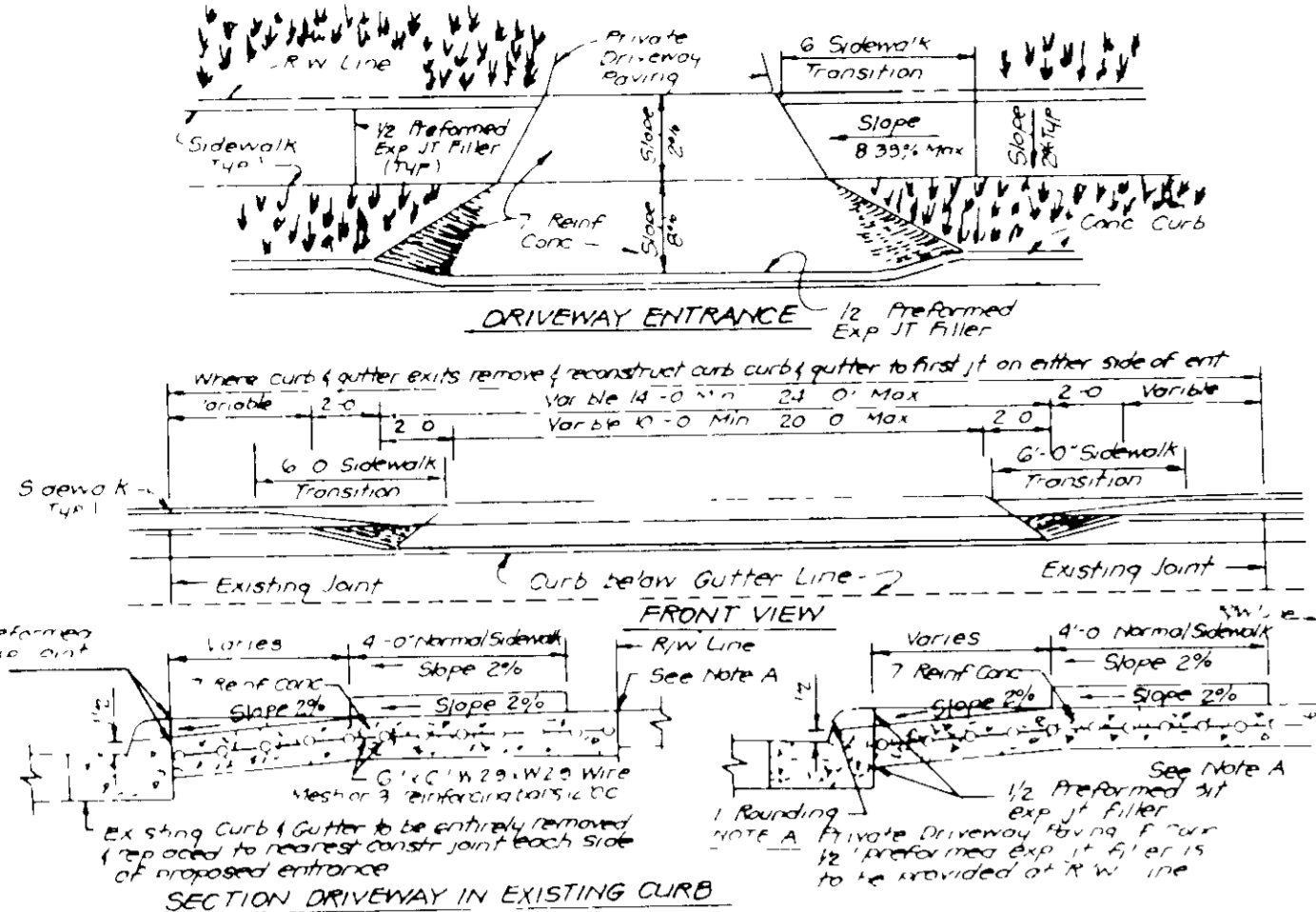
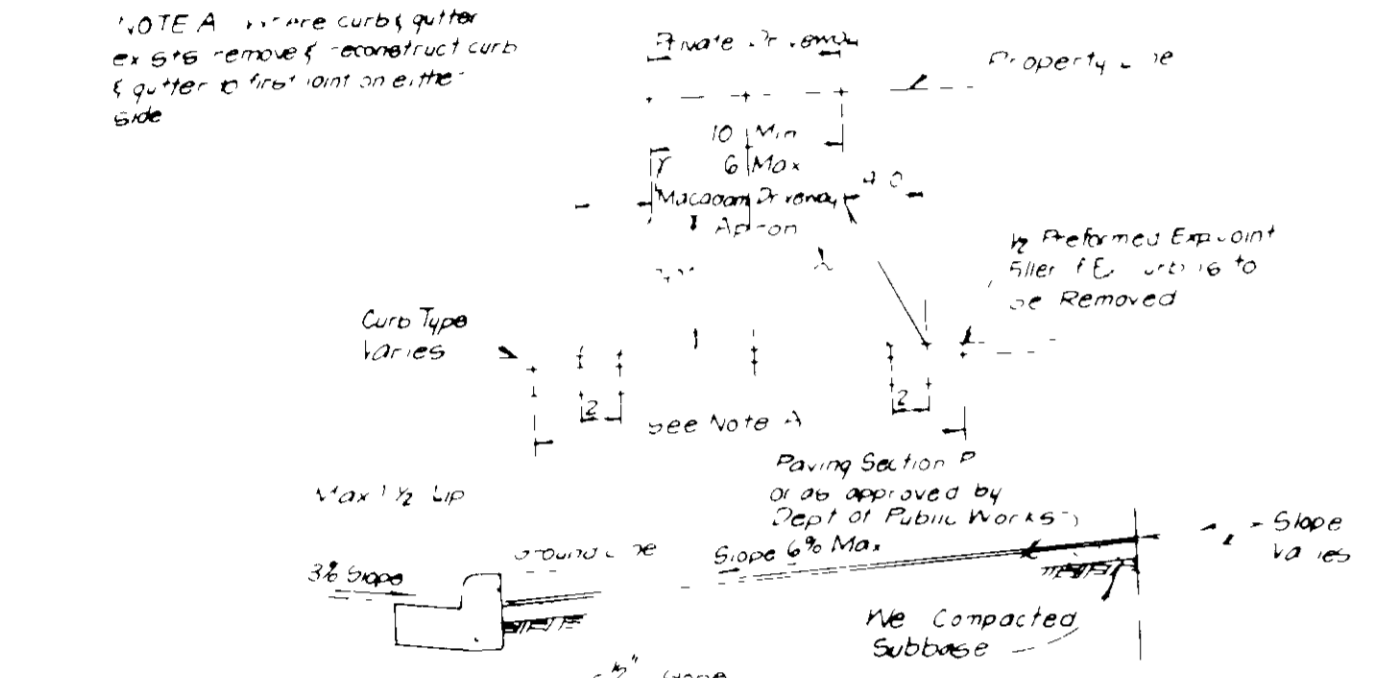


