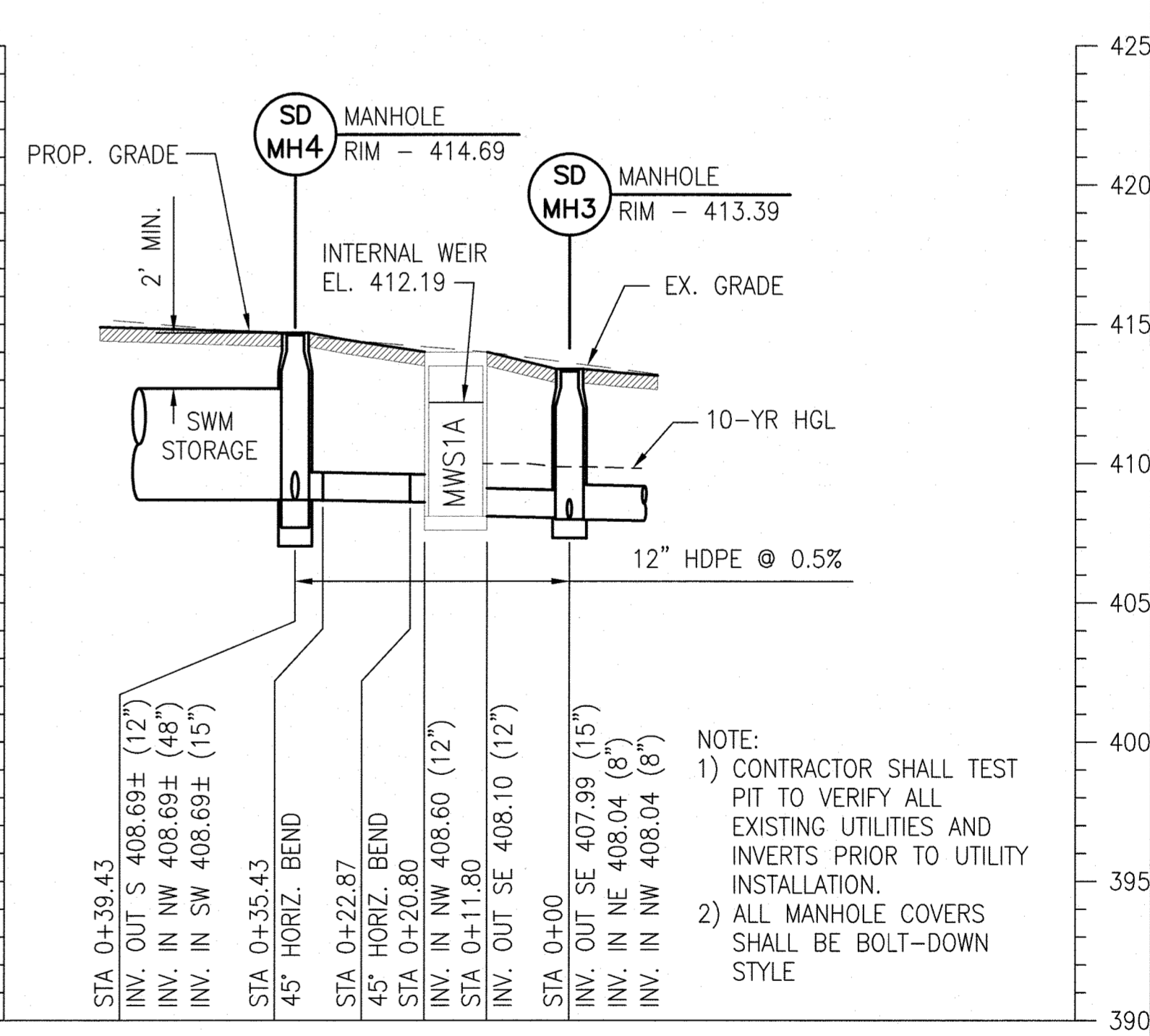
**PROPOSED MH4 TO I-1
STORMDRAIN PROFILE**
HORIZ. 1"=20' VERT. 1"=5'

STRUCTURE SCHEDULE				
NO.	TYPE	DETAIL	INV. ELEV.	TOP. ELEV.
I-1	INLET	D-4.24	IN: 413.19 OUT: 409.17(15")	413.19
I-2	INLET	D-4.24	OUT E: 410.25(12")	416.48
MH-1	MANHOLE	G-5.12	IN NE: 407.55(15") IN NW: 407.51(15") OUT SE: 407.50(15")	412.21
MH-2	MANHOLE	G-5.12	IN NW: 407.66(15") IN OUT SW: 407.61(15")	412.21
MH-3	MANHOLE	G-5.12	IN NE: 408.04(8") IN NW: 408.04(8") OUT SE: 407.99(15")	413.39
MH-4	MANHOLE	G-5.12	IN NW: 408.69(15") IN SW: 408.69(15") OUT S: 408.69(12")	414.69
MH-5	MANHOLE	HDPE RISER STRUCTURE	IN SE: 408.69(48") OUT NE: 408.69(48")	415.00
MH-6	MANHOLE	HDPE RISER STRUCTURE	IN SW: 408.69(48") OUT SE: 408.69(48")	415.30
MH-7	MANHOLE	HDPE RISER STRUCTURE	IN SW: 408.69(48") OUT SE: 408.69(48")	414.80
MH-8	MANHOLE	G-5.12	IN N: 408.20(15") OUT SW: 408.20(15")	413.61
MH-9	MANHOLE	G-5.12	IN NW: 408.99(12") IN OUT S: 408.20(15")	416.70
MH-10	MANHOLE	G-5.12	IN NW: 410.20(12") IN NE: 410.20(15") OUT SE: 410.00(12")	416.84
MH-11	MANHOLE	HDPE RISER STRUCTURE	IN=410.20(48") OUT=410.20(48")	417.04
MH-12	MANHOLE	HDPE RISER STRUCTURE	IN=410.20(48") OUT=410.20(48")	417.04
MH-13	MANHOLE	HDPE RISER STRUCTURE	IN=410.20(48") OUT=410.20(48")	416.90

PIPE SCHEDULE				
FROM	TO	SIZE (IN)	TYPE	LENGTH (LF)
I-2	MH-10	12	HDPE	10
MH-10	MWS1B	12	HDPE	5
MWS1B	MH-9	12	HDPE	19
MH-9	MH-8	15	HDPE	109
MH-8	MH-3	8	HDPE	4
MH-3	MH-2	15	HDPE	62
MH-2	MH-1	15	HDPE	8
MH-4	I-4	15	HDPE	47
MH-4	MWS1A	12	HDPE	16
MWS1A	MH-3	12	HDPE	11



**PROPOSED MH1 TO I-1
STORMDRAIN PROFILE**
HORIZ. 1"=20' VERT. 1"=5'



**PROPOSED MH3 TO MH4
STORMDRAIN PROFILE**
HORIZ. 1"=20' VERT. 1"=5'

APPROVED
DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION: 7/19/21
CHIEF, DIVISION OF LAND DEVELOPMENT: 7/20/21
DIRECTOR: 7.20.21

ADDRESS CHART	
USE	STREET ADDRESS
RECREATIONAL BUILDING	8045 HARRIET TUBMAN LANE

DESCRIPTION	DATE	MARK
100% SD SUBMISSION	04/10/2020	
100% DD SUBMISSION	06/19/2020	
100% CONSTRUCTION DOCUMENTS	10/16/2020	
BID SET	11/20/2020	
ADDENDUM #2	2/1/2021	
REVISION #2 - SITE MODIFICATIONS	5/7/2021	
REVISE PLANS TO SHOW SITE IMPROVEMENTS (EX. BLDG., NEW SWM & SITE IMPROVEMENTS)	7/1/2021	

OWNER/DEVELOPER	SECTION/AREA	LOT/PARCEL NO.
HOWARD COUNTY RECREATION AND PARKS	N/A	2/022
CONTACT: MICHAEL KAMINETZ, 410-313-5781	ZONING: 18R	ELECT. DIST. TRACT: 0035
8045 HARRIET TUBMAN LANE	MAP: R-3C	5th Ed.
COLUMBIA, MD 21044		

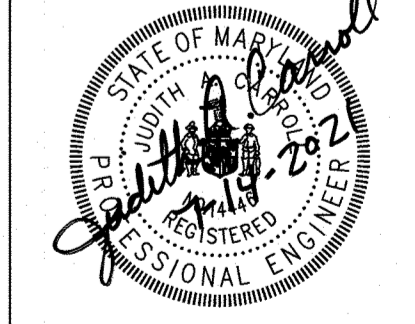
MURPHY & DITTENHAFFER
 ARCHITECTS
 228 West Market Street, Baltimore, Maryland 21201
 410-525-6525 Voice 410-525-6674 Fax

**AUDITORIUM RENOVATIONS
HARRIET TUBMAN BUILDING**
 8045 HARRIET TUBMAN LANE, COLUMBIA MARYLAND

C10
 SDP-89-028

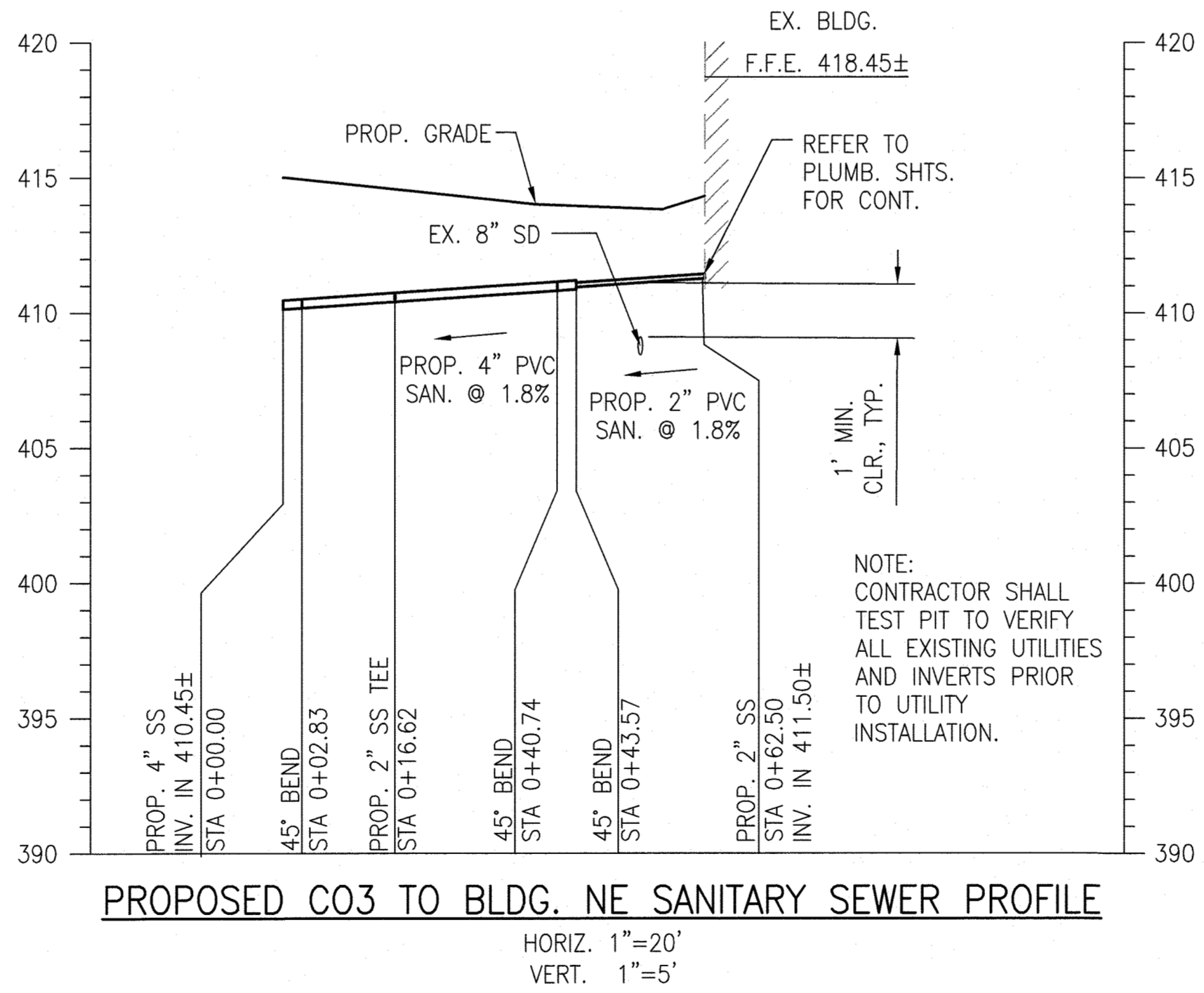
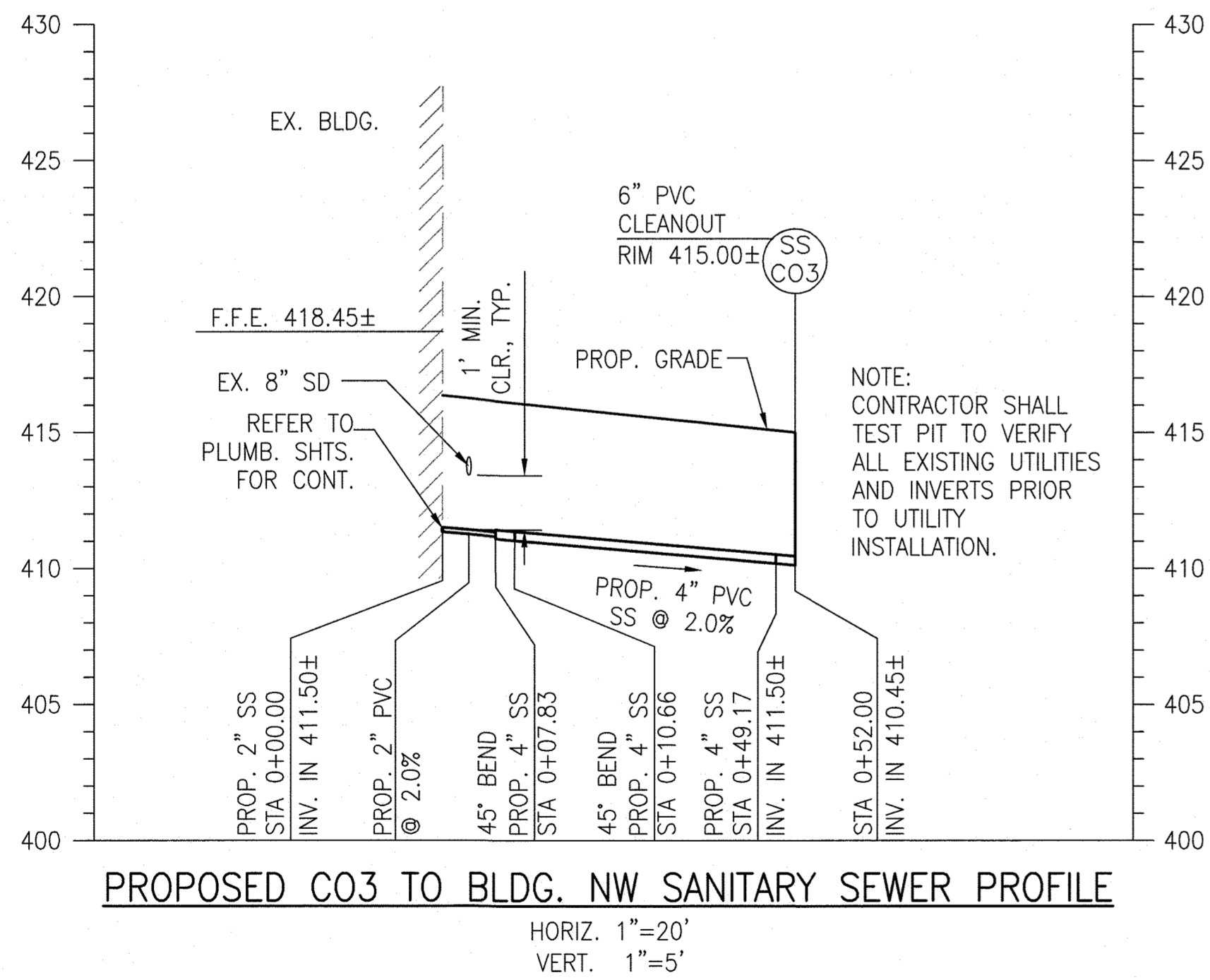
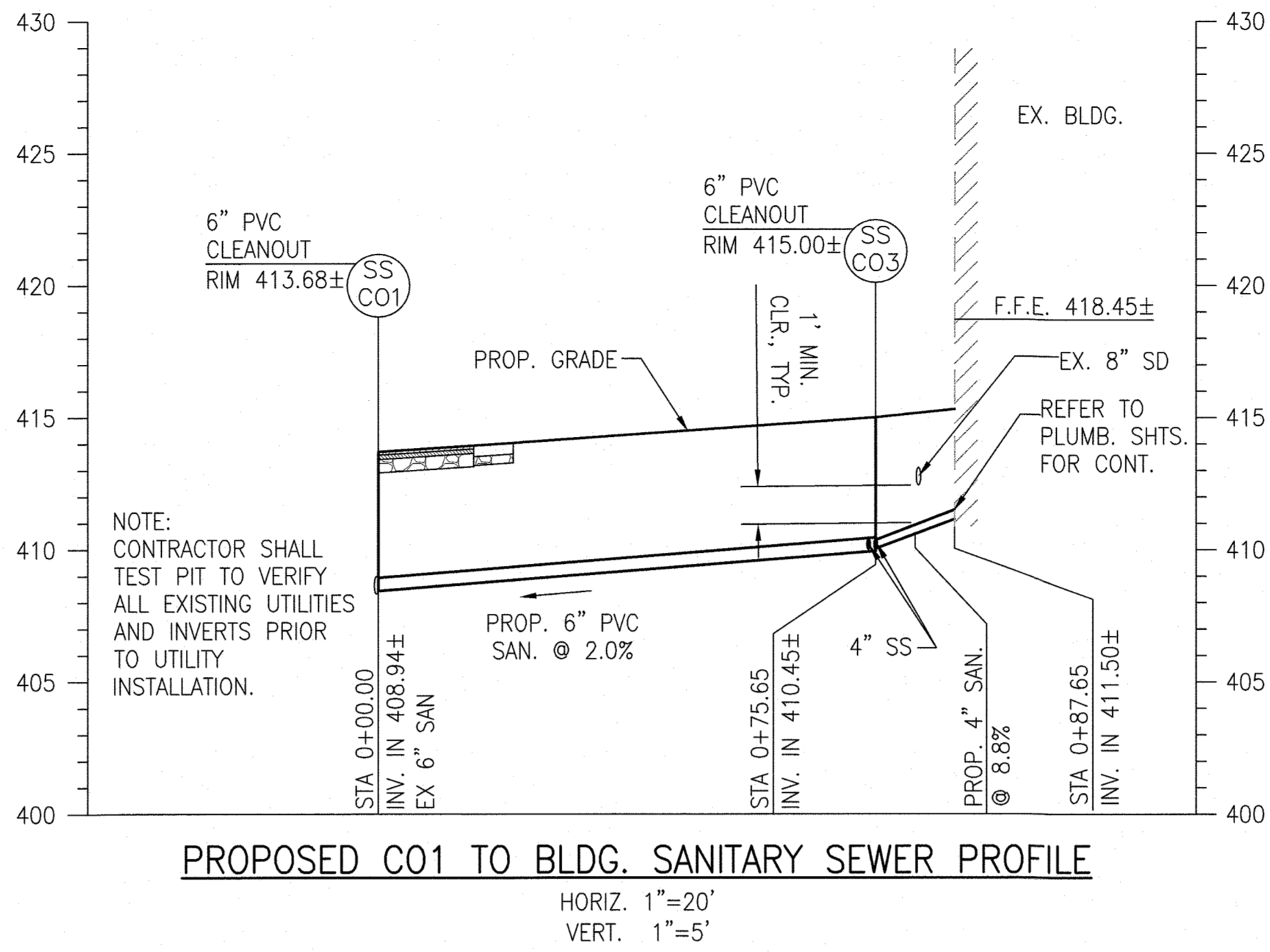
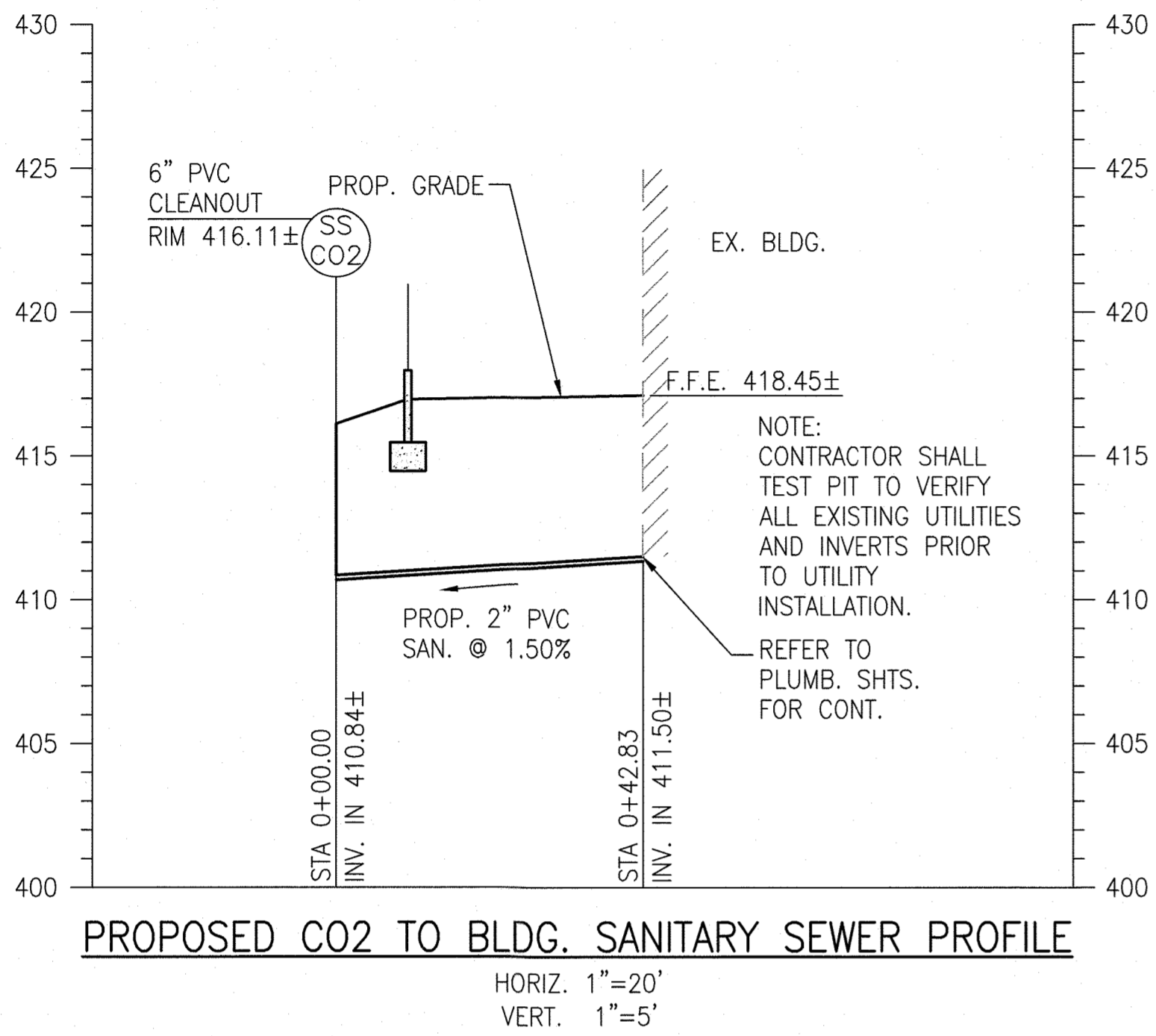
Murphy & Dittenhafer
 ARCHITECTS
 228 West Market Street, York, Pennsylvania, 17401
 410-663-6627 York, PA 17402-3488

Mark	Date	Description
	04/10/2020	100% SD SUBMISSION
	06/19/2020	100% DD SUBMISSION
	10/16/2020	100% CONSTRUCTION DOCUMENTS
	11/23/2020	BID SET
	2/1/2021	ADDENDUM #2
	5/7/2021	REVISION #2 - SITE MODIFICATIONS
	7/1/2021	ISSUE FOR BIDDING - SITE WORK FOR THE EX. BLDG., NEW SWM & SITE IMPROVEMENTS



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE No.: 14446 EXP. DATE: 5/25/23
PROJECT NO: 18104A5
DRAWN BY: DWM
CHECKED BY: GWT
 SHEET NAME:
SANITARY PROFILES (ADDITIONAL SHEET)
 SHEET NO.
C11

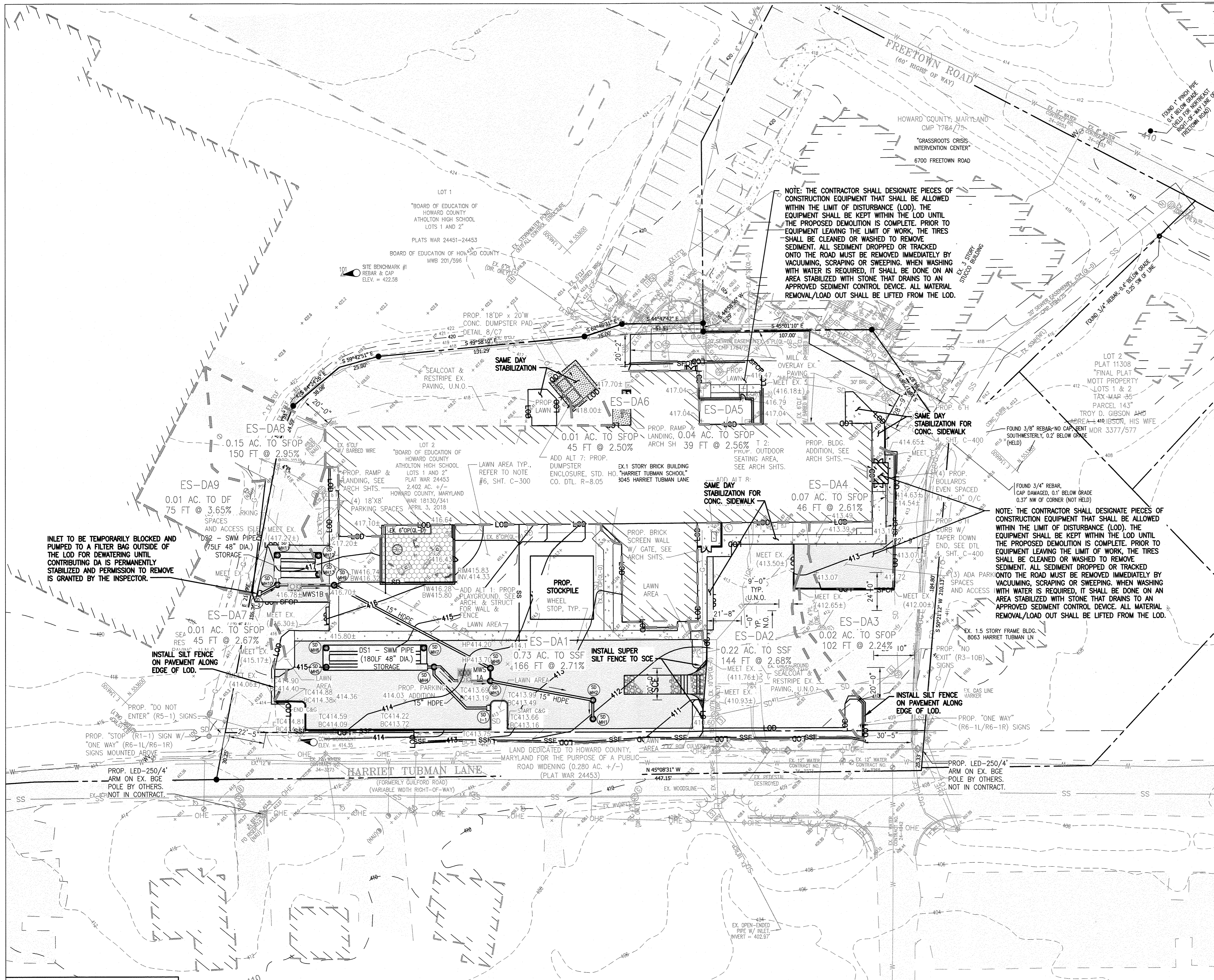
STRUCTURE SCHEDULE	
STRUCTURE	DETAIL
CO-1	S-2.22, S-2.23
CO-2	S-2.22, S-2.23
CO-3	S-2.22, S-2.23



