

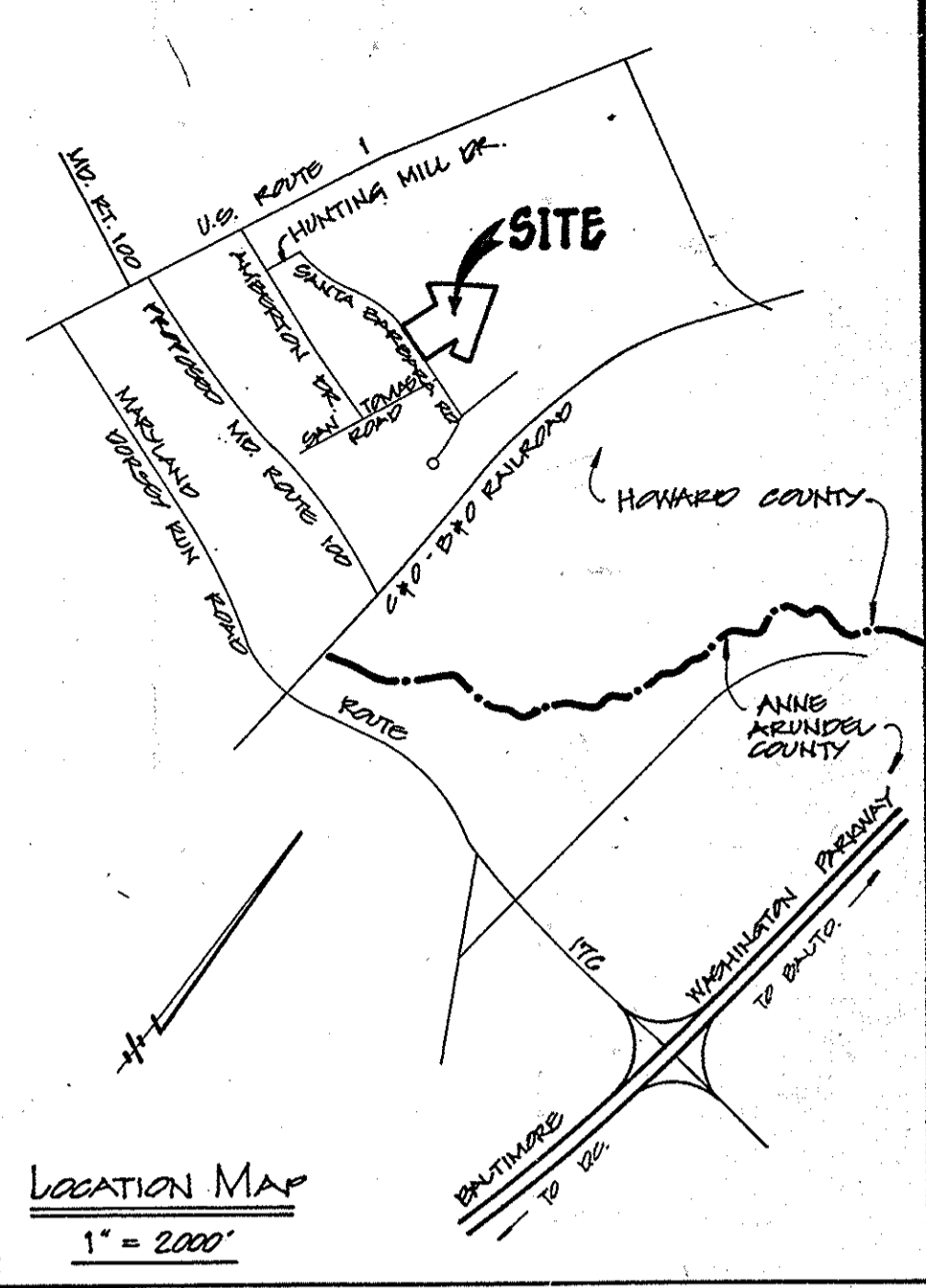
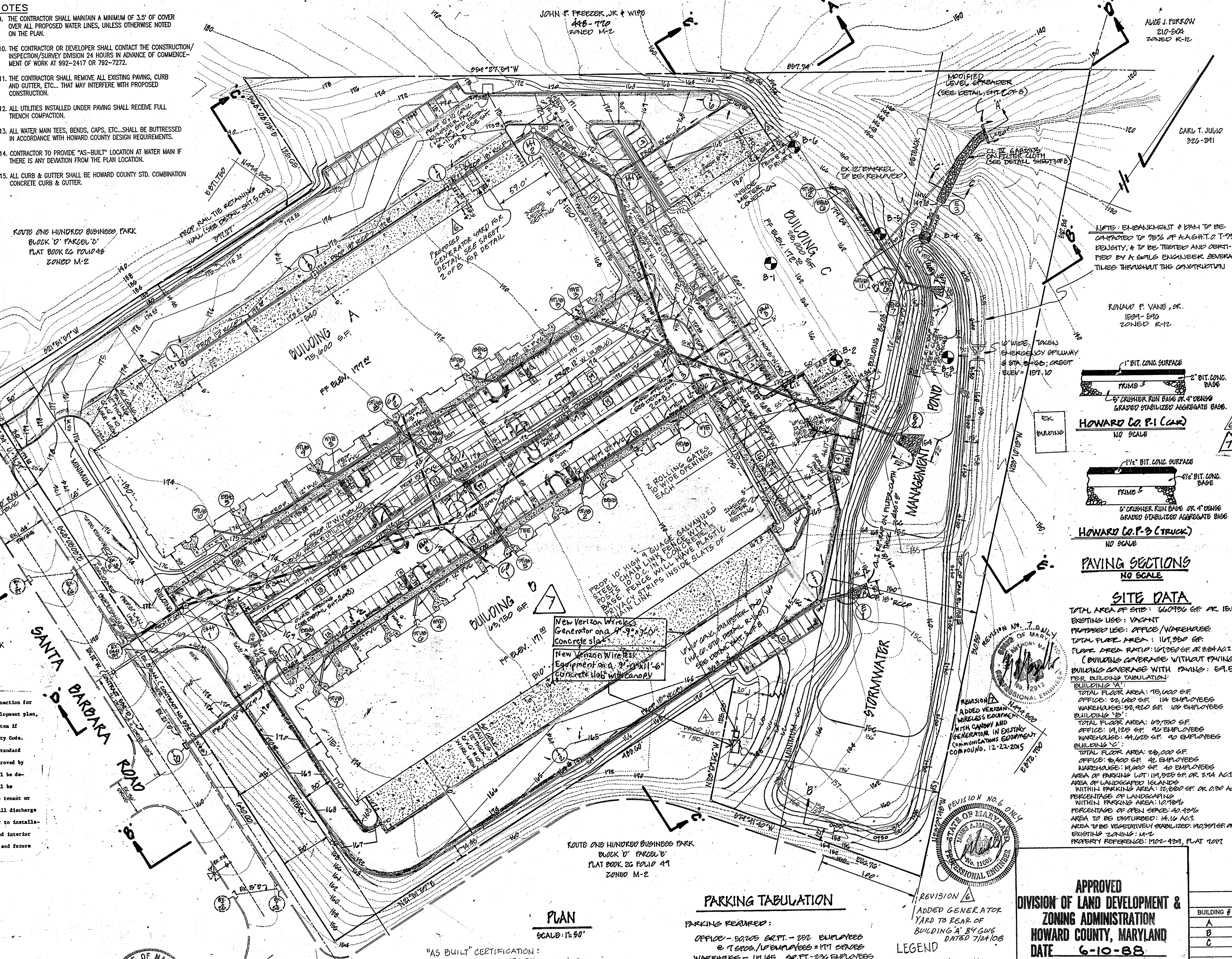
- GENERAL NOTES**
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH HOWARD COUNTY STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, OR AS SHOWN ON THESE PLANS.
  2. ALL AREAS NOT BEING PAVED OR RECEIVING BUILDING COVERAGE SHALL BE STABILIZED IN ACCORDANCE WITH THE PLANS APPROVED BY THE HOWARD SOIL CONSERVATION DISTRICT.
  3. ANY DAMAGE TO PUBLIC RIGHTS-OF-WAY AND/OR ADJACENT PROPERTIES SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
  4. THE CONTRACTOR SHALL MAINTAIN AT LEAST 2' LEVEL BENCH BEHIND ALL CURB AND GUTTER.
  5. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES TO HIS OWN SATISFACTION BEFORE STARTING CONSTRUCTION.
  6. ALL SLOPES SHALL BE 2:1 OR FLATTER.
  7. THE CONTRACTOR SHALL NOTIFY THE C & P TELEPHONE CO. AND THE GAS AND ELECTRIC COMPANY FIVE DAYS PRIOR TO STARTING WORK SHOWN ON THESE PLANS BY CALLING "MISS UTILITY" CALL COLLECT 1-559-0100.
  8. FOR DETAILS OF RAMPS AND SIGNS FOR THE HANDICAPPED SEE THE MARYLAND BUILDING CODE FOR THE HANDICAPPED AND AED AND AS SHOWN HEREON.
  9. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3.5' OF COVER OVER ALL PROPOSED WATER LINES, UNLESS OTHERWISE NOTED ON THE PLAN.
  10. THE CONTRACTOR OR DEVELOPER SHALL CONTACT THE CONSTRUCTION/SURVEY DIVISION 24 HOURS IN ADVANCE OF COMMENCEMENT OF WORK AT 992-2417 OR 792-7272.
  11. THE CONTRACTOR SHALL REMOVE ALL EXISTING PAVING, CURB AND GUTTER, ETC., THAT MAY INTERFERE WITH PROPOSED CONSTRUCTION.
  12. ALL UTILITIES INSTALLED UNDER PAVING SHALL RECEIVE FULL TRENCH COMPACTION.
  13. ALL WATER MAIN TEES, BENDS, CAPS, ETC., SHALL BE BUTTRESSED IN ACCORDANCE WITH HOWARD COUNTY DESIGN REQUIREMENTS.
  14. CONTRACTOR TO PROVIDE "AS-BUILT" LOCATION AT WATER MAIN IF THERE IS ANY DEVIATION FROM THE PLAN LOCATION.
  15. ALL CURB & GUTTER SHALL BE HOWARD COUNTY STD. COMBINATION CONCRETE CURB & GUTTER.

NOTE: FOR HANDICAP PARKING DETAILS SEE SHEET 6 OF 8

- SHEET INDEX**
1. S.W.M. Plan & Storm Plan
  2. Profiles & Details
  3. Storm Profiles & Details
  4. Storm Drain Profiles & Details
  5. Profiles & Details
  6. Sediment & Erosion Control Plan
  7. Profiles & Details for Sediment & Erosion Control
  8. Landscaping Plan
  9. VZM Site Plan
  10. VZM Compound Plan & Elevation
  11. VZM Equipment Plan & Details
  12. VZM Site & Generator Details

**NOTE:**  
The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building, shown on this site development plan, who will discharge non-domestic waste to the public sewerage system if this ward is regulated under Section 16.122A of the Howard County Code. Each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above requirements shall apply to all initial and future occupants or tenants.

- LEGEND**
- TRACT OUTLINE: ———
  - MIN. BUILDING EXTERIOR LINE: ———
  - EXISTING GRAUND: ———
  - PROPOSED GRAUND: ———
  - NUMBER OF PARKING SPACES: (20)
  - HANDICAPPED PARKING SPACES: (20)
  - EX. WATER: ———
  - EX. SANITARY SEWER: ———
  - EX. STORM DRAINING: ———
  - P-3 TRUCK PAVING: ———
  - F-1 CAR PAVING: ———



**BENCH MARKS**  
VERTICAL CONTROL: 150' ± AND 151' ± ELEV. 102.422 AND 102.421 ELEV. 110.00' INTERSECTION OF DREYER RUN ROAD AND B+O RAILROAD.  
PROFESSIONAL CERTIFICATION FOR REVISION NO. 6  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 11005, EXPIRATION DATE 7/1/10.  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12819, EXPIRATION DATE 04/03/2016.

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

APPROVED: *Richard Ziehm* 7/22/89  
HOWARD SOIL CONSERVATION DISTRICT

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT.

APPROVED: *Joseph Boyle* 8-2-88  
COUNTY HEALTH OFFICER

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING.

APPROVED: *Walter* 8-11-88  
DIRECTOR

APPROVED: *Wanda V. L. Taylor* 8-8-88  
CHIEF DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

APPROVED: *James P. ...* 7/22/88  
DIRECTOR

APPROVED: *William S. ...* 7-22-88  
CHIEF BUREAU OF ENGINEERING

APPROVED  
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE 6-10-88

BUILDING #	STREET ADDRESS
A	40711 SANTA BARBARA ROAD
B	40712 SANTA BARBARA ROAD
C	40713 SANTA BARBARA ROAD

**ROUTE ONE HUNDRED BUSINESS PARK  
BLOCK 'D' PARCEL 'D-1'**  
A REDIVISION OF BLOCK 'D', PARCEL 'D'

HOWARD CO. M-2  
TAX MAP 30  
PLAT NO. 101  
SCALE: 1" = 50'

SUBMISSION NAME: ROUTE ONE HUNDRED BUSINESS PARK  
PLAT # OR E/F: 101  
BLOCK # 1  
M-2  
TAX/ZONING MAP: 30  
ELECT. DIST.: 152  
CENSUS TRACT: G012

WATER CODE: A04  
SEWER CODE: 215100

DATE: 9/15/93  
SHEET 1 OF 12  
SDP 88-141

**GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.**  
CIVIL ENGINEERS & LAND SURVEYORS  
303 ALLEGHENY AVENUE  
TOWSON, MARYLAND 21204  
(301) 255-8120

**ENGINEERS' CERTIFICATE:**  
I CERTIFY THAT THIS PLAN FOR S.W.M. FACILITY CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENT A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SITE CONDITIONS THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD COUNTY DEPARTMENT WITH A RED-LINED "AS-BUILT" OF THE S.W.M. FACILITY WITHIN 30 DAYS OF COMPLETION.

