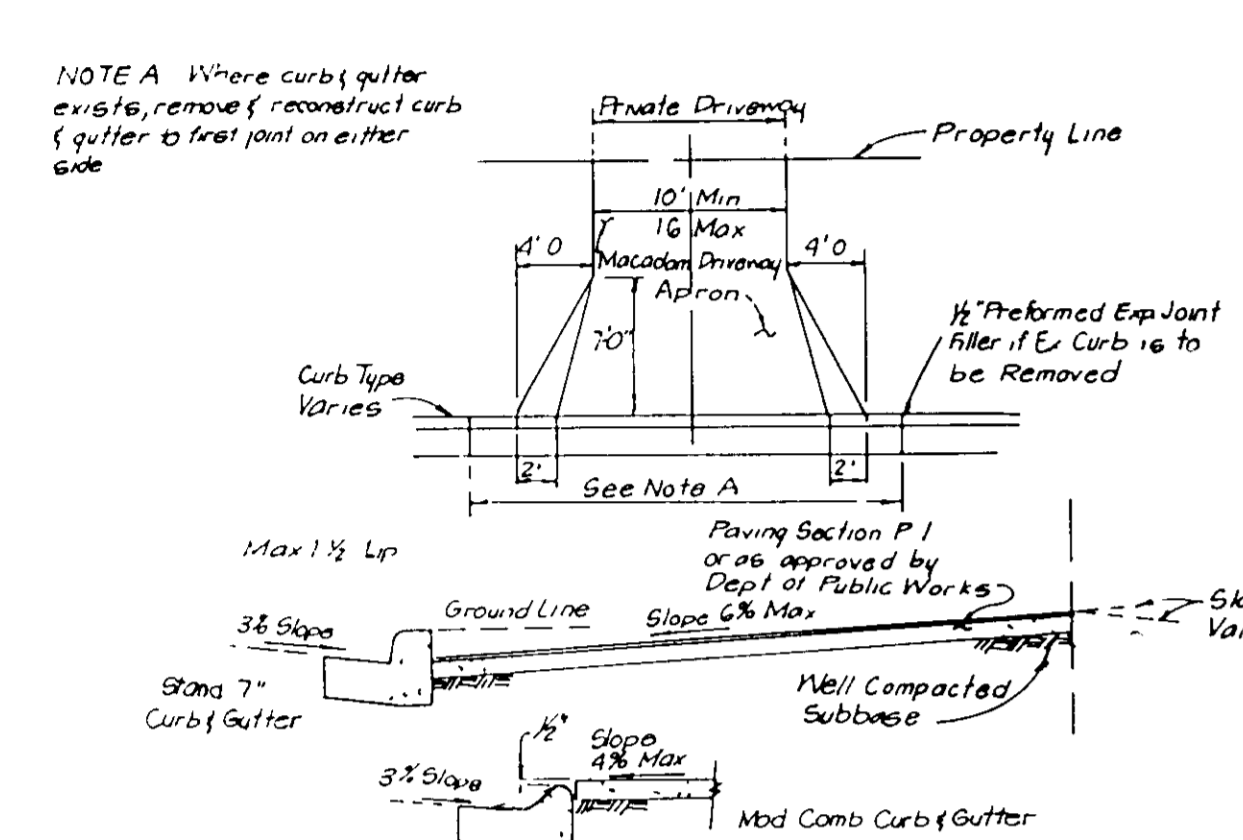


DRIVEWAY ABUTTING CLOSED SECTION WITH STD 7" COMB CURB & GUTTER & SIDEWALK SET BACK FROM CURB



DRIVEWAY ABUTTING CLOSED SECTION WITHOUT CONCRETE SIDEWALK

GENERAL NOTES

- The land included in this plan is zoned: R 20
- Coordinates are based on the Maryland State Plane Coordinate System as projected by Plat of Owen Brown Estates, Plat No 4091
- All Roadway are public & existing.
- Total area included in this plan: 3.7805 Acres
- Any damage to county owned rights of way shall be corrected at the developer's expense
- Total Number of Lots: 9
- For flagstem or pipestem lots refuse collection, snow removal, and road maintenance are provided to the flag or pipestem and the road right of way line only and not onto flag or pipestem lot driveway
- Existing topography taken from Klade Consultants, Inc
- Plan reference No's 587-79, P 88-01, F 88-02
- Porches or decks, open or enclosed may project not more than 10' into the required front or rear yard, as per Supplementary Zoning District Regulations, section 12B, A-3

SPECIAL NOTES

- Approved Road Construction Plans shall be used for the installation of all public utilities
- Public Water & Sewer shown for reference only. For more detailed information see Contract No. C.
- The water & sewer house connections not included in a "Developer's Agreement" shall conform to the H Co Plumbing Code. The on-site WMC shall be 1" copper and the SAC shall be 4" iron.
- Storm Water Management provided by Facility shown on F 88-02