APPROVED
 DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 7/14/21
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 7/20/21
 DIRECTOR

ADDRESS CHART	
USE	STREET ADDRESS
RECREATIONAL BUILDING	8045 HARRIET TUBMAN LANE

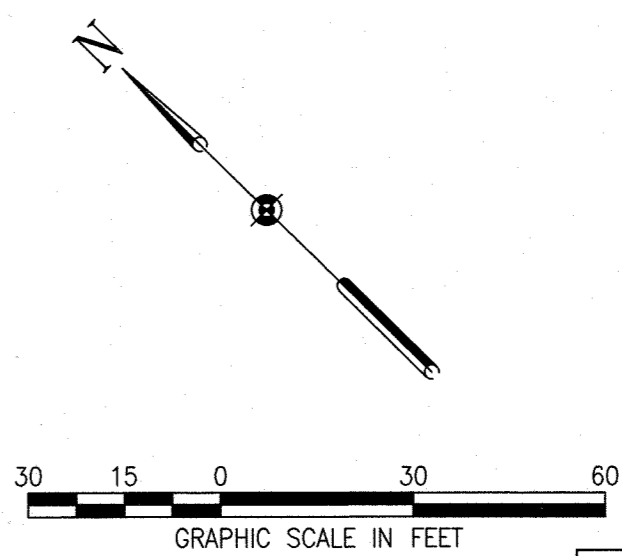
SUBDIVISION NAME	SECTION/AREA	LOT/ PARCEL NO.
ATLANTON HIGH SCHOOL	N/A	2/7029
PLAT# OR L.P.#	GRID#	ZONING
24461-53	0024	R-5C
OWNER/DEVELOPER	TAX MAP#	ELECT DIST.
HOWARD COUNTY RECREATION AND PARKS	0035	5th ED.
CONTACT: MICHAEL KAMINITZ, 410-313-5781		CENSUS TRACT
8045 HARRIET TUBMAN LANE		
COLUMBIA, MD 21044		



- LEGEND**
- EXISTING PROPERTY LINE
 - EXISTING RIGHT-OF-WAY
 - EXISTING EASEMENT
 - EXISTING SETBACK
 - EXISTING BUILDING
 - 400 EXISTING MAJOR CONTOUR
 - 401 EXISTING MINOR CONTOUR
 - EXISTING CURB
 - EXISTING CURB & GUTTER
 - EXISTING ROADWAY
 - EXISTING PAVEMENT
 - EXISTING ASPHALT PAVING
 - EXISTING CONCRETE PAVING
 - EXISTING GRAVEL
 - EXISTING FENCELINE
 - EXISTING BOLLARD
 - EXISTING SIGN
 - EXISTING ELECTRIC HANDBOX
 - EXISTING ELECTRIC MANHOLE
 - OHE EXISTING OVERHEAD ELECTRIC
 - UGE EXISTING UNDERGROUND ELECTRIC
 - COND EXISTING UNDERGROUND CONDUIT
 - UGE EXISTING DUCTBANK
 - EXISTING COMM HANDHOLE
 - COMM EXISTING COMMUNICATION
 - EXISTING CABLE TELEVISION
 - FO EXISTING FIBER OPTIC
 - FA EXISTING FIRE ALARM
 - G EXISTING GAS LINE
 - GV# EXISTING GAS VALVE
 - SS EXISTING SANITARY LINE
 - SSFM EXISTING SANITARY FORCE MAIN
 - EXISTING SANITARY MANHOLE
 - EXISTING SANITARY CLEANOUT
 - EXISTING STEAM LINE
 - EXISTING STORMDRAIN LINE
 - EXISTING STORMDRAIN INLET
 - EXISTING STORMDRAIN MANHOLE
 - EXISTING STORMDRAIN CLEANOUT
 - EXISTING TELEPHONE
 - UGT EXISTING TELEPHONE MANHOLE
 - EXISTING TELEPHONE PEDESTAL
 - EXISTING UTILITY POLE
 - EXISTING LIGHT POLE
 - EXISTING WATER LINE
 - EXISTING WATER METER
 - EXISTING WATER VALVE
 - EXISTING WATER MANHOLE
 - EXISTING FIRE HYDRANT
 - PROPOSED BUILDING
 - MWS PROPOSED BIODEGRADABLE MODULAR WETLANDS SYSTEM (MWS)
 - PROPOSED CONCRETE WALK
 - LOD LIMIT OF DISTURBANCE
 - DF DIVERSION FENCE
 - SSF SUPER SILT FENCE
 - SFP SILT FENCE ON PAVEMENT
 - DRA DRAINAGE AREA DELINEATION
 - SCE STABILIZED CONSTRUCTION ENTRANCE

NOTE: THE CONTRACTOR SHALL DESIGNATE PIECES OF CONSTRUCTION EQUIPMENT THAT SHALL BE ALLOWED WITHIN THE LIMIT OF DISTURBANCE (LOD). THE EQUIPMENT SHALL BE KEPT WITHIN THE LOD UNTIL THE PROPOSED DEMOLITION IS COMPLETE. PRIOR TO EQUIPMENT LEAVING THE LIMIT OF WORK, THE TIRES SHALL BE CLEANED OR WASHED TO REMOVE SEDIMENT. ALL SEDIMENT DROPPED OR TRACKED ONTO THE ROAD MUST BE REMOVED IMMEDIATELY BY VACUUMING, SCRAPING OR SWEEPING. WHEN WASHING WITH WATER IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE THAT DRAINS TO AN APPROVED SEDIMENT CONTROL DEVICE. ALL MATERIAL REMOVAL/LOAD OUT SHALL BE LIFTED FROM THE LOD.

NOTE: THE CONTRACTOR SHALL DESIGNATE PIECES OF CONSTRUCTION EQUIPMENT THAT SHALL BE ALLOWED WITHIN THE LIMIT OF DISTURBANCE (LOD). THE EQUIPMENT SHALL BE KEPT WITHIN THE LOD UNTIL THE PROPOSED DEMOLITION IS COMPLETE. PRIOR TO EQUIPMENT LEAVING THE LIMIT OF WORK, THE TIRES SHALL BE CLEANED OR WASHED TO REMOVE SEDIMENT. ALL SEDIMENT DROPPED OR TRACKED ONTO THE ROAD MUST BE REMOVED IMMEDIATELY BY VACUUMING, SCRAPING OR SWEEPING. WHEN WASHING WITH WATER IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE THAT DRAINS TO AN APPROVED SEDIMENT CONTROL DEVICE. ALL MATERIAL REMOVAL/LOAD OUT SHALL BE LIFTED FROM THE LOD.



APPROVED
DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 7/16/21
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 7/20/21
DIRECTOR

This document plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT
Alexander Batschi 07/20/21
Howard SCD Date

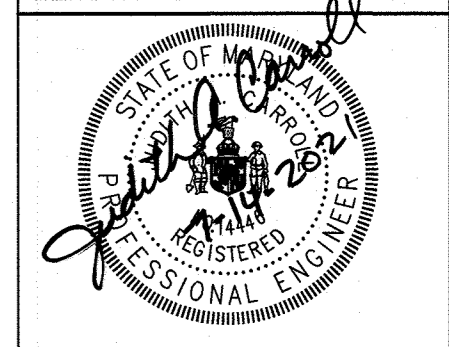
ADDRESS CHART

USE	STREET ADDRESS
RECREATIONAL BUILDING	8045 HARRIET TUBMAN LANE

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO.
ATHOLTON HIGH SCHOOL	N/A	2/2292

OWNER/DEVELOPER
HOWARD COUNTY RECREATION AND PARKS
CONTACT: MICHAEL KAMINETS, 410-313-5781
8045 HARRIET TUBMAN LANE
COLUMBIA, MD 21044

Mark	Date	Description
	04/10/2020	100% SD SUBMISSION
	08/19/2020	100% DD SUBMISSION
	10/16/2020	100% CONSTRUCTION DOCUMENTS
	11/23/2020	BID SET
	2/1/2021	ADDENDUM #2 - SITE MODIFICATIONS
	5/7/2021	REVISION #2 - EX. BLDG., NEW SIGN & SITE IMPROVEMENTS.
	7/1/2021	



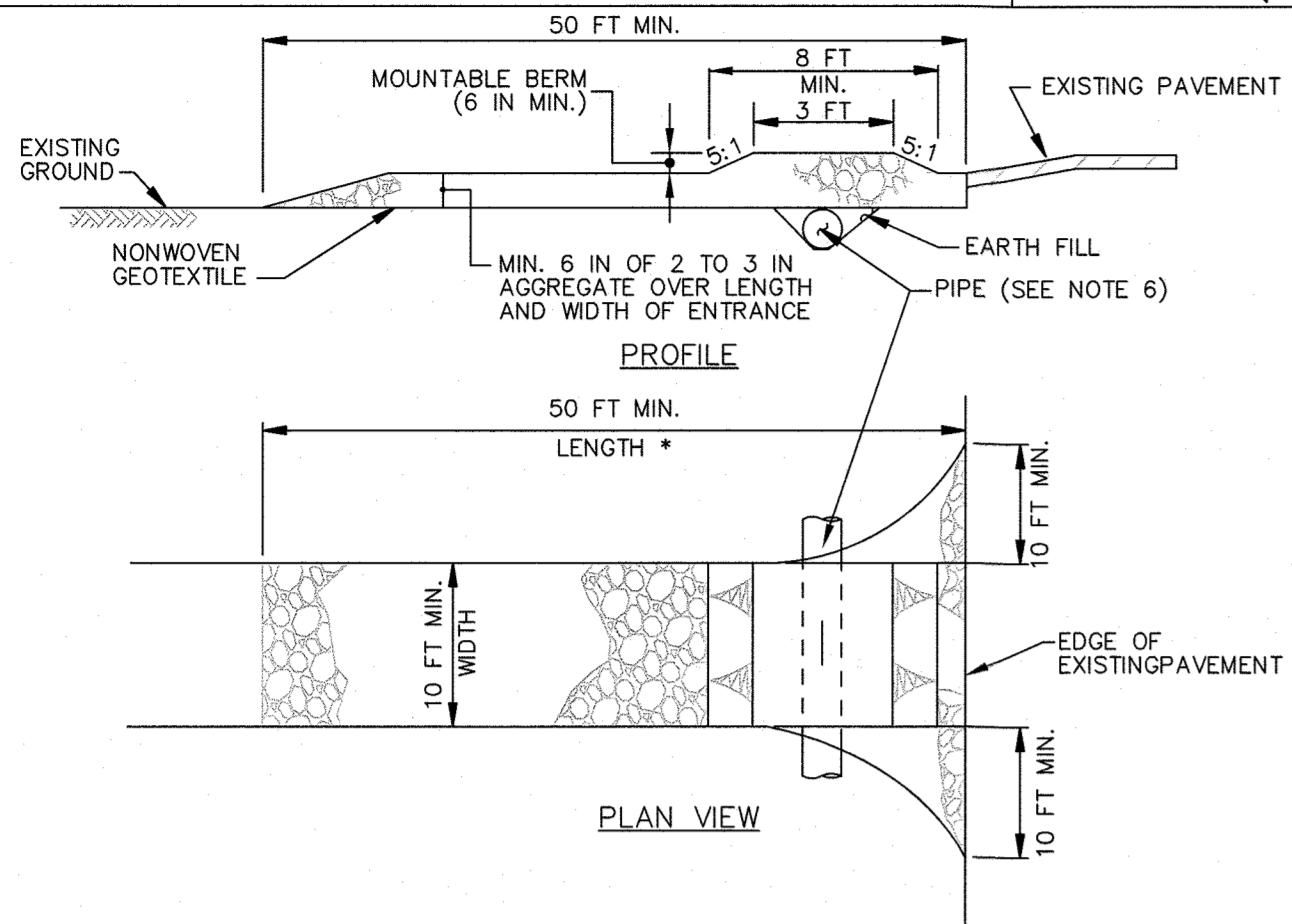
PROJECT NO: 18104A5
DRAWN BY: DWM
CHECKED BY: GWT
SHEET NAME: EROSION & SEDIMENT CONTROL PLAN (ADDITIONAL SHEET)
C12
SDP-89-028

AUDITORIUM RENOVATIONS
HARRIET TUBMAN BUILDING
8045 HARRIET TUBMAN LANE, COLUMBIA MARYLAND

Murphy & Dittman
ARCHITECTS
228 West Market Street, York, Pennsylvania 17401
410-625-4833 voice 410-625-4874 fax

DETAIL B-1 STABILIZED CONSTRUCTION ENTRANCE

STANDARD SYMBOL
SCE



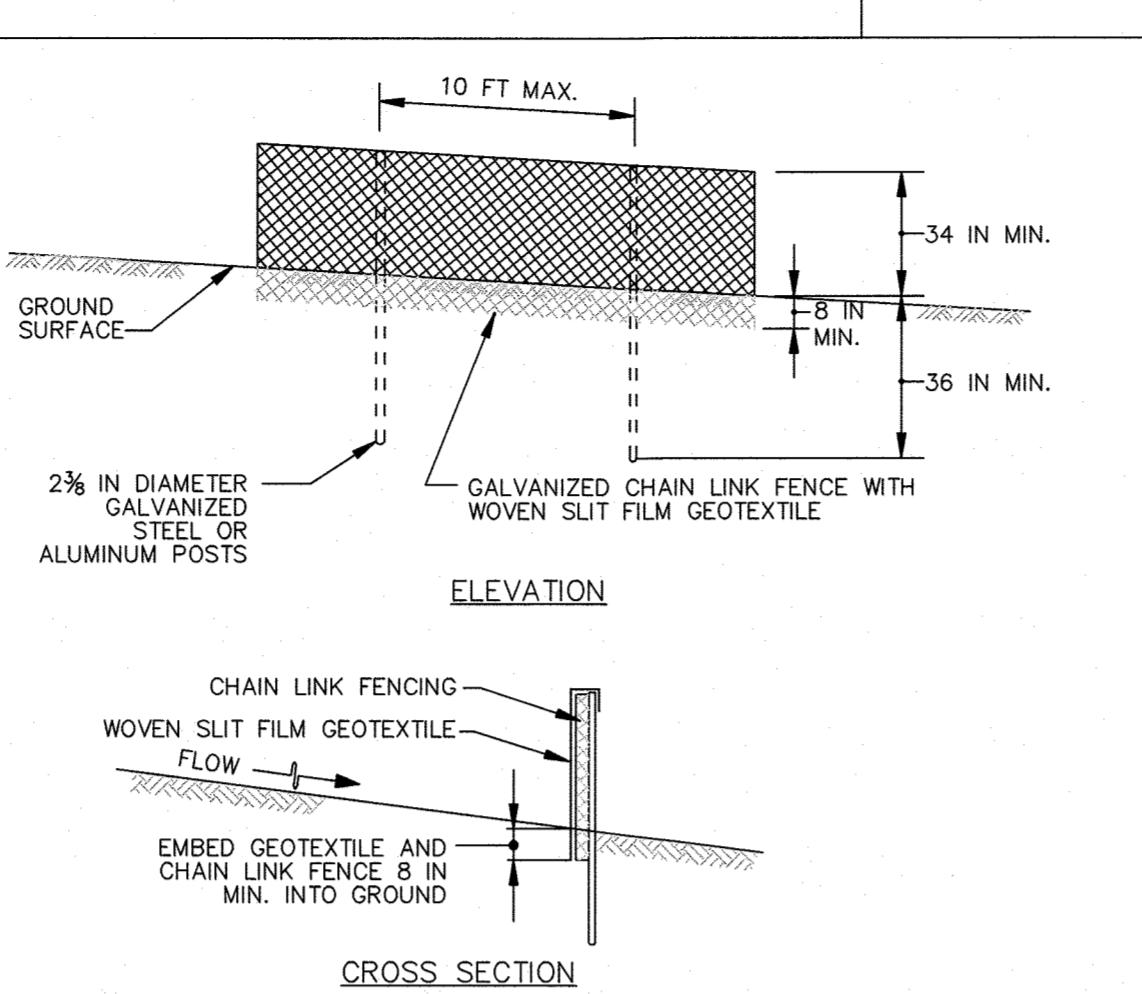
CONSTRUCTION SPECIFICATIONS

- PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (*50 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE. MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT.
- PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
- PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE.
- MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL		
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL E-3 SUPER SILT FENCE

STANDARD SYMBOL
SSF



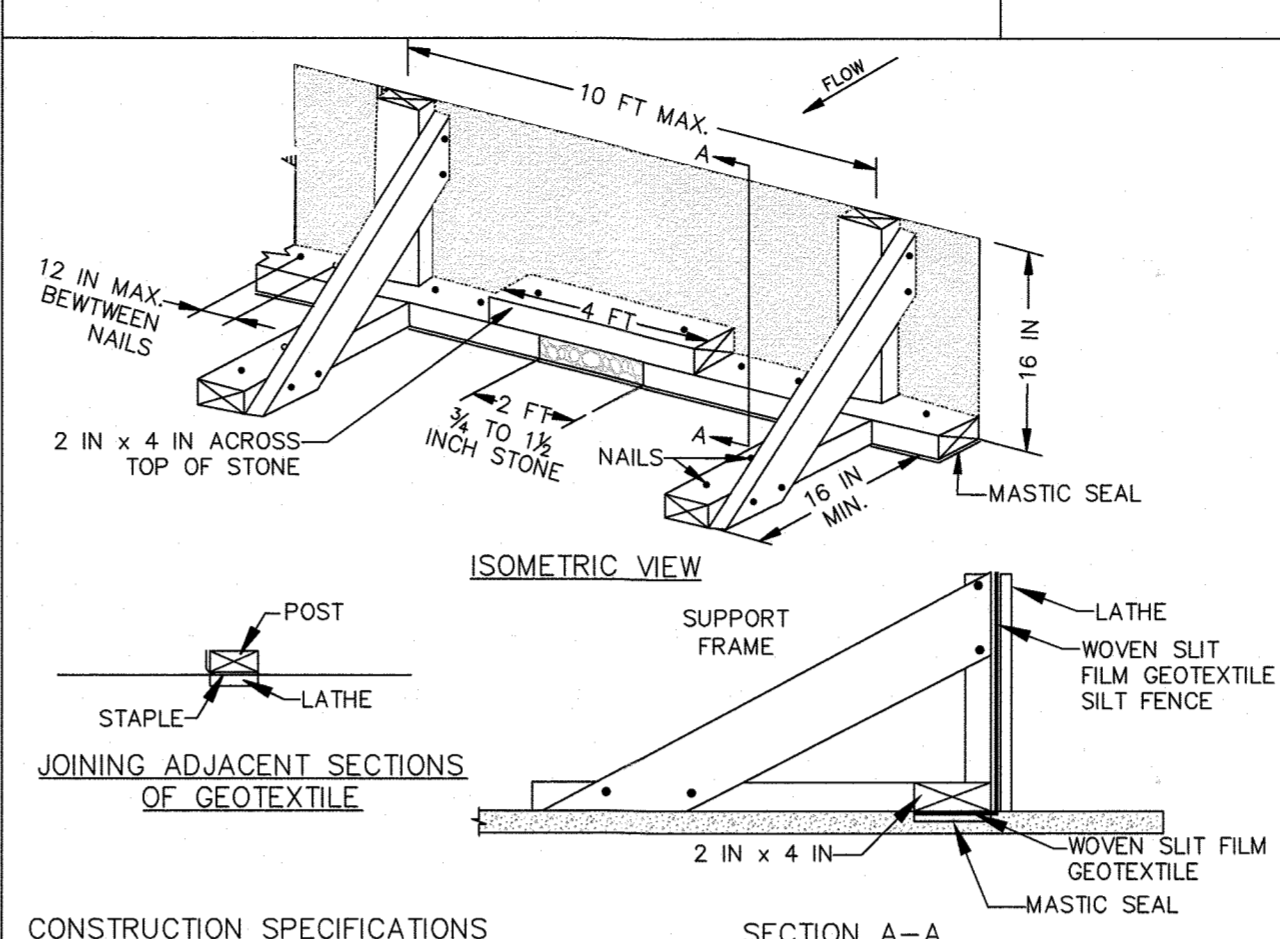
CONSTRUCTION SPECIFICATIONS

- INSTALL 2 1/2 INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND.
- FASTEN 9 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2 1/2 INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR HUG RINGS.
- FASTEN WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURELY TO THE UPSLOPE SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 8 INCHES INTO THE GROUND.
- WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDIMENT BY PASS.
- EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE.
- PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
- REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL		
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL E-2 SILT FENCE ON PAVEMENT

STANDARD SYMBOL
SFOP



CONSTRUCTION SPECIFICATIONS

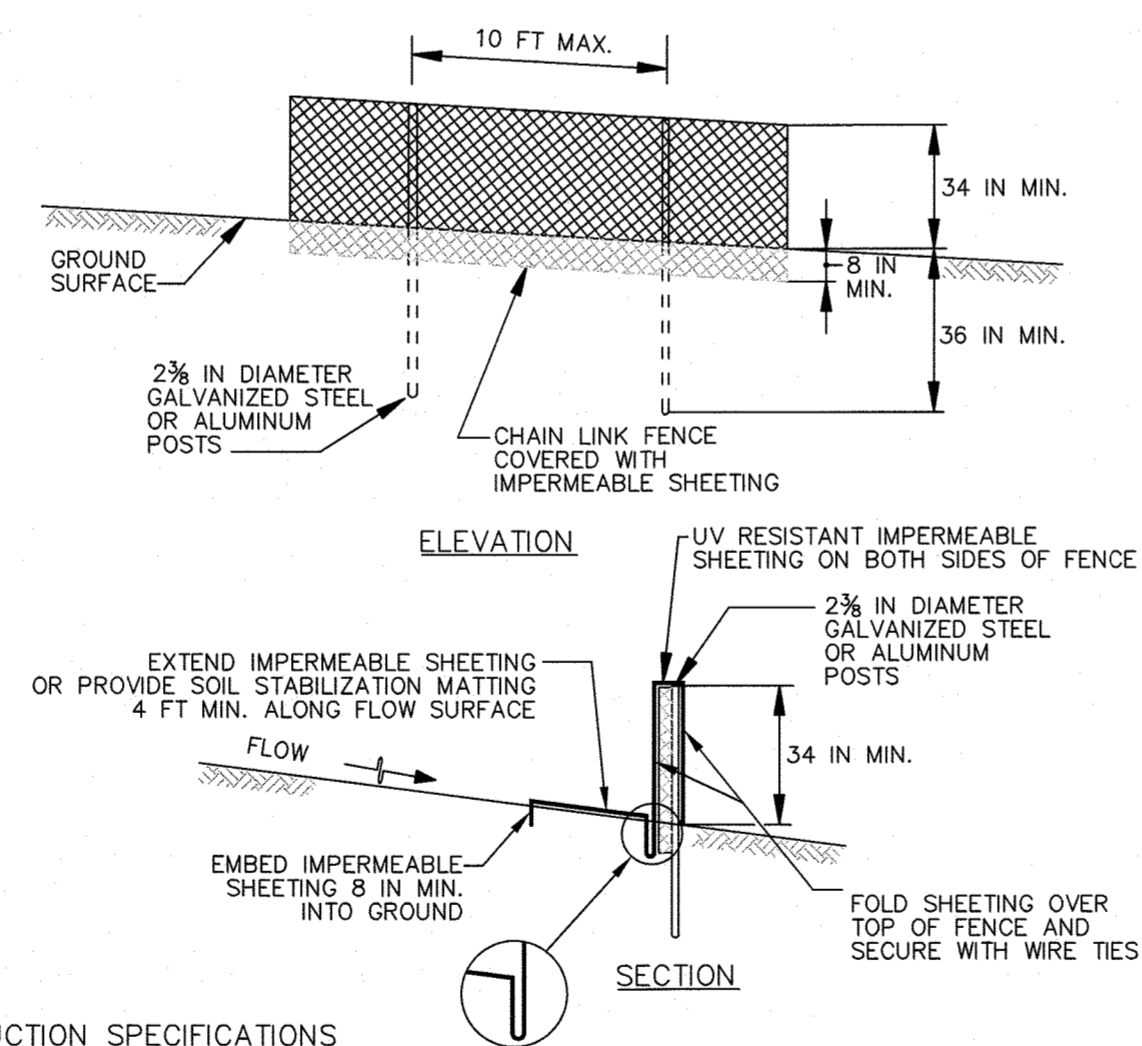
- USE NOMINAL 2 INCH X 4 INCH LUMBER.
- USE WOVEN SLIT FILM GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
- PROVIDE MANUFACTURER CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT THE GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
- SPACE UPRIGHT SUPPORTS NO MORE THAN 10 FEET APART.
- PROVIDE A TWO FOOT OPENING BETWEEN EVERY SET OF SUPPORTS AND PLACE STONE IN THE OPENING OVER GEOTEXTILE.
- KEEP SILT FENCE TAUT AND SECURELY STAPLE TO THE UPSLOPE SIDE OF UPRIGHT SUPPORTS. EXTEND GEOTEXTILE UNDER 2x4.
- WHERE TWO SECTIONS OF GEOTEXTILE ADJOIN: OVERLAP, FOLD, AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL. ATTACH LATHE.
- PROVIDE A MASTIC SEAL BETWEEN PAVEMENT, GEOTEXTILE, AND 2x4 TO PREVENT SEDIMENT-LADEN WATER FROM ESCAPING BENEATH SILT FENCE INSTALLATION.
- SECURE BOARDS TO PAVEMENT WITH 400 5 INCH MINIMUM LENGTH NAILS.
- REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN SILT FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. MAINTAIN WATER TIGHT SEAL ALONG BOTTOM. REPLACE STONE IF DISPLACED.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL		
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL C-9 DIVERSION FENCE

STANDARD SYMBOL
DF

MAXIMUM DRAINAGE AREA = 2 ACRES



CONSTRUCTION SPECIFICATIONS

- USE 42 INCH HIGH, 9 GAUGE OR THICKER CHAIN LINK FENCING (2 1/2 INCH MAXIMUM OPENING).
- USE 2 1/2 INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. THE POSTS DO NOT NEED TO BE SET IN CONCRETE.
- FASTEN CHAIN LINK FENCE SECURELY TO THE FENCE POSTS WITH WIRE TIES.
- SECURE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING TO CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT TOP, MID SECTION, AND BELOW GROUND SURFACE.
- EXTEND SHEETING A MINIMUM OF 4 FEET ALONG FLOW SURFACE AND EMBED END A MINIMUM OF 8 INCHES INTO GROUND. SOIL STABILIZATION MATTING MAY BE USED IN LIEU OF IMPERMEABLE SHEETING ALONG FLOW SURFACE.
- WHEN TWO SECTIONS OF SHEETING ADJOIN EACH OTHER, OVERLAP BY 6 INCHES AND FOLD WITH SEAM FACING DOWNGRADE.
- KEEP FLOW SURFACE ALONG DIVERSION FENCE AND POINT OF DISCHARGE FREE OF EROSION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. MAINTAIN POSITIVE DRAINAGE. REPLACE IMPERMEABLE SHEETING IF TORN. IF UNDERMINING OCCURS, REINSTALL FENCE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL		
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

APPROVED
DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 7/19/21
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 7/20/21
DIRECTOR

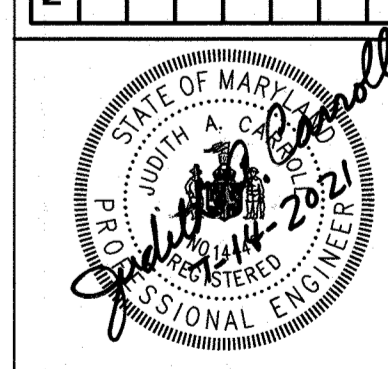
This document plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT
Alexander Brotschi
Howard SCD
DATE: 07/20/21

ADDRESS CHART	
USE	STREET ADDRESS
RECREATIONAL BUILDING	8045 HARRIET TUBMAN LANE
SUBDIVISION NAME: ATHOLTON HIGH SCHOOL	
SECTION/AREA: N/A	LOT/PARCEL NO.: 27022
PLAY OR L/F: 24451-53	GRID: 0024
ZONING: R-SC	ELECT: 0035
MAX: 5th E.D.	DATE: -
OWNER/DEVELOPER: HOWARD COUNTY RECREATION AND PARKS	
CONTACT: MICHAEL KAMINETZ, 410-313-5781	
8045 HARRIET TUBMAN LANE, COLUMBIA, MD 21044	

AUDITORIUM RENOVATIONS
HARRIET TUBMAN BUILDING
8045 HARRIET TUBMAN LANE, COLUMBIA MARYLAND

Murphy & Dittenhafer
ARCHITECTS
228 West Market Street, York, Pennsylvania 17401
410-625-8621 voice 410-625-4674 fax
895 North Charles Street, Baltimore, Maryland 21201
410-625-8623 voice 410-625-4674 fax

Mark	Date	Description
	04/10/2020	100% SD SUBMISSION
	06/19/2020	100% DD SUBMISSION
	10/16/2020	100% CONSTRUCTION DOCUMENTS
	11/23/2020	BID SET
	2/1/2021	ADDENDUM #2
	5/7/2021	REVISION #2 - SITE MODIFICATIONS
	7/1/2021	REVISION #3 - SITE MODIFICATIONS



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE No.: 14446 EXP. DATE: 5/25/23
PROJECT NO.: 18104A5
DRAWN BY: DWM
CHECKED BY: GWT
SHEET NAME: EROSION & SEDIMENT CONTROL DETAILS (ADDITIONAL SHEET)
SHEET NO.: C13

B-3 STANDARDS AND SPECIFICATIONS FOR LAND GRADING

Definition

Reshaping the existing land surface to provide suitable topography for building facilities and other site improvements.