ENGINEER: *George William Stephens, Jr.*  
REG. NO. 18930  
DATE: 9/15/93

**NORCONCORD LTD. PARTNERSHIP**  
401 HARKROVE STREET  
BALTIMORE, MARYLAND 21202  
(410) 701-2824

OWNER/DEVELOPER

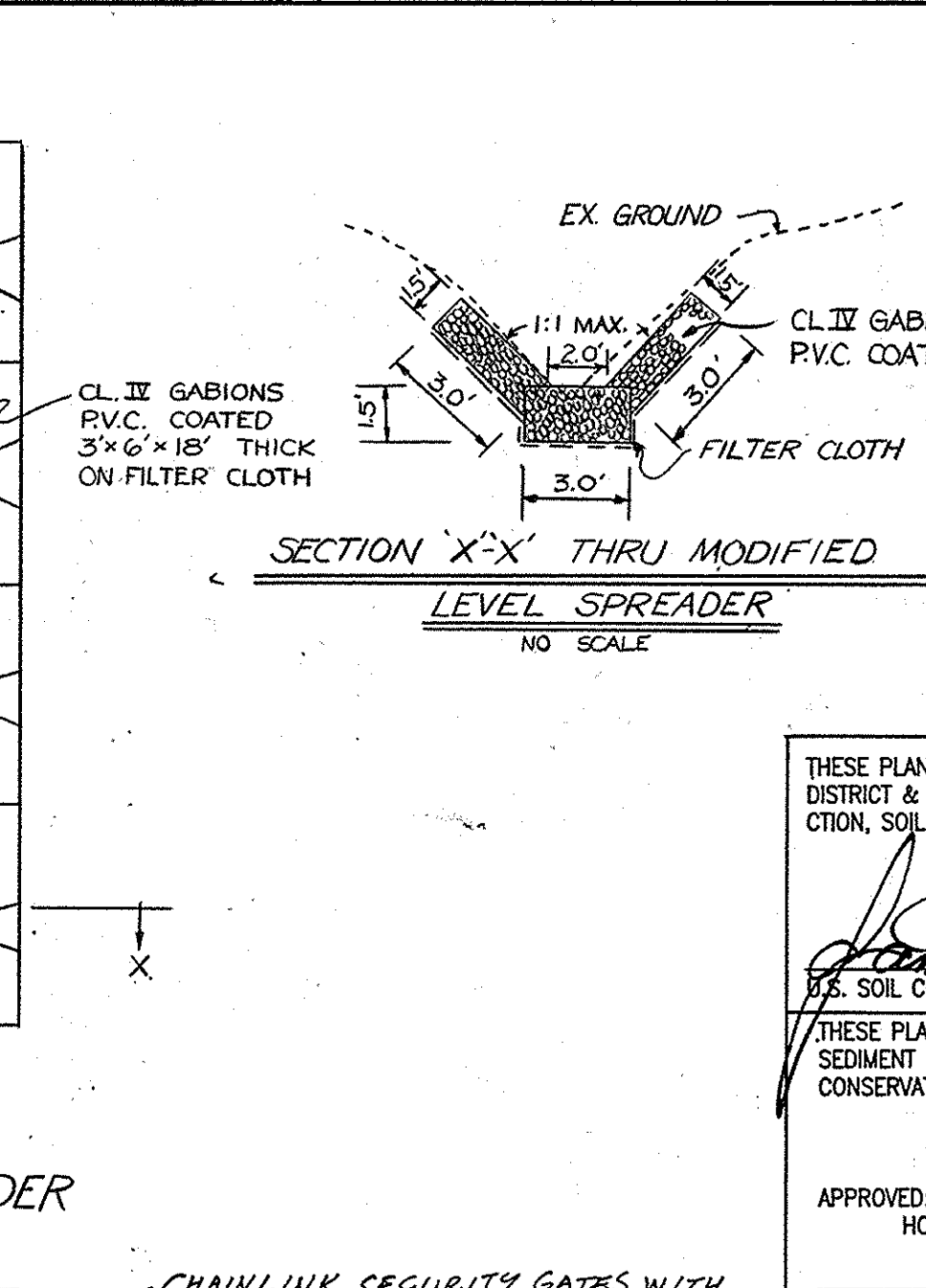
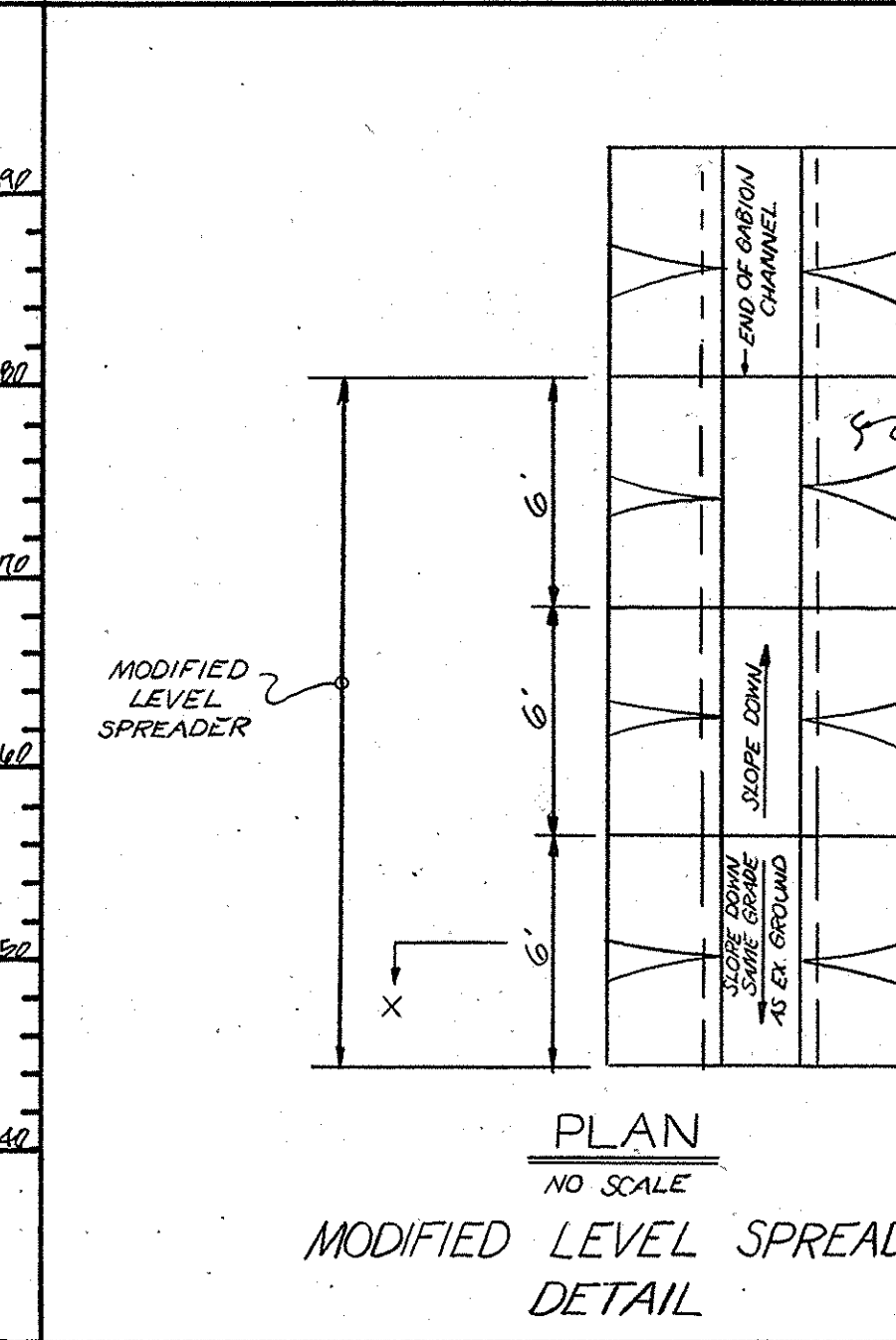
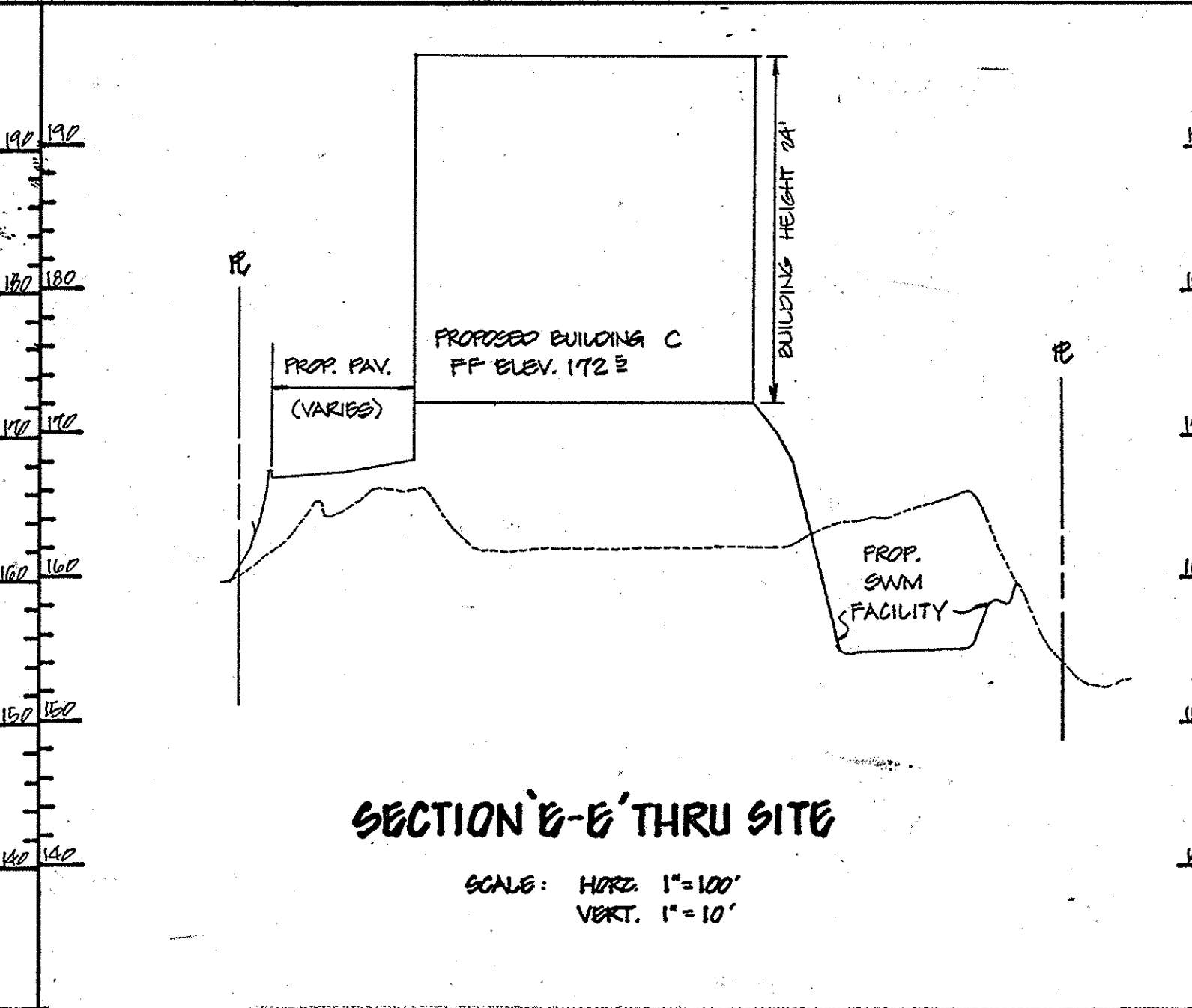
