

NOTE:
Proposed limit of disturbance (LOD) for revision no. 10 is 470 sq. ft. When a cumulative LOD total of site disturbances exceeds 5,000 sq. ft., storm water management shall be required.

REFERENCE PREVIOUS PLANS:
PLAT # 2113, 7470, 6209, 6772, 1214 & 6255
CONTRACTS 24-1432-D, 24-1440-D & 24-1548-D
F66-182, F66-127, F66-127, F66-127, F66-127
GP 87-26

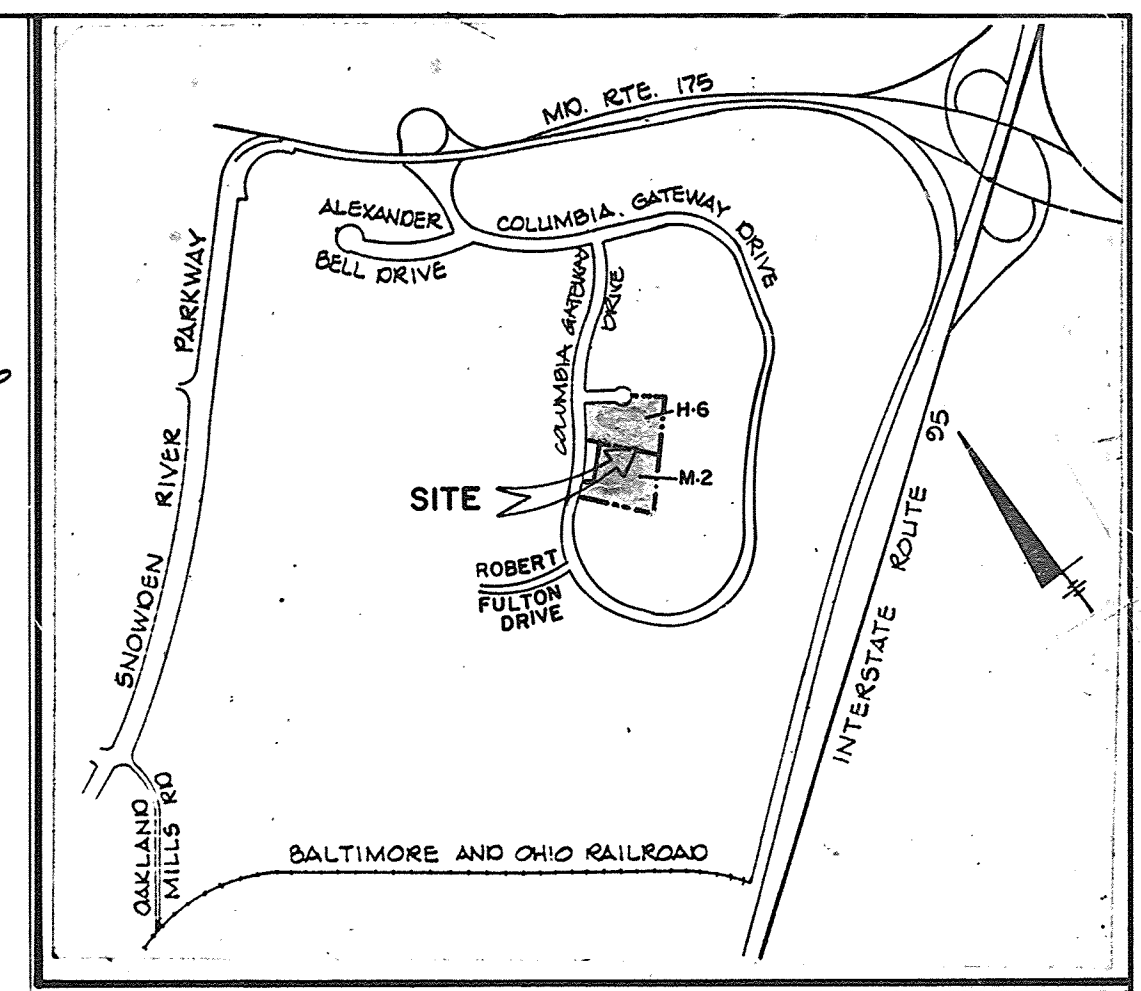
FOR REVISION NO. 10 PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 10995, EXPIRATION DATE: 11/15/98.

FOR REVISION NO. 11 PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED REGISTERED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12741, EXPIRATION DATE: 12-08-2023.

FOR REVISION NO. 12 PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED REGISTERED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 19224, EXPIRATION DATE: 11/02/2025.

FOR REVISION NO. 13 PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED REGISTERED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 19224, EXPIRATION DATE: 11/02/2025.

FOR REVISION NO. 14 PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED REGISTERED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 19224, EXPIRATION DATE: 11/02/2025.



APPROVED
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE: 9-23-88

SHEET INDEX
1. ONE & STORM WATER MANAGEMENT PLAN
2. PROFILES & DETAILS
3. NOTES & POWER PROFILES
4. STORM DRAIN PROFILES
5. STORM DRAIN PROFILES
6. STORM WATER MANAGEMENT PROFILES & DETAILS
7. STORM WATER MANAGEMENT CONTROL PROFILES & NOTES
8. PERMIT & EROSION CONTROL PLAN
9. SEWAGE CONTROL PROFILES & DETAILS
10. LANDSCAPE PLAN
11. PLANT LIST & DETAILS
12. DETAIL PLAN
13. SITE PRELIMINARY PLAN & LANDSCAPE PLAN
14. AMENITY DETAILS
15. BUILDING F EXTERIOR MOTOR FUNCTION AREA

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT & MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

James M. Helms 10/15/88
U.S. SOIL CONSERVATION SERVICE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF HOWARD SOIL CONSERVATION DISTRICT.

Robert W. Ziehm 10/21/88
APPROVED HOWARD SOIL CONSERVATION DISTRICT

PLAN NUMBER

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT.

John Balen 11-28-88
COUNTY HEALTH OFFICER

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING.

W. Helms 12.12.88
DIRECTOR

Frank J. McCarty 12-2-88
CHIEF DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

James G. Shaw 11/23/88
DIRECTOR

W. Helms 11-21-88
CHIEF BUREAU OF ENGINEERING

NO.	REVISIONS	DATE	BY
1	REVISED SHEET INDEX & SHEET NUMBER, ADDED CALLOUT FOR SHEET 15	11/3/91	GWS

NO.	DATE	BY
1	11/19/88	W. Helms

BUILDING #	STREET ADDRESS	BLDG. #	STREET ADDRESS
A	7150 COLUMBIA GATEWAY DRIVE	G	7154 COLUMBIA GATEWAY DRIVE
B	7134 COLUMBIA GATEWAY DRIVE		
C	7138 COLUMBIA GATEWAY DRIVE		
D	7142 COLUMBIA GATEWAY DRIVE		
F	7140 COLUMBIA GATEWAY DRIVE		

SUBDIVISION NAME	COLUMBIA GATEWAY	SECT./AREA	LOT/PARCEL #
			M-2 & H-6

PLAT # OR L/F	BLOCK #	ZONE	TAX/ZONING MAP	ELECT. DIST.	CENSUS TRACT
7470 & 2112	1	M-1	43	6	605.02

WATER CODE	SEWER CODE
E-06	393.0000

PLAN
SCALE: 1" = 50'

1. REVISE SIDEWALK TO ADD AMENITY AREAS AND REMOVE THE UNNECESSARY AMOUNT, ADD C SHEET INDEX 10/14/88

2. ADD FUEL TANK PAD 10/10/88

3. REVISE GENERATOR PAD LOCATION & ADD LIFT PAD, BUILDING C 10/10/88

GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS
303 ALLEGHENY AVENUE
TOWSON, MARYLAND 21284
(301) 825-8120

ENGINEER'S CERTIFICATE:
I CERTIFY THAT THIS PLAN FOR S.W.M. FACILITY CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENT A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SITE CONDITIONS THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE S.W.M. FACILITY WITHIN 30 DAYS OF COMPLETION.

ENGINEER: *V. Oberata* CHARLESBAST
REG. NO. 8296 DATE: 6/2/88

OWNER/DEVELOPER (PARCEL M-2)
GATEWAY CREATIONS, LLC
7150 COLUMBIA GATEWAY DRIVE
COLUMBIA, MARYLAND 21046
ATTN: MS. JUDITH DOWLING
(410) 255-5024

CONTRACT PURCHASER (PARCEL H-6)
GATEWAY SA PARTNERSHIP
C/O WANEKIN CORPORATION
10270 OLD COLUMBIA ROAD
COLUMBIA, MD. 21046
(301) 955-6787

DEVELOPER'S CERTIFICATE:
I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THE PLANS AND THAT ANY PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE S.W.M. FACILITY WITHIN 30 DAYS OF COMPLETION.

DEVELOPER: *W. Helms* DATE: 10-16-88

DESIGNED: N.B.
DRAWN: N.B. / J.W.
CHECKED: N.B.
1.9.89 REV. SAN. SEWER PER HEALTH DEPT. COMMENTS.
11/30/89 REV. PER MEMBER SIDE TO BLDGS. A, D, F
REV. INT. BET. BLDGS.

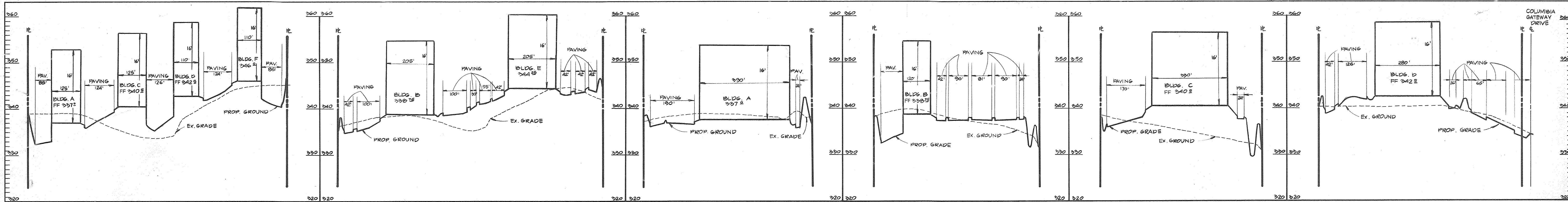
PN 05805 5/10/89

SITE & STORM WATER MANAGEMENT PLAN
FOR
GATEWAY 51
COLUMBIA GATEWAY PARCEL M-2/H-6

PARCEL # 587
HOWARD CO. MD
SCALE: 1" = 50'
ELECTION DISTRICT #6
JUNE 3, 1988
SHEET 1 OF 15

TAX MAP 43
HOWARD CO. MD
SCALE: 1" = 50'

SDP-38-235



SECTION A-A
SCALE: HORZ. 1"=200' VERT. 1"=10'

SECTION B-B
SCALE: HORZ. 1"=200' VERT. 1"=10'

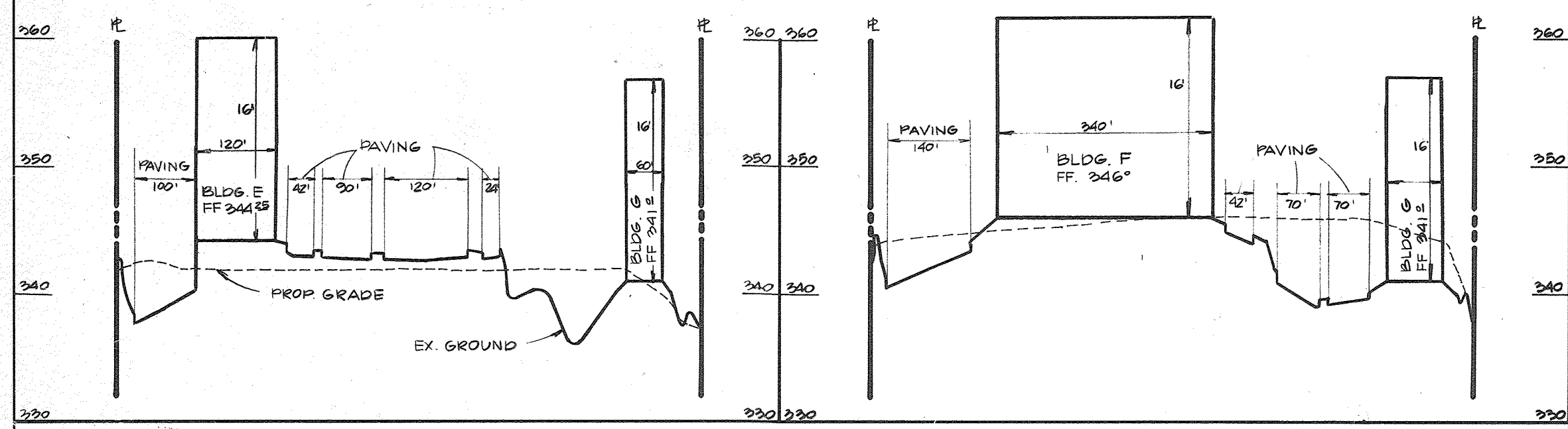
SECTION C-C
SCALE: HORZ. 1"=200' VERT. 1"=10'

SECTION D-D
SCALE: HORZ. 1"=200' VERT. 1"=10'

SECTION E-E
SCALE: HORZ. 1"=200' VERT. 1"=10'

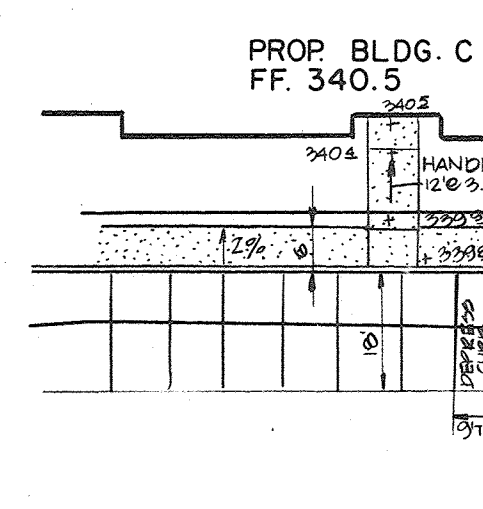
SECTION F-F
SCALE: HORZ. 1"=200' VERT. 1"=10'

TENANT CHART - BUILDING F		
TENANT NAME	AREA (SF)	PARKING REQUIREMENT
LITTLE LEAVES	5,793	100 P.S.

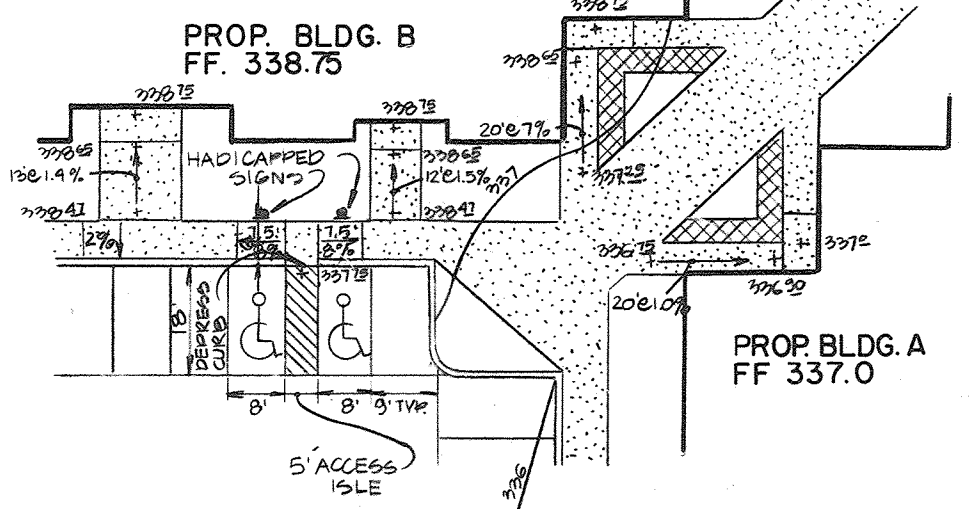


SECTION G-G
SCALE: HORZ. 1"=200' VERT. 1"=10'

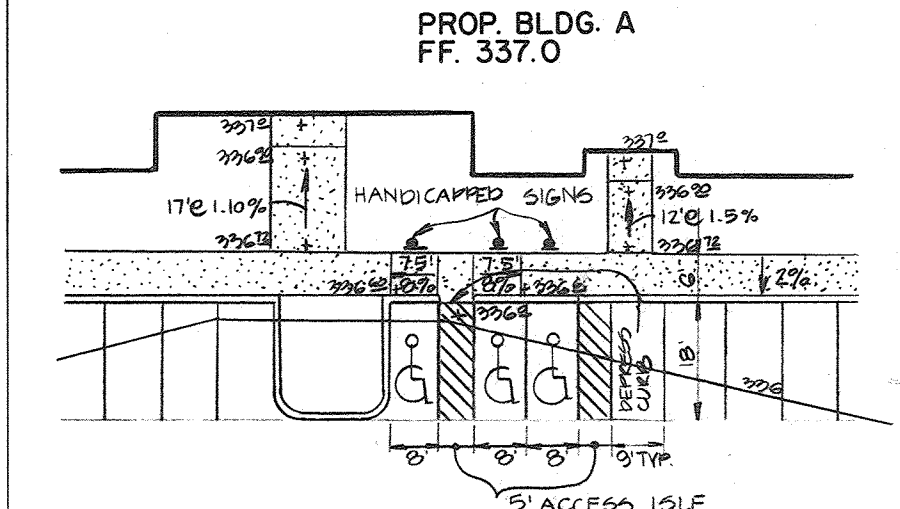
SECTION H-H
SCALE: HORZ. 1"=200' VERT. 1"=10'



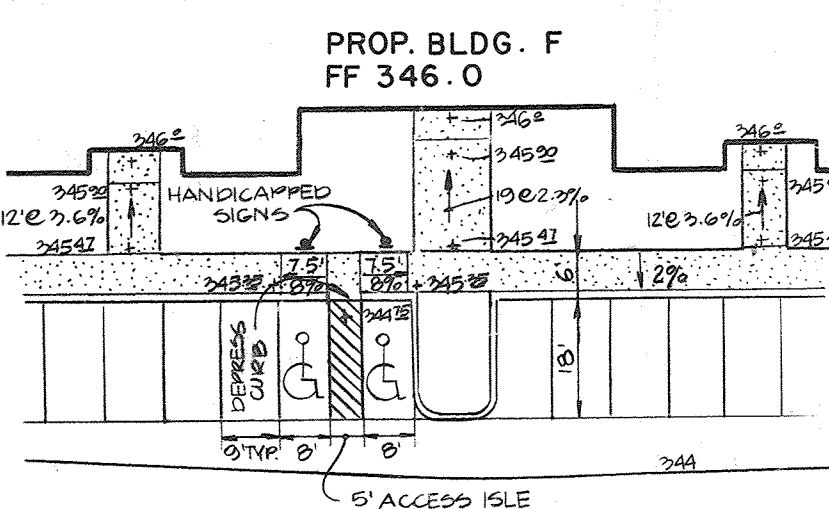
HANDICAP DETAIL A
SCALE: 1"=30'



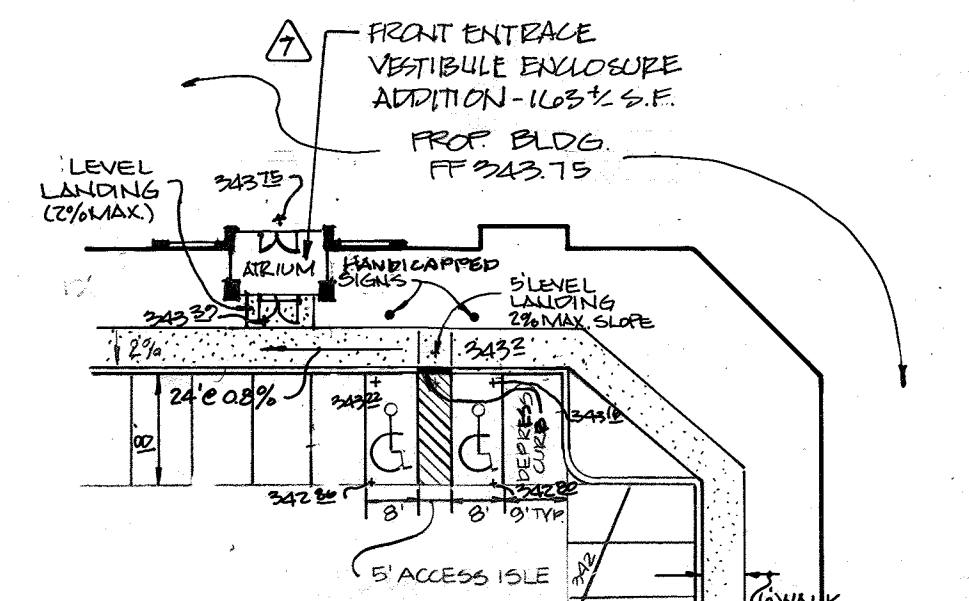
HANDICAP DETAIL B
SCALE: 1"=30'



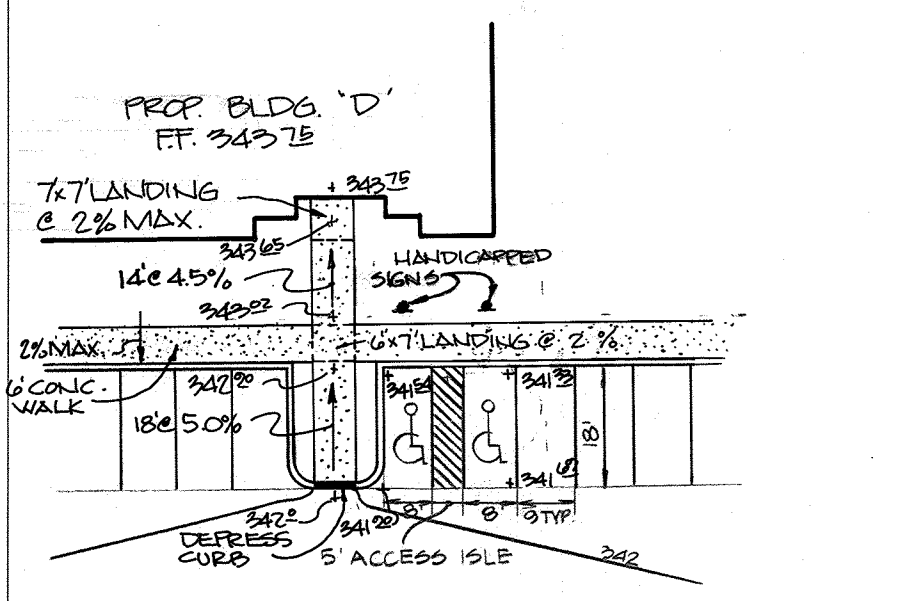
HANDICAP DETAIL C
SCALE: 1"=30'



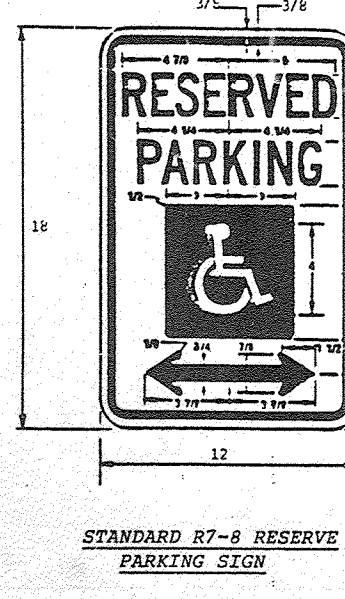
HANDICAP DETAIL D
SCALE: 1"=30'



HANDICAP DETAIL E
SCALE: 1"=30'



HANDICAP DETAIL F
SCALE: 1"=30'



50 FINE SIGN

Sign to utilize an aluminum blank 6" x 12" x 8.000 inch thick with two single post mounting holes.

The text and border shall be standard green to match that on R-7-S and, the background shall be reflective white. Text shall be in 3" characters.