Purpose

To provide erosion control and vegetative establishment for extreme changes in grade.

Conditions Where Practice Applies

Earth disturbances or extreme grade modifications on steep or long slopes.

Design Criteria

The grading plan should be based on the incorporation of building designs and street layouts that fit and utilize existing topography and desirable natural surroundings to avoid extreme grade modifications.

Many jurisdictions have regulations and design procedures already established for land grading that must be followed.

- 1. Provisions to safely convey surface runoff to storm drains, protected outlets or stable water courses to ensure that surface runoff will not damage slopes or other graded areas.
2. Cut and fill slopes, stabilized with grasses, no steeper than 2:1.
3. Benching per Detail B-3-1 whenever the vertical interval (height) of any 2:1 slope exceeds 20 feet...

Maintenance

The line, grade, and cross section of benching and serrated slopes must be maintained. Benches and serrated slopes must continuously meet the requirements for Adequate Vegetative Establishment in accordance with Section B-4 Vegetative Stabilization.

B-4 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

Definition

Using vegetation as cover to protect exposed soil from erosion.

Purpose

To promote the establishment of vegetation on exposed soil.

Conditions Where Practice Applies

On all disturbed areas not stabilized by other methods. This specification is divided into sections on incremental stabilization; soil preparation, soil amendments and topsoiling; seeding and mulching; temporary stabilization; and permanent stabilization.

Effects on Water Quality and Quantity

Stabilization practices are used to promote the establishment of vegetation on exposed soil. When soil is stabilized with vegetation, the soil is less likely to erode and more likely to allow infiltration of rainfall, thereby reducing sediment loads and runoff to downstream areas.

Planting vegetation in disturbed areas will have an effect on the water budget, especially on volumes and rates of runoff, infiltration, evaporation, transpiration, percolation, and groundwater recharge.

Vegetation will help reduce the movement of sediment, nutrients, and other chemicals carried by runoff to receiving waters. Plants will also help protect groundwater supplies by assimilating those substances present within the root zone.

Sediment control practices must remain in place during grading, seedbed preparation, seeding, mulching, and vegetative establishment.

Adequate Vegetative Establishment

Inspect seeded areas for vegetative establishment and make necessary repairs, replacements, and reseedings within the planting season.

- 1. Adequate vegetative stabilization requires 95 percent groundcover.
2. If an area has less than 40 percent groundcover, restabilize following the original recommendations for lime, fertilizer, seedbed preparation, and seeding.
3. If an area has between 40 and 94 percent groundcover, over-seed and fertilize using half of the rates originally specified.
4. Maintenance fertilizer rates for permanent seeding are shown in Table B.6.

B-4-1 STANDARDS AND SPECIFICATIONS FOR INCREMENTAL STABILIZATION

Definition

Establishment of vegetative cover on cut and fill slopes.

Purpose

To provide timely vegetative cover on cut and fill slopes as work progresses.

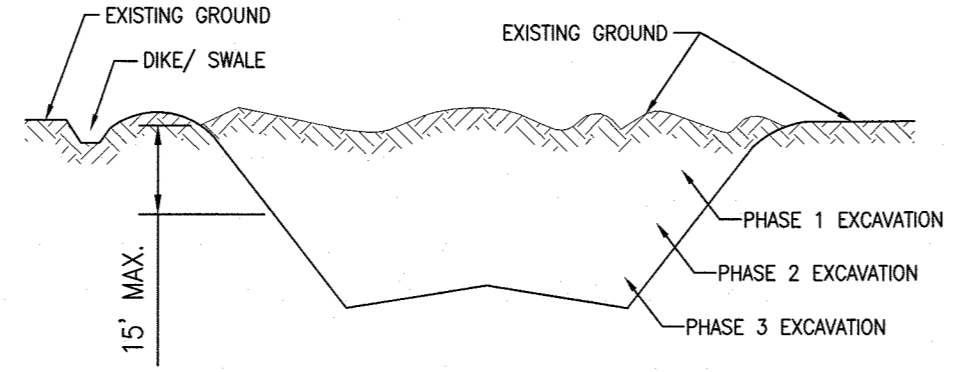
Conditions Where Practice Applies

Any cut or fill slope greater than 15 feet in height. This practice also applies to stockpiles.

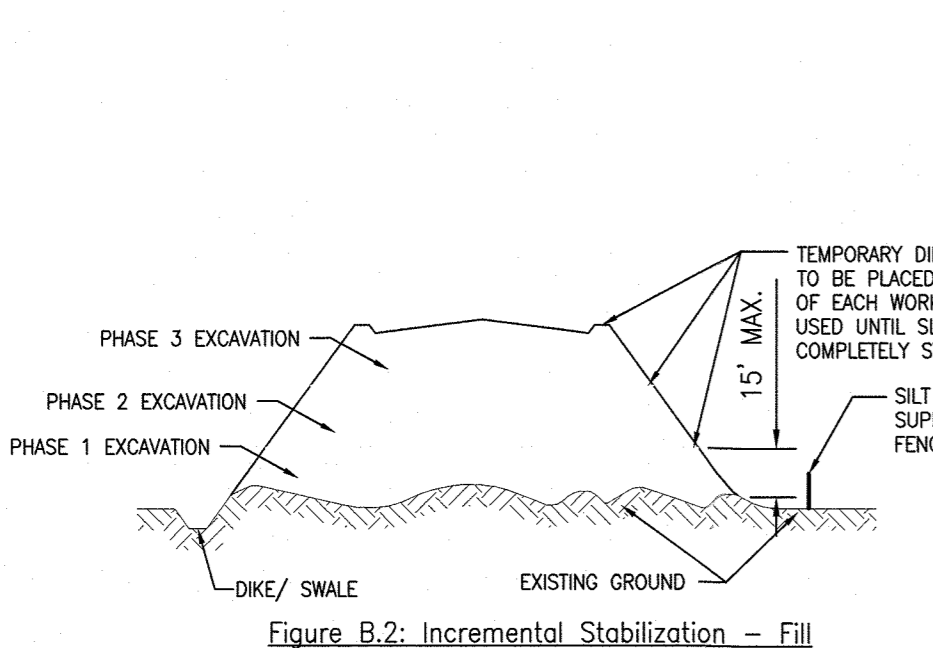
Criteria

- A. Incremental Stabilization - Cut Slopes
1. Excavate and stabilize cut slopes in increments not to exceed 15 feet in height. Prepare seedbed and apply seed and mulch on all cut slopes as the work progresses.
2. Construction sequence example (Refer to Figure B.1):
a. Construct and stabilize all temporary swales or dikes that will be used to convey runoff around the excavation.
b. Perform Phase 1 excavation, prepare seedbed, and stabilize.
c. Perform Phase 2 excavation, prepare seedbed, and stabilize. Overseed Phase 1 areas as necessary.
d. Perform final phase excavation, prepare seedbed, and stabilize. Overseed previously seeded areas as necessary.

Note: Once excavation has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch.



- B. Incremental Stabilization - Fill Slopes
1. Construct and stabilize fill slopes in increments not to exceed 15 feet in height. Prepare seedbed and apply seed and mulch on all slopes as the work progresses.
2. Stabilize slopes immediately when the vertical height of a lift reaches 15 feet, or when the grading operation ceases as prescribed in the plans.
3. At the end of each day, install temporary water conveyance practice(s), as necessary, to intercept surface runoff and convey it down the slope in a non-erosive manner.
4. Construction sequence example (Refer to Figure B.2):
a. Construct and stabilize all temporary swales or dikes that will be used to divert runoff around the fill. Construct silt fence on low side of fill unless other methods shown on the plans address this area.
b. At the end of each day, install temporary water conveyance practice(s), as necessary, to intercept surface runoff and convey it down the slope in a non-erosive manner.
c. Place Phase 1 fill, prepare seedbed, and stabilize.
d. Place Phase 2 fill, prepare seedbed, and stabilize.
e. Place final phase fill, prepare seedbed, and stabilize. Overseed previously seeded areas as necessary.



Note: Once the placement of fill has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions in the operation or completing the operation out of the seeding season will necessitate the application of temporary stabilization.

B-4-2 STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

Definition

The process of preparing the soils to sustain adequate vegetative stabilization.

Purpose

To provide a suitable soil medium for vegetative growth.

Conditions Where Practice Applies

Where vegetative stabilization is to be established.

Criteria

- A. Soil Preparation
1. Temporary Stabilization
a. Seedbed preparation consists of loosening soil to a depth of 3 to 5 inches by means of suitable agricultural or construction equipment...
2. Permanent Stabilization
a. A soil test is required for any earth disturbance of 5 acres or more. The minimum soil conditions required for permanent vegetative establishment are:
i. Soil pH between 6.0 and 7.0.
ii. Soluble salts less than 500 parts per million (ppm).
iii. Soil contains less than 40 percent clay but enough fine grained material (greater than 30 percent silt plus clay) to provide the capacity to hold a moderate amount of moisture...
b. Application of amendments or topsoil is required if on-site soils do not meet the above conditions.
c. Graded areas must be maintained in a true and even grade as specified on the approved plan, then scarified or otherwise loosened to a depth of 3 to 5 inches.
d. Apply soil amendments as specified on the approved plan or as indicated by the results of a soil test.
e. Mix soil amendments into the top 3 to 5 inches of soil by disking or other suitable means.

- B. Topsoiling
1. Topsoil is placed over prepared subsoil prior to establishment of permanent vegetation. The purpose is to provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.
2. Topsoil salvaged from an existing site may be used provided it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-NRCS.
3. Topsoiling is limited to areas having 2:1 or flatter slopes where:
a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
c. The original soil to be vegetated contains material toxic to plant growth.
d. The soil is so acidic that treatment with limestone is not feasible.
4. Areas having slopes steeper than 2:1 require special consideration and design.
5. Topsoil Specifications: Soil to be used as topsoil must meet the following criteria:
a. Topsoil must be a loam, sandy loam, clay loam, silt loam, silty loam, or loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Topsoil must not be a mixture of contrasting textured subsoils and must contain less than 5 percent by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 1/2 inches in diameter.
b. Topsoil must be free of noxious plants or plant parts such as Bermuda grass, quack grass, Johnson grass, nut sedge, poison ivy, thistle, or others as specified.
c. Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.

- 6. Topsoil Application
a. Erosion and sediment control practices must be maintained when applying topsoil.
b. Uniformly distribute topsoil in a 5 to 8 inch layer and lightly compact to a minimum thickness of 4 inches. Spreading is to be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations must be corrected in order to prevent the formation of depressions or water pockets.
c. Topsoil must not be placed if the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

- C. Soil Amendments (Fertilizer and Lime Specifications)
1. Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas of 5 acres or more. Soil analysis may be performed by a recognized private or commercial laboratory. Soil samples taken for engineering purposes may also be used for chemical analyses.
2. Fertilizers must be uniform in composition, free flowing and suitable for accurate application by appropriate equipment. Manure may be substituted for fertilizer with prior approval from the appropriate approval authority. Fertilizers must all be delivered to the site fully labeled according to the applicable laws and must bear the name, trade name or trademark and warranty of the producer.
3. Lime materials must be ground limestone (hydrated or burnt lime may be substituted except when hydrosedding) which contains at least 50 percent total oxides (calcium oxide plus magnesium oxide). Limestone must be ground to such fineness that at least 50 percent will pass through a #100 mesh sieve and 98 to 100 percent will pass through a #20 mesh sieve.
4. Lime and fertilizer are to be evenly distributed and incorporated into the top 3 to 5 inches of soil by disking or other suitable means.
5. Where the subsoil is either highly acidic or composed of heavy clays, spread ground limestone at the rate of 4 to 8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil.

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

Definition

The application of seed and mulch to establish vegetative cover.

Purpose

To protect disturbed soils from erosion during and at the end of construction.

Conditions Where Practice Applies

To the surface of all perimeter controls, slopes, and any disturbed area not under active grading.

Criteria

- A. Seeding
1. Specifications
a. All seed must meet the requirements of the Maryland State Seed Law. All seed must be subject to re-testing by a recognized seed laboratory. All seed used must have been tested within the 6 months immediately preceding the date of sowing such material on any project. Refer to Table B.4 regarding the quality of seed. Seed tags must be available upon request to the inspector to verify type of seed and seeding rate.
b. Mulch alone may be applied between the fall and spring seeding dates only if the ground is frozen. The appropriate seeding mixture must be applied when the ground thaws.
c. Inoculants: The inoculant for treating legume seed in the seed mixtures must be a pure culture of nitrogen fixing bacteria prepared specifically for the species. Inoculants must not be used later than the date indicated on the container. Add fresh inoculants as directed on the package. Use four times the recommended rate when hydrosedding. Note: It is very important to keep inoculant as cool as possible until used. Temperatures above 75 to 80 degrees Fahrenheit can weaken bacteria and make the inoculant less effective.
d. Sod or seed must not be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.

- 2. Application
a. Dry Seeding: This includes use of conventional drop or broadcast spreaders.
i. Incorporate seed into the subsoil at the rates prescribed on Temporary Seeding Table B.1, Permanent Seeding Table B.3, or site-specific seeding summaries.
ii. Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction. Roll the seeded area with a weighted roller to provide good seed to soil contact.
b. Drill or Cultipacker Seeding: Mechanized seeders that apply and cover seed with soil.
i. Cultipacker seeders are required to bury the seed in such a fashion as to provide at least 1/4 inch of soil covering. Seedbed must be firm after planting.
ii. Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction.
c. Hydrosedding: Apply seed uniformly with hydroseder (slurry includes seed and fertilizer).

- i. If fertilizer is being applied at the time of seeding, the application rates should not exceed the following: nitrogen, 100 pounds per acre total of soluble nitrogen; P205 (phosphorous), 200 pounds per acre; K20 (potassium), 200 pounds per acre.
ii. Lime: Use only ground agricultural limestone (up to 3 tons per acre may be applied by hydrosedding). Normally, not more than 2 tons are applied by hydrosedding at any one time. Do not use burnt or hydrated lime when hydrosedding.
iii. Mix seed and fertilizer on site and seed immediately and without interruption.
iv. When hydrosedding do not incorporate seed into the soil.
B. Mulching
1. Mulch Materials (in order of preference)
a. Straw consisting of thoroughly threshed wheat, rye, oat, or barley and reasonably bright in color. Straw is to be free of noxious weed seeds as specified in the Maryland Seed Law and not musty, moldy, caked, decayed, or excessively dusty. Note: Use only sterile straw mulch in areas where one species of grass is desired.
b. Wood Cellulose Fiber Mulch (WCFM) consisting of specially prepared wood cellulose processed into a uniform fibrous physical state.
i. WCFM is to be dyed green or contain a green dye in the package that will provide an appropriate color to facilitate visual inspection of the uniformly spread slurry.
ii. WCFM, including dye, must contain no germination or growth inhibiting factors.
iii. WCFM materials are to be manufactured and processed in such a manner that the wood cellulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form a homogeneous slurry. The mulch material must form a blotter-like ground cover, on application, having moisture absorption and percolation properties and must cover and hold grass seed in contact with the soil without inhibiting the growth of the grass seedlings.
iv. WCFM material must not contain elements or compounds at concentration levels that will be phytotoxic.
v. WCFM must conform to the following physical requirements: fiber length of approximately 10 millimeters, diameter approximately 1 millimeter, pH range of 4.0 to 8.5, ash content of 1.6 percent maximum and water holding capacity of 90 percent minimum.

- 2. Application
a. Apply mulch to all seeded areas immediately after seeding.
b. When straw mulch is used, spread it over all seeded areas at the rate of 2 tons per acre to a uniform loose depth of 1 to 2 inches. Apply mulch to achieve a uniform distribution and depth so that the soil surface is not exposed. When using a mulch anchoring tool, increase the application rate to 2.5 tons per acre.
c. Wood cellulose fiber used as mulch must be applied at a net dry weight of 1500 pounds per acre. Mix the wood cellulose fiber with water to attain a mixture with a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.

- 3. Anchoring
a. Perform mulch anchoring immediately following application of mulch to minimize loss by wind or water. This may be done by one of the following methods (listed by preference), depending upon the size of the area and erosion hazard:
i. A mulch anchoring tool is a tractor drawn implement designed to punch and anchor mulch into the soil surface a minimum of 2 inches. This practice is most effective on large areas, but is limited to flatter slopes where equipment can operate safely. If used on sloping land, this practice should follow the contour.
ii. Wood cellulose fiber may be used for anchoring straw. Apply the fiber binder at a net dry weight of 750 pounds per acre. Mix the wood cellulose fiber with water at a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.
iii. Synthetic binders such as Acrylic DLR (Agra-Tack), DCA-70, Petrosel, Terra Tack II, Terra Tack AR or other approved equal may be used. Follow application rates as specified by the manufacturer. Application of liquid binders needs to be heavier at the edges where wind catches mulch, such as in valleys and on crests of banks. Use of asphalt binders is strictly prohibited.

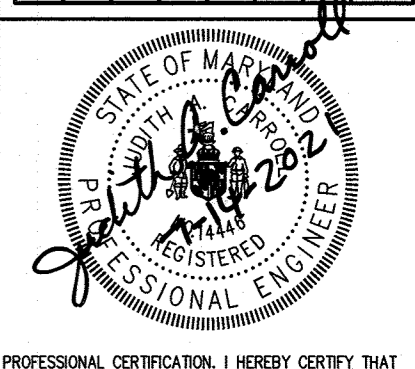
- iv. Lightweight plastic netting may be stapled over the mulch according to manufacturer recommendations. Netting is usually available in rolls 4 to 15 feet wide and 300 to 3,000 feet long.

APPROVED DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION 7/19/21
CHIEF, DIVISION OF LAND DEVELOPMENT 7/20/21
Director 7/20/21

This document plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT
Howard Soil Conservation District 07/20/21

ADDRESS CHART
USE: RECREATIONAL BUILDING
STREET ADDRESS: 8045 HARRIET TUBMAN LANE
SUBDIVISION NAME: ABOLTON HIGH SCHOOL
SECTION/AREA: N/A
LOT/PARCEL NO.: 2/002E
OWNER/DEVELOPER: HOWARD COUNTY RECREATION AND PARKS

Table with columns: Mark, Date, Description. Contains schedule of submissions from 04/10/2020 to 7/17/2021.



EROSION & SEDIMENT CONTROL NOTES (ADDITIONAL SHEET)
C14
SDP-89-028

AUDITORIUM RENOVATIONS
HARRIET TUBMAN BUILDING
8045 HARRIET TUBMAN LANE, COLUMBIA MARYLAND

Murphy & Dittenhafer
ARCHITECTS
228 West Market Street, York, Pennsylvania 17401
410.455.4323

B-4-4 STANDARDS AND SPECIFICATIONS

**FOR
TEMPORARY STABILIZATION**

Definition

To stabilize disturbed soils with vegetation for up to 6 months.

Purpose

To use fast growing vegetation that provides cover on disturbed soils.

Conditions Where Practice Applies

Exposed soils where ground cover is needed for a period of 6 months or less. For longer duration of time, permanent stabilization practices are required.

Criteria

- Select one or more of the species or seed mixtures listed in Table B.1 for the appropriate Plant Hardiness Zone (from Figure B.3), and enter them in the Temporary Seeding Summary below along with application rates, seeding dates and seeding depths. If this Summary is not put on the plan and completed, then Table B.1 plus fertilizer and lime rates must be put on the plan.
- For sites having soil tests performed, use and show the recommended rates by the testing agency. Soil tests are not required for Temporary Seeding.
- When stabilization is required outside of a seeding season, apply seed and mulch or straw mulch alone as prescribed in Section B-4-3.A.1.b and maintain until the next seeding season.

Temporary Seeding Summary

Hardiness Zone (from Figure B.3): Za Seed Mixture (from Table B.1): #2					Fertilizer Rate (10-20-20)	Lime Rate
No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depth		
	Annual Ryegrass	40	Feb 15 to Apr 30; Aug 15 to Nov 30	0.5	436 lb/ac (10 lb/1000sf)	2 tons/ac (90 lb/1000sf)
	Barley	96	Feb 15 to Apr 30; Aug 15 to Nov 30	1.0		
	Foxtail Millet	30	May 1 to Aug 14	0.5		

B-4-5 STANDARDS AND SPECIFICATIONS

**FOR
PERMANENT STABILIZATION**

Definition

To stabilize disturbed soils with permanent vegetation.

Purpose

To use long-lived perennial grasses and legumes to establish permanent ground cover on disturbed soils.

Conditions Where Practice Applies

Exposed soils where ground cover is needed for 6 months or more.

Criteria

- Seed Mixtures
 - General Use
 - Select one or more of the species or mixtures listed in Table B.3 for the appropriate Plant Hardiness Zone (from Figure B.3) and based on the site condition or purpose found on Table B.2. Enter selected mixture(s), application rates, and seeding dates in the Permanent Seeding Summary. The Summary is to be placed on the plan.
 - Additional planting specifications for exceptional sites such as shorelines, stream banks, or dunes or for special purposes such as wildlife or aesthetic treatment may be found in USDA-NRCS Technical Field Office Guide, Section 342 - Critical Area Planting.
 - For sites having disturbed area over 5 acres, use and show the rates recommended by the soil testing agency.
 - For areas receiving low maintenance, apply urea form fertilizer (46-0-0) at 3 1/2 pounds per 1000 square feet (150 pounds per acre) at the time of seeding in addition to the soil amendments shown in the Permanent Seeding Summary.
 - Turfgrass Mixtures
 - Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites which will receive a medium to high level of maintenance.
 - Select one or more of the species or mixtures listed below based on the site conditions or purpose. Enter selected mixture(s), application rates, and seeding dates in the Permanent Seeding Summary. The summary is to be placed on the plan.
 - Kentucky Bluegrass: Full Sun Mixture: For use in areas that receive intensive management. Irrigation required in the areas of central Maryland and Eastern Shore. Recommended Certified Kentucky Bluegrass Cultivars Seeding Rate: 1.5 to 2.0 pounds per 1000 square feet. Choose a minimum of three Kentucky bluegrass cultivars with each ranging from 10 to 35 percent of the total mixture by weight.
 - Kentucky Bluegrass/Perennial Rye: Full Sun Mixture: For use in full sun areas where rapid establishment is necessary and when turf will receive medium to intensive management. Certified Perennial Ryegrass Cultivars/Certified Kentucky Bluegrass Seeding Rate: 2 pounds mixture per 1000 square feet. Choose a minimum of three Kentucky bluegrass cultivars with each ranging from 10 to 35 percent of the total mixture by weight.
 - Tall Fescue/Kentucky Bluegrass: Full Sun Mixture: For use in drought prone areas and/or for areas receiving low to medium management in full sun to medium shade. Recommended mixture includes: Certified Tall Fescue Cultivars 95 to 100 percent, Certified Kentucky Bluegrass Cultivars 0 to 5 percent. Seeding Rate: 5 to 8 pounds per 1000 square feet. One or more cultivars may be blended.

iv. Kentucky Bluegrass/Fine Fescue: Shade Mixture: For use in areas with shade in Bluegrass lawns. For establishment in high quality, intensively managed turf area. Mixture includes: Certified Kentucky Bluegrass Cultivars 30 to 40 percent and Certified Fine Fescue and 60 to 70 percent. Seeding Rate: 1 1/2 to 3 pounds per 1000 square feet.

Notes:

Select turfgrass varieties from those listed in the most current University of Maryland Publication, Agronomy Memo #77, "Turfgrass Cultivar Recommendations for Maryland"

Choose certified material. Certified material is the best guarantee of cultivar purity. The certification program of the Maryland Department of Agriculture, Turf and Seed Section, provides a reliable means of consumer protection and assures a pure genetic line

- Ideal Times of Seeding for Turf Grass Mixtures
 - Western MD: March 1 to June 1, August 1 to October 1 (Hardiness Zone: 5b, 6a)
 - Central MD: March 1 to May 15, August 15 to October 15 (Hardiness Zone: 6b)
 - Southern MD, Eastern Shore: March 1 to May 15, August 15 to October 15 (Hardiness Zone: 7a, 7b)

d. Till areas to receive seed by disking or other approved methods to a depth of 2 to 4 inches, level and rake the areas to prepare a proper seedbed. Remove stones and debris over 1 1/2 inches in diameter. The resulting seedbed must be in such condition that future mowing of grasses will pose no difficulty.

e. If soil moisture is deficient, supply new seedlings with adequate water for plant growth (1/2 to 1 inch every 3 to 4 days depending on soil texture) until they are firmly established. This is especially true when seedings are made late in the planting season, in abnormally dry or hot seasons, or on adverse sites.

