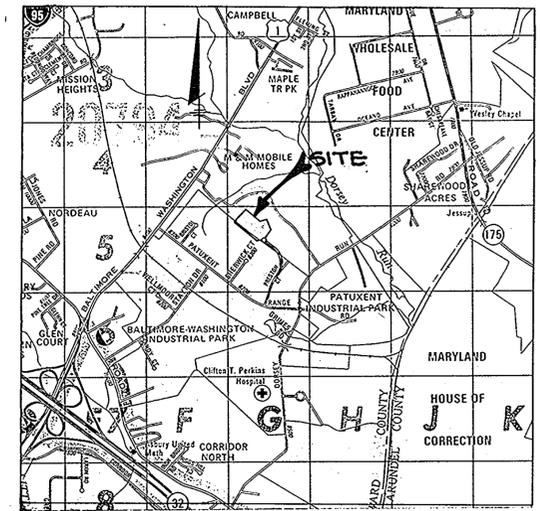


| SHEET INDEX |   |
|-------------|---|
| NO.         | DESCRIPTION                                     |
| 1           | TITLE SHEET                                     |
| 2           | SITE DEVELOPMENT PLAN                           |
| 3           | SITE DEVELOPMENT PLAN                           |
| 4           | SITE DEVELOPMENT PLAN                           |
| 5           | GRADING, SEDIMENT CONTROL AND DRAINAGE AREA MAP |
| 6           | GRADING, SEDIMENT CONTROL AND DRAINAGE AREA MAP |
| 7           | GRADING, SEDIMENT CONTROL AND DRAINAGE AREA MAP |
| 8           | STORM DRAIN PROFILES                            |
| 9           | SEWER PROFILES AND DETAILS                      |
| 10          | DETAIL SHEET                                    |
| 11          | PLANTING PLAN                                   |
| 12          | PLANTING PLAN                                   |
| 13          | PLANTING PLAN                                   |

# SITE DEVELOPMENT PLAN B.W.I.P. PARCEL B-2 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND



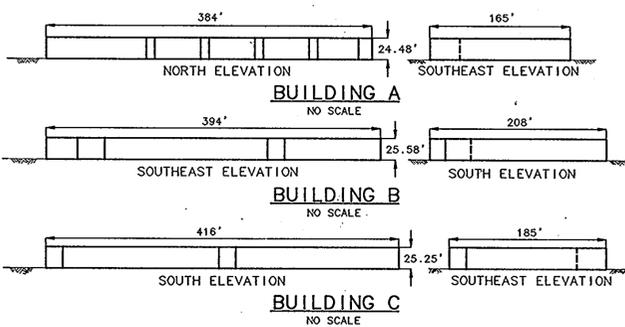
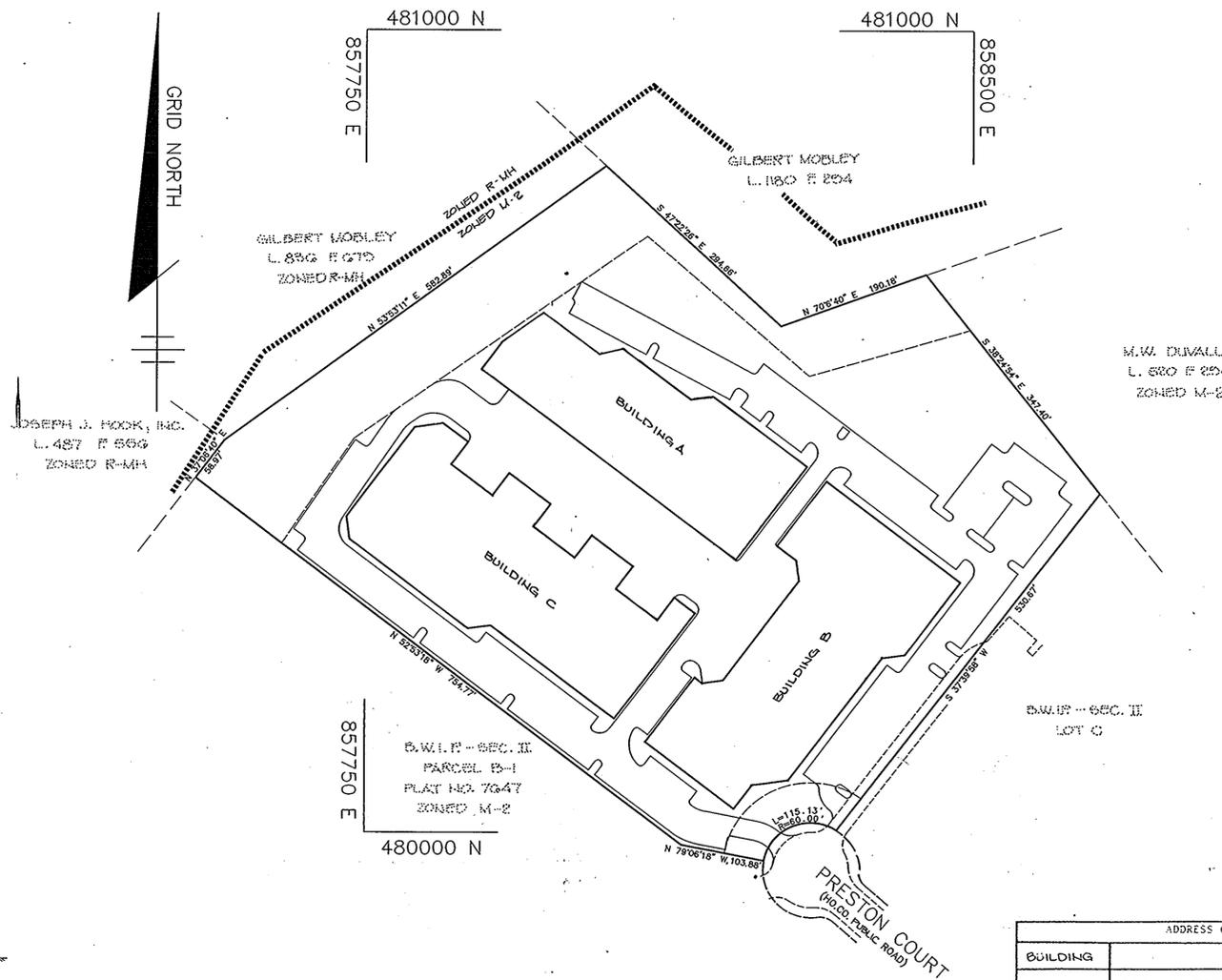
VICINITY MAP  
SCALE: 1"=2000'

- GENERAL NOTES**
- ALL WATER LINES SHALL BE CONSTRUCTED A MINIMUM OF 42" COVER BELOW FINISHED GRADE.
  - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, I.E., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION.
  - APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FROM BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
  - THE CONTRACTOR SHALL TEST FIT EXISTING UTILITIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS TO VERIFY THEIR LOCATION AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
  - CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS:
 

|   |                |
|---|----------------|
| MESS UTILITY  | 1-800-257-7777 |
| C & P TELEPHONE COMPANY   | 725-9976       |
| HOWARD COUNTY BUREAU OF UTILITIES   | 992-2366       |
| AT&T CABLE LOCATION DIVISION  | 393-3553       |
| BALTIMORE GAS & ELECTRIC COMPANY  | 685-0123       |
| STATE HIGHWAY ADMINISTRATION  | 531-5533       |
| HOWARD COUNTY CONSTRUCTION INSPECTION SURVEY DIVISION (24 HOURS NOTICE PRIOR TO COMMENCEMENT OF WORK) | 792-7272       |
  - ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
  - ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
  - THE CONTRACTOR SHALL PROVIDE A JOINT IN ALL SEWER MAINS WITHIN 2'-0" OF EXTERIOR MANHOLE WALLS.
  - PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
  - NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT TO SUBGRADE.
  - TOPG TAKEN FROM FIELD RUN SURVEY DATED FEB. 1988 BY THE RIEMER GROUP, INC.
  - ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  - ALL STORM DRAIN PIPE BEDDING SHALL BE AS SHOWN IN DETAIL 02.01 (TRENCH IN ROCK OR TRENCH IN EARTH AS DETERMINED BY FIELD CONDITIONS) IN VOL. IV OF HOWARD COUNTY DESIGN MANUAL UNLESS OTHERWISE DIRECTED BY THE ENGINEER OR AS SHOWN ON THE DRAWINGS.
  - THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND / OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR THE SEDIMENT AND EROSION CONTROL PRACTICES, STORM WATER MANAGEMENT PRACTICES AND THE DISCHARGE OF STORM WATER ONTO OR ACROSS ADJACENT OR DOMESTIC PROPERTIES INCLUDED IN THIS PLAN. HE IS ALSO RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR WORK ON ADJACENT PROPERTIES INCLUDED IN THIS PLAN.
  - THE OWNER SHALL PROVIDE A SEPARATE AND INDEPENDENT SEWER CONNECTION FOR EACH TENANT OR OCCUPANT OF ANY BUILDING, SHOWN ON THIS SITE DEVELOPMENT PLAN, WHO WILL DISCHARGE NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM IF THIS WASTE IS REGULATED UNDER SECTION 15.122A OF THE HOWARD COUNTY CODE. EACH SEPARATE AND INDEPENDENT SEWER CONNECTION SHALL INCLUDE A STANDARD MANHOLE AND OTHER WASTE PRETREATMENT DEVICES AS REQUIRED AND APPROVED BY HOWARD COUNTY. WASTE LINES ON THE INTERIOR OF THE BUILDING SHALL BE DESIGNED, CONSTRUCTED OR MODIFIED SUCH THAT NON-DOMESTIC WASTE WILL BE DISCHARGED TO THE SEPARATE AND INDEPENDENT SEWER CONNECTION. NO TENANT OR OCCUPANT OF ANY BUILDING SHOWN ON THIS SITE DEVELOPMENT PLAN SHALL DISCHARGE REGULATED NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM PRIOR TO INSTALLATION OF THE SEPARATE AND INDEPENDENT SEWER CONNECTION AND RELATED INTERIOR WASTE LINES. THE ABOVE REQUIREMENTS SHALL APPLY TO ALL INITIAL AND FUTURE OCCUPANTS OR TENANTS.
  - PREVIOUS OFFICE OF PLANNING ZONING FILE NOS. F-86-210, GP-86-50, F-88-117.

**SITE TABULATION**

|   |                                    |                 |
|---|------------------------------------|-----------------|
| Area of Parcel:   | 12.2 Acres                         | 531432 sq. ft.  |
| Present Zoning:   | M-2                                |                 |
| Proposed Use:   | Warehouse/Office Building          |                 |
| Proposed Building Coverage:                             | 4.13 Ac (33% of site)              |                 |
| Proposed Building Areas:                                |                                    |                 |
| Building A  | - 49,912 sq. ft.                   |                 |
| Building B  | - 64,140 sq. ft.                   |                 |
| Building C  | - 65,687 sq. ft.                   |                 |
| Proposed Total Square Footage of Office:                |                                    |                 |
| Building A  | - 7486.8 sq. ft.                   | - 30 Employees  |
| Building B  | - 9821.0 sq. ft.                   | - 40 Employees  |
| Building C  | - 9853.1 sq. ft.                   | - 40 Employees  |
| Total Office  | - 26960.9 sq. ft.                  | - 110 Employees |
| Proposed Total Square Footage of Warehouse:             |                                    |                 |
| Building A  | - 42425.2 sq. ft.                  |                 |
| Building B  | - 54519.0 sq. ft.                  |                 |
| Building C  | - 55834.4 sq. ft.                  |                 |
| Total Warehouse   | - 152778.6 sq. ft.                 |                 |
| Number of Parking Spaces Required:                      |                                    |                 |
| Office @ 7/10 Employees Customarily Working At One Time | 77 Spaces                          |                 |
| Warehouse @ 1 sp/750 sq. ft. of Floor Area              | 204 Spaces                         |                 |
| (See letter for justification of warehouse parking)     |                                    |                 |
| Total Parking Required                                  | 281 Spaces                         |                 |
| Number of Parking Spaces Provided                       | 299 Spaces                         |                 |
| Number of Handicap Spaces Required                      | 7 Spaces                           |                 |
| Number of Handicap Spaces Provided                      | 8 Spaces                           |                 |
| Open Space Req'd (incl. internal landscaped areas)      | 106286.4 sq. ft. (20%)             |                 |
| Open Space Provided                                     | 194876.5 sq. ft. (36%)             |                 |
| Landscaped Islands Required                             | 3034 sq. ft. (.5% of parking area) |                 |
| Landscaped Islands Provided                             | 3637.5 sq. ft. (.6%)               |                 |



| ADDRESS CHART |                  |
|---------------|------------------|
| BUILDING      | STREET ADDRESS   |
| A             | 8264 PRESTON CT. |
| B             | 8260 PRESTON CT. |
| C             | 8268 PRESTON CT. |

|  |                |                      |
|--|----------------|----------------------|
| SUBDIVISION NAME: BALTIMORE-WASHINGTON INDUSTRIAL PARK | SECT. II       | PARCEL # B-2         |
| PLAT # OR L/F: 7647                                    | BLOCK # 20     | TAX/ZONE MAP 48 & 48 |
| ELEC. DIST. 2064                                       | CENSUS TR 2064 | SEWER CODE 302000    |
| WATER CODE 802   |                |                      |

**APPROVED**  
DIVISION OF  
COMMUNITY PLANNING  
& LAND DEVELOPMENT  
HOWARD COUNTY,  
MARYLAND  
DATE: 11-2-88

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,  
HOWARD COUNTY HEALTH DEPARTMENT  
*James Boyle* COUNTY HEALTH OFFICER 3-15-89 DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.  
*W. J. ...* PLANNING DIRECTOR 3-31-89 DATE

*David J. ...* CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT 3-30-89 DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*James ...* DIRECTOR 3-14-89 DATE

*Arthur E. ...* CHIEF, BUREAU OF ENGINEERING 3-14-89 DATE

| DATE | NO. | REVISION |
|------|-----|----------|
|      |     |          |

OWNER/DEVELOPER  
BEAUMONT PROPERTIES  
8311 EAST HAMPTON AVE.  
SUITE 200  
DENVER, COLORADO 80231

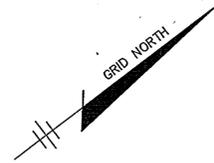
PROJECT:  
**B.W.I.P. PARCEL B-2**  
WAREHOUSE/OFFICE BUILDING

AREA TAX MAP NOS. 48 & 48 PLAT NO. 7647  
BALTIMORE WASHINGTON INDUSTRIAL PARK, SECTION II PARCELS B-1  
6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE:  
TITLE SHEET