Sign shall be mounted directly below the standard R-7-S Reserved Parking for Handicapped sign. Its bottom edge shall be no less than 7 feet above ground. If the sign is placed against a building, structure, or other location where vehicle or pedestrian traffic is not obstructed the bottom edge of sign shall be at least 6 feet but not more than 10 feet above ground.

NO.	REVISIONS	DATE	BY
1	REVISED SITE DATA AND PARKING TABULATION FOR BUILDING F & SITE DATA - PARCEL H-6, ADDED TENANT CHART	04/13/2011	PWT

HANDICAP DETAIL G
SCALE: 1"=30'

APPROVED
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE: 9-23-88

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT & MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

APPROVED: *James M. Nolan* 10/18/88
U.S. SOIL CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: *Richard Ziehm* 10/21/88
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT.

APPROVED: *James W. Boyd* 11-28-88
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING.
W. J. ... 12.12.88
DIRECTOR DATE

CHIEF DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

APPROVED: *James ...* 11-22-88
DIRECTOR DATE

CHIEF BUREAU OF ENGINEERING

CURRENT PROPERTY OWNER
PARCEL H-6
HOWARD RESEARCH DEVELOPMENT CORP
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MD 21044

DESIGNED: J.W./N.B.
DRAWN: J.W.
CHECKED: N.B.
FOR
GATEWAY 51
COLUMBIA GATEWAY PARCEL M-214-H-6

TAX MAP 43
HOWARD, CO, MD
SCALE: 1"=50'
PARCEL # 587
ELECTION DISTRICT #6
JUNE 3, 1988
SHEET 2 OF 14
SDP-88-235



I, PAUL W. TAYLOR, CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 15741. EXP. DATE 12/08/2021
FOR REVISION #8 ONLY

**BUILDING F - 35,532 SF - 54% GENERAL OFFICE = 19,080 SF
G 33 SPACES PER 1000 SF
19.08 x 2.3 = 63 P.S.
- 30% WAREHOUSE = 10,659 SF
G 0.75 SPACES PER 1000 SF
10.57 x 0.75 = 8 P.S.
- 16% MEDICAL CLINIC OR MEDICAL OFFICE BUILDING = 5,793 SF
G 5.0 SPACES PER 1000 SF
5.8 x 5.0 = 29 P.S.
OF SPACES REQUIRED BUILDING F = 100 P.S.**

SITE DATA
PARCEL M-2

AREA OF SITE: 10.69 AC.±
EXISTING ZONING: M-1
PROPERTY REFERENCE: PLAT #7470 & PLAT #
EXISTING USE: VACANT
PROPOSED USE: OFFICE/WAREHOUSE
TOTAL FLOOR AREA: 107,013 S.F. (2.46 AC.)
PARKING PROVIDED: 329
PARKING REQUIRED: 329
PARKING PROVIDED: 360 SPACES (INCLUDES 7 HANDICAP SPACES)
FLOOR AREA RATIO: 2.46/10.69 = 23%
% OPEN SPACE: 3.06 AC.±/10.69 = 28.6%
% BUILDING COVERAGE: 2.46/10.69 = 23%
AREA TO BE DISTURBED: 10.69 AC.±
AREA TO BE VEGETATIVELY STABILIZED: 3.06 AC.±
% BUILDING COVERAGE WITH PAVING: 7.63/10.69 = 71.4%
TOTAL AREA OF PARKING LOT: 2.9 AC.±
% LANDSCAPED ISLANDS WITHIN PARKING: 0.2/2.9 = 6.89%
TOTAL AREA OF LANDSCAPED ISLANDS: 0.2 AC.±

SITE DATA

Area of Site: 20.85 Ac
Existing Zoning: M-1
Property Reference: Plat #7470 & Plat #
Existing Use: Vacant
Proposed Use: **GENERAL OFFICE/WAREHOUSE/MEDICAL CLINIC OR MEDICAL OFFICE BUILDING**
Total floor area: 224,740 S.F. (4.70 Ac)
Parking Required: **648**
Parking Provided: 707 spaces (includes 15 handicap spaces)
Floor area ratio: 4.70 x 20.85 = 22.5%
% Open Space: 6.41 Ac/20.85 Ac = 30.7%
% Building Coverage: 4.70 x 20.85 = 22.5%
Area to be disturbed: 20.85 Ac
Area to be vegetatively stabilized: 6.41 Ac
% Building coverage with paving: 74.44 Ac/20.85 Ac = 69.3%
Total area of parking lot: 6.44 Ac
% Landscaped islands within parking = 0.47 x 6.44 = 7.3%
Total area of landscaped islands 0.47 Ac

PARKING TABULATION

Building A - 46,840 Sq. Ft. - 70% office = 32788 sq.ft. @ 200=164 EMP/110 EMP/110 P.S.
30% warehouse = 14052 sq.ft. @ 1 P.S./500 EMP=29 P.S.
Spaces required Building A = 144 P.S.

Building B - 21,991 Sq. Ft. - 70% office = 15394 sq.ft. @ 200=77 EMP @ 3 P.S./110 EMP=54 P.S.
30% warehouse = 6597 sq.ft. @ 1 P.S./500 EMP = 14 P.S.
Spaces required Building B = 68 P.S.

Building C - 38,182 sq.ft. - 70% office = 26728 sq.ft. @ 200=134 EMP @ 7 P.S./105 EMP=94 P.S.
30% office = 11454 sq.ft. @ 1 P.S./500 EMP = 23 P.S.
Spaces required Building C = 117 P.S.

Building D - 47,195 sq.ft. - 100% office = 47,195 sq.ft. @ 200=236 EMP @ 7 P.S./105 EMP = 166 P.S.
Spaces required Building D = 166 P.S.

Building E =

Building F - 35,532 sq.ft. - 54% office = 19,080 sq.ft. @ 200=95 EMP @ 3 P.S./110 EMP=54 P.S.
30% warehouse = 10,659 sq.ft. @ 1 P.S./500 EMP = 21 P.S.
16% medical clinic or medical office building = 5,793 sq.ft. @ 5 P.S./1000 EMP = 29 P.S.
Spaces required Building F = 145 P.S.

Building G - 15,000 sq.ft. 100% office = 15,000 sq.ft. @ 200=75 EMP @ 7 P.S./105 EMP=53 EMP
Spaces required Building G = 53 P.S.

Total # of required spaces = **648**
Total # of provided spaces = 707

Required Handicap spaces = .024708 = 15
Provided Handicap spaces = 15

FOR REVISION NO. 7
PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 10974, EXPIRATION DATE: 7/22/2018

SITE DATA
PARCEL H-6

AREA OF SITE: 10.16 AC.±
EXISTING ZONING: M-1
PROPERTY REFERENCE: PLAT #7470 & PLAT #
EXISTING USE: VACANT
PROPOSED USE: **GENERAL OFFICE/WAREHOUSE/MEDICAL CLINIC OR MEDICAL OFFICE BUILDING**
TOTAL FLOOR AREA: 97,727 S.F. (2.24 AC.)
PARKING PROVIDED: **340**
PARKING REQUIRED: **340**
PARKING PROVIDED: 347 SPACES (INCLUDES 8 HANDICAP SPACES)
FLOOR AREA RATIO: 2.24/10.16 = 22.0%
% OPEN SPACE: 3.35 AC.±/10.16 = 33.0%
% BUILDING COVERAGE: 2.30/10.16 = 22.6%
AREA TO BE DISTURBED: 10.16 AC.±
AREA TO BE VEGETATIVELY STABILIZED: 3.35 AC.±
% BUILDING COVERAGE WITH PAVING: 6.81/10.16 = 67%
TOTAL AREA OF PARKING LOT: 3.54 AC.±
% LANDSCAPED ISLANDS WITHIN PARKING: 0.27/3.54 = 7.62%
TOTAL AREA OF LANDSCAPED ISLANDS: 0.27 AC.±

GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS
303 ALLEGHENY AVENUE
TOWSON, MARYLAND 21284
(301) 825-8120

ENGINEER'S CERTIFICATE:
I CERTIFY THAT THIS PLAN FOR S.W.M. FACILITY CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENT A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SITE CONDITIONS THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT THE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE S.W.M. FACILITY WITHIN 30 DAYS OF COMPLETION.

ENGINEER: *Vijayendra Chandra*
REG. NO. 18930 DATE: 6/3/88

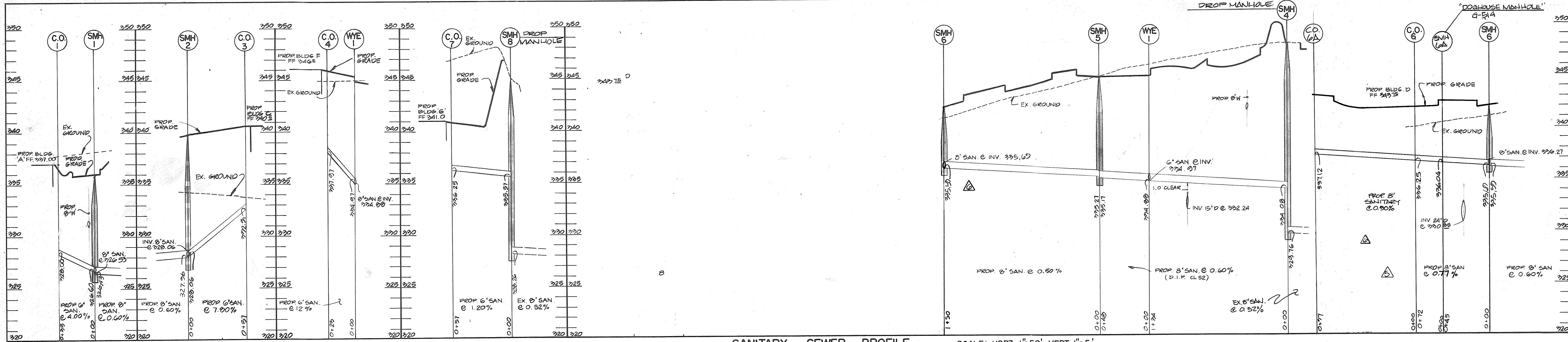
OWNER/DEVELOPER (PARCEL M-2)
GATEWAY CROSSING 95 LLC
1130 COLUMBIA GATEWAY 108E
COLUMBIA, MARYLAND 21046
ATTN: MR. KATHLEEN DVALENTIN
(443) 289-9034

CONTRACT PURCHASER (PARCEL H-6)
GATEWAY 54 PARTNERSHIP
C/O MANEKIN CORPORATION
10270 OLD COLUMBIA ROAD
COLUMBIA, MD 21046
(301) 995-6767

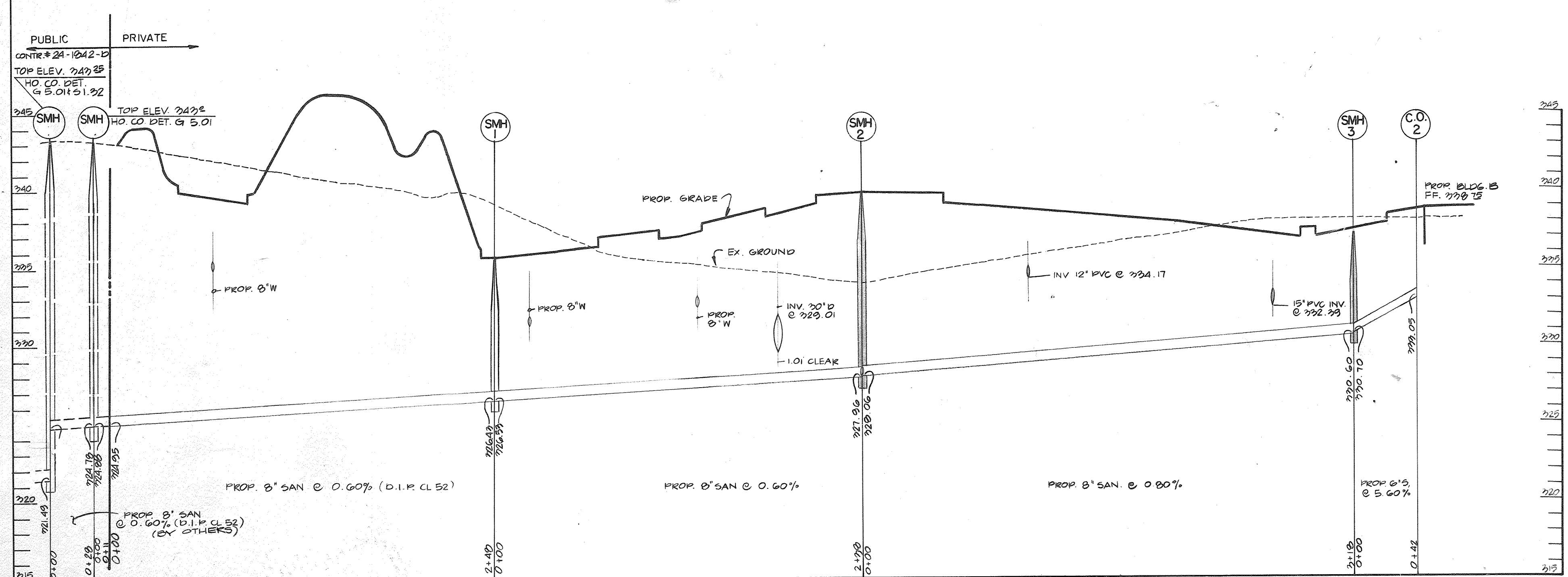
DEVELOPER'S CERTIFICATE:
I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. ALSO AUTHORIZED PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE S.W.M. FACILITY WITHIN 30 DAYS OF COMPLETION.

DEVELOPER: *J.W./N.B.* DATE: 10.16.88

DESIGNED: J.W./N.B.
DRAWN: J.W.
CHECKED: N.B.
FOR
GATEWAY 51
COLUMBIA GATEWAY PARCEL M-214-H-6



SANITARY SEWER PROFILE SCALE: HORZ. 1"=50' VERT. 1"=5'

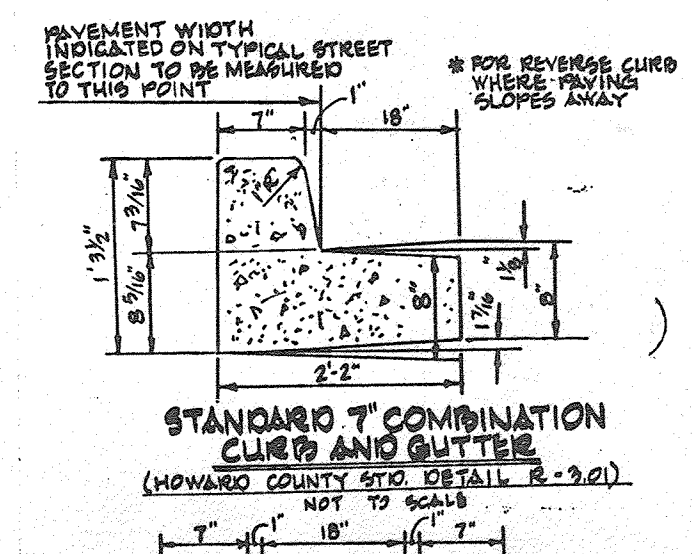
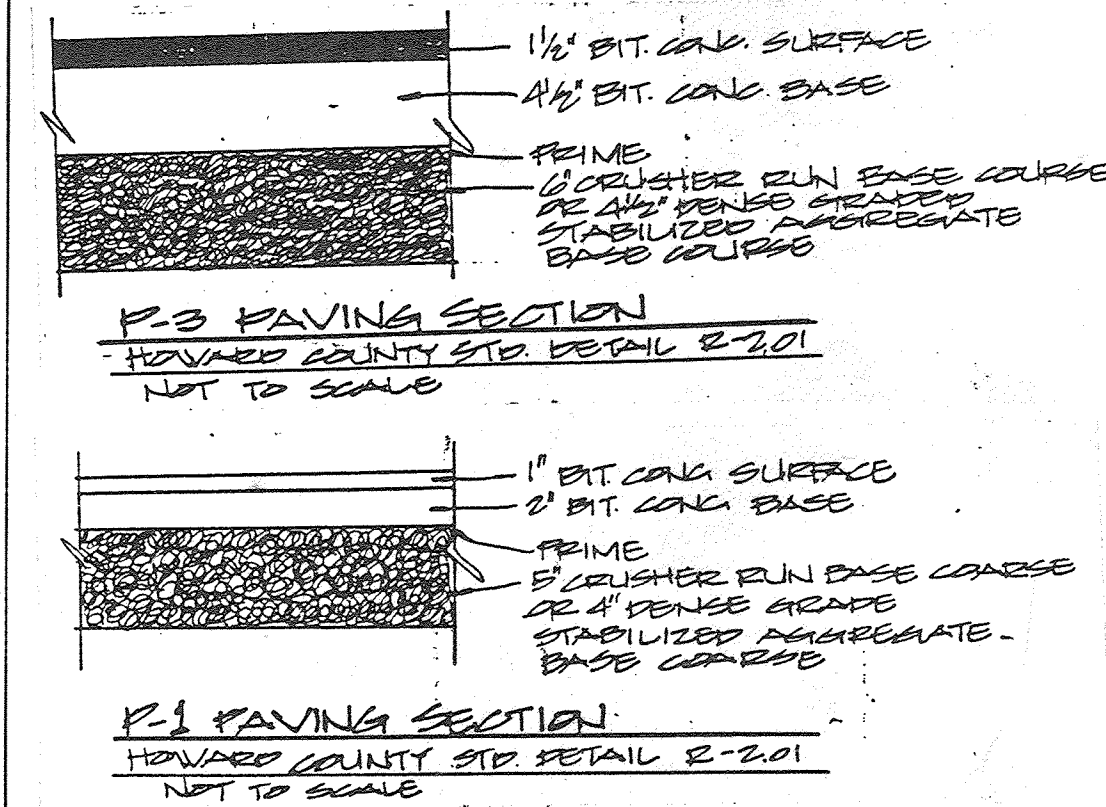


SANITARY SEWER PROFILE SCALE: HORZ. 1"=50' VERT. 1"=5'

- GENERAL NOTES**
- Maximum building height - 50'.
 - All areas not being paved or receiving building coverage shall be stabilized in accordance with the plans approved by Howard Soil Conservation District.
 - Any damage to public rights-of-way and/or adjacent properties shall be repaired immediately at the contractor's expense.
 - The contractor shall maintain at least a 2" level bench behind all curb and gutter in fill areas.
 - The contractor shall verify all existing utilities to his satisfaction before starting construction.
 - All slopes shall be 2:1 or flatter.
 - All work shall be done in accordance with Howard County Standard Specifications and Details for Construction, or as shown on these plans.
 - The contractor shall notify the C & P Telephone Co. and Gas and Electric Company five days prior to starting work shown on these plans by calling "511". Call collect 1-559-0100.

- All rip-rap shall be placed on filter cloth.
- The contractor or developer shall contact the Construction Inspection/Survey Division 24 hours in advance of commencement of work at 992-2417 or 792-7272.
- The contractor shall remove all existing paving, curb and gutter, etc. that may interfere with proposed construction.
- All utilities installed shall receive full trench compaction.
- All water manholes, bends, caps, etc. shall be buttressed in accordance with Howard County Design requirements.
- All sidewalks will be 6' wide (see architectural plans for details).
- The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building, shown on this site development plan who will discharge non-domestic waste to the public sewerage system if this waste is regulated under Section 18.122A of the Howard County Code. Each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and interior waste lines. The above requirements shall apply to all existing and future occupants or tenants.

NO.	TYPE	MANHOLE	SCHEDULE		
NO.	TYPE	TOP ELEV.	INV. IN	INV. OUT	SEE HO. CO. STD. DET.
SMH 1	4" BRICK MANHOLE	235.95	226.62	226.52	6.5.01
SMH 2	4" BRICK MANHOLE	240.00	228.06	227.96	6.5.01
SMH 3	4" BRICK MANHOLE	231.90	230.10	230.00	6.5.01
SMH 4	4" BRICK MANHOLE	250.00	224.08	223.76	6.5.01 & 5.1.32 *
SMH 5	4" BRICK MANHOLE	244.00	235.27	235.17	6.5.01
SMH 6	4" BRICK MANHOLE	242.03	236.27	226.17	6.5.01
SMH 7	4" BRICK MANHOLE	245.60	238.90	238.80	6.5.01
SMH 8	4" BRICK MANHOLE	245.20	235.57	229.20	6.5.01 & 5.1.32 *



APPROVED
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 9-23-88

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT & MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

APPROVED: *James M. Helm* 10/15/88
U.S. SOIL CONSERVATION SERVICE DATE

APPROVED: *Philip J. Zieher* 10/21/88
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: *James M. Helm* 11-28-88
COUNTY HEALTH OFFICES DATE

APPROVED: *James M. Helm* 12.12.88
DIRECTOR DATE

APPROVED: *James M. Helm* 12-2-88
CHIEF DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT DATE

APPROVED: *James M. Helm* 11-22-88
DIRECTOR DATE

APPROVED: *William S. Reay* 11-21-88
CHIEF BUREAU OF ENGINEERING DATE

REV. 12/13/85 EXTEND 8" SANITARY TO CLEANOUT (CA) & REV. 11/15/84 CHANGE SAN. PROFILE SMH (CA) TO C.O. 5

GEORGE WILLIAM...
DATE 6/3/88

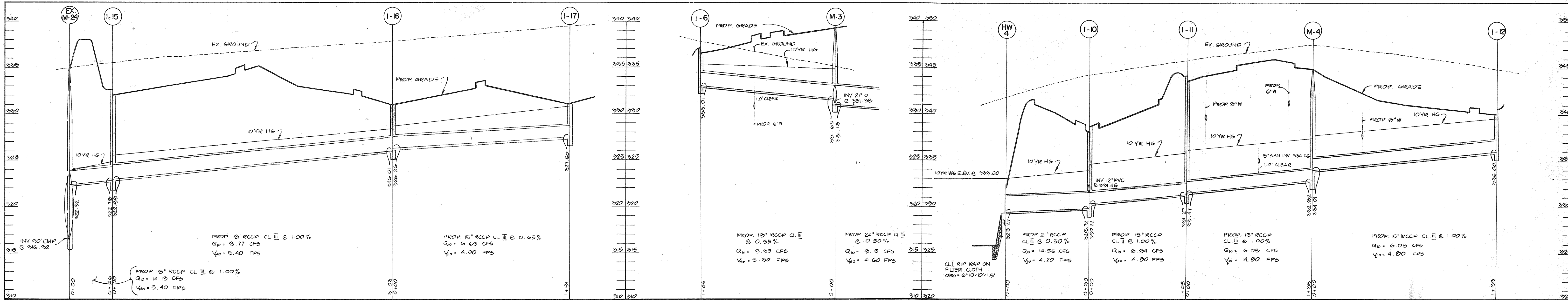
STATE OF MARYLAND...
DATE 6/3/88

OWNER/DEVELOPER (PARCEL M-2)
SUNSHINE CROSSING 98 LLC
1700 COLUMBIA GEMWAY DRIVE
COLUMBIA, MARYLAND 21046
ATTN: MR. KATHLEEN ORVALENTIN
(443) 285-5034

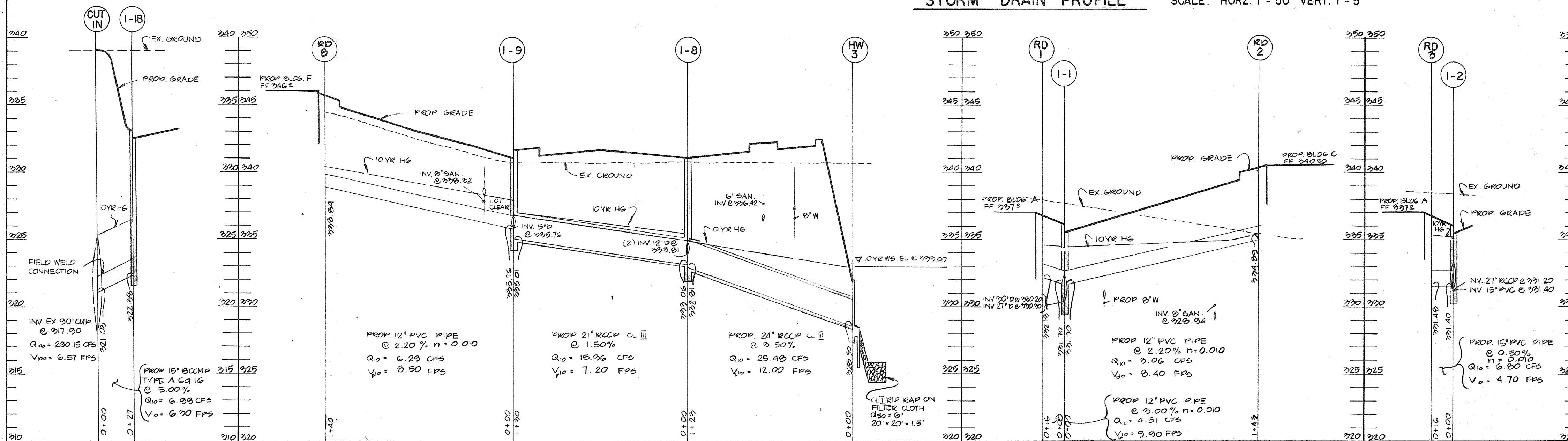
CONTRACT PURCHASER (PARCEL H-6)
GATEWAY 51 PARTNERSHIP
60 MANASSAS CORPORATION
10270 OLD COLUMBIA PIKE
COLUMBIA, MARYLAND 21046
(301) 995-6707

DEVELOPER'S CERTIFICATE...
DATE

FOR
GATEWAY 51
1-9-89 REV. SEWER PROFILES PER STATE HEALTH DEPT. COMMENTS G. 10/15/85 CHANGE SHEET NUMBER



STORM DRAIN PROFILE SCALE: HORIZ. 1" = 50' VERT. 1" = 5'



STORM DRAIN PROFILE SCALE: HORIZ. 1" = 50' VERT. 1" = 5'

RECORD OF SOIL EXPLORATION

Contracted With: Manekin Corporation
 Project Name: Columbia Gateway 51
 Location: See Sketch

ELEV.	SOIL DESCRIPTION	DEPTH	NO.	DATE	REMARKS
325.00	Brown moist gravelly clayey coarse sand trace of roots and gravel (FILL)	0-1-3	1	08	Topsoil - dark and very moist - sandy clay, some gravel
324.00	USDA: (SANDY LOAM) (SC)	0-5-9	2	08	Trace organics at 10.0'
323.00	USDA: (SANDY LOAM) (SC)	0-5-12-11	3	08	Water encountered at 18.0'
322.00	Gray moist sand with trace of clay and gravel. Increased clay content from 15.0' to 20.0'. Possible fill (may be natural below 11.0').	0-3-8-11	4	08	
321.00	USDA: (SANDY LOAM) (SA)	0-7-14-19	5	08	
320.00	USDA: (SANDY LOAM) (SA)	0-5-11-12	6	08	
319.00		0-4-3-6	7	08	

APPROVED
 DIVISION OF LAND DEVELOPMENT &
 ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE: 9-23-88

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT & MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

James M. Jahn 10/13/88
 U.S. SOIL CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: *Robert J. Zehn* 10/21/88
 HOWARD SOIL CONSERVATION DISTRICT DATE

PLAN NUMBER
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT.

