

DENSITY TABULATION

OPEN SPACE REQUIRED	OPEN SPACE PROVIDED	GROSS AREA	FLOOD PLAIN STEEP SLOPE	NET AREA	No. OF DWELLING UNITS ALLOWED	FLOOD PLAIN LOT ADJUSTMT.	TOTAL No. OF DWELLING UNITS ALLOWED	TOTAL No. OF DWELLING UNITS PROPOSED	DENSITY PER ACRE
4.49 Ac.	6.394 Ac.	22,440 Ac.	0.775 Ac.	21,665 Ac.	44.88	None	44.88	42	1.870/Ac.

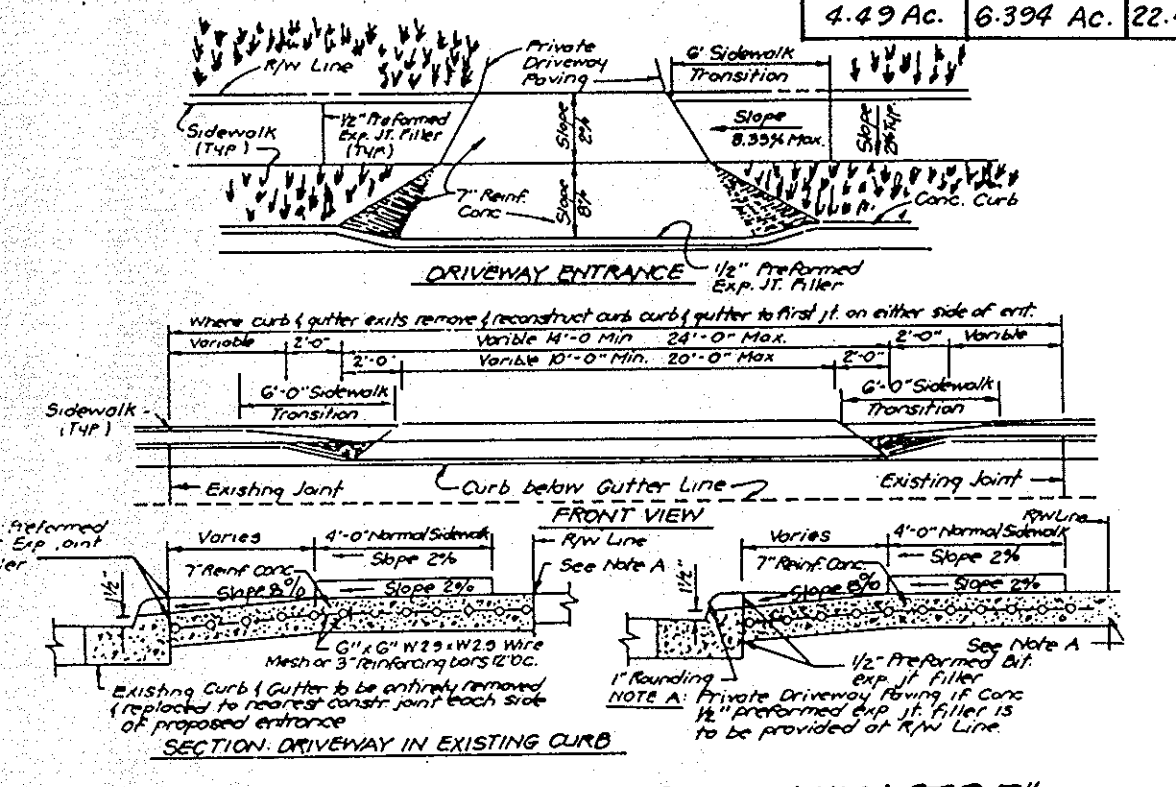
LEGEND

- Contour Interval 2 FT.
- Existing Contour
- Proposed Contour
- Spot Elevation
- Direction of Drainage
- Approx. Existing Tree Line
- Walk-Out Basement

