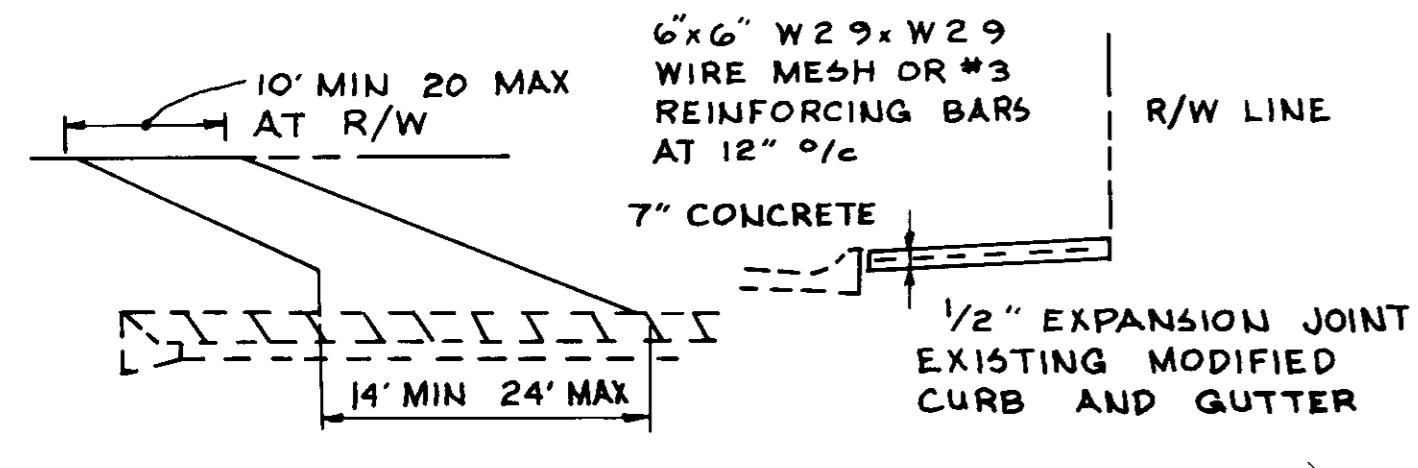
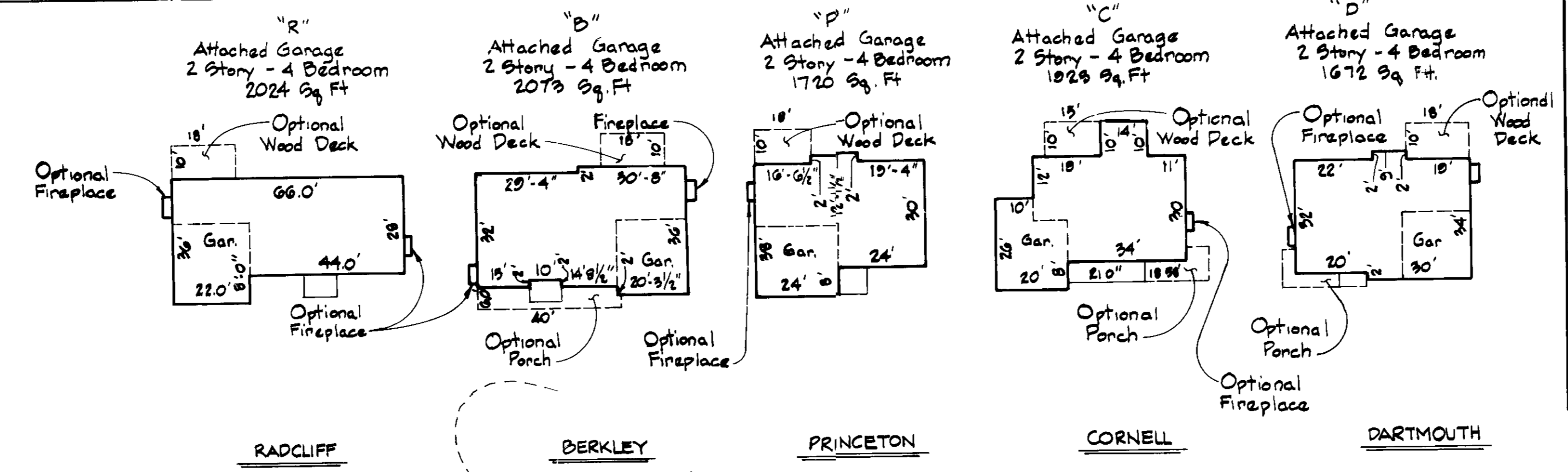