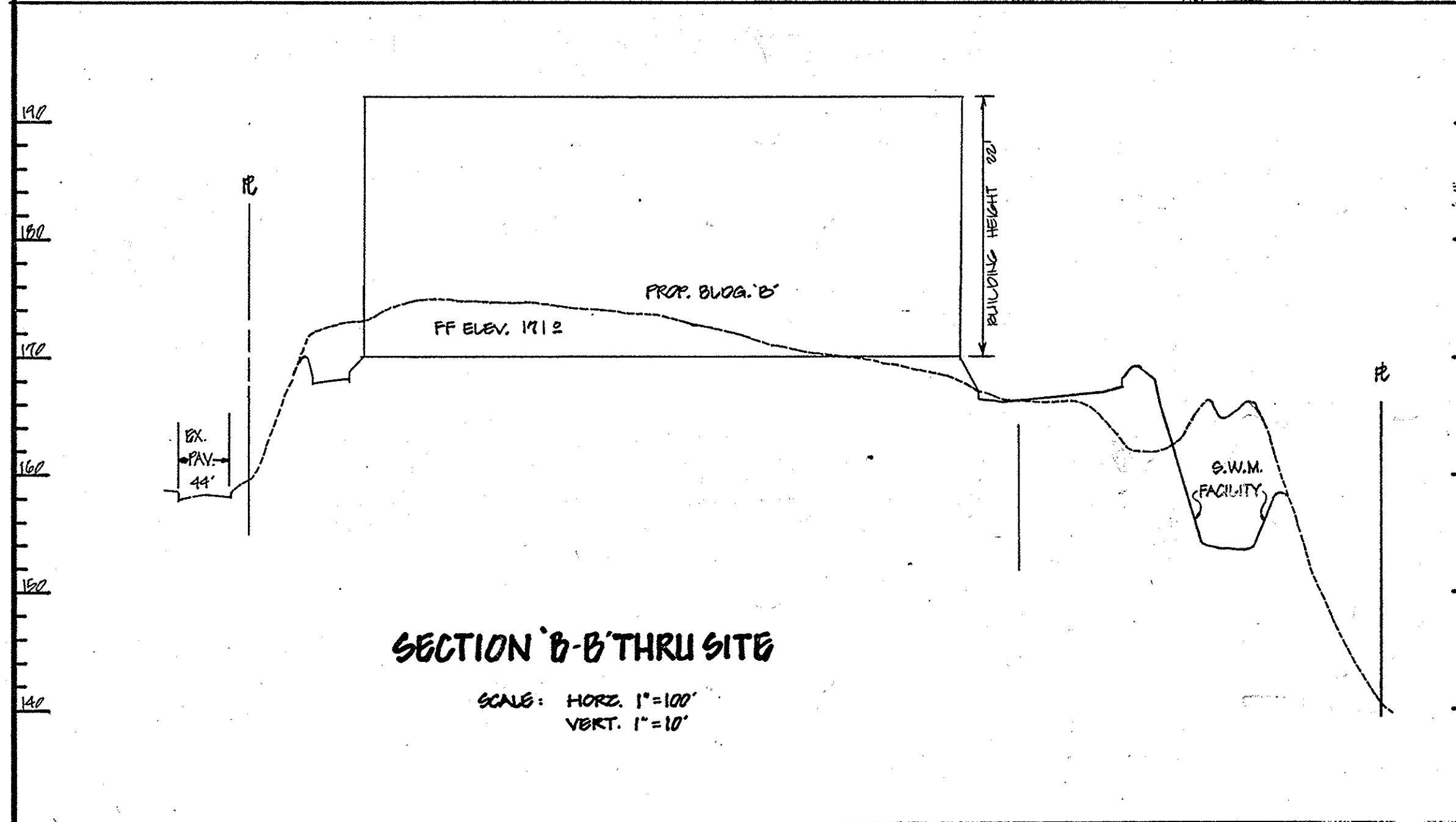
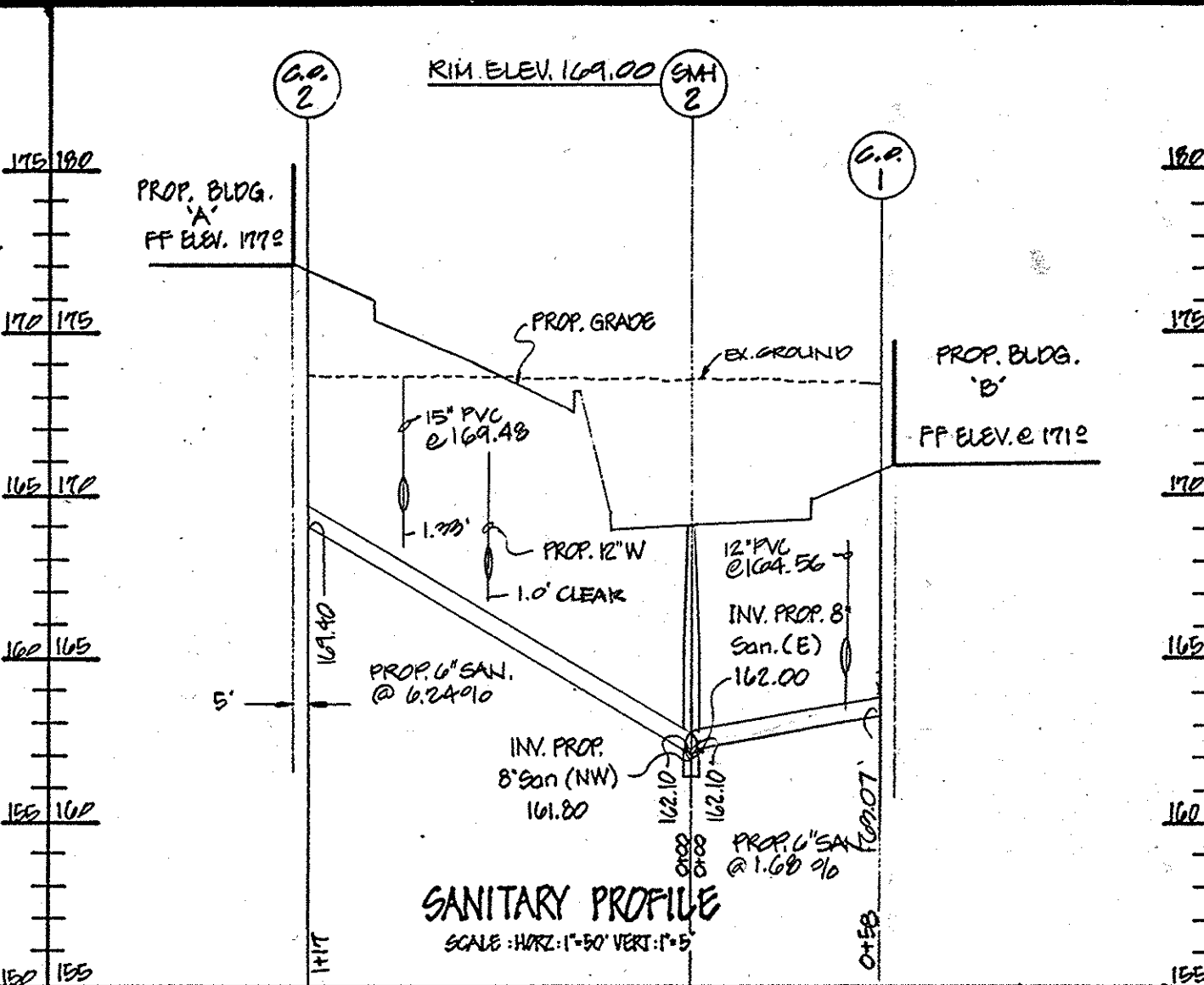
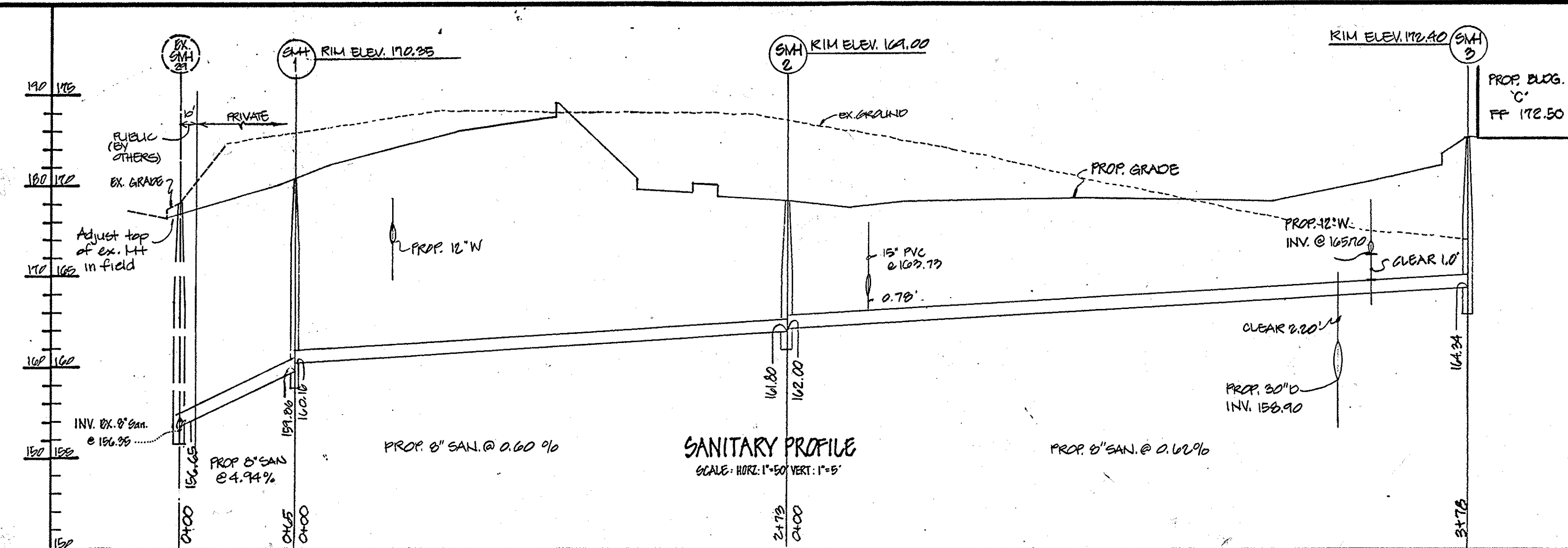
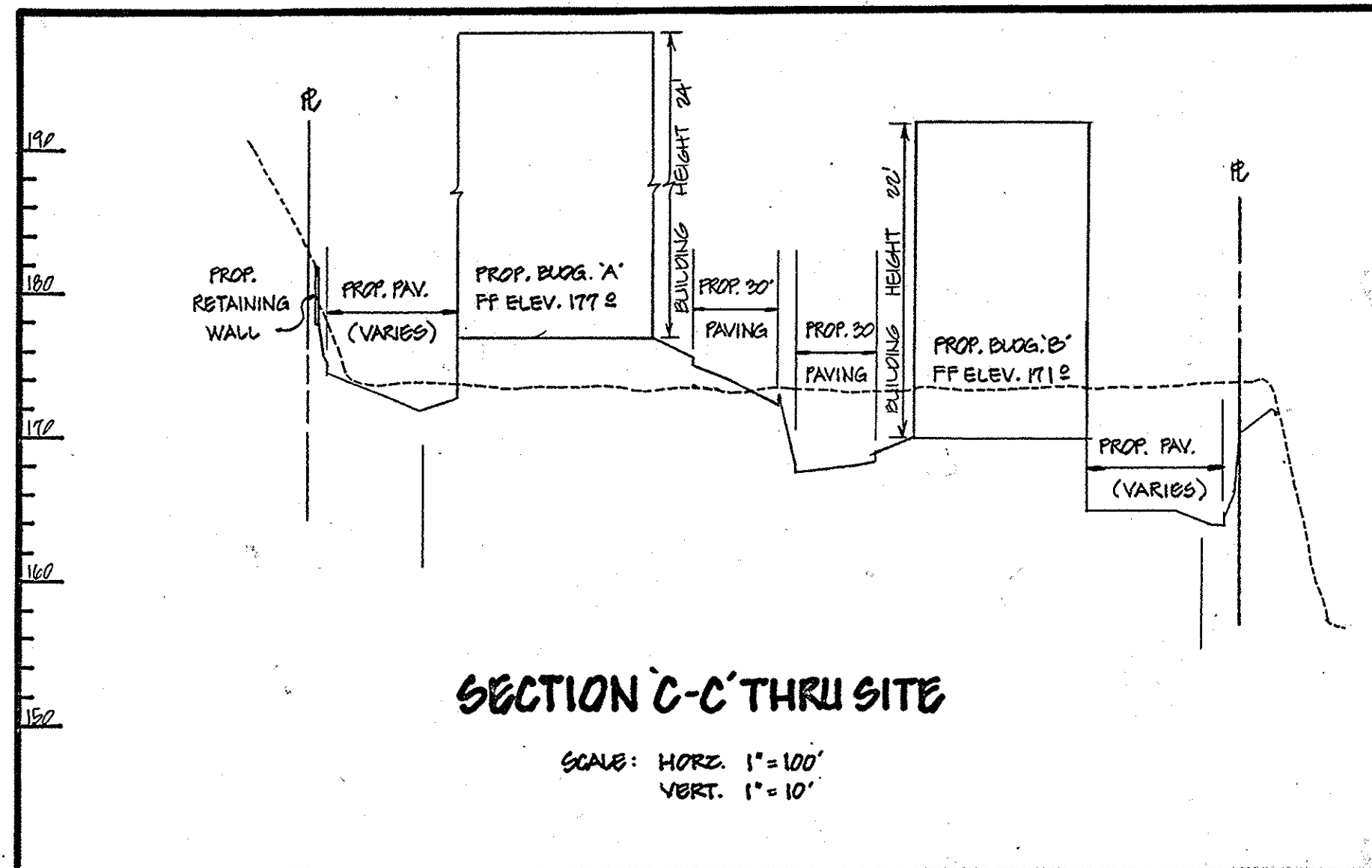
**DEVELOPER'S CERTIFICATE**  
I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE S.W.M. FACILITY WITHIN 30 DAYS OF COMPLETION.

