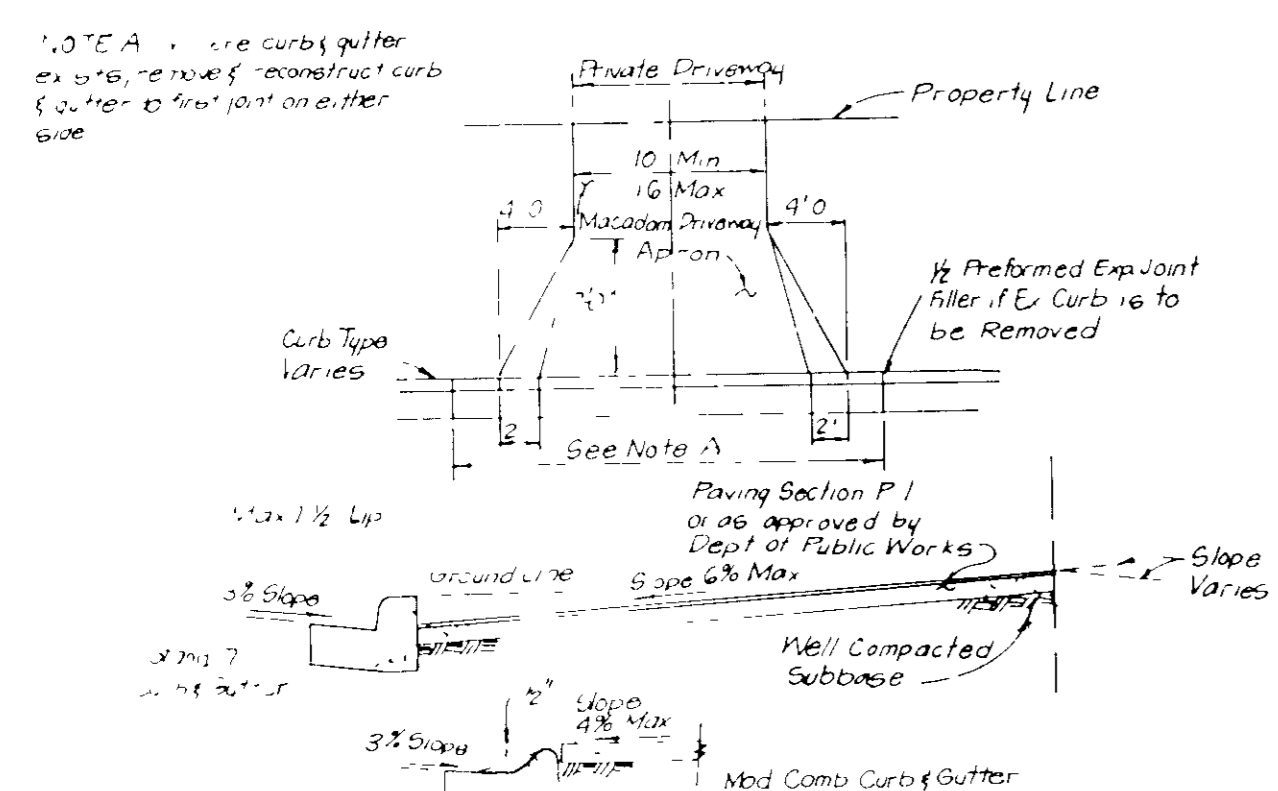
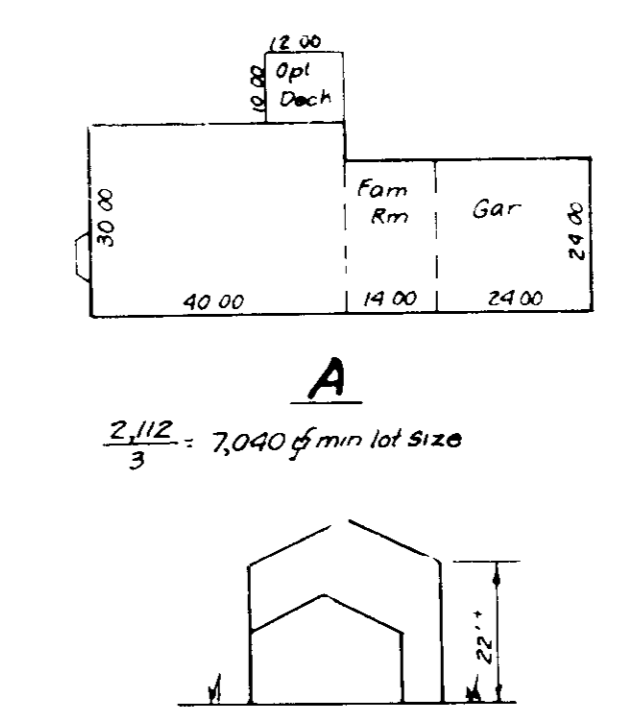