TYPICAL DWELLING ELEVATIONS
NO SCALE

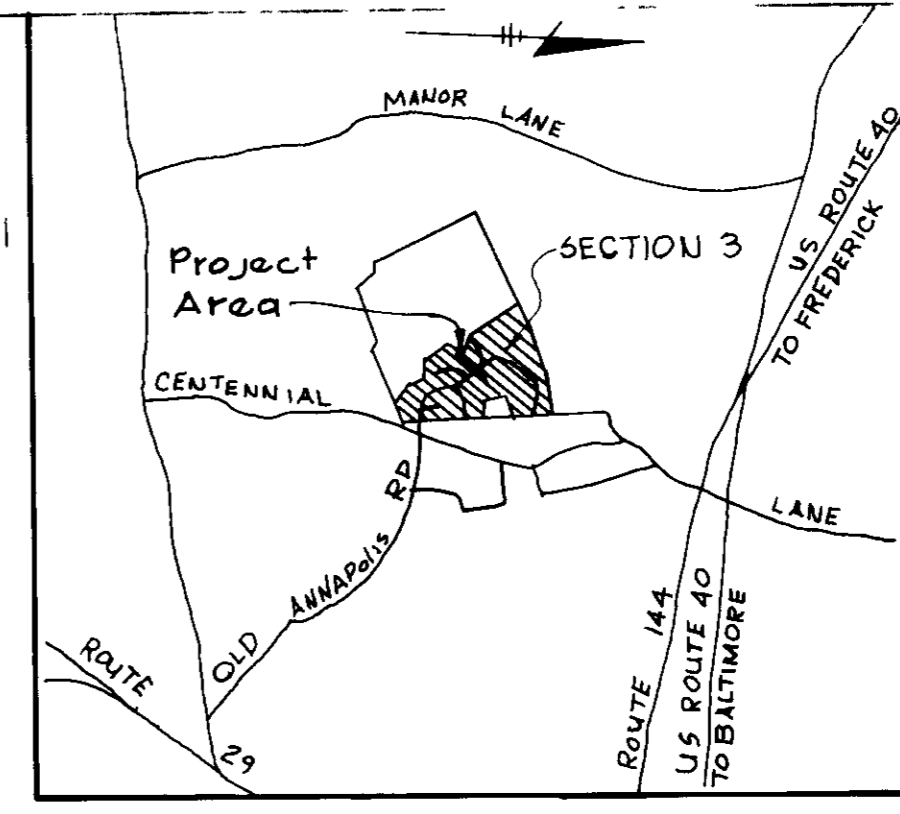


FRONT ELEVATION SECTION
NO SCALE

DRIVEWAY DETAIL
NO SCALE



RADCLIFF BERKLEY PRINCETON CORNELL DARTMOUTH



VICINITY MAP
SCALE 1" = 1/4 MILE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
COUNTY HEALTH OFFICER: [Signature] DATE: 8-21-88
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS & PUBLIC WORKS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DIRECTOR: [Signature] DATE: 8-26-88
CHIEF, BUREAU OF ENGINEERING: [Signature] DATE: 8-25-88

GENERAL NOTES

- Reference: G-80-27, P-87-27, F-88-146-F-89-141
- Water and Sewer facilities are to be provided (Publicly owned)
- Minimum building setbacks shall be in accordance with the building restriction lines shown on the recorded plat.
- Stormwater management is provided in Burleigh Manor, Section 3, Area 4, Phase II reference F-88-146.
- All roads shown on plan are public roads.