LEGEND

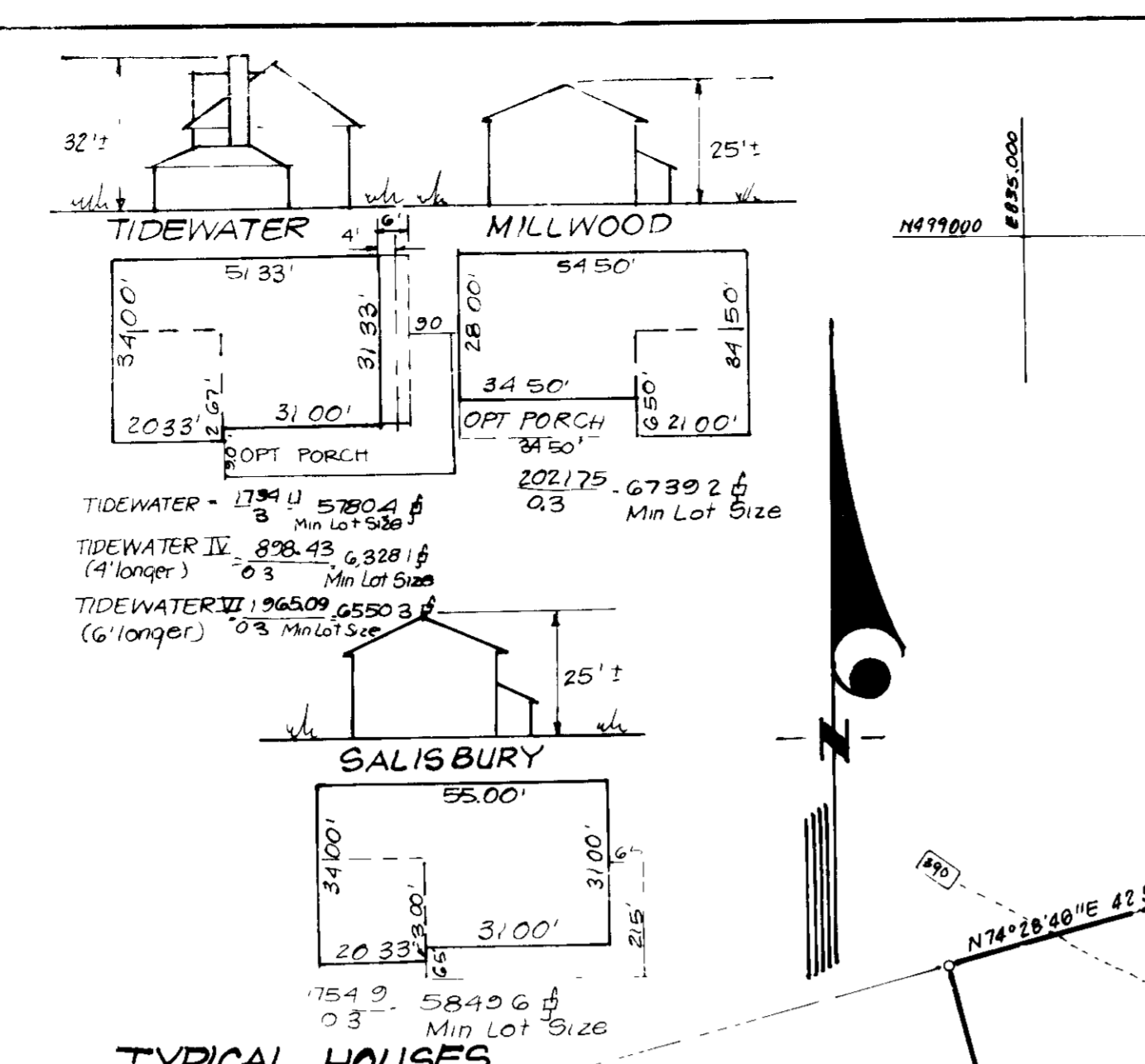
- 1 Contour Interval 2'±
- 2 Existing Contour - - - - -
- 3 Proposed Contour - - - - -
- 4 Spot Elevation +705
- 5 Direction of Drainage →
- 6 Walk Out Basement LW 2'±