Permanent Seeding Summary

Hardiness Zone (from Figure B.3): Za Seed Mixture (from Table B.3): #2					Fertilizer Rate (10-20-20)			Lime Rate
No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depth	N	P ₂ O ₅	K ₂ O	
	Tall Fescue	60	Feb 15 to Apr 30; Aug 15 to Oct 31; Nov 1 to Nov 30	1/4-1/2 inch				
	Kentucky Bluegrass	40	Feb 15 to Apr 30; Aug 15 to Oct 31; Nov 1 to Nov 30	1/4-1/2 inch	45 lb/ac (1.0 lb/1000sf)	90 lb/ac (2.0 lb/1000sf)	90 lb/ac (2.0 lb/1000sf)	2 tons/ac (90 lb/1000sf)
	Perennial Ryegrass	20	Feb 15 to Apr 30; Aug 15 to Oct 31; Nov 1 to Nov 30	1/4-1/2 inch				

- Sod: To provide quick cover on disturbed areas (2:1 grade or flatter).
 - General Specifications
 - Class of turfgrass sod must be Maryland State Certified. Sod labels must be made available to the job foreman and inspector.
 - Sod must be machine cut at a uniform soil thickness of 3/4 inch, plus or minus 1/8 inch, at the time of cutting. Measurement for thickness must exclude top growth and thatch. Broken pads and torn or uneven ends will not be acceptable.
 - Standard size sections of sod must be strong enough to support their own weight and retain their size and shape when suspended vertically with a firm grasp on the upper 10 percent of the section.
 - Sod must not be harvested or transplanted when moisture content (excessively dry or wet) may adversely affect its survival.
 - Sod must be harvested, delivered, and installed within a period of 36 hours. Sod not transplanted within this period must be approved by an agronomist or soil scientist prior to its installation.
 - Sod Installation
 - During periods of excessively high temperature or in areas having dry subsoil, lightly irrigate the subsoil immediately prior to laying the sod.
 - Lay the first row of sod in a straight line with subsequent rows placed parallel to it and tightly wedged against each other. Stagger lateral joints to promote more uniform growth and strength. Ensure that sod is not stretched or overlapped and that all joints are butted tight in order to prevent voids which would cause air drying of the roots.
 - Wherever possible, lay sod with the long edges parallel to the contour and with staggering joints. Roll and tamp, peg or otherwise secure the sod to prevent slippage on slopes. Ensure solid contact exists between sod roots and the underlying soil surface.
 - Water the sod immediately following rolling and tamping until the underside of the new sod pad and soil surface below the sod are thoroughly wet. Complete the operations of laying, tamping and irrigating for any piece of sod within eight hours.
 - Sod Maintenance
 - In the absence of adequate rainfall, water daily during the first week or as often and sufficiently as necessary to maintain moist soil to a depth of 4 inches. Water sod during the heat of the day to prevent wilting.
 - After the first week, sod watering is required as necessary to maintain adequate moisture content.
 - Do not mow until the sod is firmly rooted. No more than 1/2 of the grass leaf must be removed by the initial cutting or subsequent cuttings. Maintain a grass height of at least 3 inches unless otherwise specified.

B-4-6 STANDARDS AND SPECIFICATIONS

**FOR
SOIL STABILIZATION MATTING**

Definition

Material used to temporarily or permanently stabilize channels or steep slopes until groundcover is established.

Purpose

To protect the soils until vegetation is established.

Conditions Where Practice Applies

On newly seeded surfaces to prevent the applied seed from washing out; in channels and on steep slopes where the flow has erosive velocities or conveys clear water; on temporary swales, earth dikes, and perimeter dike swales as required by the respective design standard; and, on stream banks where moving water is likely to wash out new vegetative plantings.

Design Criteria

- The soil stabilization matting that is used must withstand the flow velocities and shear stresses determined for the area, based on the 2-year, 24-hour frequency storm for temporary applications and the 10-year, 24-hour frequency storm for permanent applications. Designate on the plan the type of soil stabilization matting using the standard symbol and include the calculated shear stress for the respective treatment area.
- Matting is required on permanent channels where the runoff velocity exceeds two and half feet per second (2.5 fps) or the shear stress exceeds two pounds per square foot (2 lbs/ft²). On temporary channels discharging to a sediment trapping practice, provide matting where the runoff velocity exceeds four feet per second (4 fps).
- Temporary soil stabilization matting is made with degradable (lasts 6 months minimum), natural, or manmade fibers of uniform thickness and distribution of fibers throughout and is smolder resistant. The maximum permissible velocity for temporary matting is 6 feet per second.
- Permanent soil stabilization matting is an open weave, synthetic material consisting of nondegradable fibers or elements of uniform thickness and distribution of weave throughout. The maximum permissible velocity for permanent matting is 8.5 feet per second.
- Calculate channel velocity and shear stress using the following procedure:

Shear Stress (τ) is a measure of the force of moving water against the substrate and is calculated as:

$$\tau = v \times R \times S_w \text{ where:}$$

- τ = shear stress (lb/ft²)
- v = weight density of water (62.4 lb/ft³)
- R = average water depth (hydraulic radius) (ft)
- S_w = water surface slope (ft/ft)

Velocity (v) measures the rate of flow through a defined area and is calculated as:

$$v = \frac{1.48R^{2/3} S}{n}$$

where:

- v = velocity (ft/sec)
- n = Manning's roughness coefficient
- R = hydraulic radius (ft)
- S = channel slope (ft/ft)

- Use Table B.7 to assist in selecting the appropriate soil stabilization matting for slope applications based on the slope, the slope length, and the soil-erodibility K factor.

Table B.7: Soil Stabilization on Slopes

Slope Length (feet)*	20:1 Flatter (≤5%)		20:1 to 4:1 (5-25%)		4:1 to 3:1 (25-33%)		3:1 to 2.5:1 (33-40%)		2.5:1 to 2:1 (40-50%)		
	0-30	30-60	60-120	0-30	30-60	60-120	0-30	30-60	60-120	0-30	30-60
Straw Mulch/Wood Cellulose Fiber											
Temporary Matting with Design Shear Stress ≥ 1.5 lb/sf											
Temporary Matting with Design Shear Stress ≥ 1.75 lb/sf											
Temporary Matting with Design Shear Stress ≥ 2.0 lb/sf											
Temporary Matting with Design Shear Stress ≥ 2.25 lb/sf											

Effective range for all K values unless otherwise specified

- * Slope length includes contributing flow length.
- ** Slopes steeper than 2:1 must be engineered.
- *** Soil having a K value less than or equal to 0.35 can be stabilized effectively with straw mulch or wood cellulose fiber when located on slopes steeper than 5%. Soil stabilization matting is required on all slopes steeper than 5% that have soil with a K factor greater than 0.35. K factor ratings are published in the NRCS Soil Survey <http://Websoilsurvey.nrcs.usda.gov/app>. During construction or reclamation, the soil erodibility K value should represent the upper 6 inches of the final fill material re-spread as the last lift. Only the effects of rock fragments within the soil profile are considered in the estimation of the K value. Do not adjust K values to account for rocks on the soil surface or increases in soil organic matter related to management activities.

Maintenance

Vegetation must be established and maintained so that the requirements for Adequate Vegetative Establishment are continuously met in accordance with Section B-4 Vegetative Stabilization.

B-4-B STANDARDS AND SPECIFICATIONS

**FOR
STOCKPILE AREA**

Definition

A mound or pile of soil protected by appropriately designed erosion and sediment control measures.

Purpose

To provide a designated location for the temporary storage of soil that controls the potential for erosion, sedimentation, and changes to drainage patterns.

Conditions Where Practice Applies

Stockpile areas are utilized when it is necessary to salvage and store soil for later use.

Criteria

- The stockpile location and all related sediment control practices must be clearly indicated on the erosion and sediment control plan.
- The footprint of the stockpile must be sized to accommodate the anticipated volume of material and based on a side slope ratio no steeper than 2:1. Benching must be provided in accordance with Section B-4 Land Grading.
- Runoff from the stockpile area must drain to a suitable sediment control practice.
- Access the stockpile area from the upgrade side.
- Clear water runoff into the stockpile area must be minimized by use of a diversion device such as an earth dike, temporary swale or diversion fence. Provisions must be made for discharging concentrated flow in a non-erosive manner.
- Where runoff concentrates along the toe of the stockpile fill, an appropriate erosion/sediment control practice must be used to intercept the discharge.
- Stockpiles must be stabilized in accordance with the 3/7 day stabilization requirement as well as Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization.
- If the stockpile is located on an impervious surface, a liner should be provided below the stockpile to facilitate cleanup. Stockpiles containing contaminated material must be covered with impermeable sheeting.

Maintenance

The stockpile area must continuously meet the requirements for Adequate Vegetative Establishment in accordance with Section B-4 Vegetative Stabilization. Side slopes must be maintained at no steeper than a 2:1 ratio. The stockpile area must be kept free of erosion. If the vertical height of a stockpile exceeds 20 feet for 2:1 slopes, 30 feet for 3:1 slopes, or 40 feet for 4:1 slopes, benching must be provided in accordance with Section B-3 Land Grading.

APPROVED
DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 7/19/21
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 7/20/21
DIRECTOR

This document plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT
Alexander Bratchio 07/20/21
Howard SCD

ADDRESS CHART	
USE	STREET ADDRESS
RECREATIONAL BUILDING	8045 HARRIET TUBMAN LANE
SUBDIVISION NAME	SECTION/AREA
ATHOLTON HIGH SCHOOL	N/A
PLAT OR L/P	GRID
24481-53	0224
ZONING	MAX ELEV
R-5C	0035
DEPT.	5th E.D.
GENUS TRACT	
OWNER/DEVELOPER	
HOWARD COUNTY RECREATION AND PARKS	
CONTACT: MICHAEL KAMINETZ, 410-313-5781	
8045 HARRIET TUBMAN LANE	
COLUMBIA, MD 21044	

Mark	Date	Description
	04/10/2020	100% SD SUBMISSION
	06/19/2020	100% DD SUBMISSION
	10/16/2020	100% CONSTRUCTION DOCUMENTS
	11/23/2020	BID SET
	2/11/2021	ADDENDUM #2
	5/7/2021	REVISION #2 - SITE MODIFICATIONS
	7/11/2021	REVISION #3 - SITE MODIFICATIONS FOR THE CON. SLOPE, FENCE, SIGN & SITE IMPROVEMENTS



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE No.: 14446 EXP. DATE: 5/25/23
PROJECT NO.: 18104A5
DRAWN BY: DVM
CHECKED BY: GWT
SHEET NAME: EROSION & SEDIMENT CONTROL NOTES (ADDITIONAL SHEET)
C15

AUDITORIUM RENOVATIONS
HARRIET TUBMAN BUILDING
8045 HARRIET TUBMAN LANE, COLUMBIA MARYLAND

Murphy & Dittenhafer
ARCHITECTS
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H-1
STANDARDS AND SPECIFICATIONS
FOR
MATERIALS

Table H.1: Geotextile Fabrics

PROPERTY	TEST METHOD	MINIMUM AVERAGE ROLL VALUE			
		MD	CD	MD	CD
GRAB TENSILE STRENGTH	ASTM D-4632	200lb	200lb	370lb	250lb
GRAB TENSILE ELONGATION	ASTM D-4632	15%	10%	15%	15%
TRAPEZOIDAL TEAR STRENGTH	ASTM D-4533	75 lb	75 lb	100 lb	80 lb
PUNCTURE STRENGTH	ASTM D-6241	450 lb		900 lb	450 lb
APPARENT OPENING SIZE ²	ASTM D-4751	U.S. Sieve 30 (0.59 mm)		U.S. Sieve 70 (0.21 mm)	U.S. Sieve 70 (0.21 mm)
PERMITTIVITY	ASTM D-4491	0.05 sec		0.28 sec	1.1 sec
ULTRAVIOLET RESISTANCE RETAINED AT 500 HOURS	ASTM D-4355	70% strength		70% strength	70% strength

1 All numeric values except apparent opening size (AOS) represent minimum average roll values (MARV). MARV is calculated as the typical minus two standard deviations. MD is machine direction; CD is cross direction.

2 Values for AOS represent the average maximum opening.

Geotextiles must be evaluated by the National Transportation Product Evaluation Program (NTPPE) and conform to the values in Table H.1.

The geotextile must be inert to commonly encountered chemicals and hydrocarbons and must be rot and mildew resistant. The geotextile must be manufactured from fibers consisting of long chain synthetic polymers and composed of a minimum of 95 percent by weight of polyolefins or polyesters, and formed into a stable network so the filaments or yarns retain their dimensional stability relative to each other, including selvages.

When more than one section of geotextile is necessary, overlap the sections by at least one foot. The geotextile must be pulled taut over the applied surface. Equipment must not run over exposed fabric. When placing riprap on geotextile, do not exceed a one foot drop height.

Table H.2: Stone Size

TYPE	SIZE RANGE	d	d	MSHTD	MIDSIZE WEIGHT ³
NUMBER 57 ¹	3/8 TO 1 1/2 INCH	1 1/2 IN	1 1/2 IN	M-43	N/A
NUMBER 57	2 TO 3 INCH	2 1/2 IN	3 IN	M-43	N/A
RIPRAP 2 (CLASS 0)	4 TO 7 INCH	5 1/2 IN	7 IN	N/A	N/A
CLASS I	N/A	9 1/2 IN	15 IN	N/A	40 lb
CLASS II	N/A	16 IN	24 IN	N/A	200 lb
CLASS III	N/A	23 IN	34 IN	N/A	800 lb

1 This classification is to be used on the upstream face of stone outlets and check dams.

2 This classification is to be used for gabions.

3 Optimum gradation is 50 percent of the stone being above and 50 percent below the midsize.

Stone must be composed of a well graded mixture of stone sized so that fifty (50) percent of the pieces by weight are larger than the size determined by using the charts. A well graded mixture, as used herein, is defined as a mixture composed primarily of larger stone sizes but with a sufficient mixture of other sizes to fill the smaller voids between the stones. The diameter of the largest stone in such a mixture must not exceed the respective d100 selected from Table H.2. The d50 refers to the median diameter of the stone. This is the size for which 50 percent, by weight, will be smaller and 50 percent will be larger.

Note: Recycled concrete equivalent may be substituted for all stone classifications for temporary control measures only. Concrete broken into the sizes meeting the appropriate classification, containing no steel reinforcement, and having a minimum density of 150 pounds per cubic foot may be used as an equivalent.

H-5 STANDARDS AND SPECIFICATIONS
FOR
DUST CONTROL

Definition

Controlling the suspension of dust particles from construction activities

Purpose

To prevent blowing and movement of dust from exposed soil surfaces to reduce on and off-site damage including health and traffic hazards.

Conditions Where Practice Applies

Areas subject to dust blowing and movement where on and off-site damage is likely without treatment

Specifications

- Mulches:** See Section B-4-2 Soil Preparation, Topsoiling, and Soil Amendments, Section B-4-3 Seeding and Mulching, and Section B-4-4 Temporary Stabilization. Mulch must be anchored to prevent blowing.
- Vegetative Cover:** see Section B-4-4 Temporary Stabilization.
- Tillage:** Till to roughen surface and bring clods to the surface. Begin plowing on windward side of site. Chisel-type plows spaced about 12" inches apart, spring-toothed harrows, and similar plows are examples of equipment that may produce the desired effect.
- Irrigation:** Sprinkle site with water until the surface is moist. Repeat as needed. The site must not be irrigated to the point that runoff occurs.
- Barriers:** Solid board fences, silt fences, snow fences, burlap fences, straw bales, and similar materials can be used to control air currents and soil blowing.
- Chemical Treatment:** Use of chemical treatment requires approval by the appropriate plan review authority.

HOWARD SOIL CONSERVATION DISTRICT STANDARD SEDIMENT CONTROL NOTES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (313-1855).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 3 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1, B) 7 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING (SEC. B-4-5), TEMPORARY SEEDING (SEC. B-4-4) AND MULCHING (SEC. B-4-3). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:**
TOTAL AREA OF SITE 2.402± ACRES
AREA DISTURBED 0.85±(ON-SITE) 0.05±(OFF-SITE) ACRES
AREA TO BE ROOFED OR PAVED 0.56 ACRES
AREA TO BE VEGETATIVELY STABILIZED 0.44 ACRES
TOTAL CUT 1550 CU. YDS.
TOTAL FILL 1700 CU. YDS.
OFFSITE WASTE/BORROW ARE LOCATION TBD CU. YDS.
- ANY SEDIMENT CONTROL PRACTICE THAT IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORKDAY, WHICHEVER IS SHORTER.
- ANY CHANGES OR REVISIONS TO THE SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE PLAN APPROVAL AUTHORITY PRIOR TO PROCEEDING WITH CONSTRUCTION.
- A PROJECT IS TO BE SEQUENCED SO THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM ACREAGE OF 20 AC. PER GRADING UNIT) AT A TIME. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE ENFORCEMENT AUTHORITY. UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE APPROVAL AUTHORITY, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.
- EXCESS CUT OR BORROW MATERIAL SHALL GO TO, OR COME FROM, RESPECTIVELY, A SITE WITH AN OPEN GRADING PERMIT.

INLET PROTECTION NOTE

THE CONTRACTOR SHALL INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:

- ANY INLET OUTFALLING DIRECTLY INTO A SEDIMENT TRAPPING DEVICE. STORM DRAINS TO BE FLUSHED PRIOR TO TRAPPING DEVICE REMOVAL.
- INLETS ON PRIVATE OR PUBLIC PAVED ROADWAYS OPEN TO THE PUBLIC. ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" PAGE E-16-5A OR E-16-5B. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRED APPROVAL FROM THE INSPECTOR.
- STORM DRAINS TO BE FLUSHED PRIOR TO TRAPPING DEVICE REMOVAL.

UTILITY CONSTRUCTION NOTE

- CONTRACTOR SHOULD OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF THE TRENCH IS TO REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWNSLOPE OF) THE TRENCH.
- PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
- ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.

TRAP FLOW DIVERSION NOTE

"TO PREVENT SLOPE EROSION, WITHIN SEDIMENT TRAPPING DEVICES, ADEQUATELY SIZED AND STABILIZED FLOW DIVERSION MEASURES (I.E., EARTH DIKE, TEMPORARY SWALE, PERIMETER DIKE/SWALE) SHALL BE INSTALLED AT THE UPSLOPE EXTENT OF TRAP, AND BASIN STORAGE AREAS TO DIVERT ALL FLOWS TO APPROPRIATE INFLOW PROTECTION DEVICES.

TEMPORARY STOCKPILES

IF TEMPORARY STOCKPILES ARE REQUIRED, THEY SHALL BE:

- LOCATED WITHIN THE LIMITS OF DISTURBANCE (L.O.D.).
- DRAIN TO A FUNCTIONING SEDIMENT CONTROL DEVICE.
- POSITIONED TO NOT IMPEDE UPON, OR IMPAIR THE FUNCTION OF SAID DEVICE.
- POSITION TO NOT ALTER DRAINAGE DIVIDES.

SEQUENCE OF OPERATIONS/CONSTRUCTION

- OBTAIN A GRADING PERMIT
- NOTIFY HOWARD COUNTY DEPARTMENT OF INSPECTIONS/LICENSES/PERMITS (DILP) AT 410-313-1823 AT LEAST 7 DAYS PRIOR TO COMMENCING WORK FOR ADDITIONAL NOTIFICATIONS AND PRE-CONSTRUCTION MEETING REQUIREMENTS.
- NOTIFY THE DPW SEDIMENT CONTROL DIVISION AT 410-313-1855 SEVEN DAYS BEFORE COMMENCING ANY LAND DISTURBING ACTIVITY, AND UNLESS WAIVED BY THE DISTRICT, SHALL BE REQUIRED TO HOLD A PRE-CONSTRUCTION MEETING BETWEEN PROJECT REPRESENTATIVES. THE ON-SITE PRE-CONSTRUCTION MEETING WITH ALL PARTIES SHALL BE TO DISCUSS SITE ISSUES INCLUDING, BUT NOT LIMITED TO, SECURITY, CIRCULATION, WAYS AND MEANS, LIMITS OF RESPONSIBILITIES AND WORK, AND TO INSPECT SITE FOR ANY UNFORESEEN CONDITIONS.
- PROVIDE SURVEY AND LAYOUT OF THE LIMIT OF DISTURBANCE (LOD) AND SEDIMENT CONTROL DEVICES. THE LOD MUST BE FIELD MARKED PRIOR TO AND INSPECTED AT THE PRE-CONSTRUCTION MEETING. 2 DAYS
- CONDUCT ON-SITE PRE-CONSTRUCTION MEETING WITH ALL PARTIES TO DISCUSS ISSUES INCLUDING, BUT NOT LIMITED TO PHASES OF CONSTRUCTION RELATIVE TO EROSION AND SEDIMENT CONTROL (ESC), WAYS AND MEANS AND LIMITS OF RESPONSIBILITIES AND WORK, AND TO INSPECT THE SITE FOR ANY UNFORESEEN CONDITIONS. 1 DAY
- WITH THE PERMISSION OF THE CID INSPECTOR, CLEAR AND GRUB FOR INSTALLATION OF INITIAL PERIMETER CONTROLS. INSTALL EROSION AND SEDIMENT CONTROL DEVICES INCLUDING STABILIZED CONSTRUCTION ENTRANCE, SUPER SILT FENCE AND SILT FENCE ON PAVING BEFORE COMMENCING ANY WORK. 3 DAY
- BEGIN CONSTRUCTION OF BUILDING ADDITION, OUTDOOR SEATING AREA AND PLAYGROUND. 1 DAY
- CONCURRENT WITH STEP 7, BEGIN CONSTRUCTION OF NEW UTILITIES, INCLUDING MODULAR WETLANDS SYSTEM. INSTALL AT-GRADE INLET PROTECTION AT NEW INLET AND TEMPORARILY PLUG DRAIN. 15 DAY
- CONCURRENT WITH STEPS 7 AND 8, COMPLETE BUILDING, CURB & GUTTERS, PEDESTRIAN WALKWAYS, VEHICULAR PAVING AND SEALCOATING. 60 DAY
- COMPLETE FINE GRADING AND TOPSOIL OF PROPOSED LAWN AND PLANTING AREAS. INSTALL LANDSCAPE PLANT MATERIAL. COMPLETE SEEDING AND MULCHING OF LAWN AREAS. 5 DAY
- ONCE SITE IS STABILIZED AND WITH THE APPROVAL OF CID INSPECTOR, UNPLUG STORMWATER MANAGEMENT PRACTICES. NOTE - A THREE DAY DRY FORECAST MUST BE ESTABLISHED PRIOR TO START OF WORK PER NATIONAL OCEANIC AND ATMOSPHERIC ASSOCIATION (NOAA) WEATHER FORECAST. IN THE EVENT OF RAINFALL, REMOVABLE PUMP STATION AND PORTABLE SEDIMENT TANKS TO BE EMPLOYED TO TREAT WATER REMOVED FROM EXCAVATION. 2 DAY
- ONLY UPON RECEIVING PERMISSION FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR, REMOVE REMAINING SEDIMENT CONTROL DEVICES AND IMMEDIATELY STABILIZE ALL AREAS DISTURBED BY DEVICE REMOVAL. 1 DAY

AUDITORIUM RENOVATIONS
HARRIET TUBMAN BUILDING
8045 HARRIET TUBMAN LANE, COLUMBIA MARYLAND

Murphy & Patten
ARCHITECTS
805 North Charles Street, Baltimore, Maryland 21201
410-625-8823 voice 410-625-4674 fax
228 West Market Street, York, Pennsylvania 17401
717-843-2449 fax

ENGINEER'S CERTIFICATE

"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Judith A. Carroll Judith A. Carroll 03/11/2021
Signature of Engineer Date
(print name below signature)

DEVELOPER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a certificate of attendance at a department of the environment approved training program for the control of sediment and erosion before beginning the project. I also authorize periodic site inspection by the Howard Soil Conservation District."

Michael Kaminetz Michael Kaminetz 5/12/2021
Signature of Developer Date
(print name below signature)

APPROVED
DEPARTMENT OF PLANNING AND ZONING

7/19/21
DATE

7/20/21
DATE

7/20/21
DATE

This document plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT

Alexandra Butchko Alexandra Butchko 07/20/21
Signature of District Director Date

ADDRESS CHART

USE	STREET ADDRESS
RECREATIONAL BUILDING	8045 HARRIET TUBMAN LANE

OWNER/DEVELOPER
HOWARD COUNTY RECREATION AND PARKS
CONTACT: MICHAEL KAMINETZ, 410-313-5781
8045 HARRIET TUBMAN LANE
COLUMBIA, MD 21044



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE No.: 14446 EXP. DATE: 5/25/23

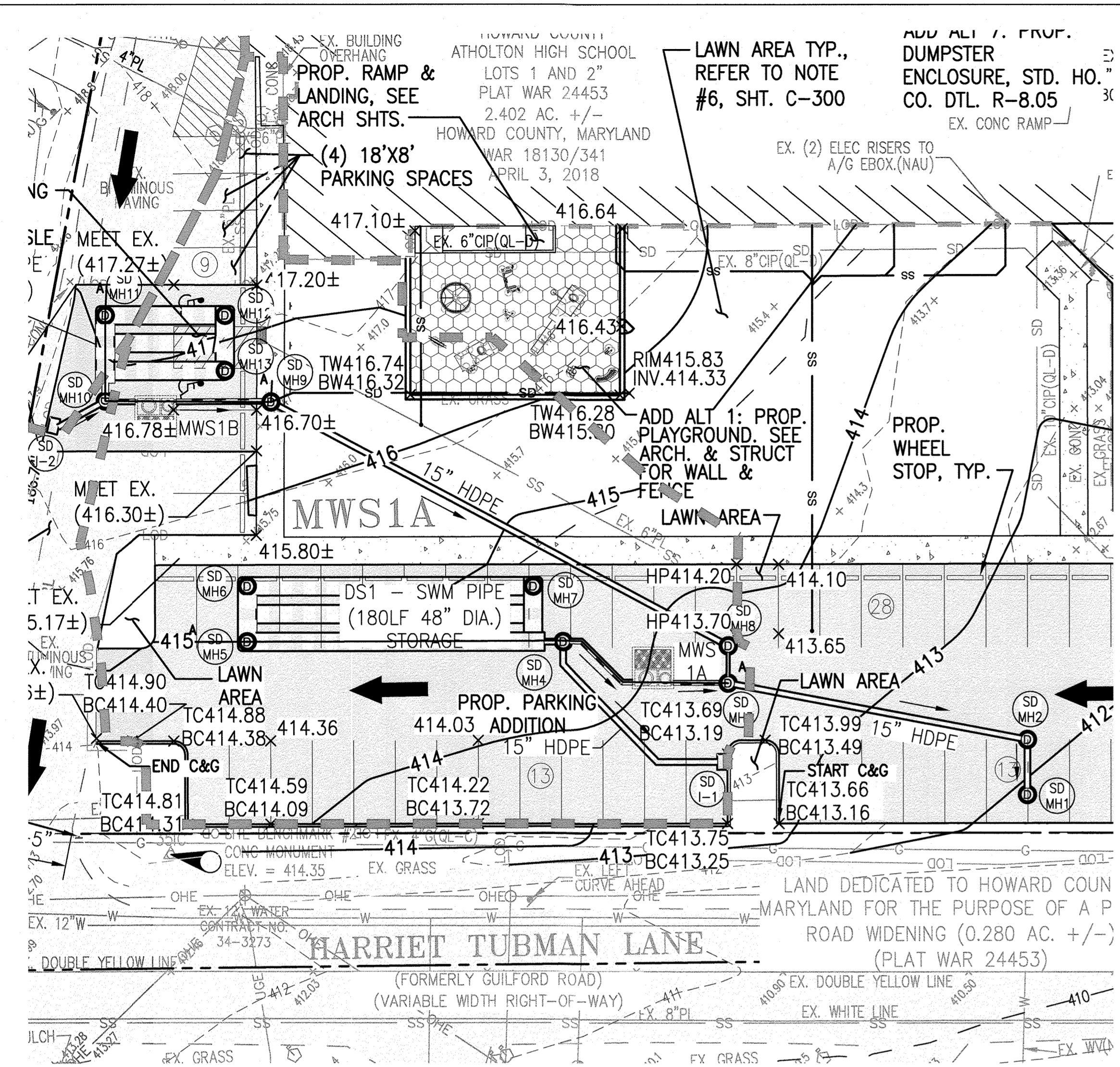
PROJECT NO.: 18104A5

DRAWN BY: DWM

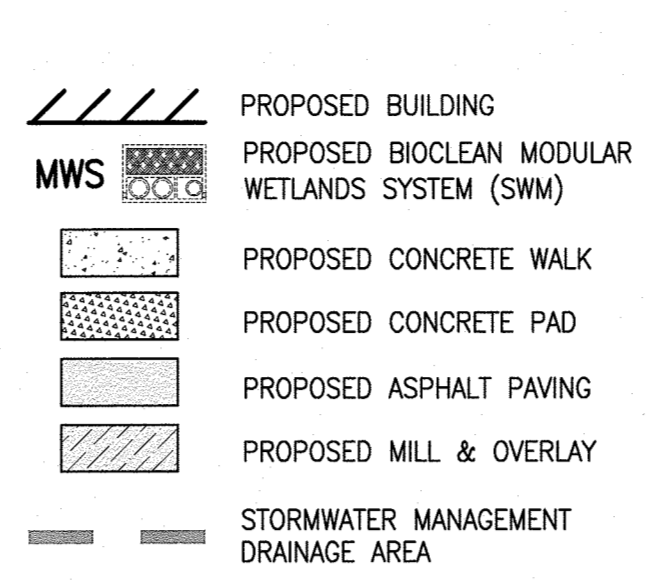
CHECKED BY: GWT

SHEET NAME: EROSION & SEDIMENT CONTROL NOTES (ADDITIONAL SHEET)