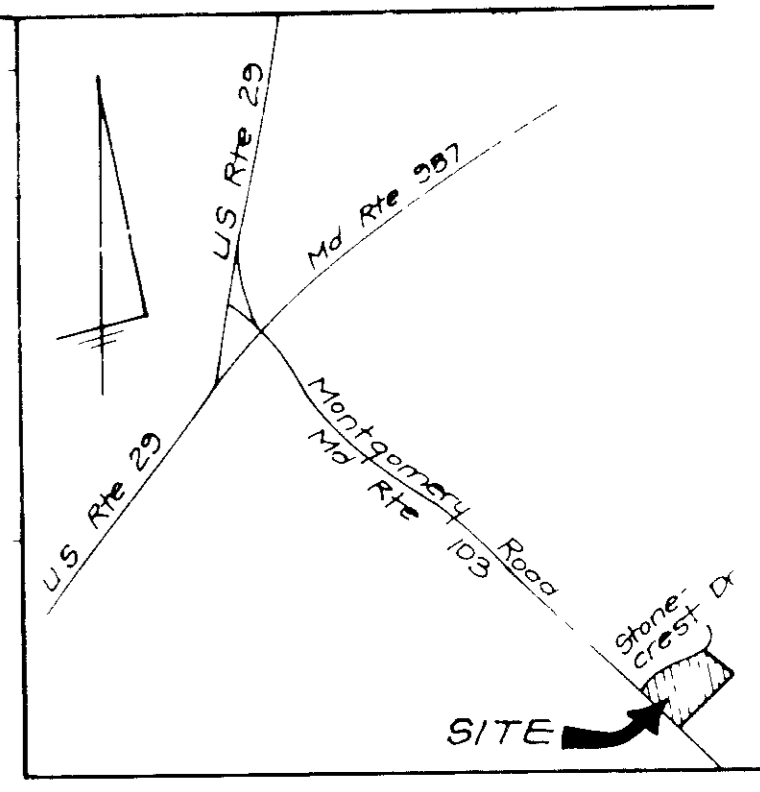
DRIVEWAY ABUTTING CLOSED SECTION WITH STD 7" COMB CURB & GUTTER & SIDEWALK SET BACK FROM CURB



DRIVEWAY ABUTTING CLOSED SECTION WITHOUT CONCRETE SIDEWALK



TYPICAL HOUSE
Scale: 1"=30'
Note: All units have 1' eaves front and rear



VICINITY MAP
Scale: 1"=2000'

- LEGEND**
- Contour Interval: 2 FT
 - Existing Contour: ---
 - Proposed Contour: - - - -
 - Spot Elevation: +50'
 - Direction of Drainage: --->
 - Walk out Basement: ---
 - Trees to be Saved: [Tree Symbol]
 - Existing Trees: [Tree Symbol]
 - Existing Earth Dike: --- Ex ED ---
 - Existing Inlet Protection: [Box Symbol] IPD
 - Existing Perimeter Dike/Swale: ---
 - House number identification sign: [Square Symbol]
- Note: Existing Sediment & Erosion Control measures to be utilized, see previously approved plans F-87-140
- Note: Extreme care to be utilized when working in area of existing AT&T Easement Test Fits to be dug by hand at all crossings to locate cables well in advance of construction

GENERAL NOTES:

1. All coordinates are based on Howard County Geodetic control traverse stations
2. Total number of lots: 1
3. The total area included in this plan is 3.0 Ac
4. All roadways are public and existing
5. Any damage to county owned rights of way shall be corrected at the developer's expense
6. The contractor or developer shall contact the construction inspection/survey division, 24 hours in advance of commencement of work at 792 2G30
7. The property shown is zoned R-20
8. Plan reference numbers are P-87-17, F87-140, E 86-43, & AA-88 0G