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

APPROVED FOR PLANNING AND ZONING
COUNTY OFFICE OF PLANNING & ZONING

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

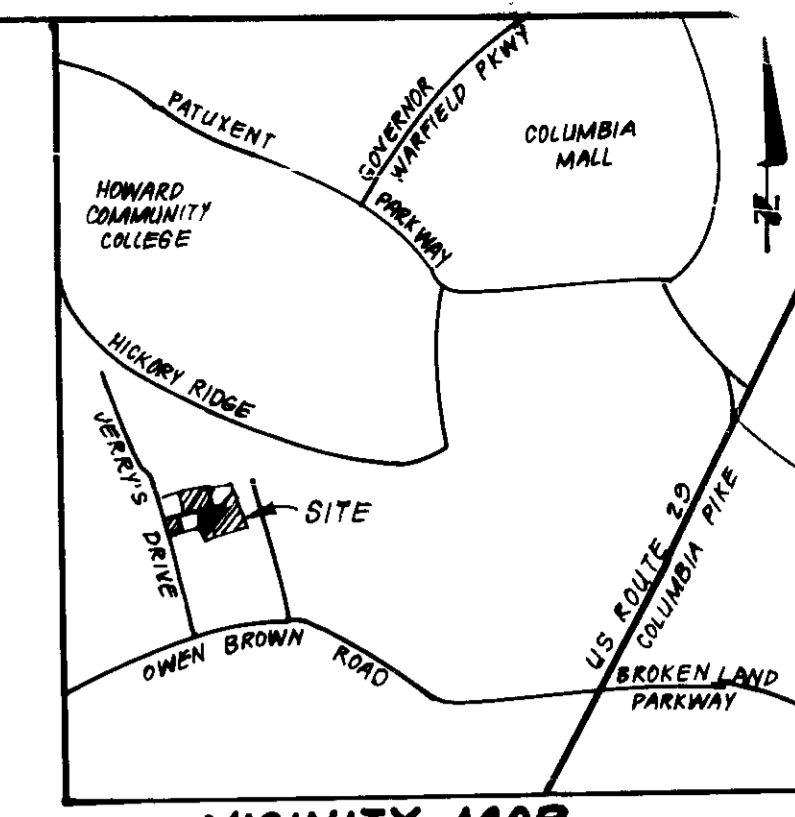
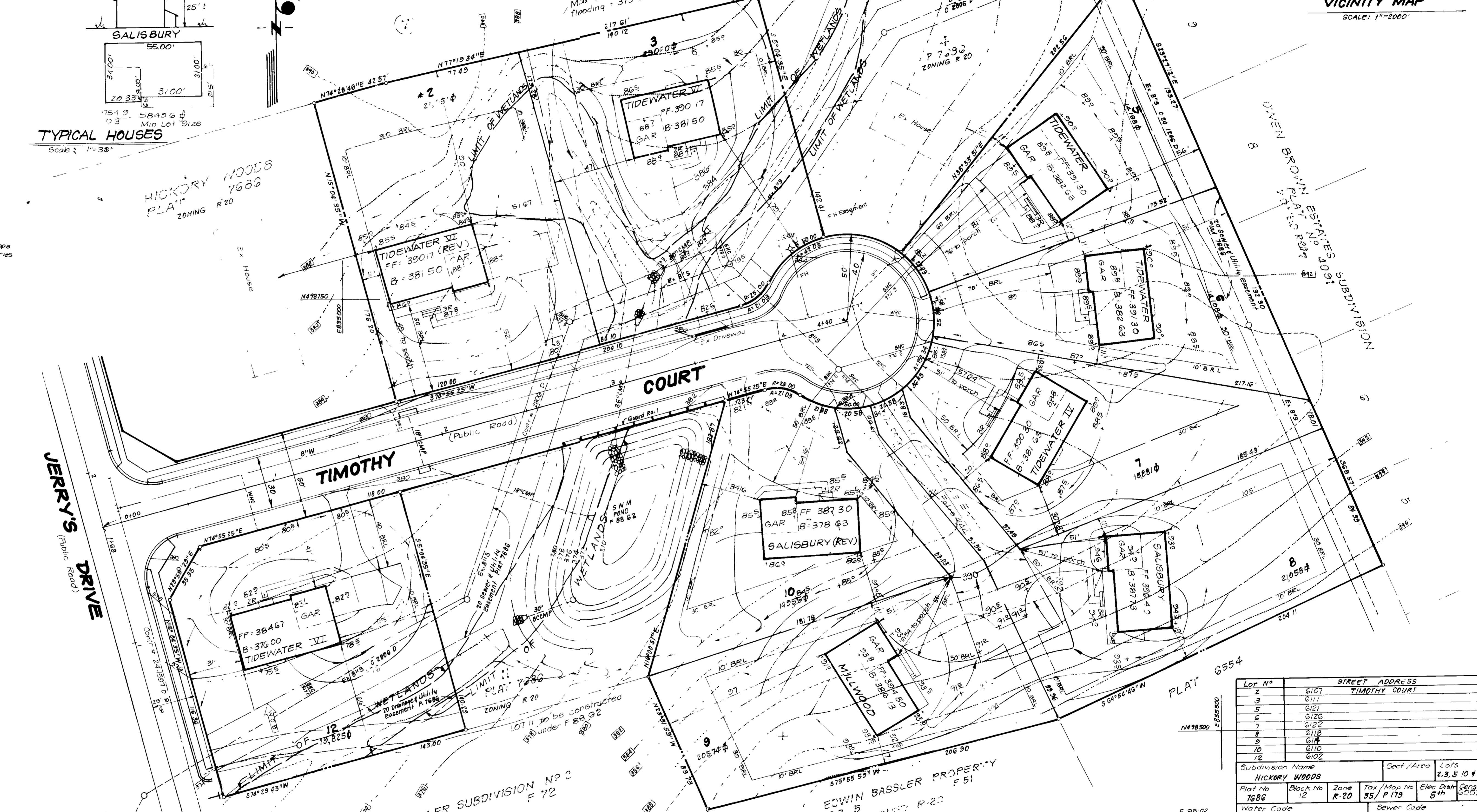
CHIEF BUREAU OF ENGINEERING