C16
SDP-89-028



- LEGEND**
- EXISTING PROPERTY LINE
 - EXISTING RIGHT-OF-WAY
 - EXISTING EASEMENT
 - EXISTING SETBACK
 - EXISTING BUILDING
 - 400 EXISTING MAJOR CONTOUR
 - 401 EXISTING MINOR CONTOUR
 - EXISTING CURB
 - EXISTING CURB & GUTTER
 - EXISTING ROADWAY
 - EXISTING PAVEMENT
 - EXISTING ASPHALT PAVING
 - EXISTING CONCRETE PAVING
 - EXISTING GRAVEL
 - EXISTING FENCELINE
 - EXISTING BOLLARD
 - EXISTING SIGN
 - EXISTING ELECTRIC HANDBOX
 - EXISTING ELECTRIC MANHOLE
 - EXISTING OVERHEAD ELECTRIC
 - EXISTING UNDERGROUND ELECTRIC
 - EXISTING UNDERGROUND CONDUIT
 - EXISTING DUCTBANK
 - EXISTING COMM HANDHOLE
 - EXISTING COMMUNICATION
 - EXISTING CABLE TELEVISION
 - EXISTING FIBER OPTIC
 - EXISTING FIRE ALARM
 - EXISTING GAS LINE
 - EXISTING GAS VALVE
 - EXISTING SANITARY LINE
 - EXISTING SANITARY FORCE MAIN
 - EXISTING SANITARY MANHOLE
 - EXISTING SANITARY CLEANOUT
 - EXISTING STEAM LINE
 - EXISTING STORMDRAIN LINE
 - EXISTING STORMDRAIN INLET
 - EXISTING STORMDRAIN MANHOLE
 - EXISTING STORMDRAIN CLEANOUT
 - EXISTING TELEPHONE
 - EXISTING TELEPHONE MANHOLE
 - EXISTING TELEPHONE PEDESTAL
 - EXISTING UTILITY POLE
 - EXISTING LIGHT POLE



AS-BUILT NOTE:

THE CONTRACTOR SHALL SUPPLY ALL OF THE FOLLOWING INFORMATION DURING AND AFTER THE CONSTRUCTION OF THE SWM SYSTEM. ALL REQUIRED DOCUMENTS SHALL BE SUBMITTED WITHIN NINETY (90) DAYS OF THE DATE OF SUBSTANTIAL COMPLETION AS ACCEPTED BY THE OWNER:

1. AS-BUILT TOPOGRAPHIC SURVEY BASED ON THE SAME DATUM AND BENCHMARKS AS THE ORIGINAL SURVEY USED IN DESIGN. THE AS-BUILT SURVEY SHALL SHOW THE FOLLOWING:
 - a. SIZE, ELEVATIONS, AND GRADES OF EXCAVATION FOR BMP(S).
 - b. SURFACE ELEVATIONS AND GRADES FOR EACH LAYER OF DIFFERENT MATERIAL IN THE BMP(S).
 - c. INVERT ELEVATIONS FOR ALL UNDERDRAINS, STORM PIPING, AND APPURTENANCE STRUCTURES IN THE BMP(S).
 - d. SURFACE ELEVATIONS AND SPOT GRADES OF THE COMPLETED BMP(S) IN LOCATIONS TO MATCH THE APPROVED SWM PLANS AND DETAILS.
 - e. THE SURVEY SHALL BE IN AUTOCAD FORMAT. CONTACT THE ENGINEER FOR CADD STANDARDS TO BE USED.
2. MATERIAL TICKETS FOR ALL MATERIALS USED IN CONSTRUCTION OF THE BMP(S).
3. PHOTOGRAPHS OF CRITICAL INSPECTIONS INCLUDING, BUT NOT LIMITED TO:
 - a. PHOTOS OF EACH LAYER OF DIFFERENT MATERIAL IN THE BMP(S)
 - b. PHOTOS OF PLACEMENT OF ALL UNDERDRAINS, STORM PIPING, AND APPURTENANCE STRUCTURES IN THE BMP(S).
 - c. PHOTOS OF THE COMPLETED BMP(S) INCLUDING ALL STABILIZATION AND LANDSCAPING.
4. COMPLETED AS-BUILT TABLES WITH THE INSPECTOR'S INITIALS IN ORIGINAL HANDWRITING - SEE THIS SHEET FOR REQUIRED INFORMATION.

ESD/BMP TREATMENT SUMMARY REDEVELOPMENT	
MWS1, MODULAR WETLANDS SYSTEM #1A	DRAINAGE AREA = 14561 S.F.
	IMP. AREA TREATED = 10894 S.F.
	ESDv PROVIDED = 1187 c.f. (Req. = 664 c.f.)

AS BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT FACILITIES (BOTH BMP AND ESD PRACTICES) SHOWN ON THE PLANS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS APPROVED BY HOWARD COUNTY, EXCEPT AS NOTED IN RED ON THE "AS-BUILT" DRAWINGS.

NAME	SIGNATURE
MARYLAND REGISTRATION NUMBER (PE OR LS)	DATE
	SDP NO.
FACILITY BEING CERTIFIED: MWS1 MODULAR WETLAND FACILITY	

"CERTIFY" MEANS TO STATE OR DECLARE A PROFESSIONAL OPINION BASED ON SUFFICIENT AND APPROPRIATE ONSITE INSPECTIONS AND MATERIAL TESTS CONDUCTED DURING CONSTRUCTION.

PROJECT NAME: HARRIET TUBMAN		SDP NO.: 89-028
AS-BUILT DATA FOR MODULAR WETLAND FACILITY		
*TO BE COMPLETED BY THE PROJECT CONTRACTOR		
BMP ID: MWS1A	FEATURE	DESIGN
	FACILITY DETAIL	MWS-L-8-8
	FACILITY LxW	8'x8'
	TOP OF FACILITY	412.44
	BOTTOM OF FACILITY (INTERNAL)	408.44
	BOTTOM OF FACILITY (EXTERNAL)	407.94
	INLET SIZE & TYPE	15" HDPE
	INLET INVERT	412.90
	PRETREATMENT CHAMBER SIZE & TYPE	48" HDPE
	TOTAL PRETREATMENT CHAMBER PIPE LENGTH	210 LF
	PRETREATMENT CHAMBER INVERT	408.56
	OUTLET PIPE/ORIFICE SIZE & TYPE	6" HDPE
	OUTLET INVERT	407.50
	DATE AS-BUILT ACCEPTED BY HOWARD COUNTY:	

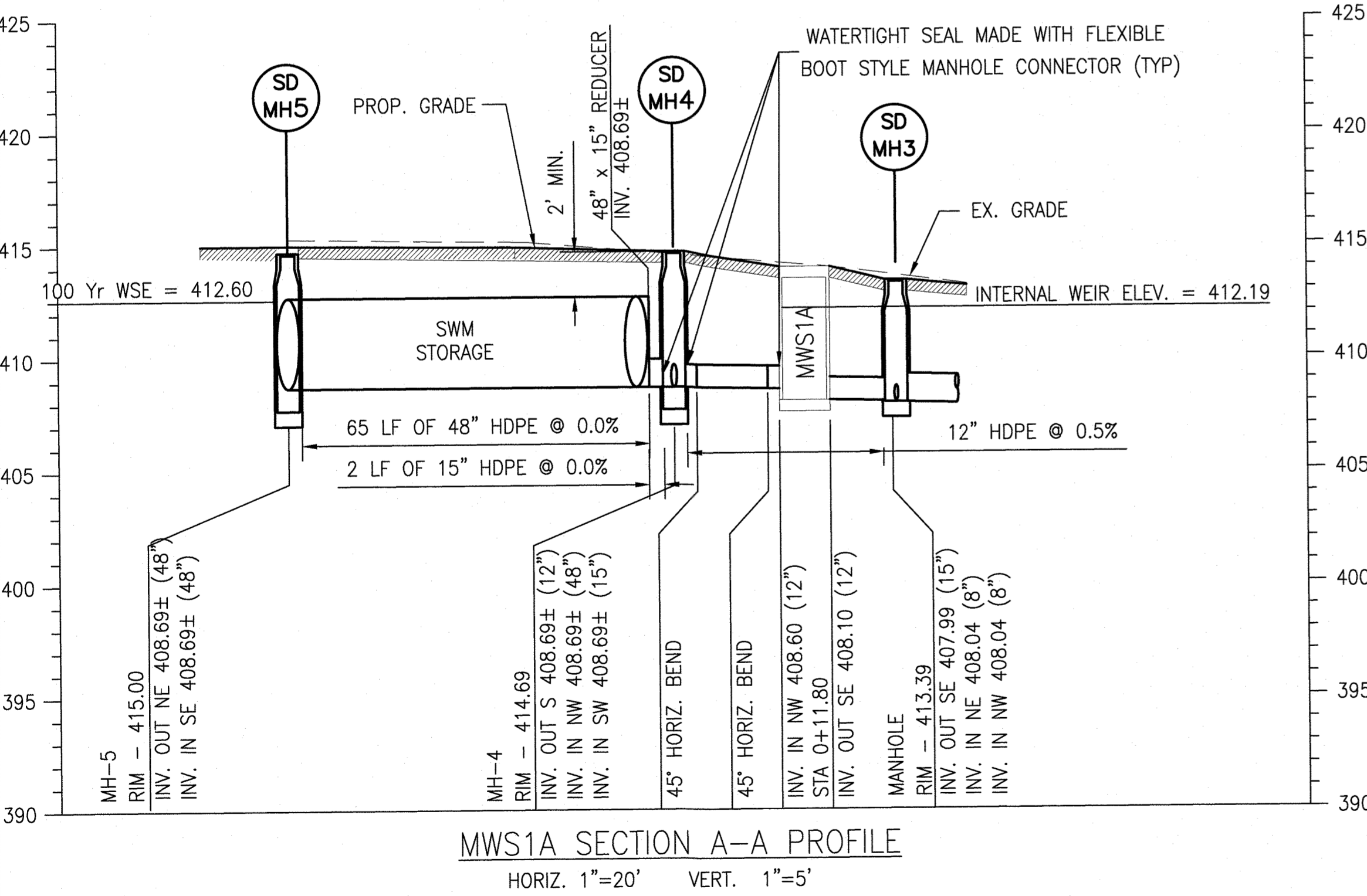
NOTES:

1. ALL MATERIALS AND CONSTRUCTION PRACTICES SHALL BE IN ACCORDANCE WITH THE CURRENT MARYLAND STORMWATER DESIGN MANUAL AND CITY STANDARDS.
2. UNDERDRAINS SHALL BE 4" PERFORATED PVC. PERFORATIONS SHALL BE 3/8" DIAMETER LOCATED 6" ON CENTER WITH A MINIMUM OF 4 HOLES PER ROW. PIPE SHALL BE WRAPPED WITH A 1/2" (NO.4 OR 4x4) GALVANIZED HARDWARE CLOTH.
3. ROOF DRAINS SHALL NOT BE CONNECTED UNTIL APPROVAL BY THE COUNTY INSPECTOR. ALL ROOF AREAS SHALL BE FREE OF DEBRIS, AND OUTLET PIPE INSTALLATION HAS BEEN COMPLETED.
4. SEE EROSION AND SEDIMENT CONTROL PLAN FOR EROSION AND SEDIMENT CONTROL MEASURES.

STORMWATER MANAGEMENT AS-BUILT NOTE:

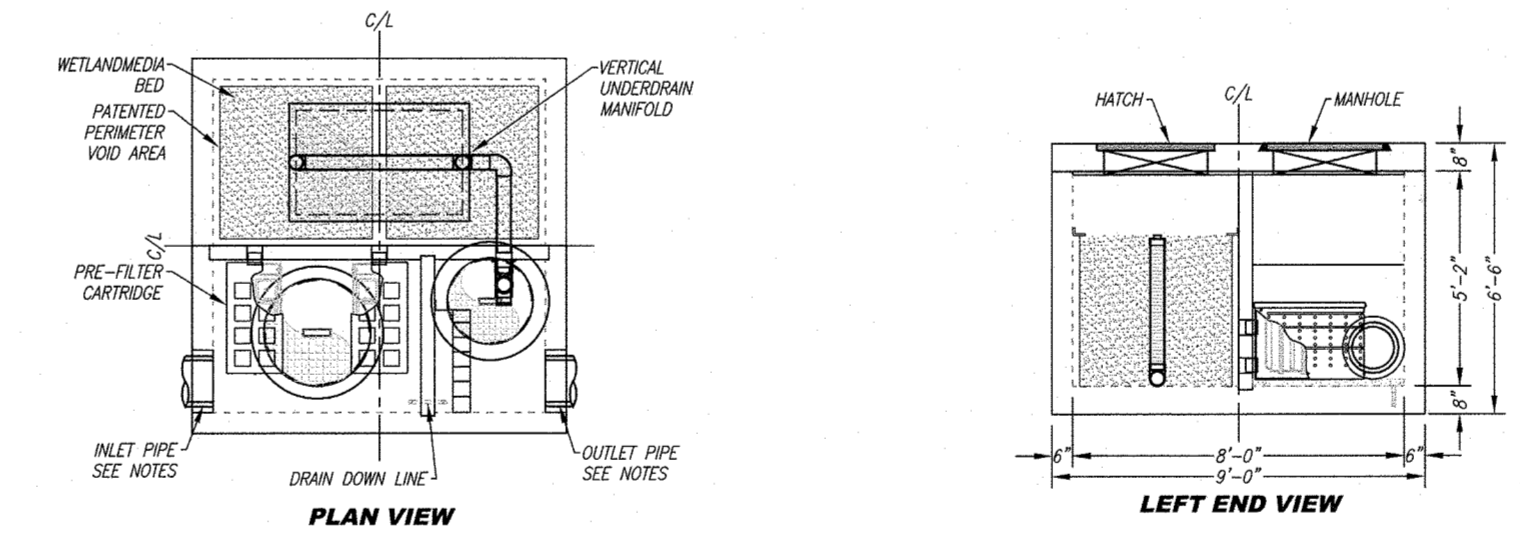
THE CONTRACTOR SHALL SUPPLY ALL OF THE FOLLOWING INFORMATION DURING AND AFTER THE CONSTRUCTION OF THE SWM SYSTEMS. ALL REQUIRED DOCUMENTS SHALL BE SUBMITTED WITHIN NINETY (90) DAYS OF THE DATE OF SUBSTANTIAL COMPLETION AS ACCEPTED BY THE OWNER:

1. AS-BUILT TOPOGRAPHIC SURVEY BASED ON THE SAME DATUM USED IN THE DESIGN. THE AS-BUILT SURVEY SHALL SHOW THE FOLLOWING:
 - A. INVERT AND/OR RIM ELEVATIONS OF ALL PIPES, FITTINGS, AND INLETS/OUTLET
 - B. SURFACE ELEVATIONS AND SPOT GRADES OF THE COMPLETED FACILITIES IN LOCATIONS TO MATCH THE APPROVED SWM PLANS AND DETAILS.
2. MATERIAL TICKETS FOR ALL MATERIALS USED IN CONSTRUCTION OF THE FACILITIES.
3. PHOTOGRAPHS OF CRITICAL INSPECTIONS INCLUDING, BUT NOT LIMITED TO:
 - A. THE INSIDE OF EACH FACILITY (PRETREATMENT CHAMBER, MEDIA, ETC.)
 - B. PIPES AND FITTINGS IN PLACE AFTER TRENCHING, PRIOR TO BACKFILLING.
 - C. THE COMPLETED FACILITIES AND SLOT DRAINS SURFACES.
4. COMPLETED AS-BUILT TABLES WITH THE INSPECTOR'S INITIALS IN ORIGINAL HANDWRITING.

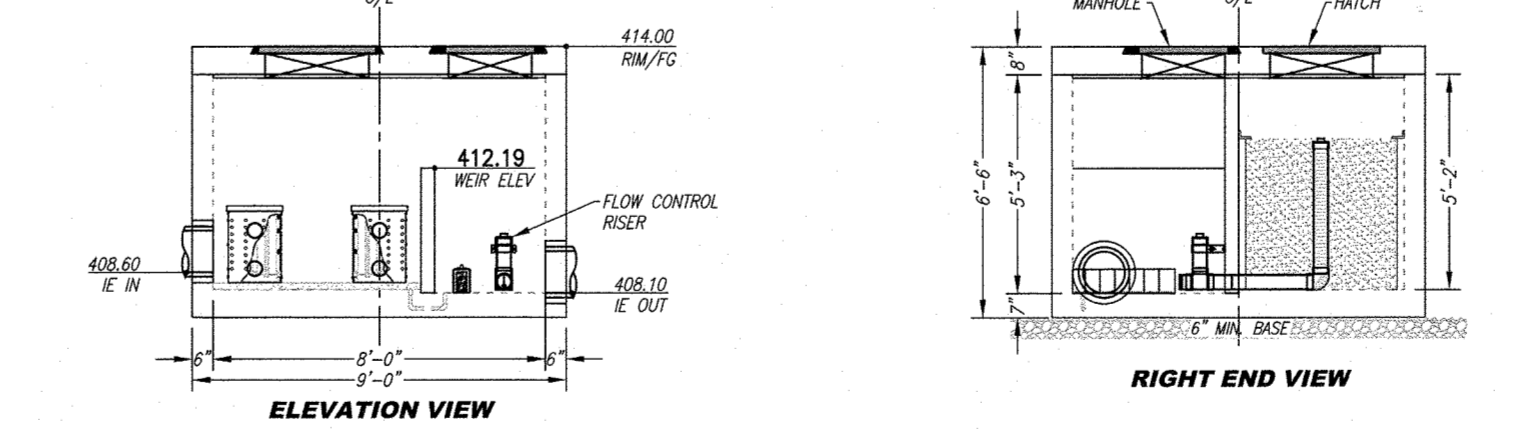


SITE SPECIFIC DATA

PROJECT NUMBER	AUDITORIUM RENOVATIONS		
PROJECT NAME	HARRIET TUBMAN BUILDING		
PROJECT LOCATION	COLUMBIA, MD		
STRUCTURE ID	MWS-1A		
TREATMENT VOL AVAILABLE (FT ³)	3.0		
PEAK BYPASS REQUIRED (CFS) - IF APPLICABLE	N/A		
PIPE DIA.	12"	12"	12"
INLET PIPE 1	408.60	HDPE	12"
INLET PIPE 2	N/A	N/A	N/A
OUTLET PIPE	408.10	HDPE	12"
	PRETREATMENT	BIOFILTRATION	DISCHARGE
RIM ELEVATION	414.00	414.00	414.00
SURFACE LOAD	H2O	H2O	H2O
FRAME & COVER	48"	30" x 48"	48"
WETLAND MEDIA VOLUME (CY)	3.68		
ORIFICE SIZE (DIA. INCHES)	#2.17"		
NOTES:	#2.17"		



NOTE: PLANTING ARE NOT REQUIRED FOR REDEVELOPMENT. TOP TO BE CONCRETE.



- INSTALLATION NOTES**
1. CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND ACCESSORIES REQUIRED TO INSTALL AND OPERATE THE SYSTEM AND THE MANUFACTURER'S SPECIFICATIONS, UNLESS OTHERWISE STATED IN MANUFACTURER'S CONTRACT.
 2. UNIT MUST BE INSTALLED ON LEVEL BASE. MANUFACTURER RECOMMENDS A MINIMUM 6" LEVEL ROCK BASE UNLESS SPECIFIED BY THE PROJECT ENGINEER. CONTRACTOR IS RESPONSIBLE FOR VERIFYING PROJECT ENGINEER'S RECOMMENDED BASE SPECIFICATIONS.
 3. CONTRACTOR TO SUPPLY AND INSTALL ALL EXTERNAL CONNECTING PIPES. ALL PIPES MUST BE FLUSH WITH INSIDE SURFACE OF CONCRETE (PIPES CANNOT WIRAGE BEYOND FLUSH). INVERT OF OUTLET PIPE MUST BE FLUSH WITH DISCHARGE CHAMBER FLOOR. ALL PIPES SHALL BE SEALED WATERTIGHT PER MANUFACTURER'S STANDARD CONNECTION DETAIL.
 4. CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL PIPES, RISERS, MANHOLES AND FITTINGS. CONTRACTOR TO GROUT ALL MANHOLES AND FITTINGS TO MATCH FINISHED SURFACE UNLESS SPECIFIED OTHERWISE.
 5. WETLAND MEDIA SUPPLIED AND INSTALLED BY MANUFACTURER.
 6. CONTRACTOR RESPONSIBLE FOR CONTRACTING BIO CLEAN FOR ACTIVATION OF UNIT. MANUFACTURER'S WARRANTY IS VOID WITHOUT PROPER ACTIVATION BY A BIO CLEAN REPRESENTATIVE.

- GENERAL NOTES**
1. MANUFACTURER TO PROVIDE ALL MATERIALS UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS, ELEVATIONS, SPECIFICATIONS AND CAPACITIES ARE SUBJECT TO CHANGE FOR PROJECT SPECIFIC DRAWINGS DETAILING EXACT DIMENSIONS, WEIGHTS AND ACCESSORIES TO BE USED.

PROPRIETARY AND CONFIDENTIAL

THE INFORMATION CONTAINED IN THIS DOCUMENT IS THE SOLE PROPERTY OF BIO-CLEAN. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THE TITLE BLOCK AND NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BIO-CLEAN.

Bio-Clean
A Forterra Company

MWS-L-8-8-5'-2"-V-UG
STORMWATER BIOFILTRATION SYSTEM
STANDARD DETAIL

APPROVED

DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION

7/16/21

DATE

CHIEF, DIVISION OF LAND DEVELOPMENT

7/16/21

DATE

7/20/21

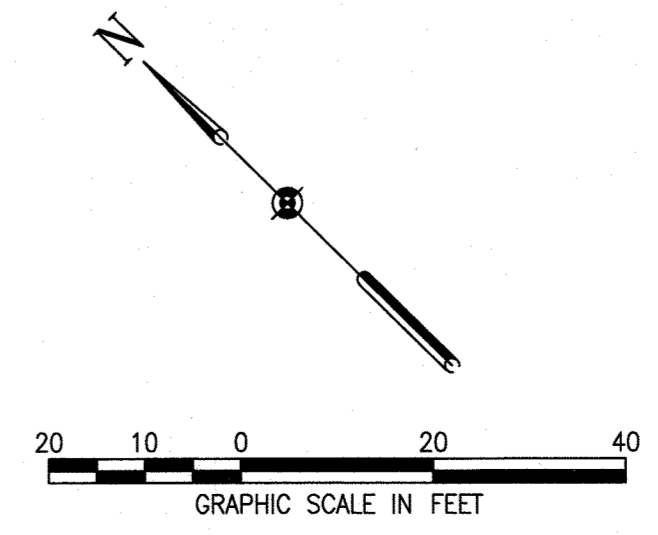
DATE

ADDRESS CHART

USE	STREET ADDRESS
RECREATIONAL BUILDING	8045 HARRIET TUBMAN LANE

SUBDIVISION NAME	SECTION/AREA	LOT/ PARCEL NO.
ATHOLTON HIGH SCHOOL	N/A	27222
PLAT OR L/T	GRID	ZONING
24481-53	0024	R-SC
	0035	9th ED.

OWNER/DEVELOPER
HOWARD COUNTY RECREATION AND PARKS
CONTACT: MICHAEL KAMINETZ, 410-313-5781
8045 HARRIET TUBMAN LANE
COLUMBIA, MD 21044

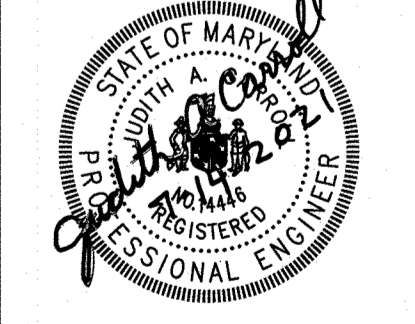


AUDITORIUM RENOVATIONS
HARRIET TUBMAN BUILDING
8045 HARRIET TUBMAN LANE, COLUMBIA MARYLAND

Murphy & Patten
ARCHITECTS

228 West Market Street, Suite 200, Columbia, Maryland 21201
410-525-5253 voice 410-525-4074 fax

Mark	Date	Description
	04/10/2020	100% SD SUBMISSION
	06/19/2020	100% DD SUBMISSION
	10/16/2020	100% CONSTRUCTION DOCUMENTS
	11/23/2020	BID SET
	2/17/2021	ADDENDUM #2 - SITE MODIFICATIONS
	5/7/2021	ADDENDUM #3 - SITE MODIFICATIONS
	7/1/2021	NOISE PLANS TO SHOW SITE LOSSES FOR THE PROPOSED IMPROVEMENTS.



