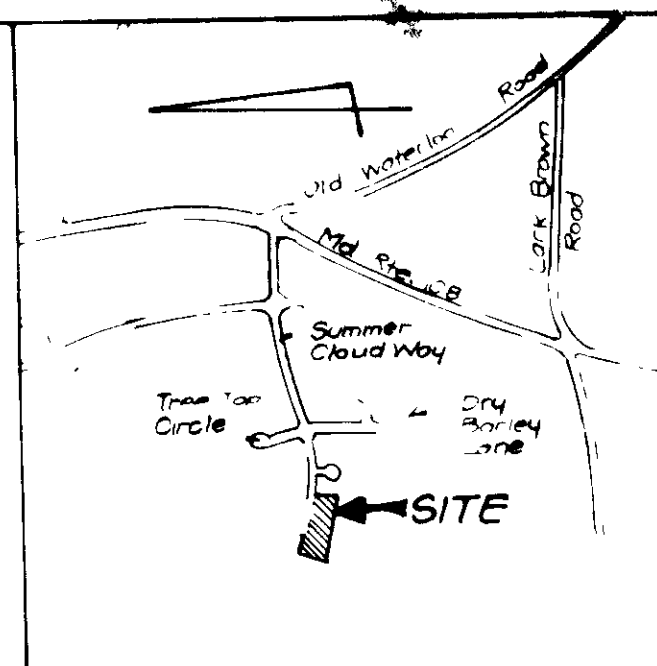


NO	REVISION	Date
1	Rev Lot 36 hse & grd from Nantucket II (rev) to Mystic (Rev)	10 25 89
2	Rev hse and grd lot 37 to Model "A", Lot 35 to NANTUCKET (Rev)	2 27 91

LEGEND

- Existing Contour 1.2'
- Proposed Contour 3.26'
- Contour Interval 2 FT
- Direction of Drainage



GENERAL NOTES

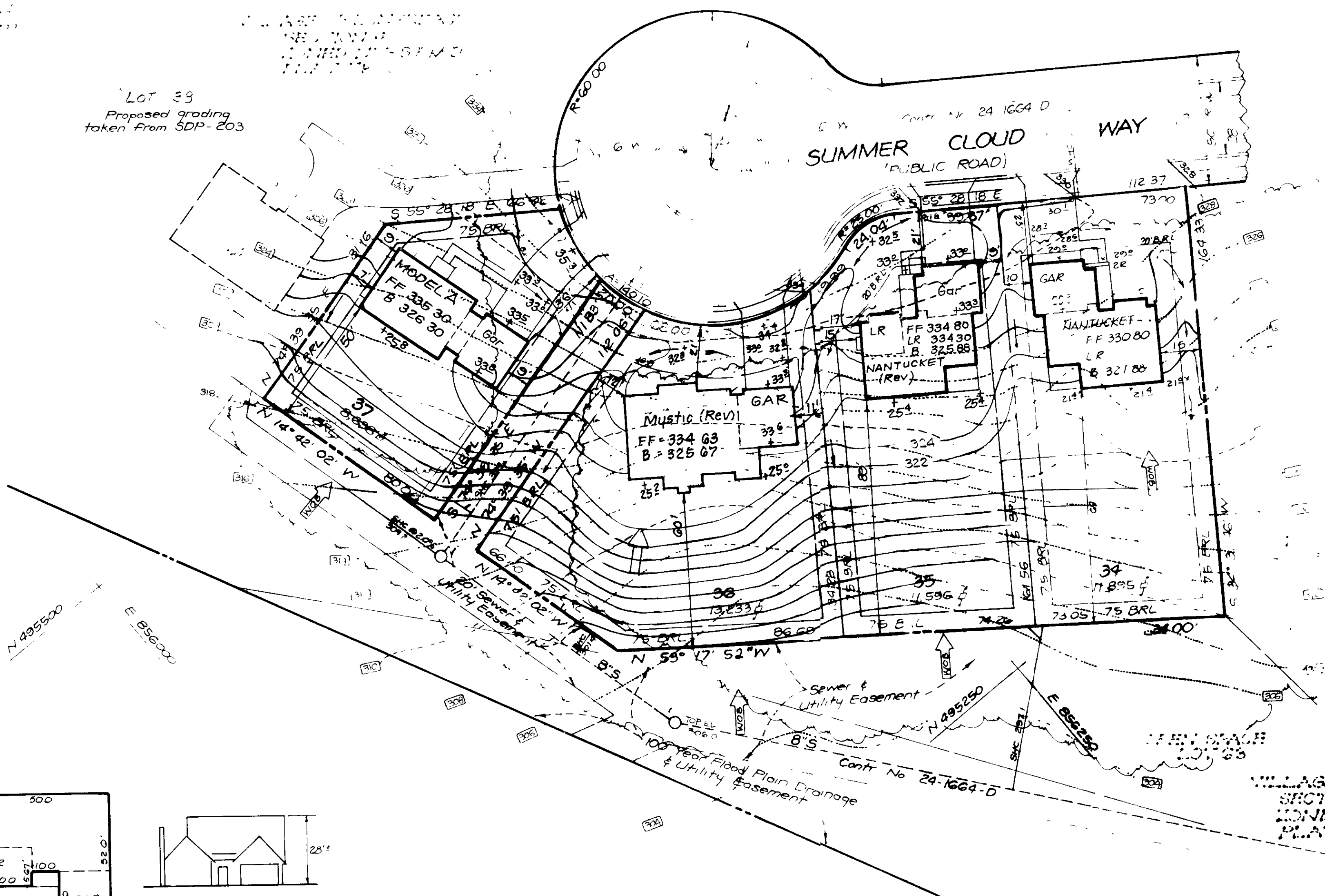
1. This property is zoned R-15000, per Comprehensive Zoning Plan dated 8-2-85.
2. This plan was prepared in accordance with the Maryland State Grid System and is based on the Maryland State Grid System, Station 2544002.
3. All lots are to be shown as existing.
4. All proposed utility easements are to be collected at the Developers' risk.
5. Total area included 104 Ac.
6. Total number of lots 4.
7. Reference Final Development Plan Section 2 (Page 196 Section 4 Phase 197 Part 1).
8. The contractor or developer shall contact the Construction Inspection Survey Division, at the time of commencement of work at 787 2630.
9. Reference Numbers S 87-39, P 87-60, F 88-76.