TYPICAL HOUSES Scale: 1" = 30'

Lot #	Total Area	Area of 25% Slope or Greater	Total Buildable Area
2	2,100 sq ft	288 sq ft	20,763 sq ft
3	23,060 sq ft	2,232 sq ft	20,828 sq ft
8	21,058 sq ft	756 sq ft	20,302 sq ft
9	20,574 sq ft	1,368 sq ft	19,206 sq ft
10	4,955 sq ft	360 sq ft	14,525 sq ft

EDWIN BASSLER SUBDIVISION No. 2 P. 72
ZONING: R 20 NOTE Water Quality Certification No. 87 WS 0315
Max Elev. of upstream flooding: 372.34



Lot No	STREET ADDRESS
2	6107 TIMOTHY COURT
3	6111
5	6121
6	6123
7	6122
8	6118
9	6116
10	6110
12	6102

Subdivision Name	HICKORY WOODS	Sect./Area	12
Plat No	7686	Block No	12
Zone	R-20	Tax/Map No	55/P 179
Elec. Dist	5th	Census Tr.	6053-02
Water Code	E 28	Sewer Code	5325500

CLARK • FINEFROCK & SACKETT, INC
ENGINEERS • PLANNERS • SURVEYORS

7115 MINGREL WAY • COLUMBIA, MD 21045 • (301) 381-7500 • BALTO • (410) 321-1111 • WA

DESIGNED: VHL
DRAWN: VHL, KIW
CHECKED: JME

SITE DEVELOPMENT PLAN
LOTS 2, 3, 5-10 & 12

HICKORY WOODS

5TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

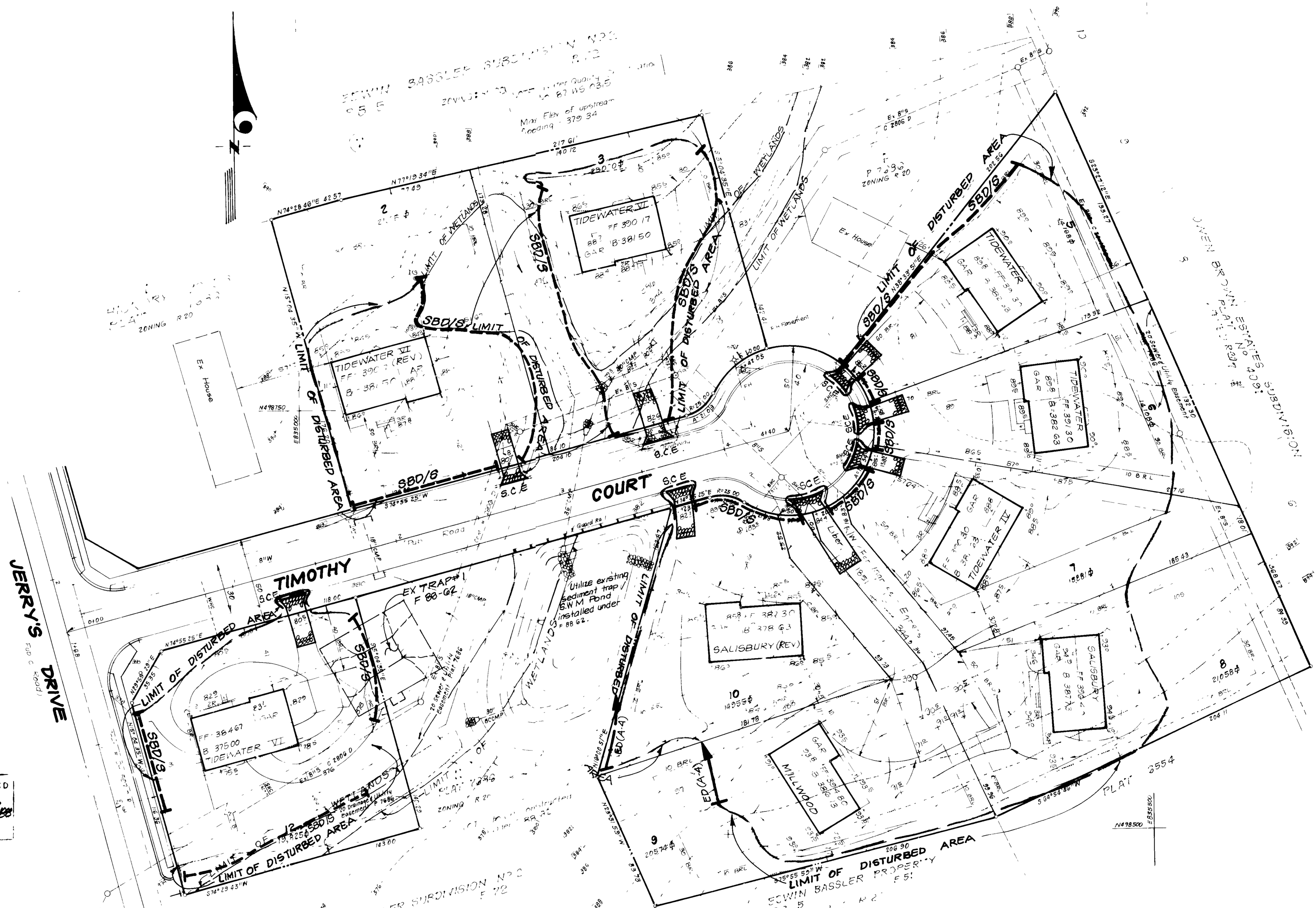
FOR: NU HOMES, INC
10480 LIME PATUENT PKWY
COLUMBIA, MD 21044