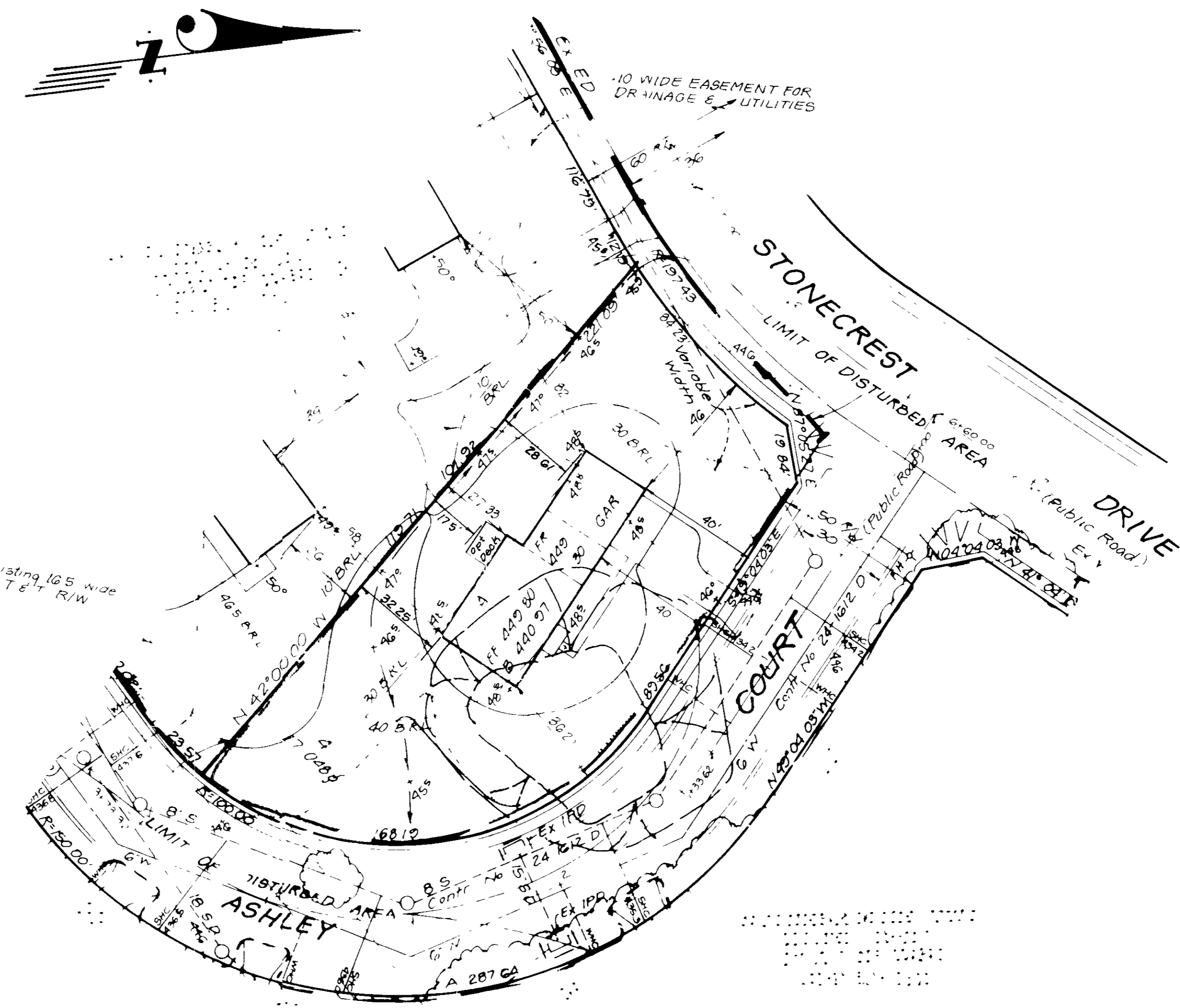
SPECIAL NOTES:

Approved Road Construction Plans shall be used for all Public Utilities

Public Water + Sewer shown for reference only. For more detailed information see Water + Sewer Plans - Contract No. 24 1612 D

The Water + Sewer House Connections not included in a Developer's Agreement shall conform to Ho Co Plumbing Code. The On Site W.H.C. shall be 1/2" copper and the S.H.C. shall be 4" iron

Stormwater Management provided under Contract No. F87-140



CONSTRUCTION SEQUENCE

1. Obtain grading permit *	7 days
2. Cleanout and repair existing Sediment & Erosion Control measures	7 days
3. Rough grade site and excavate for foundations	30 days
4. Construct houses, driveways and walks	180 days
5. Fine grade and stabilize all disturbed areas on site in accordance with standards and specifications	30 days
6. Upon approval of the Sediment Control Inspector remove sediment and erosion control measures and stabilize	14 days
7. Convert existing traps to Storm Water Management Facilities in accordance with previously approved plans F-87-140	14 days

* See previously approved plan F-87-140 for sediment control notes and other plan requirements

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Jeffrey L. Schwab 7/20/88
Jeffrey L. Schwab Date

DEVELOPER'S DECLARATION

"I hereby certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Dept. of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

Philip G. Drury July 20, 1988
Signature of Developer/Builder Date

Reviewed for Howard S.C.D. Name and meets Technical Requirements
James M. ... 8/11/88
Signature Date
U.S. Soil Conservation Service

Administrative Adjustment case number AA 88-0G approved on June 8, 1988, to reduce the front building setback from 40 feet to 36.27 feet and the rear yard building setback from 30 feet to 27.33 feet for Lot 4.



ADDRESS CHART

STREET	ADDRESS
ASHLEY COURT	4507 ASHLEY COURT

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
DATE: 8/11/88

APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING
DATE: 9-15-88

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DATE: 8-25-88

CLARK • FINEFROCK & SACKETT, INC
ENGINEERS • PLANNERS • SURVEYORS
7135 MINSTREL WAY • COLUMBIA MD 21045 • (301) 381-7200 - BALTO • (301) 621-8100

SITE DEVELOPMENT AND SEDIMENT AND EROSION CONTROL PLAN
LOT 4
STONEBROOKE TWO

2ND ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
FOR DORSEY CONTRACTORS, INC
16347 Frederick Road
Woodbine, Maryland 21797

SCALE: 1"=30'
DRAWING: 1 OF 1
JOB NO: 87-124
FILE NO: 87-124 X

DATE: APRIL 1988

SDP-88-244