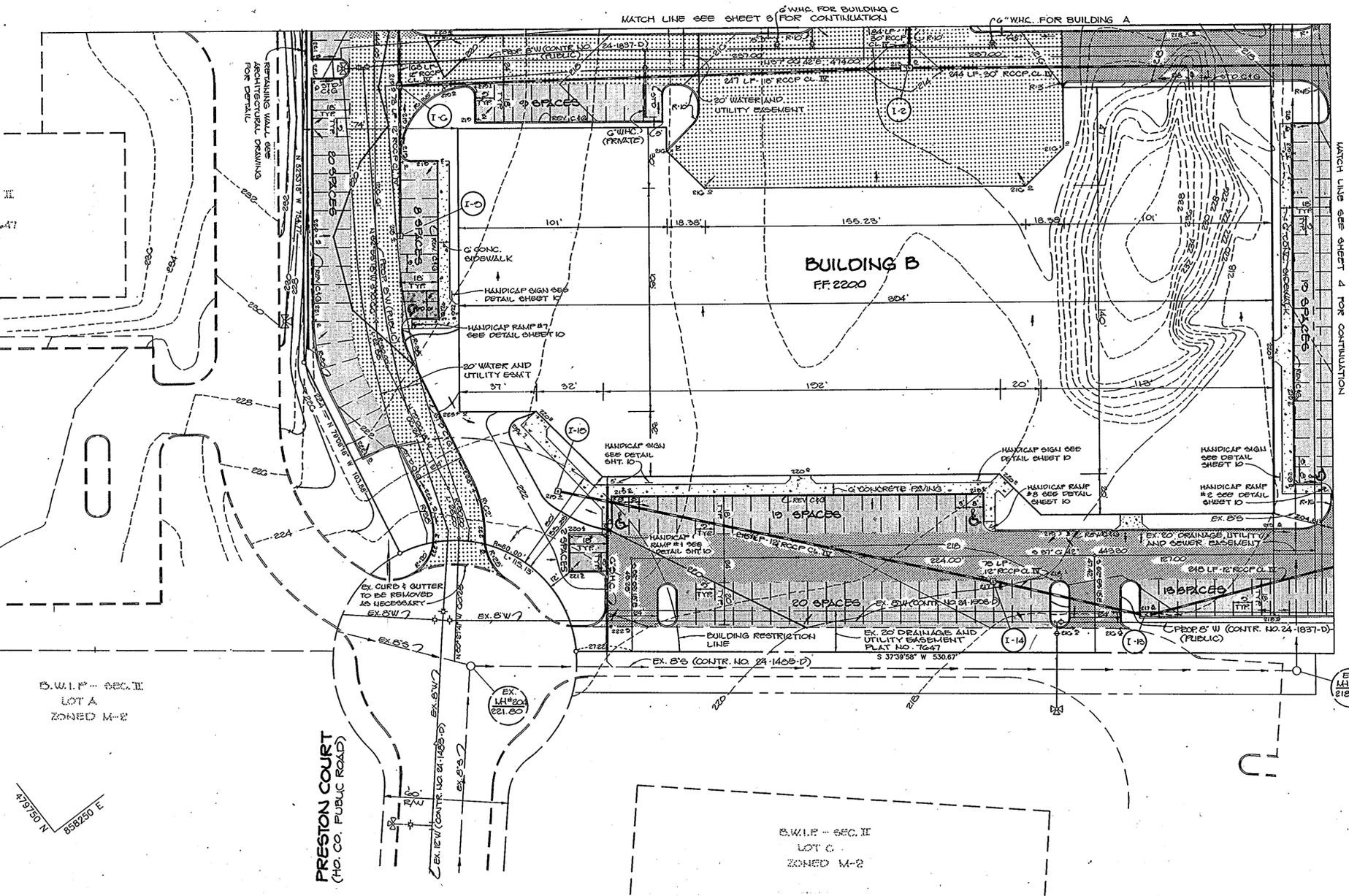
**THE RIEMER GROUP, INC.**  
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
3105 North Ridge Road, Ellicott City, Maryland 21043 (301) 461-2690

DESIGNED BY: W.C.W.  
DRAWN BY: W.C.W.  
PROJECT NO: 42401  
DATE: 6-10-88  
SCALE: AS SHOWN  
DRAWING NO. 1 OF 13



480500 N  
888250 E

480500 N  
888500 E



B.W.I.P. - SEC. II  
PARCEL B-1  
PLAT NO. 76-47  
ZONED M-2

B.W.I.P. - SEC. II  
LOT A  
ZONED M-2

PRESTON COURT  
(HO. CO. PUBLIC ROAD)

B.W.I.P. - SEC. II  
LOT C  
ZONED M-2

- NOTES:
1. ALL RADII 5' UNLESS OTHERWISE NOTED.
  2. ALL WATER METERS ARE TO BE INSIDE SETTLINGS.
  3. SIDEWALKS ARE SHOWN TO ASSURE HANDICAPPED ACCESS TO ALL ENTRANCES. SIDEWALKS WILL BE INSTALLED DURING INDIVIDUAL TENANT FINISH-OUTS TO PROVIDE HANDICAPPED ACCESS AS REQ'D BY CODE.

**LEGEND**

- P-1 PAVING
- P-1 PAVING
- P-1 PAVING (TRUCK ROUTE)
- CONCRETE SIDEWALK OR PAVING
- P-2 PAVING

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

*Joyce M. Boyce* 3-15-89  
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

*W.A.H.* 3-21-89  
PLANNING DIRECTOR DATE

*James J. McLaughlin* 3-21-89  
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*James J. McLaughlin* 3-14-89  
DIRECTOR DATE

*William E. Ryan* 3-14-89  
CHIEF, BUREAU OF ENGINEERING DATE

| DATE | NO. | REVISION |
|------|-----|----------|
|      |     |          |

OWNER/DEVELOPER  
BEAULONT PROPERTIES  
2811 EAST HAMPTON AVE.  
SUITE 200  
DENVER, COLORADO 80231

PROJECT: **B.W.I.P. PARCEL B-2**  
WAREHOUSE/OFFICE BUILDING

AREA TAX MAP NOS. 42 & 48 PLAT NO. 76-47  
BALTIMORE WASHINGTON INDUSTRIAL PARK, SECTION II PARCEL B-2  
CITY ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE:  
SITE DEVELOPMENT PLAN

**THE RIEMER GROUP, INC.**

The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
3105 North Ridge Road, Ellicott City, Maryland 21043 (301) 461-2690

1-23-89  
DATE

DESIGNED BY: W.C.W.

DRAWN BY: M.A.D.

PROJECT NO: 40401

DATE: 5-10-88

SCALE: 1"=20'

DRAWING NO. 2 OF 13

**APPROVED**  
DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT  
HOWARD COUNTY, MARYLAND  
DATE: 11-2-88  
*M.A.D.*



JOSEPH J. HOOK INC.  
L. 487 F 800  
ZONED R-MH

GILBERT MOBLEY  
L. 850 F 600  
ZONED R-MH

GILBERT MOBLEY  
L. 150 F 100  
ZONED M-E

SM.I.P. SEC. II  
PARCEL B-1  
PLAT NO. 7647

BUILDING C  
F.F. 221.26

BUILDING A  
F.F. 218.6

**LEGEND**

- P1 PAVING
- P2 PAVING
- P3 PAVING (TRUCK ROUTE)
- CONCRETE SIDEWALK OR PAVING
- ZONING DIVISION LINE
- P-2 PAVING

**APPROVED**  
DIVISION OF  
COMMUNITY PLANNING  
& LAND DEVELOPMENT  
HOWARD COUNTY,  
MARYLAND  
DATE 11-2-88

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,  
HOWARD COUNTY HEALTH DEPARTMENT

*Joseph Boyd* 3-15-89  
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

*W.R.H.* 3-31-89  
PLANNING DIRECTOR DATE

*Harold J. Taylor* 3-20-89  
CHIEF, DIVISION OF  
COMMUNITY PLANNING AND  
LAND DEVELOPMENT DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM  
DRAINAGE SYSTEMS AND PUBLIC ROADS.

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*James P. Shaw* 3/14/89  
DIRECTOR DATE

*William E. Row* 3-14-89  
CHIEF, BUREAU OF ENGINEERING DATE

| DATE | NO. | REVISION |
|------|-----|----------|
|      |     |          |

OWNER/DEVELOPER  
BEAUMONT PROPERTIES  
2811 EAST HAMPTON AVE.  
SUITE 200  
DENVER, COLORADO 80231

PROJECT:  
**B.W.I.P. PARCEL B-2**  
WAREHOUSE/OFFICE BUILDING

AREA TAX MAP NOS. 48 & 49 PLAT NO. 7647  
BALTIMORE WASHINGTON INDUSTRIAL PARK, SECTION II PARCELS 2  
GTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE:  
SITE DEVELOPMENT PLAN

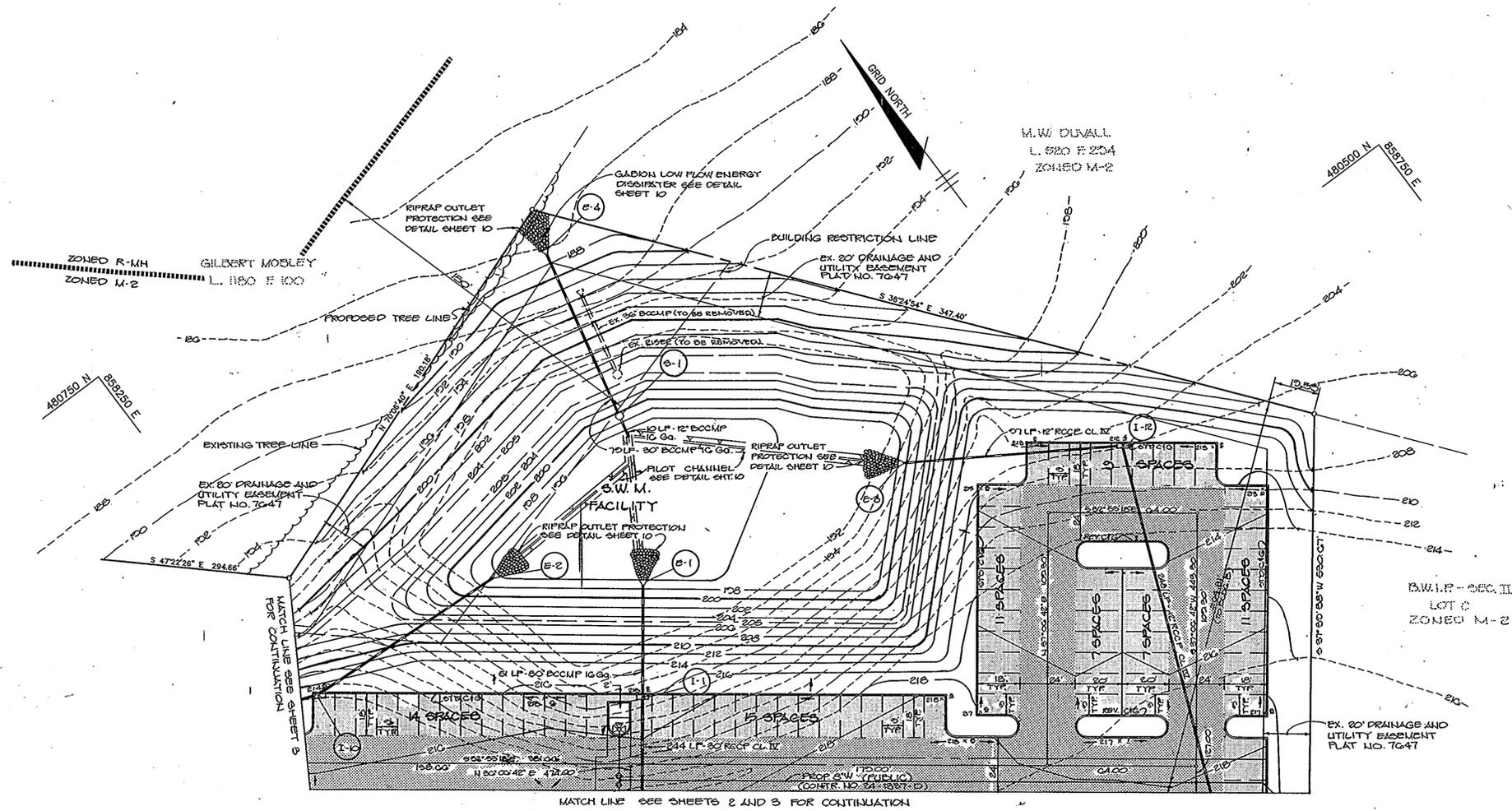
**THE RIEMER GROUP, INC.**

The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
3105 North Ridge Road, Ellicott City, Maryland 21043 (301) 461-2690

|                        |                     |
|------------------------|---------------------|
| DATE<br><u>11-2-88</u> | DESIGNED BY: W.C.W. |
|                        | DRAWN BY: M.A.D.    |
| PROJECT NO: 45401      | DATE: 5-10-88       |
| SCALE: 1"=20'          | DRAWING NO. 3 OF 10 |

NOTE: SIDEWALKS ARE SHOWN TO ASSURE HANDICAPPED ACCESS TO ALL ENTRANCES. SIDEWALKS WILL BE INSTALLED DURING INDIVIDUAL TENANT FINISH-OUTS TO PROVIDE HANDICAPPED ACCESS AS REQUIRED BY CODE.

NOTES:  
1. ALL RAMP'S UNLESS OTHERWISE NOTED.  
2. ALL WATER METERS ARE TO BE INSIDE SETTINGS.



NOTE: ALL RADII 6' UNLESS OTHERWISE NOTED.

**LEGEND**

- P-1 PAVING
- P-1 PAVING (TRUCK ROUTE)
- CONCRETE SIDEWALK OR PAVING
- ZONING DIVISION LINE
- P-2 PAVING

NOTE: SIDEWALK ARE SHOWN TO ASSURE HANDICAPPED ACCESS TO ALL ENTRANCES. SIDEWALKS WILL BE INSTALLED DURING INDIVIDUAL TENANT FINISH-OUTS TO PROVIDE HANDICAPPED ACCESS AS REQUIRED BY CODE.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

*Joyce M. Padgett* 3-15-89  
 COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

*Chad A. ...* 3-31-89  
 PLANNING DIRECTOR DATE

*David J. ...* 3-30-89  
 CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*James ...* 3/14/89  
 DIRECTOR DATE

*William E. ...* 3-14-89  
 CHIEF, BUREAU OF ENGINEERING DATE

| DATE | NO. | REVISION |
|------|-----|----------|
|      |     |          |

OWNER/DEVELOPER  
 BEAUMONT PROPERTIES  
 801 EAST HAMPTON AVE.  
 SUITE 200  
 DENVER, COLORADO 80231

PROJECT: **B.W.I.P. PARCEL B-2 WAREHOUSE/OFFICE BUILDING**

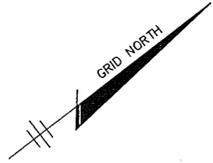
AREA TAX MAP NOS. 43 & 48 PLAT NO. 7047  
 BALTIMORE WASHINGTON INDUSTRIAL PARK, SECTION II PARCEL B-2  
 6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE: **SITE DEVELOPMENT PLAN**