**GENERAL NOTES:**

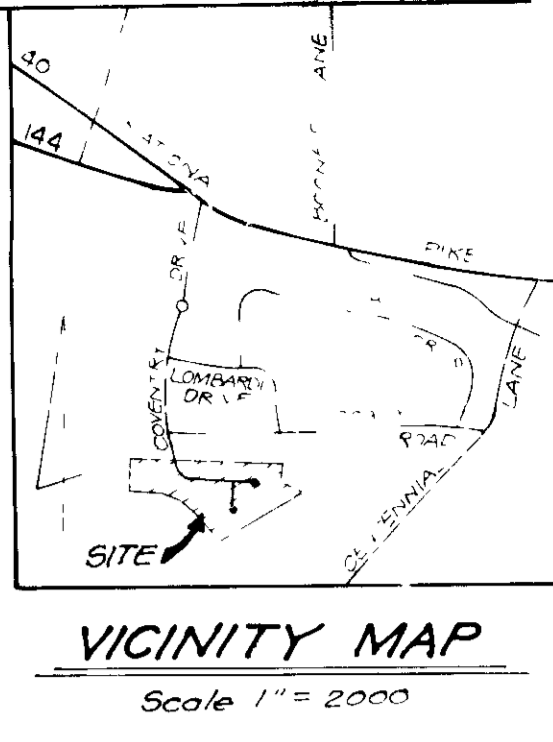
- 1 The land included is zoned R-20
- 2 All coordinates are based on the Maryland State Grid System
- 3 The area covered is located on Tax Map No 24, P 130
- 4 All roadways are public and existing
- 5 Total area is 8.518 Acres
- 6 Total number of lots 24
- 7 Any damage to county owned right-of-way shall be corrected at developer's expense
- 8 The contractor or developer shall contact the Construction Inspection/Survey Division, 24 hours in advance of commencement of work at 792-7272
- 9 Reference file nos F 88-72, S 85-30, P-86 03
- 10 SWM for this plan provided on the Parkway SWM Area F 86 73



**DRIVEWAY ABUTTING CLOSED SECTION WITH STD 7" COMB CURB & GUTTER & SIDEWALK SET BACK FROM CURB**



**DRIVEWAY ABUTTING CLOSED SECTION WITHOUT CONCRETE SIDEWALK**



**LEGEND**

- Contour Interval 2 FT
- Existing Contour ---
- Proposed Contour - - - -
- Spot Elevation +10.5
- Direction of Drainage (arrow)
- Walk out Basement (dashed line)
- Trees to be Saved (cloud symbol)
- Existing Trees (cloud symbol)

STREET ADDRESS	
LOT NO	STREET ADDRESS
85	3501 COVENTRY COURT DR. VE.
86	3505 " "
87	3509 " "
88	3513 " "
89	3517 " "
90	3521 " "
91	3525 " "
92	3529 " "
93	3533 " "
94	3537 " "
95	3541 " "
96	3545 " "
97	3549 LAME AVE. R. COURT
98	3553 " "
99	3557 " "
100	3561 " "
101	3565 " "
102	3569 " "
103	3573 " "
104	3577 " "
105	3581 " "
106	3585 " "
107	3589 COVENTRY COURT DRIVE
108	3593 " "

**REVISION**

- 1 LOTS 90, 95, 98, 103 AND 104 REVISED PER APPROVED RESITES BY MILDENBERG, MOCHI + ASSOCIATES, INC 3/7/91 (11/91)
- 2 LOTS 92, 96, 97, 99 AND 105 REVISED PER APPROVED RESITES BY MILDENBERG, MOCHI + ASSOCIATES, INC 5/13/91
- 3 LOTS 100, 102 AND 104 REVISED PER APPROVED RED LINES BY MILDENBERG, MOCHI + ASSOCIATES, INC 7/22/91
- 4 LOT 102 REVISED PER APPROVED RESITE 11/22/91



NOTE: Plan reflects As Built topog dated Feb., '88

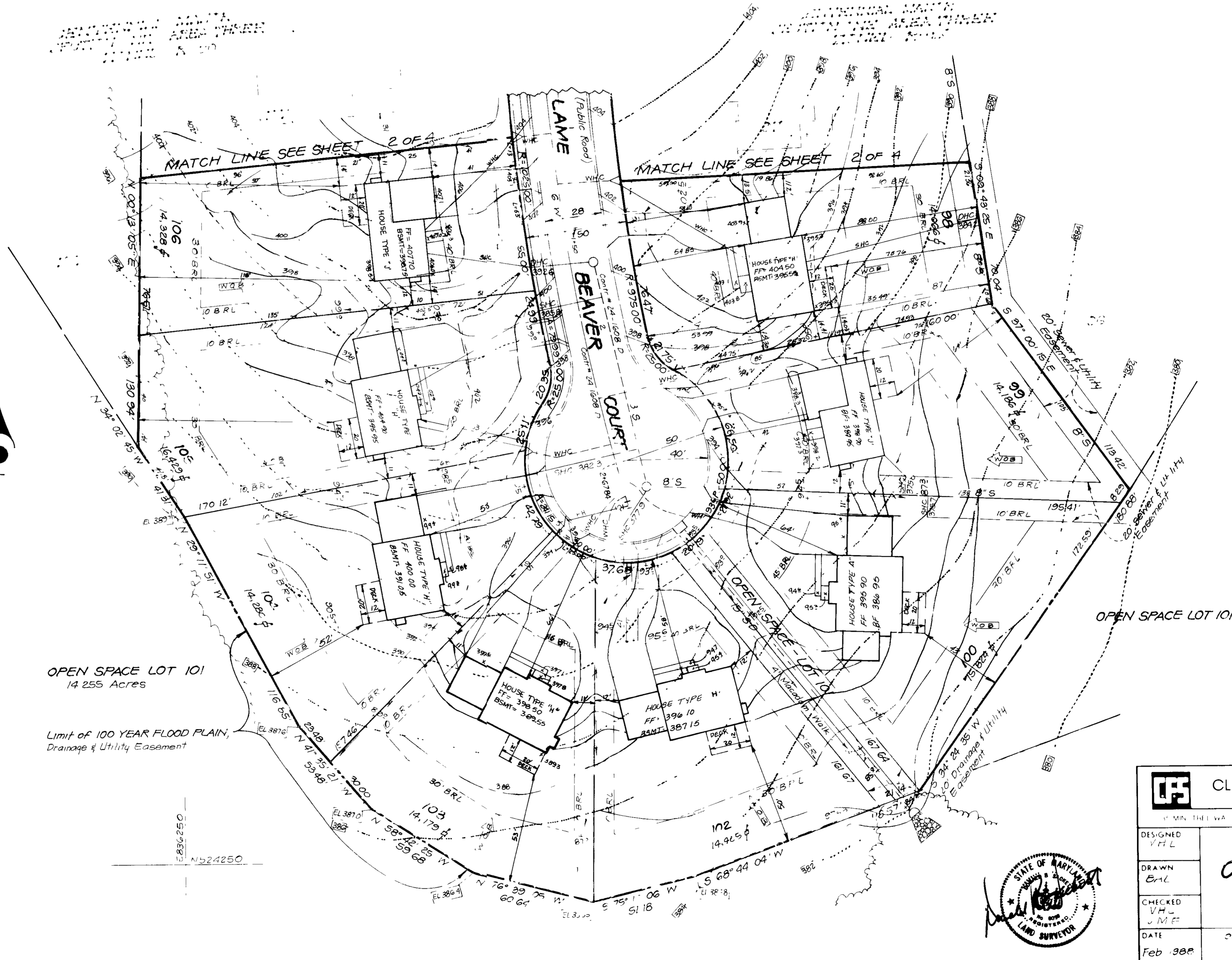
Subdivision Name	Centennial Manor	Res. Area	1.3	Acres	85-100, 102-108
Plot No	7672-7675	Block No	7	Zone	R-20
Tax Code	24	Use Map	24	Exc	24
Water Code	u-16	Sewer Code	782-100	Exc	782-100