James J. Jahn 11-29-88
 COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING.
W. Jahn 12-12-88
 DIRECTOR DATE

Manika J. Jahn 12-2-88
 CHIEF DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

James J. Jahn 11/22/88
 DIRECTOR DATE

James J. Jahn 11-21-88
 CHIEF BUREAU OF ENGINEERING DATE

CURRENT PROPERTY OWNER
 PARCEL H-6
 HOWARD RESEARCH DEVELOPMENT CORP.
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MD 21044

RECORD OF SOIL EXPLORATION

Contracted With: Manekin Corporation
 Project Name: Columbia Gateway 51
 Location: See Sketch

ELEV.	SOIL DESCRIPTION	DEPTH	NO.	DATE	REMARKS
325.00	Brown, moist, loose to medium dense clayey sand, trace of gravel (FILL)	0-1-2-3	1	08	
324.00	USDA: (SANDY LOAM) (SC)	0-6-10-11	2	08	
323.00	USDA: (SANDY LOAM) (SC)	0-6-18-14	3	08	
322.00	Brown moist medium dense sand with trace of gravel	0-10-12-13	5	08	
321.00	USDA: (SANDY LOAM) (SL)	0-5-6-6	6	08	
320.00	USDA: (SANDY LOAM) (SL)	0-5-5-8	7	08	

RECORD OF SOIL EXPLORATION

Contracted With: Manekin Corporation
 Project Name: Columbia Gateway 51
 Location: Offset 8.0' to South East location on print

ELEV.	SOIL DESCRIPTION	DEPTH	NO.	DATE	REMARKS
325.00	Red brown to light yellow brown moist, soft sandy clay (SC)	0-1-2-3	1	08	
324.00	USDA: (SANDY LOAM) (SL)	0-2-2-1	2	08	
323.00	USDA: (SANDY LOAM) (SL)	0-4-6-3	3	08	
322.00	USDA: (SANDY LOAM) (SL)	0-9-14-17	4	08	
321.00	USDA: (SANDY LOAM) (SL)	0-10-8-9	5	08	
320.00	USDA: (SANDY LOAM) (SL)	0-7-11-13	6	08	
319.00	USDA: (SANDY LOAM) (SL)	0-5-7-9	7	08	

RECORD OF SOIL EXPLORATION

Contracted With: Manekin Corporation
 Project Name: Columbia Gateway 51
 Location: See Sketch

ELEV.	SOIL DESCRIPTION	DEPTH	NO.	DATE	REMARKS
325.00	Light brown moist very soft to very stiff sandy clay, trace of gravel (FILL)	0-1-1-1	1	08	
324.00	USDA: (SANDY LOAM) (SL)	0-1-2-3	2	08	
323.00	USDA: (SANDY LOAM) (SL)	0-8-11-16	3	08	
322.00	USDA: (SANDY LOAM) (SL)	0-10-10-11	4	08	
321.00	USDA: (SANDY LOAM) (SL)	0-30-29-24	5	08	
320.00	USDA: (SANDY LOAM) (SL)	0-7-9-12	6	08	
319.00	USDA: (SANDY LOAM) (SL)	0-6-7-9	7	08	
318.00	USDA: (SANDY LOAM) (SL)	0-9-12-13	8	08	

RECORD OF SOIL EXPLORATION

Contracted With: Manekin Corporation
 Project Name: Columbia Gateway 51
 Location: See Sketch

ELEV.	SOIL DESCRIPTION	DEPTH	NO.	DATE	REMARKS
325.00	Brown moist medium stiff to very stiff clayey sand, trace of gravel (FILL)	0-5-9-8	1	08	
324.00	USDA: (SANDY LOAM) (SL)	0-3-2-4	2	08	
323.00	USDA: (SANDY LOAM) (SL)	0-10-10-11	3	08	
322.00	USDA: (SANDY LOAM) (SL)	0-50-51/5	4	08	
321.00	USDA: (SANDY LOAM) (SL)	0-9-10-10	5	08	
320.00	USDA: (SANDY LOAM) (SL)	0-5-7-9	6	08	
319.00	USDA: (SANDY LOAM) (SL)	0-9-11-13	7	08	

RECORD OF SOIL EXPLORATION

Contracted With: Manekin Corporation
 Project Name: Columbia Gateway 51
 Location: See Sketch

ELEV.	SOIL DESCRIPTION	DEPTH	NO.	DATE	REMARKS
325.00	Brown moist very loose to medium dense gravelly clayey coarse sand (FILL)	0-1-5-7	1	08	
324.00	USDA: (SANDY LOAM) (SL)	0-5-6-6	2	08	
323.00	USDA: (SANDY LOAM) (SL)	0-1-1-1	3	08	
322.00	USDA: (SANDY LOAM) (SL)	0-4-6-11	4	08	
321.00	USDA: (SANDY LOAM) (SL)	0-16-40-51/6	5	08	
320.00	USDA: (SANDY LOAM) (SL)	0-9-11-15	6	08	
319.00	USDA: (SANDY LOAM) (SL)	0-5-9-12	7	08	
318.00	USDA: (SANDY LOAM) (SL)	0-6-7-4	8	08	

RECORD OF SOIL EXPLORATION

Contracted With: Manekin Corporation
 Project Name: Columbia Gateway 51
 Location: See Sketch

ELEV.	SOIL DESCRIPTION	DEPTH	NO.	DATE	REMARKS
325.00	Brown moist gravelly clayey coarse sand (FILL)	0-1-2-7	1	08	
324.00	USDA: (SANDY LOAM) (SL)	0-6-2-2	2	08	
323.00	USDA: (SANDY LOAM) (SL)	0-4-6-11	3	08	
322.00	USDA: (SANDY LOAM) (SL)	0-16-40-51/6	4	08	
321.00	USDA: (SANDY LOAM) (SL)	0-9-11-15	5	08	
320.00	USDA: (SANDY LOAM) (SL)	0-5-9-12	6	08	
319.00	USDA: (SANDY LOAM) (SL)	0-6-7-4	7	08	

GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 303 ALLEGHENY AVENUE
 TOWSON, MARYLAND 21204
 (301) 825-8120

ENGINEER'S CERTIFICATE:
 I CERTIFY THAT THIS PLAN FOR S.W.M. FACILITY CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENT A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE S.W.M. FACILITY WITHIN 30 DAYS OF COMPLETION.
 ENGINEER: *Robert A. Chakrabarti*
 REG. NO. 8720 DATE: 6/3/88

OWNER/DEVELOPER (PARCEL M-2)
 GATEWAY DEVELOPMENT OF MD
 1150 COLUMBIA GATEWAY DRIVE
 COLUMBIA, MARYLAND 21040
 ATT: MS. WILHELM DIVINENTIN
 (410) 285-5824

CONTRACT PURCHASER (PARCEL H-6)
 GATEWAY 54 PARTNERSHIP
 C/O MANEKIN CORPORATION
 10270 OLD COLUMBIA ROAD
 COLUMBIA, MD 21046
 (301) 985-6767