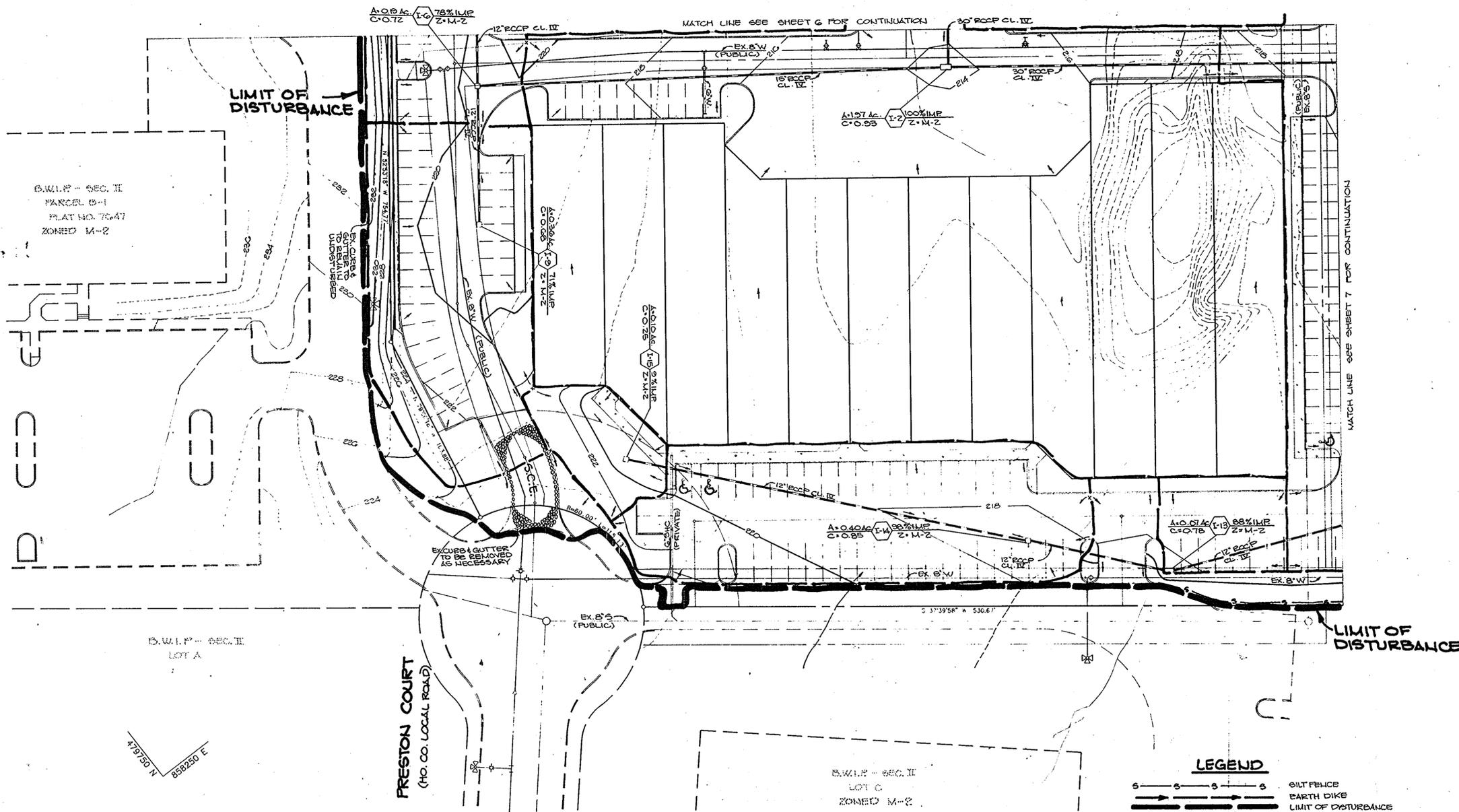
**THE RIEMER GROUP, INC.**  
 The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
 3105 North Ridge Road, Ellicott City, Maryland 21043 (301) 451-2890

1-23-89  
 DATE  
  
 DESIGNED BY: W.C.W.  
 DRAWN BY: M.A.D.  
 PROJECT NO: 40401  
 DATE: 5-10-88  
 SCALE: 1"=20'  
 DRAWING NO. 4 OF 10

**APPROVED**  
 DIVISION OF PLANNING  
 COMMUNITY PLANNING & LAND DEVELOPMENT  
 HOWARD COUNTY, MARYLAND  
 DATE: 11-2-88



480500 N  
858250 E

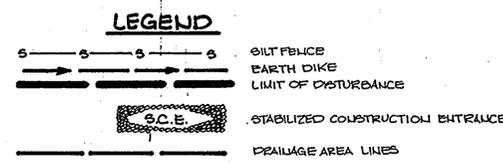


B.W.I.P. - SEC. II  
PARCEL B-1  
PLAT NO. 7647  
ZONED M-2

B.W.I.P. - SEC. II  
LOT A

PRESTON COURT  
(HO. CO. LOCAL ROAD)

B.W.I.P. - SEC. II  
LOT C  
ZONED M-2



| DP-1   | DP-4   | DP-5   |
|--|--|--|
| 0.0'<br>SILTY, FINE MEDIUM SAND-ORANGE BROWN-MEDIUM DENSE, MOIST (SM)<br>1.0'<br>SILTY CLAY-TRACE TO SOME SNAD-WHITE, ORANGE & RED-VERY STIFF TO HARD (CL)<br>7.5'<br>SILTY CLAY TO CLAYEY SHT., SOME FINE SAND WITH SILT SEAMS-WHITE & RUST-LOOSE-MOIST (CL TO ML-CL) | 0.0'<br>TOPSOIL-SILTY FINE TO MEDIUM SAND-TRACE ORGANICS-BROWN AND BLACK-MOIST (SM)<br>1.0'<br>FINE SANDY SILT-TRACE CLAY-BROWN AND GRAY-MOIST (ML)<br>4.5'<br>FINE SANDY CLAY-WITH SILT-REDDISH BROWN, BROWN AND GRAY-MOIST (CL-CH) | 0.0'<br>TOPSOIL-SILTY SAND-TRACE ORGANICS-BROWN-MOIST (SM)<br>0.5'<br>SILTY CLAY-TRACE FINE SAND-REDDISH BROWN AND GRAY-MOIST (CL-CH)<br>6.5'<br>SILTY FINE TO COARSE SAND-TRACE GRAVEL-BROWN-MOIST (SM) |

**BORING LOGS**  
NO SCALE

BY THE DEVELOPER:  
 "I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."  
 DEVELOPER: *[Signature]* DATE: 1/23/89

BY THE ENGINEER:  
 "I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."  
 ENGINEER: *[Signature]* DATE: 1-23-89

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.  
 APPROVED: *[Signature]* DATE: 2/3/89  
 U.S. SOIL CONSERVATION SERVICE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
 APPROVED: *[Signature]* DATE: 2/3/89  
 HOWARD S.C.D.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT  
*[Signature]* DATE: 3-15-89  
 COUNTY HEALTH OFFICER

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.  
*[Signature]* DATE: 3-31-89  
 PLANNING DIRECTOR

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*[Signature]* DATE: 3/14/89  
 DIRECTOR

OWNER, DEVELOPER  
 BEAUMONT PROPERTIES  
 8811 EAST HAMPTON AVE.  
 SUITE 200  
 DENVER, COLORADO 80231

PROJECT  
 B.W.I.P. PARCEL B-2  
 WAREHOUSE/OFFICE BUILDING  
 AREA TAX MAP NO. 48 & 49 PLAT NO. 7047  
 CALDWELL WASHINGTON INDUSTRIAL PARK SECTION II PARCEL B-2  
 6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE  
 GRADING, SEDIMENT CONTROL AND DRAINAGE AREA MAP.

APPROVED  
 DIVISION OF  
 COMMUNITY PLANNING  
 & LAND DEVELOPMENT  
 HOWARD COUNTY,  
 MARYLAND  
 DATE: 11-2-88

THE RIEMER GROUP, INC.  
 The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
 3105 North Ridge Road, Ellicott City, Maryland 21043 (301) 461-2690

DATE: 1-23-89

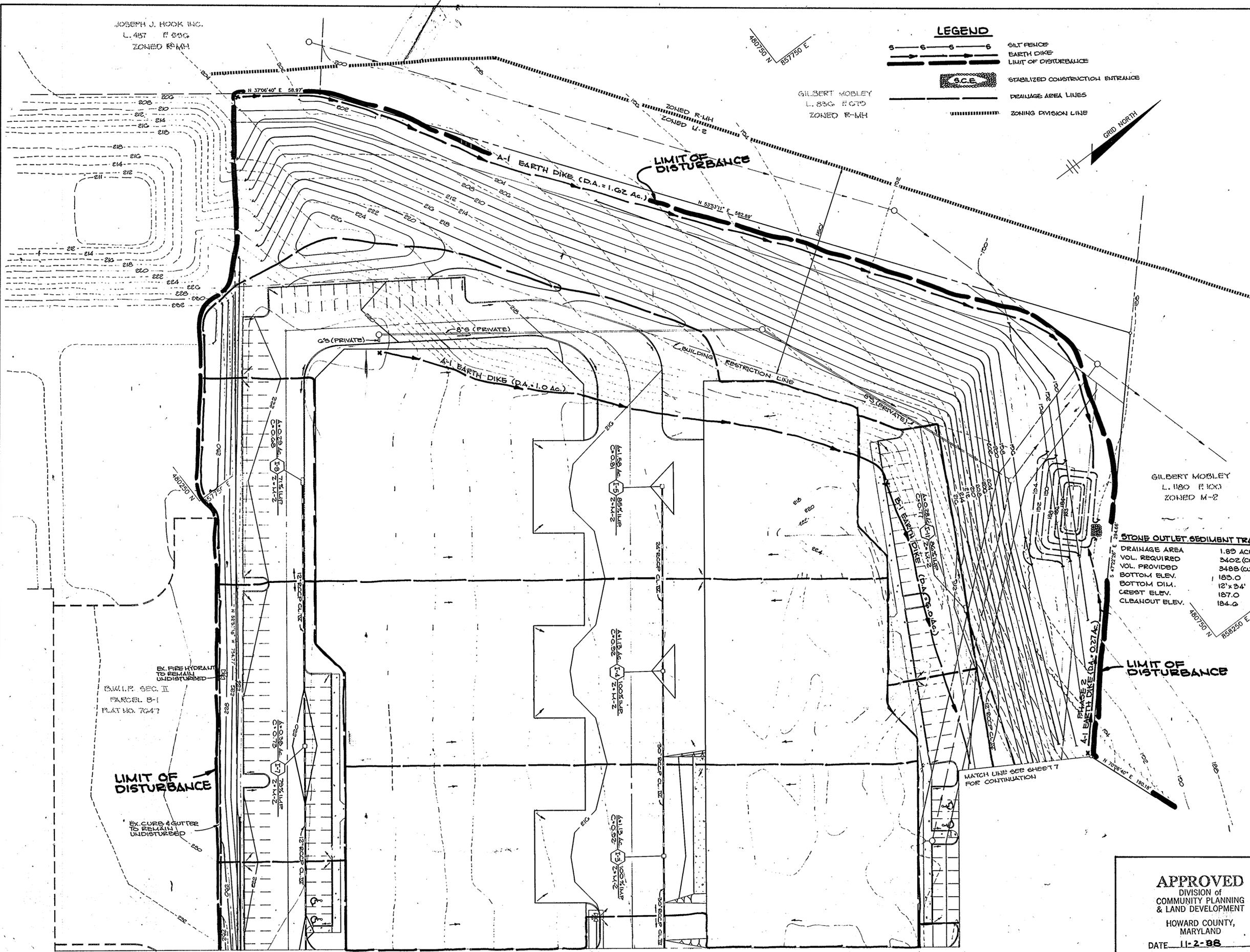
DESIGNED BY: W.C.W.  
 DRAWN BY: W.C.W.  
 PROJECT NO: 40401  
 DATE: 8-10-88  
 SCALE: 1"=30'  
 DRAWING NO: 5 OF 13

JOSEPH J. HOOK INC.  
L. 487 R 300  
ZONED R-1M4

GILBERT MOBLEY  
L. 850 R 01D  
ZONED R-1M4

**LEGEND**

- SILT FENCE
- EARTH DIKE
- LIMIT OF DISTURBANCE
- STABILIZED CONSTRUCTION ENTRANCE
- DRAINAGE AREA LINES
- ZONING DIVISION LINE



**STONE OUTLET SEDIMENT TRAP**  
DRAINAGE AREA 1.89 ACRES  
VOL. REQUIRED 3402 (CU.FT.)  
VOL. PROVIDED 3488 (CU.FT.)  
BOTTOM ELEV. 185.0  
BOTTOM DIM. 12' x 34'  
CREST ELEV. 187.0  
CLEANOUT ELEV. 184.0

BY THE DEVELOPER:  
"I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN 'AS-BUILT' PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."  
Developer: *[Signature]* DATE: 1/23/89

BY THE ENGINEER:  
"I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN 'AS-BUILT' PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."  
Engineer: *[Signature]* DATE: 1-23-89

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.  
Soil Conservation Service: *[Signature]* DATE: 2/13/89

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
Approved: *[Signature]* DATE: 2/13/89  
HOWARD S.C.D.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT  
County Health Officer: *[Signature]* DATE: 3-15-89

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.  
Planning Director: *[Signature]* DATE: 3-21-89  
Chief, Division of Community Planning and Land Development: *[Signature]* DATE: 3-21-89

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
Director: *[Signature]* DATE: 3/14/89  
Chief, Bureau of Engineering: *[Signature]* DATE: 3-14-89

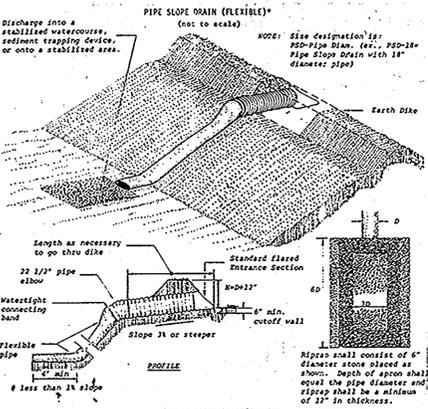
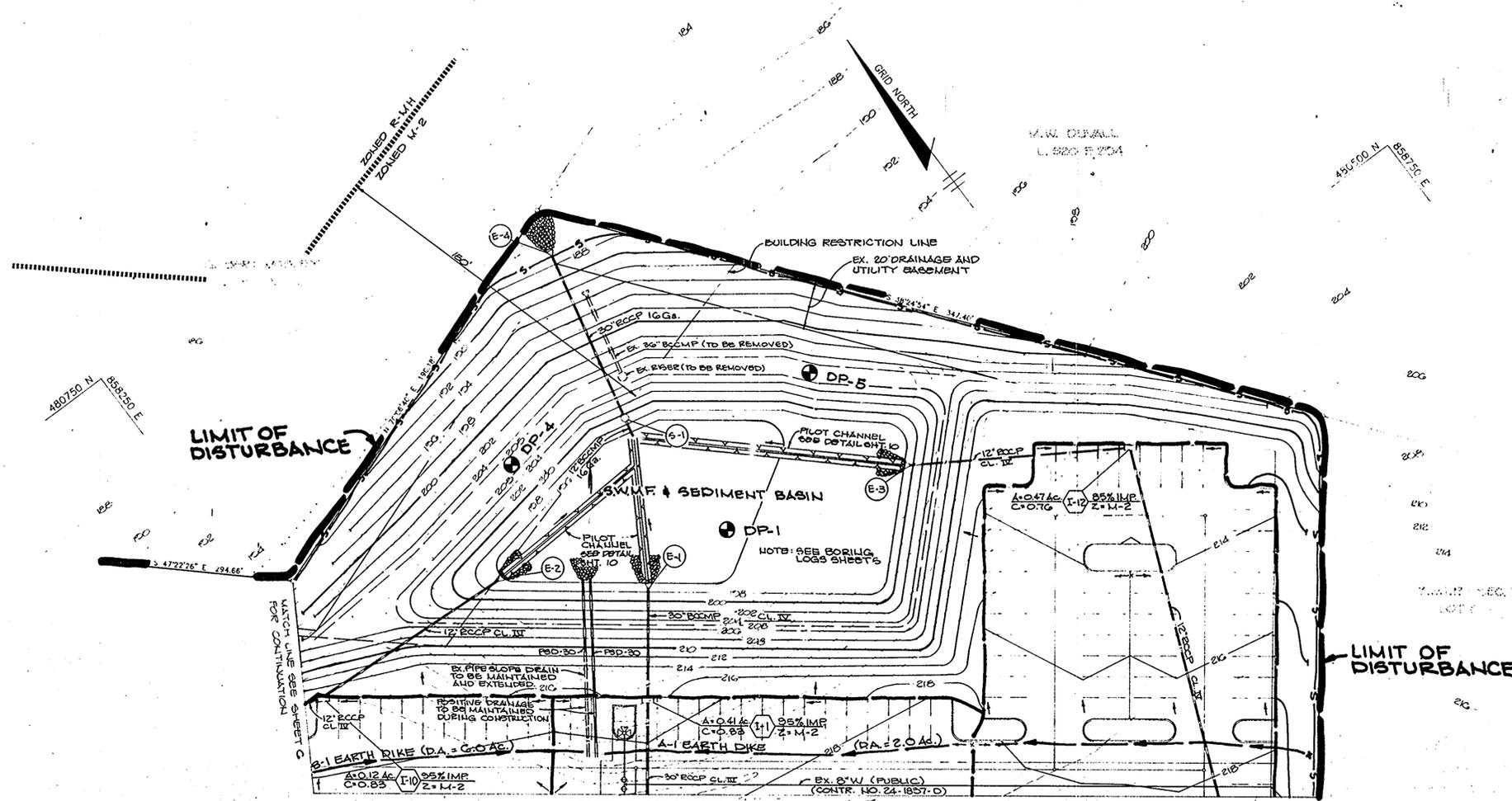
| DATE | NO | REVISION |
|------|----|----------|
|      |    |          |