5-11-88

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT  
DATE: 6-3-88

APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING  
DATE: 6-3-88

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS AND PUBLIC ROADS  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
DATE: 5-31-88



**CLARK • FINEFROCK & SACKETT INC**  
ENGINEERS • PLANNERS • SURVEYORS

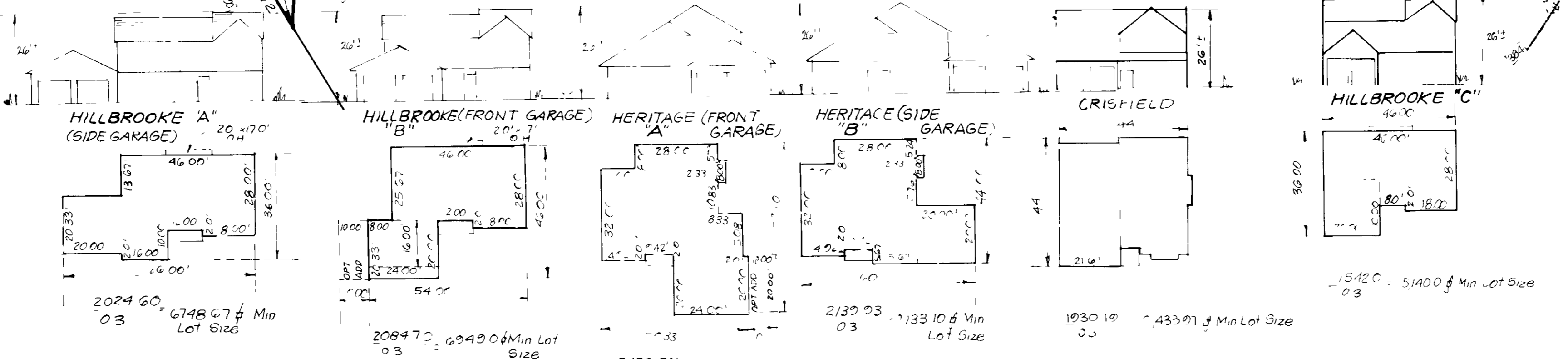
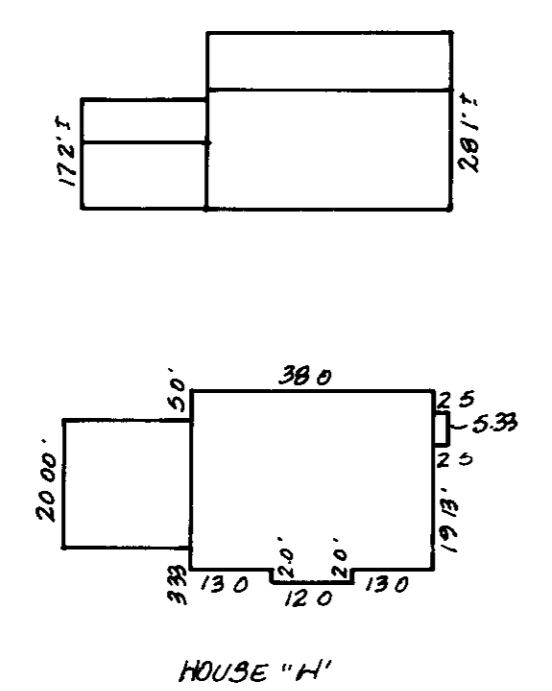
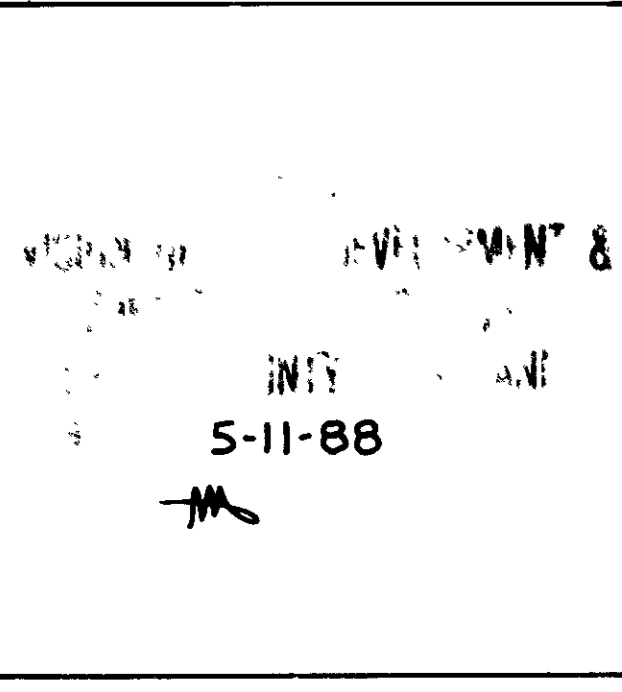
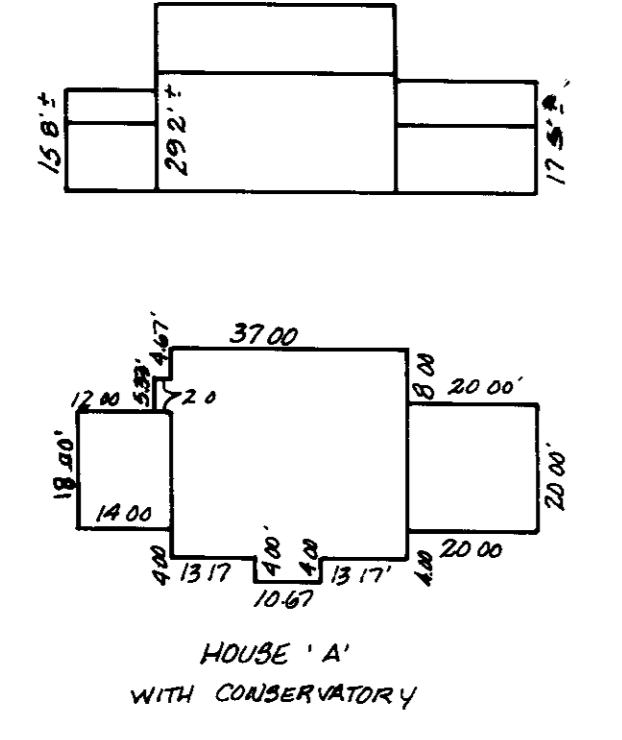
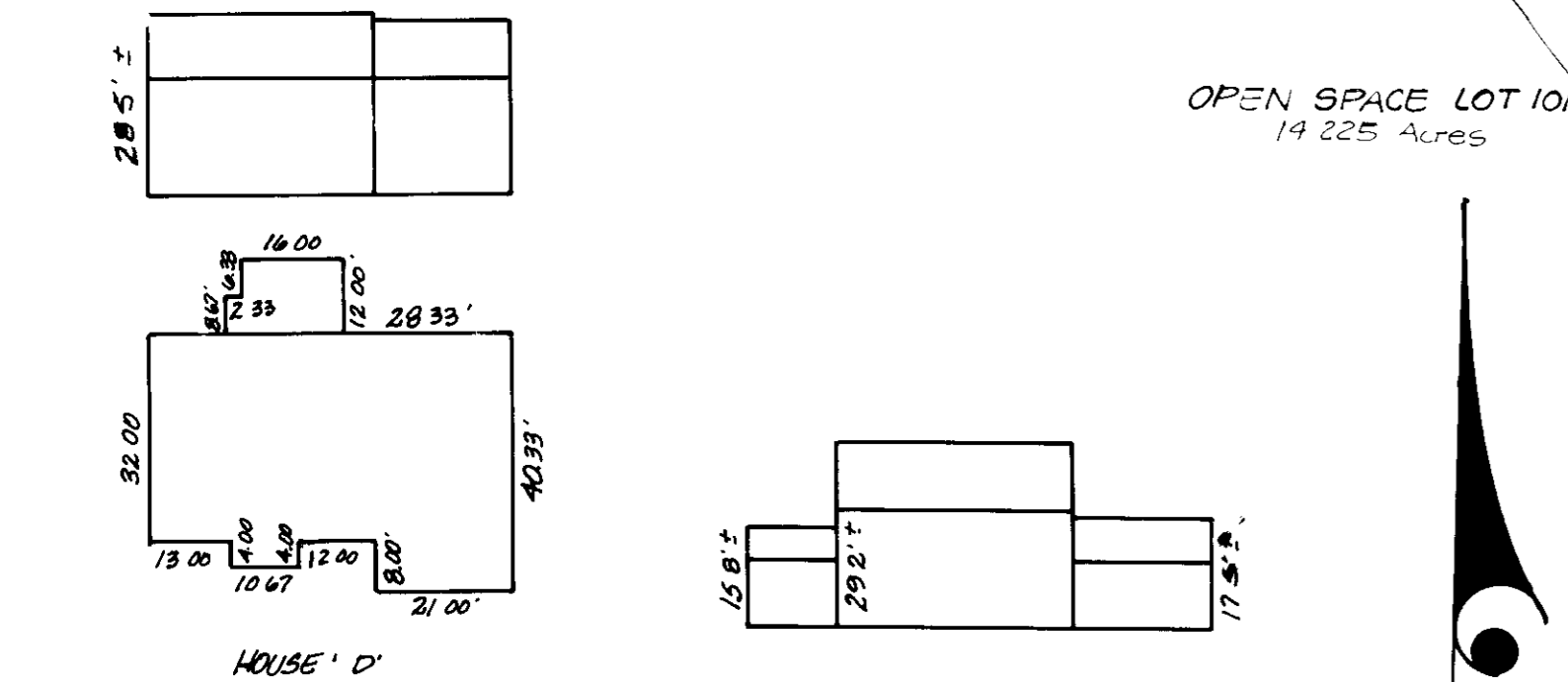
DESIGNED BY: J.E.L.  
DRAWN BY: E.H.L.  
CHECKED BY: J.M.F.  
DATE: Feb 1988