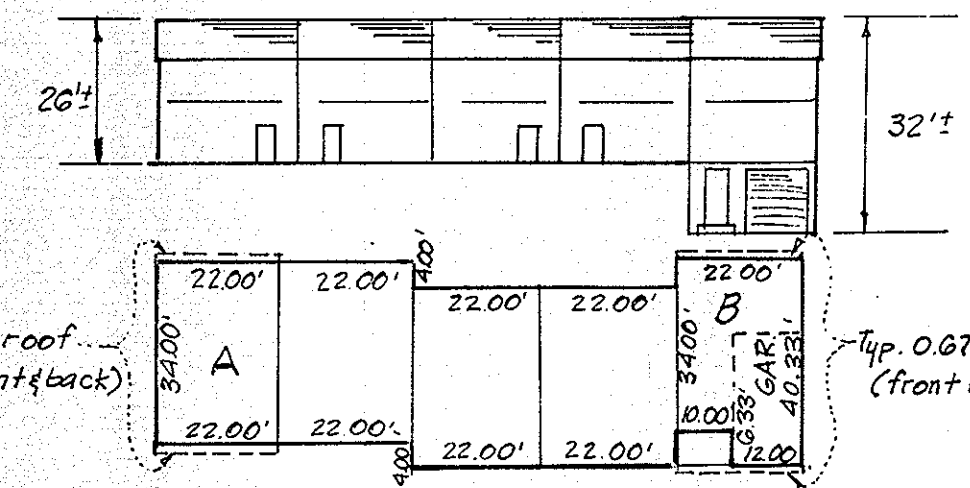
VICINITY MAP
Scale: 1" = 2000'

GENERAL NOTES:

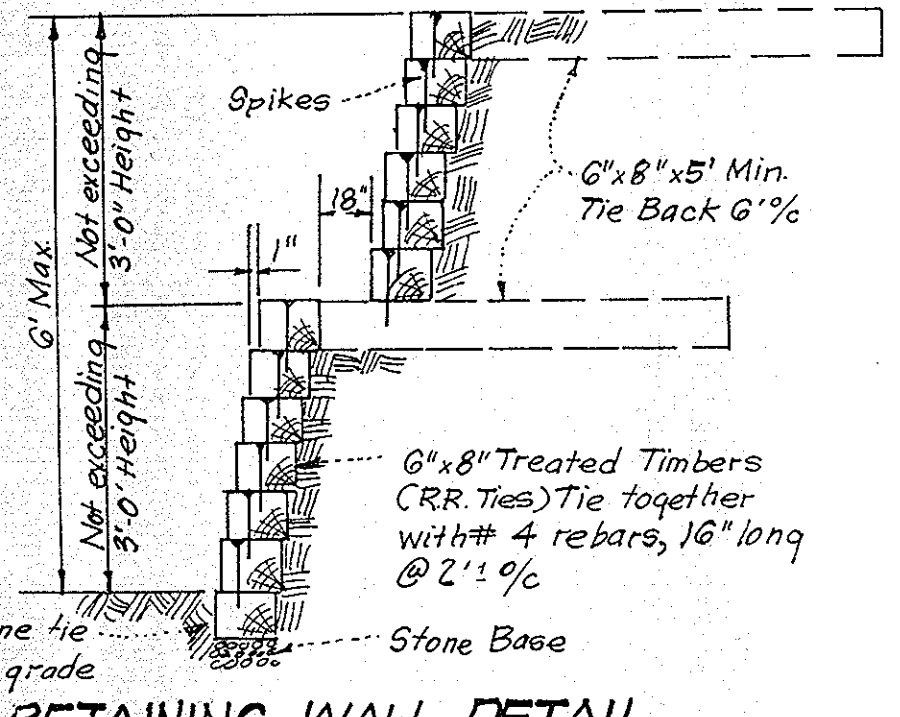
- The land included is zoned R-ED per B-2.85 Comprehensive Zoning Plan.
- The coordinates shown herein are based on the MD State Grid System as projected by Howard County Geodetic Control Stations 3142002 & 3142004.
- Total Area of Lots 1-40 is: 1,806 Ac.
- Roadways are public and proposed.
- Any damage to county owned rights-of-way shall be corrected at the owner's expense.
- Number of Units shown: 40
- Number of parking spaces provided: 110 ; Spaces Required: 80.
- Parking Tabulation:
 - Garage Parking 20 Spaces
 - Driveway Parking 20 Spaces
 - Surface Parking 10 Spaces
 - Total Parking 110 Spaces
- Building Coverage:
 - Unit A: 36.00' x 22.00' = 792 sq. ft. (60%) = 1320 sq. ft. min. lot size
 - Unit B: 41.66' x 22.00' = 916.5 sq. ft. (60%) = 1527.5 sq. ft. min. lot size
- Garage shall be used for parking purposes only in accordance with Section 123.B.2.b (16) of Zoning Regulations.
- See Office of Planning & Zoning File No. 5-88-15, WP 88-39, PB Case # 228, F-88-226.
- Storm Water Management provided under F-88-226