OWNER/DEVELOPER  
BEAUMONT PROPERTIES  
8811 EAST HAMPTON AVE.  
SUITE 200  
DENVER, COLORADO 80231

PROJECT  
**B.W.I.P. PARCEL B-2  
WAREHOUSE/OFFICE BUILDING**  
AREA TAX MAP NOS. 49145 PLAT NO. 7047  
BALTIMORE WASHINGTON INDUSTRIAL PARK, SECTION II PARCEL B-2  
6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
TITLE  
**GRADING, SEDIMENT CONTROL  
AND DRAINAGE AREA MAP.**

**APPROVED**  
DIVISION OF  
COMMUNITY PLANNING  
& LAND DEVELOPMENT  
HOWARD COUNTY,  
MARYLAND  
DATE: 11-2-88

**THE RIEMER GROUP, INC.**  
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
3105 North Ridge Road, Ellicott City, Maryland 21043 (301) 461-2690  
DATE: 1-23-89  
DESIGNED BY: W.C.W.  
DRAWN BY: W.C.W.  
PROJECT NO: 43401  
DATE: 6-10-88  
SCALE: 1"=20'  
DRAWING NO. 0 OF 13  
ARTHUR E. LUEGGE 46101



**CONSTRUCTION SPECIFICATIONS**

- The inlet pipe shall have a slope of 3% or steeper.
- The top of the earth dike over the inlet pipe and those dikes carrying water to the pipe shall be at least 1' higher at all points than the top of the inlet pipe.
- The inlet pipe shall be corrugated metal pipe with watertight connecting bands.
- The flexible tubing shall be the same diameter as the inlet pipe and shall be constructed of a durable material with hold-down grommets spaced 10' on centers.
- The flexible tubing shall be securely fastened to the corrugated metal pipe with metal straps or watertight connecting collars.
- The flexible tubing shall be securely anchored to the slope by staking at the grommets provided.
- A riprap apron shall be provided at the outlet. This shall consist of 6" diameter stone placed as shown on Standard Drawing CSD-3.
- The soil around and under the inlet pipe and entrance section shall be hand tamped in 4" lifts to the top of the earth dike.
- Follow-up inspection and any needed maintenance shall be performed after each storm.
- Drainage area must not exceed 5 acres.

**FLEXIBLE PIPE SLOPE DRAIN**  
NO SCALE

**SEDIMENT BASIN**

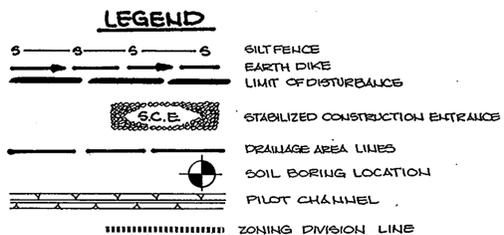
|                |               |
|----------------|---------------|
| DRAINAGE AREA  | 10.31 ACRES   |
| VOL. REQUIRED  | 18550 CU. FT. |
| VOL. PROVIDED  | 77220 CU. FT. |
| BOTTOM ELEV.   | 199.0         |
| BOTTOM DIM.    | 90' x 70'     |
| CREST ELEV.    | 202.1         |
| CLEAROUT ELEV. | 196.5         |

- SEQUENCE OF CONSTRUCTION**
- Obtain a grading permit.
  - Install stabilized construction entrance. (1/2 day)
  - Install silt fence. (1/2 day)
  - Install sediment control basin, control structure and stone outlet sediment trap and remove existing riser and 36" drain. Perform only the grading necessary to construct the basin and trap. (5 days)
  - Block 2-Year low-flow orifice on the control structure during the sediment control phase. (1/2 day)
  - Install flexible pipe slope drains and earth dikes, and maintain and extend existing flexible pipe slope drain. (1/2 day)
  - Rough grade site maintaining positive drainage for the flexible pipe slope drains and earth dikes. (15 days)
  - Install water, sewer and storm drains. Upon completion of the storm drains remove flexible pipe slope drains. (15 days)
  - Stabilize the graded area in accordance with the temporary seeding notes. (1/2 day)
  - Begin building construction and install curb and gutter and paving. (15 days)
  - Stabilize all disturbed areas in accordance with the permanent seeding notes. (1 day)
  - Upon approval of the Howard County Department of Public Works Sediment Control Inspector, remove all sediment control devices and convert sediment control basin to storm water management facility as follows:
    - Flush storm drain system. (1/2 day)
    - Pump out impounded water. (1/2 day)
    - Remove sediment and place as directed by the Howard County Department of Public Works Sediment Control Inspector. (1/2 day)
    - Unblock low flow orifice. (1/2 day)
    - Stabilize the remaining disturbed areas in accordance with the permanent seeding notes. (1/2 day)

**STRUCTURE SCHEDULE**

| NO.  | TYPE                          | T.C. ELEV. | INV. IN. | INV. OUT. | REMARKS                   |
|------|-------------------------------|------------|----------|-----------|---------------------------|
| I-1  | "S" COMB.                     | 215.8      | 205.29   | 205.19    | HO. CO. STD. DTL. SD-4.32 |
| I-2  | DOUBLE "S" TYPE               | *213.5     | 206.61   | 206.51    | HO. CO. STD. DTL. SD-4.23 |
| I-3  | "S" TYPE                      | *212.9     | 207.76   | 207.03    | HO. CO. STD. DTL. SD-4.22 |
| I-4  | "S" TYPE                      | *212.9     | 208.27   | 207.77    | HO. CO. STD. DTL. SD-4.22 |
| I-5  | "S" TYPE                      | *212.9     | ---      | 208.91    | HO. CO. STD. DTL. SD-4.22 |
| I-6  | "S" TYPE                      | *219.5     | 212.85   | 212.6     | HO. CO. STD. DTL. SD-4.22 |
| I-7  | "S" TYPE                      | *219.6     | 212.85   | 214.53    | HO. CO. STD. DTL. SD-4.22 |
| I-8  | "S" COMB.                     | 220.7      | ---      | 216.46    | HO. CO. STD. DTL. SD-4.32 |
| I-9  | "S" TYPE                      | *218.4     | ---      | 215.26    | HO. CO. STD. DTL. SD-4.22 |
| I-10 | "S" COMB.                     | 215.1      | 210.20   | 210.10    | HO. CO. STD. DTL. SD-4.32 |
| I-11 | "S" COMB.                     | 215.7      | ---      | 211.42    | HO. CO. STD. DTL. SD-4.32 |
| I-12 | "S" TYPE                      | *213.0     | 208.49   | 208.39    | HO. CO. STD. DTL. SD-4.22 |
| I-13 | "S" COMB.                     | 218.4      | 212.46   | 212.36    | HO. CO. STD. DTL. SD-4.32 |
| I-14 | "S" TYPE                      | *217.3     | 213.31   | 213.21    | HO. CO. STD. DTL. SD-4.22 |
| I-15 | YARD INLET                    | *219.0     | ---      | 215.46    | HO. CO. STD. DTL. SD-4.14 |
| E-1  | 30" METAL END SECTION         | ---        | 196.00   | ---       | HO. CO. STD. DTL. SD-5.61 |
| E-2  | 12" CONC. END SECTION         | ---        | 196.00   | ---       | HO. CO. STD. DTL. SD-5.61 |
| E-3  | 12" CONC. END SECTION         | ---        | 198.00   | ---       | HO. CO. STD. DTL. SD-5.61 |
| E-4  | 36" METAL END SECTION         | ---        | 196.02   | ---       | HO. CO. STD. DTL. SD-5.61 |
| S-1  | END SECTION CONTROL STRUCTURE | ---        | ---      | ---       | SEE DETAIL SHEET NO. 9    |

\* TOP OF GRATE



**APPROVED**  
DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT  
HOWARD COUNTY, MARYLAND  
DATE 11-2-88

BY THE DEVELOPER:  
"I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN 'AS-BUILT' PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."  
DEVELOPER: *[Signature]* DATE: 1/23/89

BY THE ENGINEER:  
"I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN 'AS-BUILT' PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."  
ENGINEER: *[Signature]* DATE: 1-23-89

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.  
*[Signature]* DATE: 2/3/89  
SOIL CONSERVATION SERVICE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
APPROVED: *[Signature]* DATE: 2/3/89  
HOWARD S.C.D.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT  
*[Signature]* DATE: 3-15-89  
COUNTY HEALTH OFFICER

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.  
*[Signature]* DATE: 3-31-89  
PLANNING DIRECTOR

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*[Signature]* DATE: 3-14-89  
DIRECTOR