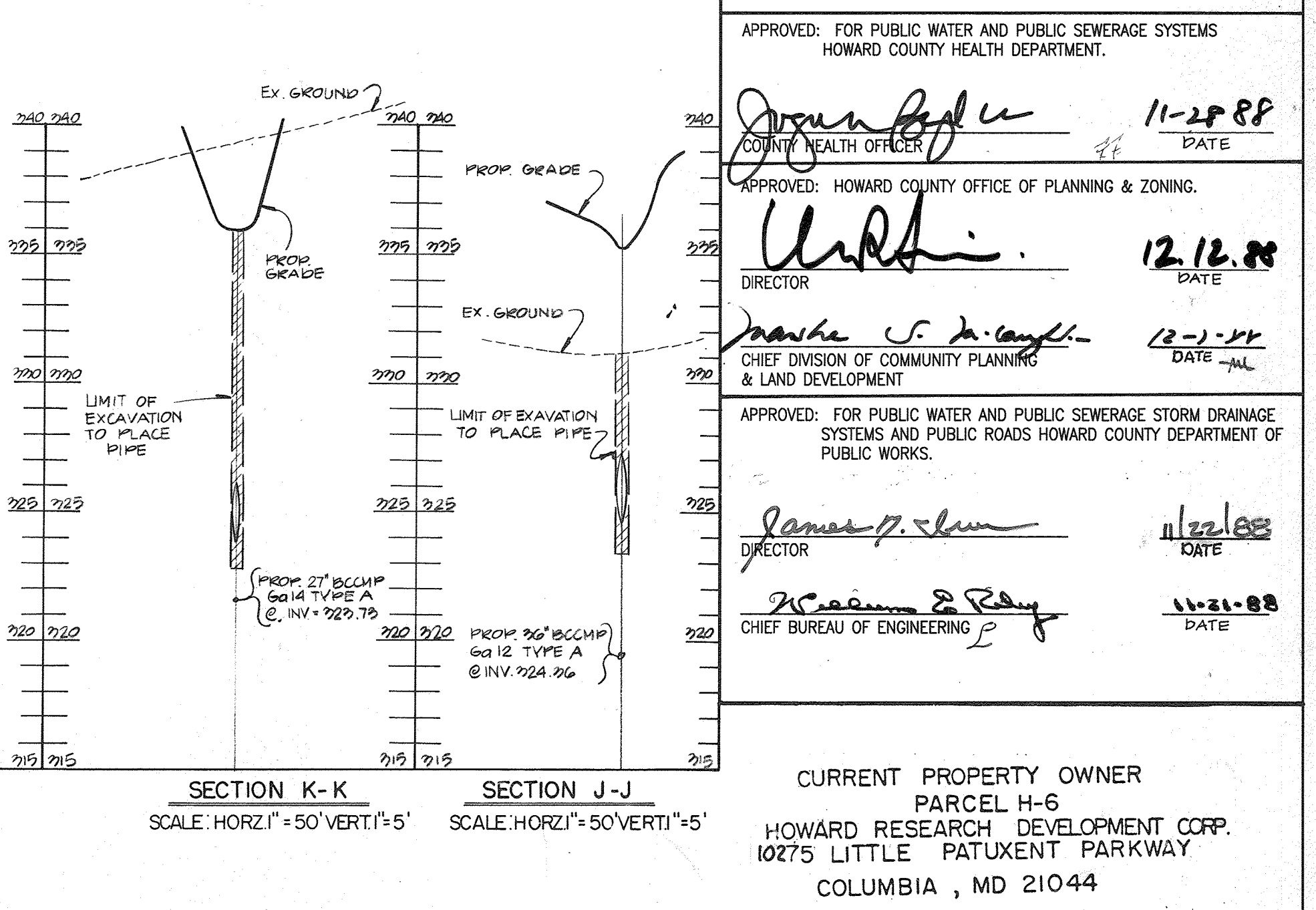
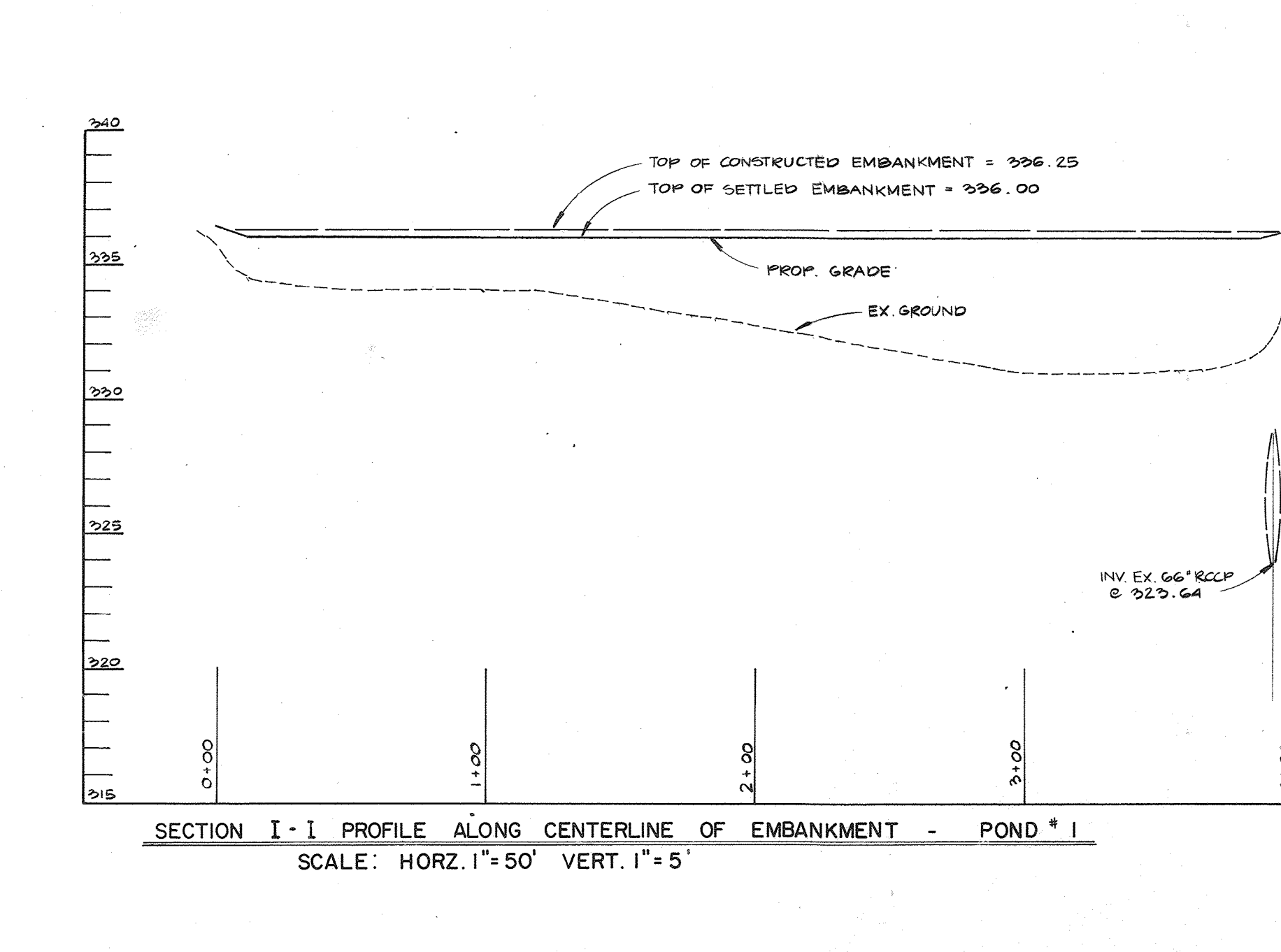
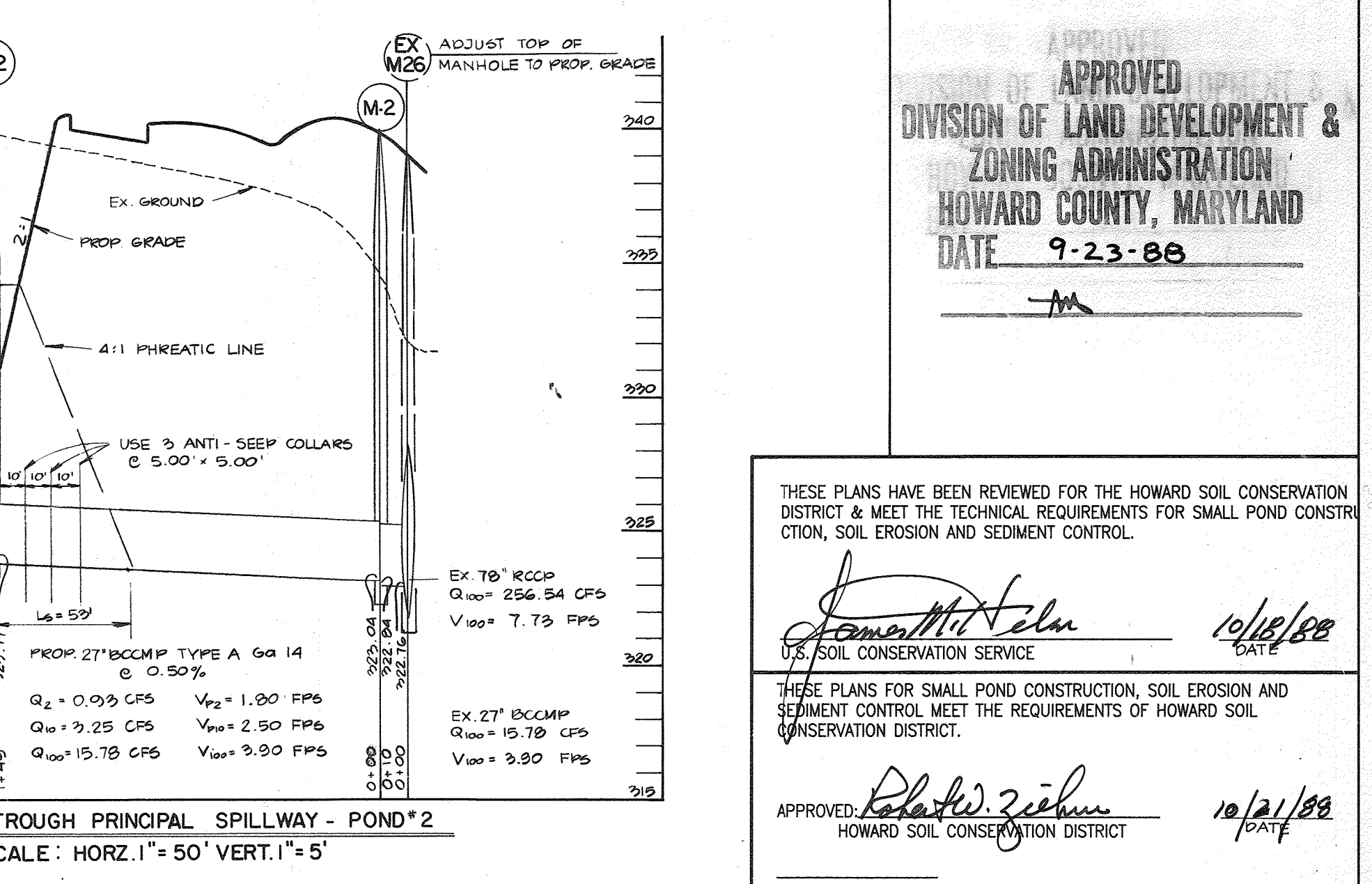
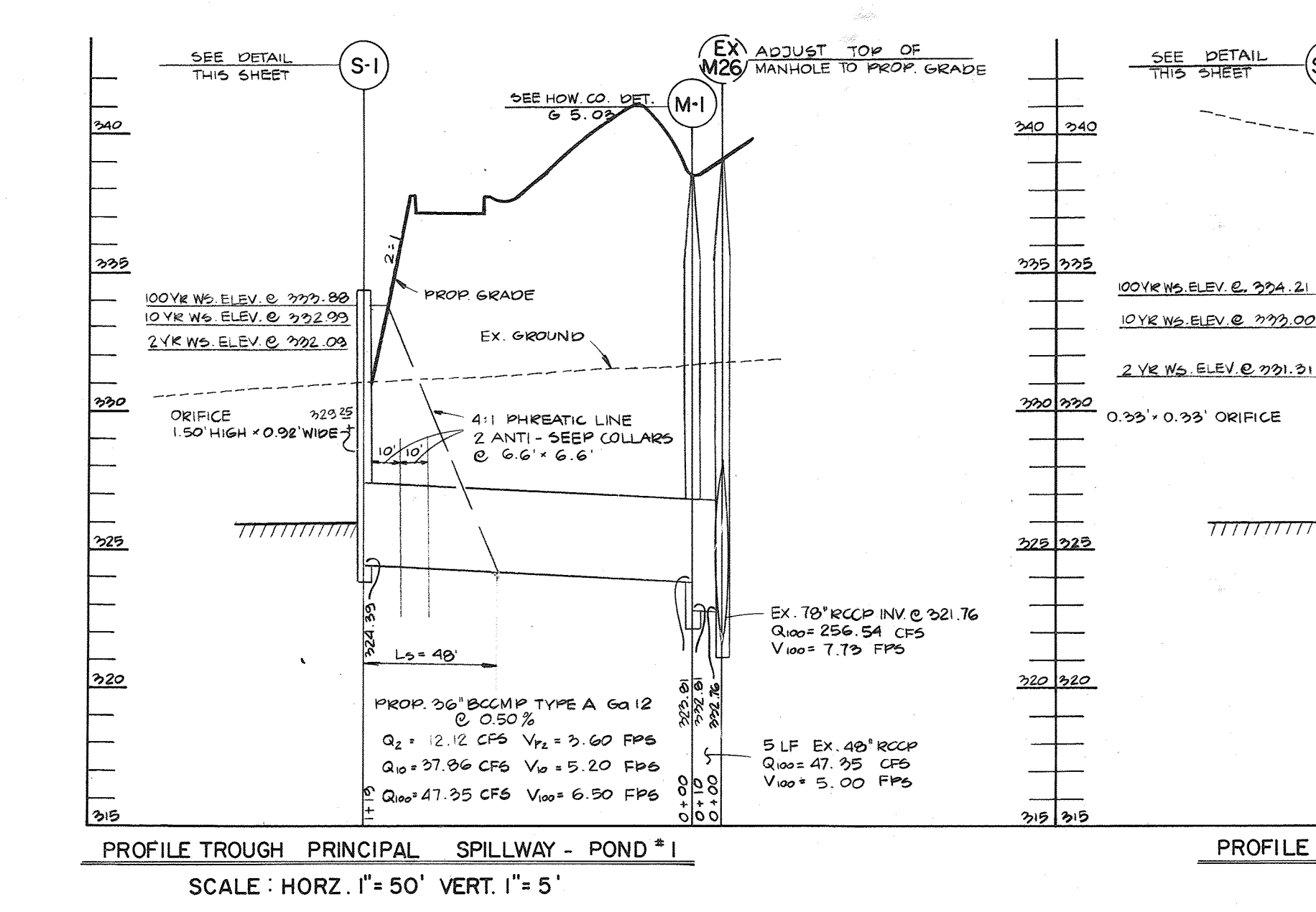
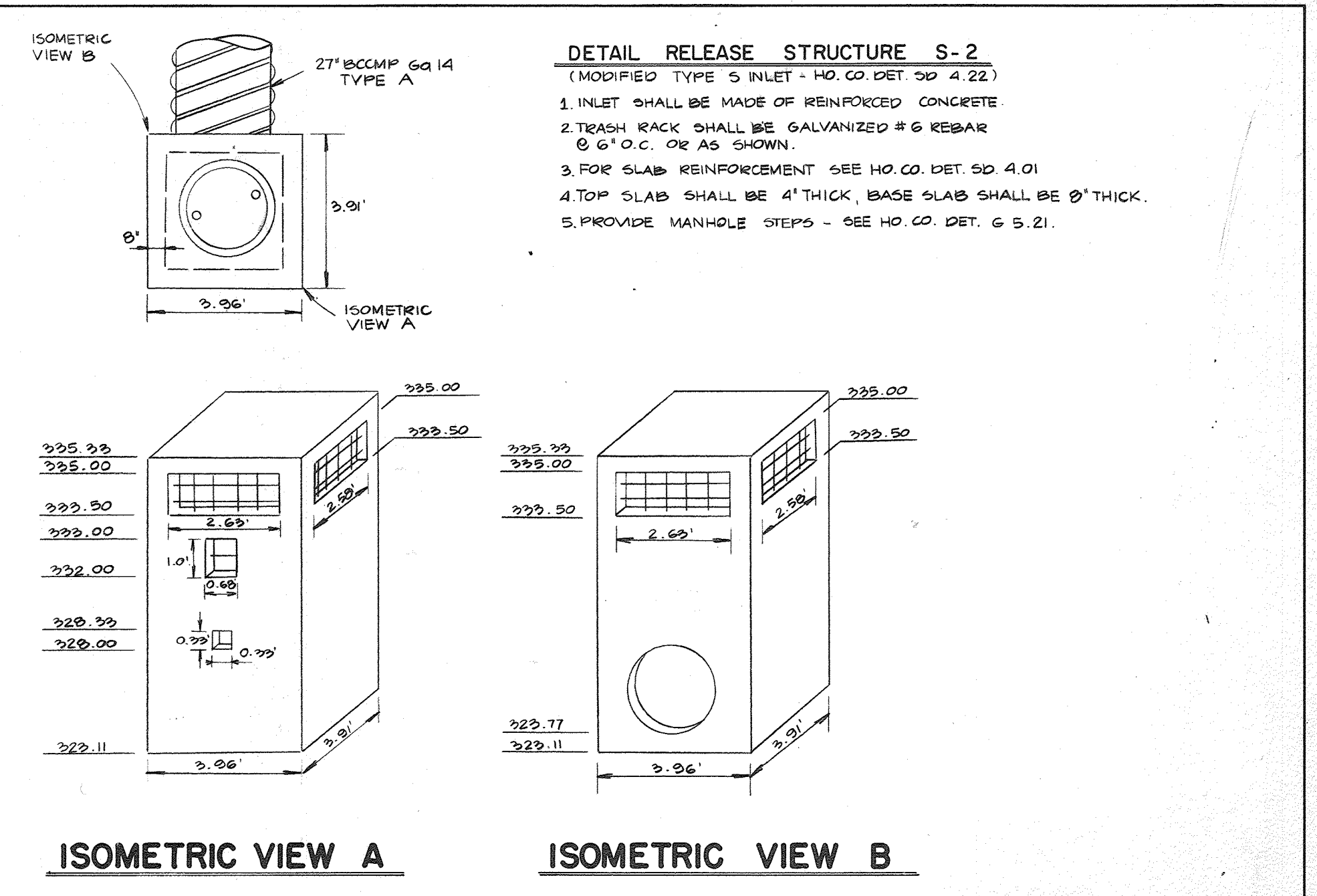
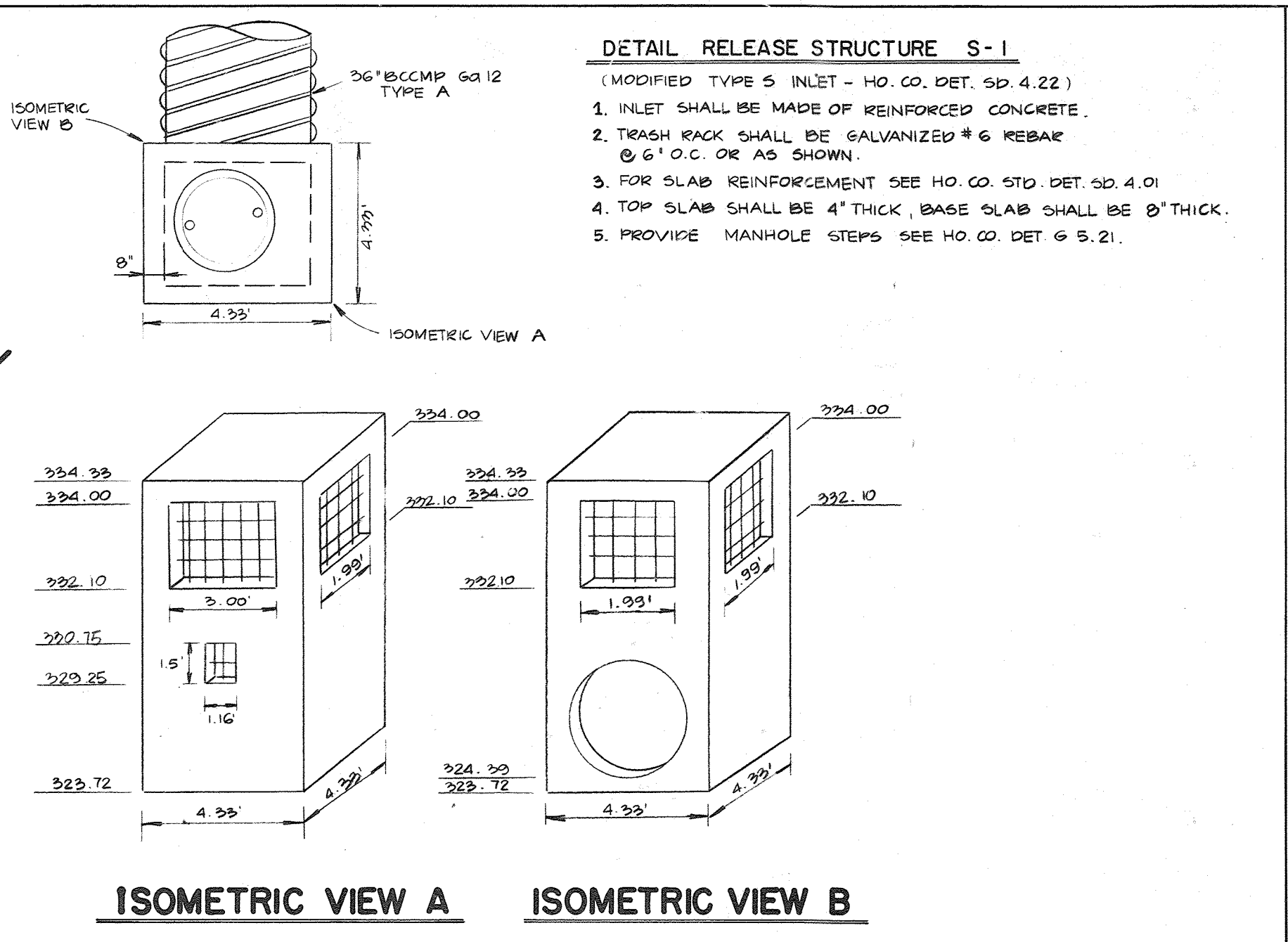
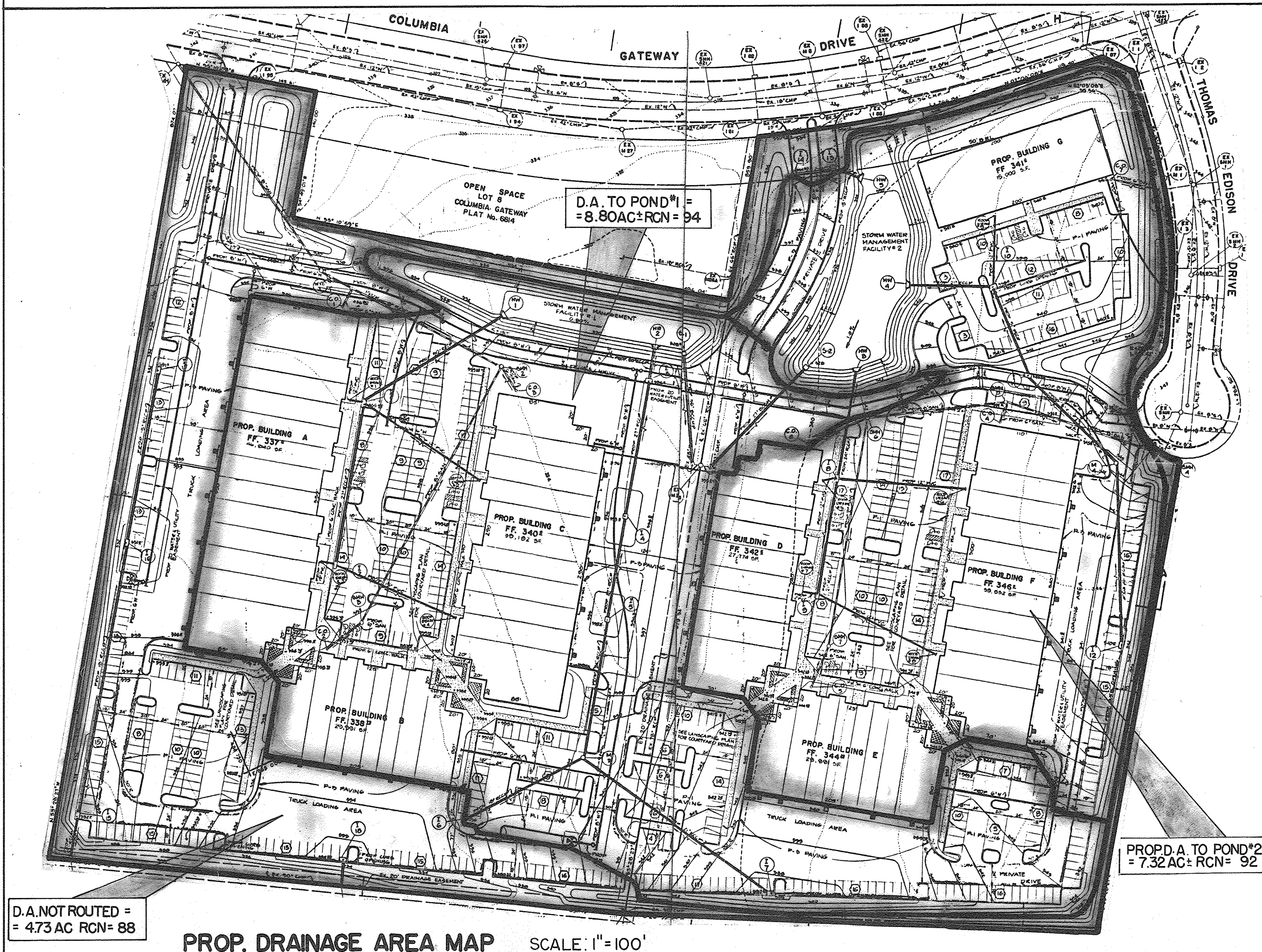
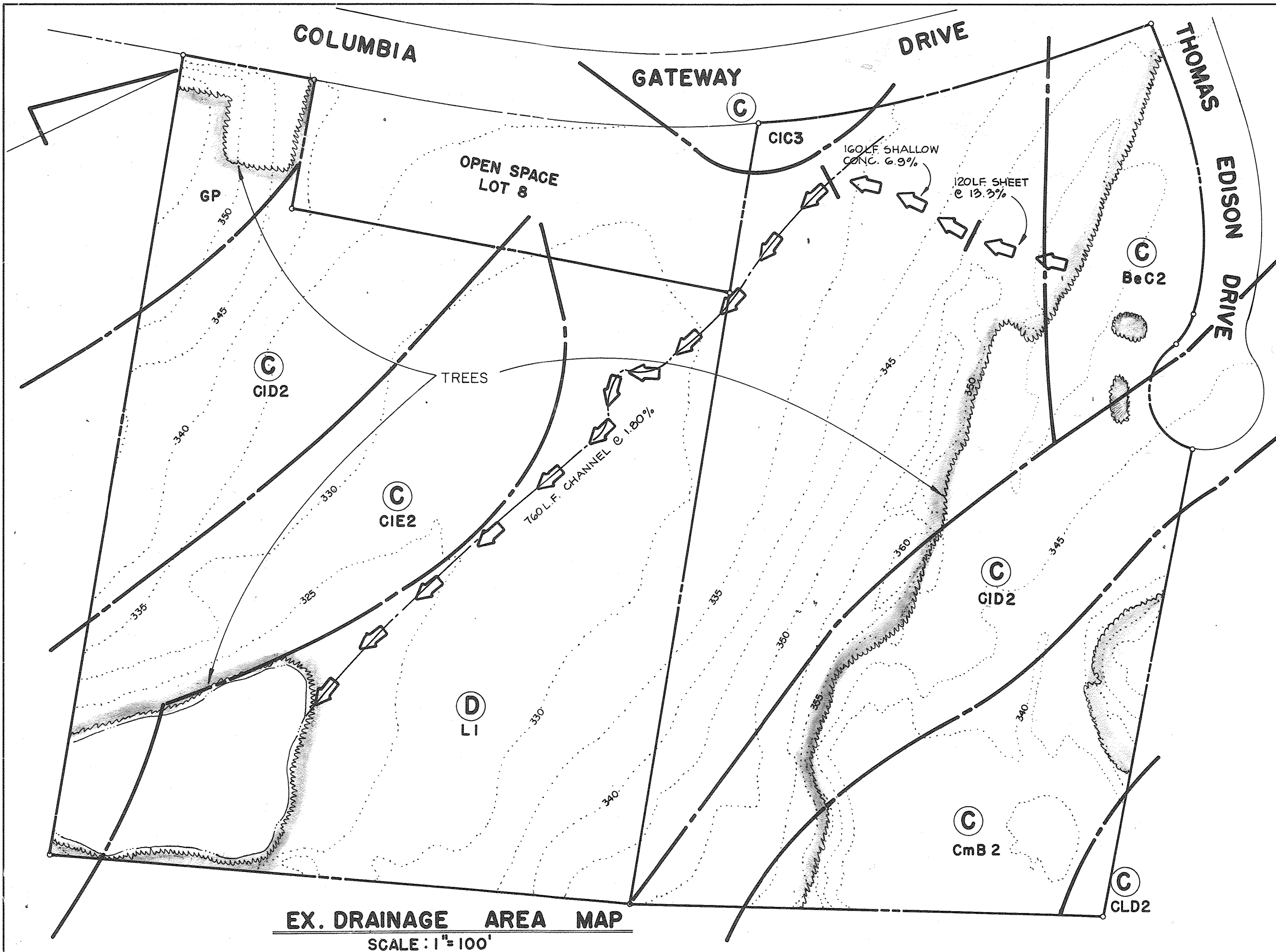
DEVELOPER'S CERTIFICATE:
 I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DETERMINED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINE "AS-BUILT" OF THE S.W.M. FACILITY WITHIN 30 DAYS OF COMPLETION.
 DEVELOPER: *James J. Jahn*
 DATE: 10-10-88

DESIGNED: N.B.
 DRAWN: J.W.
 CHECKED: N.B.
 PN 05805

STORM DRAIN - PROFILES FOR
GATEWAY 51
 COLUMBIA GATEWAY PARCEL M-21H-6

TAX MAP 43
 HOWARD CO MD
 SCALE: 1" = 50'

PARCEL # 587
 ELECTION DISTRICT #6
 JUNE 9, 1988
 SHEET 5 OF 14-15
 SDP-88-235



APPROVED
DIVISION OF LAND DEVELOPMENT &
ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE: 9-23-88

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT & MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

Janet H. Telm 10/18/88
U.S. SOIL CONSERVATION SERVICE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF HOWARD SOIL CONSERVATION DISTRICT.

Ronald J. Ziehm 10/21/88
HOWARD SOIL CONSERVATION DISTRICT

PLAN NUMBER _____

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT.

John B. G... 11-28-88
COUNTY HEALTH OFFICER

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING.

Ulrich 12.12.88
DIRECTOR

James J. ... 12-1-88
CHIEF DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

James P. ... 11-22-88
DIRECTOR

J. ... 11-21-88
CHIEF BUREAU OF ENGINEERING

GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS
303 ALLEGHENY AVENUE
TOWSON, MARYLAND 21204
(301) 825-8120

George W. Stephens, Jr.
REGISTERED PROFESSIONAL ENGINEER
REG. NO. 17930 DATE: 6/3/88

ENGINEER'S CERTIFICATE:
I CERTIFY THAT THIS PLAN FOR S.W.M. FACILITY CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE S.W.M. FACILITY WITHIN 30 DAYS OF COMPLETION.

George W. Stephens, Jr.
REGISTERED PROFESSIONAL ENGINEER
REG. NO. 17930 DATE: 6/3/88

OWNER/DEVELOPER (PARCEL M-2)
GATEWAY CROSSING 95 LLC
1700 COLUMBIA GATEWAY DRIVE
COLUMBIA, MARYLAND 21046
ATTN: MR. KATHLEEN DUALANTIN
(410) 328-5074

CONTRACT PURCHASER (PARCEL H-6)
GATEWAY 54 PARTNERSHIP
C/O MANEKIN CORPORATION
10270 OLD COLUMBIA ROAD
COLUMBIA, MD 21046
(301) 885-8767

DEVELOPER'S CERTIFICATE:
I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINE "AS-BUILT" OF THE S.W.M. FACILITY WITHIN 30 DAYS OF COMPLETION.

George W. Stephens, Jr.
REGISTERED PROFESSIONAL ENGINEER
DATE: 10-11-88

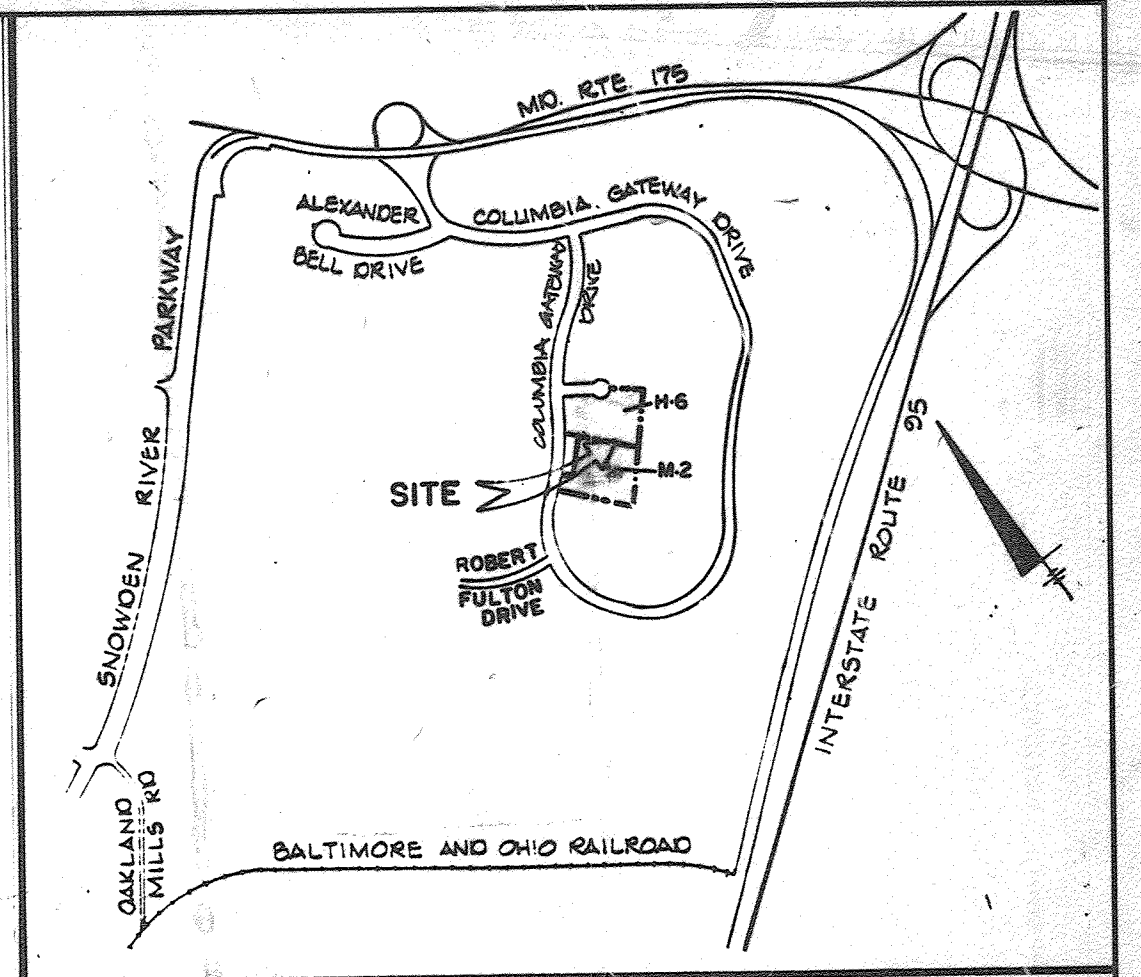
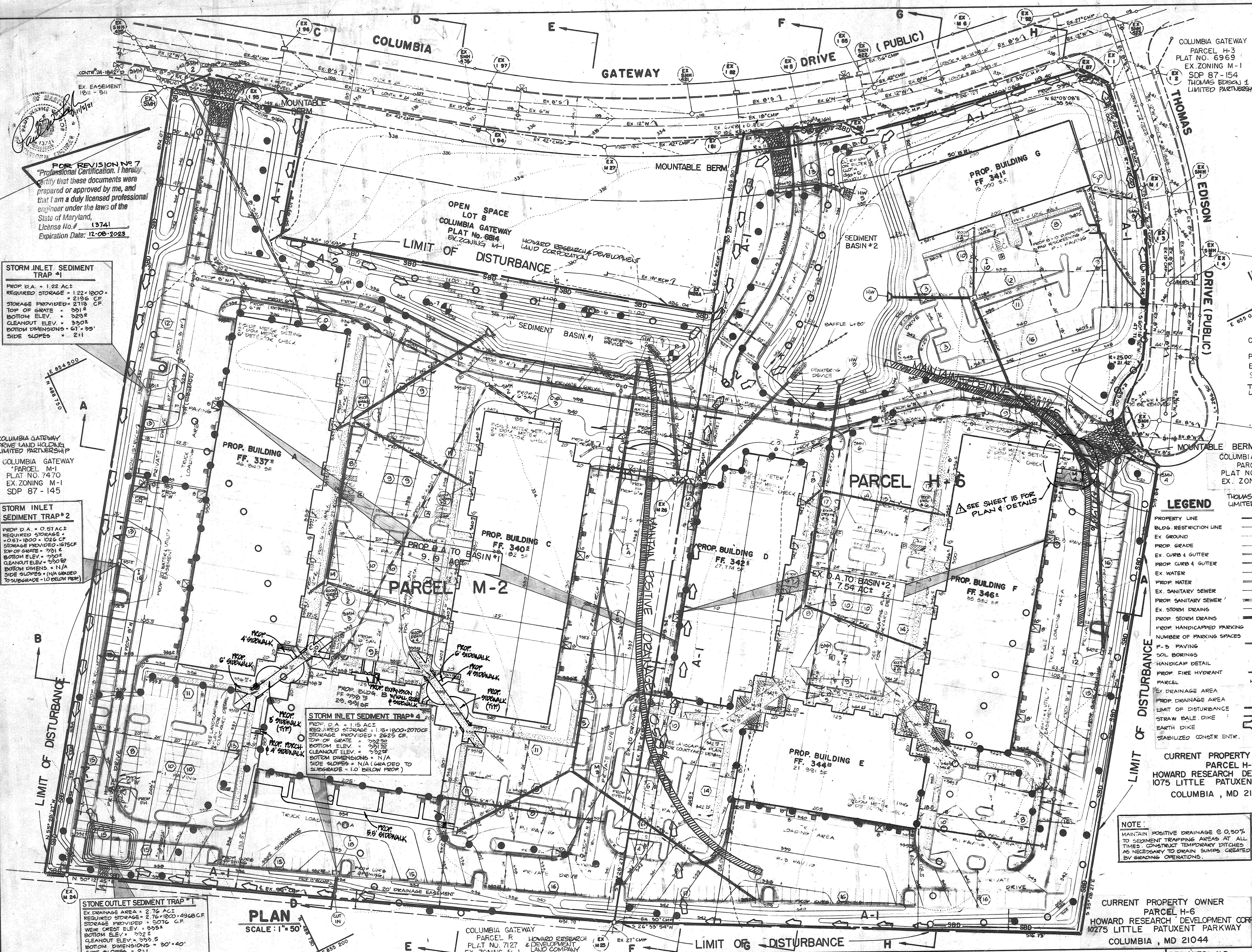
DESIGNED: N.B.
DRAWN: J.W.
CHECKED: N.B.
6. 10/18/88