DRIVEWAY ABUTTING CLOSED SECTION WITH 5' CURB. COMB. CURB & GUTTER & SIDEWALK SET BACK FROM CURB



TYPICAL HOUSES
No Scale



RETAINING WALL DETAIL
No Scale



ADDRESS CHART

LOT	STREET ADDRESS	LOT	STREET ADDRESS
1	8725 Ruppert Court	24	8758 Ruppert Court
2	8727	25	8754
3	8729	26	8752
4	8731	27	8750
5	8733	28	8748
6	8735	29	8746
7	8737	30	8744
8	8739	31	8742
9	8741	32	8740
10	8743	33	8738
11	8745	34	8736
12	8747	35	8734
13	8749	36	8732
14	8751	37	8730
15	8753	38	8728
16	8755	39	8726
17	8757	40	8724 Ruppert Court
18	8770		
19	8768		
20	8766		
21	8764		
22	8762		
23	8760 Ruppert Court		

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: 8-3-88

NOTE: For offsite grading see previously approved plan F-88-226.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
HOWARD COUNTY HEALTH DEPARTMENT
DATE: 3-24-89

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
DATE: 4-17-89

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DATE: 3-21-89

OWNER/DEVELOPER:
CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS
7135 MINSTREL WAY • COLUMBIA, MD 21045 • (301) 381-7800 - BALTO. • (301) 621-8100 - WASH.

SITE DEVELOPMENT PLAN
LOTS 1 THRU 40 AND OPEN SPACE LOTS 42-46
RUPPERT PROPERTY
2ND ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
FOR: COLUMBIA BUILDERS, INC.
3 Lakefront North, Suite 200
Columbia, Maryland 21044

SCALE: 1" = 30'
DRAWING: 1 of 3
JOB NO.: 86-062
FILE NO.: 86-062X

No.	REVISION	Date
1	Add note 12 & rev. SHC to lots 21-24	8-10-89



PERMANENT SEEDING NOTES
Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Soil Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.
Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:
1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 square ft) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft).
2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.

Seeding - For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) 5 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching - Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

Maintenance - Inspect all seeded areas and make needed repairs, replacements and reseeds.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redistributed where a short-term vegetative cover is needed.

Soil Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft)

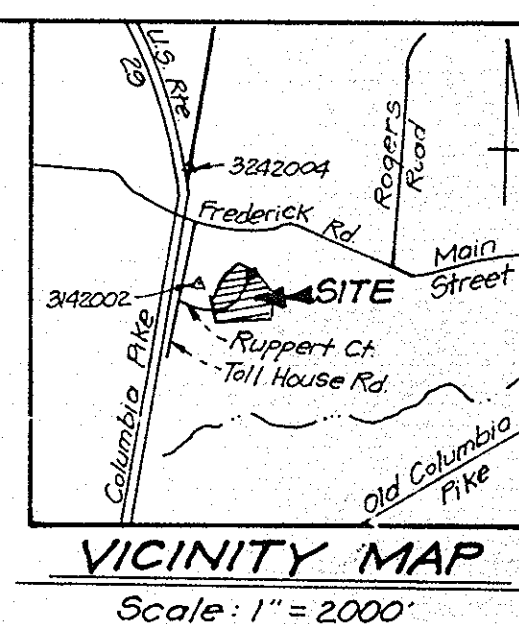
Seeding - For periods March 1 thru April 30 and from August 15 thru November 15, seed with 25 bushel per acre of annual rye (3.2 lbs/1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (.07 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes, 8 ft or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.

Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

LEGEND

1. Contour Interval 2 FT.
2. Existing Contour
3. Proposed Contour
4. Spot Elevation
5. Direction of Drainage
6. Approx. Existing Tree Line
7. Walk-out Basement
8. Earth Dike



Reviewed for HOWARD S.C.D. No. 3-3-89
Signature: [Signature] Date: 3-3-89
U.S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Approved: [Signature] Date: 3/3/89

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: 8-3-88

NOTE: For offsite grading see previously approved plans F-88-226.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
COUNTY HEALTH OFFICER: [Signature] DATE: 3-24-88
APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
PLANNING DIRECTOR: [Signature] DATE: 4-17-89
CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DIRECTOR: [Signature] DATE: 3/2/89
CHIEF BUREAU OF ENGINEERING: [Signature] DATE: 3-21-89



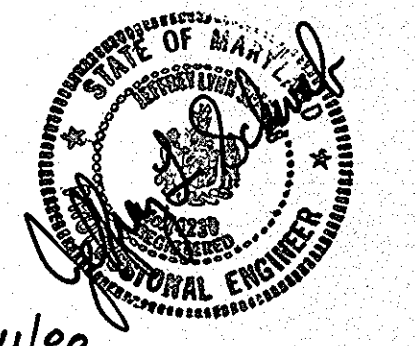
- SEDIMENT CONTROL NOTES**
- 1) A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (992-2437)
 - 2) All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
 - 3) Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1; b) 15 days as to all other disturbed or graded areas on the project site.
 - 4) All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 11, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
 - 5) All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 51) sod (Sec. 54), temporary seeding (Sec. 50) and mulching (Sec. 52.) Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
 - 6) All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
 - 7) Site Analysis:
Total Area of Site: 22.44 Acres
Area Disturbed: 5.62 Acres
Area to be roofed or paved: 0.742 Acres
Area to be vegetatively stabilized: 1.995 Acres
Total Cut: N/A Cu. yds
Total Fill: 22.620 Cu. yds
Offsite waste/borrow area location: N/A
 - 8) Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
 - 9) Additional sediment control must be provided, if deemed necessary by the Howard County DPM sediment control inspector.
 - 10) On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
 - 11) If houses are to be constructed on an "As-Sold" basis, at random, Single Top Sediment Control as shown below shall be implemented.
 - 12) All pipes to be blocked at the end of each day (see detail below). N/A
 - 13) The total amount of straw bale dikes/silt fence equals 0 L.F.

CONSTRUCTION SEQUENCE NR of Days

1. Obtain grading permit.	0
2. Complete Item #3 as shown in construction sequence of F 88-226.	2
3. Excavate for foundations.	30
4. Construct structures and walks.	300
5. Complete Items #17 as shown in construction sequence of F 88-226.	25

NOTE: All sediment controls shown are from road construction plans F 88-226 and must be inspected and approved for use by the Ho. Co. Sediment Control Inspector prior to commencement of work.

ENGINEER'S CERTIFICATE
I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
[Signature] 5/4/88
Jeffrey Schwab Date



DEVELOPER'S/BUILDER'S CERTIFICATE
I/We certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Dept. of Natural Resources Approved Training Program for the Control of Sediment on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.
[Signature] 5/4/88
Signature of Developer/Builder Date

OWNER / DEVELOPER:
COLUMBIA BUILDERS, INC.
3 Lakefront North, Suite 200
Columbia, Maryland 21044

CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS
7135 MINSTREL WAY • COLUMBIA MD 21045 • (301) 981-7900 - BALTO • (301) 621-8100 - WASH