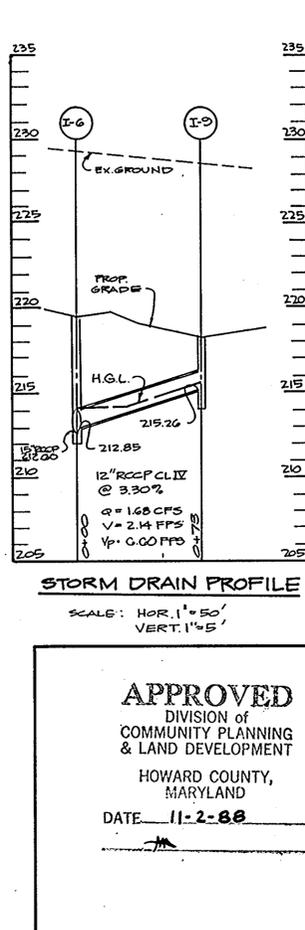
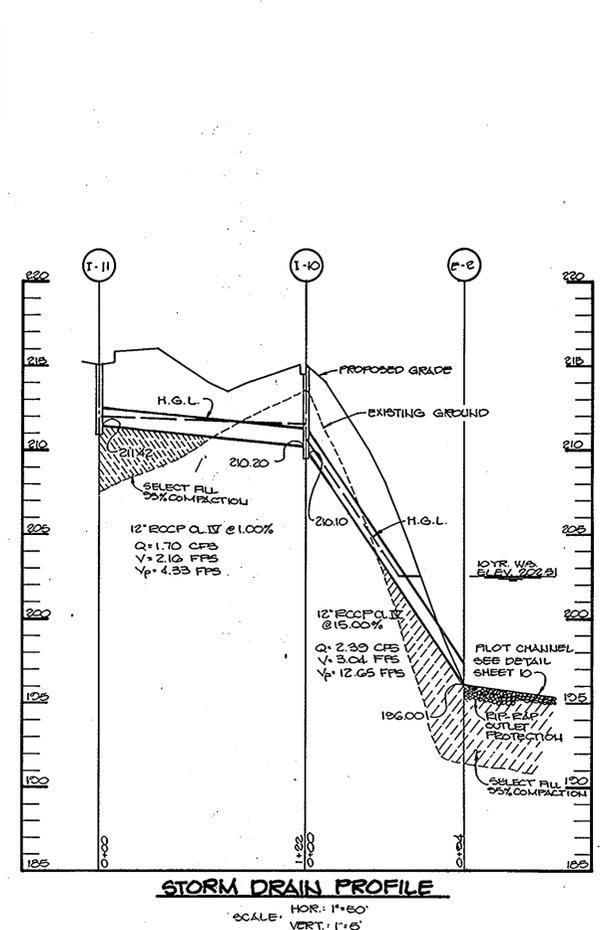
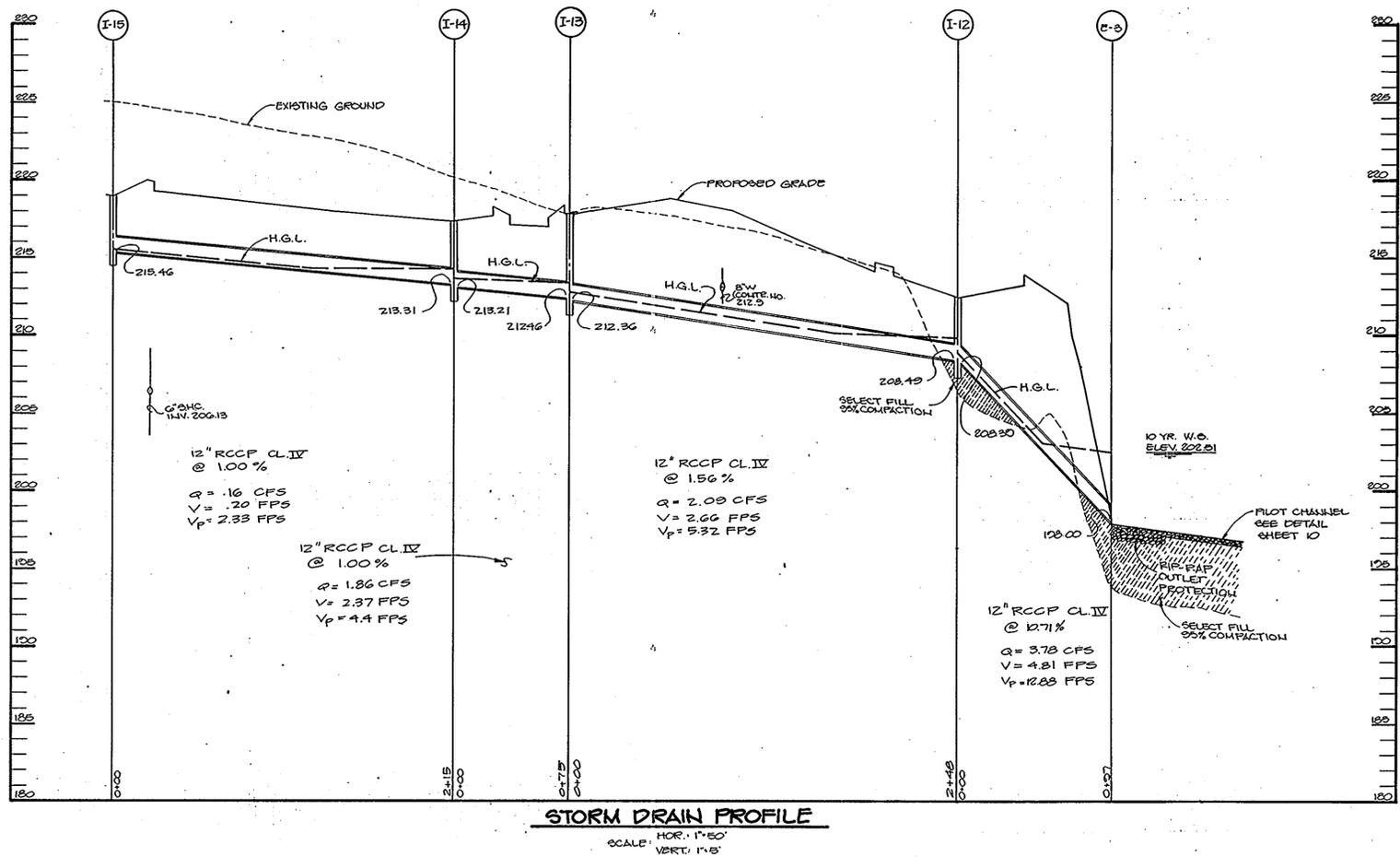
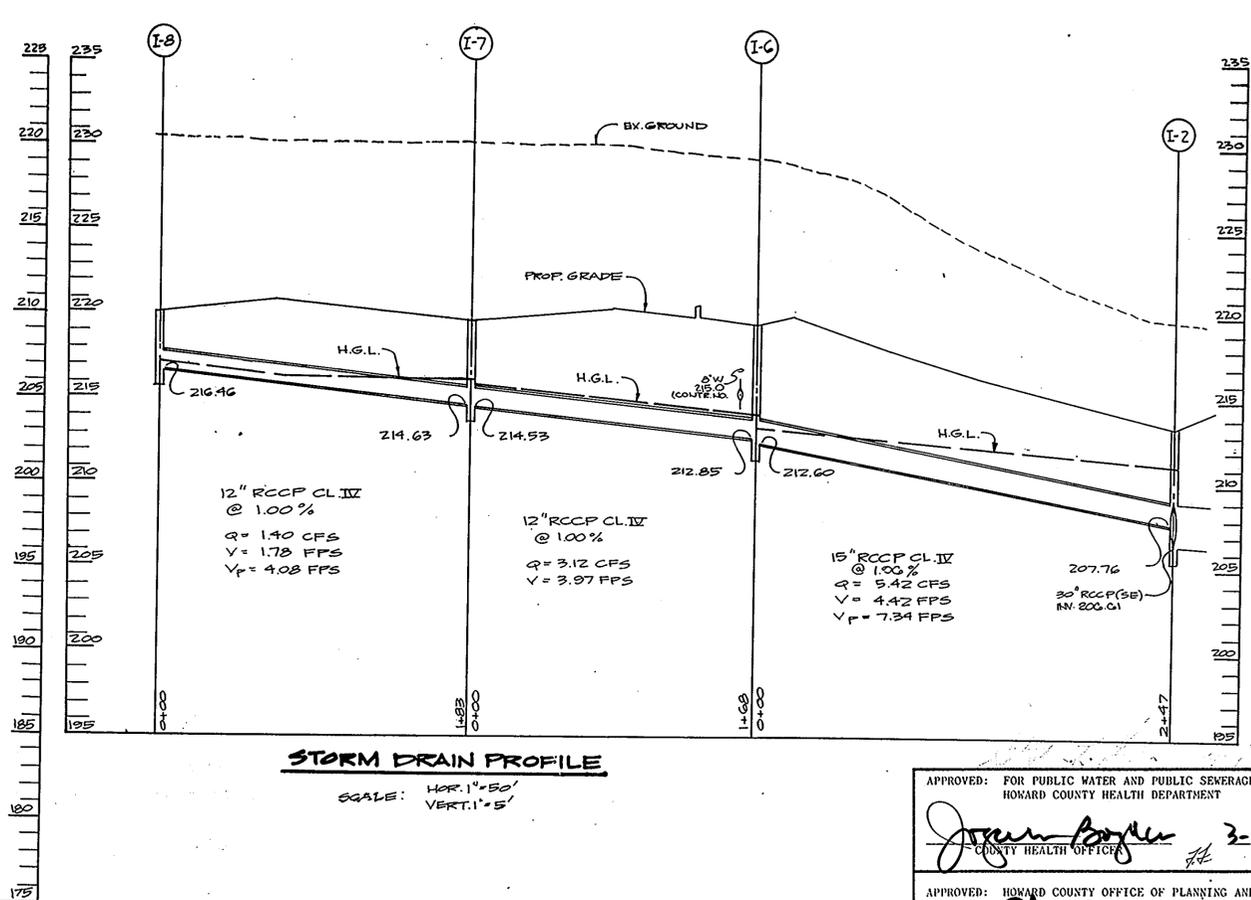
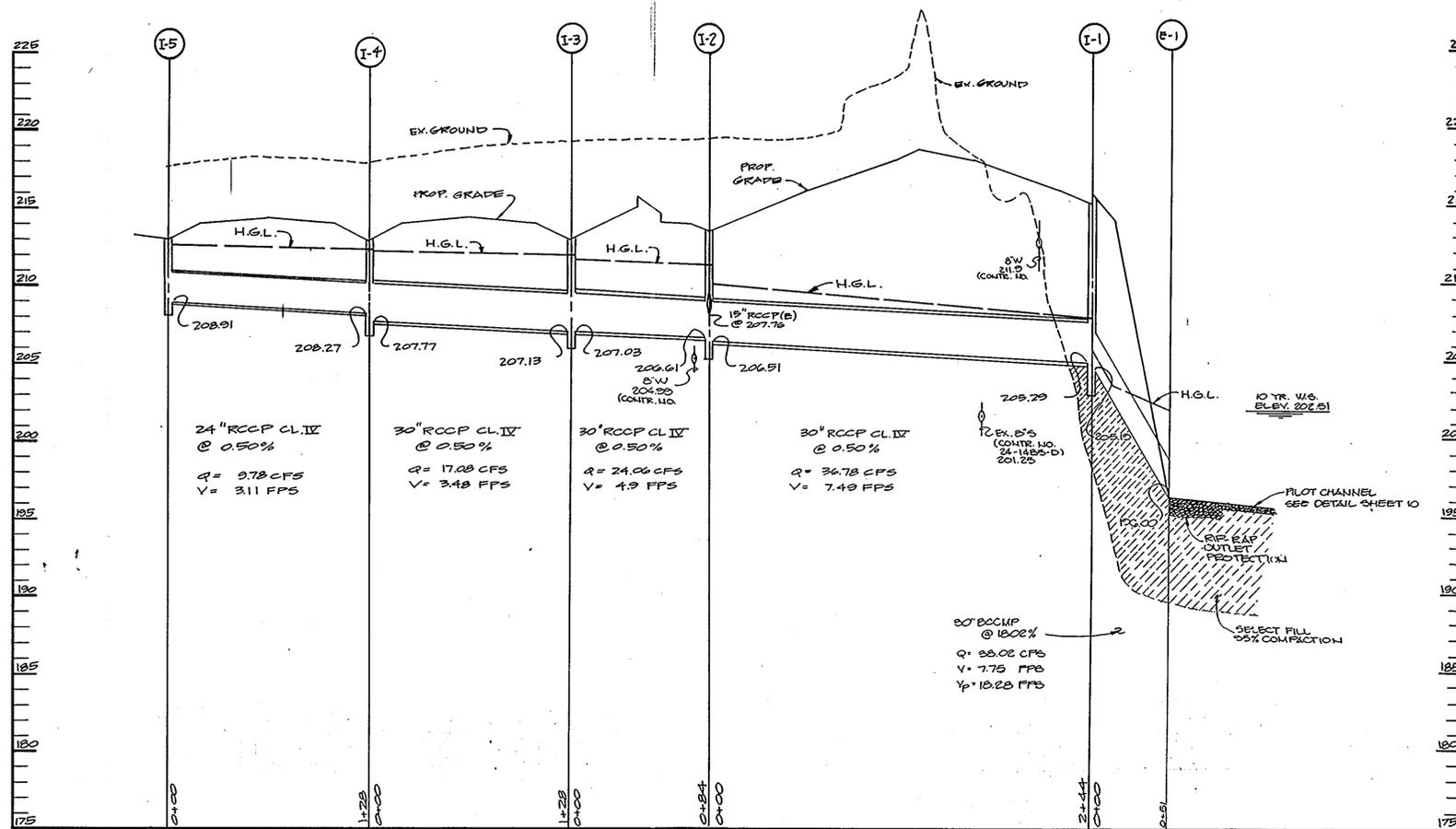
OWNER/DEVELOPER  
BEAUMONT PROPERTIES  
8811 EAST HAMPTON AVE.  
SUITE 200  
DENVER, COLORADO 80231

PROJECT  
**B.W.I.P. PARCEL B-2**  
WAREHOUSE/OFFICE BUILDING  
AREA TAX MAP NOS. 45 & 48 FLAT NO 7047  
BALTIMORE WASHINGTON INDUSTRIAL PARK, SECTION II PARCEL B-2  
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE  
**GRADING, SEDIMENT CONTROL AND DRAINAGE AREA MAP**

**THE RIEMER GROUP, INC.**  
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
3105 North Ridge Road, Ellicott City, Maryland 21043 (301) 461-2690

DATE: 1-23-89  
DESIGNED BY: W.C.W.  
DRAWN BY: W.C.W.  
PROJECT NO: 42401  
DATE: 6-10-88  
SCALE: 1"=30'  
DRAWING NO. 7 OF 13



APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,  
HOWARD COUNTY HEALTH DEPARTMENT

*James Boyler* 3-15-89  
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

*W.P.A.* 3-21-89  
PLANNING DIRECTOR DATE

*Mark V. Langley* 3-21-89  
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

*James P. Shaw* 3-14-89  
DIRECTOR DATE

*William S. Ryan* 3-14-89  
CHIEF, BUREAU OF ENGINEERING DATE

| DATE | NO. | REVISION |
|------|-----|----------|
|      |     |          |

OWNER/DEVELOPER  
DEALMONT PROPERTIES  
2011 EAST HAMPTON AVE.  
SUITE 200  
DENVER, COLORADO 80231

PROJECT:  
**B.W.I.P. PARCEL B-2**  
WAREHOUSE/OFFICE BUILDING

AREA TAX MAP NO. 43148 PLAT NO. 7047  
BALTIMORE WASHINGTON INDUSTRIAL PARK, SECTION II PARCEL B-2  
4TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE:  
STORM DRAIN PROFILES

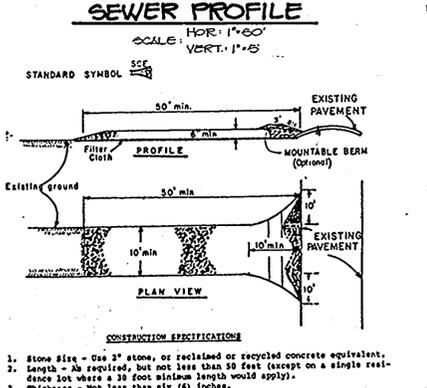
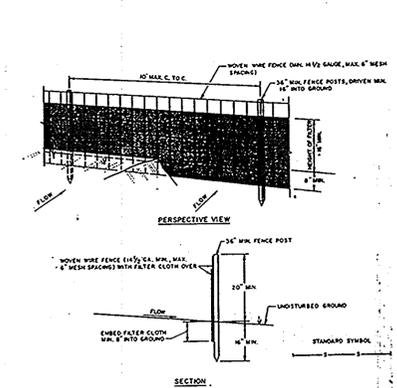
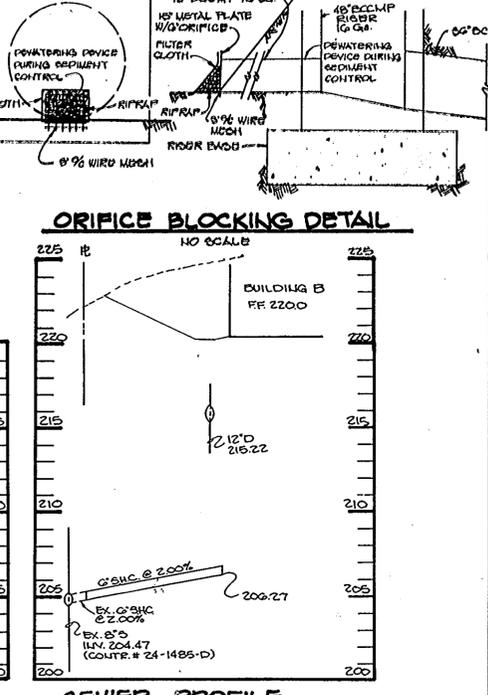
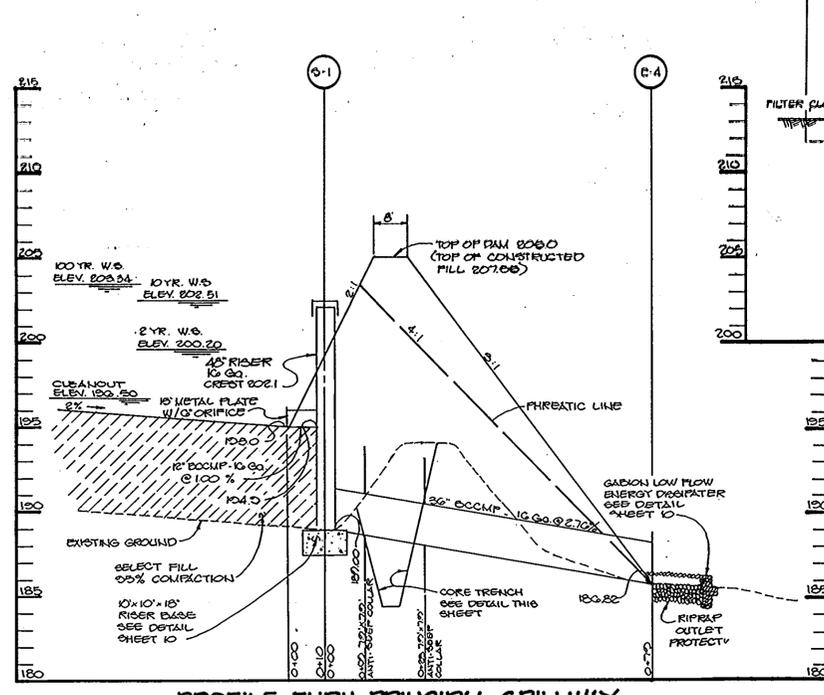
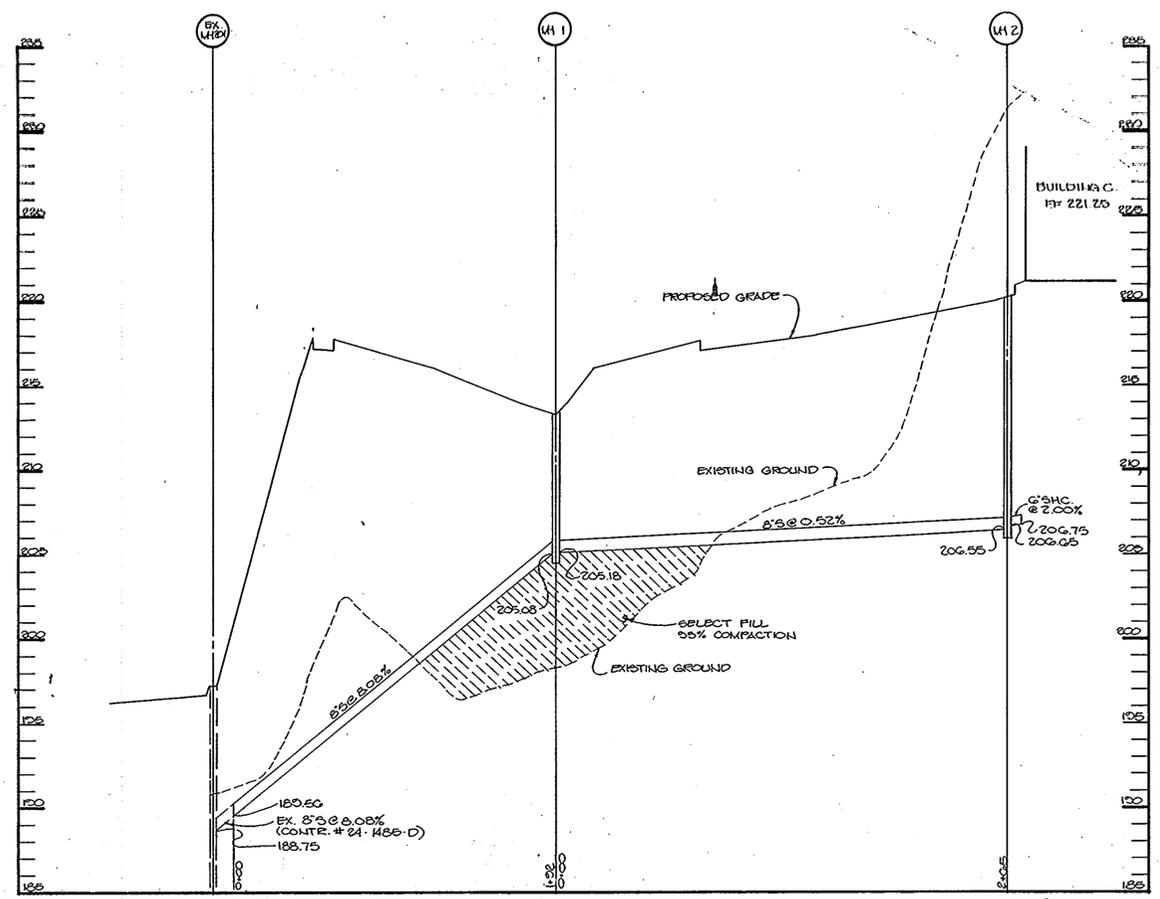
**THE RIEMER GROUP, INC.**  
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
3105 North Ridge Road, Ellicott City, Maryland 21043 (301) 461-2690

1-23-89  
DATE

DESIGNED BY: W.C.W.  
DRAWN BY: J.L.D.  
PROJECT NO: 49401  
DATE: 5-10-88  
SCALE: AS SHOWN  
DRAWING NO. 8 OF 18

APPROVED  
DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT  
HOWARD COUNTY, MARYLAND  
DATE: 11-2-88

ARTHUR E. MUESSE 98107  
PROFESSIONAL ENGINEER



**1. SITE PREPARATION**  
Areas under the borrow areas, embankment, and structural works shall be cleared, grubbed and the topsoil stripped to remove all trees, vegetation, roots or other objectionable material. Channel banks and sharp breaks shall be sloped to no steeper than 1:1.