DEVELOPER: *R.D. MacQuinn*  
NAME: R.D. MACQUINN  
DATE: 9/15/93  
TITLE: CIVIL ENGINEER

**REVISIONS**  
STORM DRAIN CHANGED 5/10/88  
A & B, ROOF DRAINS TO PLANT 10/26/88  
RELOCATED PROP 8" WVC FOR BLDG C 10/26/88  
RELOCATED WATER CONNECTION 10/26/88

DATE: 9/15/93





**APPROVED**  
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE 6-10-88

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT & MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

*James M. Selan* 7/22/88  
U.S. SOIL CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF HOWARD SOIL CONSERVATION DISTRICT.

*Robert W. Ziehm*  
APPROVED HOWARD SOIL CONSERVATION DISTRICT

PLAN NUMBER \_\_\_\_\_ DATE 7/22/88

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT.

*James J. Bruckner* 8-2-88  
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING.

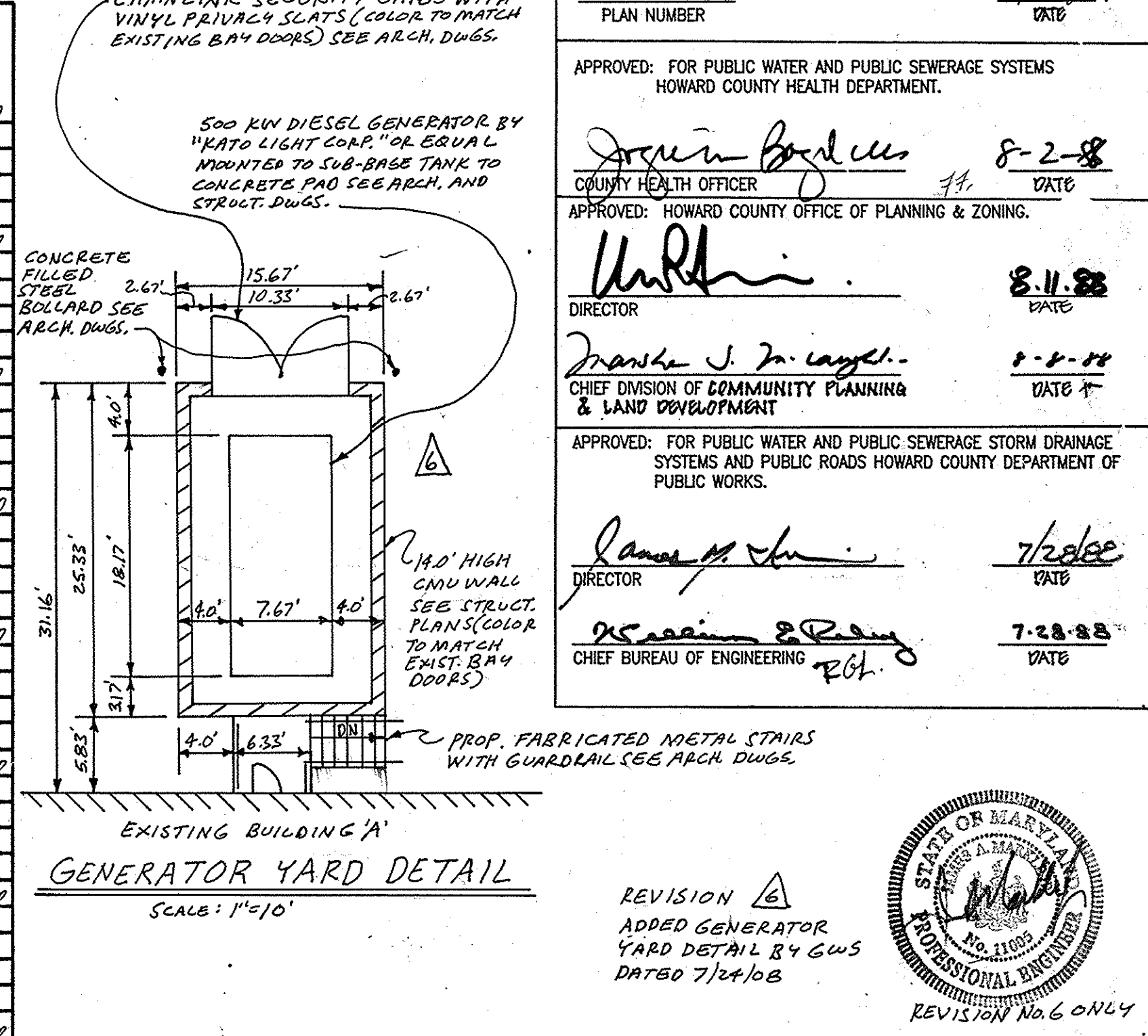
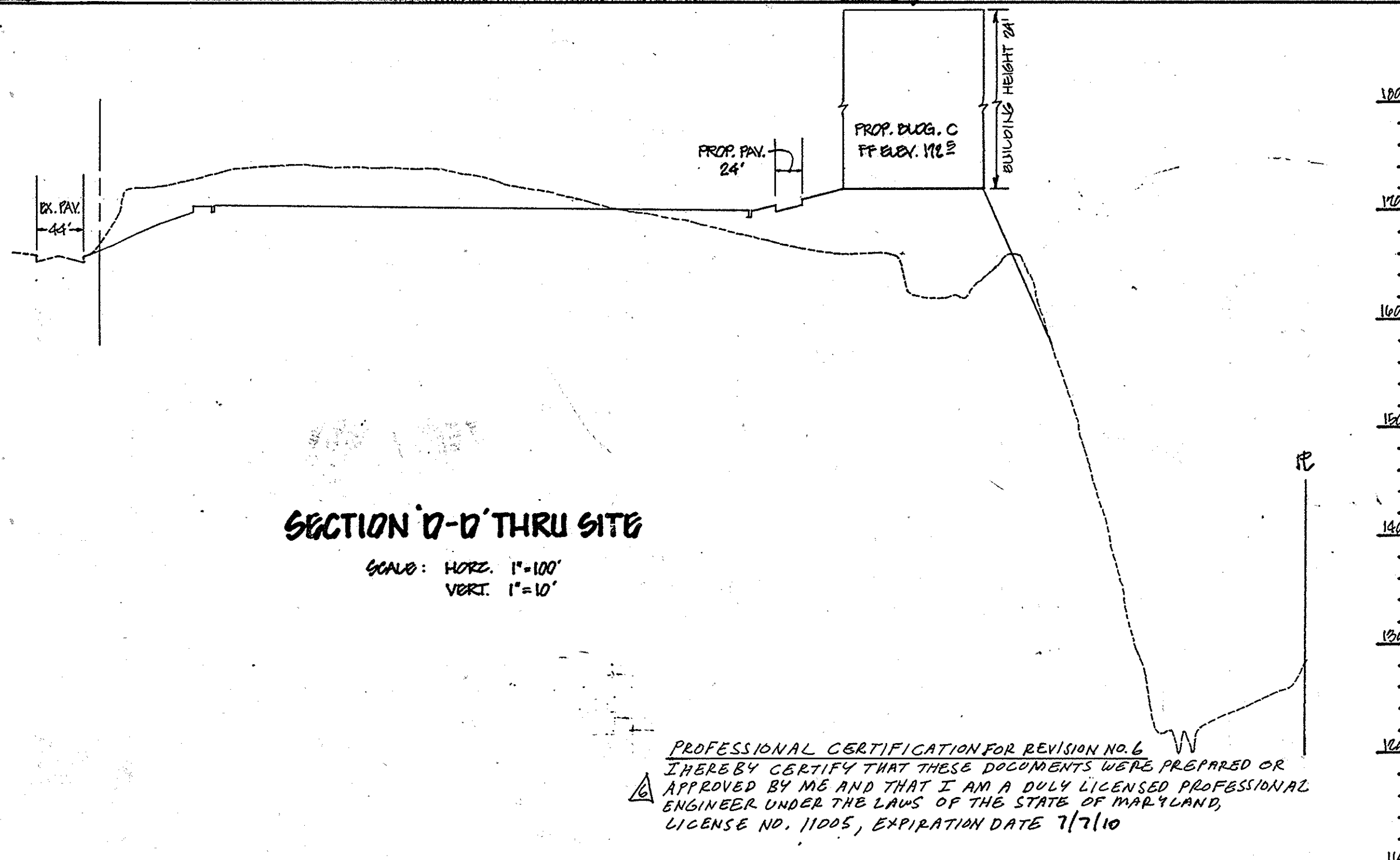
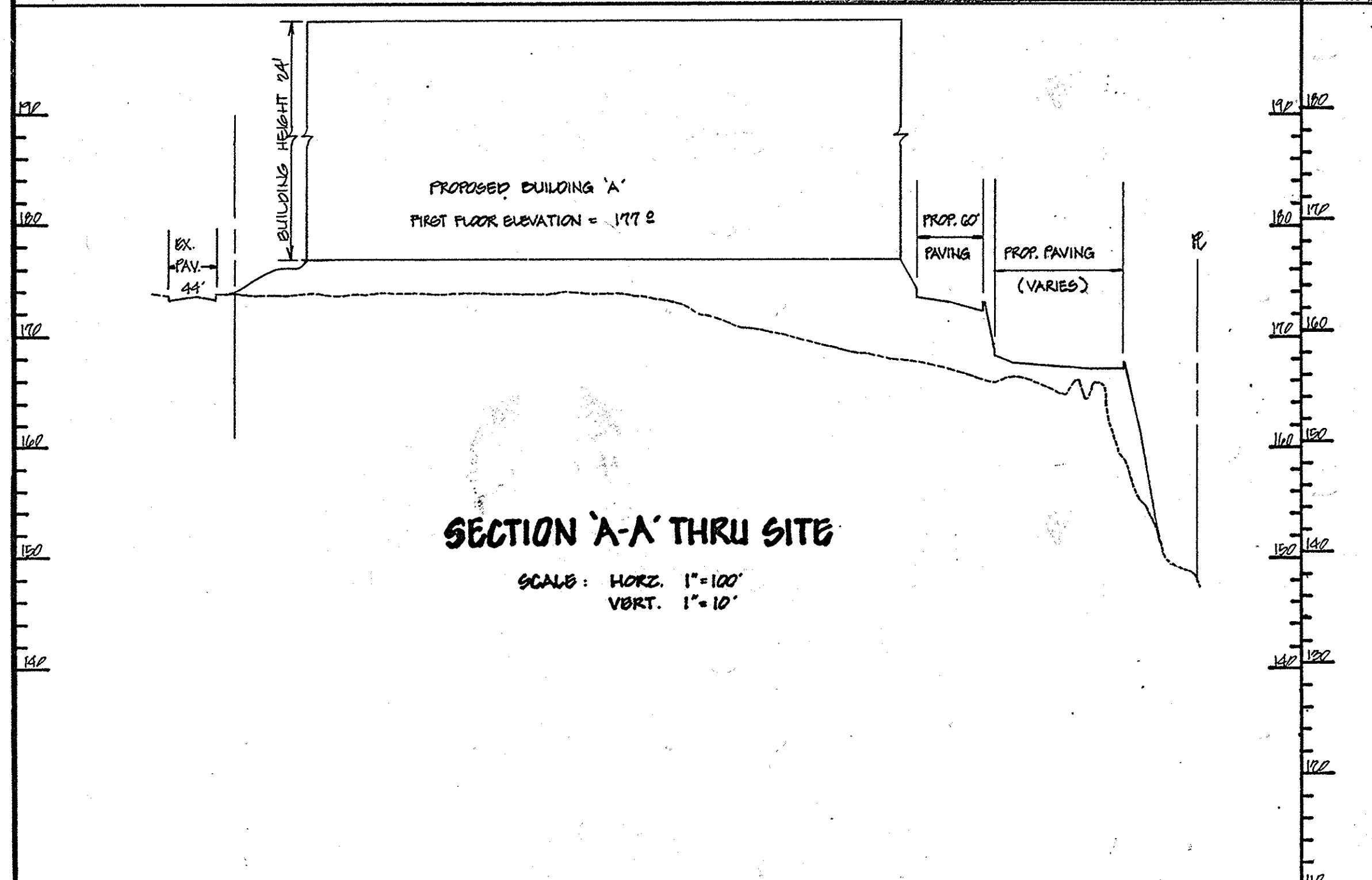
*W. J. ...* 8-11-88  
DIRECTOR DATE

*Frank J. ...* 8-2-88  
CHIEF DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

*James M. Selan* 7/24/88  
DIRECTOR DATE

*James M. Selan* 7-28-88  
CHIEF BUREAU OF ENGINEERING DATE



PROFESSIONAL CERTIFICATION FOR REVISION NO. 6  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 11005, EXPIRATION DATE 7/7/10

REVISION  
ADDED GENERATOR YARD DETAIL BY GWS DATE 7/24/08



**GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.**  
CIVIL ENGINEERS & LAND SURVEYORS  
303 ALLEGHENY AVENUE  
TOWSON, MARYLAND 21284  
(301) 825-8120

ENGINEERS' CERTIFICATE:  
I CERTIFY THAT THIS PLAN FOR S.W.M. FACILITY CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENT A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE S.W.M. FACILITY WITHIN 30 DAYS OF COMPLETION.

*George William Stephens, Jr.*  
ENGINEER  
REG. NO. 18930 DATE: 2/5/88

OWNER/DEVELOPER  
**NORCONCORD LTD. PARTNERSHIP**  
901 HARGRAVE STREET  
BALTIMORE, MARYLAND 21202  
(301) 787-0474

DEVELOPER'S CERTIFICATE  
I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINE "AS-BUILT" OF THE S.W.M. FACILITY WITHIN 30 DAYS OF COMPLETION.

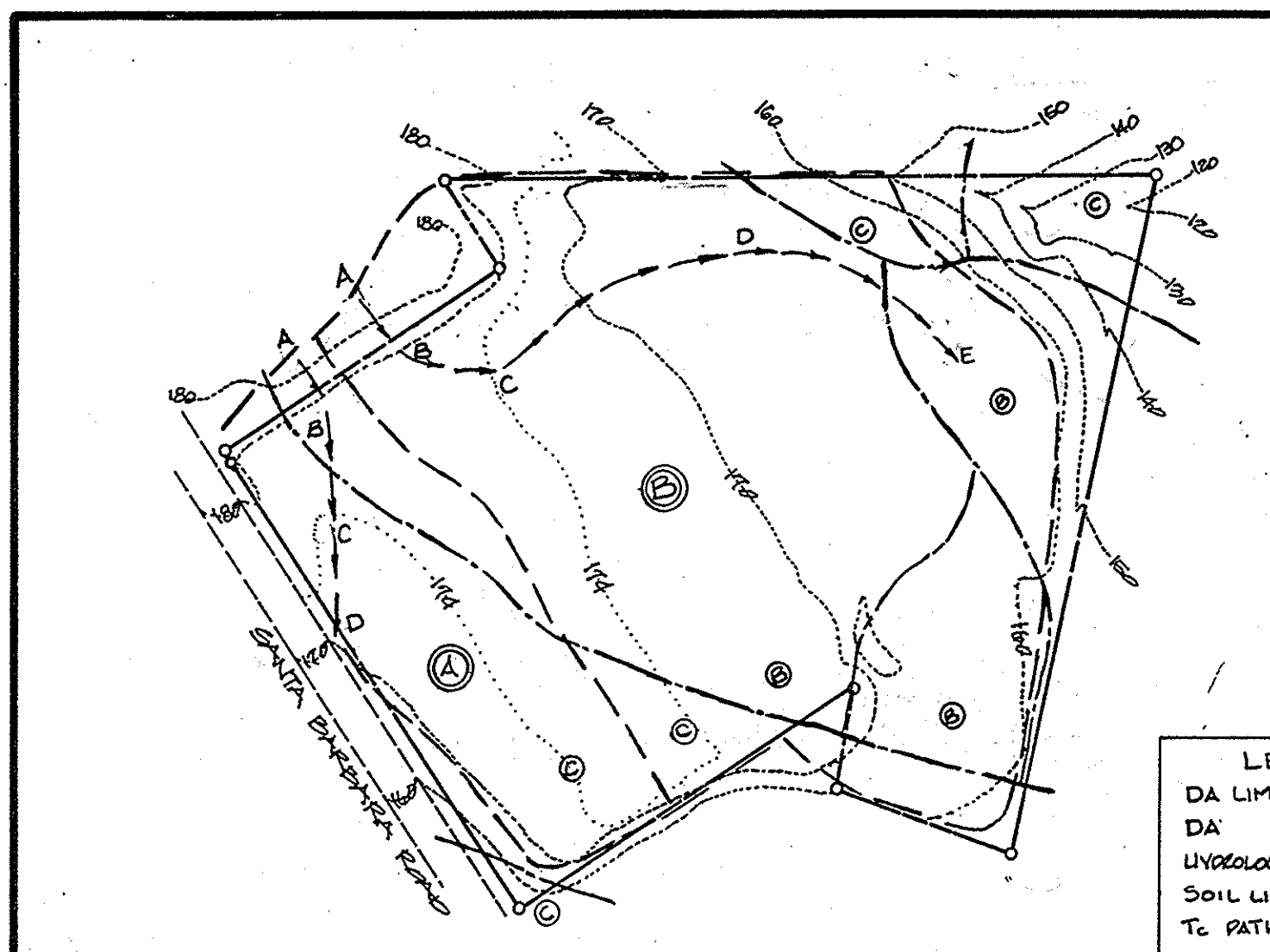
*R.D. MacCuaio*  
DEVELOPER  
NAME: R.D. MacCuaio TITLE: GEN'L. PRNGR.  
DATE: 7/23/88