LEGEND

- HOUSE NUMBER SIGN
- PROPOSED CONTOUR (1' INTERVAL)
- EXISTING CONTOUR (2' INTERVAL)
- BUILDING TYPE
- LOT NUMBER
- RETAINING WALL
- HANDICAPPED RAMP
- CONCRETE WALK (EXISTING)
- FIRE HYDRANT
- LIGHT FIXTURE
- TREES TO REMAIN
- BRL BUILDING RESTRICTION LINE
- WHC WATER HOUSE CONNECTION
- SHC SEWER HOUSE CONNECTION

SITE ANALYSIS

EXISTING ZONING: R-20
NUMBER OF LOTS: 18
TOTAL AREA: 8,007 Ac
DENSITY: 18/801 Ac = 2.09 Dwellings per Acre

PLAT	BLOCK	ZONE	TAX/ZONE MAP/ELEC DIST	SECT/AREA	LOT NO	LOT AREA	TR
7778-7980-2800	13	R-20	24	3/4	443 THRU 458	1714.752	G023.01
WATER CODE J01				SEWER CODE 7082200			

LOT NO	INVERT
443	471.08'
444	471.08'
445	470.11'
446	468.77'
447	467.12'
448	466.10'
449	460.09'
450	454.99'
451	444.36'
452	443.21'
453	448.22'
454	450.91'
455	450.87'
456	451.13'
457	451.17'
458	448.52'
751	444.61'
752	441.14'

STREET ADDRESS	LOT#	STREET ADDRESS	LOT#
10244 Glastonbury Rd	443	10301 Breconshire Rd	452
10333 Breconshire Rd	444	10204 Lawnmarket Ct	453
10329 Breconshire Rd	445	10208 Lawnmarket Ct	454
10325 Breconshire Rd	446	10212 Lawnmarket Ct	455
10321 Breconshire Rd	447	10217 Lawnmarket Ct	456
10317 Breconshire Rd	448	10213 Lawnmarket Ct	457
10313 Breconshire Rd	449	10209 Lawnmarket Ct	458
10309 Breconshire Rd	450	10205 Lawnmarket Ct	751
10305 Breconshire Rd	451	10201 Lawnmarket Ct	752

LOT NO	LOT AREA SF	HOUSE AREA SF	% LOT COVER	LOT NO	LOT AREA SF	HOUSE AREA SF	% LOT COVER
443	21,922 sf	2073 sf	9.5%	452	21,913 sf	2073 sf	9.5%
444	20,876 sf	1923 sf	9.2%	453	17,673 sf	1672 sf	9.5%
445	20,253 sf	2024 sf	10.0%	454	18,677 sf	1923 sf	10.3%
446	25,937 sf	1923 sf	7.4%	455	21,343 sf	2024 sf	9.5%
447	20,014 sf	1672 sf	8.4%	456	19,958 sf	2073 sf	10.4%
448	20,014 sf	2073 sf	10.3%	457	19,948 sf	2024 sf	10.1%
449	21,487 sf	1672 sf	7.8%	458	15,069 sf	2024 sf	13.4%
450	21,702 sf	1923 sf	8.9%	751	15,675 sf	2073 sf	13.2%
451	25,710 sf	1672 sf	6.5%	752	15,824 sf	1720 sf	10.9%