SCALE: 1" = 30'
DRAWING: 10F3
JOB NO: 88 062
FILE NO: 88 062 X

DATE: June 30, 1988

NOTE: Grading within wetlands on Lot #3 for installation of driveway and 30" CMP under F 88-22 allowed under Water Quality Certification N° 87-WQ-0315

- LEGEND:**
- Contour Interval 2 ft
 - Existing Contour
 - Proposed Contour
 - Spot Elevation
 - Direction of Drainage
 - Walk Out Basement
 - Straw Bale Dike / Silt Fence
 - Stabilized Construction Entrance



THIS DRAWING IS APPROVED FOR CONSTRUCTION AND SEDIMENT CONTROL BY HOWARD COUNTY HEALTH DEPARTMENT AND HOWARD COUNTY SOIL CONSERVATION DISTRICT.

Reviewed for HOWARD SCD
 Approved: *Stephan L. Fisher* 7/29/88
 Date: 7/29/88

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT	<i>James M. Boyd</i> M.D. 8/12/88 COUNTY HEALTH OFFICER DATE
APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING	<i>John J. ...</i> 8-18-88 PLANNING DIRECTOR DATE
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS	<i>William ...</i> 8-18-88 DIRECTOR DATE
APPROVED	<i>William ...</i> 8-18-88 CHIEF BUREAU OF ENGINEERING DATE

6-30-88
LKS

DEVELOPER'S CERTIFICATE

I/We certify that all developments and construction on the site according to the plan of development and construction and sediment control and that all responsible personnel involved in the construction project will have a Court site of site coverage as a condition of approval. I/We warrant that all construction and construction materials used in the construction of the project will be in accordance with the approved plan and specifications and that the Howard County Soil Conservation District will be notified of any construction activity on the site.

Harry C. ... 5/20/88
Signature of Developer/Builder Date

ENGINEER'S CERTIFICATE

I hereby certify that this plan of development and construction is in accordance with the approved plan and specifications and that the Howard County Soil Conservation District will be notified of any construction activity on the site.