REVISIONS  
FORM DRAINS CHANGED BLDG A & B ROOF DRAINS TO FRONT 10/26/08

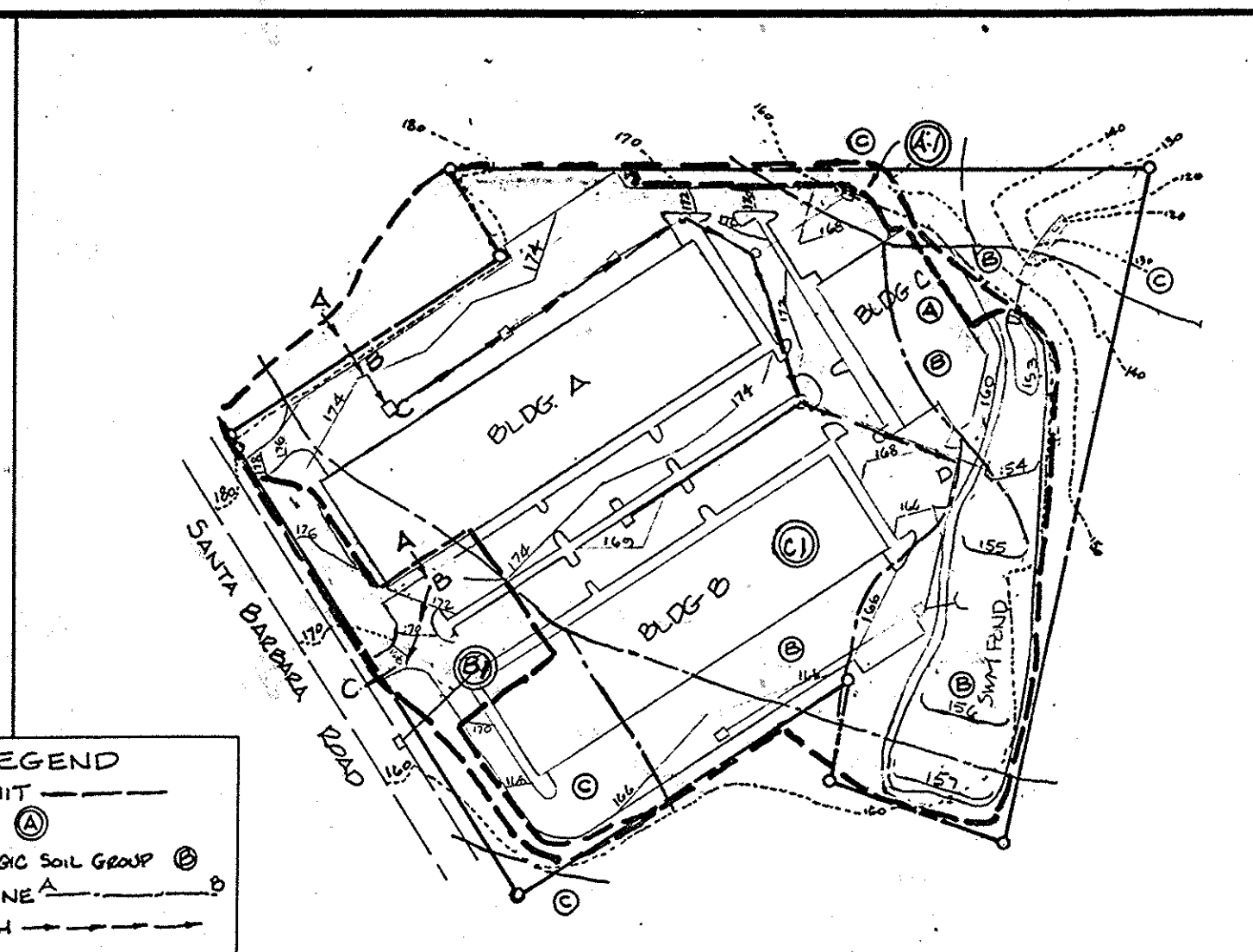
**ROUTE ONE HUNDRED BUSINESS PARK**  
**BLOCK 'D' PARCEL 'D-1'**  
A REZONING OF BLOCK 'D', PARCEL 'D'

HOWARD COUNTY, MARYLAND SECTION DISTRICT NUMBER: 1  
TAX MAPS 30 ZONING: M-2  
PLAT NUMBER 1017 SCALE: AS SHOWN SHEET 2 OF 12 FILE NUMBER: P 87-72 FEBRUARY 4, 1980

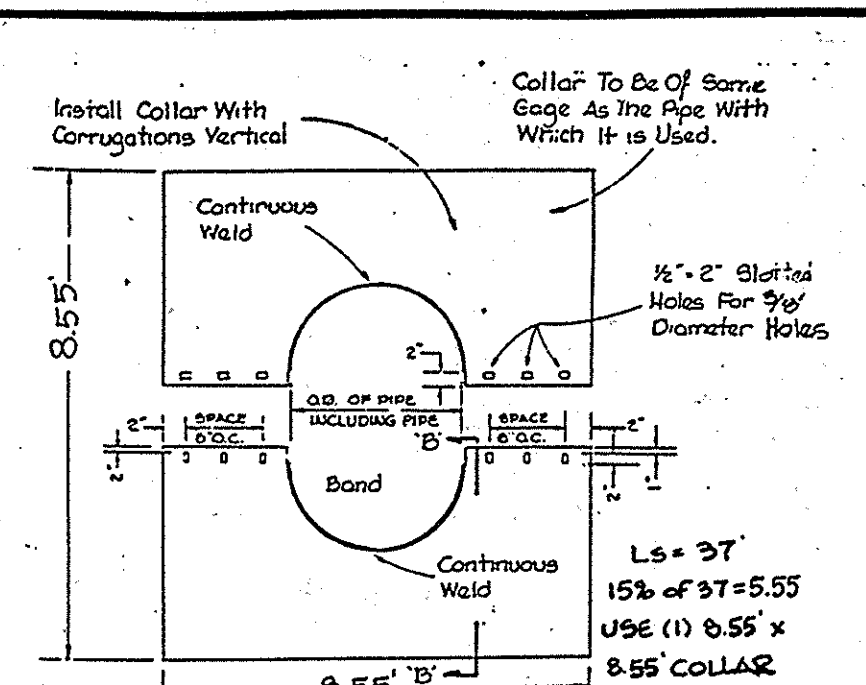




EXISTING S.W.M. DRAINAGE AREA MAP  
SCALE: 1" = 200'

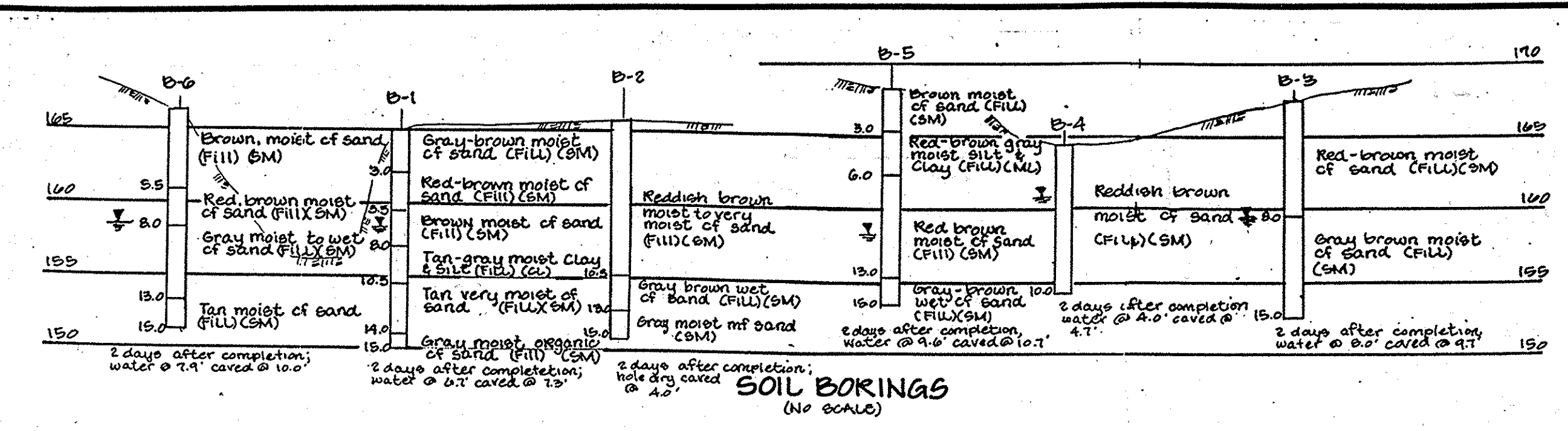


PROPOSED S.W.M. DRAINAGE AREA MAP  
SCALE: 1" = 200'



ANTI-SEEP COLLAR DETAIL  
NO SCALE

NOTES: ANTI-SEEP COLLARS  
1) All materials to be in accordance with Construction and Construction Material Specifications.  
2) When specified on the Plans, Coatings of Collars shall be in accordance with Construction and Construction Material Specifications.  
3) Unassembled collars shall be marked by painting or tagging to identify matching pairs.  
4) The Lip Between the Two Half Sections and Between the Top and Connecting Band shall be coated with Asphalt Mastic at time of installation.  
5) Each collar shall be furnished with two 1/2" diameter rods with standard tank lugs for connecting collars to pipe.  
6) Collars shall be located 2' min. from all pipe joints.



SOIL BORINGS  
(NO SCALE)

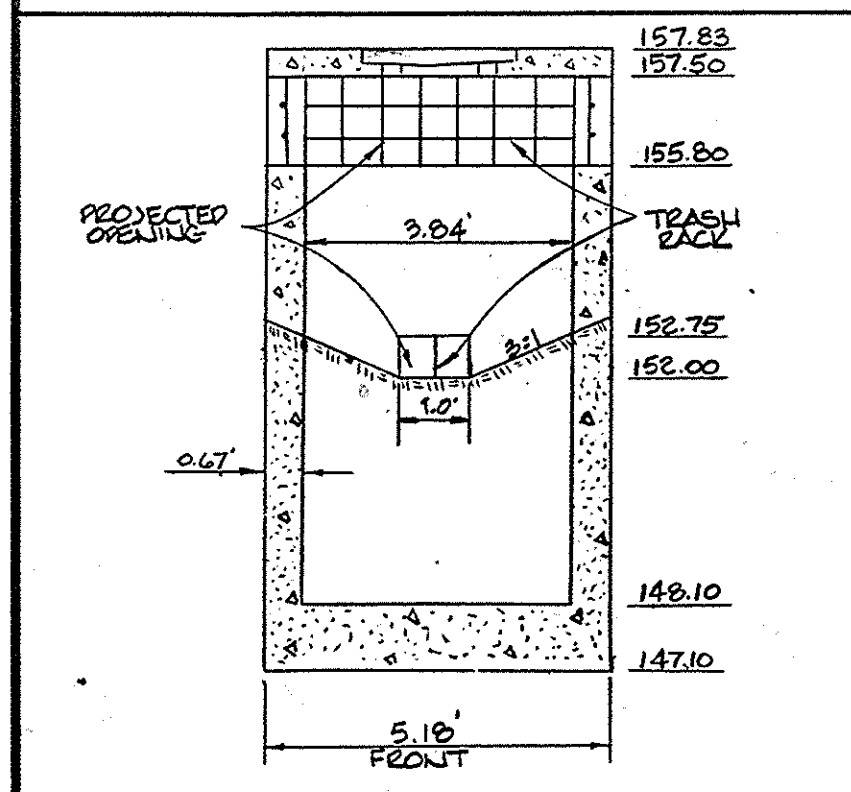
S.W.M. MAINTENANCE SCHEDULE

MAINTENANCE ITEM	1	2	3	4	5	6
MAINTENANCE FREQUENCY	1	1	1	1	1	1
REPAIR DURATION *	1	1	1	1	1	1

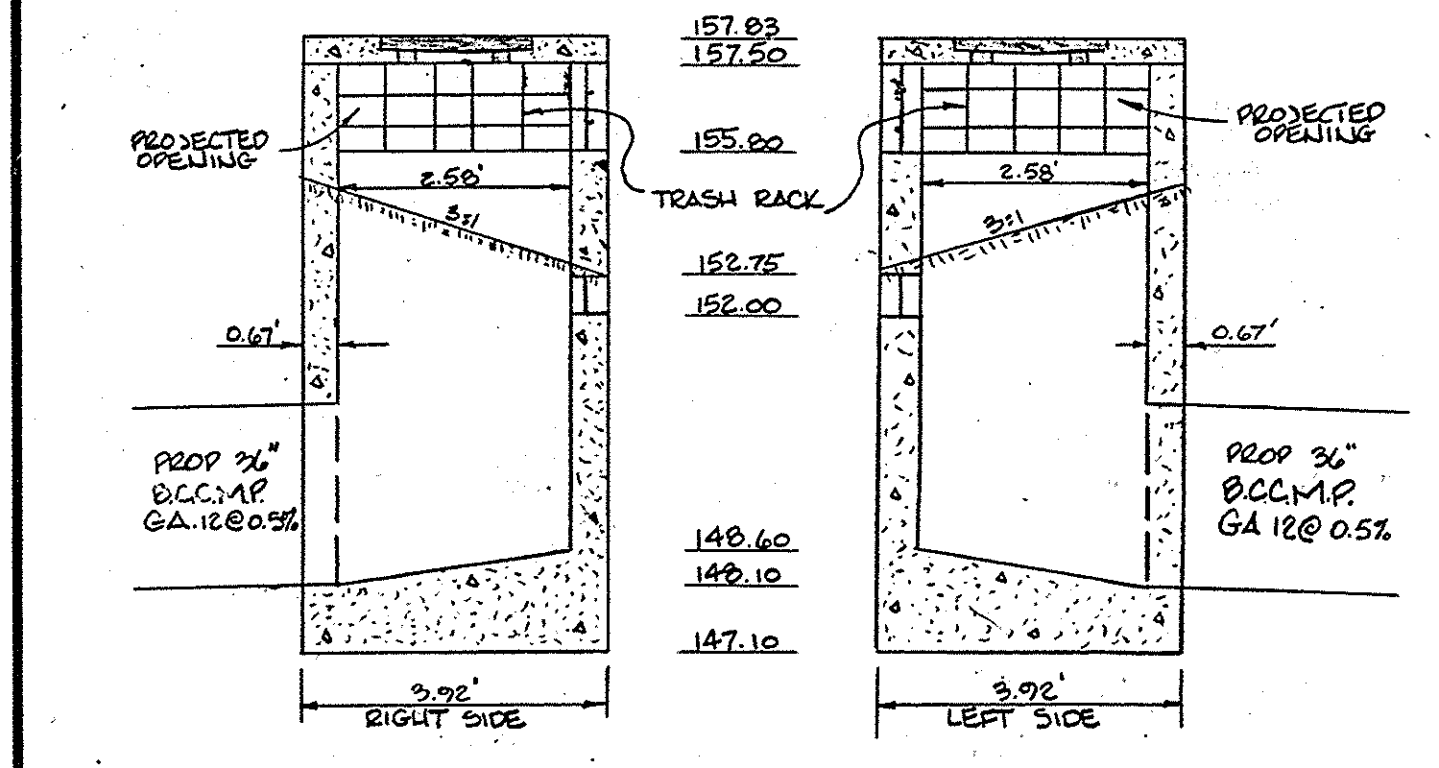
\* ALL MAINTENANCE, INSPECTION & REPAIR SHALL BE THE RESPONSIBILITY OF THE OWNER.  
\* INSPECT ALL ABOVE ITEMS AFTER EACH MAJOR RAINFALL & REPAIR IF REQUIRED.  
1. CLEAN OUT GUT  
2. CLEAN OUT TRASH  
3. CHECK WEIR CLEARANCE  
4. CHECK SLOPE STRUCTURAL IN TWO DAYS  
5. CUT GRASS  
6. CHECK STRUCTURAL INTEGRITY  
7. EVERY TWO WEEKS  
8. EVERY THREE MONTHS  
9. ONE WEEK MAXIMUM  
10. TWO DAYS