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE No.: 14446 EXP. DATE: 5/25/23

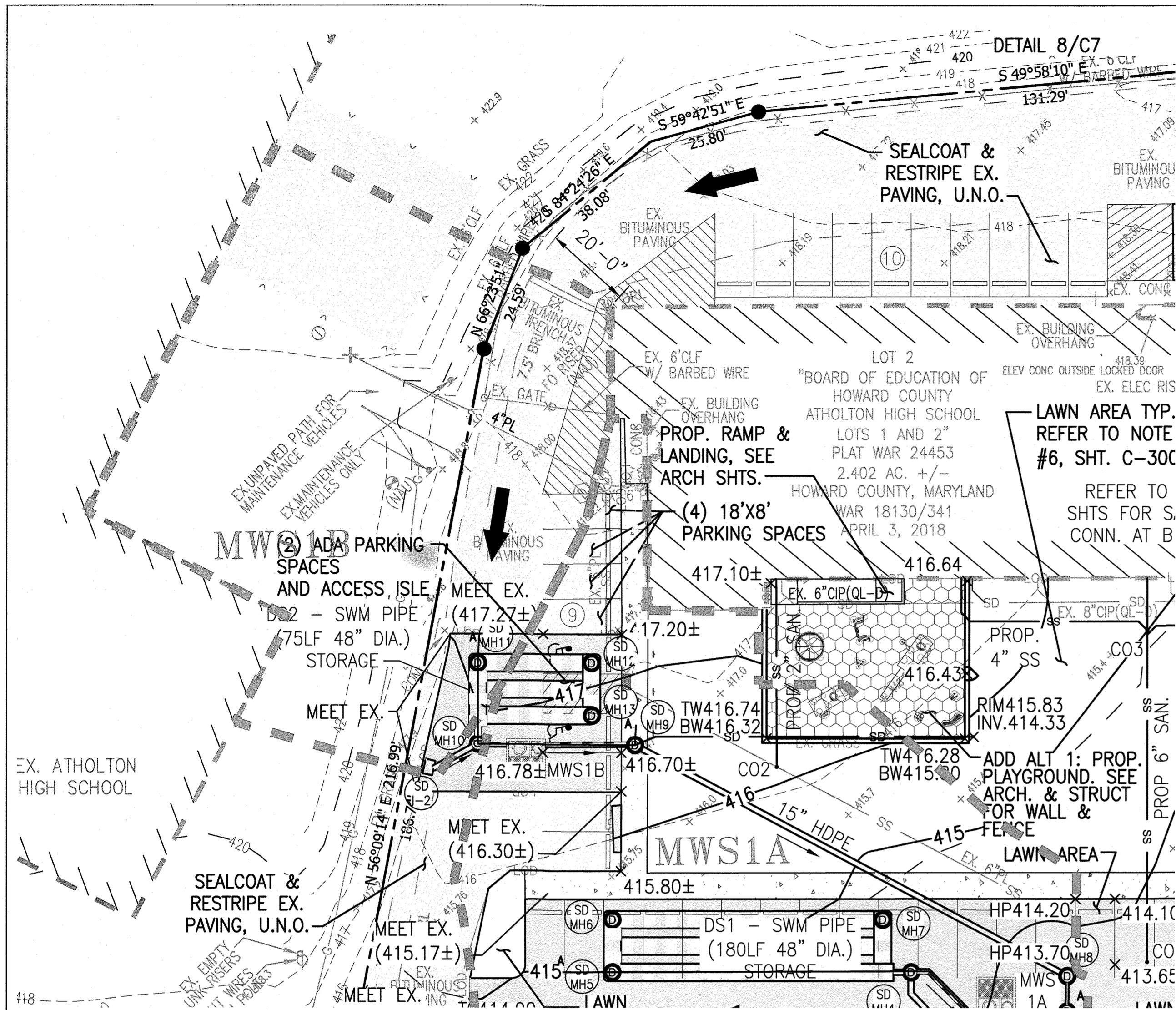
PROJECT NO.: 18104A5

DRAWN BY: DWM

CHECKED BY: GWT

SHEET NAME: STORMWATER MANAGEMENT PLAN - MWS1A (ADDITIONAL SHEET)

SHEET NO. C17



LEGEND

---	EXISTING PROPERTY LINE
---	EXISTING RIGHT-OF-WAY
---	EXISTING EASEMENT
---	EXISTING SETBACK
---	EXISTING BUILDING
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	EXISTING CURB
---	EXISTING CURB & GUTTER
---	EXISTING ROADWAY
---	EXISTING PAVEMENT
---	EXISTING ASPHALT PAVING
---	EXISTING CONCRETE PAVING
---	EXISTING GRAVEL
---	EXISTING FENCELINE
---	EXISTING BOLLARD
---	EXISTING SIGN
---	EXISTING ELECTRIC HANDBOX
---	EXISTING ELECTRIC MANHOLE
---	EXISTING OVERHEAD ELECTRIC
---	EXISTING UNDERGROUND ELECTRIC
---	EXISTING UNDERGROUND CONDUIT
---	EXISTING DUCTBANK
---	EXISTING COMM HANDHOLE
---	EXISTING COMMUNICATION
---	EXISTING CABLE TELEVISION
---	EXISTING FIBER OPTIC
---	EXISTING FIRE ALARM
---	EXISTING GAS LINE
---	EXISTING GAS VALVE
---	EXISTING SANITARY LINE
---	EXISTING SANITARY FORCE MAIN
---	EXISTING SANITARY MANHOLE
---	EXISTING SANITARY CLEANOUT
---	EXISTING STEAM LINE
---	EXISTING STORMDRAIN LINE
---	EXISTING STORMDRAIN INLET
---	EXISTING STORMDRAIN MANHOLE
---	EXISTING STORMDRAIN CLEANOUT
---	EXISTING TELEPHONE
---	EXISTING TELEPHONE MANHOLE
---	EXISTING TELEPHONE PEDESTAL
---	EXISTING UTILITY POLE
---	EXISTING LIGHT POLE

LEGEND

---	PROPOSED BUILDING
---	PROPOSED BIOCLEAN MODULAR WETLANDS SYSTEM (MWS)
---	PROPOSED CONCRETE WALK
---	PROPOSED CONCRETE PAD
---	PROPOSED ASPHALT PAVING
---	PROPOSED MILL & OVERLAY
---	STORMWATER MANAGEMENT DRAINAGE AREA

- AS-BUILT NOTE:**
- THE CONTRACTOR SHALL SUPPLY ALL OF THE FOLLOWING INFORMATION DURING AND AFTER THE CONSTRUCTION OF THE SWM SYSTEM. ALL REQUIRED DOCUMENTS SHALL BE SUBMITTED WITHIN NINETY (90) DAYS OF THE DATE OF SUBSTANTIAL COMPLETION AS ACCEPTED BY THE OWNER:
- AS-BUILT TOPOGRAPHIC SURVEY BASED ON THE SAME DATUM AND BENCHMARKS AS THE ORIGINAL SURVEY USED IN DESIGN. THE AS-BUILT SURVEY SHALL SHOW THE FOLLOWING:
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 - COMPLETED AS-BUILT TABLES WITH THE INSPECTOR'S INITIALS IN ORIGINAL HANDWRITING - SEE THIS SHEET FOR REQUIRED INFORMATION.

ESD/BMP TREATMENT SUMMARY REDEVELOPMENT

MWS1, MODULAR WETLANDS SYSTEM #1B	DRAINAGE AREA = 10559 S.F.
	IMP. AREA TREATED = 3830 S.F.
	ESD PROVIDED = 651 c.f. (Req. = 251 c.f.)

AS BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT FACILITIES (BOTH BMP AND ESD PRACTICES) SHOWN ON THE PLANS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS APPROVED BY HOWARD COUNTY, EXCEPT AS NOTED IN RED ON THE "AS-BUILT" DRAWINGS.

NAME	SIGNATURE
MARYLAND REGISTRATION NUMBER (PE OR LS)	DATE
	SDP NO.

FACILITY BEING CERTIFIED: MWS1 MODULAR WETLAND FACILITY

"CERTIFY" MEANS TO STATE OR DECLARE A PROFESSIONAL OPINION BASED ON SUFFICIENT AND APPROPRIATE ONSITE INSPECTIONS AND MATERIAL TESTS CONDUCTED DURING CONSTRUCTION.

PROJECT NAME: HARRIET TUBMAN SDP NO.: 89-028

AS-BUILT DATA FOR MODULAR WETLAND FACILITY

*TO BE COMPLETED BY THE PROJECT CONTRACTOR

BMP ID: MWS1B	FEATURE	DESIGN	*AS-BUILT
FACILITY DETAIL		MWS-L-8-8	
FACILITY LW		8'x8'	
TOP OF FACILITY		412.44	
BOTTOM OF FACILITY (INTERNAL)		408.44	
BOTTOM OF FACILITY (EXTERNAL)		407.94	
INLET SIZE & TYPE		15" HDPE	
INLET INVERT		412.90	
PRETREATMENT CHAMBER SIZE & TYPE		48" HDPE	
TOTAL PRETREATMENT CHAMBER PIPE LENGTH		210 LF	
PRETREATMENT CHAMBER INVERT		408.56	
OUTLET PIPE/ORIFICE SIZE & TYPE		6" HDPE	
OUTLET INVERT		407.50	

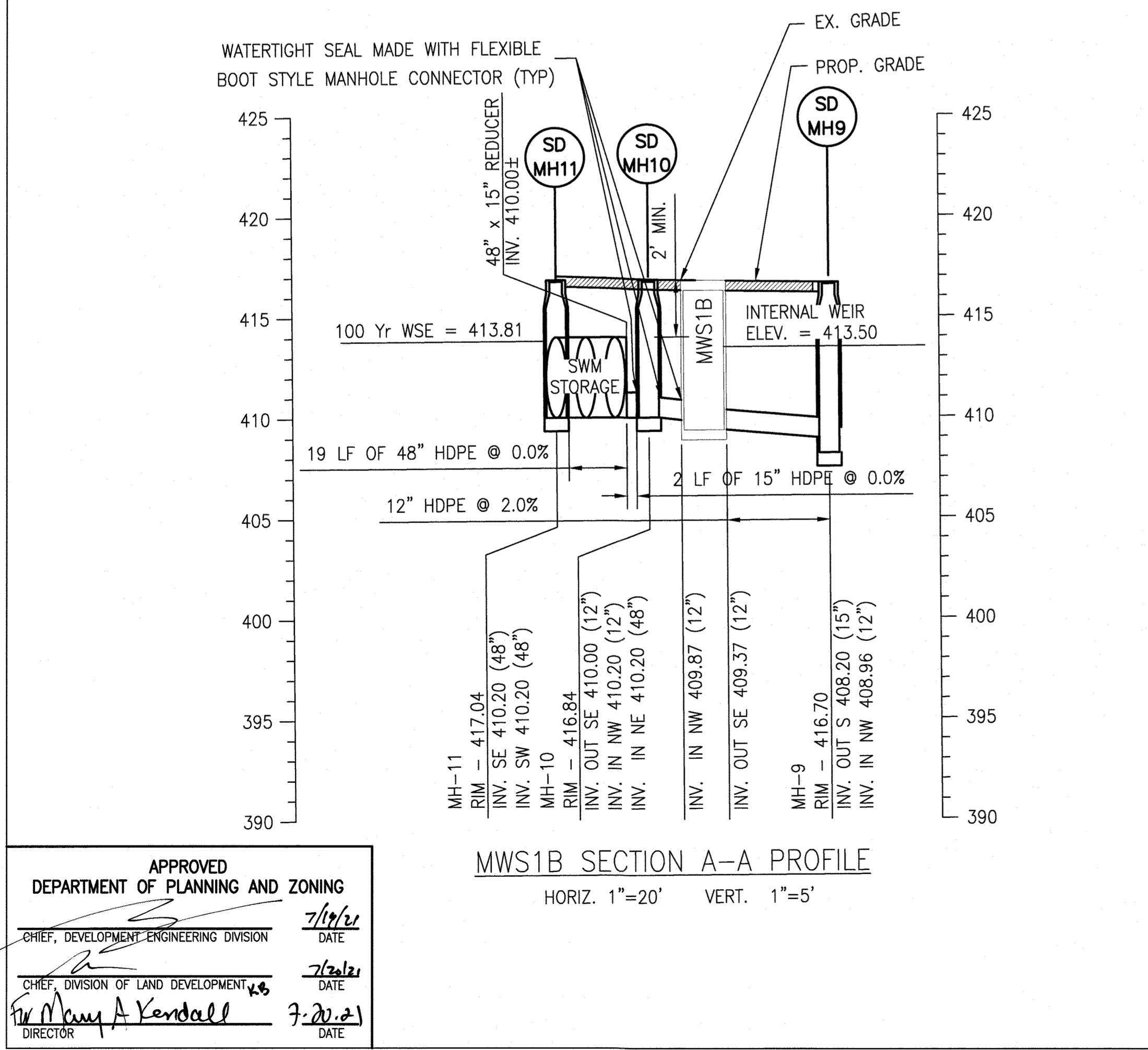
DATE AS-BUILT ACCEPTED BY HOWARD COUNTY: _____

- NOTES:**
- ALL MATERIALS AND CONSTRUCTION PRACTICES SHALL BE IN ACCORDANCE WITH THE CURRENT MARYLAND STORMWATER DESIGN MANUAL AND CITY STANDARDS.
 - UNDERDRAINS SHALL BE 4" PERFORATED PVC. PERFORATIONS SHALL BE 3/8" DIAMETER LOCATED 6" ON CENTER WITH A MINIMUM OF 4 HOLES PER ROW. PIPE SHALL BE WRAPPED WITH A 1/2" (NO.4 OR 4x4) GALVANIZED HARDWARE CLOTH.
 - ROOF DRAINS SHALL NOT BE CONNECTED UNTIL APPROVAL BY THE COUNTY INSPECTOR. ALL ROOF AREAS SHALL BE FREE OF DEBRIS, AND OUTLET PIPE INSTALLATION HAS BEEN COMPLETED.
 - SEE EROSION AND SEDIMENT CONTROL PLAN FOR EROSION AND SEDIMENT CONTROL MEASURES.

STORMWATER MANAGEMENT AS-BUILT NOTE:

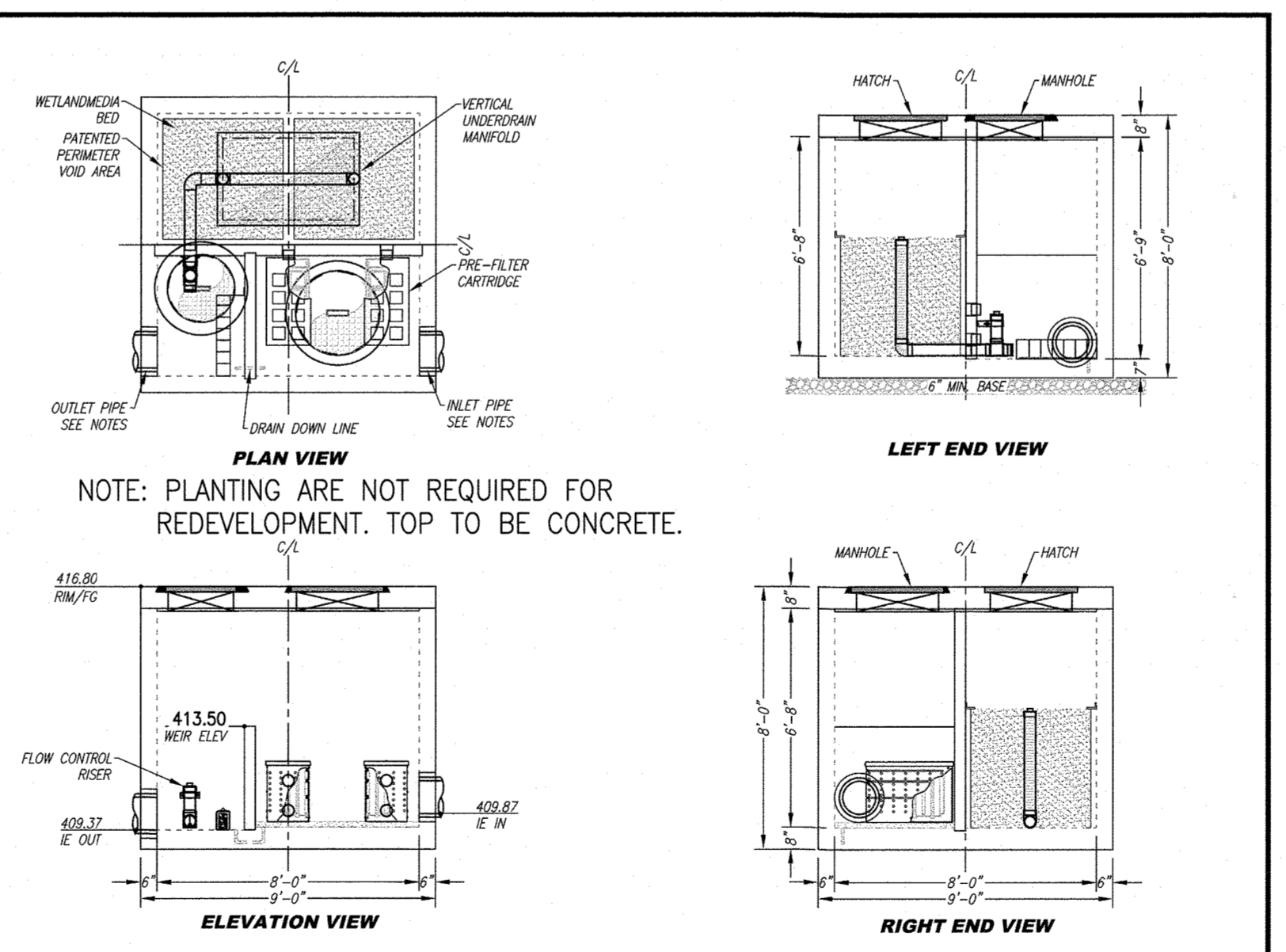
THE CONTRACTOR SHALL SUPPLY ALL OF THE FOLLOWING INFORMATION DURING AND AFTER THE CONSTRUCTION OF THE SWM SYSTEMS. ALL REQUIRED DOCUMENTS SHALL BE SUBMITTED WITHIN NINETY (90) DAYS OF THE DAY OF SUBSTANTIAL COMPLETION AS ACCEPTED BY THE OWNER:

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- MATERIAL TICKETS FOR ALL MATERIALS USED IN CONSTRUCTION OF THE FACILITIES.
- PHOTOGRAPHS OF CRITICAL INSPECTIONS INCLUDING, BUT NOT LIMITED TO:
 - THE INSIDE OF EACH FACILITY (PRETREATMENT CHAMBER, MEDIA, ETC.)
 - PIPES AND FITTINGS IN PLACE AFTER TRENCHING, PRIOR TO BACKFILLING.
 - THE COMPLETED FACILITIES AND SLOT DRAINS SURFACES.
- COMPLETED AS-BUILT TABLES WITH THE INSPECTOR'S INITIALS IN ORIGINAL HANDWRITING.



SITE SPECIFIC DATA

PROJECT NUMBER	1000000000
PROJECT NAME	AUDITORIUM RENOVATIONS, HARRIET TUBMAN BUILDING
PROJECT LOCATION	COLUMBIA, MD
STRUCTURE ID	MWS-1B
TREATMENT VOL. AVAILABLE (FT)	3.16
PEAK BYPASS REQUIRED (CFS) - IF APPLICABLE	---
PIPE DATA	I.E. MATERIAL DIAMETER
INLET PIPE 1	409.87 HDPE 12"
INLET PIPE 2	N/A N/A N/A
OUTLET PIPE	409.37 HDPE 12"
PRETREATMENT BIODISTRIBUTION DISCHARGE	
RIM ELEVATION	416.80 416.80 416.80
SURFACE LOAD	H2O H2O H2O
FRAME & COVER	48" 30" x 48" 424"
WETLAND MEDIA VOLUME (CY)	3.68
ORIFICE SIZE (DIA INCHES)	42.17"



- INSTALLATION NOTES**
- CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND INCIDENTALS REQUIRED TO OFFLOAD AND INSTALL THE SYSTEM AND APPURTENANCES IN ACCORDANCE WITH THIS DRAWING AND THE MANUFACTURER'S SPECIFICATIONS, UNLESS OTHERWISE STATED BY MANUFACTURER'S CONTRACT.
 - UNIT MUST BE INSTALLED ON LEVEL BASE. MANUFACTURER RECOMMENDS A MINIMUM 6" LEVEL ROCK BASE UNLESS SPECIFIED BY THE PROJECT ENGINEER. CONTRACTOR IS RESPONSIBLE FOR VERIFYING PROJECT ENGINEER'S RECOMMENDED BASE SPECIFICATIONS.
 - CONTRACTOR TO SUPPLY AND INSTALL ALL EXTERNAL CONNECTING PIPES. ALL PIPES MUST BE FLOSH WITH INSIDE SURFACE OF CONCRETE (PIPES CANNOT INTRUDE BEYOND FLOSH). INVERT OF OUTLET PIPE MUST BE FLOSH WITH DISCHARGE CHAMBER FLOOR. ALL PIPES SHALL BE SLOPED IN ACCORDANCE WITH MANUFACTURER'S STANDARD CONNECTION DETAIL.
 - CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL PIPES, RISERS, MANHOLES, AND HATCHES. CONTRACTOR TO GROUT ALL MANHOLES AND HATCHES TO MATCH FINISHED SURFACE UNLESS SPECIFIED OTHERWISE.
 - VEGETATION SUPPLIED AND INSTALLED BY MANUFACTURER.
 - CONTRACTOR RESPONSIBLE FOR CONTACTING BIO CLEAN FOR ACTIVATION OF UNIT. MANUFACTURER'S WARRANTY IS VOID WITHOUT PROPER ACTIVATION BY A BIO CLEAN REPRESENTATIVE.

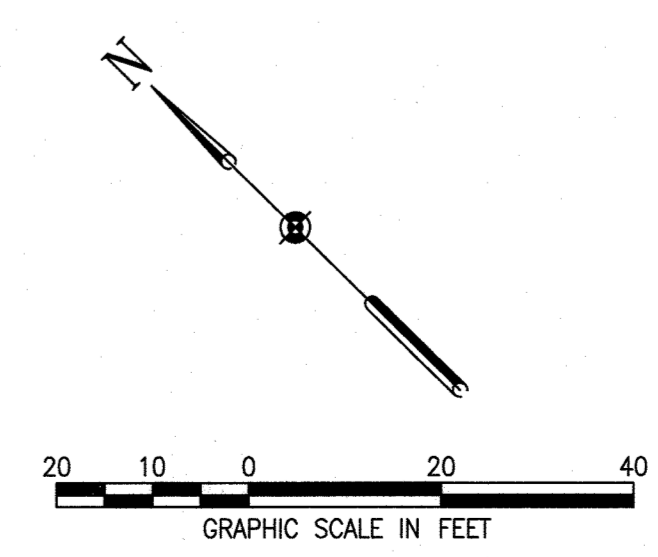
GENERAL NOTES

- MANUFACTURER TO PROVIDE ALL MATERIALS UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS, ELEVATIONS, SPECIFICATIONS AND OPERATES ARE SUBJECT TO CHANGE. FOR PROJECT SPECIFIC DRAWINGS DETAILING EXACT DIMENSIONS, WEIGHTS AND ACCESSORIES PLEASE CONTACT BIO CLEAN.

WETLANDS PROPRIETARY AND CONFIDENTIAL: THE DIMENSIONS, ELEVATIONS, SPECIFICATIONS AND OPERATES ARE SUBJECT TO CHANGE. FOR PROJECT SPECIFIC DRAWINGS DETAILING EXACT DIMENSIONS, WEIGHTS AND ACCESSORIES PLEASE CONTACT BIO CLEAN.

Bio Clean A Waters Company

MWS-L-8-8-6-8"-V-UG
STORMWATER BIOFILTRATION SYSTEM
STANDARD DETAIL



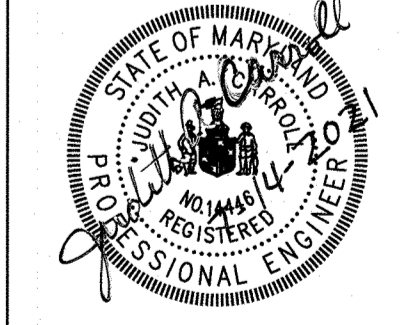
ADDRESS CHART

USE	STREET ADDRESS
RECREATIONAL BUILDING	8045 HARRIET TUBMAN LANE

OWNER/DEVELOPER
HOWARD COUNTY RECREATION AND PARKS
CONTACT: MICHAEL KAMINETZ, 410-313-5781
8045 HARRIET TUBMAN LANE
COLUMBIA, MD 21044

Murphy & Dittenhafer
ARCHITECTS
228 West Haines Street, York, Pennsylvania 17401
717-663-4667 voice
410-625-4623 voice
410-625-4644 fax

Description	Date	Mark
100% SD SUBMISSION	04/10/2020	
100% DD SUBMISSION	06/19/2020	
100% CONSTRUCTION DOCUMENTS	10/16/2020	
BID SET	11/23/2020	
ADDENDUM #2	2/1/2021	
REVISION #2 - SITE MODIFICATIONS	6/7/2021	
REVISION #3 - SITE MODIFICATIONS	7/1/2021	



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE No.: 14446 EXP. DATE: 5/25/23

PROJECT NO.: 18104A5

DRAWN BY: DVM

CHECKED BY: GWT

STORMWATER MANAGEMENT PLAN - MWS1B (ADDITIONAL SHEET)

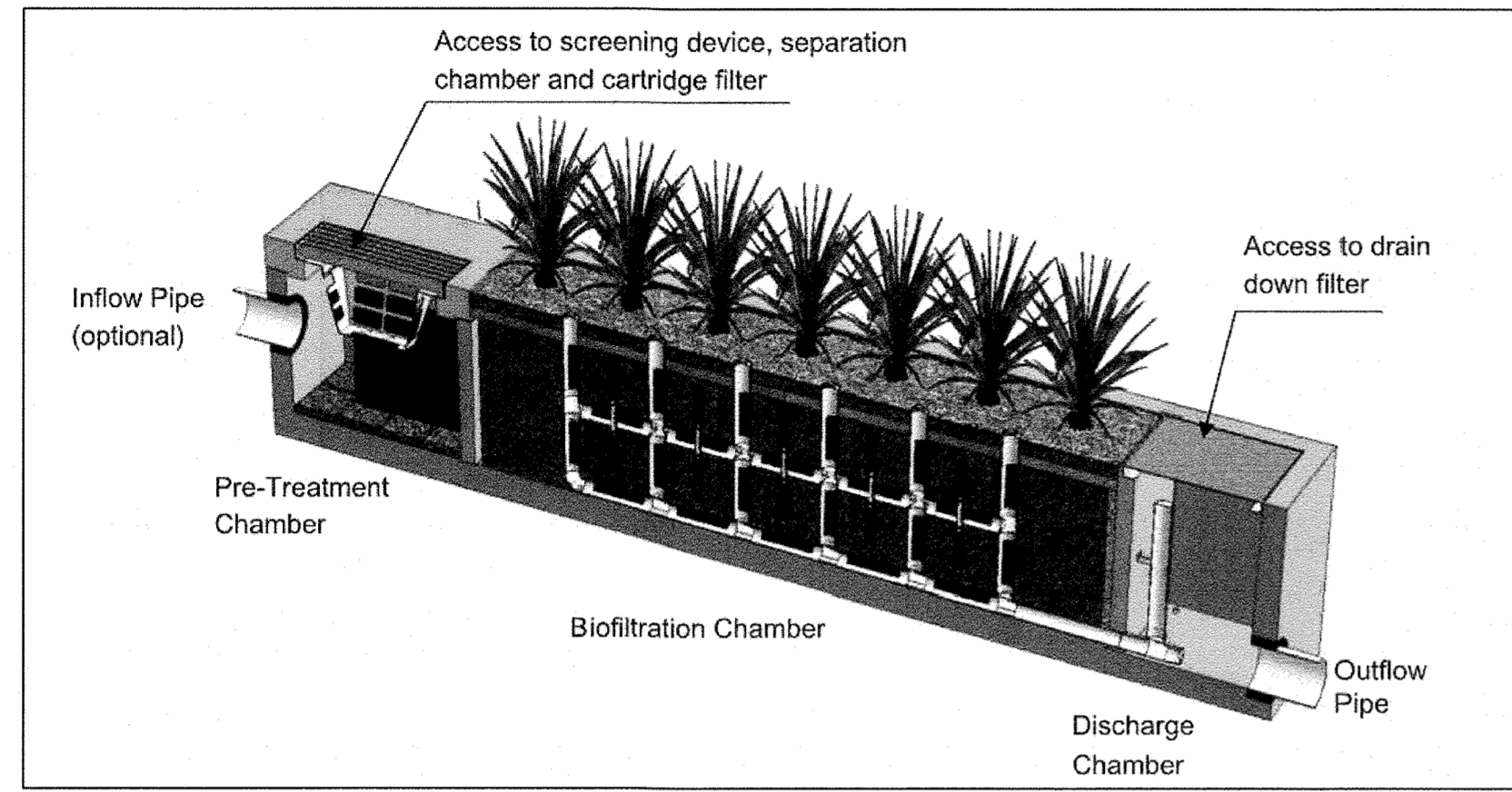
SHEET NO. **C18**

AUDITORIUM RENOVATIONS
HARRIET TUBMAN BUILDING
8045 HARRIET TUBMAN LANE, COLUMBIA MARYLAND

MAINTENANCE SCHEDULE – MODULAR WETLAND SYSTEM

1. REMOVE TRASH FROM SCREENING DEVICE – MAINTENANCE INTERVAL IS 6 TO 12 MONTHS.
2. REMOVE SEDIMENT FROM SEPARATION CHAMBER – MAINTENANCE INTERVAL IS 12 TO 24 MONTHS.
3. REPLACE CARTRIDGE FILTER MEDIA – MAINTENANCE INTERVAL IS 12 TO 24 MONTHS.
4. REPLACE DRAIN DOWN FILTER MEDIA – MAINTENANCE INTERVAL IS 12 TO 24 MONTHS.