STORM WATER MANAGEMENT - PROFILES & DETAILS

GATEWAY 51
COLUMBIA GATEWAY PARCEL M-214-H-6

TAX MAP 43
HOWARD CO, MD
SCALE: 1" = 50'

PARCEL # 587
ELECTION DISTRICT #6
JUNE 2, 1988
SHEET 6 OF 14-15
SDP-88-235



VICINITY MAP
SCALE: 1"=2000'

BENCH MARKS:
 WR 4 A * 9.1 ELEV 398.65
 RR SPIKE IN BASE OF 14' OAK, 45' LEFT OF E. COLUMBIA GATEWAY DRIVE STA. 119+40
 WR 4 A * 8 ELEV 391.66
 RR SPIKE IN BASE OF 10" TWIN POPLAR, 75' LEFT OF E. COLUMBIA GATEWAY DR. STA. 123+45

APPROVED
 DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE: 9-23-88

FOR REVISION NO. 7
 Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. # 13741, Expiration Date: 12-08-2023

STORM INLET SEDIMENT TRAP #1
 PROP. D.A. = 1.22 AC±
 REQUIRED STORAGE = 1,221,800 CF
 STORAGE PROVIDED = 2,119 CF
 TOP OF GRATE = 301.2
 BOTTOM ELEV. = 300.2
 CLEANOUT ELEV. = 300.2
 BOTTOM DIMENSIONS = 61' x 39'
 SIDE SLOPES = 2:1

STORM INLET SEDIMENT TRAP #2
 PROP. D.A. = 0.57 AC±
 REQUIRED STORAGE = 571,800 CF
 STORAGE PROVIDED = 1,675 CF
 TOP OF GRATE = 291.2
 BOTTOM ELEV. = 290.2
 CLEANOUT ELEV. = 290.2
 BOTTOM DIMENS. = 41' x 29'
 SIDE SLOPES = (N/A) GRADED TO SUBGRADE - 10' BELOW PROP.

STORM INLET SEDIMENT TRAP #4
 PROP. D.A. = 1.15 AC±
 REQUIRED STORAGE = 1,151,800 CF
 STORAGE PROVIDED = 2,625 CF
 TOP OF GRATE = 292.50
 BOTTOM ELEV. = 291.50
 CLEANOUT ELEV. = 292.50
 BOTTOM DIMENSIONS = N/A
 SIDE SLOPES = (N/A) GRADED TO SUBGRADE - 10' BELOW PROP.

STONE OUTLET SEDIMENT TRAP #1
 EX. DRAINAGE AREA = 2.76 AC±
 REQUIRED STORAGE = 2,761,800 CF
 STORAGE PROVIDED = 5,076 CF
 WEIR CREST ELEV. = 295.5
 BOTTOM ELEV. = 295.5
 CLEANOUT ELEV. = 295.5
 BOTTOM DIMENSIONS = 20' x 40'
 SIDE SLOPES = 2:1

PLAN
 SCALE: 1"=50'

- LEGEND**
- PROPERTY LINE
 - BLDG. RESTRICTION LINE
 - EX. GROUND
 - PROP. GRADE
 - EX. CURB & GUTTER
 - PROP. CURB & GUTTER
 - EX. WATER
 - PROP. WATER
 - EX. SANITARY SEWER
 - PROP. SANITARY SEWER
 - EX. STORM DRAINS
 - PROP. STORM DRAINS
 - PROP. HANDICAPPED PARKING
 - NUMBER OF PARKING SPACES
 - P-3 PAVING
 - SOIL BORINGS
 - HANDICAP DETAIL
 - PROP. FIRE HYDRANT
 - PARCEL
 - EX. DRAINAGE AREA
 - PROP. DRAINAGE AREA
 - LIMIT OF DISTURBANCE
 - STRAW BALE DIKE
 - EARTH DIKE
 - STABILIZED CONSTR. ENTR.

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT & MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

APPROVED: *[Signature]* 10/18/88
 SOIL CONSERVATION SERVICE

APPROVED: *[Signature]* 10/21/88
 HOWARD SOIL CONSERVATION DISTRICT

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT.

APPROVED: *[Signature]* 11-28-88
 COUNTY HEALTH OFFICER

APPROVED: *[Signature]* 12-12-88
 HOWARD COUNTY OFFICE OF PLANNING & ZONING

APPROVED: *[Signature]* 12-12-88
 DIRECTOR

APPROVED: *[Signature]* 12-21-88
 CHIEF DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

APPROVED: *[Signature]* 11-22-88
 DIRECTOR

APPROVED: *[Signature]* 11-23-88
 CHIEF BUREAU OF ENGINEERING

ADDRESS CHART

BUILDING #	STREET ADDRESS	BLDG. #	STREET ADDRESS
A			
B			
C			
D			
E			
F			
G			
H			

SUBMISSION NAME	SECT./AREA	LOT/PARCEL #
COLUMBIA GATEWAY		M-2 & H-6
PLAT # OR L/F	BLOCK #	ZONE
74704	1	M-1
TAX/ZONE MAP	ELECT. DIST.	CENSUS TRACT
4B		M-2
WATER CODE	SEWER CODE	
E-06	292-2000	

NOTE:
 MAINTAIN POSITIVE DRAINAGE @ 0.50% TO SEDIMENT TRAPPING AREAS AT ALL TIMES. CONSTRUCT TEMPORARY DITCHES AS NECESSARY TO DRAIN HUMPS CREATED BY GRADING OPERATIONS.

CURRENT PROPERTY OWNER
 PARCEL H-6
 HOWARD RESEARCH DEVELOPMENT CORP.
 10775 LITTLE PATUXENT PARKWAY
 COLUMBIA, MD 21044

CURRENT PROPERTY OWNER
 PARCEL M-2
 COLUMBIA GATEWAY
 PARCEL H-3
 PLAT NO. 6969
 EX. ZONING M-1
 SDP 87-154
 THOMAS EDISON I LIMITED PARTNERSHIP

GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 303 ALLEGHENY AVENUE
 TOWSON, MARYLAND 21284
 (301) 825-8120

ENGINEER'S CERTIFICATE:
 I CERTIFY THAT THIS PLAN FOR S.W.M. FACILITY CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENT A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE S.W.M. FACILITY WITHIN 30 DAYS OF COMPLETION.
 ENGINEER: *[Signature]*
 REG. NO. 2930
 DATE: 6/2/88

OWNER/DEVELOPER (PARCEL M-2):
 GATEWAY DEVELOPMENT, LLC
 10775 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND 21044
 ATTN: MR. KATHLEEN VALENTIN
 (410) 266-5024

CONTRACT PURCHASER (PARCEL H-6):
 GATEWAY 54 PARTNERSHIP
 C/O MANIKIN CORPORATION
 10270 OLD COLUMBIA ROAD
 COLUMBIA, MD. 21046
 (301) 995-8767

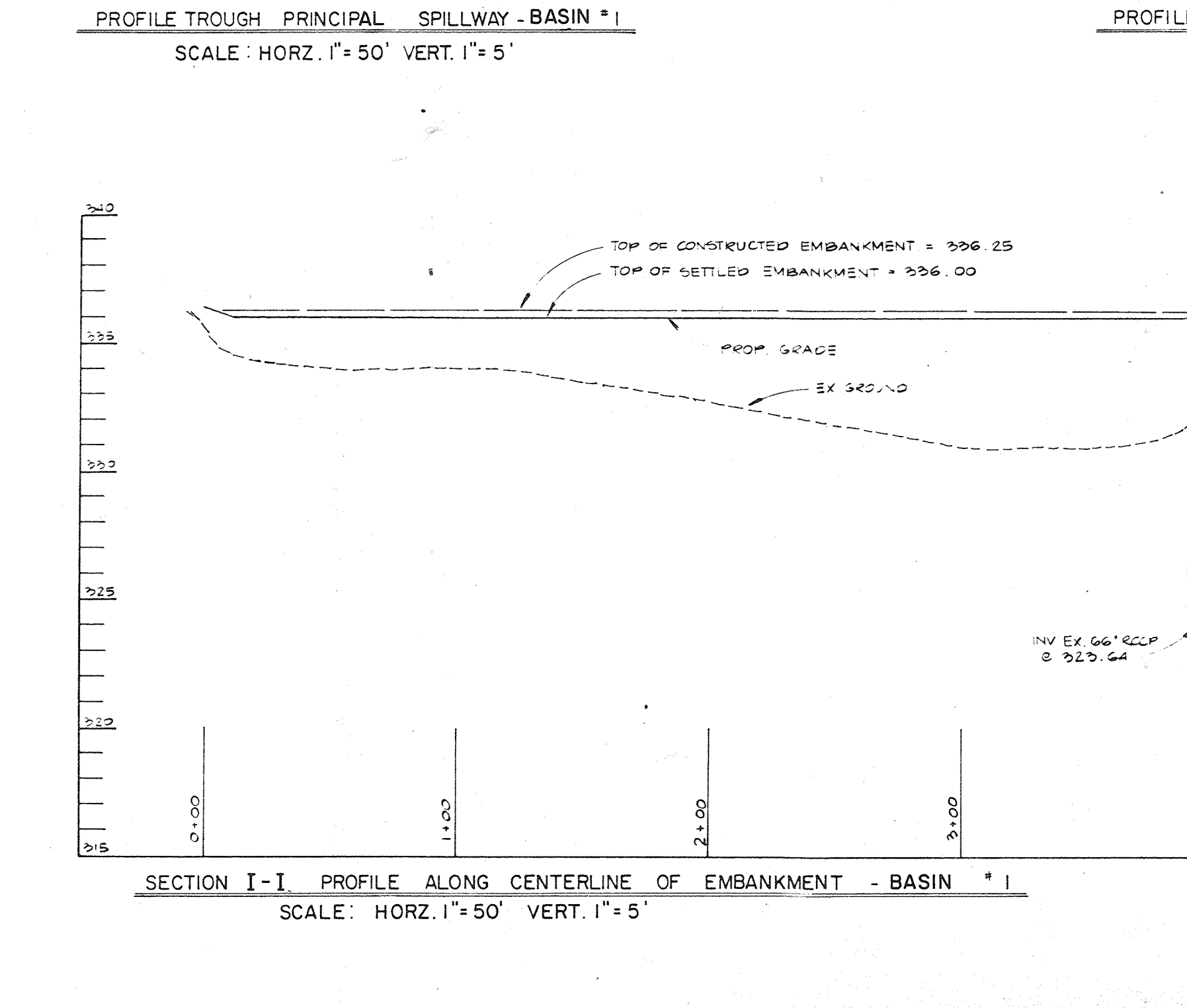
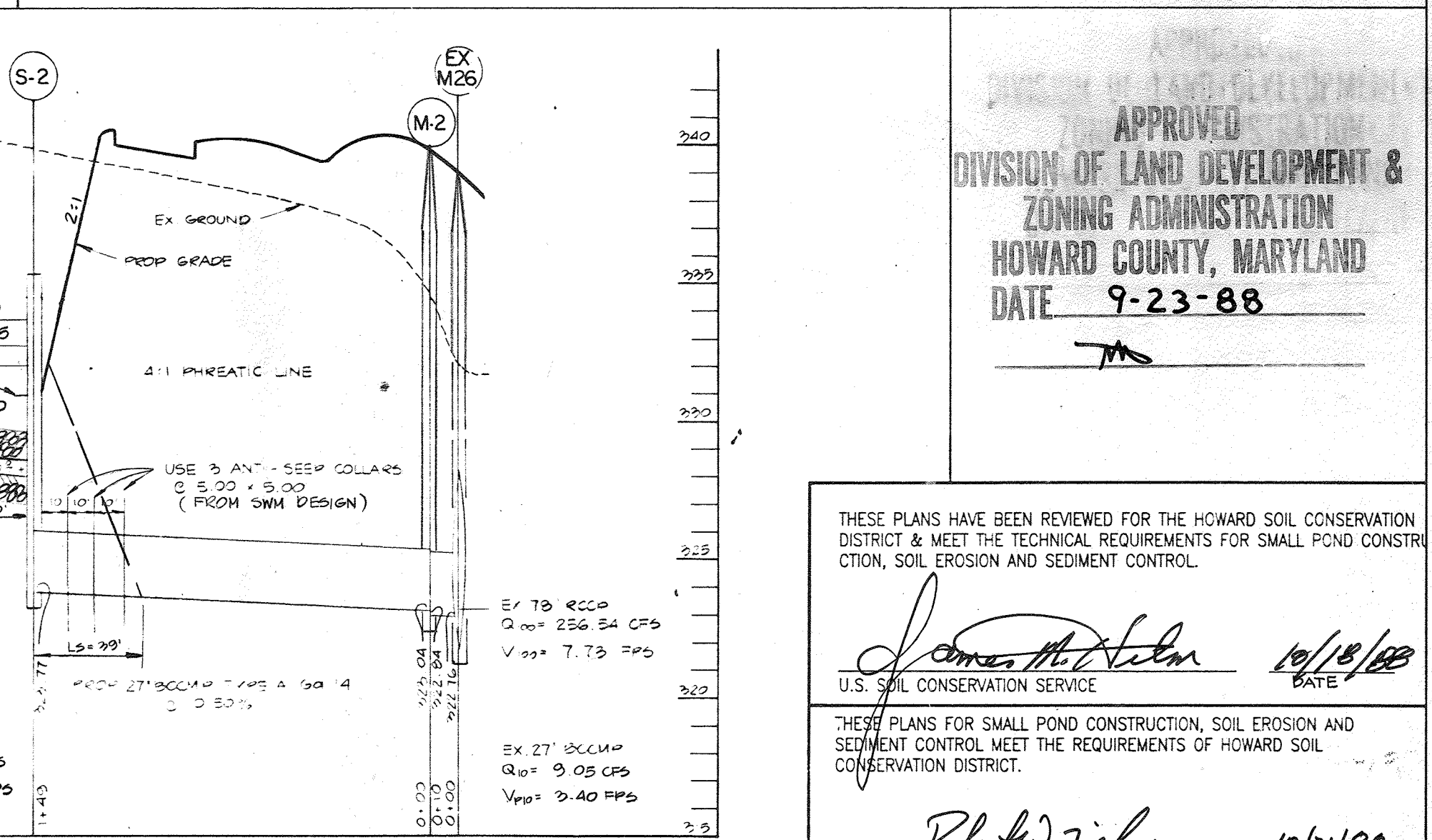
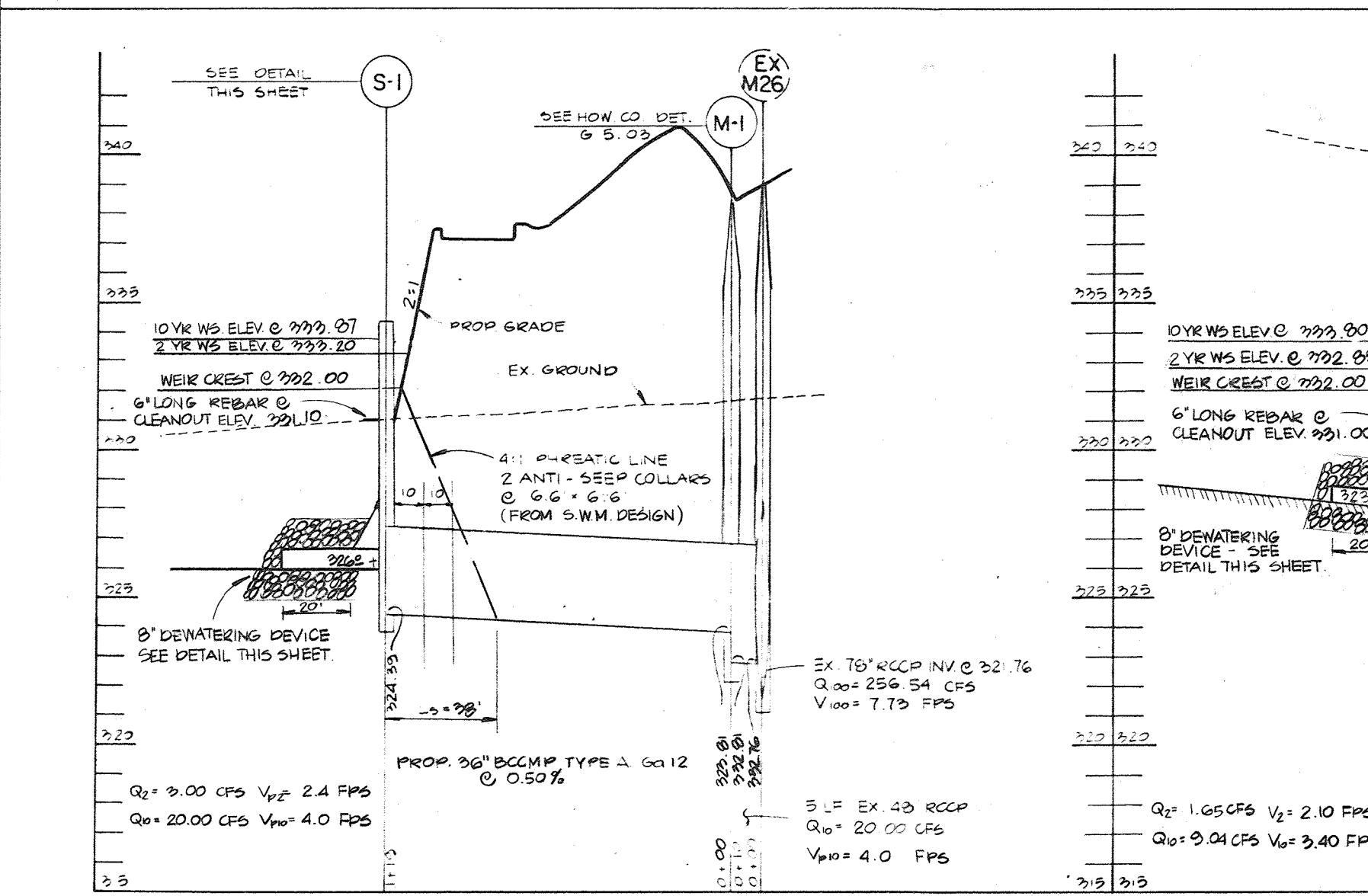
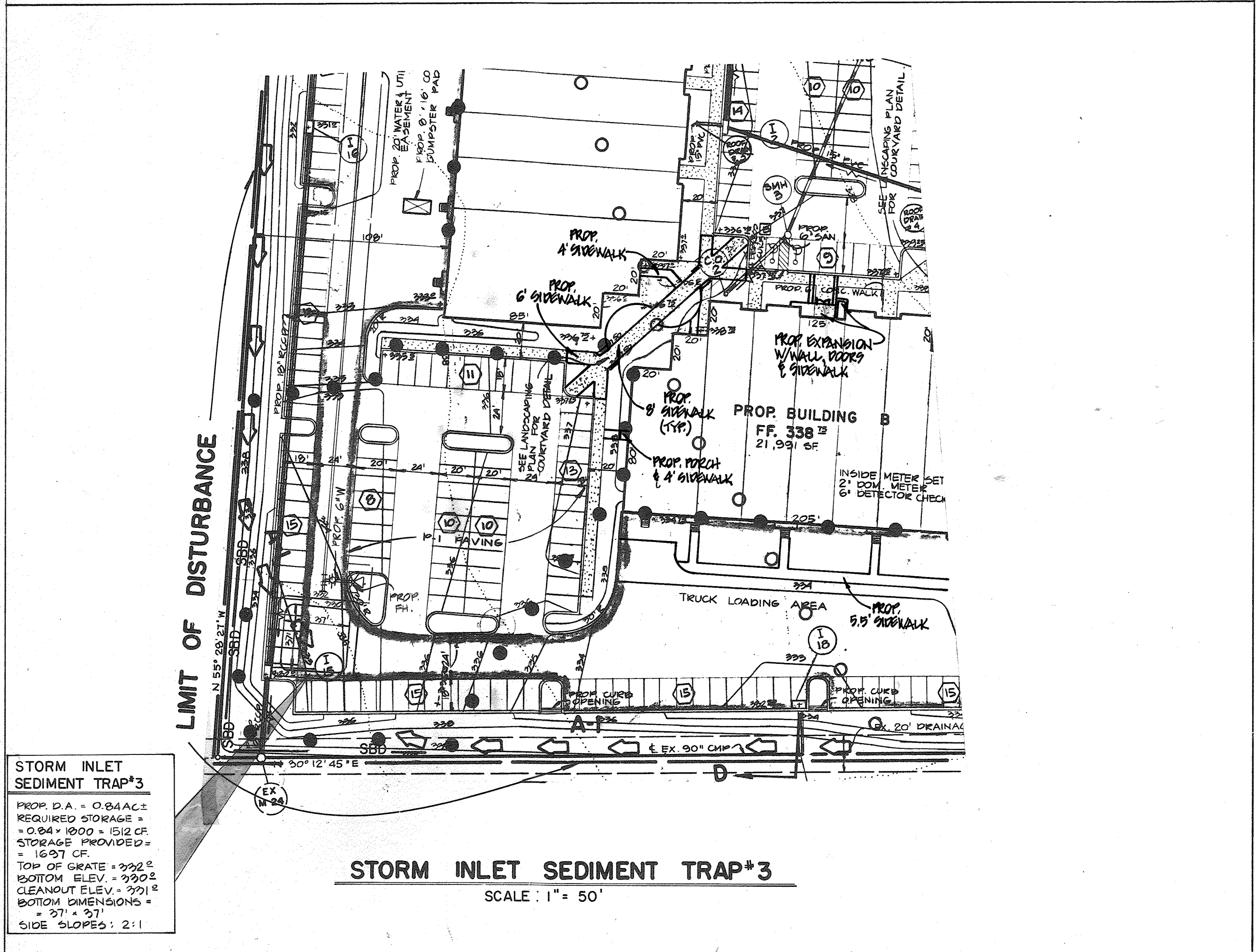
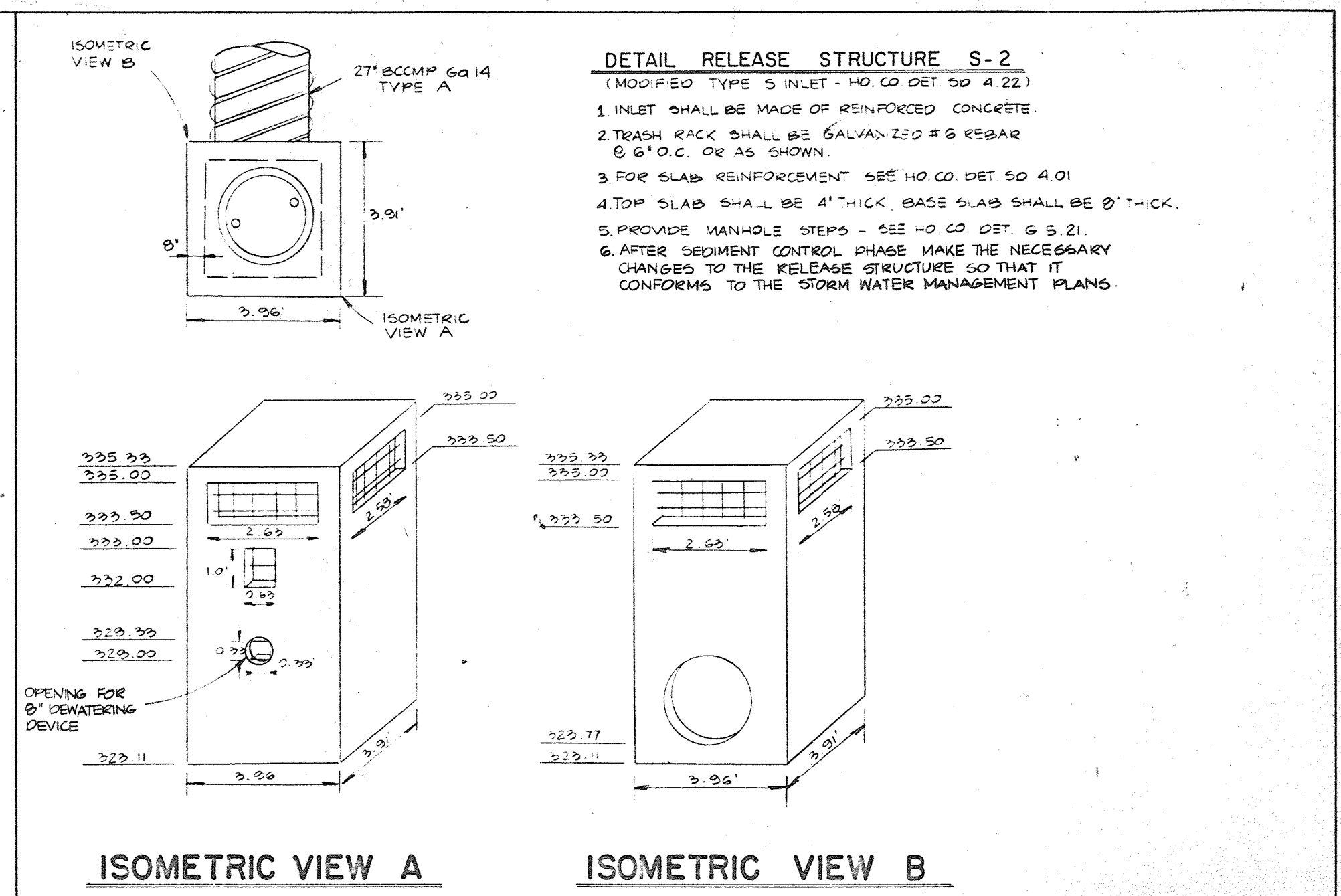
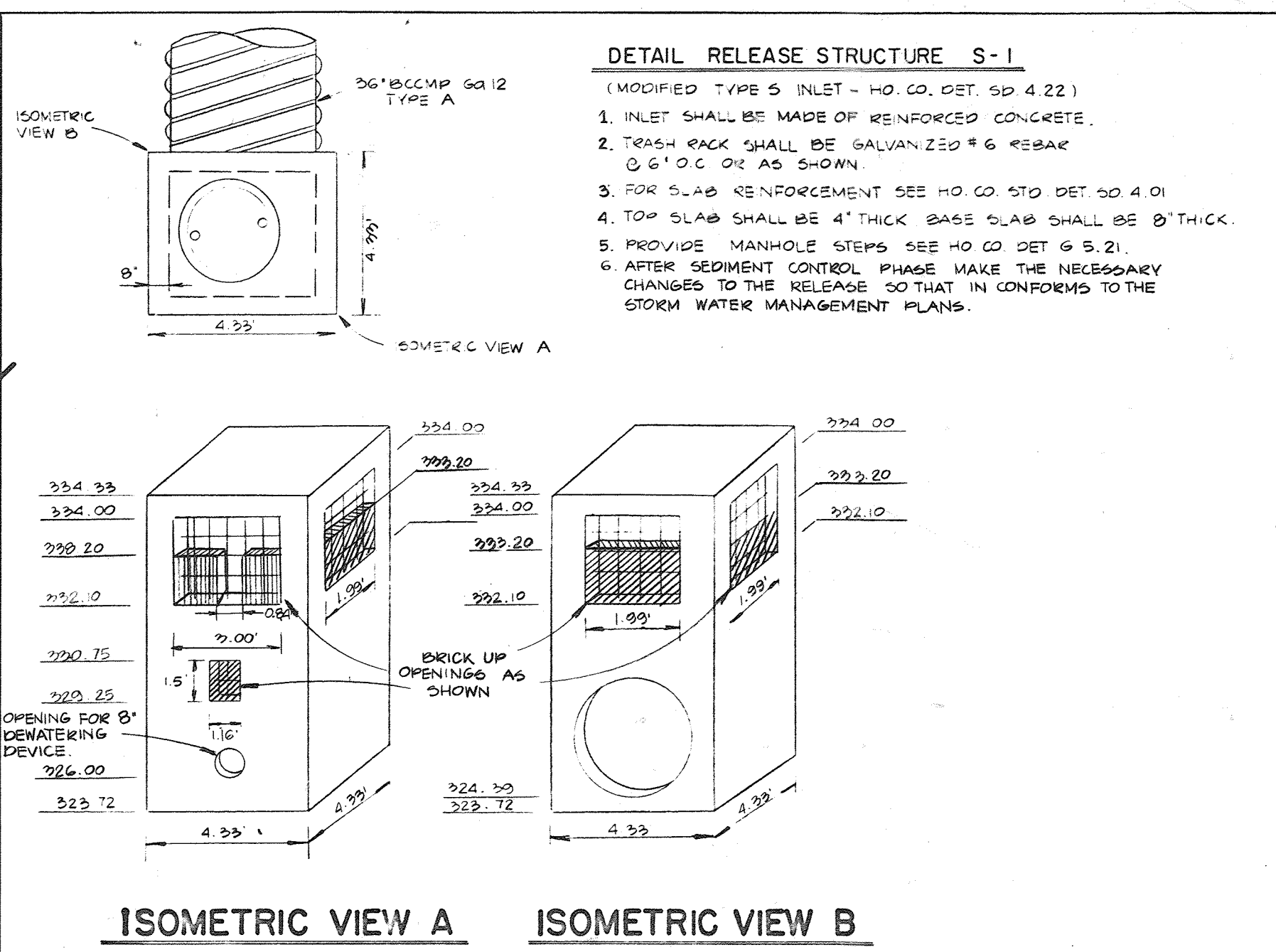
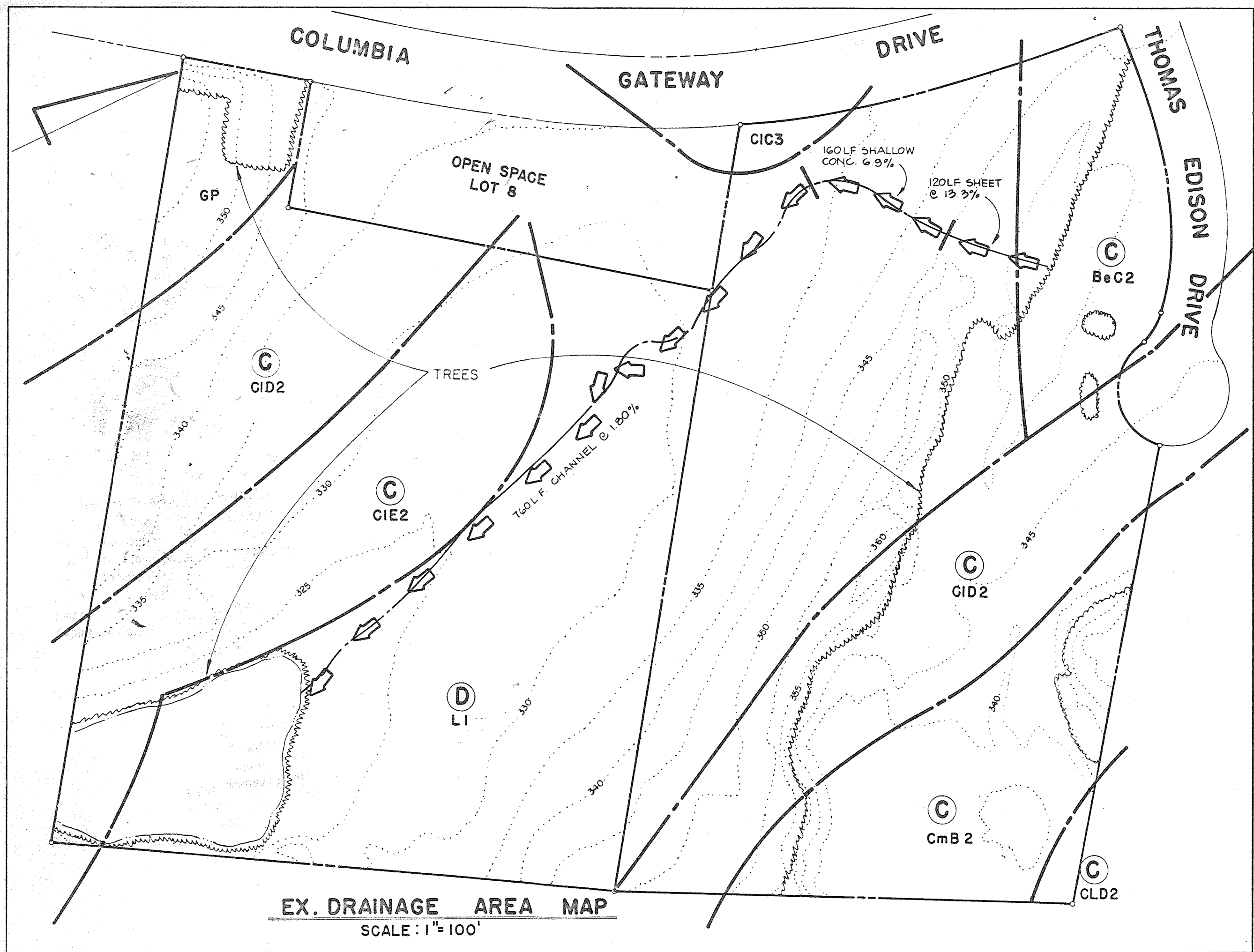
DEVELOPER'S CERTIFICATE
 I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE S.W.M. FACILITY WITHIN 30 DAYS OF COMPLETION.
 DEVELOPER: *[Signature]*
 DATE: 6-10-88