STORM WATER MANAGEMENT DATA

EXISTING CONDITIONS:		PROPOSED CONDITIONS:	
D.A. A = 3.06 Ac.	RCN = 71	D.A. B1 = 1.34 Ac.	RCN = 84
2 Yr. Storm = 3.90 cfs	10 Yr. Storm = 9.82 cfs	2 Yr. Storm = 3.25 cfs	10 Yr. Storm = 6.27 cfs
100 Yr. Storm = 16.76 cfs		100 Yr. Storm = 9.48 cfs	
D.A. B = 11.41 Ac.	RCN = 62	D.A. C1 = 11.77 Ac.	RCN = 91
2 Yr. Storm = 7.10 cfs	10 Yr. Storm = 24.99 cfs	2 Yr. Storm = 6.96 cfs	10 Yr. Storm = 24.39 cfs
100 Yr. Storm = 48.10 cfs		100 Yr. Storm = 48.02 cfs	

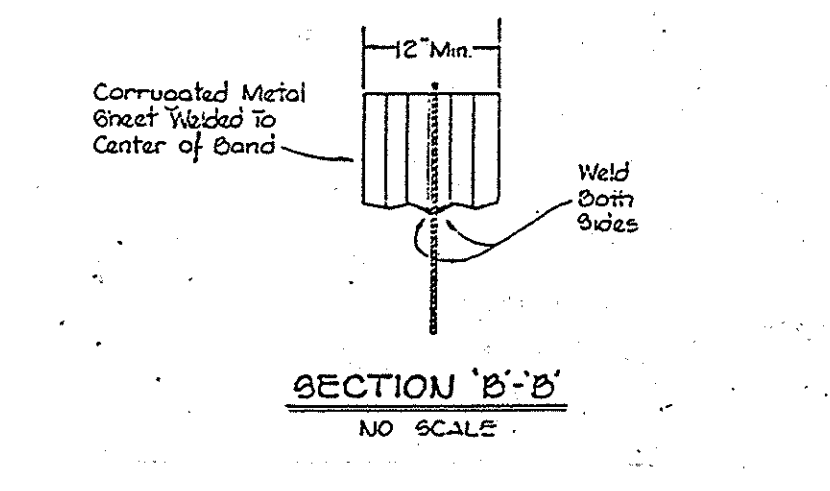


RELEASE STRUCTURE NOTES  
1. WEIR TRASH RACK SHOULD BE #4 REBAR @ 1' O.C. OR AS SHOWN  
2. SLAB THICKNESS SHOWN ARE 4" FOR THE TOP SLAB AND A MIN. 12" FOR THE BOTTOM SLAB  
3. SLAB REINFORCEMENT SHALL BE AS PER HOWARD CO. STD SPECIFICATIONS & DETAILS FOR CONSTRUCTION PRACTICE SD-4.01  
4. THIS STRUCTURE TO BE CONSTRUCTED OF REINFORCED CONCRETE.

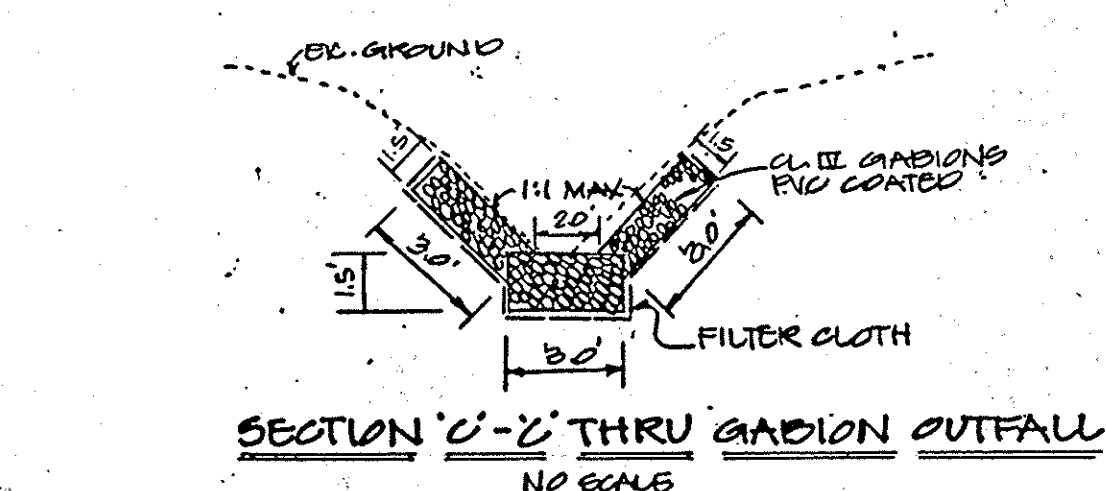


RELEASE STRUCTURE DETAIL S-1  
MODIFIED HOWARD COUNTY STD DETAIL SD-4.22

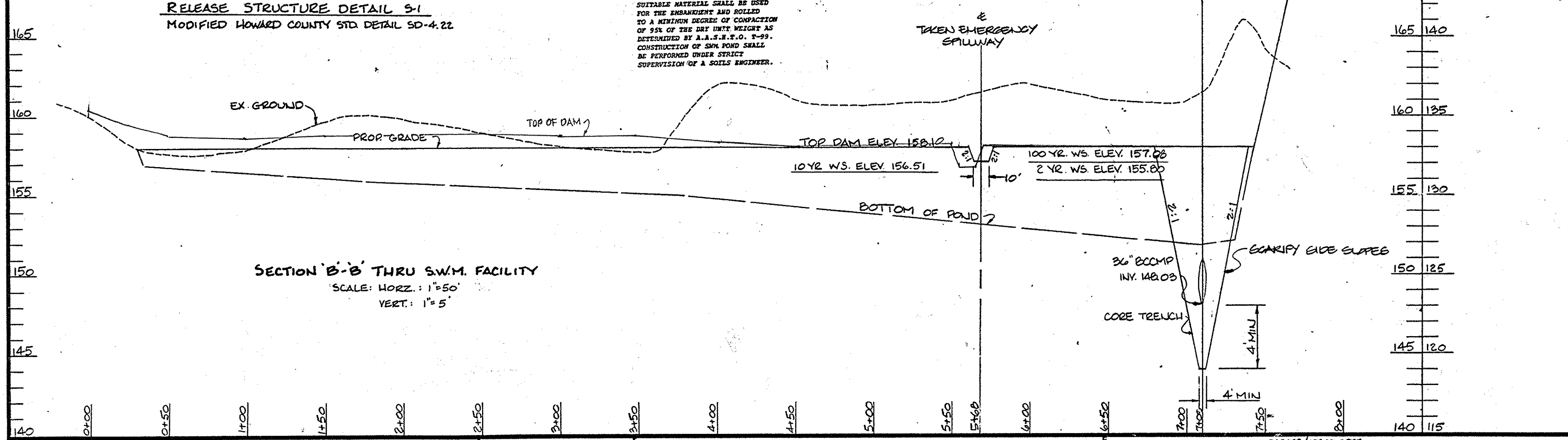
CONSTRUCTION SPECIFICATIONS  
I. SITE PREPARATION  
II. EARTH FILL  
III. STRUCTURAL REINFORCEMENT  
IV. CONCRETE  
V. STABILIZATION  
VI. CORRUGATED METAL PIPE  
VII. FILTER CLOTH  
VIII. SEDIMENT CONTROL  
IX. GARDENS



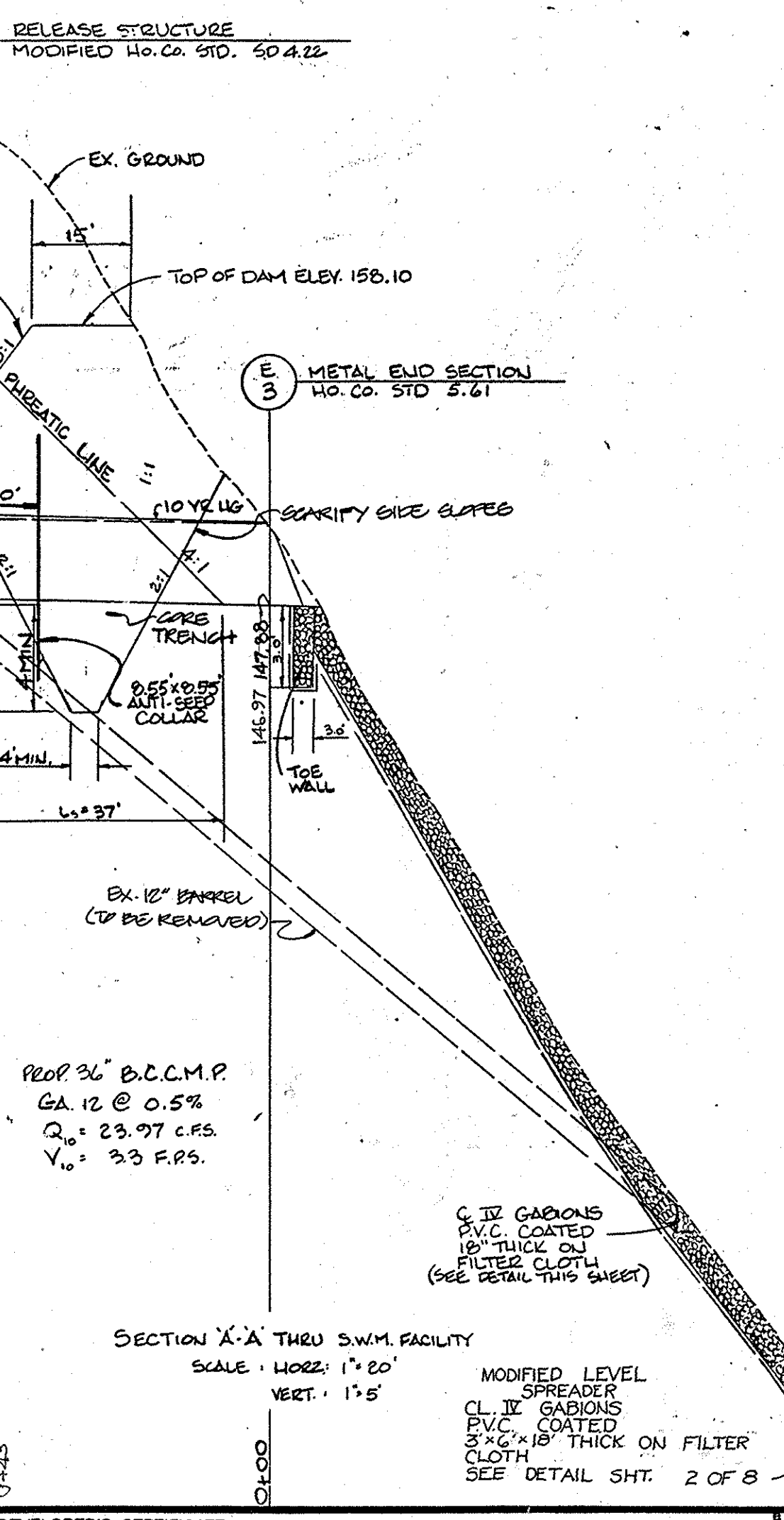
SECTION 'B-B'  
NO SCALE



SECTION 'C-C' THRU GARDEN OUTFALL  
NO SCALE

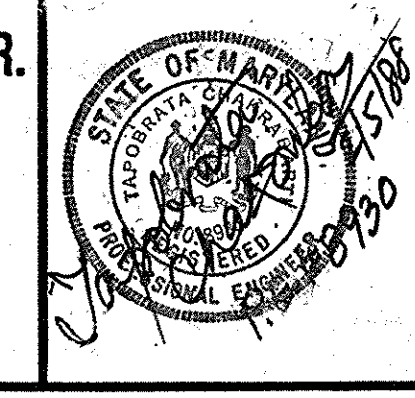


SECTION 'B-B' THRU S.W.M. FACILITY  
SCALE: HORIZ. 1" = 50' VERT. 1" = 5'



SECTION 'A-A' THRU S.W.M. FACILITY  
SCALE: HORIZ. 1" = 20' VERT. 1" = 5'

**GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.**  
CIVIL ENGINEERS & LAND SURVEYORS  
303 ALLEGHENY AVENUE  
TOWSON, MARYLAND 21204  
(301) 825-8120



ENGINEER'S CERTIFICATE:  
I CERTIFY THAT THIS PLAN FOR S.W.M. FACILITY CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENT A PRACTICAL AND WORKABLE PLAN BASED ON PERSONAL KNOWLEDGE OF THE SITE CONDITIONS THAT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT THE BEST PRACTICES OF THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE S.W.M. FACILITY WITHIN 30 DAYS OF COMPLETION.  
ENGINEER: Virginia Chazabala  
REG. NO. 8930 DATE: 2/5/88

OWNER/DEVELOPER  
**NORLONCORD LTD. PARTNERSHIP**  
901 HARRIS STREET  
Baltimore, Maryland 21202  
(301) 701-0404

DEVELOPER'S CERTIFICATE  
I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DETERMINED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE S.W.M. FACILITY WITHIN 30 DAYS OF COMPLETION.  
DEVELOPER: R.D. MacClure  
DATE: FEB 5, 1988  
TITLE: CIVIL ENGINEER

DESIGNED BY: R.D. MacClure  
DRAWN BY: R.D. MacClure  
CHECKED BY: R.D. MacClure

STORMWATER MANAGEMENT PROFILES & DETAILS  
**ROUTE ONE HUNDRED BUSINESS PARK**  
BLOCK 'D' PARCEL 'D-1'  
A RE-DEVELOPMENT OF BLOCK 'D', PARCEL 'D-1'  
HOWARD CO. MD.  
TAX MAP 20  
PLAT NO. 1011  
SCALE: AS SHOWN  
AS-BUILT 9/15/88  
ELECT. DISTRICT: 1  
ZONING: M-2  
FILE NO. F-87-72  
DATE: FEBRUARY 4, 1988  
SHEET 3 OF 12  
SDP 88-141

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT & MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