Areas covered by the pond or reservoir will be cleared of all trees, brush, logs, fences, rubbish and other objectionable material unless otherwise designated on the plans. Trees, brush and stumps shall be cut approximately level with the ground surface.

All cleared and grubbed material shall be disposed of outside the limits of the dam and reservoir as directed by the owner or his representative. When specified, a sufficient quantity of topsoil will be stockpiled in a suitable location for use on the embankment and other designated areas.

**II. FORTN FILL**  
**Materials:**  
The fill material shall be taken from approved designated borrow area or areas. It shall be free of roots, stumps, wood, rubbish, over-size stones, frozen or other objectionable materials. The embankment shall be constructed to an elevation which provides for anticipated settlement to the design elevation. The fill height all along the length of the embankment shall be increased above the design elevation (including freeboard) as shown on the plans.

**Placement:**  
Areas on which fill is to be placed shall be scarified prior to placement of fill. Fill materials shall be placed in 8-inch maximum thickness (before compaction) layers which are to be continuous over the entire length of the fill. The most porous borrow material shall be placed in the downstream portions of the embankment.

**Compaction:**  
The movement of the hauling and spreading equipment over the fill shall be controlled so that the entire surface of each lift shall be traversed by not less than one tread track of the equipment or compaction shall be achieved by a minimum of four complete passes of a sheepsfoot, rubber tired or roller compactor. The fill material shall contain sufficient moisture such that the required degree of compaction can be obtained with the equipment used.

**Cutoff Trench:**  
Where specified, a cutoff trench shall be excavated along or parallel to the centerline of the embankment as shown on the plans. The bottom width of the trench shall be governed by the equipment used for excavation, with the minimum width being four feet. The depth shall be at least four feet or as shown on the plans. The side slopes of the trench shall be 1 to 1 or flatter. The backfill material for the cutoff trench shall be the most impervious material available and shall be compacted with equipment or rollers to assure maximum density and minimum permeability.

**CONCRETE**  
**Materials:**  
1. Cement - Normal Portland cement shall conform to the latest ASTM Specification C-150.  
2. Water - The water used in concrete shall be clean, free from oil, acid, alkali, scales, organic matter or other objectionable substances.  
3. Sand - The sand used in concrete shall be clean, hard, strong and durable, and free from clay or dirt. It shall be a one-quarter inch sieve. Limestone sand shall not be used.  
4. Course Aggregate - The coarse aggregate shall be clean, hard, well graded with a maximum size of one and one-half (1-1/2) inches.  
5. Reinforcing Steel - The reinforcing steel shall be deformed bars of intermediate grade billet steel or rail steel conforming to ASTM Specification A-615.

**Design Mix:**  
The concrete shall be mixed in batch mixers until the mixture is homogeneous and of uniform consistency. The mixing minutes after all the ingredients, except the full amount of water, are in the mixer. The minimum mixing time is predicated on proper control of the rate of reaction of the mixer and of the introduction of the material, including water, into the mixer. Water shall be excessive overloading requiring the additions of water to preserve the required concrete consistency shall not be permitted. Trick cause no violation of any applicable provisions of the specifications given here.

**Placing:**  
The concrete ingredients shall be mixed in batch mixers until the mixture is homogeneous and of uniform consistency. The mixing minutes after all the ingredients, except the full amount of water, are in the mixer. The minimum mixing time is predicated on proper control of the rate of reaction of the mixer and of the introduction of the material, including water, into the mixer. Water shall be excessive overloading requiring the additions of water to preserve the required concrete consistency shall not be permitted. Trick cause no violation of any applicable provisions of the specifications given here.

**Finishing:**  
The forms shall have sufficient strength and rigidity to hold the concrete and to withstand the necessary pressure, campling, and vibration without deflection from the prescribed lines. They shall be airtight and constructed so that they can be removed without hammering or prying against the concrete.

**Reinforcing Steel:**  
All reinforcing material shall be free of dirt, scale, oil, point or other coatings. The steel shall be accurately placed and securely tied and blocked into position so that no movement of the steel will occur during placement of concrete.

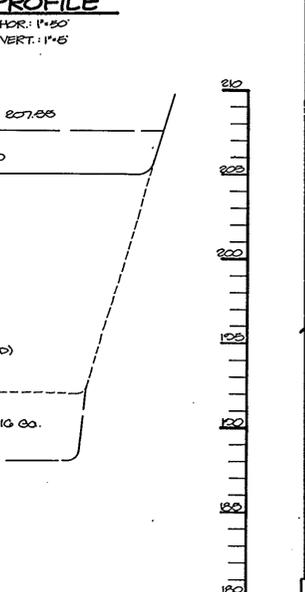
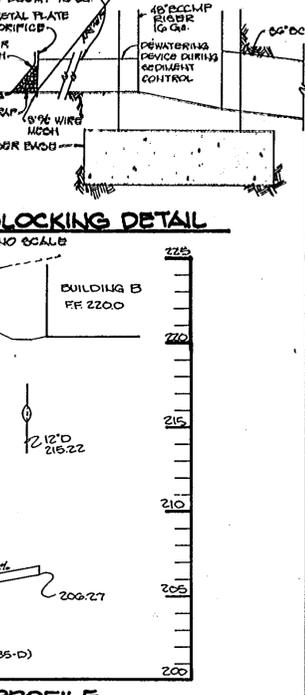
**Consolidation:**  
Concrete shall be consolidated with internal type mechanical vibrators. Vibration shall be supplemented by spading and hand tamping as necessary to insure smooth and dense concrete along form surfaces, in corners, and around embedded items.

**Finishing:**  
Defective concrete, honeycombed areas, voids left by the removal of tie rods, ridges on all concrete surfaces permanently exposed to view or exposed to water on the finished structure, shall be repaired immediately after the removal of forms. All voids shall be reamed and completely filled with dry-patching mortar.

**Protection and Curing:**  
Exposed surfaces of concrete shall be protected from the direct rays of the sun for at least three (3) days. All concrete shall be kept continuously moist for at least ten (10) days after being placed. Moisture may be applied by spraying or sprinkling as necessary to prevent the concrete from drying. Concrete shall not be exposed to freezing during the curing period. Curing compounds may also be used.

**Placement Temperature:**  
Concrete may not be placed at temperatures below 37° F with the temperature falling or 30° with the temperature rising.

**Stabilization:**  
All borrow areas shall be graded to provide proper drainage and left in a slightly condition. All exposed surfaces of the embankment, roadway, spoil and borrow areas, and berms shall be stabilized by seeding, fertilizing and mulching (if required) in accordance with the vegetative treatment specifications shown on accompanying drawings.



**CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**

- When wire fence is fastened securely to force posts with wire ties or staples.
- Filter cloth to be fastened securely to wooden wire fence with ties spaced evenly at top and mid section.
- When no sections of filter cloth join in each other they shall be overlapped by six inches and folded.
- Painting shall be performed as needed and material removed when "rugs" develop in the silt fence.

**ROST:** STEEL RIGID T OR U TYPE OR 2" WOOD

**FENCE:** WOODEN WIRE, 1/4" GA. 8" MAX. FEET SPACING

**FILTER CLOTH:** FILTER Y, PERFORATED STEEL, LINEN, 1/4" OR APPROVED EQUIV.

**PREPARED UNIT:** GEOTEX, GEOTRUFF, OR APPROVED EQUIV.

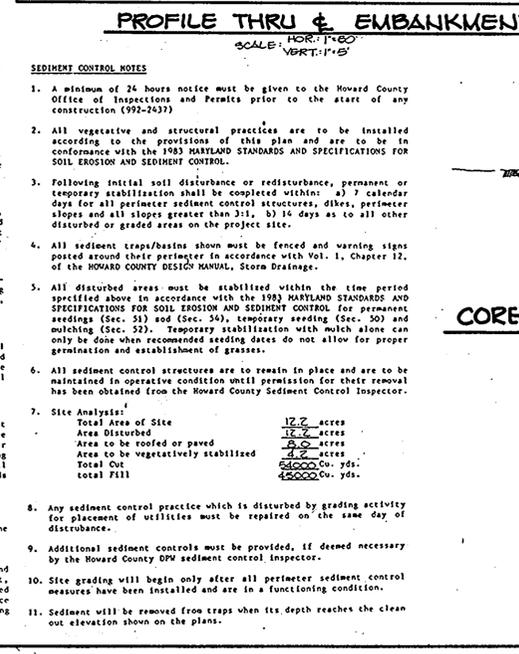
**TEMPORARY SEEDING NOTES**  
Apply to graded or cleared areas likely to be redistributed where a short-term vegetative cover is needed.  
**Seeded Preparation:** Loosen upper three inches of soil by raking, clipping or other acceptable means before seeding. Do not previously loosened.  
**Soil Amendments:** Apply 400 lbs. per acre 10-10-10 fertilizer (16 lbs./1000 sq.ft.). Where soil is highly acidic, apply dolomitic limestone at the rate of 1 ton per acre.  
**Seeding:** For periods March 1 thru April 30 and from August 15 thru November 15, seed with 140 lbs. per acre of annual rye (3.2 lbs./1000 sq.ft.). For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (.07 lbs./1000 sq.ft.). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.  
**Mulching:** Apply 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq.ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal. per acre (5 gal./1000 sq.ft.) of emulsified asphalt on flat areas. On slopes, 8 ft. or higher, use 348 gal. per acre (8 gal./1000 sq.ft.) for anchoring.  
Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. For rate and methods not covered.

**PERMANENT SEEDING NOTES**  
Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.  
**Seeded Preparation:** Loosen upper three inches of soil by raking, clipping or other acceptable means before seeding. Do not previously loosened.  
**Soil Amendments:** Apply 0-20-20 fertilizer at the rate of 600 lbs. per acre. Lavs or high maintenance areas will be dragged and leveled with a York rake. At the time of seeding, apply 400 lbs. of 30-0-0 urea-form fertilizer and 500 lbs. of 10-20-20 or equivalent fertilizer per acre.  
**Seeding:** For the periods March 1 thru April 30, and August 1 thru October 15, seed with 40 lbs. per acre (1 lb./1000 sq.ft.) of a mixture of certified "Merion" Kentucky bluegrass; common Kentucky bluegrass @ 40 lbs. per acre (1 lb./1000 sq.ft.) and red fescue, Perennial or diamond @ 20 lbs. per acre (0.5 lb./1000 sq.ft.) for the period May 1 thru July 31, seed with 40-20-20 as specified above and 2 lbs. per acre (0.05 lb./1000 sq.ft.) of weeping lovegrass. During the period of October 16 thru February 28, protect site by (Option 1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. (Option 2) Use sod. (Option 3) Seed with 40-40-20 mix specified above and mulch with 2 tons/acre well-anchored straw.  
**Mulching:** Apply 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq.ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal./1000 sq.ft.) of emulsified asphalt on flat areas. On slopes, 8 feet or higher, use 348 gallons per acre (8 gal./1000 sq.ft.) for anchoring.  
**Maintenance:** Inspect all seeded areas and make needed repairs, replacements and reseedings.

**III. STRUCTURAL BACKFILL**  
Backfill material shall be of the type and quality conforming to that specified for the adjoining fill material. The fill shall be placed in horizontal layers not to exceed four inches in thickness and compacted by hand tampers or other compaction equipment. The material needs to fill completely all spaces under and adjacent to the pipe. At no time during the backfilling operation shall driven equipment be allowed to operate closer than four feet, measured horizontally, to any part of a structure. Under no circumstances shall the contractor drive equipment over any part of a concrete structure or pipe unless there is a compacted fill of twenty-four inches or greater over the structure or pipe.

**CONCREATED METAL PIPE**  
**Materials:**  
(Steel Pipe)-This pipe and its appurtenances shall be galvanized and fully bituminous coated and shall conform to the requirements of ASTM Specification A-131 Type A with watertight coupling bands. Any bituminous coating damaged or otherwise removed shall be replaced with cold applied bituminous coating compound.  
**Connections:**  
All connections with pipes must be completely watertight. The drain pipe or barrel connection to the riser shall be welded all around when the pipe and riser are metal. Watertight coupling bands shall be used at all joints. Antiseep collars shall be connected to the pipe in such a manner as to be completely watertight.  
**Bedding:**  
The pipe shall be fairly and uniformly bedded throughout its entire length. Where rock or soft, spongy or other unstable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide adequate support.

**SEEDING NOTES**  
1. A minimum of 24 hours notice must be given to the Howard County Office of Inspections and Permits prior to the start of any construction (992-2437).  
2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.  
3. Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within:  
a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.  
4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.  
5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 51) and (Spec. 54), temporary seeding (Sec. 50) and mulching (Sec. 52). Temporary stabilization with mulch alone can only be done when recommended seeding rates do not allow for proper germination and establishment of grasses.  
6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.  
7. Site Analysis:  
Total Area of Site 12.2 acres  
Area to be roofed or paved 1.0 acres  
Area to be vegetatively stabilized 1.0 acres  
Total Out 4.000 Cu. yds.  
8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.  
9. Additional sediment control must be provided, if deemed necessary by the Howard County OPI sediment control inspector.  
10. Site grading will begin only after all perimeter sediment control measures have been installed and are in a functioning condition.  
11. Sediment will be removed from traps when its depth reaches the clean out elevation shown on the plans.