OWNER
STEWART J. GREENBAUM,
THOMAS J. PELLERITO, TRUSTEES
1531 EDGEWOOD STREET, SUITE M
BALTIMORE, MARYLAND 21227

7-14-88

5-11-87 1 Change Lot 459 to 751 460 to 752

BURLEIGH MANOR
2nd ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

DEVELOPER
ROSE/RICHMOND JOINT VENTURE

BURLEIGH MANOR
SECTION 3 AREA 4 PHASE II

FIG. 1 SITE PLAN
LOTS 443 THRU 458 & 751 & 752
SINGLE FAMILY DETACHED DWELLINGS
SHEET 1 OF 3

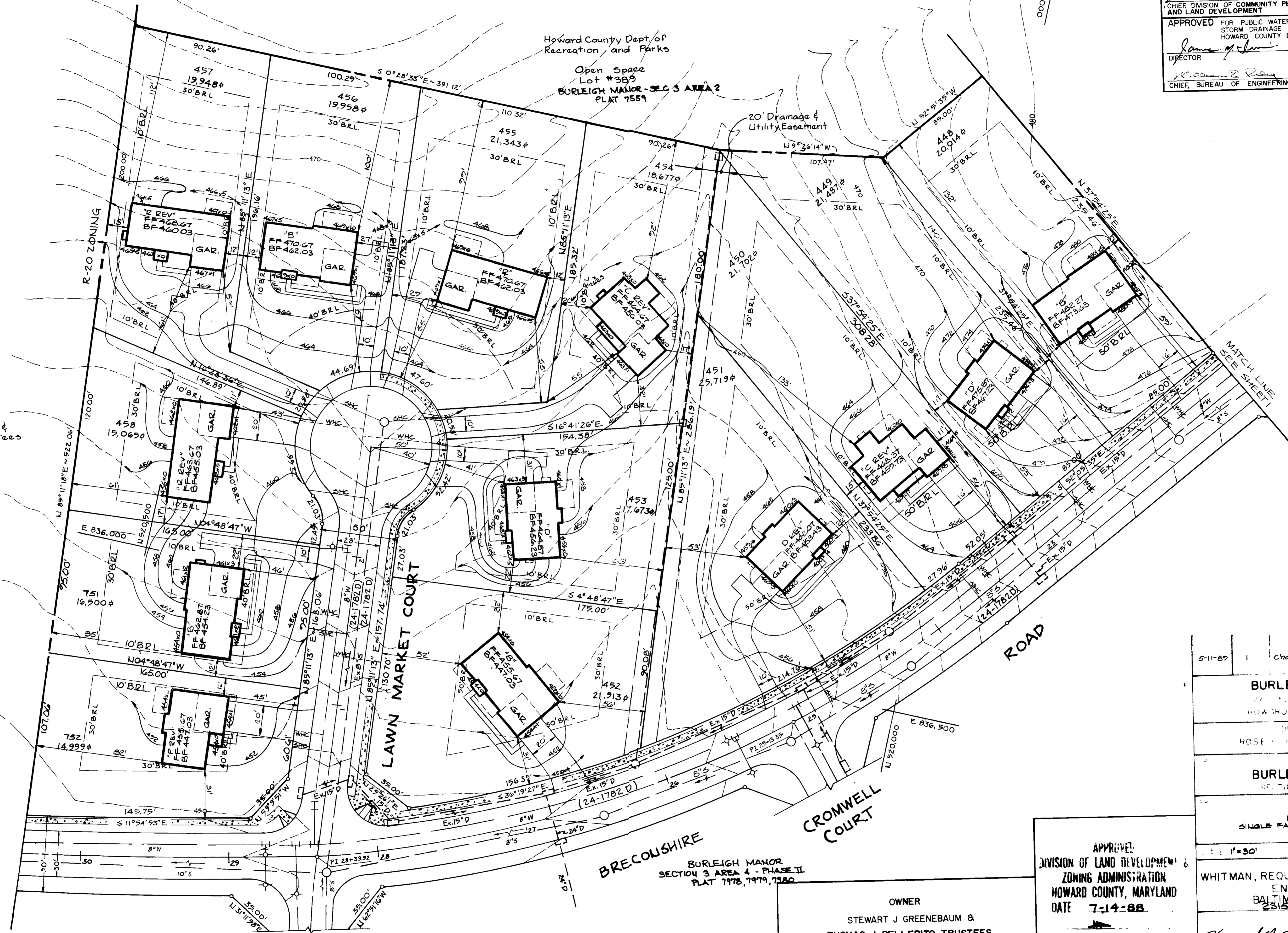
SCALE 1"=30' DATE: 6/10/88

WHITMAN, REQUARDT AND ASSOCIATES
ENGINEERS
BALTIMORE, MARYLAND 21218
2315 ST. PAUL STREET

[Signature]