SPECIAL NOTES

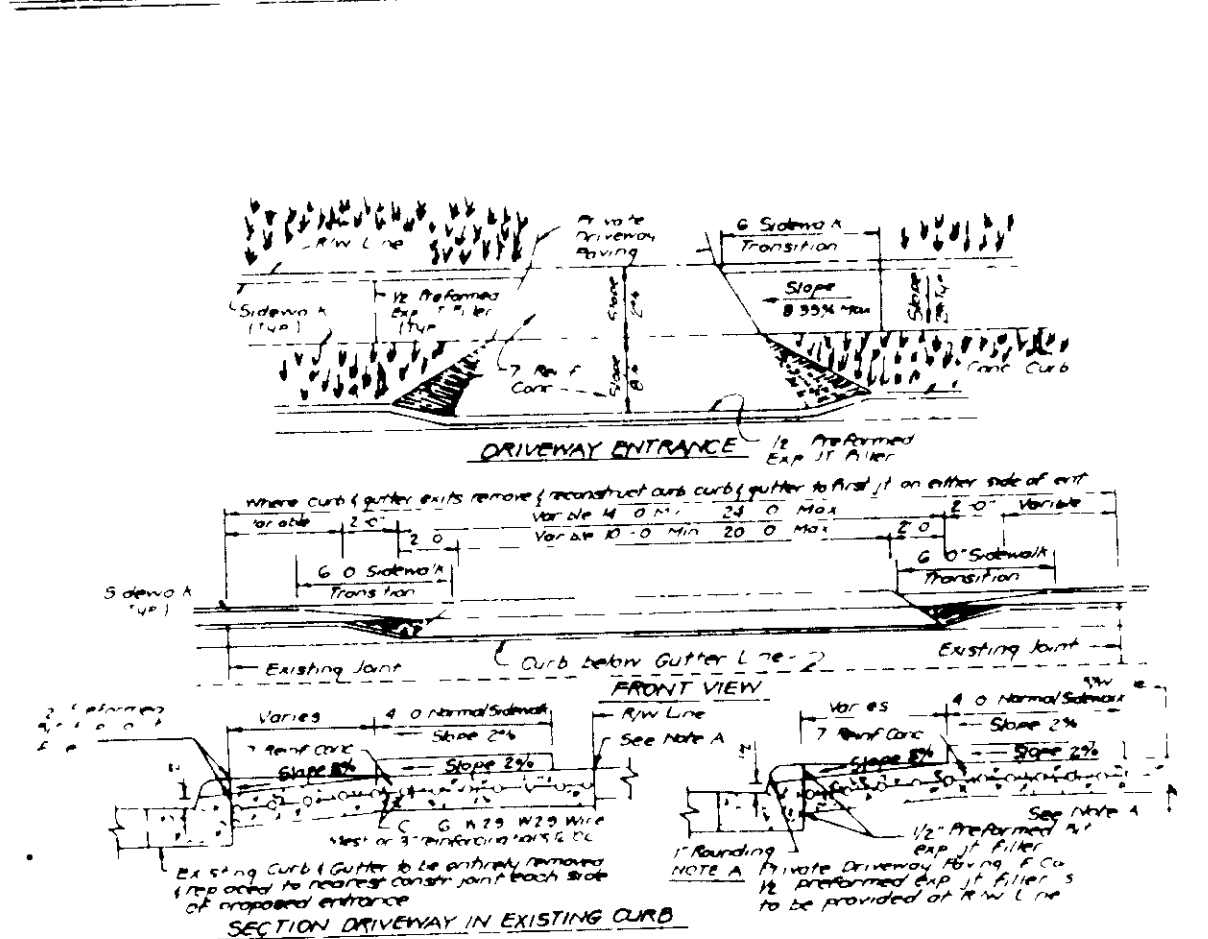
1. All proposed construction shall be subject to all utility easements.
2. The water and sewer house connections are not included in a Leasehold Agreement, as per the Howard County Planning Department, through the SAC, 5110 27th St.
3. The Stormwater Management Plan for the Village of Longreach, dated 1987.
4. Public water and sewer shown for reference only for zoning purposes. No connection to sewer or water mains shall be made without a permit from the County, 5110 27th St.