**APPROVED**  
DIVISION OF  
COMMUNITY PLANNING  
& LAND DEVELOPMENT  
HOWARD COUNTY,  
MARYLAND  
DATE 11-2-88

BY THE DEVELOPER:  
"I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT BEFORE BEGINNING THE PROJECT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN 'AS-BUILT' PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."  
DATE 1/23/89

BY THE ENGINEER:  
"I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN 'AS-BUILT' PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."  
DATE 1-23-89

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.  
DATE 2/13/89

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
DATE 2/2/89

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.  
DATE 2/2/89

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.  
DATE 3-15-89

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.  
DATE 2-31-89

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.  
DATE 3-14-89

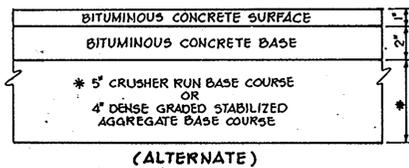
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
DATE 3-14-89

OWNER/DEVELOPER  
REVISION  
DATE NO. REVISION

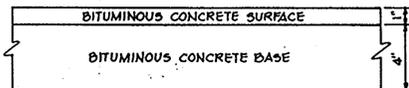
PROJECT:  
B.W.I.P. PARCEL B-2  
WAREHOUSE/OFFICE BUILDING  
AREA TAX MAP NOS. 4B & 4C PLAT NO. 7047  
BALTIMORE WASHINGTON INDUSTRIAL PARK, SECTION 11 PARCEL B-2  
CITH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE:  
SEWER PROFILES AND DETAILS

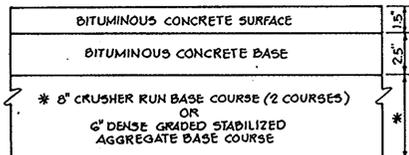
THE RIEMER GROUP, INC.  
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
3105 North Ridge Road, Ellicott City, Maryland 21043 (301) 461-2690  
DATE 1-23-89  
DESIGNED BY: W.C.W.  
DRAWN BY: M.A.D.  
PROJECT NO: 40401  
DATE: 5-10-88  
SCALE: AS SHOWN  
DRAWING NO. 2 OF 12



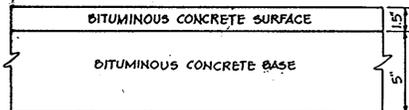
(ALTERNATE)



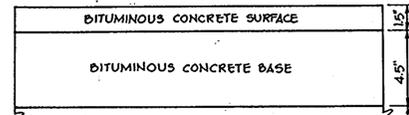
P-1 PAVING  
NO SCALE



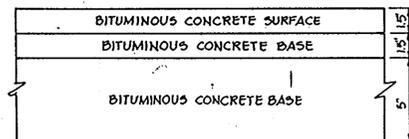
(ALTERNATE)



P-2 PAVING  
NO SCALE



(ALTERNATE)

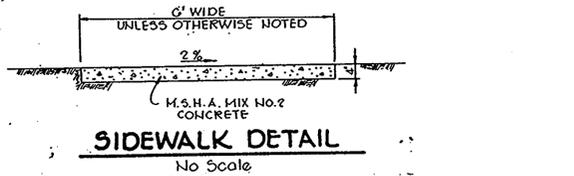


HOWARD COUNTY DESIGN MANUAL VOLUME IV - STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (DRAWING R-2.01)

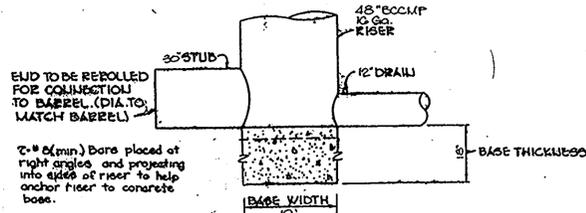
P-3 PAVING  
NO SCALE



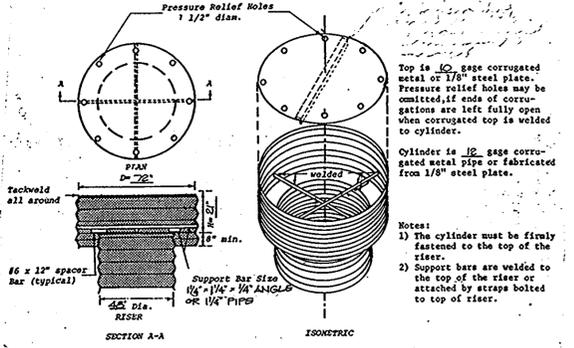
HANDICAP SIGN DETAIL  
NO SCALE



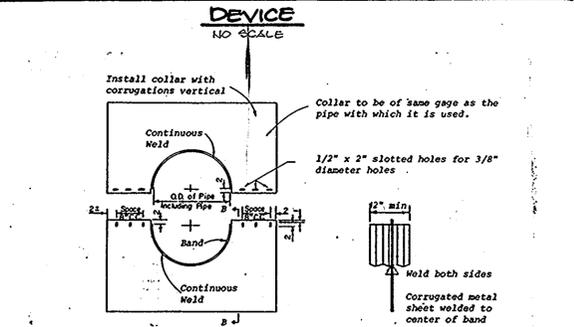
SIDEWALK DETAIL  
NO SCALE



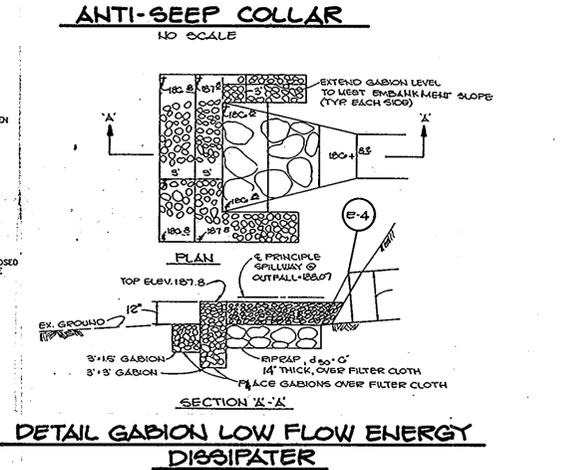
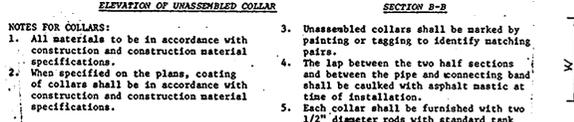
RISER BASE DETAIL  
NO SCALE



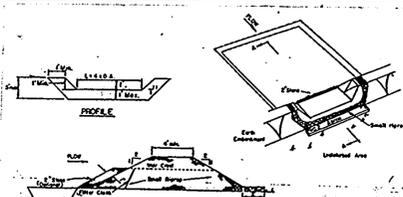
CONCENTRIC TRASH RACK AND ANTI-VORTEX DEVICE  
NO SCALE



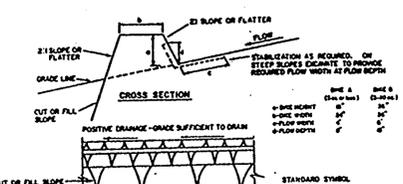
ANTI-SEEP COLLAR  
NO SCALE



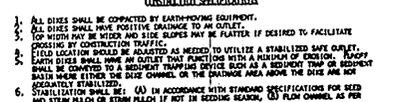
DETAIL GABION LOW FLOW ENERGY DISSIPATER  
NO SCALE



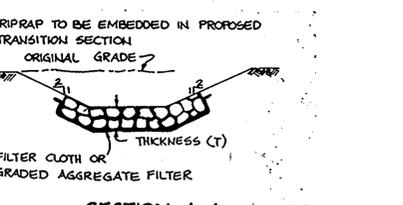
STONE OUTLET SEDIMENT TRAP  
NO SCALE



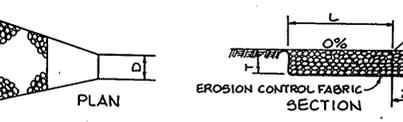
COUPLING BAND DETAILS  
NO SCALE



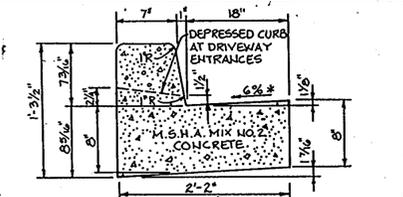
EARTH DIKE  
NO SCALE



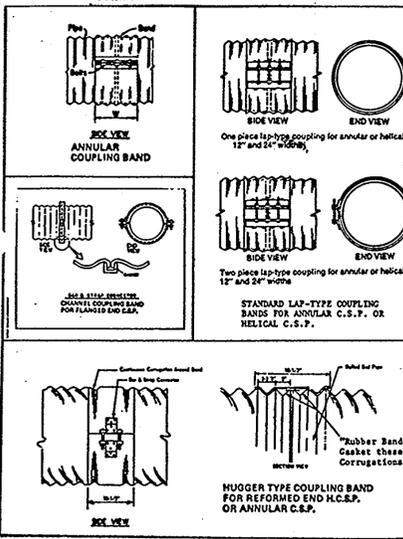
OUTLET PROTECTION DETAIL  
NO SCALE



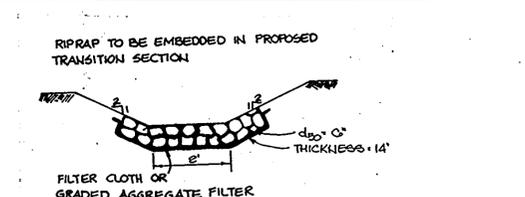
REVERSE 7" COMBINATION CURB AND GUTTER  
NO SCALE



STANDARD 7" COMBINATION CURB AND GUTTER  
NO SCALE



HANDICAP RAMP #3  
NO SCALE



PILOT CHANNEL CROSS SECTION  
NO SCALE



HANDICAP RAMP #5  
NO SCALE



HANDICAP RAMP #6  
NO SCALE



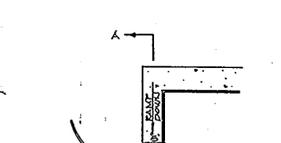
HANDICAP RAMP #7  
NO SCALE



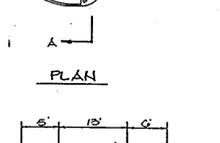
HANDICAP RAMP #8  
NO SCALE



HANDICAP RAMP #1  
NO SCALE



HANDICAP RAMP #2  
NO SCALE



HANDICAP RAMP #4  
NO SCALE

BY THE DEVELOPER:  
"I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN 'AS-BUILT' PLAN OF THE FOND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."  
DATE: 1/22/89  
DEVELOPER: [Signature]

BY THE ENGINEER:  
"I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN 'AS-BUILT' PLAN OF THE FOND WITHIN 30 DAYS OF COMPLETION."  
DATE: 1-23-89  
ENGINEER: [Signature]

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.  
DATE: 2/3/89  
[Signature]  
S.S. SOIL CONSERVATION SERVICE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
DATE: 2/18/89  
APPROVED: [Signature]  
HOWARD S.O.D.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT  
DATE: 3-15-89  
[Signature]  
COUNTY HEALTH OFFICER

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.  
DATE: 3-31-89  
[Signature]  
PLANNING DIRECTOR

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.  
DATE: 3/14/89  
[Signature]  
DIRECTOR

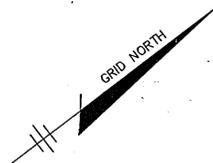
APPROVED: [Signature]  
DATE: 3-14-89  
CHIEF, BUREAU OF ENGINEERING

OWNER/DEVELOPER  
BEAUMONT PROPERTIES  
601 EAST HAMPTON AVE.  
SUITE 200  
DENVER, COLORADO 80201

PROJECT: B.W.I.P. PARCEL B-2  
WAREHOUSE/OFFICE BUILDING  
AREA TAX MAP NOS. 48 & 48  
DATE: 11-2-88  
DATE: 11-2-88  
HOWARD COUNTY, MARYLAND

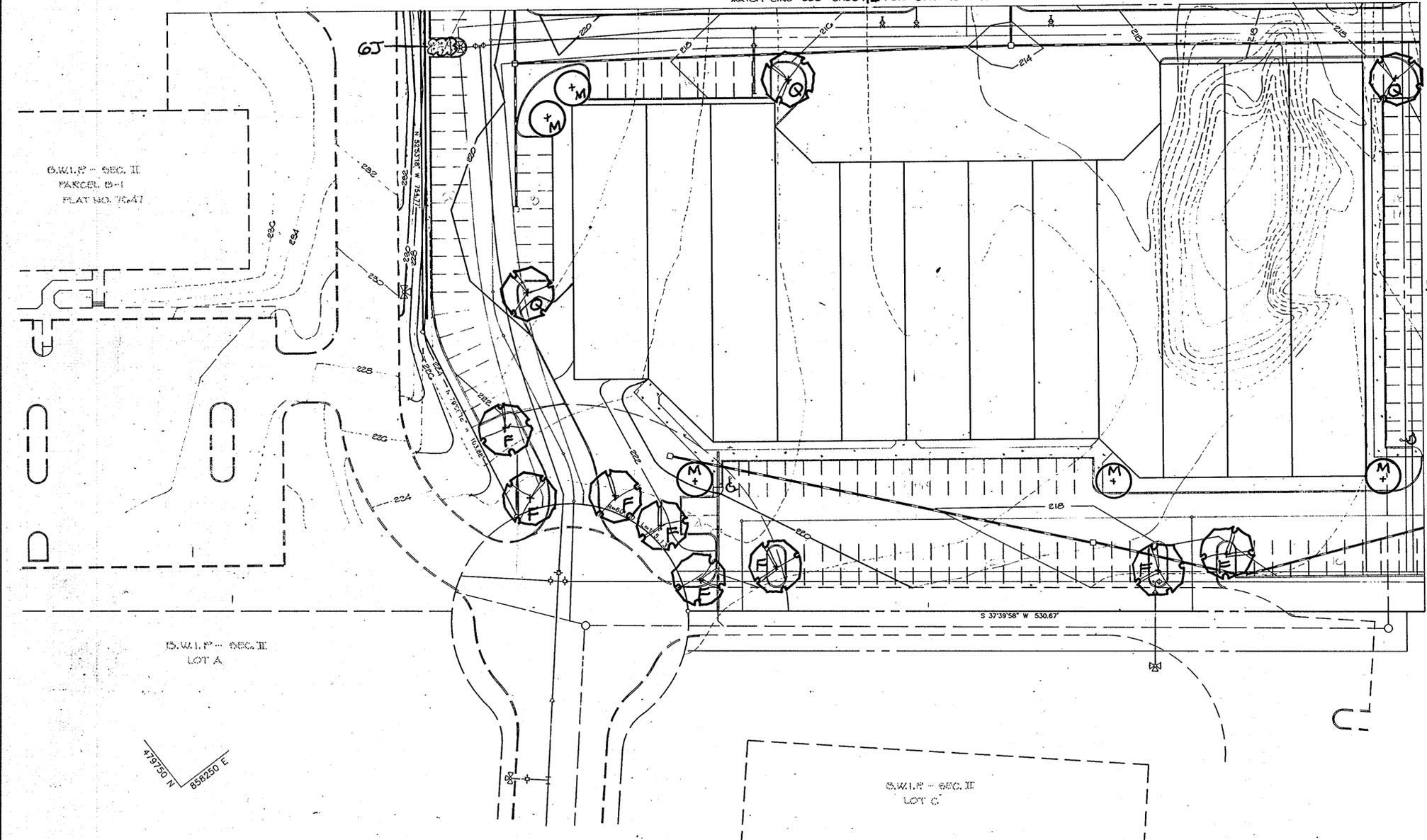
TITLE: DETAIL SHEET  
THE RIEMER GROUP, INC.  
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
3105 North Ridge Road, Ellicott City, Maryland 21043 (301) 461-2690

APPROVED  
DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT  
DATE: 11-2-88  
HOWARD COUNTY, MARYLAND  
DESIGNED BY: W.C.W.  
DRAWN BY: W.A.D.  
PROJECT NO: 40401  
DATE: 5-10-88  
SCALE: AS SHOWN  
DRAWING NO. 10 OF 10



480500 N  
808250 E

MATCH LINE - SEE SHEET 2 FOR CONTINUATION



480500 N  
808250 E

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,  
HOWARD COUNTY HEALTH DEPARTMENT

*Joyce Bogler* 3-15-89  
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

*W. R. ...* 2-21-89  
PLANNING DIRECTOR DATE

*David J. ...* 3-30-89  
CHIEF, DIVISION OF  
COMMUNITY PLANNING AND  
LAND DEVELOPMENT DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM  
DRAINAGE SYSTEMS AND PUBLIC ROADS.