SYSTEM DIAGRAM



MAINTENANCE PROCEDURES

SCREENING DEVICE

1. REMOVE GRATE OR MANHOLE COVER TO GAIN ACCESS TO THE SCREENING DEVICE IN THE PRE-TREATMENT CHAMBER. VAULT TYPE UNITS DO NOT HAVE SCREENING DEVICE. MAINTENANCE CAN BE PERFORMED WITHOUT ENTRY.
2. REMOVE ALL POLLUTANTS COLLECTED BY THE SCREENING DEVICE. REMOVAL CAN BE DONE MANUALLY OR WITH THE USE OF A VACUUM TRUCK. THE HOSE OF THE VACUUM TRUCK WILL NOT DAMAGE THE SCREENING DEVICE.
3. SCREENING DEVICE CAN EASILY BE REMOVED FROM THE PRE-TREATMENT CHAMBER TO GAIN ACCESS TO SEPARATION CHAMBER AND MEDIA FILTERS BELOW. REPLACE GRATE OR MANHOLE COVER WHEN COMPLETED.

SEPARATION CHAMBER

1. PERFORM MAINTENANCE PROCEDURES OF SCREENING DEVICE LISTED ABOVE BEFORE MAINTAINING THE SEPARATION CHAMBER.
2. WITH A PRESSURE WASHER, SPRAY DOWN POLLUTANTS ACCUMULATED ON WALLS AND CARTRIDGE FILTERS.
3. VACUUM OUT SEPARATION CHAMBER AND REMOVE ALL ACCUMULATED POLLUTANTS. REPLACE SCREENING DEVICE, GRATE OR MANHOLE COVER WHEN COMPLETED.

CARTRIDGE FILTERS

1. PERFORM MAINTENANCE PROCEDURES ON SCREENING DEVICE AND SEPARATION CHAMBER BEFORE MAINTAINING CARTRIDGE FILTERS.
2. ENTER SEPARATION CHAMBER.
3. UNSCREW THE TWO BOLTS HOLDING THE LID ON EACH CARTRIDGE FILTER AND REMOVE LID.
4. REMOVE EACH OF 4 TO 8 MEDIA CAGES HOLDING THE MEDIA IN PLACE.
5. SPRAY DOWN THE CARTRIDGE FILTER TO REMOVE ANY ACCUMULATED POLLUTANTS.
6. VACUUM OUT OLD MEDIA AND ACCUMULATED POLLUTANTS.
7. REINSTALL MEDIA CAGES AND FILL WITH NEW MEDIA FROM MANUFACTURER OR OUTSIDE SUPPLIER. MANUFACTURER WILL PROVIDE SPECIFICATION OF MEDIA AND SOURCES TO PURCHASE.
8. REPLACE THE LID AND TIGHTEN DOWN BOLTS. REPLACE SCREENING DEVICE, GRATE OR MANHOLE COVER WHEN COMPLETED.

DRAIN DOWN FILTER

1. REMOVE HATCH OR MANHOLE COVER OVER DISCHARGE CHAMBER AND ENTER CHAMBER.
2. UNLOCK AND LIFT DRAIN DOWN FILTER HOUSING AND REMOVE OLD MEDIA BLOCK. REPLACE WITH NEW MEDIA BLOCK. LOWER DRAIN DOWN FILTER HOUSING AND LOCK INTO PLACE.
3. EXIT CHAMBER AND REPLACE HATCH OR MANHOLE COVER.

MAINTENANCE NOTES

1. FOLLOWING MAINTENANCE AND/OR INSPECTION, IT IS RECOMMENDED THE MAINTENANCE OPERATOR PREPARE A MAINTENANCE/INSPECTION RECORD. THE RECORD SHOULD INCLUDE ANY MAINTENANCE ACTIVITIES PERFORMED, AMOUNT AND DESCRIPTION OF DEBRIS COLLECTED, AND CONDITION OF THE SYSTEM AND ITS VARIOUS FILTER MECHANISMS.
2. THE OWNER SHOULD KEEP MAINTENANCE/INSPECTION RECORD(S) FOR A MINIMUM OF FIVE YEARS FROM THE DATE OF MAINTENANCE. THESE RECORDS SHOULD BE MADE AVAILABLE TO THE GOVERNING MUNICIPALITY FOR INSPECTION UPON REQUEST AT ANY TIME.
3. TRANSPORT ALL DEBRIS, TRASH, ORGANICS AND SEDIMENTS TO AN APPROVED FACILITY FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REQUIREMENTS.
4. ENTRY INTO CHAMBERS MAY REQUIRE CONFINED SPACE TRAINING BASED ON STATE AND LOCAL REGULATIONS.
5. NO FERTILIZER SHALL BE USED IN THE BIOFILTRATION CHAMBER.
6. IRRIGATION SHOULD BE PROVIDED AS RECOMMENDED BY THE MANUFACTURER AND/OR LANDSCAPE ARCHITECT. THE AMOUNT OF IRRIGATION REQUIRED IS DEPENDENT ON PLANT SPECIES. SOME PLANTS MAY REQUIRE IRRIGATION.

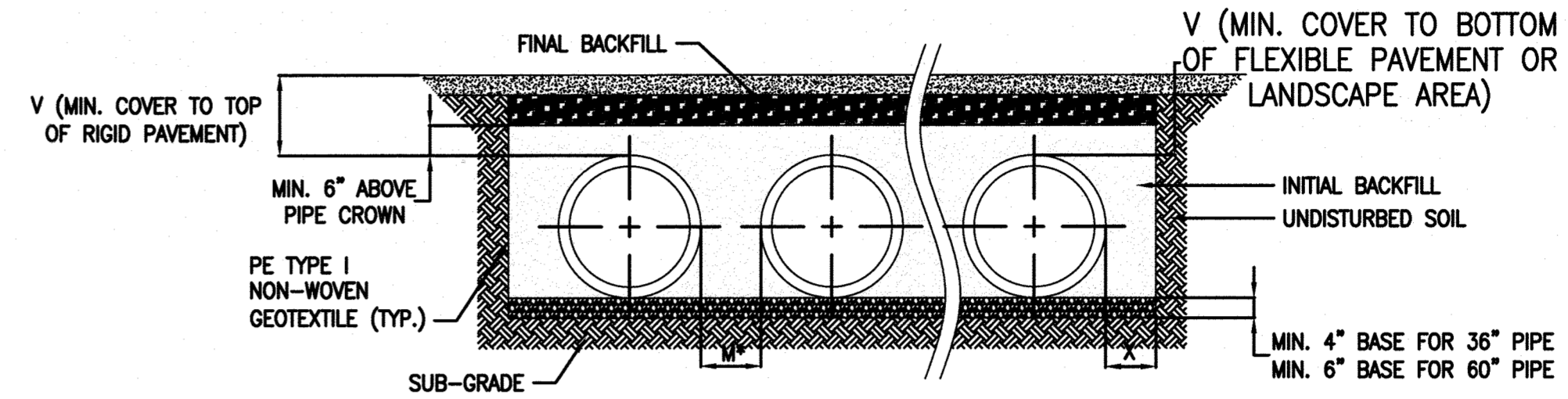
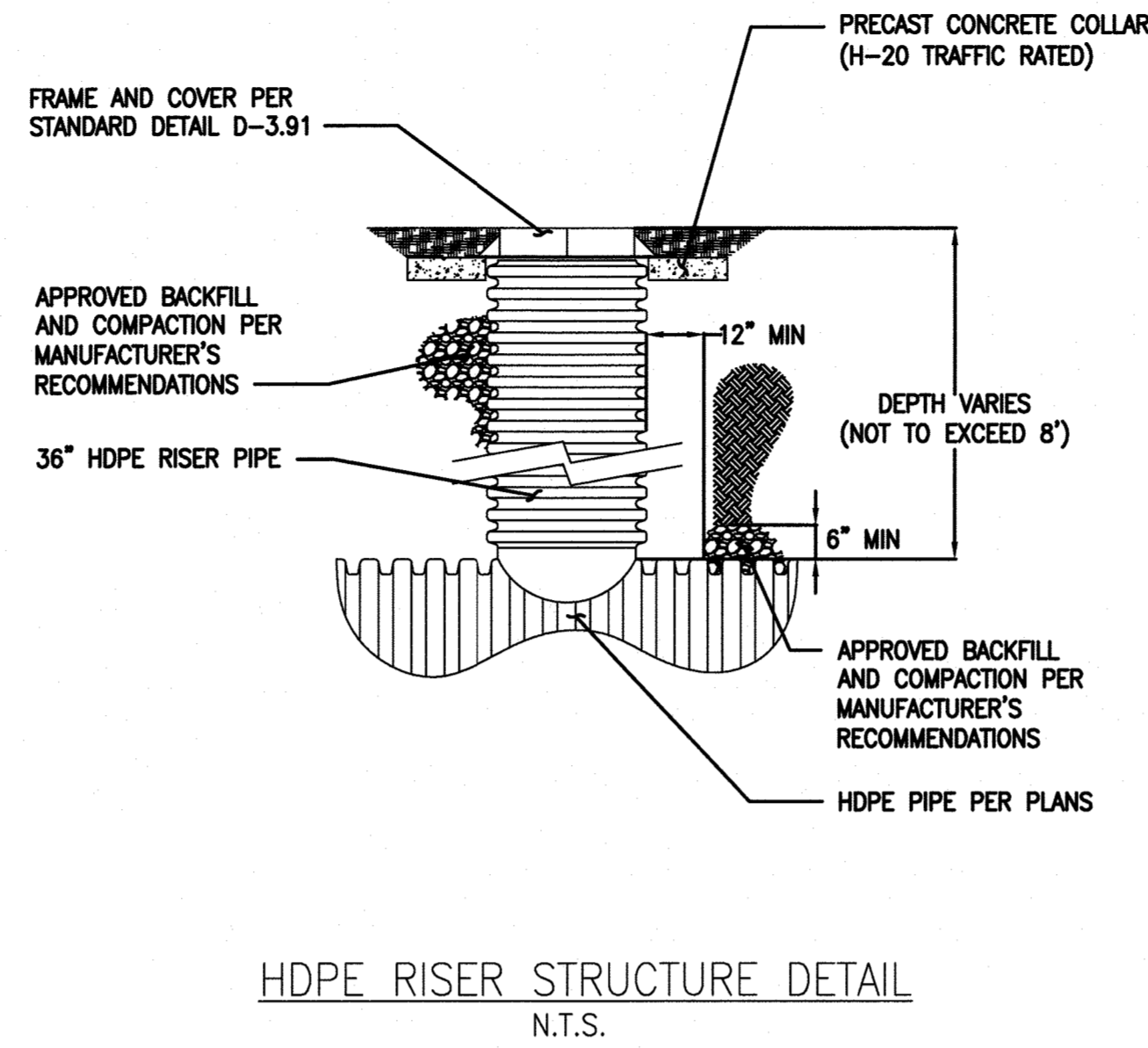
MEDIA MATERIAL SPECIFICATION FOR MODULAR WETLANDS:

MEDIA SHALL CONSIST OF CERAMIC MATERIAL PRODUCED BY EXPANDING AND VITRIFYING SELECT MATERIAL IN A ROTARY KILN. MEDIA MUST BE PRODUCED TO MEET THE REQUIREMENTS OF ASTM C330, ASTM C331, AND AASHTO M195. AGGREGATES MUST HAVE A MINIMUM 24-HOUR WATER ABSORPTION OF 10.5% MASS. MEDIA SHALL NOT CONTAIN ANY ORGANIC MATERIAL. FLOW THROUGH MEDIA SHALL BE HORIZONTAL FROM THE OUTER PERIMETER OF THE CHAMBER TOWARD THE CENTRALIZED AND VERTICALLY EXTENDING UNDERDRAIN. THE RETENTION TIME IN THE MEDIA SHALL BE AT LEAST 3 MINUTES. DOWNWARD FLOW FILTERS ARE NOT ACCEPTABLE ALTERNATIVES. THE THICKNESS OF THE MEDIA SHALL BE AT LEAST 19" FROM INFLUENT END TO EFFLUENT END. THE LOADING RATE ON THE MEDIA SHALL NOT EXCEED 1.1 GALLONS PER MINUTE PER SQUARE FOOT SURFACE AREA. MEDIA MUST BE CONTAINED WITHIN STRUCTURE THAT SPACES THE SURFACE OF THE MEDIA AT LEAST 2" FROM ALL VERTICALLY EXTENDING WALLS OF THE CONCRETE STRUCTURE. MEDIA MUST BE CONTAINED WITHIN STRUCTURE THAT SPACES THE SURFACE OF THE MEDIA AT LEAST 2" FROM ALL VERTICALLY EXTENDING WALLS OF THE CONCRETE STRUCTURE. MEDIA SHALL BE PROPRIETARY MEDIA FROM MODULAR WETLAND SYSTEM MANUFACTURER OR APPROVED EQUAL.

APPROVED
DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 7/6/24
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 7-20-24
 DIRECTOR

MAINTENANCE SCHEDULE – PIPE STORAGE

1. REMOVE TRASH FROM PIPE/RISER – MAINTENANCE INTERVAL IS 6 TO 12 MONTHS.
2. REMOVE SEDIMENT FROM PIPE/RISER – MAINTENANCE INTERVAL IS 12 TO 24 MONTHS.

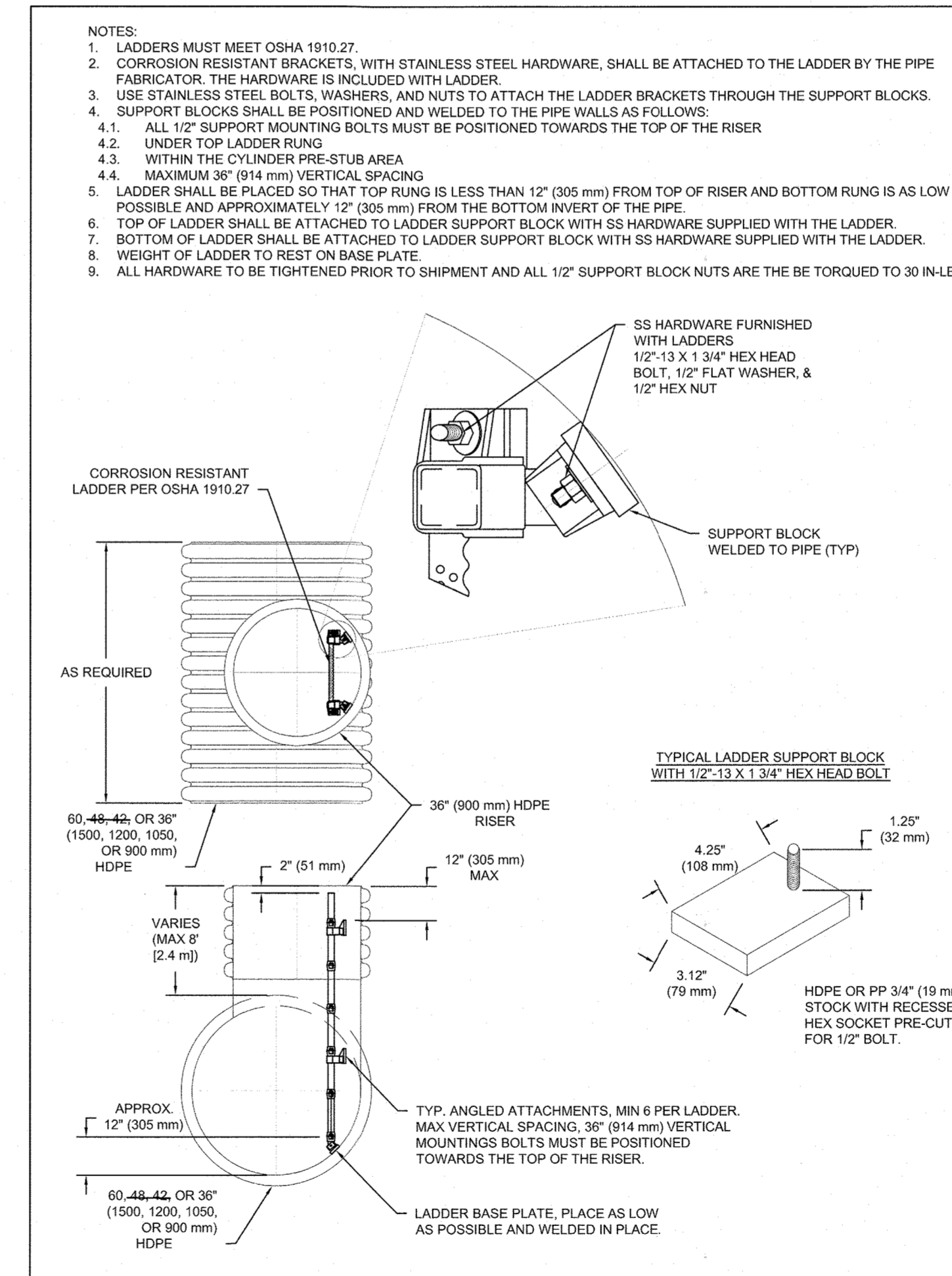


- NOTES:
1. RETENTION AND DETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF ASTM D2321 AND THE MANUFACTURER'S INSTALLATION GUIDELINES.
 3. SUB-GRADE: TRENCH BOTTOMS WITH UNSTABLE OR UNYIELDING MATERIAL SHALL BE EXCAVATED TO A DEPTH DIRECTED BY THE GEOTECHNICAL ENGINEER AND REPLACED WITH SUITABLE MATERIAL. FOR UNSTABLE MATERIALS, GEOTEXTILE MAY BE USED TO STABILIZE THE TRENCH BOTTOM, IF DIRECTED BY THE ENGINEER.
 4. BASE MATERIAL: SUITABLE MATERIAL SHALL BE CLASS I OR II, AS SPECIFIED BY ASTM D2321.
 5. INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I OR II, AS SPECIFIED BY ASTM D2321. COMPACTION AND BACKFILL LIFTS SHALL BE IN ACCORDANCE WITH ASTM D2321. INITIAL BACKFILL SHALL EXTEND TO NOT LESS THAN 6" ABOVE THE TOP OF THE PIPE.
 6. MINIMUM COVER: FOR UP TO H=25 TRAFFIC APPLICATIONS A MINIMUM OF 12" FOR PIPE DIAMETER UP TO 36" DIAMETER, AND 18" FOR 60" DIAMETER. MINIMUM COVER, V, SHALL BE MEASURED FROM THE TOP OF THE PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO THE TOP OF RIGID PAVEMENT. ADDITIONAL COVER MAY BE REQUIRED FOR CONSTRUCTION LOADS, VEHICLES OVER 20T, OR TO PREVENT FLOODING.
 7. FINAL BACKFILL: SUITABLE MATERIALS DIRECTED BY THE ENGINEER SHALL BE USED IN LANDSCAPE OR NON-TRAFFIC APPLICATIONS. FOR AREAS SUBJECT TO TRAFFIC A HIGHER DEGREE OF COMPACTION IS REQUIRED AND A SEPARATION LAYER OF NON-WOVEN GEOTEXTILE MAY BE REQUIRED. COMPACTION LEVELS AND/OR GEOTEXTILE MAY BE SPECIFIED AT THE DISCRETION OF THE DESIGN ENGINEER.

NOMINAL I.D.	APPROX. O.D.	MIN. DISTANCE TO SIDE WALL "X"	*SPACING "M"	MIN. COVER "V"
36"	40.6"	18"	21"	12"
48"	54.1"	18"	23"	18"
60"	66.8"	18"	27"	18"

*MINIMUM SPACING "M" MEASURED FROM OUTSIDE DIAMETERS

TYPICAL STORAGE PIPE SECTION
N.T.S.



HDPE RISER STRUCTURE LADDER DETAIL
N.T.S.

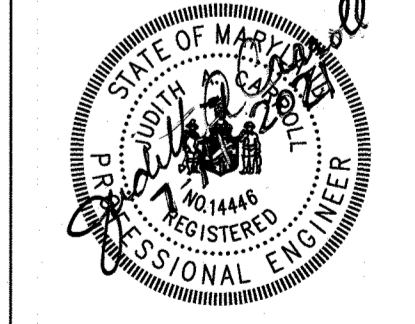
ADDRESS CHART

USE	STREET ADDRESS
RECREATIONAL BUILDING	8045 HARRIET TUBMAN LANE

OWNER/DEVELOPER
 HOWARD COUNTY RECREATION AND PARKS
 CONTACT: MICHAEL KAMINETZ, 410-313-5781
 8045 HARRIET TUBMAN LANE
 COLUMBIA, MD 21044

Murphy & Dittenhafer
ARCHITECTS
 805 North Charles Street, Baltimore, Maryland 21201
 410-625-4623 voice 410-625-4694 fax
 228 West Market Street, York, Pennsylvania 17401
 717-663-8621 voice 717-663-2460 fax

Mark	Date	Description
	04/10/2020	100% SD SUBMISSION
	08/19/2020	100% DD SUBMISSION
	10/16/2020	100% CONSTRUCTION DOCUMENTS
	11/23/2020	BID SET
	2/1/2021	ADDENDUM #2
	5/7/2021	REVISION #2 - SITE MODIFICATIONS
	7/1/2021	REVISION #3 - SITE MODIFICATIONS

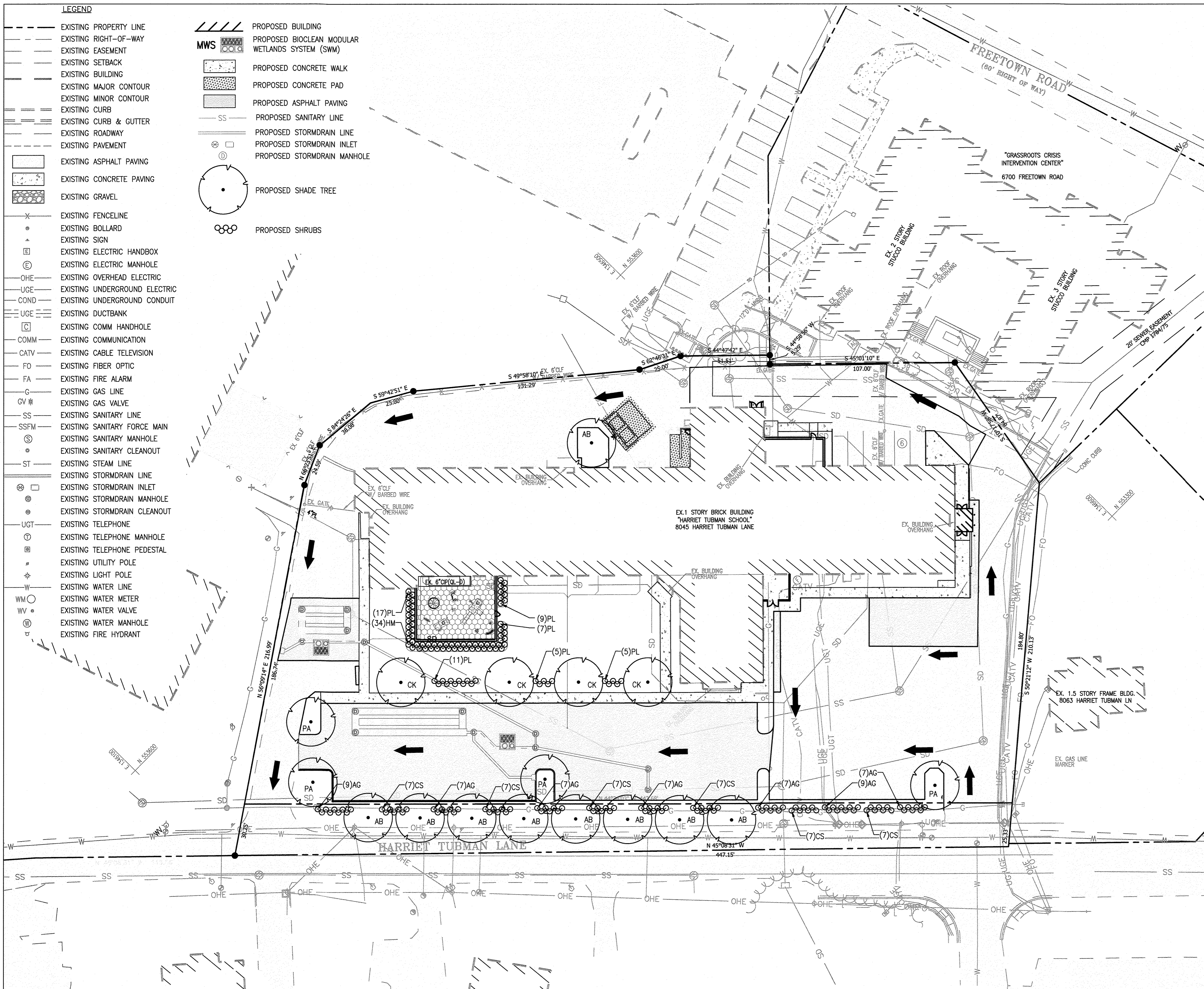


PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE No.: 14446 EXP. DATE: 5/25/23
 PROJECT NO.: 18104A5
 DRAWN BY: DWM
 CHECKED BY: GWT
STORMWATER MANAGEMENT PLAN - DETAILS (ADDITIONAL SHEET)
 SHEET NO. **C19**

LEGEND

---	EXISTING PROPERTY LINE
---	EXISTING RIGHT-OF-WAY
---	EXISTING EASEMENT
---	EXISTING SETBACK
---	EXISTING BUILDING
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	EXISTING CURB
---	EXISTING CURB & GUTTER
---	EXISTING ROADWAY
---	EXISTING PAVEMENT
---	EXISTING ASPHALT PAVING
---	EXISTING CONCRETE PAVING
---	EXISTING GRAVEL
X	EXISTING FENCELINE
*	EXISTING BOLLARD
+	EXISTING SIGN
⊞	EXISTING ELECTRIC HANDBOX
⊞	EXISTING ELECTRIC MANHOLE
OHE	EXISTING OVERHEAD ELECTRIC
UGC	EXISTING UNDERGROUND ELECTRIC
COND	EXISTING UNDERGROUND CONDUIT
UGB	EXISTING DUCTBANK
⊞	EXISTING COMM HANDBOX
COMM	EXISTING COMMUNICATION
CATV	EXISTING CABLE TELEVISION
FO	EXISTING FIBER OPTIC
FA	EXISTING FIRE ALARM
G	EXISTING GAS LINE
GV	EXISTING GAS VALVE
SS	EXISTING SANITARY LINE
SSFM	EXISTING SANITARY FORCE MAIN
⊞	EXISTING SANITARY MANHOLE
⊞	EXISTING SANITARY CLEANOUT
ST	EXISTING STEAM LINE
⊞	EXISTING STORMDRAIN LINE
⊞	EXISTING STORMDRAIN INLET
⊞	EXISTING STORMDRAIN MANHOLE
⊞	EXISTING STORMDRAIN CLEANOUT
UGT	EXISTING TELEPHONE
⊞	EXISTING TELEPHONE MANHOLE
⊞	EXISTING TELEPHONE PEDESTAL
⊞	EXISTING UTILITY POLE
⊞	EXISTING LIGHT POLE
W	EXISTING WATER LINE
WM	EXISTING WATER METER
WV	EXISTING WATER VALVE
⊞	EXISTING WATER MANHOLE
⊞	EXISTING FIRE HYDRANT