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER *[Signature]* DATE 8-31-88
 APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING
 DIRECTOR *[Signature]* DATE 9-2-88
 APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE
 STORM DRAINAGE SYSTEMS & PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR *[Signature]* DATE 8-25-88
 CHIEF, BUREAU OF ENGINEERING *[Signature]*

Stewart J. Greenebaum &
 Thomas J. Pellerito Trustees
 1765/334



5-11-88 | Change Lot 457 to 751 / 460 to 752
BURLEIGH MANOR
 SECTION 3 AREA 4 PHASE II
 DEVELOPER
 ROSE H. MONROE
BURLEIGH MANOR
 SECTION 3 AREA 4 PHASE II
 SITE PLAN
 LOTS 443 THRU 458 / 751 & 752
 SINGLE FAMILY DETACHED DWELLINGS
 SHEET 2 OF 3
 1"=30' 6/10/88

OWNER
 STEWART J. GREENEBAUM &
 THOMAS J. PELLERITO, TRUSTEES
 1531 EDGEWOOD STREET, SUITE M
 BALTIMORE, MARYLAND 21227

APPROVED
 DIVISION OF LAND DEVELOPMENT &
 ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE 7-14-88

WHITMAN, REQUARDT AND ASSOCIATES
 ENGINEERS
 BALTIMORE, MARYLAND 21218
 2315 ST. PAUL STREET

DESIGN DATA FOR SEDIMENT TRAP #1

Drainage Area 1.3 Ac
 Disturbed Area 1.3 Ac
 Volume Required 13x67=87CY
 Volume Available =92CY
 Bottom Trap Dim. 16'x30'
 Top of Berm 455.0
 Weir Crest Elev 452.0
 Length of Weir 6.0
 Storage Elev. 451.0
 Bottom Elev 448.0

DESIGN DATA FOR SEDIMENT TRAP #2

Drainage Area 1.3 Ac
 Disturbed Area 1.3 Ac
 Volume Required 13x67=87CY
 Volume Available =92CY
 Bottom Trap Dim. 16'x30'
 Top of Berm 451.0
 Weir Crest Elev 450.0
 Length of Weir 6.0
 Storage Elev. 449.0
 Bottom Elev 446.0

SEQUENCE OF CONSTRUCTION

- 1 Obtain grading permit
- 2 Install and stabilize all sediment and erosion control measures (1 Week)
- 3 Construct dwellings and appurtenance (18 Months)
- 4 Stabilize site as per permanent seeding specifications, see notes on this sheet.
- 5 Remove temporary sediment control measures and stabilize any remaining areas.
- 6 Temporary sediment control may be removed as individual lots are completed and stabilized.