G. Nelson Clark 6-6-88
Date

OPZ File Ref 88720 & P88 01, F 88 62

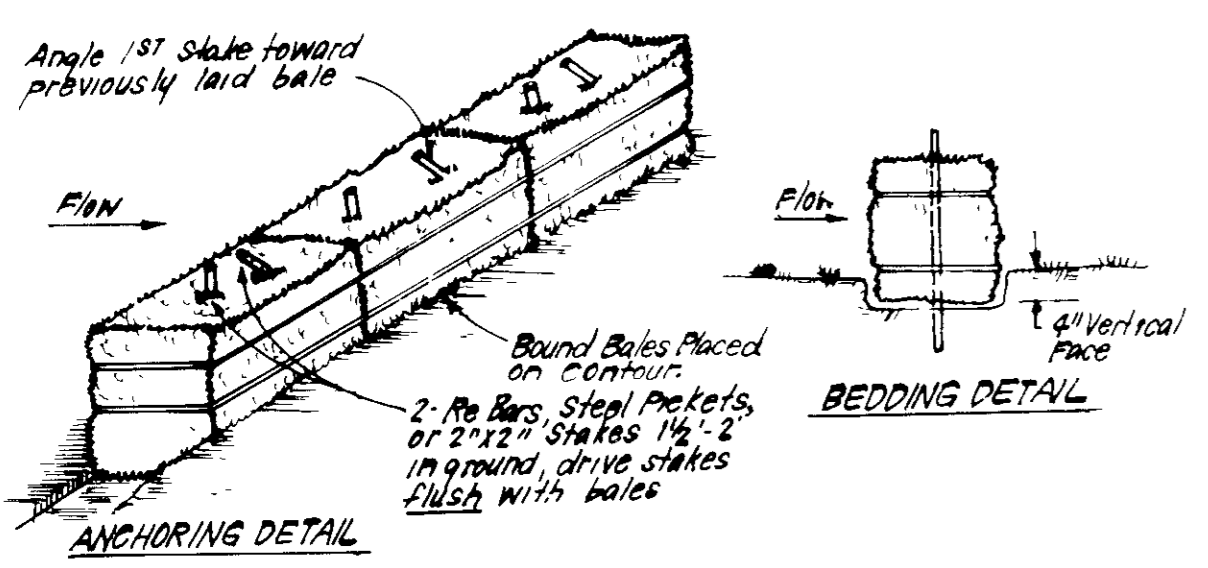
CLARK • FINEFROCK & SACKETT, INC
 ENGINEERS • PLANNERS • SURVEYORS

DESIGNED DGT	SEDIMENT & EROSION CONTROL PLAN LOTS 2, 3, 5-10 & 12	SCALE 1"=30'
DRAWN VHL KIW		DRAWING 2 OF 3
CHECKED DGT		JOB NO. 88 062
DATE June 30, 1988		FILE NO. 88 062SE

HICKORY WOODS

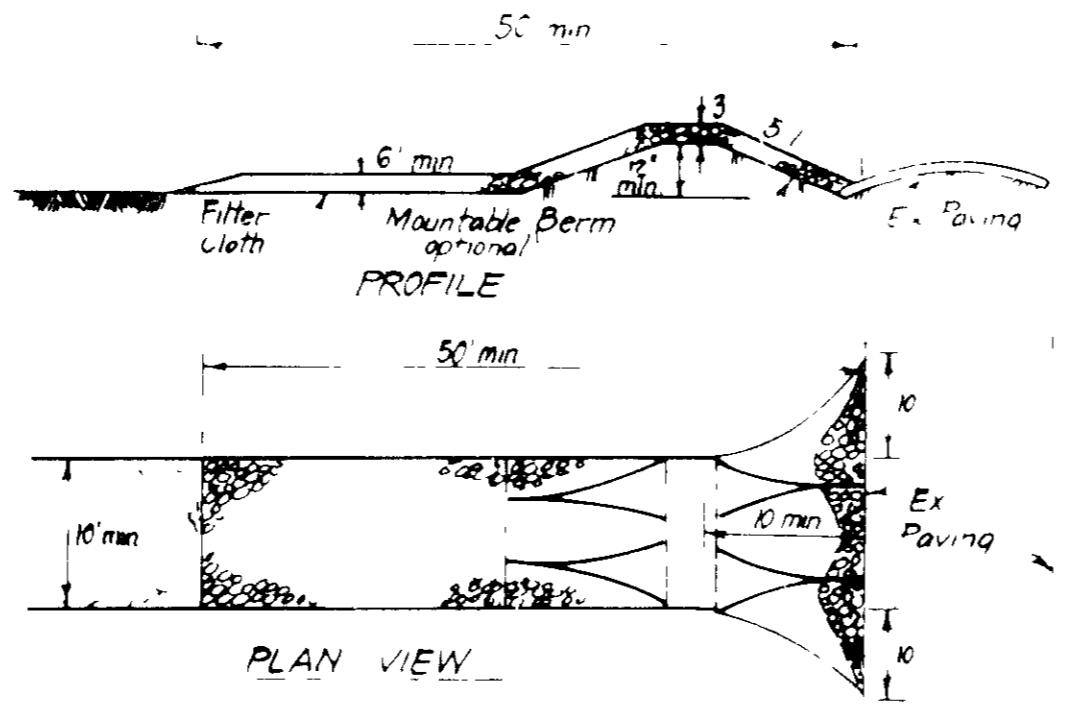
5TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