APPROVED: [Signature] 7/22/88 DATE

APPROVED: [Signature] 7/22/88 DATE  
HOWARD SOIL CONSERVATION DISTRICT

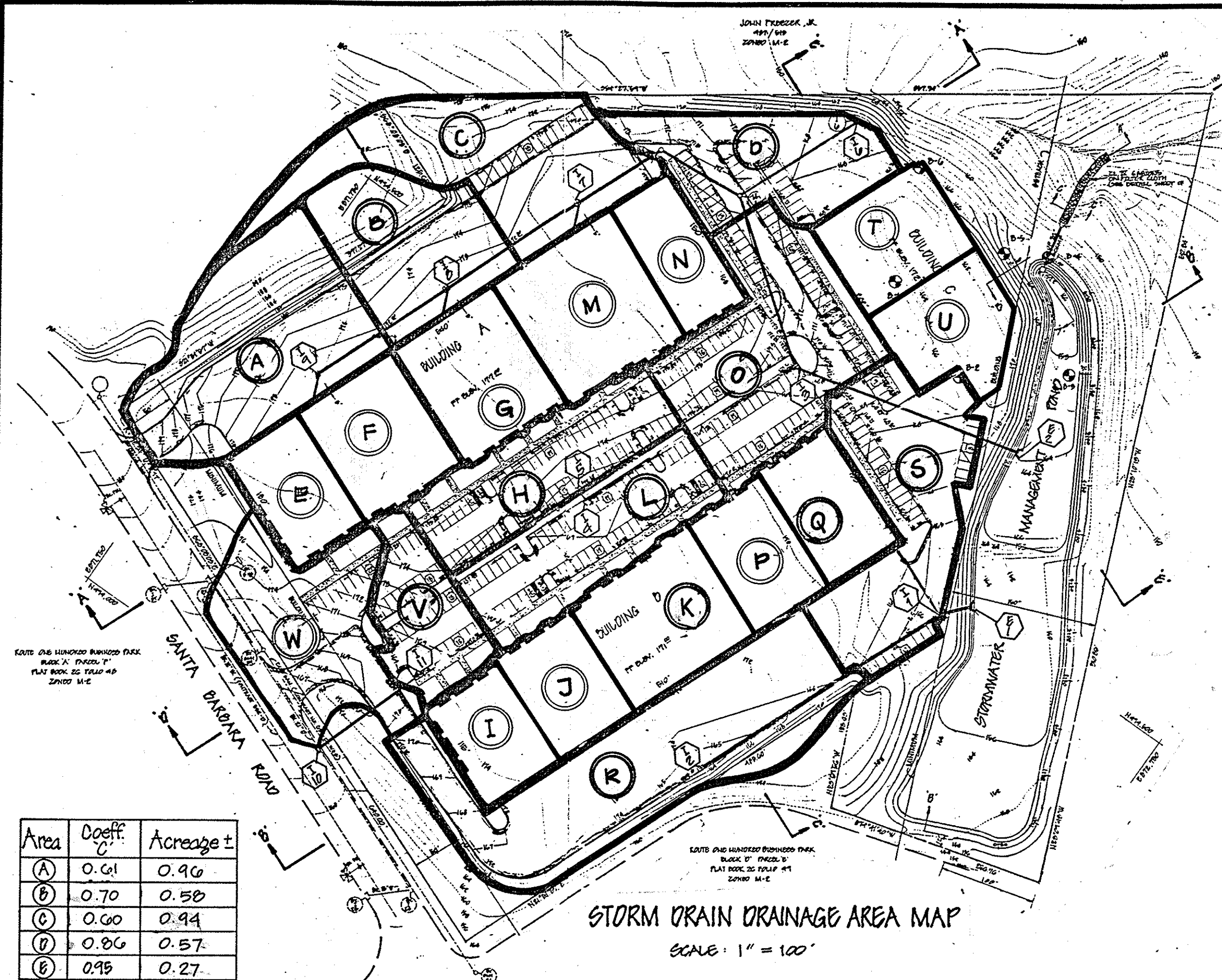
APPROVED: [Signature] 8-2-88 DATE  
COUNTY HEALTH OFFICER  
HOWARD COUNTY HEALTH DEPARTMENT.

APPROVED: [Signature] 8-11-88 DATE  
DIRECTOR  
COUNTY OFFICE OF PLANNING & ZONING.

APPROVED: [Signature] 7-28-88 DATE  
DIRECTOR  
CHIEF BUREAU OF ENGINEERING

APPROVED  
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE 6-10-88





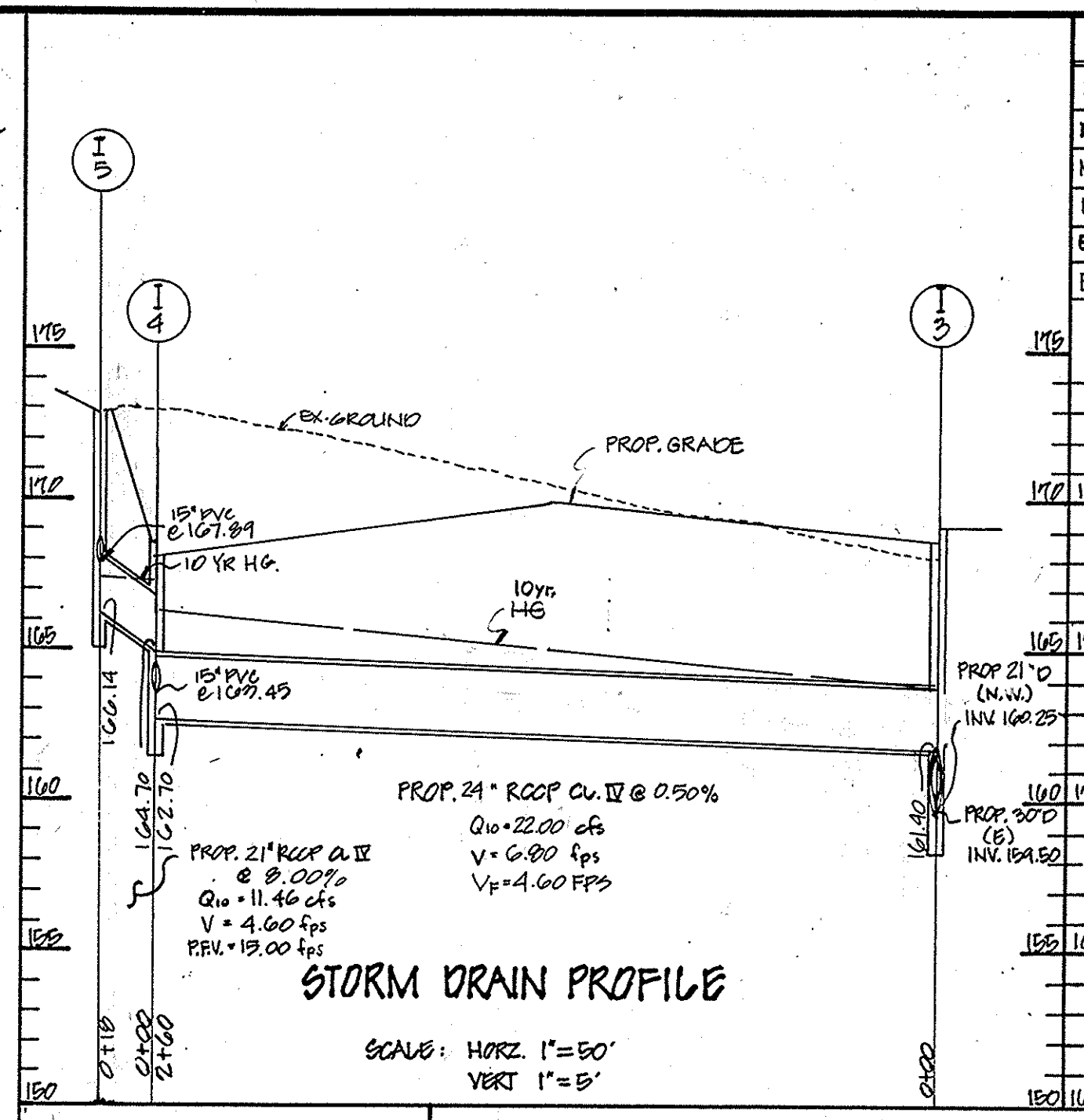
Area	Coeff. C	Acage ±
A	0.61	0.96
B	0.70	0.50
C	0.60	0.94
D	0.86	0.57
E	0.95	0.27
F	0.95	0.37
G	0.95	0.38
H	0.83	0.58 ±
I	0.95	0.24
J	0.95	0.25
K	0.75	0.43
L	0.77	0.65
M	0.75	0.40 ±
N	0.95	0.31
O	0.82	0.88
P	0.95	0.27

AREA	COEFF. C	AC ±
R	0.95	0.28
S	0.77	1.28
T	0.95	0.81
U	0.95	0.32
V	0.80	0.39
W	0.82	0.88

STORM DRAIN DRAINAGE AREA MAP  
SCALE: 1" = 100'

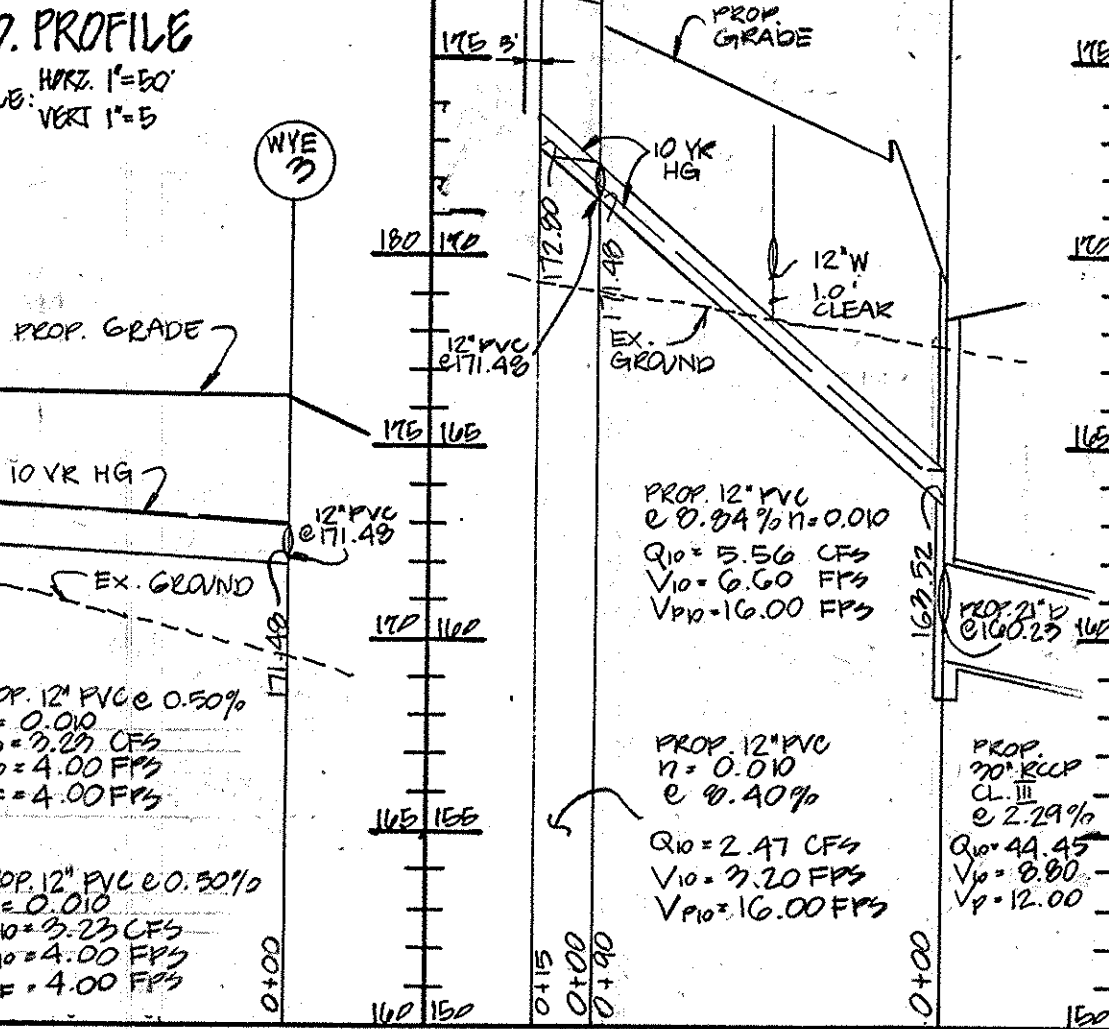
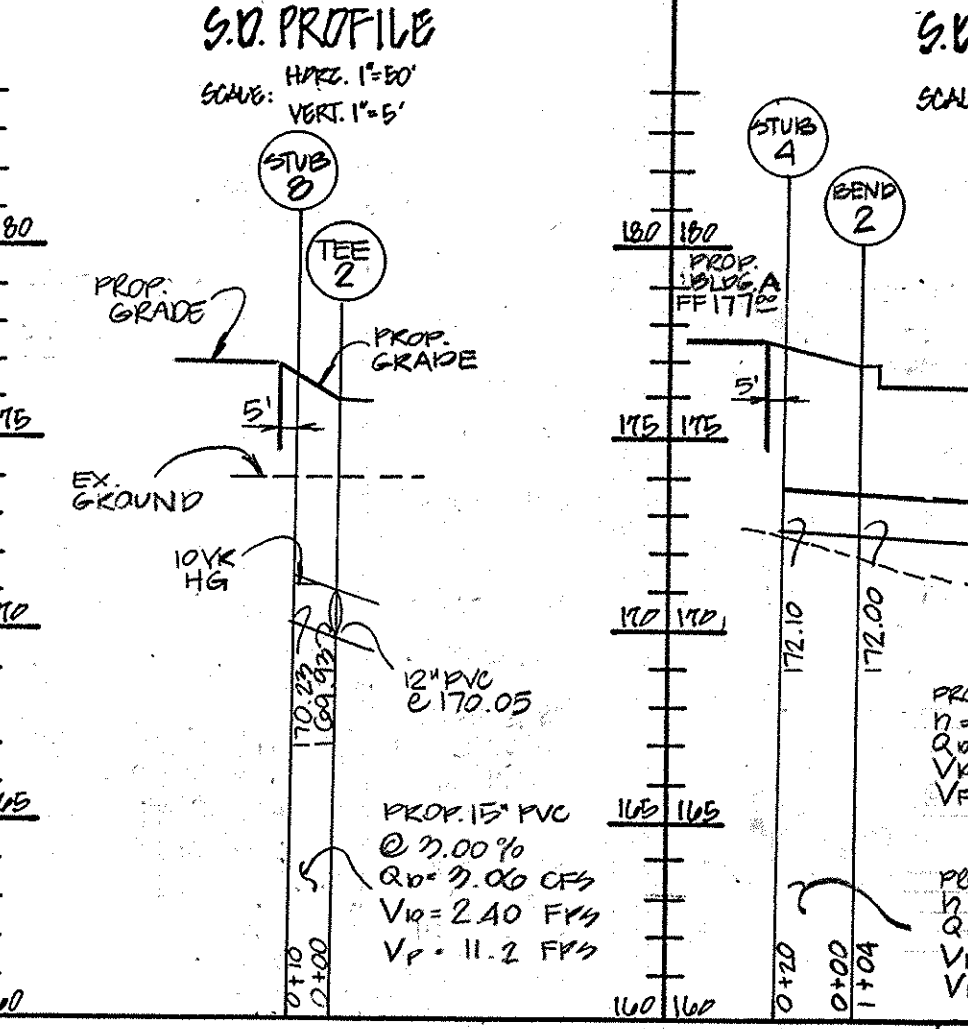
NO.	TYPE	INLET		TOP ELEV.	Q cfs	REMARKS
		INV. IN	INV. OUT			
I-1	DEVL. S' COMB	156.05	155.80	164.00*	6.04	SEE H.O.D. STD. DETAIL 4.9A
I-2	DEVL. S' COMB	---	160.00	164.75*	8.42	" " " " " "
I-3	DEVL. S' COMB	100.25	159.50	169.10*	6.12	" " " " " "
I-4	DEVL. S' COMB	104.78	162.70	168.80*	4.25	" " " " " "
I-5	DEVL. S' COMB	167.89	166.14	172.88*	4.08	" " " " " "
I-6	DEVL. S' COMB	---	168.00	167.60*	4.17	" " " " " "
I-7	DEVL. S'	165.75	165.50	172.00**	4.26	SEE H.O.D. STD. DETAIL 4.9B
I-8	DEVL. S'	167.57	167.32	172.00**	3.12	" " " " " "
I-9	DEVL. S'	---	168.62	172.00**	4.45	" " " " " "
I-10	DEVL. S' COMB	158.23	157.83	162.95*	3.57	" " " " " "
I-11	DEVL. S' COMB	---	164.50	168.70*	2.64	" " " " " "