ADDRESS CHART

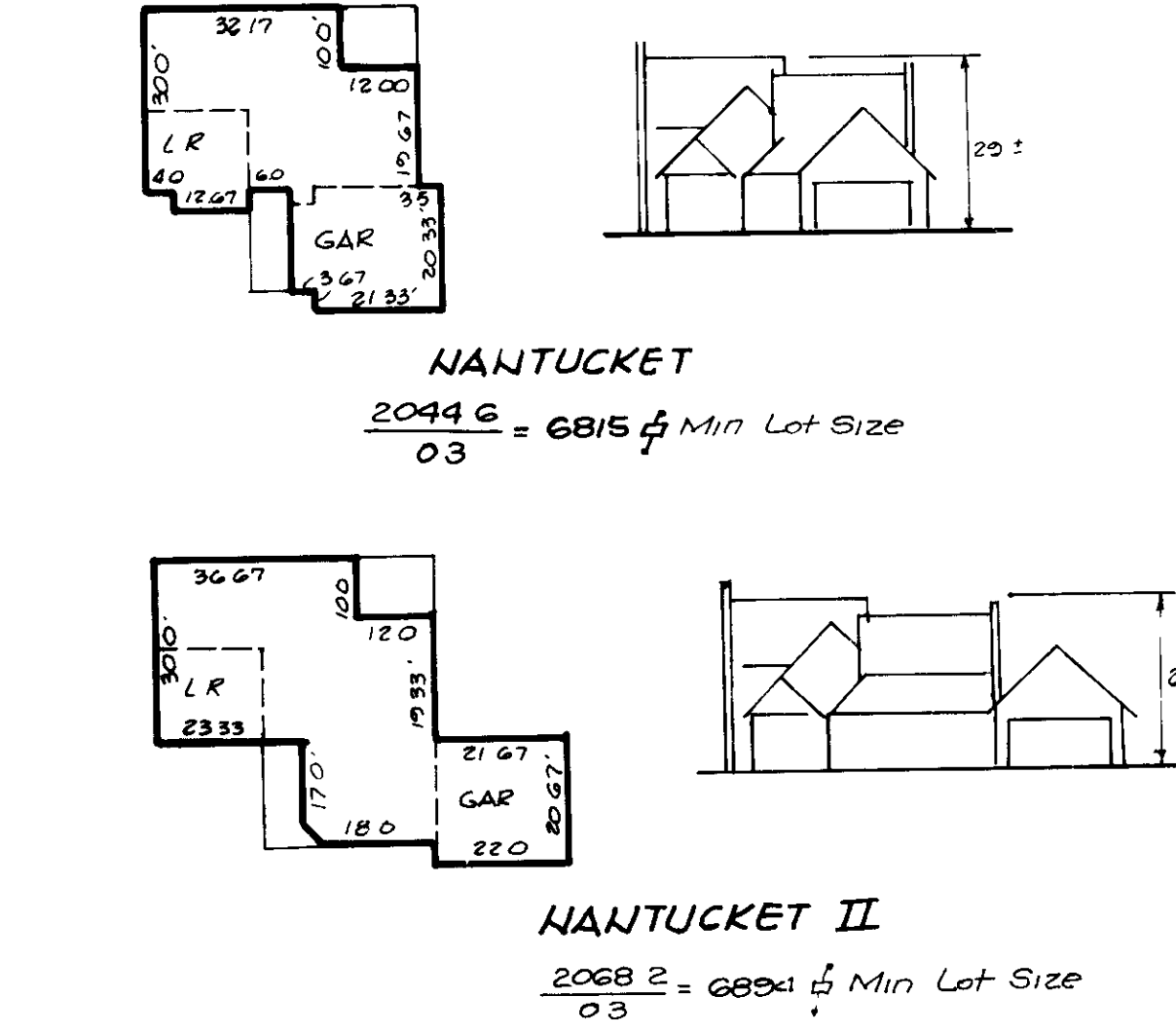
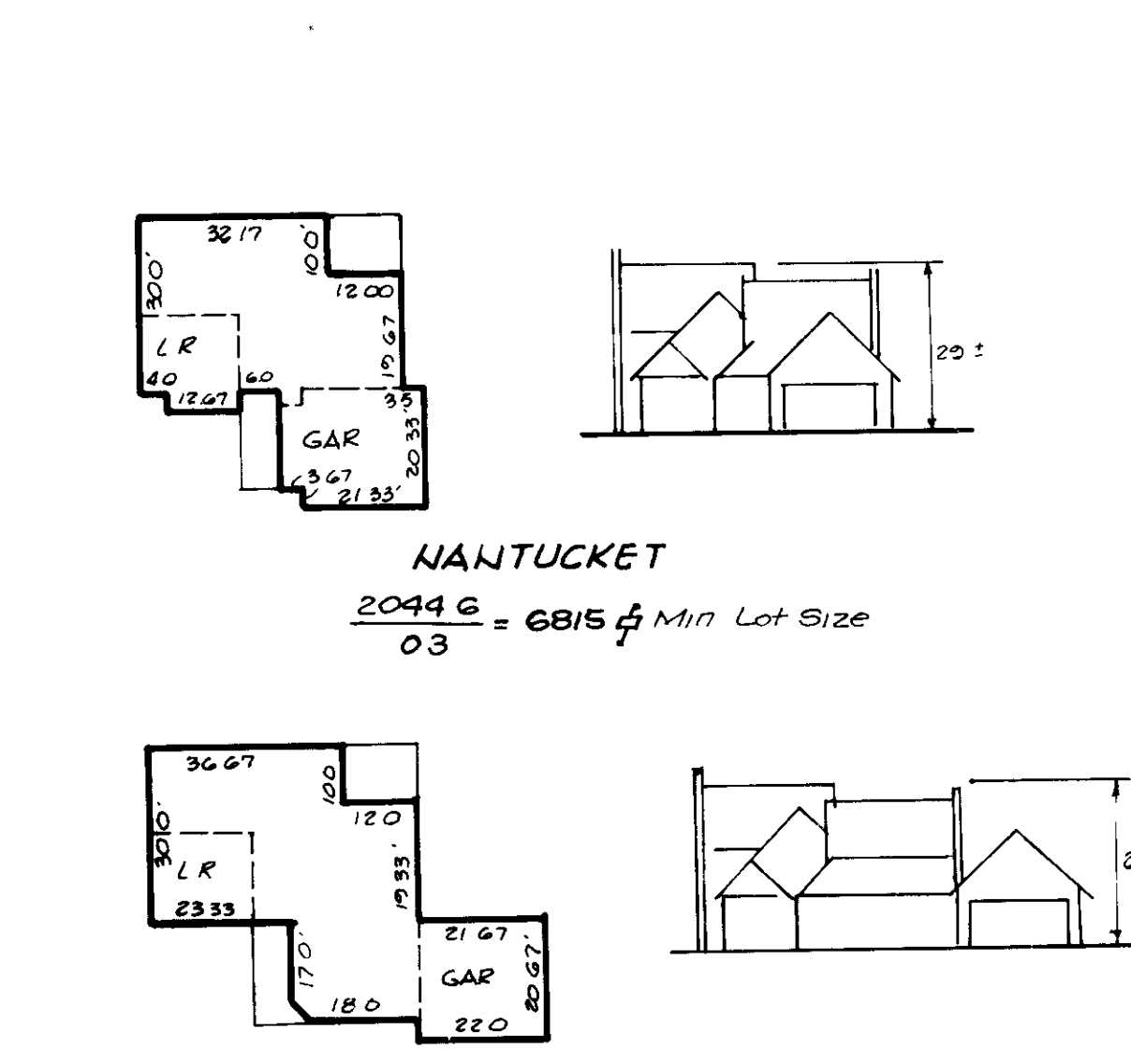
LOT NO	STREET ADDRESS
34	6483 SUMMER CLOUD WAY
35	6487 " " " "
36	6491 " " " "
37	6495 " " " "