**SITE DEVELOPMENT PLAN**  
LOTS 85 thru 100 and 102 thru 108  
**CENTENNIAL MANOR**  
SECTION ONE AREA THREE  
2ND ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

OR J.D. EVANS INC  
5324 Lightfoot Court  
Columbia, MD 21044



Lot	Total Area	Area of 25% Slope or Greater	Total Buildable Area
92	20,000 sq	5,157 sq	4,843 sq
91	4,800 sq	800 sq	4,000 sq



**TYPICAL HOUSES**

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT  
 COUNTY HEALTH OFFICER: *[Signature]* DATE: 6-3-88

APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING  
 PLANNING DIRECTOR: *[Signature]* DATE: 6/3/88

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE  
 STORM DRAINAGE SYSTEMS AND PUBLIC ROADS  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIRECTOR: *[Signature]* DATE: 5-31-88

NOTE Plan reflects "As Built" topo data Feb, 1988

3 REVISE HOUSE TYPE LOT 97 - MILDORFER MOON ASSOC. INC. 11/3/88  
 2 REVISE LOTS 92, 93, 94 & 95 HOUSE RES. INC. 5/18/87  
 1 HOUSE RES. ON LOTS 90 AND 95 CHANGE GRADING 3/2/87

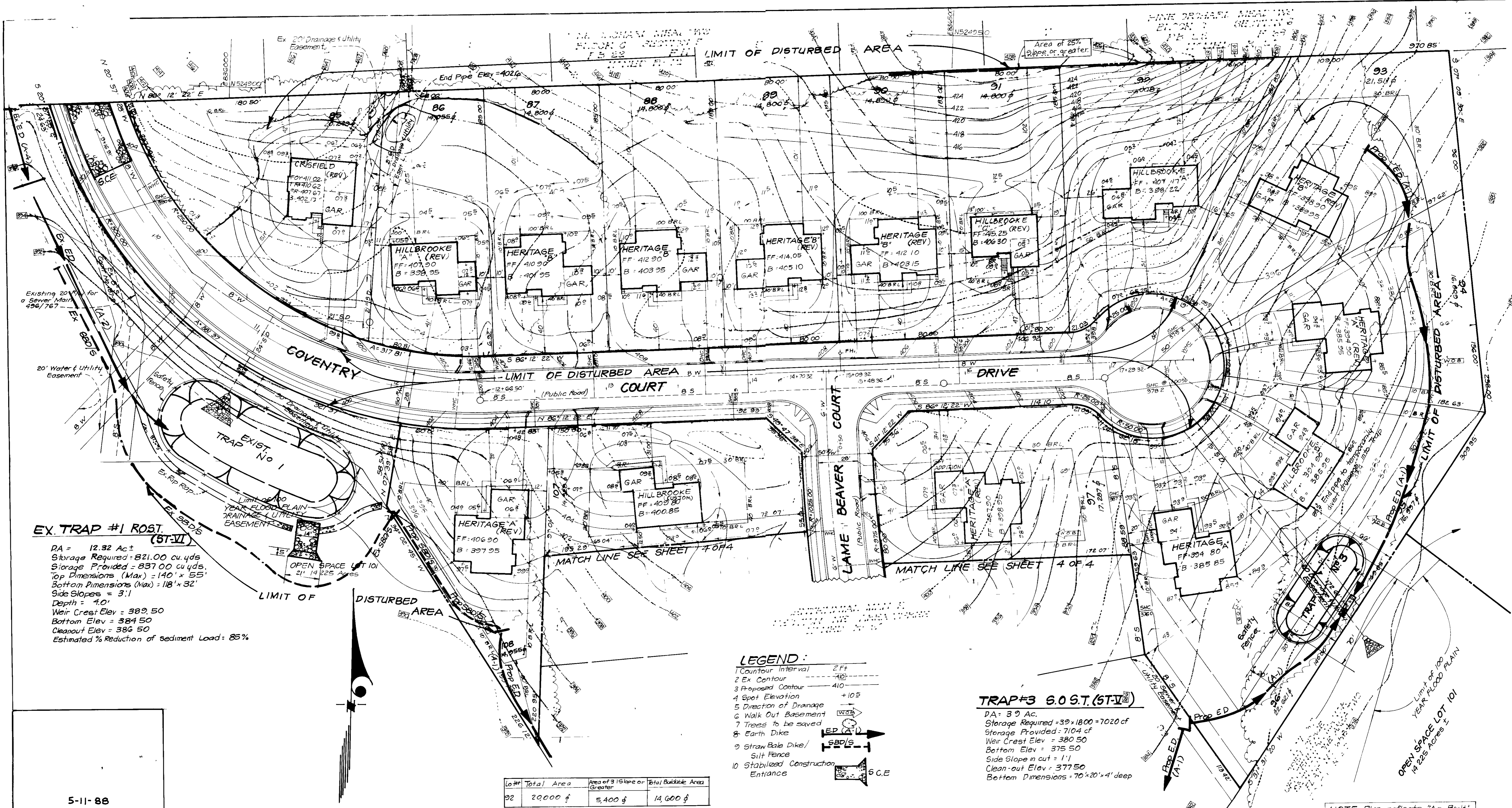
**CLARK • FINEFROCK & SACKETT, INC**  
 ENGINEERS • PLANNERS • SURVEYORS

DESIGNED: VHL  
 DRAWN: BAL  
 CHECKED: JME  
 DATE: Feb 1988

**SITE DEVELOPMENT PLAN**  
 LOTS 85 thru 100 and 102 thru 108  
**CENTENNIAL MANOR**  
 SECTION ONE AREA THREE  
 2ND ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

FOR: J.D. EVANS, INC.  
 5391 Light House Court  
 Columbia, Md 21044

SCALE: 1" = 30'  
 DRAWING: 2 of 4  
 JOB NO: 88-001  
 FILE NO: 88-001X



**EX. TRAP #1 ROST. (ST-VI)**  
 DA = 12.32 Ac ±  
 Storage Required = 821,00 cu. yds  
 Storage Provided = 837,00 cu. yds  
 Top Dimensions (Max) = 140' x 55'  
 Bottom Dimensions (Max) = 118' x 32'  
 Side Slopes = 3:1  
 Depth = 4.0'  
 Weir Crest Elev = 389.50  
 Bottom Elev = 384.50  
 Cleanout Elev = 386.50  
 Estimated % Reduction of sediment Load = 85%

**TRAP#3 6.0 S.T. (ST-VI)**  
 DA = 3.9 Ac.  