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

*James ...* 3/14/89  
DIRECTOR DATE

*W. ...* 3-14-89  
CHIEF, BUREAU OF ENGINEERING DATE

| DATE | NO | REVISION |
|------|----|----------|
|      |    |          |

OWNER/DEVELOPER  
BEAUMONT PROPERTIES  
8811 E. HAMPTON AVE  
SUITE 200  
DENVER, COLORADO 80231

PROJECT:  
B.W.I.P. PARCEL B-2  
WAREHOUSE/OFFICE BUILDING.

AREA TAX MAP NOS 48 & 48 PLAT NO. 7047  
BALTIMORE WASHINGTON INDUSTRIAL PARK, SECTION II PARCEL B-2  
9TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE:  
**PLANTING PLAN**

**THE RIEMER GROUP, INC.**

The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
3105 North Ridge Road, Ellicott City, Maryland 21043 (301) 461-2690

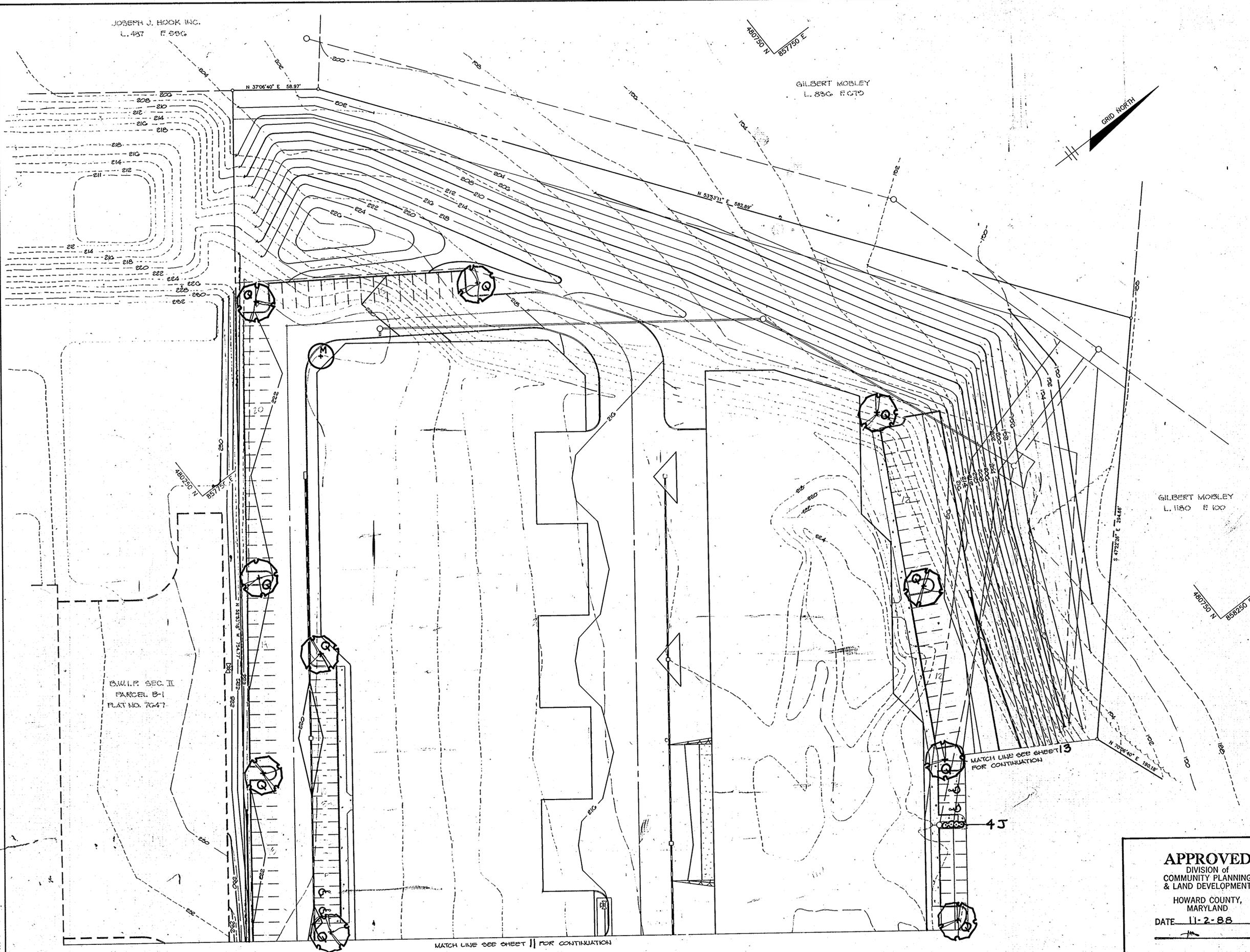
**APPROVED**  
DIVISION OF  
COMMUNITY PLANNING  
& LAND DEVELOPMENT.  
HOWARD COUNTY,  
MARYLAND.  
DATE 11-2-88

|                             |                         |
|-----------------------------|-------------------------|
|                             | DESIGNED BY: <b>LLB</b> |
|                             | DRAWN BY: <b>LLB</b>    |
|                             | PROJECT NO: 40401       |
|                             | DATE: <b>MAY, 1988</b>  |
|                             | SCALE: 1" = 30'         |
| DRAWING NO. <b>11 OF 13</b> |                         |

JOSEPH J. HOOK INC.  
L. 487 F. 500

GILBERT MOBLEY  
L. 880 F. 670

GRID NORTH



B.W.I.P. SEC. II  
PARCEL B-1  
PLAT NO. 7647

GILBERT MOBLEY  
L. 880 F. 600

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,  
HOWARD COUNTY HEALTH DEPARTMENT

*Jürgen Boyer* 3-15-89  
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

*W. H. ...* 3-31-89  
PLANNING DIRECTOR DATE

*Frank S. ...* 3-10-89  
CHIEF, DIVISION OF  
COMMUNITY PLANNING AND  
LAND DEVELOPMENT DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM  
DRAINAGE SYSTEMS AND PUBLIC ROADS.

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*David ...* 3/14/89  
DIRECTOR DATE

*William ...* 3-14-89  
CHIEF, BUREAU OF ENGINEERING DATE

| DATE | NO. | REVISION |
|------|-----|----------|
|      |     |          |

OWNER / DEVELOPER  
**DEAMONT PROPERTIES**  
8811 E. HAMPTON AVE  
SUITE 200  
DENVER, COLORADO 80231

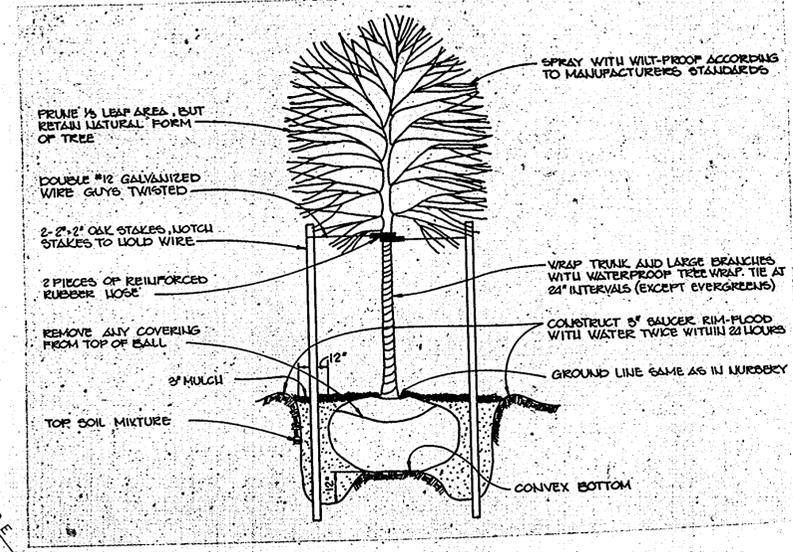
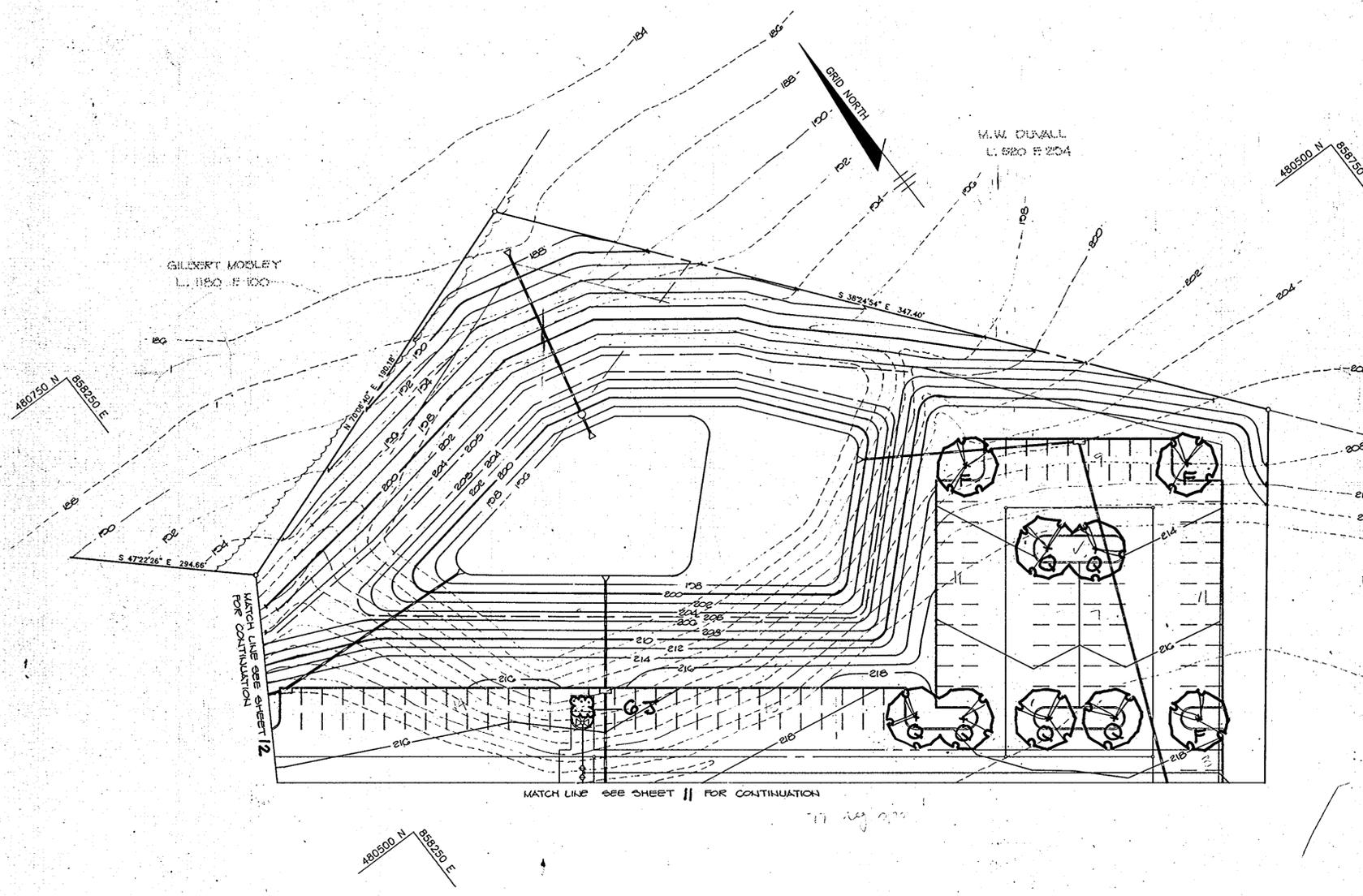
PROJECT  
**B.W.I.P. PARCEL B-2**  
**WAREHOUSE / OFFICE BUILDING**  
AREA TAX MAP NO. 43-145 PLAT NO. 7047  
BALTIMORE WASHINGTON INDUSTRIAL PARK, SECTION II PARCELS 6  
GTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE: **PLANTING PLAN**

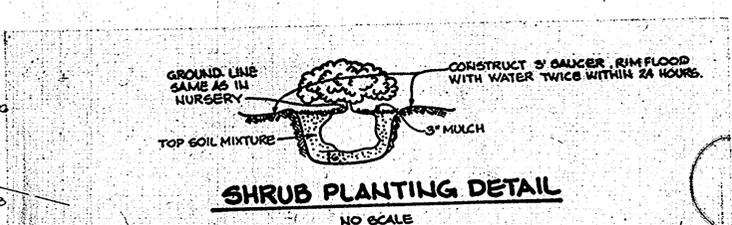
**THE RIEMER GROUP, INC.**  
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
3105 North Ridge Road, Ellicott City, Maryland 21043 (301) 461-2690

1-23-89  
DESIGNED BY **LLB**  
DRAWN BY **LLB**  
PROJECT NO. **49401**  
DATE: **MAY, 1988**  
SCALE: **1" = 30'**  
DRAWING NO. **12** OF **13**

**APPROVED**  
DIVISION OF  
COMMUNITY PLANNING  
& LAND DEVELOPMENT.  
HOWARD COUNTY,  
MARYLAND  
DATE **11-2-88**



**TREE PLANTING DETAIL**  
NO SCALE



**SHRUB PLANTING DETAIL**  
NO SCALE

PLANT LIST

| Qty. | Symbol | Name  | SIZE                      | Remarks |
|------|--------|---|---------------------------|---------|
| 11   | F      | Fraxinus P. 'Marshall's Seedless' - Marshall's Seedless Ash | 2 1/2" cal (13' - 15' ht) | B & B   |
| 24   | J      | Juniperus Sabina 'Tamariscifolia' - Tamarack Juniper        | 18 - 24" ht               | Cont.   |
| 6    | H      | Malus X Zumi 'Calocarpa' Zumi Crabapple                     | 2 1/2" cal                | B & B   |
| 20   | Q      | Quercus Rubra Red Oak                                       | 2 1/2" cal (13' - 15' ht) | B & B   |

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT  
*Joan Boyler* 3-15-89  
 COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.  
*W.R.A.* 3-31-88  
 PLANNING DIRECTOR DATE

*Frank J. Lang* 3-31-88  
 CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*James M. Lewis* 3-14-89  
 DIRECTOR DATE

*William S. Ryan* 3-14-89  
 CHIEF, BUREAU OF ENGINEERING DATE

| DATE | NO | REVISION |
|------|----|----------|
|      |    |          |

OWNER/DEVELOPER  
**BEAUMONT PROPERTIES**  
 8811 E. HAMPTON AVE.  
 SUITE 200  
 DENVER, COLORADO 80231

PROJECT  
**B.W.I.P. PARCEL B-2**  
**WAREHOUSE/OFFICE BUILDING**

AREA TAX MAP NOS. 45 & 48 PLAT NO. 7047  
 BALTIMORE WASHINGTON INDUSTRIAL PARK, SECTION II PARCEL B-2  
 2TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE  
**PLANTING PLAN/DETAILS**

**APPROVED**  
 DIVISION OF  
 COMMUNITY PLANNING  
 & LAND DEVELOPMENT  
 HOWARD COUNTY,  
 MARYLAND  
 DATE: 11-2-88

**THE RIEMER GROUP, INC.**  
 The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
 3105 North Ridge Road, Ellicott City, Maryland 21043 (301) 461-2690

DESIGNED BY: LLB  
 DRAWN BY: LLB  
 PROJECT NO: 42401  
 DATE: MAY, 1988  
 SCALE: 1" = 30'  
 DRAWING NO: 13 OF 13