FOR N/H HOMES, INC
10480 Little Patuxent Pkwy
Columbia MD 21044



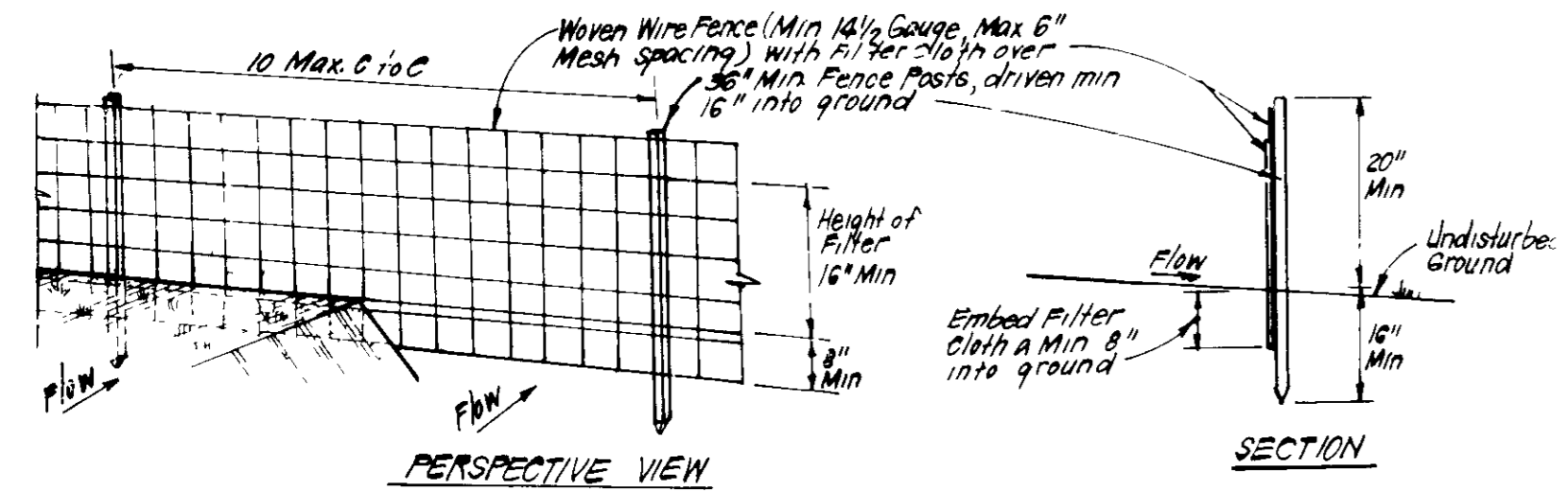
CONSTRUCTION SPECIFICATIONS:
1. Bales shall be placed at the top of a slope or on the contour and in a row with ends tightly abutting the adjacent bales.
2. Each bale shall be embedded in the soil a min of 4" and placed so the bindings are horizontal.
3. Bales shall be securely anchored in place by either 2 stakes or rebar driven thru the bale.
4. The 1st stake in each bale shall be driven toward the previously laid bale at an angle to force the bales together. Stakes shall be driven flush with the bale.
5. Inspection shall be frequent and repair/replacement shall be made promptly as needed.
6. Bales shall be removed when they have served their usefulness so as not to block or impede storm flow or drainage.

STRAW BALE DIKE DETAIL (SBD)



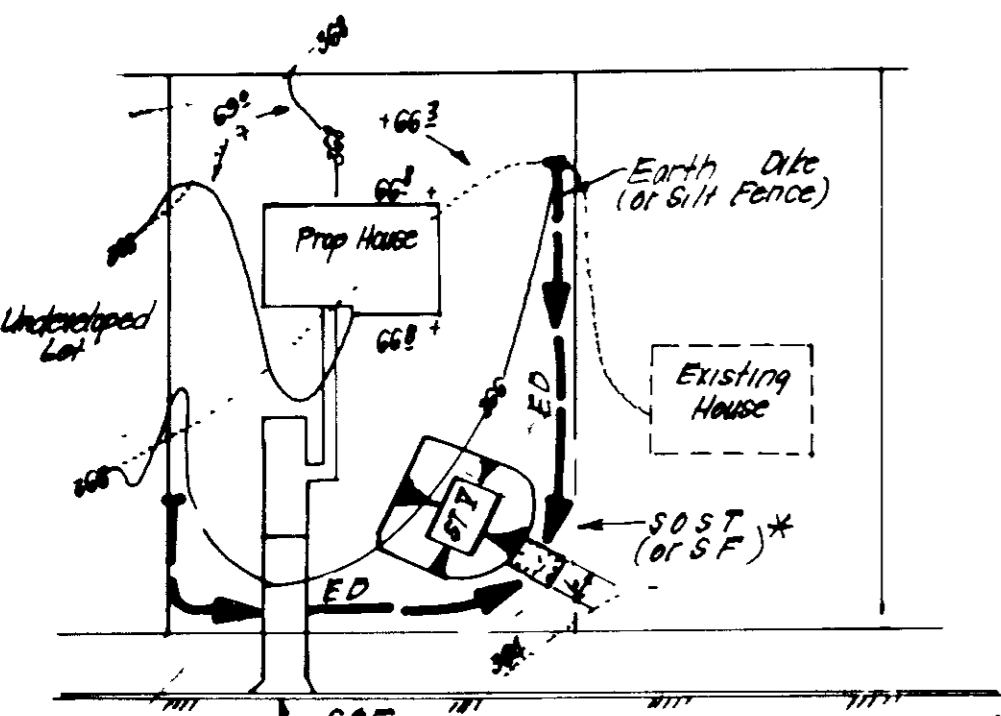
CONSTRUCTION SPECIFICATIONS:
1. Stone size - Use 2" stone or required or recycled concrete equivalent.
2. Length - As required but not less than 50 feet, except for a single residence lot where a 30 foot minimum length would apply.
3. Thickness - Not less than six (6) inches.
4. Width - Ten (10) foot minimum but not less than the width at points where ingress or egress occurs.
5. Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a single-family residence lot.
6. Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5' slopes will be determined.
7. Maintenance - The entrance shall be maintained in a condition when will prevent tracking or flowing of sediment onto public rights of way. This may require periodic top dressing with additional stone as construction demands and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
8. Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public rights of way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
9. Annual inspection and regular maintenance and repair shall be performed.