 Storage Required = 39 x 1800 = 7020 cf  
 Storage Provided = 7104 cf  
 Weir Crest Elev = 380.50  
 Bottom Elev = 375.50  
 Side Slope in cut = 1:1  
 Clean-out Elev = 377.50  
 Bottom Dimensions = 70' x 20' x 4' deep

Lot #	Total Area	Area of 3:1 Slope or Greater	Total Buildable Area
92	20,000 sq	5,400 sq	14,600 sq

- LEGEND:**
- 1 Contour Interval 2 Ft
  - 2 Ex Contour 40'
  - 3 Proposed Contour 410'
  - 4 Spot Elevation +10.5'
  - 5 Direction of Drainage
  - 6 Walk Out Basement
  - 7 Trees to be saved
  - 8 Earth Dike
  - 9 Straw Bale Dike / Silt Fence
  - 10 Stabilized Construction Entrance

5-11-88

Reviewed for HOWARD S.C.D.  
 Name: [Signature]  
 Signature: [Signature]  
 U.S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

**DEVELOPER'S/BUILDER'S CERTIFICATE**

"I/We certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Dept of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the work. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as it is deemed necessary."

[Signature] 4/11/88  
 Signature of Developer/Builder Date

**ENGINEER'S CERTIFICATE**

"I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

[Signature] 4-7-88  
 G Nelson Clark Date



**CLARK • FINEFROCK & SACKETT, INC**  
 ENGINEERS • PLANNERS • SURVEYORS

7135 MINSTREL WAY • COLUMBIA MD 21045 • (301) 381-5000 • BALTO • (410) 411-8100 • WASH

DESIGNED BY H.L. SCALE 1"=30'

DRAWN BY BAL. DRAWING 3 of 11

CHECKED BY J.M.E. JOB NO 88-001

DATE FOR J.D. EVANS, INC. FILE NO 88-0018E  
 Feb. 1988 5371 Light House Court  
 Columbia, Md. 21044

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT

[Signature] 6-3-88  
 COUNTY HEALTH OFFICER DATE

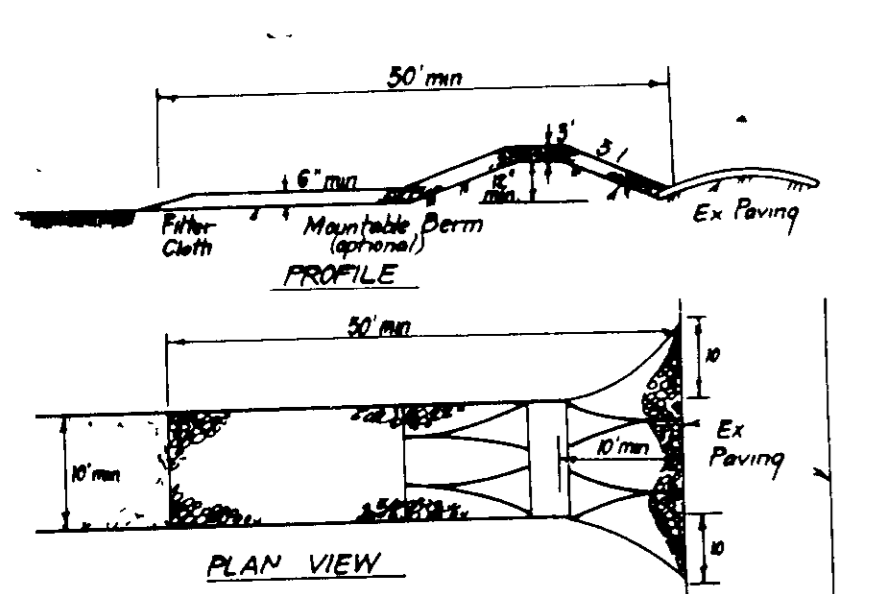
APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING

[Signature] 6-9-88  
 PLANNING DIRECTOR DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE,  
 STORM DRAINAGE SYSTEMS AND PUBLIC ROADS  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