SEDIMENT AND EROSION CONTROL PLAN
LOTS 1 THRU 10 AND OPEN SPACE LOTS 42-46
RUPPERT PROPERTY
2ND ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
FOR: COLUMBIA BUILDERS, INC.
3 Lakefront North Suite 200
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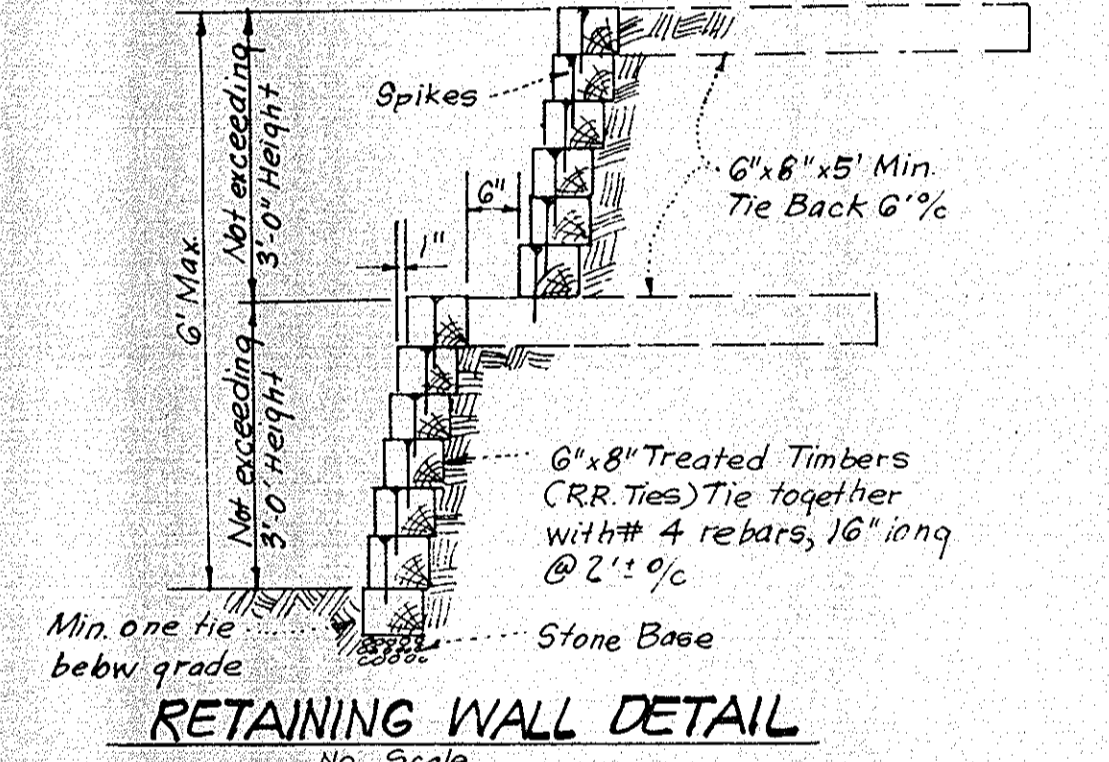
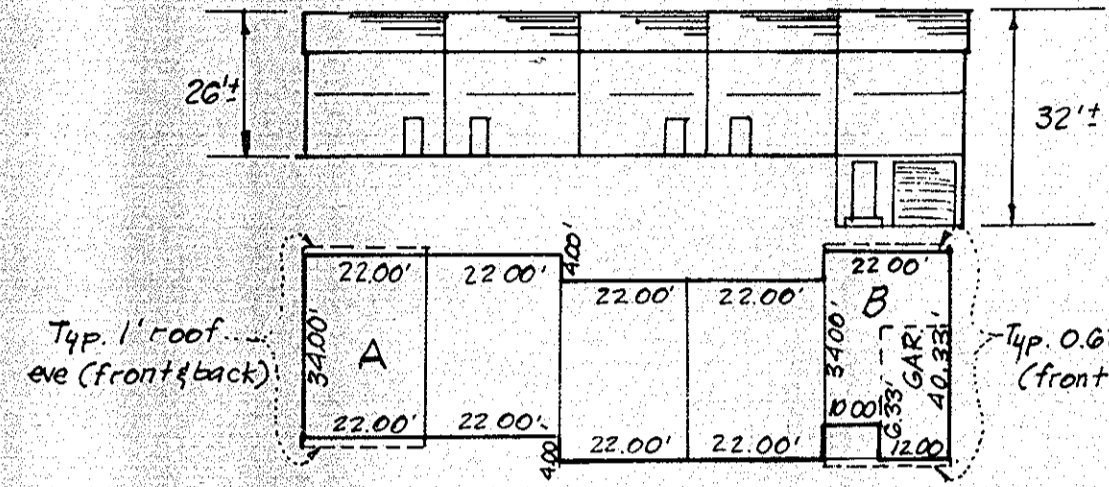
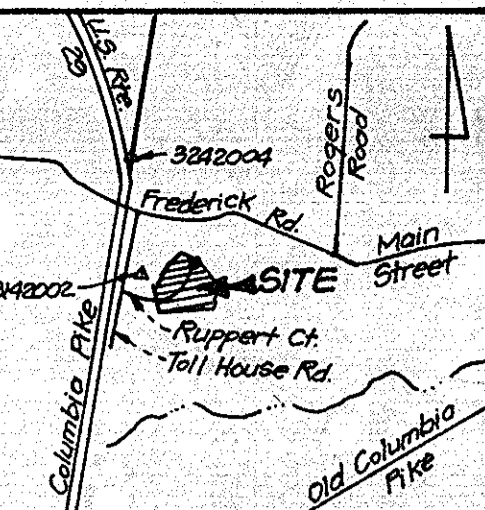
SCALE: 1" = 30'
DRAWING: 2 of 3
JOB NO.: 86-062
FILE NO.: 86-0628