DRIVEWAY ABUTTING CLOSED SECTION WITH MODIFIED COMB CURB & GUTTER & SIDEWALK

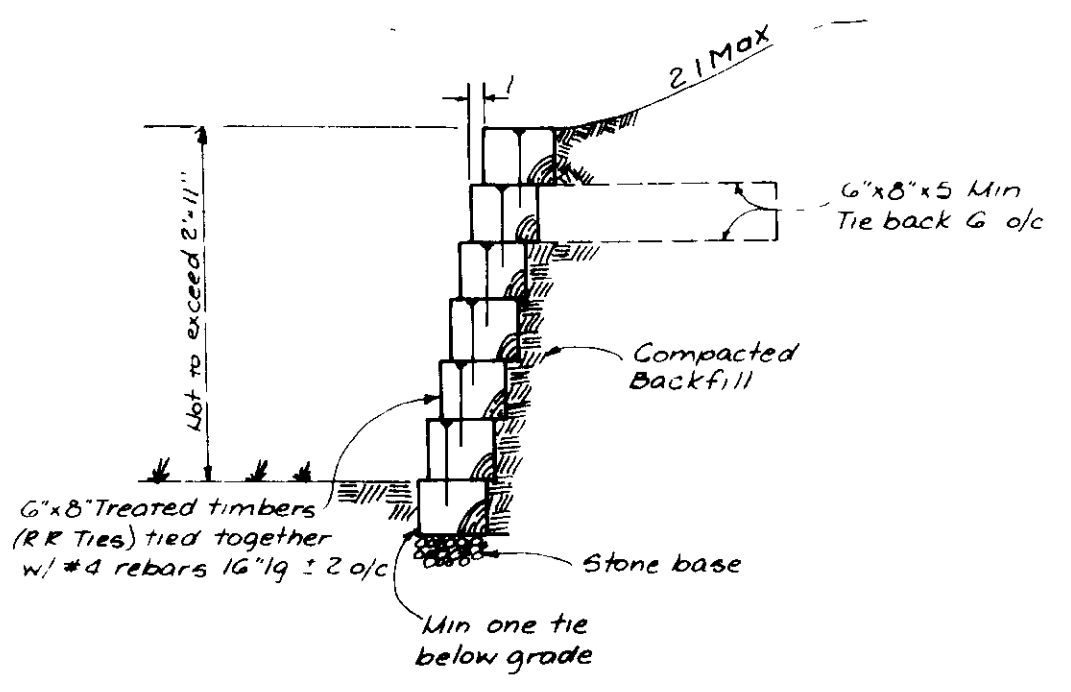


DRIVEWAY ABUTTING CLOSED SECTION WITH STD 7" COMB CURB & GUTTER & SIDEWALK SET BACK FROM CURB



TYPICAL HOUSES

Scale 1"=30'
Note: Buildings have 0'67" roof overhangs front & rear



TYPICAL RETAINING WALL

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
COUNTY HEALTH OFFICER: [Signature] DATE: 1-17-89

APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING
PLANNING DIRECTOR: [Signature] DATE: 1/6/89

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
BY DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DIRECTOR: [Signature] DATE: 1/3/89

CHIEF BUREAU OF ENGINEERING: [Signature] DATE: 12-30-88

9-1-88
LKS

Owner/Developer: HOWARD RESEARCH AND DEVELOPMENT LAND COMPANY
10275 Little Patuxen Pkwy
Columbia, Maryland 21044



CLARK • FINEFROCK & SACKETT, INC
ENGINEERS • PLANNERS • SURVEYORS
7135 MISTLE WAY • COLUMBIA, MD 21045 • TEL: (301) 551-1000 • FAX: (301) 551-1000

DESIGNED: JME
DRAWN: BAL/PER
CHECKED: JME
DATE: 8-5-88

SITE DEVELOPMENT PLAN
LOTS 34 THRU 37
COLUMBIA
VILLAGE OF LONGREACH
SECTION 4
6TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

FOR JOHN McDONOUGH BUILDERS, INC
6310 STEVENS FOREST ROAD, SUITE 104
COLUMBIA, MARYLAND 21046

SCALE: 1"=30'
DRAWING: 1 OF 2
JOB NO: 88-041
FILE NO: 88-041X