[Signature] 5-25-88  
 DIRECTOR DATE

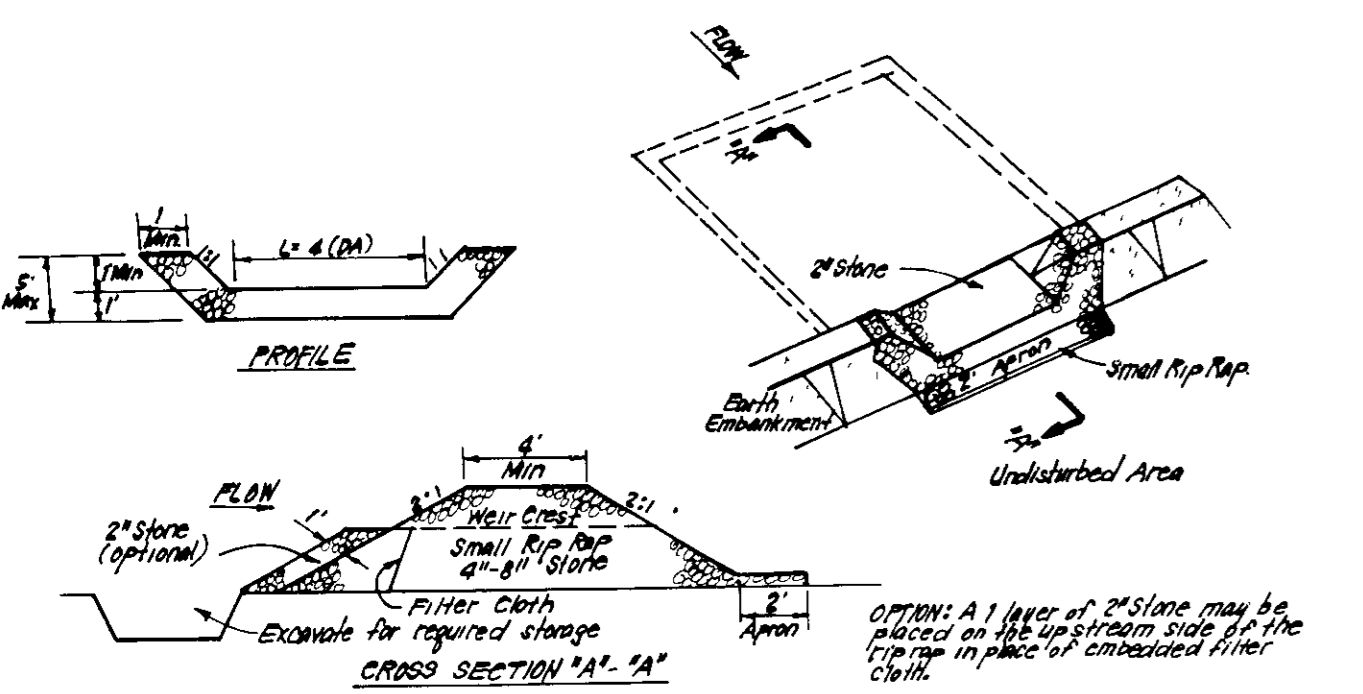
[Signature] 5-31-88  
 CHIEF BUREAU OF ENGINEERING DATE



**CONSTRUCTION SPECIFICATIONS**

- Stone size - Use 2" stone, as required or recycled concrete equivalent.
- Length - As required, but not less than 50 feet (except on a simple residential lot where a 30 foot minimum length would apply).
- Thickness - Not less than six (6) inches.
- Width - Ten (10) foot minimum, but not less than the full width of points where ingress or egress occur over the entire area prior to placing of stone.
- Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a simple family residential lot.
- Surface Water - All surface water flowing or diverted toward construction entrances shall be intercepted and directed to a storm drain, a storm water pipe, or a storm water ditch.
- Maintenance - The entrance shall be maintained in a condition which will prevent tracking or carrying of sediment into the public right-of-way. This means periodic watering with additional stone as construction demand increases and/or cleaning of any material used to trap sediment. All debris and material trapped within the entrance shall be removed immediately.
- Working - Wheels shall be cleaned to remove sediment prior to entrance onto public right-of-way when working on site. If this shall be done, an wet area stabilized with stone and which drains into an approved sediment trapping device.
- Periodic inspection and needed maintenance shall be provided after each rain.

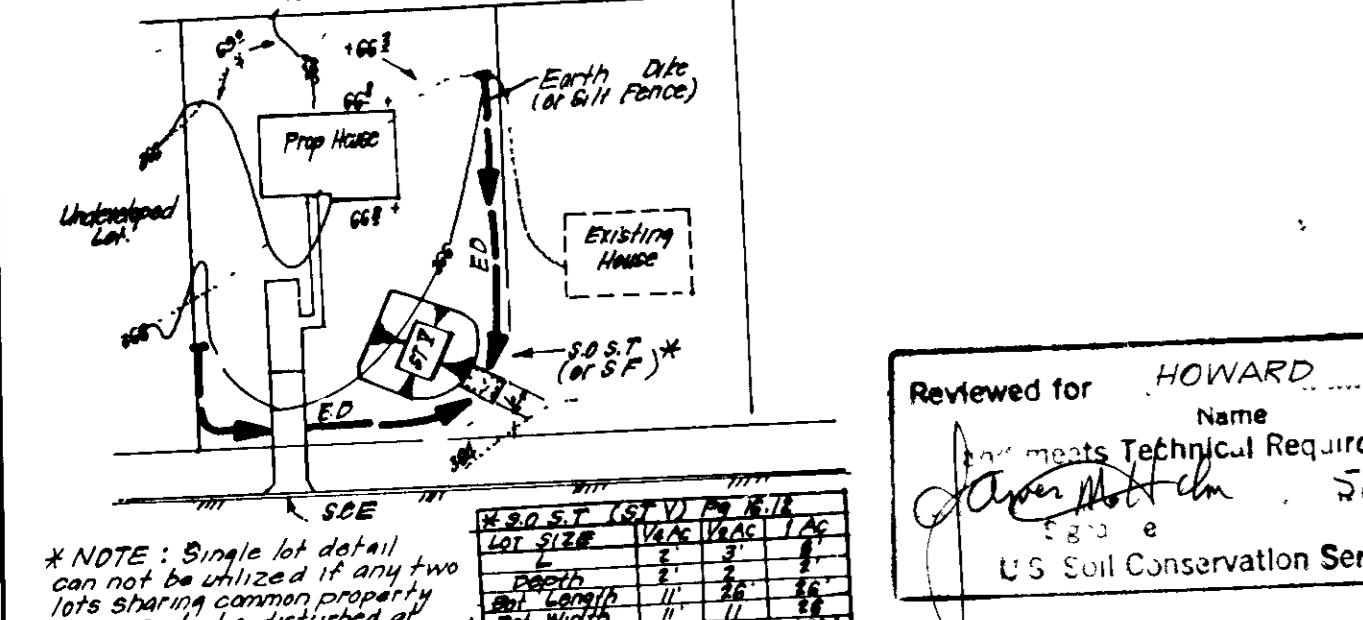
**STABILIZED CONSTRUCTION ENTRANCE (SCE)**  
NO SCALE



**CONSTRUCTION SPECIFICATIONS**

- Area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat. The area shall be compacted.
- The fill material for the embankment shall be free of rocks or other hard vegetation as well as over-sod, stumps, stumps, roots, or other objectionable material. The embankment shall be compacted by traversing with equipment while it is being constructed.
- All cut and fill slopes shall be small rip rap 4" to 6" placed in the up-slope side of the small rip rap or abandoned filter cloth in the rip rap.
- The stone used in the outlet shall be 2" in diameter. The sediment has accumulated to 1/2 the design depth of the trap.
- The structure shall be inspected after each rain and repairs made as needed.
- Construction operations shall be carried out in such a manner that erosion and water pollution is minimized.
- The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.

**STONE OUTLET SEDIMENT TRAP (S.O.S.T.) ST.V.**  
NO SCALE



**CONSTRUCTION SPECIFICATIONS**

- Area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat. The area shall be compacted.
- The fill material for the embankment shall be free of rocks or other hard vegetation as well as over-sod, stumps, stumps, roots, or other objectionable material. The embankment shall be compacted by traversing with equipment while it is being constructed.
- All cut and fill slopes shall be small rip rap 4" to 6" placed in the up-slope side of the small rip rap or abandoned filter cloth in the rip rap.
- The stone used in the outlet shall be 2" in diameter. The sediment has accumulated to 1/2 the design depth of the trap.
- The structure shall be inspected after each rain and repairs made as needed.
- Construction operations shall be carried out in such a manner that erosion and water pollution is minimized.
- The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.