STABILIZED CONSTRUCTION ENTRANCE (SCE)



CONSTRUCTION SPECIFICATIONS:
1. Woven wire fence to be fastened securely to fence posts with wire ties or staples.
2. Filter cloth to be fastened securely to woven wire fence with ties spaced every 24" along the section.
3. When 2 sections of filter cloth adjoin each other they shall be overlapped by 6" and folded.
4. Maintenance shall be performed as needed and material removed when "bulges" develop in silt fence.
POSTS: Steel, either T or U type or 2" Hardwood.
FENCE: Woven Wire, 14-gauge, 6" Max Mesh Opening.
FILTER CLOTH: FilterX, Mirafix 100X, Stabilinks, T140N or approved equivalent.
PREFABRICATED UNIT: Geofab, Envirofence, or approved equal.

SILT FENCE DETAIL (S)



* NOTE: Single lot detail can not be utilized if any two lots sharing common property lines are to be disturbed at the same time or on any lots showing a sediment trap.
S.O.S.T. (or S.F.)

SINGLE LOT SEDIMENT CONTROL PLAN

- 1) A minimum of 24 inches of soil must be placed to...
2) The construction of sediment controls...
3) Following initial soil disturbance or redisturbance...
4) The sediment control structures...
5) The disturbed areas must be stabilized within the...
6) The sediment control structures are to remain in place...
7) Maintenance - The entrance shall be maintained...
8) Any sediment control practice which is disturbed...
9) Additional sediment control must be provided...
10) On all sites with disturbed areas in excess of 2 acres...
11) If houses are to be constructed on an "As-Sold" basis...
12) All pipes to be blocked at the end of each day...
13) The total amount of straw bale dikes/silt fence equals 1170 feet.

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent live-planted vegetative cover is needed.
Second Preparation - Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.
Soil Amendments - In lieu of soil test recommendations, use one of the following schedules:
1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 square ft) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding.
2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding.

Seeding - For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue.
Mulching - Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding.
Inspection - Inspect all seeded areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.
Second Preparation - Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.
Soil Amendments - Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).

Seeding - For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2 1/2 bushel per acre of annual ryegrass (3.2 lbs/1000 sq ft).
Mulching - Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding.
Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rates and methods not covered.

Construction Sequence

- 1. This plan to go into effect prior to conversion of sediment trap to Storm Water management facility under F 88-62. See authorization note.
2. This site has been granted a Water Quality Certification for disturbance within wetlands. Certification No. 87-WQ-0315.
3. Obtain Grading permit. 7 days.
4. Maintain existing sediment trap/SWM Pond from F-88-62 and install all additional controls. 14 days.
5. Grade lot areas and excavate foundations. 30 days.
6. Construct structures, sidewalks, and driveways. 60 days.
7. Fine grade and permanently stabilize all disturbed areas. 30 days.
8. Convert sediment basin to Storm Water Management facility per F-88-62 once drainage area to pond has been stabilized. 14 days.
9. With approval of the Sediment Control Inspector remove all Sediment Controls. 3 days.

Terrifirm hereby authorizes Nu-Homes, Inc. to utilize the existing Sediment trap/SWM pond shown on plan F# 88-62 for Sediment Control for the project. It will be Nu-Homes, Inc. responsibility to maintain the trap. If Terrifirm converts the sediment trap/SWM pond to a storm water management facility prior to completion of house construction activities within the drainage area of the trap/SWM pond, then a revised sediment control plan will be necessary.

Signature: P. M. Rowie, Date: 6/9/88

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT.
APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING.
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

Reviewed for HOWARD COUNTY S.C.D. Name: Howard.
And meets Technical Requirements.
Signature: Owen M. ... Date: 7/27/88.
U.S. Soil Conservation Service.
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

ENGINEER'S CERTIFICATE.
I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Signature: G. Nelson Clark, Date: 5-20-88.

CLARK • FINEFROCK & SACKETT, INC. ENGINEERS • PLANNERS • SURVEYORS.
DESIGNED BY: DGT.
DRAWN BY: V.L.M., K.W.
CHECKED BY: DGT.
DATE: June 30, 1988.
PROJECT: SEDIMENT AND EROSION CONTROL PLAN LOTS 2, 3, 5-10 & 12.
HICKORY WOODS.
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND.
FOR: NU-HOMES, INC. 10480 LITTLE PATENT RD. COLUMBIA, MD 21044.