APPROVED PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICE
 DATE 8-31-88

APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING
 DATE 9-2-88

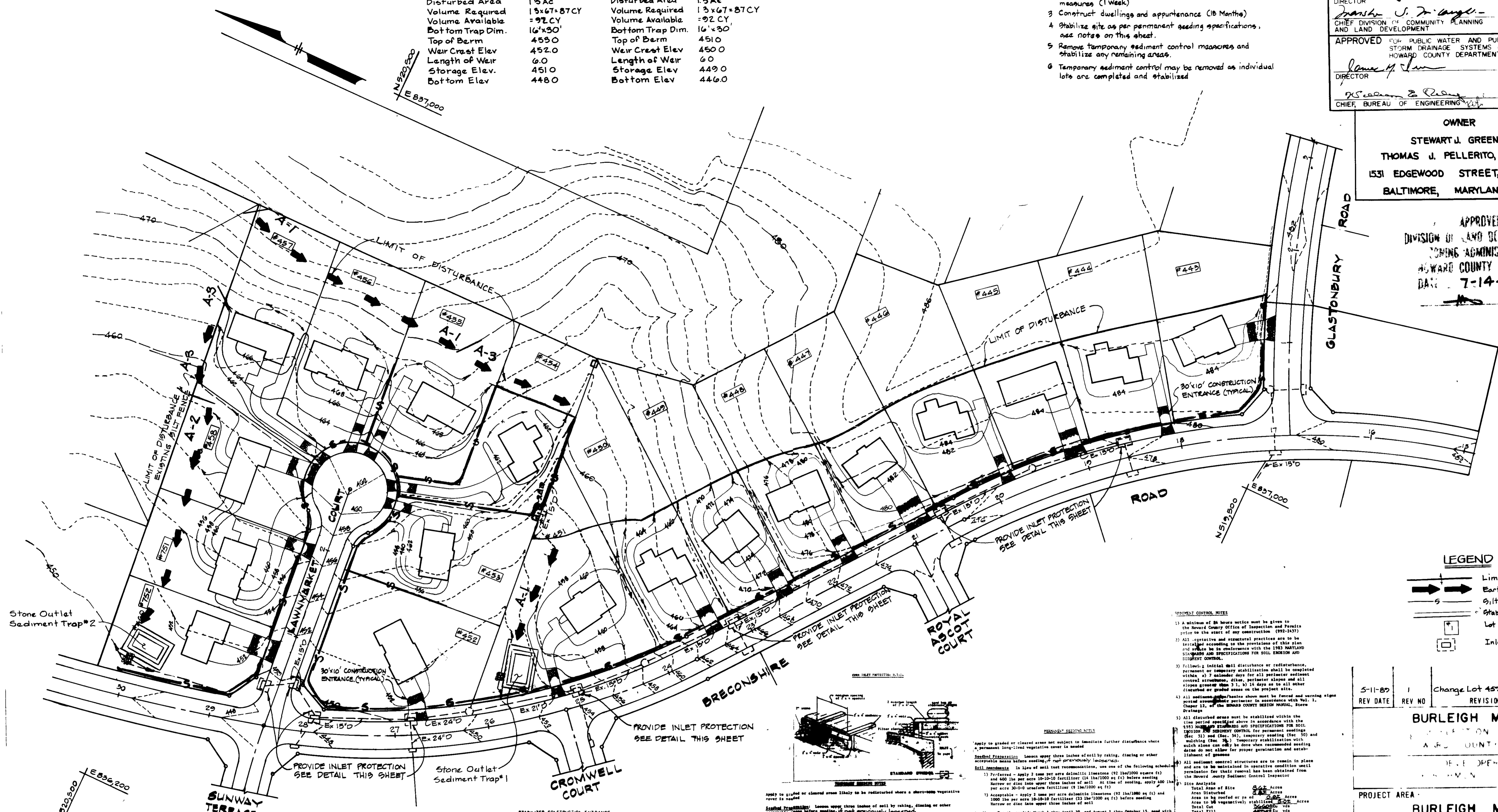
DIRECTOR
 CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT
 DATE 8-2-88

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS & PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS AND LAND DEVELOPMENT
 DATE 8-25-88

CHIEF, BUREAU OF ENGINEERING

OWNER
 STEWART J. GREENBAUM,
 THOMAS J. PELLERITO, TRUSTEES
 1531 EDGEWOOD STREET, SUITE M
 BALTIMORE, MARYLAND 21227

APPROVED
 DIVISION OF LAND DEVELOPMENT
 ZONING ADMINISTRATION
 HOWARD COUNTY MARYLAND
 DATE 7-14-88



LEGEND

- Limit of disturbance
- Earth dike
- Silt fence
- Stabilized construction entrance
- Lot number
- Inlet protection

SEEDING CONTROL NOTES

- 1 A minimum of 30 days notice must be given to the Howard County Office of Inspection and Permitting prior to the start of any construction (892-1437)
- 2 All corrective and remedial practices are to be installed according to the provisions of this plan and shall be in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- 3 Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within 45 days for all positive sediment control structures, dikes, perimeter slopes and all areas greater than 3:1. It is the intent of this plan that disturbed or graded areas on the project site.
- 4 All sediment structures shall be fenced and warning signs posted immediately after construction in accordance with Part 1, Chapter 13, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- 5 All sediment control structures shall be maintained in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- 6 Any sediment control practice which is disturbed by grading activities for placement of utilities must be replaced on the same day of disturbance.
- 7 Additional sediment controls must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
- 8 On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be obtained upon completion of final grading. Final grading shall include, but not be limited to, grading, seeding, mulching, and other practices which are deemed necessary by the inspection agency to stabilize the site.