**SINGLE LOT SEDIMENT CONTROL PLAN**  
NO SCALE

**APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,**  
HOWARD COUNTY HEALTH DEPARTMENT  
DATE: 6-3-88

**APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING**  
DATE: 6/2/88

**APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE,**  
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
DATE: 5-11-88

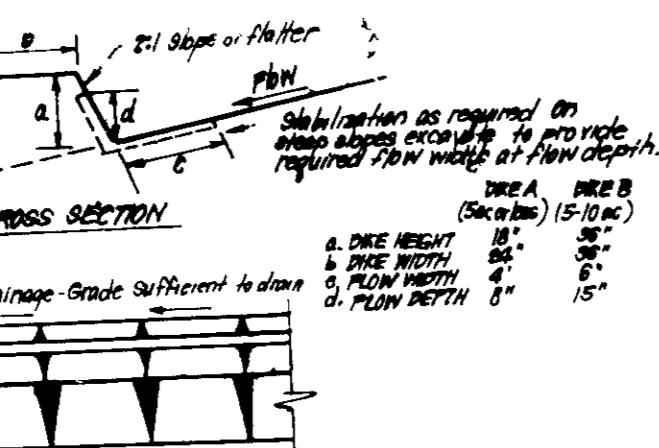
**APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY INSURANCE DISTRICT.**

**APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,**  
HOWARD COUNTY HEALTH DEPARTMENT  
DATE: 6-3-88

**APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING**  
DATE: 6/2/88

**APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE,**  
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
DATE: 5-11-88

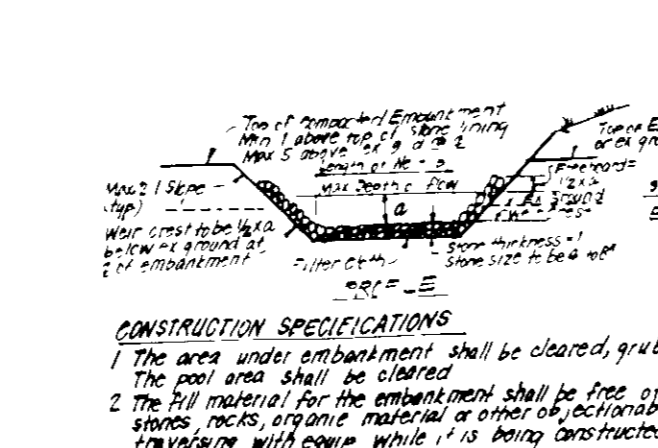
**APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY INSURANCE DISTRICT.**



**CONSTRUCTION SPECIFICATIONS**

- The area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat. The area shall be compacted.
- The fill material for the embankment shall be free of rocks or other hard vegetation as well as over-sod, stumps, stumps, roots, or other objectionable material. The embankment shall be compacted by traversing with equipment while it is being constructed.
- All cut and fill slopes shall be small rip rap 4" to 6" placed in the up-slope side of the small rip rap or abandoned filter cloth in the rip rap.
- The stone used in the outlet shall be 2" in diameter. The sediment has accumulated to 1/2 the design depth of the trap.
- The structure shall be inspected after each rain and repairs made as needed.
- Construction operations shall be carried out in such a manner that erosion and water pollution is minimized.
- The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.

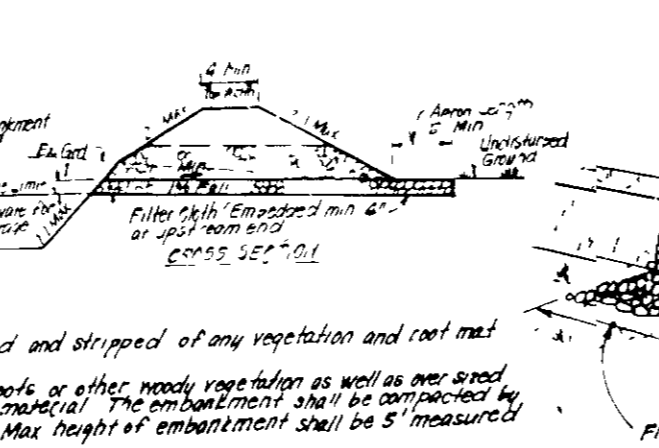
**EARTH DIKE DETAIL (E.D.)**  
NO SCALE



**CONSTRUCTION SPECIFICATIONS**

- The area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat. The area shall be compacted.
- The fill material for the embankment shall be free of rocks or other hard vegetation as well as over-sod, stumps, stumps, roots, or other objectionable material. The embankment shall be compacted by traversing with equipment while it is being constructed.
- All cut and fill slopes shall be small rip rap 4" to 6" placed in the up-slope side of the small rip rap or abandoned filter cloth in the rip rap.
- The stone used in the outlet shall be 2" in diameter. The sediment has accumulated to 1/2 the design depth of the trap.
- The structure shall be inspected after each rain and repairs made as needed.
- Construction operations shall be carried out in such a manner that erosion and water pollution is minimized.
- The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.

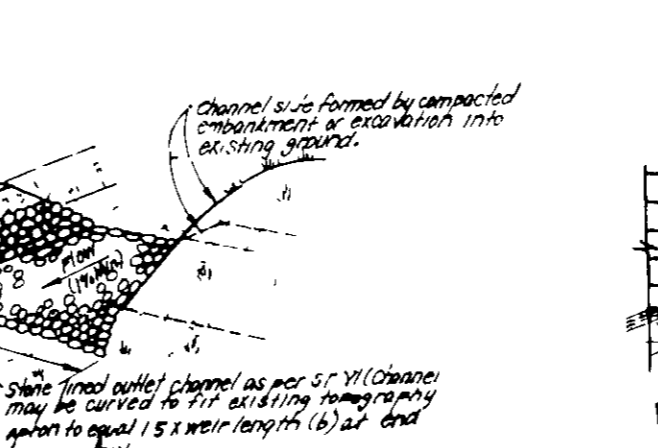
**RIP RAP OUTLET SEDIMENT TRAP - ST-II**  
NO SCALE



**CONSTRUCTION SPECIFICATIONS**

- Posts shall be placed at the top of a slope or on the contour and in a row with ends tightly abutting the adjacent ones.
- Each post shall be embedded in the soil a minimum of 4" and placed so the bindings are horizontal.
- Posts shall be securely anchored in place by either 2 stakes or 2 rebar driven thru the hole. The top stake in each stake shall be driven toward the slope and the bottom stake shall be driven toward the silt fence.
- Inspection shall be frequent and repair replacement shall be made promptly as needed.
- Stakes shall be removed when they have served their usefulness so as not to block or impede storm flow or drainage.