DESIGNED: GLB.
DRAWN: BAL.
CHECKED: GLB.
DATE: April, 1988

LEGEND

- 1. Contour Interval 2 FT.
- 2. Existing Contour
- 3. Proposed Contour
- 4. Spot Elevation
- 5. Direction of Drainage
- 6. Approx. Existing Tree Line
- 7. Walk-Out Basement

VICINITY MAP
Scale: 1" = 2000'



APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE 8-3-88

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,
HOWARD COUNTY HEALTH DEPARTMENT
DATE 3-21-89

APPROVED FOR HOWARD COUNTY OFFICE OF PLANNING & ZONING
DATE 4-17-89

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE,
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DATE 3-21-89



PLANT LIST

	SHADE TREES	SIZE	REMARKS
11	ACER FRAXILIM	2 1/2" CAL	BB FULL HEAD
1	CECROPY GLORY RED MAPLE	12-14' HT	
24	FRAXINUS P. LANCEOLATA SEEDLESS GREEN ASH		
	QUERCUS RUBRA RED OAK		
FLOWERING TREES			
5	AMELANCHIER CANADENSIS	2-2 1/2" CAL	BB FULL
5	DOUGLASS SHADBLOW (CLUMP)	8-10' HT	HEAVY HEAD
	PRUNUS YEODENSIS YOSHINO CHERRY		
EVERGREEN TREES			
25	PINUS STROBUS WHITE PINE	2" CAL	BB UNSHEARED
28	PINUS STROBUS WHITE PINE	4-6' HT	
17	PINUS THUNBERGII BLACK PINE	2" CAL	
(31)	NOTE: SHADE TREES HAVE BEEN BOUND ON ROAD CONSTR. DEW'S AND ARE NOT COUNTED HERE. (14 RED MAPLE + 17 GREEN ASH = 31 TOTAL)		

NOTES:

- ALL PLANTING TO BE IN ACCORDANCE W/ BALT. MICH. LANDSCAPE SPECIFICATIONS OF L.C.A.M.I.W.
- ALL PLANT MATERIAL IS MEET A.A.N. STDS.
- ALL LANDSCAPED AREAS TO RECEIVE 3" HPWD SHEEDED MULCH
- CONTRACTOR TO VERIFY UTILITY LOC. BEFORE DIGGING.
- NO SUBSTITUTION W/OUT CONSENT OF LAND ARCH.

OWNER / DEVELOPER:
COLUMBIA BUILDERS, INC.
3 Lakefront North, Suite 200
Columbia, MD 21044

Subdivision Name: RUPPERT PROPERTY

Plot No.: 8425, 8426

Block No.: 12

Zone: R-ED

Tax / Map No.: 24 P2AB

Elec. Dist.: 2ND

Census Tr.: 6025

Water Code: F04

Sewer Code: M02100

SEAL: CLARK • FINEPROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS
1195 MINSTREL WAY • COLUMBIA MD 21045 • (301) 381-7800 - BALTO. • (301) 621-8100 - WASH.

DESIGNED: MIJ

DRAWN: BAL

CHECKED: WHT

DATE: MAY 1988

SCALE: 1" = 30'

DRAWING: 3 of 3

JOB NO.: 86-062

FILE NO.: 86-06215

FOR: COLUMBIA BUILDERS, INC.
3 Lakefront North, Suite 200
Columbia, Maryland 21044