DESIGNED: N.B.
 DRAWN: N.B. / J.W.
 CHECKED: N.B.
 REV. DIM. SHEET 8106
 6/1/88
 G. WILKINSON
 11-21 REVISED SHEET NUMBER
 ADD CALLOUT FOR SHEET 15
 PN 05805

SEDIMENT & EROSION CONTROL PLAN
 FOR
GATEWAY 51
 COLUMBIA GATEWAY PARCEL M-2+H-6

TAX MAP 43
 HOWARD CO, MD
 SCALE: 1"=50'

PARCEL # 587
 ELECTION DISTRICT # 6
 JUNE 3, 1988
 SHEET 2 OF 14-15
 SDP-88-235



APPROVED
DIVISION OF LAND DEVELOPMENT &
ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 9-23-88

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT & MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

James M. Wilson 10/18/88
U.S. SOIL CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF HOWARD SOIL CONSERVATION DISTRICT.

Blair W. Zelman 10/21/88
APPROVED: HOWARD SOIL CONSERVATION DISTRICT DATE

PLAN NUMBER

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT.

John P. B... 11-28-88
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING.

W... 12-16-88
DIRECTOR DATE

Wanda S. ... 12-2-88
CHIEF DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

James J. ... 11/22/88
DIRECTOR DATE

W. ... 11-21-88
CHIEF BUREAU OF ENGINEERING DATE

CURRENT PROPERTY OWNER
PARCEL H-6
HOWARD RESEARCH DEVELOPMENT CORP.
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MD 21044

GEORGE WILLIAM STEPHENS, JR.
AND ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS
303 ALLEGHENY AVENUE
TOWSON, MARYLAND 21284
(301) 825-8120

ENGINEER'S CERTIFICATE:
I CERTIFY THAT THIS PLAN FOR S.W.M. FACILITY CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENT A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SITE CONDITIONS THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE S.W.M. FACILITY WITHIN 30 DAYS OF COMPLETION.

ENGINEER: *V. ... 6/3/88*
REG. NO. 22201 DATE

OWNER/DEVELOPER (PARCEL M-2)
GATEWAY CROSSING 95 LLC
1150 COLUMBIA GATEWAY DRIVE
COLUMBIA, MARYLAND 21046
ATTN: MR. JAMES M. ... (443) 289-5024

CONTRACT PURCHASER (PARCEL H-6)
GATEWAY 54 PARTNERSHIP
C/O MANEXIN CORPORATION
10270 OLD COLUMBIA ROAD
COLUMBIA, MD. 21046
(301) 885-6787

DEVELOPER'S CERTIFICATE
I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE S.W.M. FACILITY WITHIN 30 DAYS OF COMPLETION.

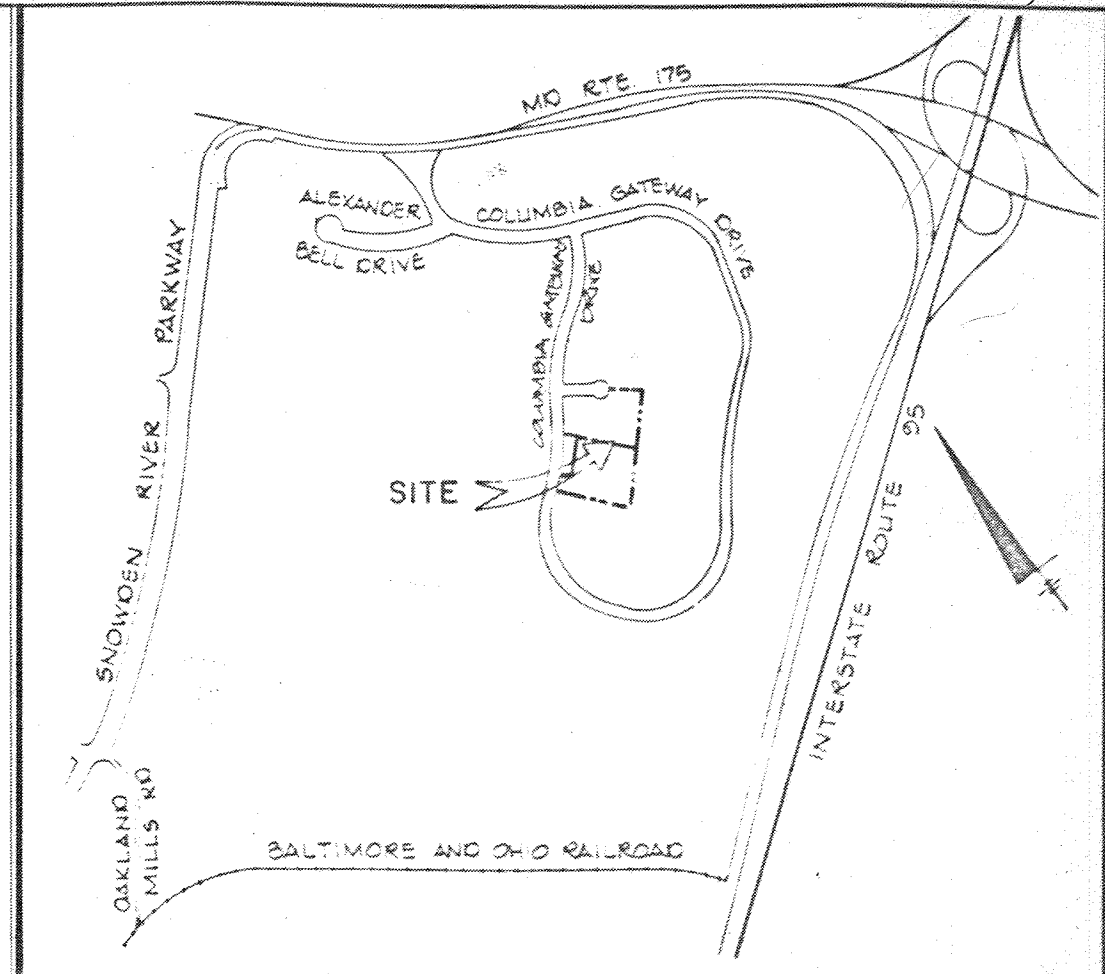
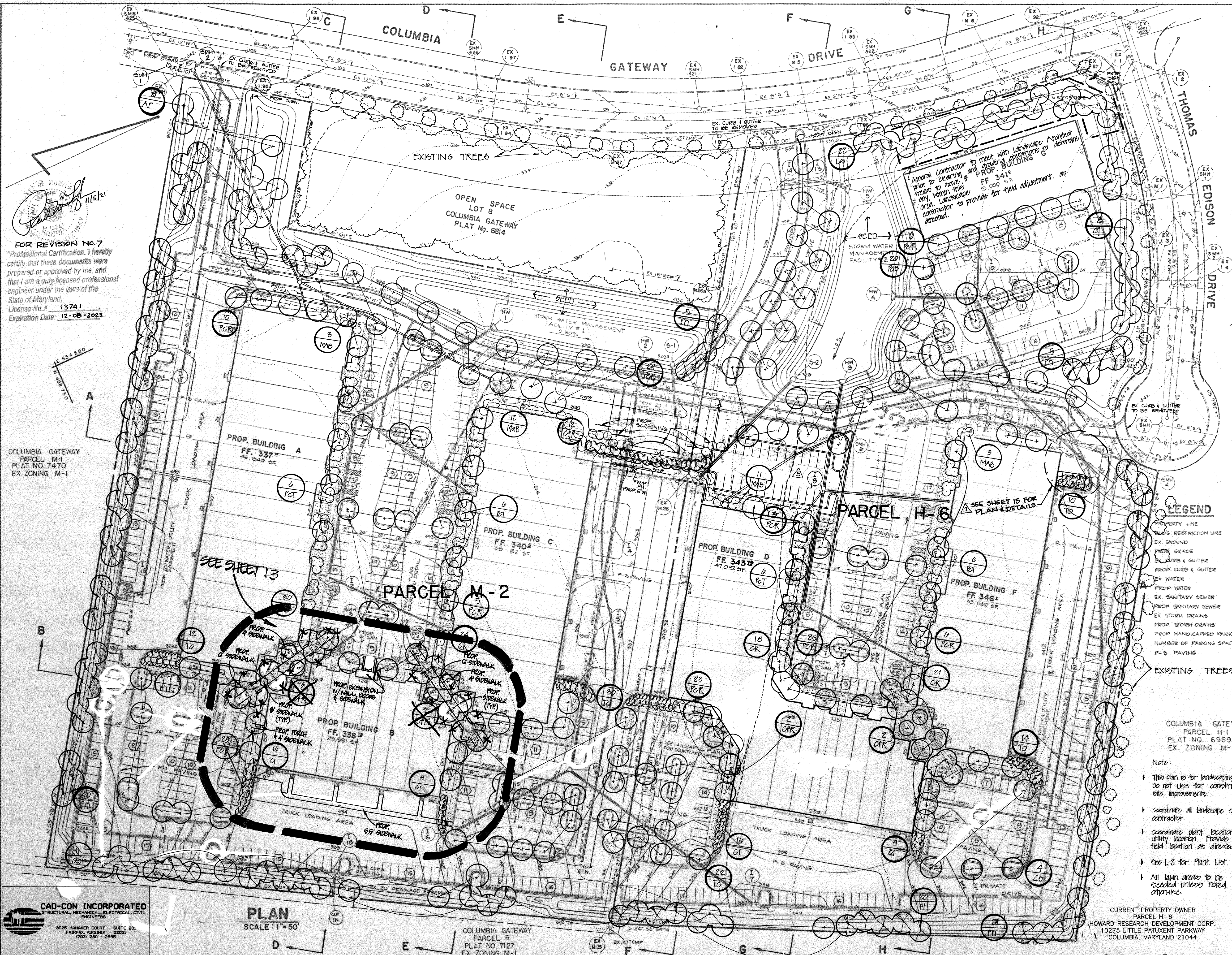
DEVELOPER: *...* DATE: *...*

DESIGNED: N.B.
DRAWN: J.W.
CHECKED: N.B.
G. ... 10/18/88

SEDIMENT CONTROL - PROFILES & DETAILS
FOR
GATEWAY 51
COLUMBIA GATEWAY PARCEL M-21H-6

TAX MAP 43
HOWARD CO., MD
SCALE: 1" = 50'

PARCEL # 507
ELECTION DISTRICT # 6
JUNE 3, 1988
SHEET 9 OF 11
SDP-88-235



VICINITY MAP
SCALE: 1" = 2000'

BENCH MARKS:
 WK 4 A * 9 ELEV. 298.65
 RR SPIKE IN BASE OF 14" OAK 45' LEFT OF E. COLUMBIA GATEWAY DRIVE STA. 113+40
 RR SPIKE IN BASE OF 10" TWIN PINE, 75' LEFT OF E. COLUMBIA GATEWAY DRIVE STA. 123+45

APPROVED
 DIVISION OF LAND DEVELOPMENT &
 ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE: 9-23-88

FOR REVISION No. 7
 "Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13741, Expiration Date: 12-08-2023"

COLUMBIA GATEWAY
 PARCEL M-1
 PLAT NO. 7470
 EX. ZONING M-1

- LEGEND**
- PROPERTY LINE
 - LOG RESTRICTION LINE
 - EX. GROUND
 - PROP. GRADE
 - EX. CURB & GUTTER
 - PROP. CURB & GUTTER
 - EX. WATER
 - PROP. WATER
 - EX. SANITARY SEWER
 - PROP. SANITARY SEWER
 - EX. STORM DRAINS
 - PROP. STORM DRAINS
 - PROP. HANDICAPPED PARKING
 - NUMBER OF PARKING SPACES
 - P-S PAVING

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT & MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

James M. Steinhilber 10/16/88
 U.S. SOIL CONSERVATION SERVICE DATE

APPROVED: *Robert W. Zielinski* 10/21/88
 HOWARD COUNTY OFFICE OF PLANNING & ZONING DATE

PLAN NUMBER

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT.

Joyce B. Blythe 11-28-88
 COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING.