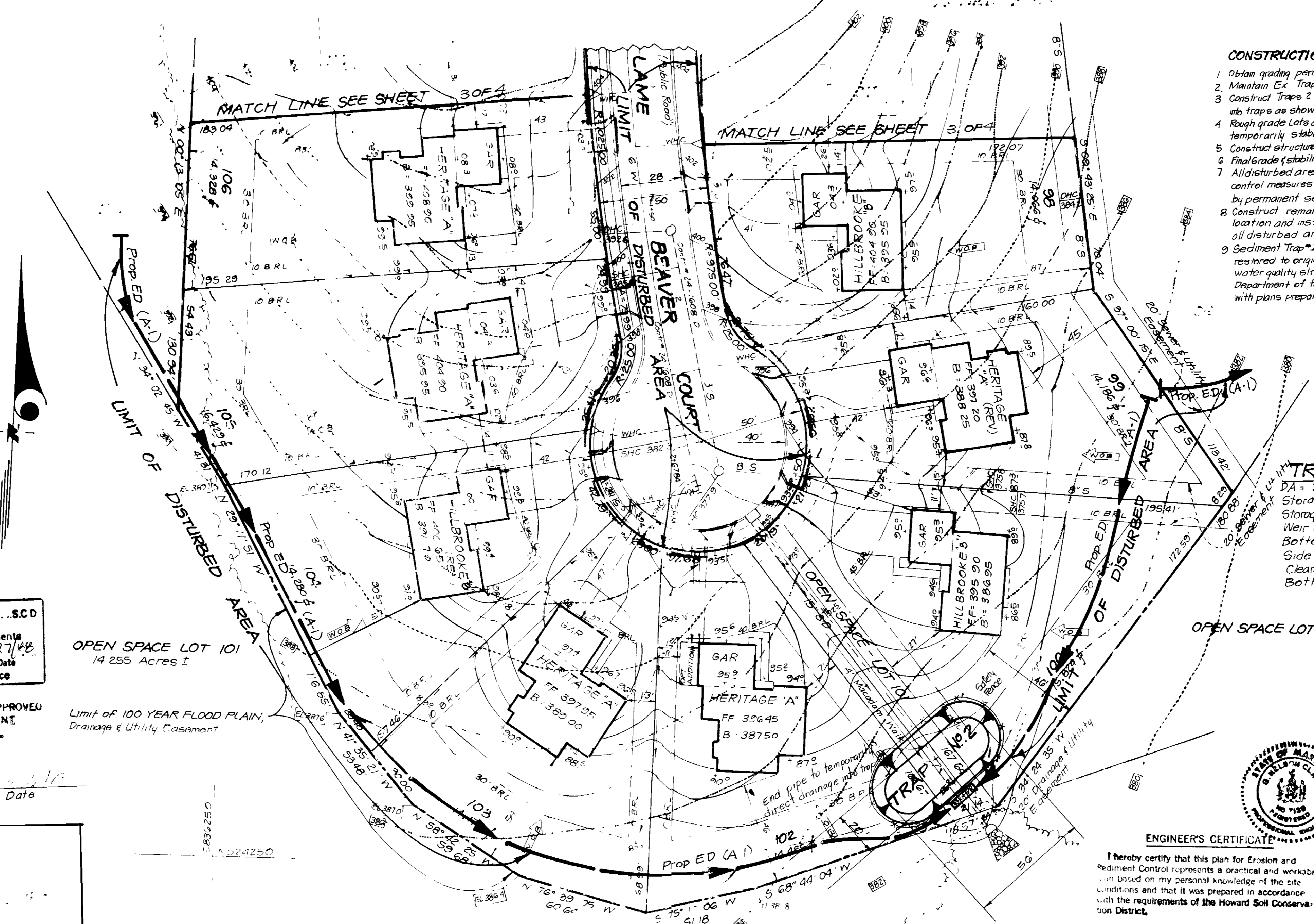
**SILT FENCE DETAIL (S)**  
NO SCALE



**CONSTRUCTION SPECIFICATIONS**

- Posts shall be placed at the top of a slope or on the contour and in a row with ends tightly abutting the adjacent ones.
- Each post shall be embedded in the soil a minimum of 4" and placed so the bindings are horizontal.
- Posts shall be securely anchored in place by either 2 stakes or 2 rebar driven thru the hole. The top stake in each stake shall be driven toward the slope and the bottom stake shall be driven toward the straw bale dike.
- Inspection shall be frequent and repair replacement shall be made promptly as needed.
- Stakes shall be removed when they have served their usefulness so as not to block or impede storm flow or drainage.

**STRAW BALE DIKE DETAIL (SBD)**  
NO SCALE



**CONSTRUCTION SEQUENCE:**

NO.	DESCRIPTION	NO. OF DAYS
1	Obtain grading permit	N/A
2	Maintain Ex. Trap #1	2
3	Construct Traps 2 and 3 and divert storm drainage into traps as shown on plan	2
4	Rough grade lots and excavate for foundations temporarily stabilize	12
5	Construct structures, sidewalks and driveways	30
6	Final grade stabilizes in accordance with State Specs	30
7	All disturbed areas due to removal of sediment control measures shall be graded and stabilized by permanent seeding	7
8	Construct remaining storm drain due to trap location and install rip rap channels, stabilize all disturbed areas with permanent seeding	2
9	Sediment Trap #1 only shall be cleaned out and returned to original design for use as a permanent water quality structure as directed by State Department of the Environment, and in accordance with plans prepared by Fisher, Collins & Carter, Inc. F 8872.	
10	All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.	
11	Site final	
12	Final cost of Site	8,518
13	Final cost of Site	8,518
14	Final cost of Site	8,518
15	Final cost of Site	8,518
16	Final cost of Site	8,518
17	Final cost of Site	8,518
18	Final cost of Site	8,518
19	Final cost of Site	8,518
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45	Final cost of Site	8,518
46	Final cost of Site	8,518
47	Final cost of Site	8,518
48	Final cost of Site	8,518
49	Final cost of Site	8,518
50	Final cost of Site	8,518

**TRAP #2 S.O.S.T. (ST-V)**

DA = 32 AC.  
Storage Required = 32 x 1800 = 57600 of  
Storage Available = 57600 of  
Weir Crest E1: 383.50  
Bottom E1: 379.50  
Side Slope cut = 1:1  
Cleanup E1: 381.50  
Bottom Dimensions = 56' x 20' x 4' deep

**DEVELOPER'S/BUILDER'S CERTIFICATE**

"I/We certify that all development and construction will be done according to the plan of development and plan for erosion and sediment control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Day of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents if so deemed necessary."

Signature of Developer/Builder: [Signature]  
Date: 4-11-88

**ENGINEER'S CERTIFICATE**

I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature of Engineer: [Signature]  
Date: 4-7-88

**CLARK • FINEFROCK & SACKETT, INC**  
ENGINEERS • PLANNERS • SURVEYORS  
7135 HINSHELWAY • COLUMBIA, MD. 21046 • (301) 341-1511 • (301) 621-8100

**SEDIMENT & EROSION CONTROL PLAN**  
LOTS 85 THRU 100 & 102 THRU 108  
**CENTENNIAL MANOR**  
SECTION ONE AREA THREE  
2ND ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

DESIGNED: DAB  
DRAWN: BAL  
CHECKED: DAB  
DATE: Feb 1988

SCALE: 1" = 30'  
DRAWING: 4 of 4  
JOB NO: 88-001  
FILE NO: 88-001-1

FOR: J.D. EVANS, INC.  
5301 Light House Court  
Columbia, MD 21044

SDP-88-143