////	PROPOSED BUILDING
MWS	PROPOSED BIOCLEAN MODULAR WETLANDS SYSTEM (SWM)
---	PROPOSED CONCRETE WALK
---	PROPOSED CONCRETE PAD
---	PROPOSED ASPHALT PAVING
SS	PROPOSED SANITARY LINE
---	PROPOSED STORMDRAIN LINE
⊞	PROPOSED STORMDRAIN INLET
⊞	PROPOSED STORMDRAIN MANHOLE
⊞	PROPOSED SHADE TREE
⊞	PROPOSED SHRUBS



GENERAL LANDSCAPE NOTES

- DAMAGE TO EXISTING CONDITIONS TO REMAIN AND NEW CONSTRUCTION SHALL BE REPAIRED AND RESTORED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE SATISFACTION OF THE OWNER.
- CONTRACTOR SHALL VERIFY ACCURACY OF INFORMATION SHOWN ON THE DRAWINGS AND EXISTING CONDITIONS IN THE FIELD TO HIS OWN SATISFACTION.
- QUANTITIES SHOWN ON THE PLAN SHALL TAKE PRECEDENCE OVER QUANTITIES NOTED FOR ALL PLANT MATERIALS EXCEPT FOR GROUND COVERS, ANNUALS, AND PERENNIALS. CONTRACTOR SHALL CONFIRM ALL PLANT QUANTITIES TO HIS OWN SATISFACTION AND NOTIFY THE OWNER IF THERE IS A DIFFERENCE IN QUANTITIES NOTED AND SYMBOLS SHOWN ON THE DRAWINGS BEFORE PROCEEDING WITH INSTALLATION.
- PLANT MATERIAL SHALL BE TAGGED AT THE SOURCE BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE UNLESS THE REQUIREMENT IS SPECIFICALLY WAIVED.
- PROPOSED PLANT MATERIAL SUBSTITUTIONS ARE SUBJECT TO WRITTEN APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO DELIVERY AND INSTALLATION.
- ALL SHRUB AND GROUNDCOVER AREAS SHALL BE PLANTED IN CONTINUOUS, PREPARED BEDS AND MULCHED WITH DOUBLE SHREDDED HARDWOOD BARK MULCH AS DETAILED AND AS SPECIFIED.
- STAKES AND WIRES MUST BE REMOVED NO LATER THAN 12 MONTHS AFTER PLANTING.
- NO TREES SHALL BE PLACED CLOSER THAN 5' TO EXISTING OR PROPOSED UTILITIES UNLESS OTHERWISE NOTED.
- EACH LANDSCAPED AREA MUST BE READILY ACCESSIBLE TO A WATER SUPPLY. THE LANDSCAPE CONTRACTOR SHALL PROVIDE ALL EQUIPMENT NECESSARY TO TRANSPORT THE WATER FROM SOURCE TO REQUIRED LOCATIONS. THE LANDSCAPE CONTRACTOR SHALL WATER ALL PLANTS PROMPTLY, ADEQUATELY AND AS OFTEN AS NECESSARY TO INSURE PROPER PLANT GROWTH AND TO KEEP THE SOIL MOIST AND IN GOOD CONDITION SATISFACTORY TO THE OWNER'S REPRESENTATIVE. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR WATERING AND MAINTAINING THE HEALTHY CONDITION OF ALL PLANTS FROM THE TIME OF PLANTING AND SUBSTANTIAL COMPLETION AND ACCEPTANCE THROUGH END OF MAINTENANCE PERIOD.
- CONTAINERIZED TREES AND SHRUBS SHALL BE CHECKED FOR WRAPPED OR KINKED ROOTS, AND SHALL BE REPLACED IF PRESENT.
- PLANTING SHOULD OCCUR WITHIN 24 HOURS OF DELIVERY OF PLANT MATERIAL TO SITE. PLANT MATERIAL LEFT UNPLANTED FOR MORE THAN 24 HOURS SHOULD BE PROTECTED FROM DIRECT SUN AND WEATHER AND KEPT MOIST UNTIL PLANTED.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR AND EQUIPMENT TO COMPLETE ALL LANDSCAPE WARRANTY WORK FOR THE ENTIRE WARRANTY PERIOD.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR THE DURATION OF ONE FULL YEAR AFTER FINAL INSPECTION AND ACCEPTANCE OF THE WORK. PLANTS SHALL BE ALIVE AND IN GOOD GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD. WHEN NECESSARY, PLANT MATERIAL SHALL BE REPAIRED OR REPLACED WITH NEW MATERIAL TO ENSURE CONTINUED COMPLIANCE WITH APPLICATION REGULATIONS AT THE EXPENSE OF THE CONTRACTOR.
- LANDSCAPE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY IN THE AMOUNT OF \$32,550.00 WILL BE POSTED WITH THE GRADING PERMIT APPLICATION FOR THIS PLAN FOR THE REQUIRED 17 SHADE TREES, 183 SHRUBS. REFER TO LETTER OF JUSTIFICATION FOR ALTERNATIVE PLANTINGS, DATED JULY 9, 2021, FOR EXPLANATION OF ALTERNATIVE COMPLIANCE TO LANDSCAPING REQUIREMENTS.

APPROVED
DEPARTMENT OF PLANNING AND ZONING

7/19/21
DATE

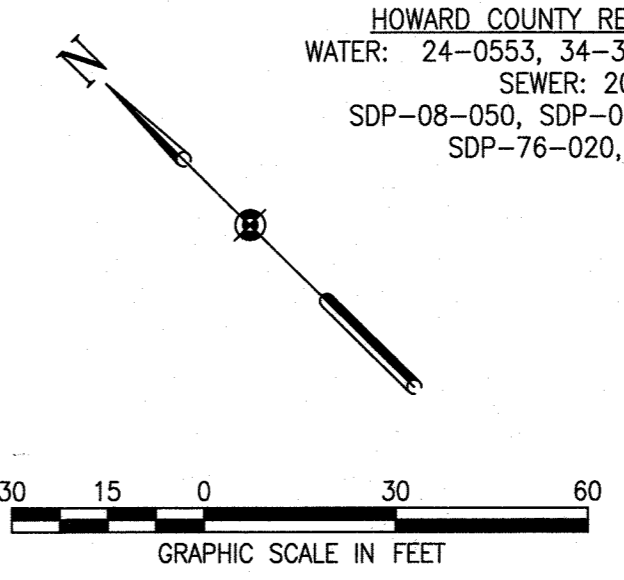
7/20/21
DATE

7/20/21
DATE

DEVELOPER'S / BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

OWNER / DEVELOPER: _____ DATE: 7/19/2021



HOWARD COUNTY REFERENCE DRAWINGS:
WATER: 24-0553, 34-3273, 24-3265, 24-4942
SEWER: 20-0915-D
SDP-08-050, SDP-06-137, SDP-01-116,
SDP-76-020, ECP-20-052

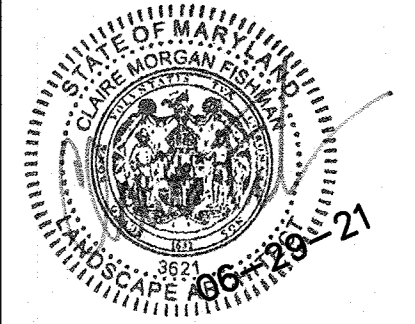
ADDRESS CHART

USE	STREET ADDRESS
RECREATIONAL BUILDING	8045 HARRIET TUBMAN LANE

SUBDIVISION NAME	SECTION/AREA	LOT/ PARCEL NO.			
ABOLTON HIGH SCHOOL	N/A	2/2025			
PLAT# OR L/T	GRID	ZONING	TAX MAP ID	ELECT DIST	GENUS TRACT
24481-53	0024	R-3C	0008	0008	0008

OWNER/DEVELOPER
HOWARD COUNTY RECREATION AND PARKS
CONTACT: MICHAEL KAMINETZ, 410-313-5781
8045 HARRIET TUBMAN LANE
COLUMBIA, MD 21044

Mark	Date	Description
	04/10/2020	100% SD SUBMISSION
	06/18/2020	100% DD SUBMISSION
	10/16/2020	100% CONSTRUCTION DOCUMENTS
	11/23/2020	BID SET
	2/1/2021	ADDENDUM #2
	5/7/2021	REVISE PLANS TO SHOW SITE MODIFICATIONS
	7/1/2021	EX. BLDG., NEW SWM & SITE IMPROVEMENTS.



PROJECT NO: 18104A5
DRAWN BY: DWM
CHECKED BY: GWT

PROPOSED
LANDSCAPE PLAN
(ADDITIONAL SHEET)

L1

AUDITORIUM RENOVATIONS
HARRIET TUBMAN BUILDING
8045 HARRIET TUBMAN LANE, COLUMBIA MARYLAND

Murphy & Pattenhafer
ARCHITECTS

228 West Holmes Street, York, Pennsylvania 17401
410-832-6525
1774-9626 Ave., York, PA 17402-4441

ONE-YEAR MAINTENANCE AND MONITORING AGREEMENT

THE COMPANY RESPONSIBLE FOR TREE CARE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND TREE CARE FOR A PERIOD OF ONE YEARS. SERVICES SHALL INCLUDE, BUT NOT BE LIMITED TO:

WATERING:

- WATERING SHALL BE PROVIDED DURING THE GROWING SEASON (LATE SPRING – EARLY FALL) AS REQUIRED TO KEEP TREES HEALTHY
- FIRST GROWING SEASON: ONCE PER WEEK
- SECOND GROWING SEASON: AS NEEDED, BUT NOT LESS THAN ONCE PER MONTH DURING JULY AND AUGUST.
- METHOD OF PROVIDING WATER SHALL INCLUDE HAND WATERING AND/OR SLOW RELEASE IRRIGATION BAGS

REINFORCEMENT PLANTING PROVISIONS:

- A MINIMUM OF 100% OF THE TOTAL NUMBER OF TREES AND SHRUBS PLANTED PER ACRE IS REQUIRED TO SURVIVE AT THE END OF THE ONE YEAR MAINTENANCE PERIOD.

PROTECTION FROM DISEASE AND INJURY:

- PERIODIC INSPECTION SHALL BE MADE FOR ANY EVIDENCE OF DISEASE OR DAMAGE.
- PERIODIC INSPECTION OF STAKES AND GUYS WIRES DAMAGE SHALL BE MADE.

WARRANTY PERIODS FROM DATE OF PLANTING COMPLETION AS DETERMINED BY THE OWNER:

- TREES AND SHRUBS: 12 MONTHS.
- GROUND COVERS, BIENNIALS, PERENNIALS, AND OTHER PLANTS: 12 MONTHS.

INCLUDE THE FOLLOWING REMEDIAL ACTIONS AS A MINIMUM:

- IMMEDIATELY REMOVE DEAD PLANTS AND REPLACE UNLESS REQUIRED TO PLANT IN THE SUCCEEDING PLANTING SEASON.
 - REPLACE PLANTS THAT ARE MORE THAN 25 PERCENT DEAD OR IN AN UNHEALTHY CONDITION AT END OF WARRANTY PERIOD.
 - PRUNE ALL CROSSING BRANCHES, SUCKERS, AND WATER SPROUTS TO MAINTAINS PLANT HEALTH.
 - A LIMIT OF ONE REPLACEMENT OF EACH PLANT WILL BE REQUIRED EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE TO COMPLY WITH REQUIREMENTS.
 - PROVIDE EXTENDED WARRANTY FOR PERIOD EQUAL TO ORIGINAL WARRANTY PERIOD, FOR REPLACED PLANT MATERIAL.
 - REMOVE WEEDS NOT LESS THAN ONCE PER MONTH
 - REMOVAL OF TREE STAKES AND GUY WIRE AT THE END OF THE WARRANTY PERIOD.
- 1) IMMEDIATELY REMOVE AND REPLACE DAMAGED TREES DUE TO GUY WIRE.

SOIL CARE / FERTILIZATION

1. INITIAL SOIL TESTING IS REQUIRED. SOIL TEST SHALL BE A REPRESENTATIVE SAMPLE FROM EACH AREA.
2. TREATMENTS SHALL BE BASED ON THE RESULTS OF THE SOIL ANALYSIS. SOIL ANALYSIS SHALL BE CONDUCTED BY A UNIVERSITY OR LAB AS LISTED IN THE SPECIFICATIONS. CONTRACTOR SHALL IMPORT SOIL TO THE SITE FOR USE IN LANDSCAPE PLANTING BEDS AS NECESSARY PER THE RECOMMENDATIONS OF A CERTIFIED PROFESSIONAL SOIL SCIENTIST (CPSS).
3. FERTILIZATION SHALL BE CONSISTENT WITH THE RECOMMENDATIONS OF THE ANSI A-300 (PART 2) TREE, SHRUB, AND OTHER WOODY PLANT MAINTENANCE – STANDARD PRACTICES (FERTILIZATION), LATEST EDITION.
4. APPLICATION RATES SHALL NOT EXCEED A RATE OF 1 LB OF ACTUALLY NITROGEN PER 1,000 SQUARE FEET ANNUALLY TO REDUCE THE RISK OF EXCESSIVE NITROGEN LOSS THROUGH LEACHING. FERTILIZER USED SHALL INCLUDE HUMIC ACIDS, SOLUBLE SEAWEED EXTRACTS AND SOIL BIOLOGICAL INOCULANTS SUCH AS PHC OR APPROVED EQUAL. ORGANIC MATTER SHALL BE APPLIED AT A RATE OF 1 CUBIC FOOT MINIMUM PER TREE PIT.

PLANT SCHEDULE

KEY	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	ROOT	COMMENT
SHADE TREES						
AB	9	ACER BUERGERIANUM	TRIDENT MAPLE	2.5" CAL.	B&B	EVENLY BRANCHED, MATCHED SPECIMENS
CK	4	CLADRASITIS KENTUKEA	YELLOWWOOD	2.5" CAL.	B&B	EVENLY BRANCHED, SINGLE STEM
PA	4	PLATANUS X ACERIFOLIA 'COLUMBIA'	COLUMBIA LONDON PLANE TREE	3" CAL.	B&B	EVENLY BRANCHED, MATCHED SPECIMENS
SHRUBS						
AG	53	ABELIA X GRANDIFLORA 'LITTLE RICHARD'	LITTLE RICHARD GLOSSY ABELIA	#5	CONT.	EVENLY BRANCHED, MATCHED SPECIMENS
CS	42	CORNUS SERICEA 'FARROW'	ARCTIC FIRE RED-TWIG DOGWOOD	#5	CONT.	EVENLY BRANCHED, MATCHED SPECIMENS
HM	34	HYDRANGEA MACROPHYLLA 'ALL SUMMER BEAUTY'	ALL SUMMER BEAUTY BIGLEAF HYDRANGEA	#5	CONT.	EVENLY BRANCHED, MATCHED SPECIMENS
PL	54	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN CHERRY LAUREL	#5	CONT.	EVENLY BRANCHED, MATCHED SPECIMENS

SCHEDULE A PERIMETER LANDSCAPE EDGE

CATEGORY	PARKING ADJACENT TO ROADWAY (PERIMETER P1)
LANDSCAPE TYPE	<p>TYPE E</p> <ul style="list-style-type: none"> • 1 SHADE TREE PER 40 LF • 0 EVERGREEN TREE • 1 SHRUB PER 4 LF
LINEAR FEET OF ROADWAY FRONTAGE / PERIMETER	377 LF
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO
CREDIT FOR WALL, FENCE, OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO
NUMBER OF PLANTS REQUIRED	
SHADE TREES	9
EVERGREEN TREES	0
SHRUBS	94
NUMBER OF PLANTS PROVIDED	
SHADE TREES	9*
EVERGREEN TREES	0
OTHER TREES (2:1 SUBSTITUTION)	0
SHRUBS (10:1 SUBSTITUTION)	95
(DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)	

*NOTE:
PERIMETER 1: ONE (1) SHADE TREES HAVE BEEN LOCATED IN THE REAR OF THE BUILDING AS EXISTING UNDERGROUND UTILITIES PREVENT THE PLACEMENT OF TREES ALONG THE EASTERN MOST PORTION OF THE PERIMETER.

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	114 SPACES TOTAL
NUMBER OF TREES / ISLANDS REQUIRED (1 PER 20 SPACES)	6
NUMBER OF TREES PROVIDED LANDSCAPE ISLANDS*	7
SHADE TREES	4 SHADE TREES
SHRUBS	21 SHRUBS
OTHER TREES (2:1 SUBSTITUTION)	0

NOTE:
1) EACH LANDSCAPED ISLAND IS A MINIMUM OF 10' WIDE AND 175 SF OF PLANTABLE SPACE PER COUNTY APPROVAL.

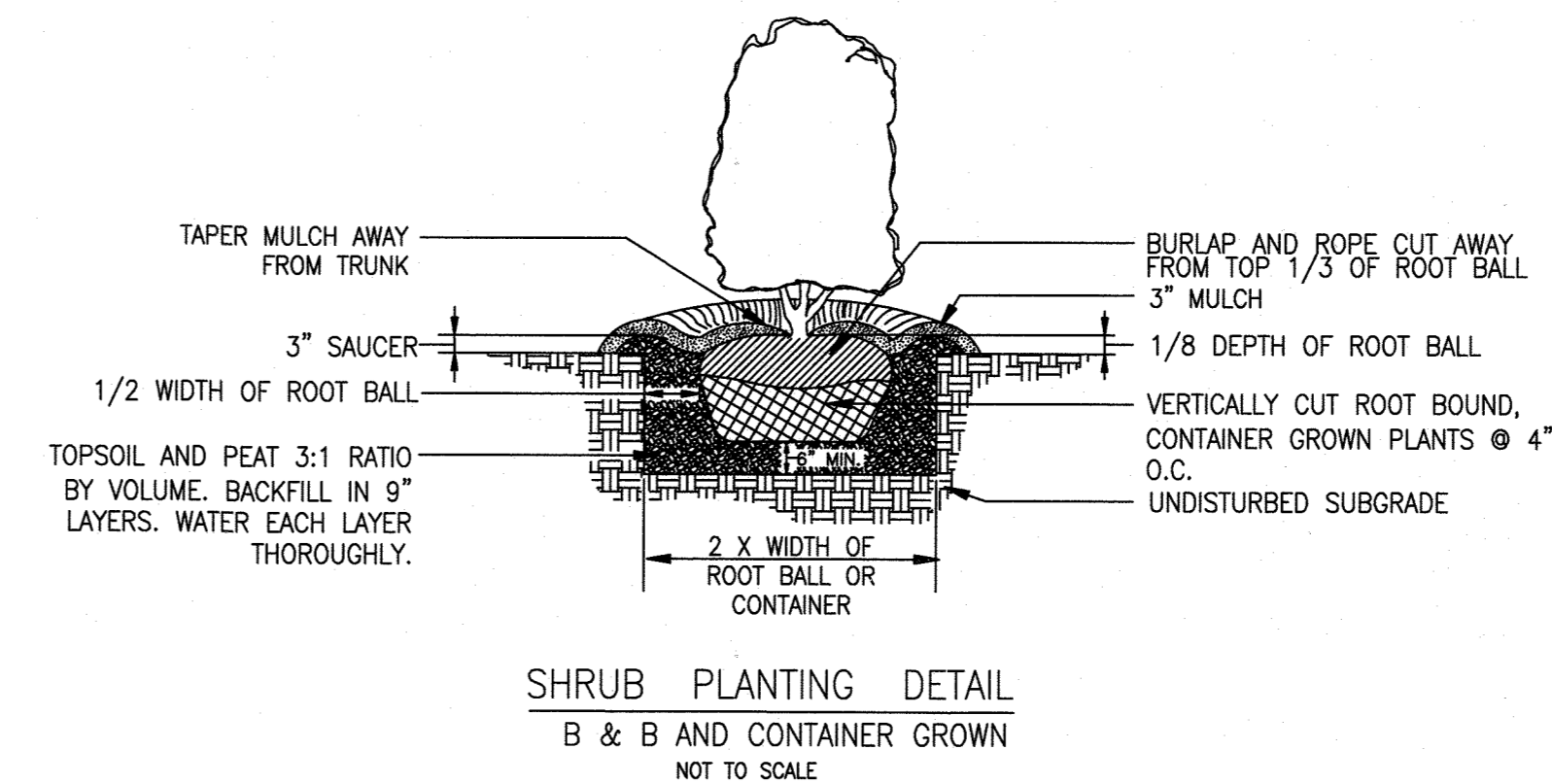
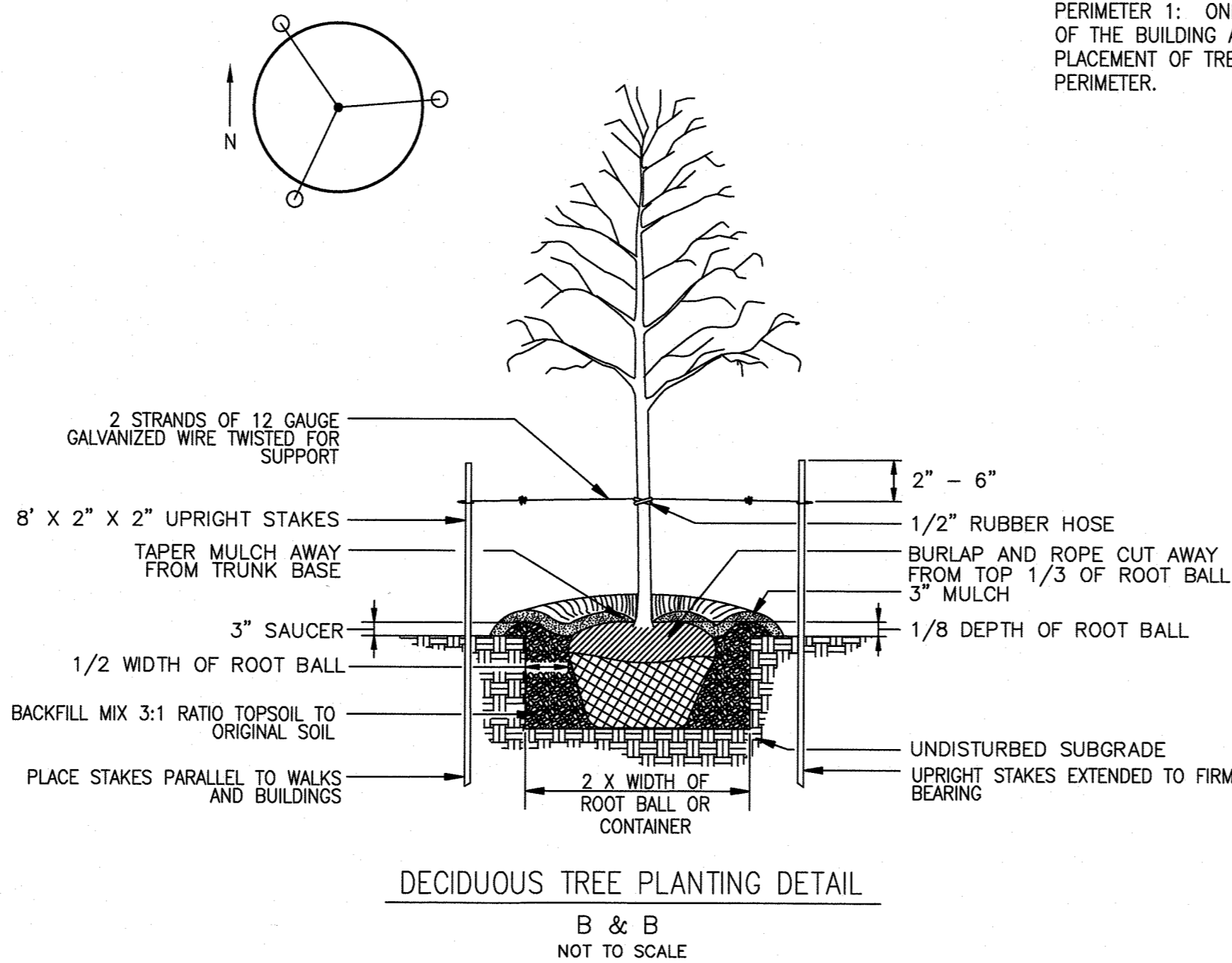
STREET TREE REQUIREMENT

377 LF OF PUBLIC ROAD

REQUIRED:
9 MAJOR TREES REQUIRED (40 LF APART)
OR
13 MINOR TREES REQUIRED (30 LF APART)

PROVIDED:
4 MAJOR SHADE TREES PROVIDED @ 25± LF APART**
67 SHRUBS PROVIDED ADJACENT TO PLAYGROUND**

** 4 SHADE TREES AND 67 SHRUBS LOCATED AROUND THE PROPOSED PLAYGROUND AND BETWEEN THE PROPOSED PARKING LOT AND EXISTING BUILDING HAVE BEEN SUBSTITUTED FOR THE REQUIRED STREET TREES DUE TO THE LACK OF SPACE AND THE PRESENCE OF EXISTING UNDERGROUND UTILITIES OBSTRUCTION.



HOWARD COUNTY REFERENCE DRAWINGS:
WATER: 24-0553, 34-3273, 24-3265, 24-4942
SEWER: 20-0915-D
SDP-08-050, SDP-06-137, SDP-01-116,
SDP-76-020, ECP-20-052

ADDRESS CHART	
USE	STREET ADDRESS
RECREATIONAL BUILDING	8045 HARRIET TUBMAN LANE

SUBDIVISION NAME	SECTION/AREA	LOT/ PARCEL NO.
ARTHUR HIGH SCHOOL	N/A	N/A

OWNER/DEVELOPER
HOWARD COUNTY RECREATION AND PARKS CONTACT: MICHAEL KAMINETZ, 410-313-5781 8045 HARRIET TUBMAN LANE COLUMBIA, MD 21044

APPROVED
DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT-ENGINEERING DIVISION
DATE: 7/15/21

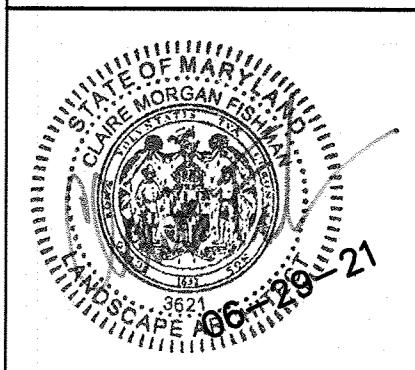
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 7/22/21

DIRECTOR
DATE: 7/22/21

AUDITORIUM RENOVATIONS
HARRIET TUBMAN BUILDING
8045 HARRIET TUBMAN LANE, COLUMBIA MARYLAND

Murphy & Dittenhafer
ARCHITECTS
228 West Market Street, York, Pennsylvania 17401
410-525-8833 voice 410-525-8827 fax 717-843-2468 fax

Mark	Date	Description
	04/10/2020	100% SD SUBMISSION
	08/19/2020	100% DD SUBMISSION
	10/06/2020	100% CONSTRUCTION DOCUMENTS
	11/23/2020	BID SET
	2/1/2021	ADDENDUM #2
	5/7/2021	REVISION #2 - SITE MODIFICATIONS
	7/1/2021	REVISE PLANS TO SHOW SITE MODS FOR THE 3RD, 4TH, 5TH, 6TH & 7TH FLOORS



PROJECT NO: 18104A5
DRAWN BY: DWMT
CHECKED BY: GWMT

PROPOSED LANDSCAPE NOTES AND DETAILS (ADDITIONAL SHEET)

SHEET NO. L2