STANDARD SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where permanent long-lived vegetation cover is needed.

Seeding Practices: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding; if not previously loosened.

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:

- 1) Potassium - Apply 2 tons per acre of potassium sulfate (20 lbs/1000 sq ft) and 400 lbs per acre of 10-10-10 fertilizer (4 lbs/1000 sq ft) before seeding.
- 2) Phosphorus - Apply 2 tons per acre of 10-10-10 fertilizer (4 lbs/1000 sq ft) and 1000 lbs per acre of 10-10-10 fertilizer (2 lbs/1000 sq ft) before seeding.
- 3) Nitrogen - Apply 2 tons per acre of 10-10-10 fertilizer (4 lbs/1000 sq ft) and 1000 lbs per acre of 10-10-10 fertilizer (2 lbs/1000 sq ft) before seeding.

Seeding Schedule: Apply 400 lbs per acre of 10-10-10 fertilizer (4 lbs/1000 sq ft) and 400 lbs per acre of 10-10-10 fertilizer (2 lbs/1000 sq ft) on the following schedule:

- 1) For areas to be seeded in the period of April 15 through August 15, seed with 400 lbs per acre of annual ryegrass (2 lbs/1000 sq ft).
- 2) For areas to be seeded in the period of August 15 through November 15, seed with 400 lbs per acre of annual ryegrass (2 lbs/1000 sq ft) and 400 lbs per acre of winter wheat (2 lbs/1000 sq ft).
- 3) For areas to be seeded in the period of November 15 through February 15, seed with 400 lbs per acre of winter wheat (2 lbs/1000 sq ft).
- 4) For areas to be seeded in the period of February 15 through April 15, seed with 400 lbs per acre of winter wheat (2 lbs/1000 sq ft) and 400 lbs per acre of annual ryegrass (2 lbs/1000 sq ft).

Seeding Methods: Apply 20 to 30 lbs per acre of 10-10-10 fertilizer (2 lbs/1000 sq ft) of ungraded soil grade immediately after grading. Seed immediately after application on all areas with a slope of 3:1 or steeper. Seed immediately after application on all areas with a slope of 4:1 or steeper. Use 300 gallons per acre (3 gal/1000 sq ft) of seed.

Seeding Equipment: Inspect all seeding areas and make needed repairs, replacements and adjustments.

CERTIFICATION BY THE ENGINEER

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT"

Kenneth A. McCord
 KENNETH A. MCCORD
 DATE 8/19/88

CERTIFICATION BY THE DEVELOPER

"I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY"

David L. Carney
 DAVID L. CARNEY
 DATE 8/19/88

REVIEWED FOR HOWARD COUNTY S.C.D. AND MEETS TECHNICAL REQUIREMENTS

Stephen L. Fisher
 STEPHEN L. FISHER
 DATE 8/11/88

APPROVED
 HOWARD S.C.D.
 DATE 8/11/88

REV. DATE	REV. NO.	REVISION DESCRIPTION
5-11-87	1	Change Lot 457 to 751 & 460 to 752

BURLEIGH MANOR
 HOWARD COUNTY, MARYLAND
 DEVELOPER
 PROJECT AREA
 BURLEIGH MANOR
 SECTION 3 AREA 4 PHASE II
 PROJECT TITLE
 SEDIMENT CONTROL PLAN & DETAILS
 LOTS 443 THRU 458 / 751 / 752
 SHEET 2 OF 3

SCALE: 1" = 30' DATE: 8-10-88

WHITMAN, REQUARD AND ASSOCIATES
 ENGINEERS
 BALTIMORE, MARYLAND 21218
 2315 ST. PAUL STREET

Kenneth A. McCord
 KENNETH A. MCCORD

SDP-88-242