U. R. ... 12.12.88
 DIRECTOR DATE

Frank J. ... 12-2-88
 CHIEF DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

James ... 11/22/88
 DIRECTOR DATE

William S. Ray 11-21-88
 CHIEF BUREAU OF ENGINEERING DATE

EXISTING TREES

COLUMBIA GATEWAY
 PARCEL H-1
 PLAT NO. 6969
 EX. ZONING M-1

Note:
 1. This plan is for landscaping purposes only. Do not use for construction of permanent site improvements.
 2. Coordinate all landscape operations with general contractor.
 3. Coordinate plant location with actual as-built utility location. Provide for field location as directed.
 4. See L-2 for Plant List.
 5. All lawn areas to be seeded unless noted otherwise.

ADDRESS CHART

BUILDING #	STREET ADDRESS	BLDG. #	STREET ADDRESS
A		G	
B			
C			
D			
E			
F			

SUBDIVISION NAME: COLUMBIA GATEWAY SECT./AREA: LOT/PARCEL #

PLAT # OR L/F: BLOCK # ZONE: TA./ZONE MAP: ELECT. DIST.: CENSUS TRACT: M-2

WATER CODE: SEWER CODE:

CAD-CON INCORPORATED
 STRUCTURAL, MECHANICAL, ELECTRICAL, CIVIL ENGINEERS
 3025 HAMMER COURT SUITE 201
 FAIRFAX, VIRGINIA 22031
 (703) 280-2288

PLAN
 SCALE: 1" = 50'

COLUMBIA GATEWAY
 PARCEL R
 PLAT NO. 7127
 EX. ZONING M-1

OWNER/DEVELOPER (PARCEL M-2)
 ANTHONY CROMBIA & LLC
 1150 COLUMBIA GATEWAY DRIVE
 COLUMBIA, MARYLAND 21046
 ATTN: MR. WALTER W. WATKINS
 (410) 286-5094

CONTRACT PURCHASER (PARCEL H-6)
 GATEWAY 54 PARTNERSHIP
 C/O MCKEN CORPORATION
 10270 OLD COLUMBIA ROAD
 COLUMBIA, MD. 21046
 (301) 995-8767

DEVELOPER'S CERTIFICATE:
 I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENTATION BEGGINING THE PROJECT. I ALSO AUTHORIZE PERIODIC "ON-SITE" INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR ITS AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINE "AS-BUILT" OF THE S.W.M. FACILITY WITHIN 30 DAYS OF COMPLETION.

DEVELOPER: [Signature] DATE: 10-10-88

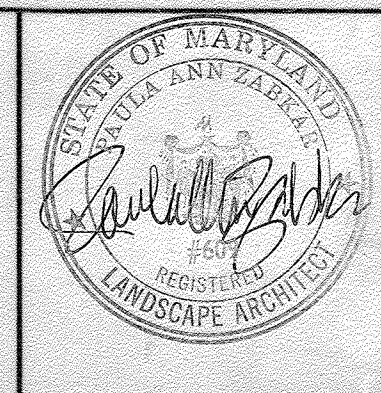
DESIGNED: N.B.
 DRAWN: N.B. / J.W.
 CHECKED: N.B.
 11/22/88 REVISED FOR CHANGE TO PLANS, D. ...
 11/22/88 REVISED SHEET NUMBER 11-21-88 REVISED SHEET NUMBER, ADDED CALLOUT FOR SHEET 15
 PN 05805

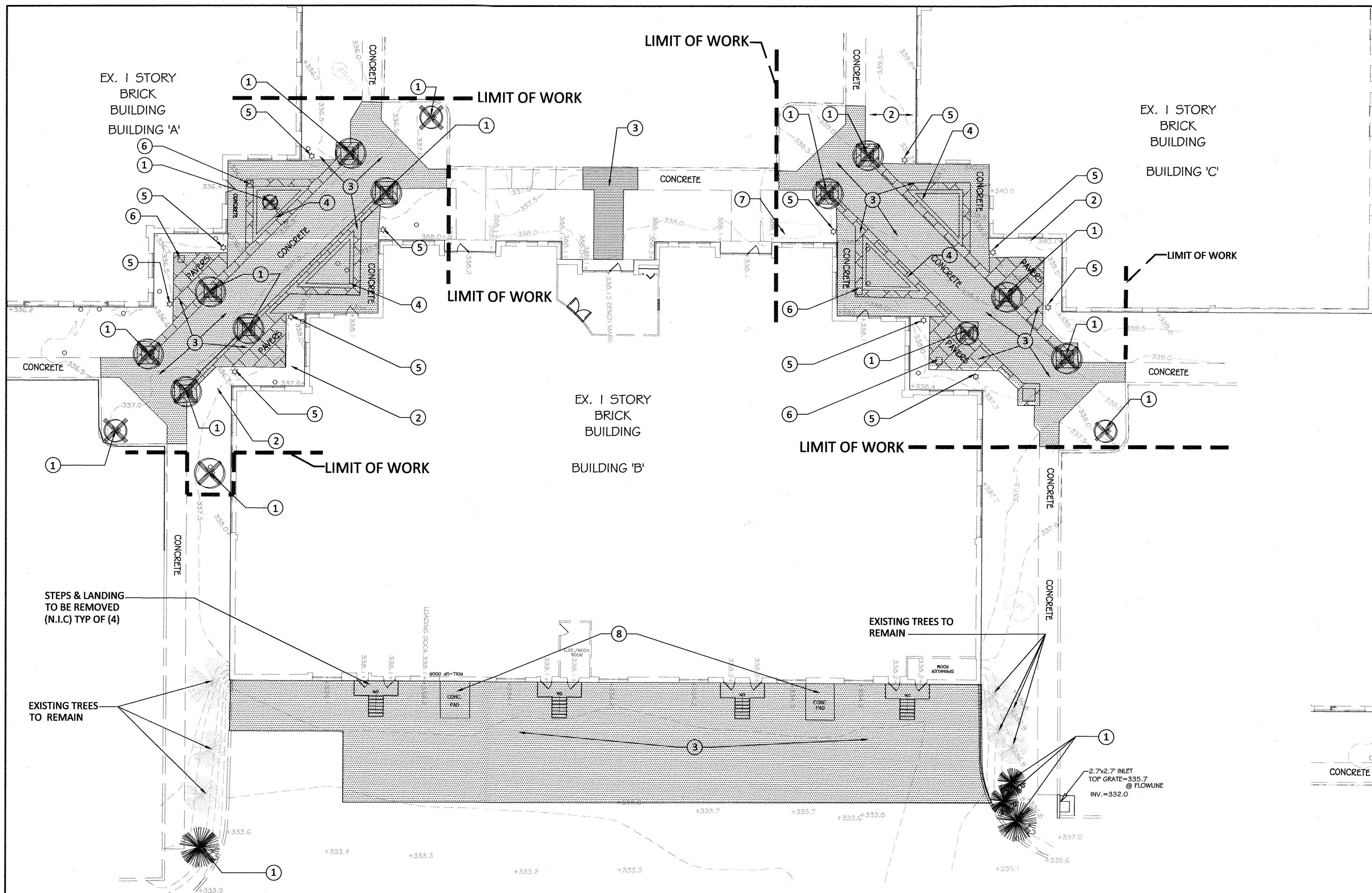
LANDSCAPE PLAN
GATEWAY 51
 COLUMBIA GATEWAY PARCEL M-21H-6

TAX MAP 43
 HOWARD CO., MD
 SCALE: 1" = 50'

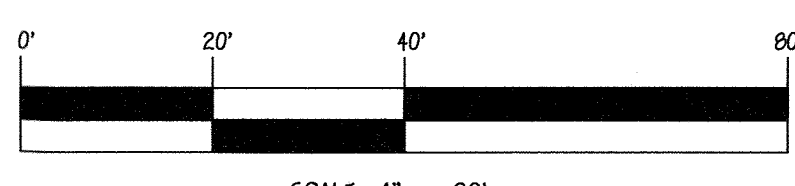
PARCEL # 587
 ELECTION DISTRICT # 6
 JUNE 1988
 SHEET 10 OF 14-15
 SDP-88-235

GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 303 ALLEGHENY AVENUE
 TOWSON, MARYLAND 21284
 (301) 825-8120





DEMOLITION PLAN

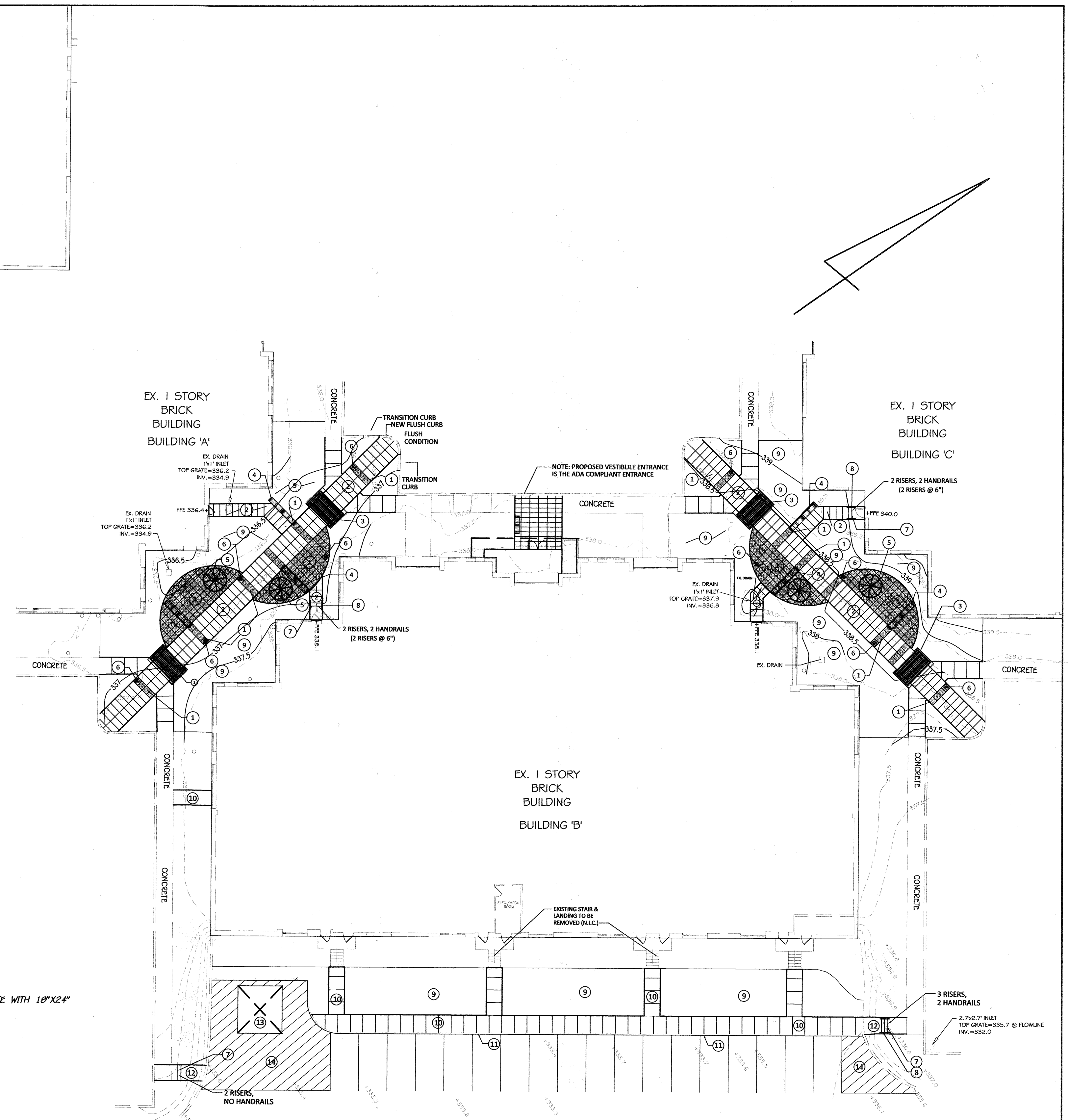


AREA OF DEMOLITION

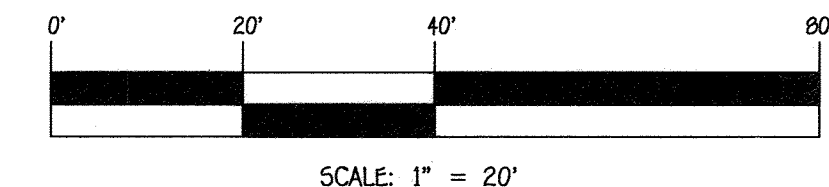
- DEMOLITION KEY:**
- 1 REMOVE TREE
 - 2 REMOVE SHRUBS
 - 3 REMOVE PAVING INCLUDING SUB-BASE
 - 4 REMOVE PLANTERWALL INCLUDING FOOTING & UPLIGHTS
 - 5 REMOVE ALL BOLLARD LIGHTS & (SALVAGE*)
 - 6 EXISTING DRAINS TO REMAIN
 - 7 BOXWOOD TO REMAIN
 - 8 REMOVE EXISTING CONCRETE PAD

* NOTE: CONFIRM SALVAGING OF BOLLARD LIGHTS WITH OWNER

- CONSTRUCTION NOTES:**
- 1 CONCRETE UNIT PAVERS
 - 2 SCORED EXPOSED AGGREGATE CONCRETE WITH 18"x24"
 - 3 TRELIS STRUCTURE
 - 4 BENCH
 - 5 TABLE AND CHAIR SET WITH UMBRELLA
 - 6 LIGHT COLUMN
 - 7 CONCRETE STAIR
 - 8 PAINTED STEEL HANDRAIL
 - 9 PLANTING AREA
 - 10 SCORED CONCRETE PAVING (SIDEWALK)
 - 11 CURB & GUTTER TO MATCH EXISTING
 - 12 CONCRETE STAIR & HANDRAIL
 - 13 PROPOSED DUMPSTER LOCATION
 - 14 NEW PARKING LOT STRIPING



CONSTRUCTION PLAN



NOTE: CONCRETE UNIT PAVES: TERRACE - 18"x24" WALK (BANDS) - 24"x24"

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2895

NO.	REVISION	DATE

ENGINEER'S CERTIFICATE

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Robert M. Watson
 Signature of Engineer
 10/15/15
 Date

BUILDER/DEVELOPER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Robert M. Watson
 Signature of Developer
 11-2-15
 Date

OWNER & DEVELOPER

Gateway Crossing 95 L.L.C.
 7134 Columbia Gateway Drive
 Columbia, Maryland 21046
 Attn: Ms Kathleen DiValentin
 Ph: 443-295-5634

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

<i>Kate Leach</i> Chief, Division of Land Development	EB	12-10-15	Date
<i>Paul Clark</i> Chief, Development Engineering Division	UY	12-8-15	Date
<i>Valerie Spiller</i> Director - Department of Planning and Zoning		12-10-15	Date

PROJECT	GATEWAY 51	SECTION	1	PARCEL NO.	587
PLAT	7470 & 8113	BLOCK NO.	1	ZONE	M-1
		TAX/ZONE	43	ELEC. DIST.	6th
				CENSUS TR.	6065.02

DEMOLITION PLAN & NEW AMENITY PLAN FOR

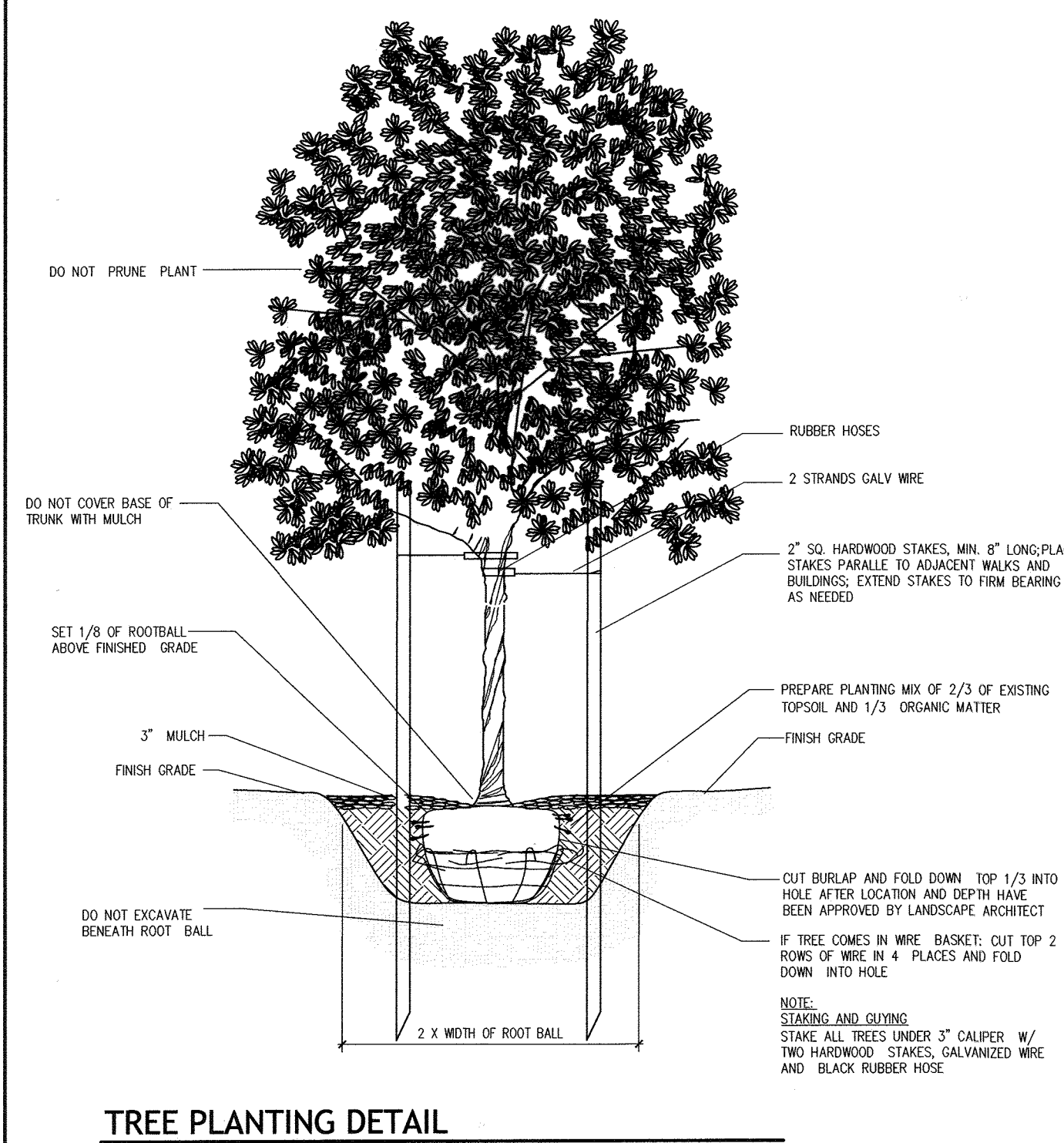
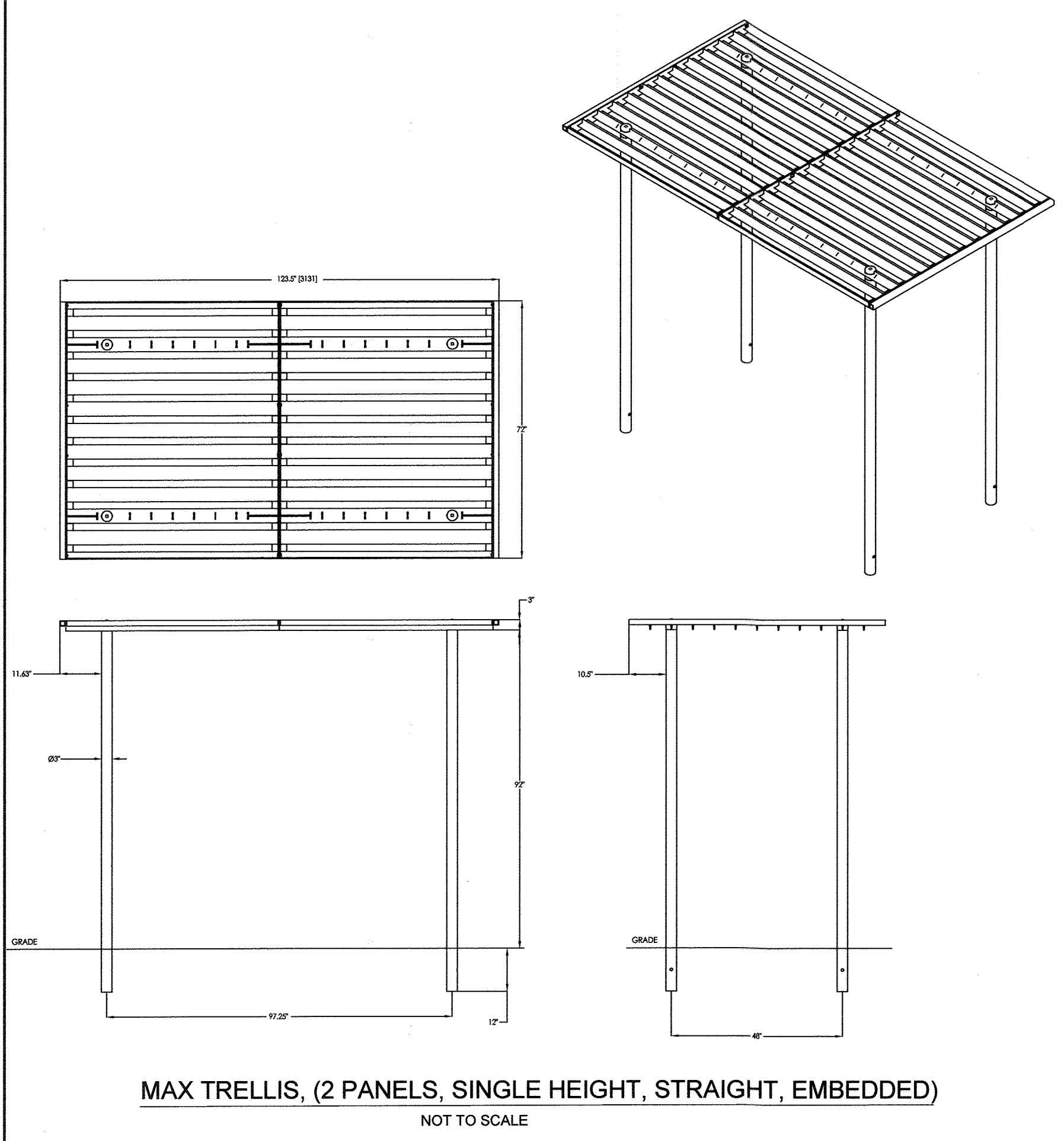
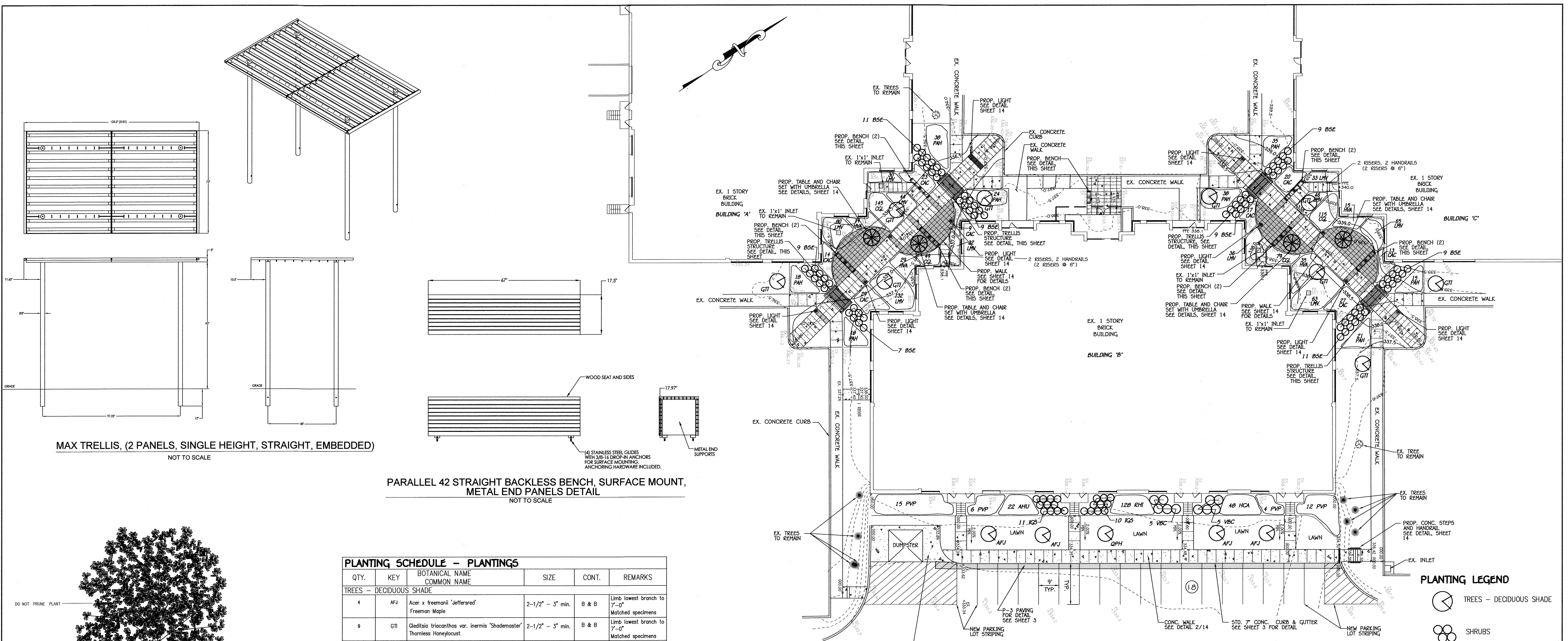
COLUMBIA GATEWAY PARCEL M-2 & H-6

GATEWAY 51

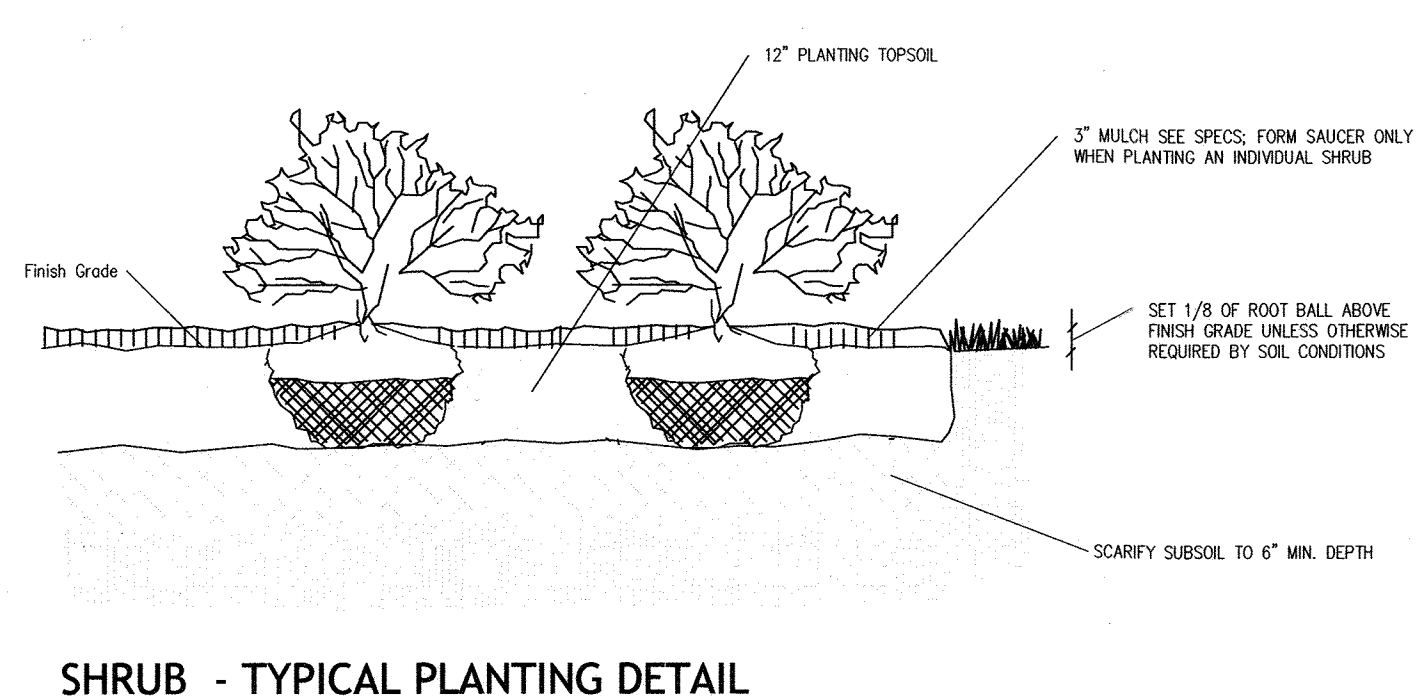
COLUMBIA GATEWAY PARCEL M-2 & H-6

TAX MAP No. 43
 HOWARD COUNTY, MARYLAND
 SCALE: 1" = 20'

PARCEL No. 587
 6th ELECTION DISTRICT
 OCTOBER 14, 2015
 SHEET 12 OF 15



PLANTING SCHEDULE - PLANTINGS					
QTY.	KEY	BOTANICAL NAME COMMON NAME	SIZE	CONT.	REMARKS
TREES - DECIDUOUS SHADE					
4	AFJ	Acer x freemanii 'Jeffersred' Freeman Maple	2-1/2" - 3" min.	B & B	Limb lowest branch to 7'-0" Matched specimens
9	GTI	Gleditsia triacanthos var. inermis 'Shademaster' Thornless Honeylocust	2-1/2" - 3" min.	B & B	Limb lowest branch to 7'-0" Matched specimens
1	QPH	Quercus phellos Willow Oak	2-1/2" - 3" min.	B & B	Limb lowest branch to 7'-0" Matched specimens
SHRUBS					
74	BSE	Buxus sempervirens Boxwood	24" - 30" ht.	3 Gal.	Heavy/Full 36" o.c.
21	IGS	Ilex glabra 'Shamrock' Inkberry	24" - 30" ht.	#2	36" o.c.
10	VBC	Viburnum x burkwoodii 'Conoy' Burkwood Viburnum	24" - 30" ht.	3 Gal.	Heavy/Full 48" o.c.
PERENNIALS AND ORNAMENTAL GRASSES					
22	AHU	Anemone hepatica Blue Star		1 Gal.	24" o.c.
152	CAC	Calamagrostis x acutiflora Feather Reed Grass		2 Gal.	24" o.c.
388	CGL	Chelone glabra White Turtlehead		1 Gal.	12" o.c.
93	HVA	Heuchera villosa 'Autumn Bride' Hairy Alum Root		1 Gal.	24" o.c.
48	HCA	Hypericum calycinum St. John's Wort		1 Gal.	18" o.c.
561	LMV	Liriope muscari 'Variegata' Variegated Lilyturf		1 Gal.	15" o.c.
37	PVP	Panicum virgatum 'Prairie Sky' Switch Grass		2 Gal.	48" o.c.
207	PAH	Pennisetum alopecuroides 'Hohen' Dwarf Fountain Grass		2 Gal.	24" o.c.
128	RHI	Rudbeckia hirta Black-Eyed Susan		1 Gal.	12" o.c.



- ### PLANTING SPECIFICATIONS
- CLEAR & GRUB ALL PLANTING AREAS AS INDICATED ON THE DRAWINGS.
 - PROVIDE PROTECTION FOR TREES, SHRUBS, AND PERENNIALS/GROUND COVERS THAT ARE TO BE PRESERVED.
 - CONTRACTOR SHALL VERIFY THE CORRECT LOCATION OF ALL UNDERGROUND UTILITIES IN THE FIELD PRIOR TO INSTALLATION OF ANY PLANT MATERIALS.
 - ALL PLANTING SHALL BE DONE AS PER PLANTING DETAILS AND SPECIFICATIONS.
 - NO CHANGES SHALL BE MADE WITHOUT WRITTEN CONSENT OF THE OWNER OR LANDSCAPE ARCHITECT.
 - PRIOR TO CONSTRUCTION OF PLANTING BEDS, THE CONTRACTOR SHALL STAKE OUT PLANTING BED LINES IN THE FIELD FOR REVIEW BY THE LANDSCAPE ARCHITECT. LANDSCAPE ARCHITECT SHALL MAKE ADJUSTMENTS IN THE FIELD AS NECESSARY. ALL FINAL PLANTING BED LOCATIONS ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT. FOR LAYOUT REVIEW, CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT A MINIMUM OF THREE DAYS IN ADVANCE.
 - INSTALL ALL REQUIRED PLANTING AND LAWN SOILS AS PER DETAILS AND SPECIFICATIONS, AND ALL SHRUBS, GROUND COVERS, AND PERENNIALS SHALL BE PLANTED IN PLANTING BEDS PREPARED AS REQUIRED BY THE DETAILS AND SPECIFICATIONS.
 - MAINTAIN POSITIVE DRAINAGE OUT OF PLANTING BEDS AT A MINIMUM 2% SLOPE AND MAINTAIN POSITIVE DRAINAGE OF ALL LAWN AREAS, UNLESS OTHERWISE NOTED ON DRAWINGS. ALL GRADES, DIMENSIONS, AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR ON SITE BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR OWNER.
 - ALL PLANT BEDS SHALL BE CONTAINED WITH A SPADED EDGE UNLESS OTHERWISE NOTED ON DRAWINGS.
 - IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE DRAWINGS AND QUANTITIES SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE DRAWINGS SHALL APPLY. REPORT DISCREPANCIES TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO BIDDING.
 - ALL PLANTS SHALL CONFORM TO THE SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION.
 - PLANTS SHALL BE LOCATED AS SHOWN ON THE DRAWINGS. PRIOR TO PLANTING, THE CONTRACTOR SHALL STAKE OUT THE LOCATIONS OF ALL PLANTS IN THE FIELD FOR REVIEW BY THE LANDSCAPE ARCHITECT. LANDSCAPE ARCHITECT SHALL MAKE ADJUSTMENTS IN THE FIELD AS NECESSARY. ALL FINAL PLANT LOCATIONS ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT. FOR LAYOUT REVIEW, CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT A MINIMUM OF THREE DAYS IN ADVANCE.
 - ALL DISTURBED AREAS SHALL BE FINE GRADED AND SEEDED OR SODED; SEE PLAN FOR LOCATIONS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING AND MAINTAINING ALL PLANTS DURING THE WARRANTY PERIOD; REFER TO SPECIFICATIONS.

PLANTING LEGEND

- TREES - DECIDUOUS SHADE
- SHRUBS
- PLANT MASSING

LEGEND

SYMBOL	DESCRIPTION
---	EXISTING CONTOUR
- - - -	PROPOSED CONTOUR
+ 337.9	PROPOSED SPOT ELEVATION
[Pattern]	PROPOSED CONCRETE WALK
[Pattern]	PROPOSED CONCRETE UNIT PAVEMENT
[Pattern]	PROPOSED MACADAM PAVING
[Symbol]	EXISTING TREES
[Symbol]	PROPOSED TREE
[Symbol]	PROPOSED SHRUB
[Symbol]	PROPOSED LIGHT

SCALE: 1" = 20'

NO.	REVISION	DATE

ENGINEER'S CERTIFICATE
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Signature of Engineer: [Signature] 10/15/15 Date

BUILDER/DEVELOPER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
 Signature of Developer: [Signature] 11-2-15 Date

OWNER & DEVELOPER
 Gateway Crossing 95 L.L.C.
 7130 Columbia Gateway Drive
 Columbia, Maryland 21046
 Attn: Ms Kathleen DiValentin
 Ph: 443-285-5634

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature]	12-10-15
Chief, Division of Land Development	Date
[Signature]	12-8-15
Chief, Development Engineering Division	Date
[Signature]	12-10-15
Director - Department of Planning and Zoning	Date

PROJECT	SECTION	PARCEL NO.
GATEWAY 51	1	587
PLAT 7470 & 8113	BLOCK NO. 1	ZONE M-1
	TAX/ZONE 43	ELEC. DIST. 6th
	CENSUS TR. 6065.02	

SITE DEVELOPMENT PLAN & LANDSCAPE PLAN

GATEWAY 51

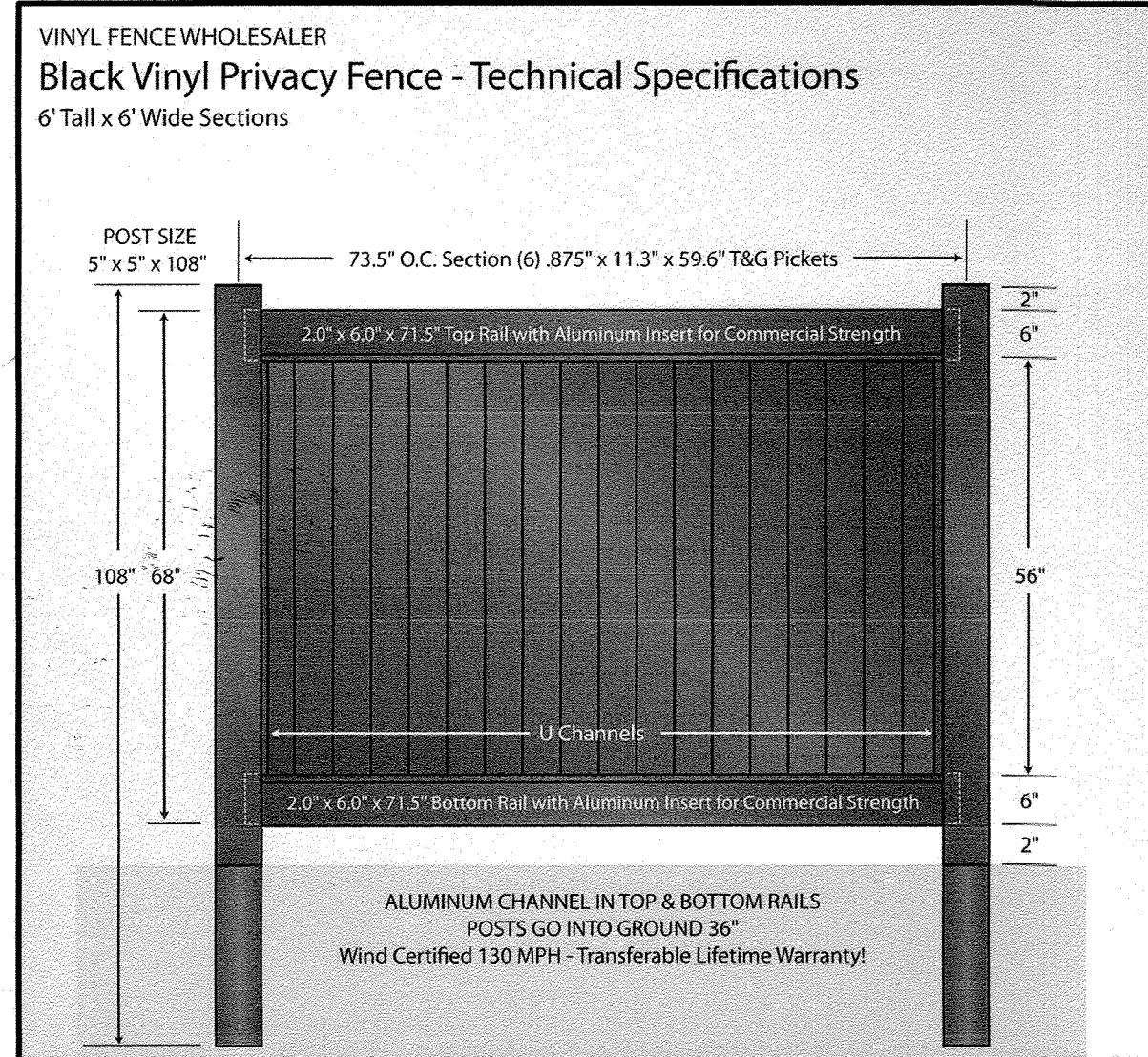
COLUMBIA GATEWAY PARCEL M-2 & H-6

TAX MAP No. 43
 HOWARD COUNTY, MARYLAND
 SCALE: 1" = 20'

PARCEL No. 587
 6th ELECTION DISTRICT
 OCTOBER 14, 2015
 SHEET 13 OF 4415
 SDP-88-235

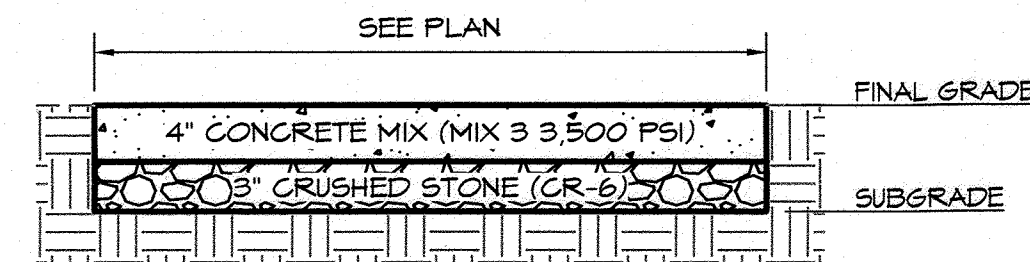
FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21045
 (410) 461-2999

I:\2015\1019\Engineering\Drawings\LAND\SDP\13.dwg, SDP & LAND\SDP\13.dwg, SHEET 13, 10/15/2015 11:42:29 AM, L1



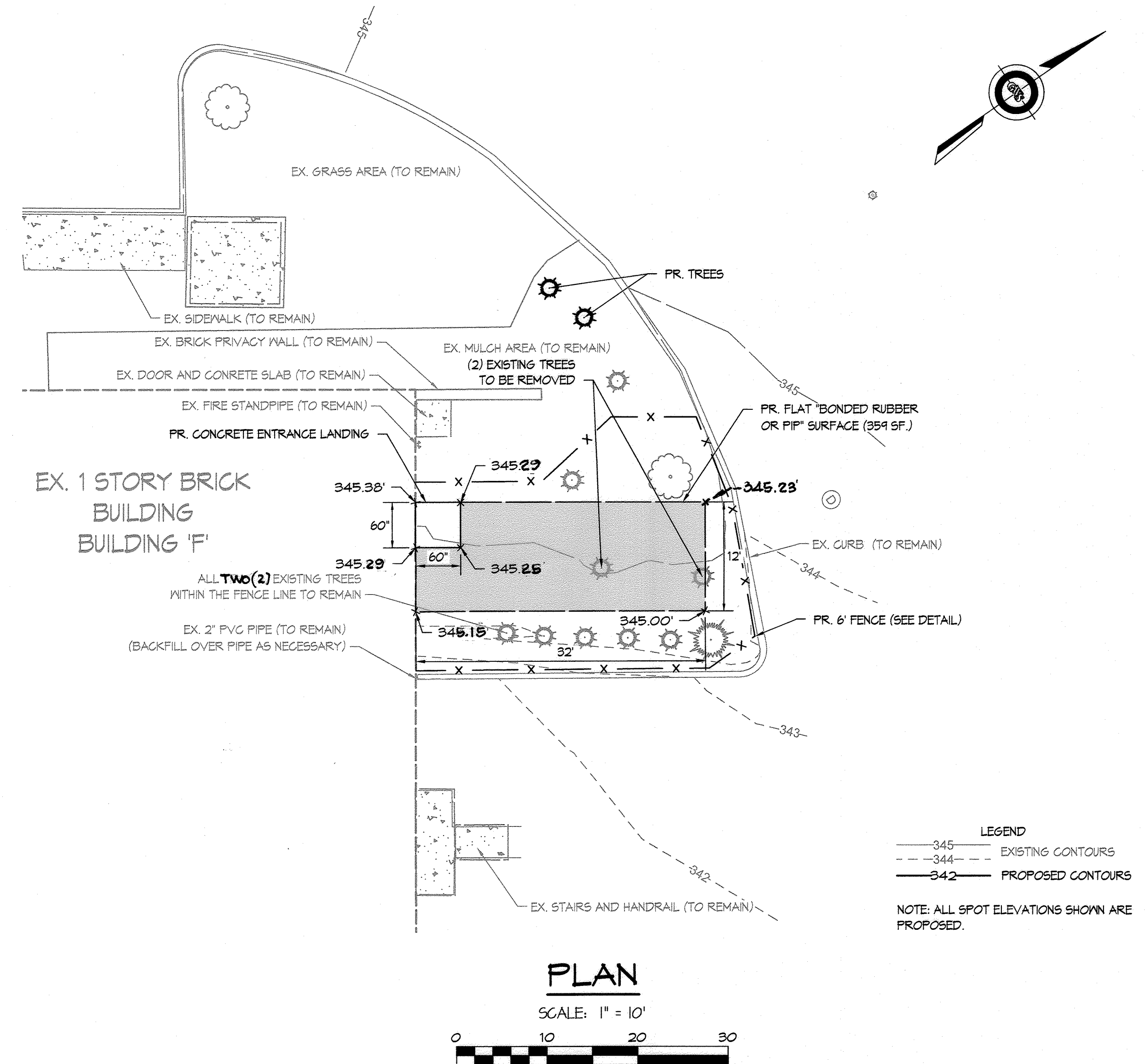
6' FENCE DETAIL

NOT TO SCALE



CONCRETE ENTRANCE LANDING DETAIL

NOT TO SCALE



NOTE: THE CUMULATIVE LOD IS 1,515 SFT IS LESS THAN 5,000 SFT SO THE IMPROVEMENTS ARE EXEMPT FROM PROVIDING STORMWATER MANAGEMENT. ANY FUTURE DISTURBANCE WHERE THE CUMULATIVE TOTAL EXCEEDS 5,000 SFT, THEN STORMWATER MANAGEMENT SHALL BE PROVIDED.

"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland,
 License No. # 22822
 Expiration Date: 1-13-22

APPROVED: Howard County Department of Planning and Zoning

Clarence W. Cullum, Jr. 11/15/21
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Sean A. Magnusson 12/20/21
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

John Gora 12-20-21
 DIRECTOR DATE

PREPARED BY:
GWS
GEORGE W. STEPHENS, JR.
and ASSOCIATES, INC.
 ENGINEERS • PLANNERS • SURVEYORS • TRANSPORTATION
 WATER'S EDGE CORPORATE CAMPUS
 4692 MILLENNIUM DRIVE, SUITE 100
 BELCAMP, MARYLAND 21017
 Ph: (410) 297-2340 http://www.gwstephens.com Fax: (410) 297-2345



ENGINEER CERTIFICATION:
 "I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
Clarence W. Cullum, Jr.
 Signature of Engineer Date: 11/20/21
 CLARENCE W. CULLUM, JR., P.E. 28899
 Print Name FE #

DEVELOPER CERTIFICATION:
 "I/ We certify that all development and/or construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspections by the Howard Soil Conservation District."
Sean A. Magnusson
 Signature of Developer Date: 10-28-21
 Sean A. Magnusson
 Print Name

OWNER
 PARCEL H-7
 GATEWAY CROSSING 86 LLC
 6711 COLUMBIA GATEWAY DRIVE, SUITE 300
 COLUMBIA, MARYLAND 21046-2383
 443-285-5400

DEVELOPER
 COPT DEVELOPMENT & CONSTRUCTION SERVICES
 6711 COLUMBIA GATEWAY DRIVE, SUITE 300
 COLUMBIA, MARYLAND 21046-2383
 443-285-5400

Designed By: WJK
 Drawn By: EEF
 Checked By: CWC
 REVISIONS

HOWARD COUNTY, MARYLAND
SITE DEVELOPMENT PLAN - ADDITION TO SDP 88-235
GATEWAY 51 COLUMBIA GATEWAY PARCEL M-2 & H-6
BUILDING F EXTERIOR MOTOR FUNCTION AREA
 TAX MAP 43 PARCEL #0671
 HOWARD CO. MD ELECTION DISTRICT #6
 SCALE: AS SHOWN DATE: SEPTEMBER 24, 2021
 PN: 12058 SHEET 15 OF 15
 SDP-88-235