\* TOP OF CURB ELEVATION  
\*\* TOP OF GRATE ELEVATION

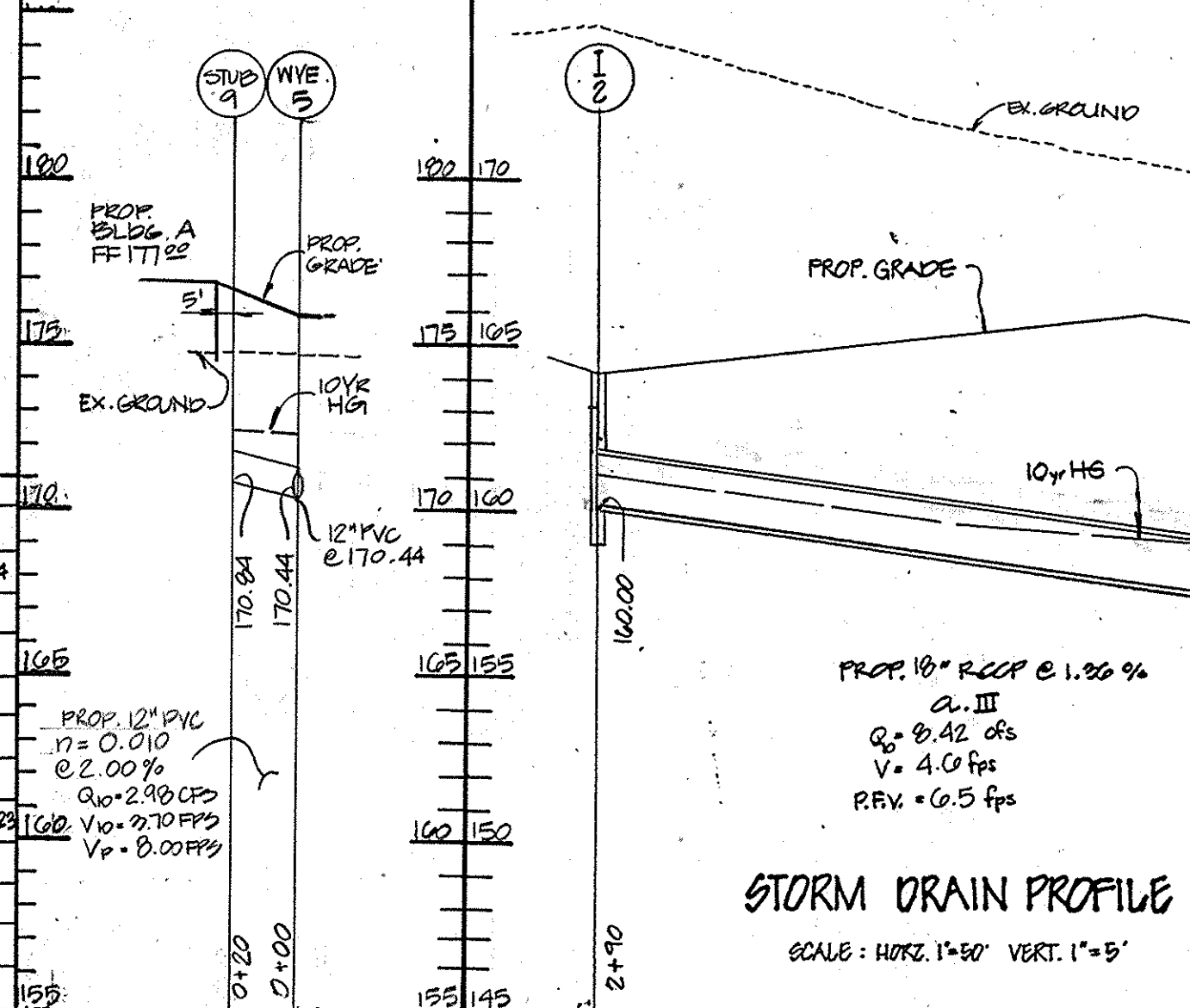


STORM DRAIN PROFILE  
SCALE: HORIZ. 1" = 50' VERT. 1" = 5'

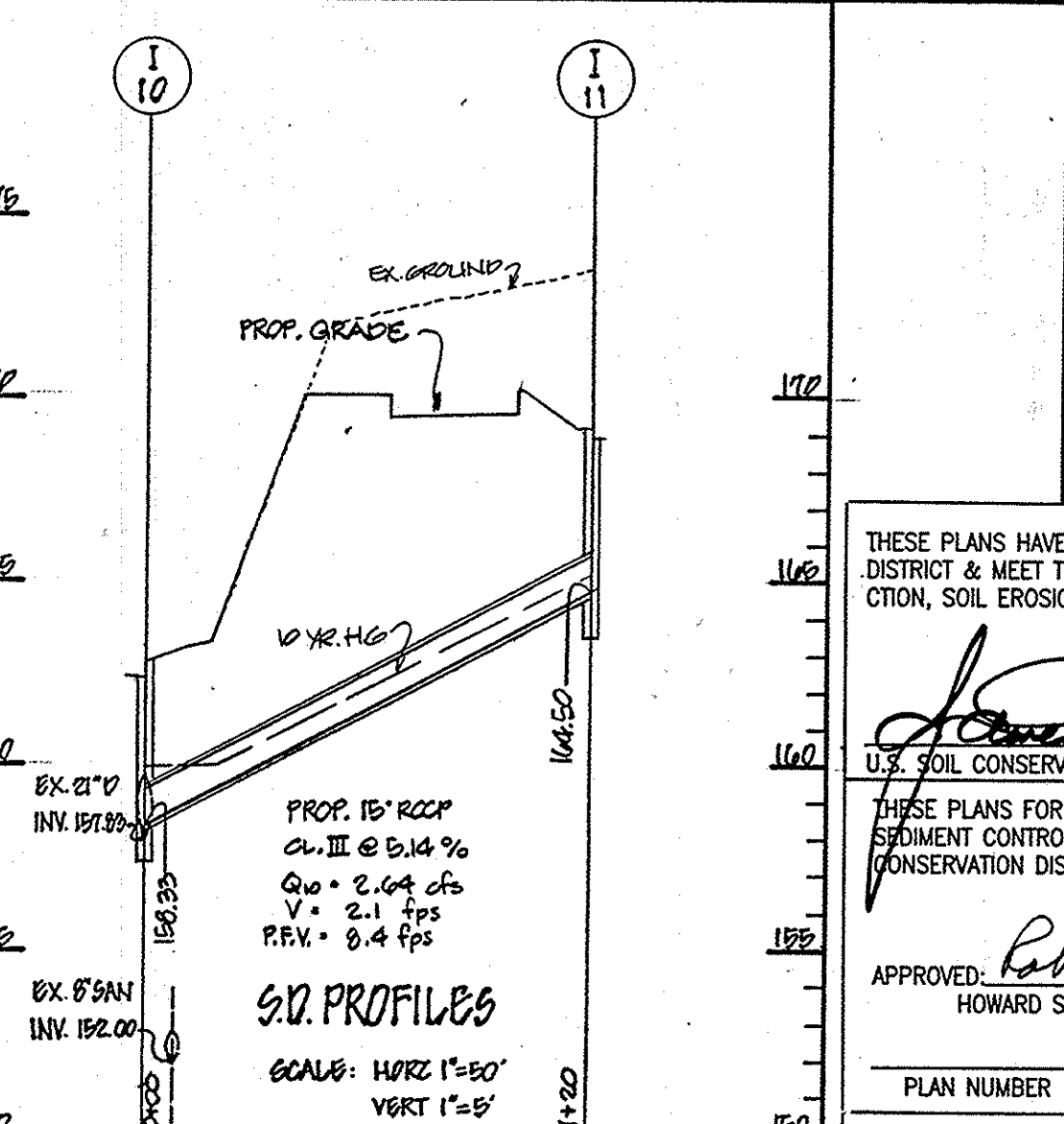
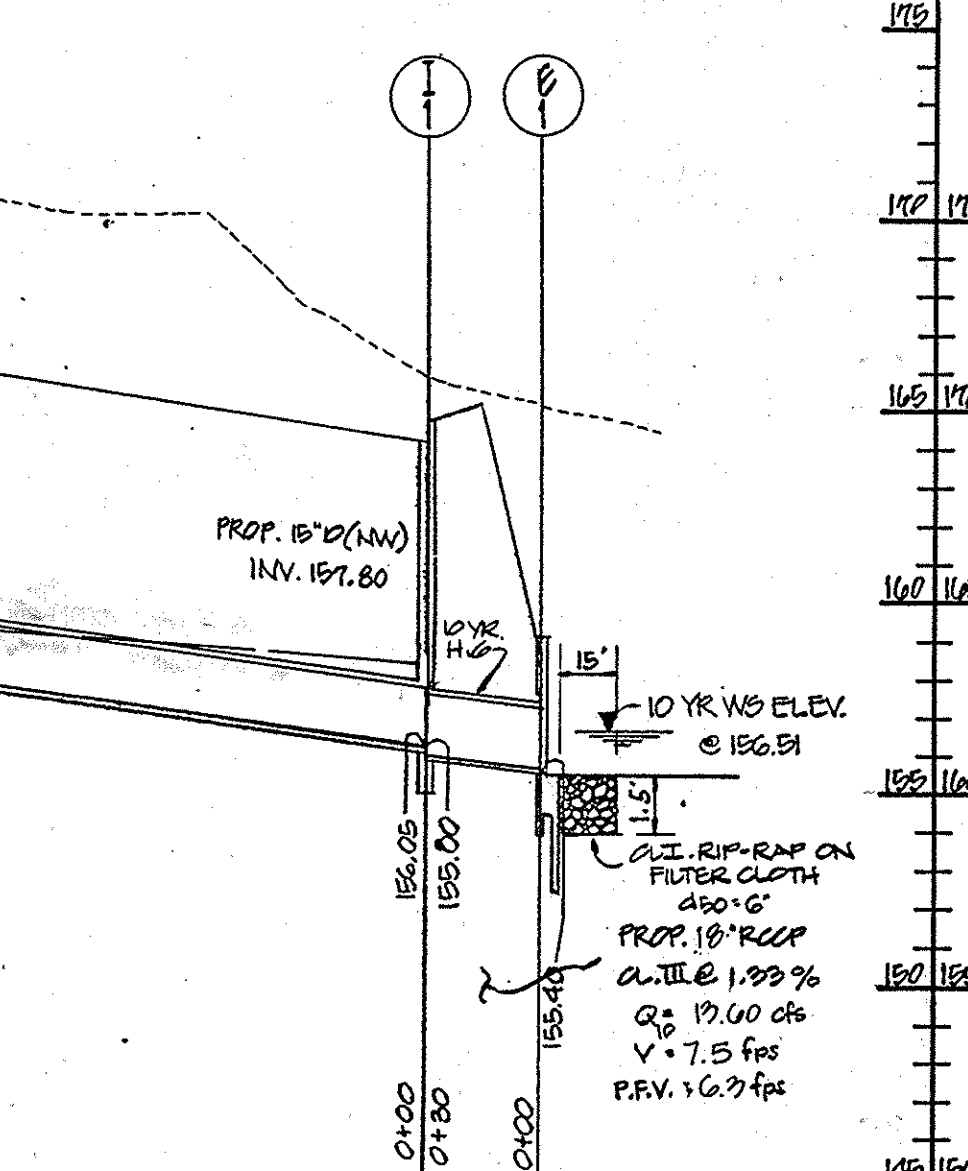
STRUCTURE SCHEDULE					
NO.	TYPE	SIZE	INV. IN	INV. OUT	REMARKS
M-1	STD. PRECAST MH	48"	162.77	162.52	H.O. CO. STD. DETAIL 6B12
M-2	STD. PRECAST MH	48"	164.04	163.04	H.O. CO. STD. DETAIL 6B12
B-1	TYPE 'A' HDWL.	18"	---	155.40	H.O. CO. STD. DETAIL 6B11
B-2	TYPE 'A' HDWL.	30"	---	164.00	H.O. CO. STD. DETAIL 6B11
E-7	CONC. END BRG.	12"	---	152.50	H.O. CO. STD. DET. 5D552



APPROVED  
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE 6-10-88



STORM DRAIN PROFILE  
SCALE: HORIZ. 1" = 50' VERT. 1" = 5'



THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT & MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

*James McCallum* 7/22/88  
U.S. SOIL CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF HOWARD SOIL CONSERVATION DISTRICT.

*Robert W. Zichner*  
APPROVED: HOWARD COUNTY CONSERVATION DISTRICT

PLAN NUMBER 7/22/88 DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT.

*James Boyle* 8-2-88  
COUNTY HEALTH OFFICER DATE

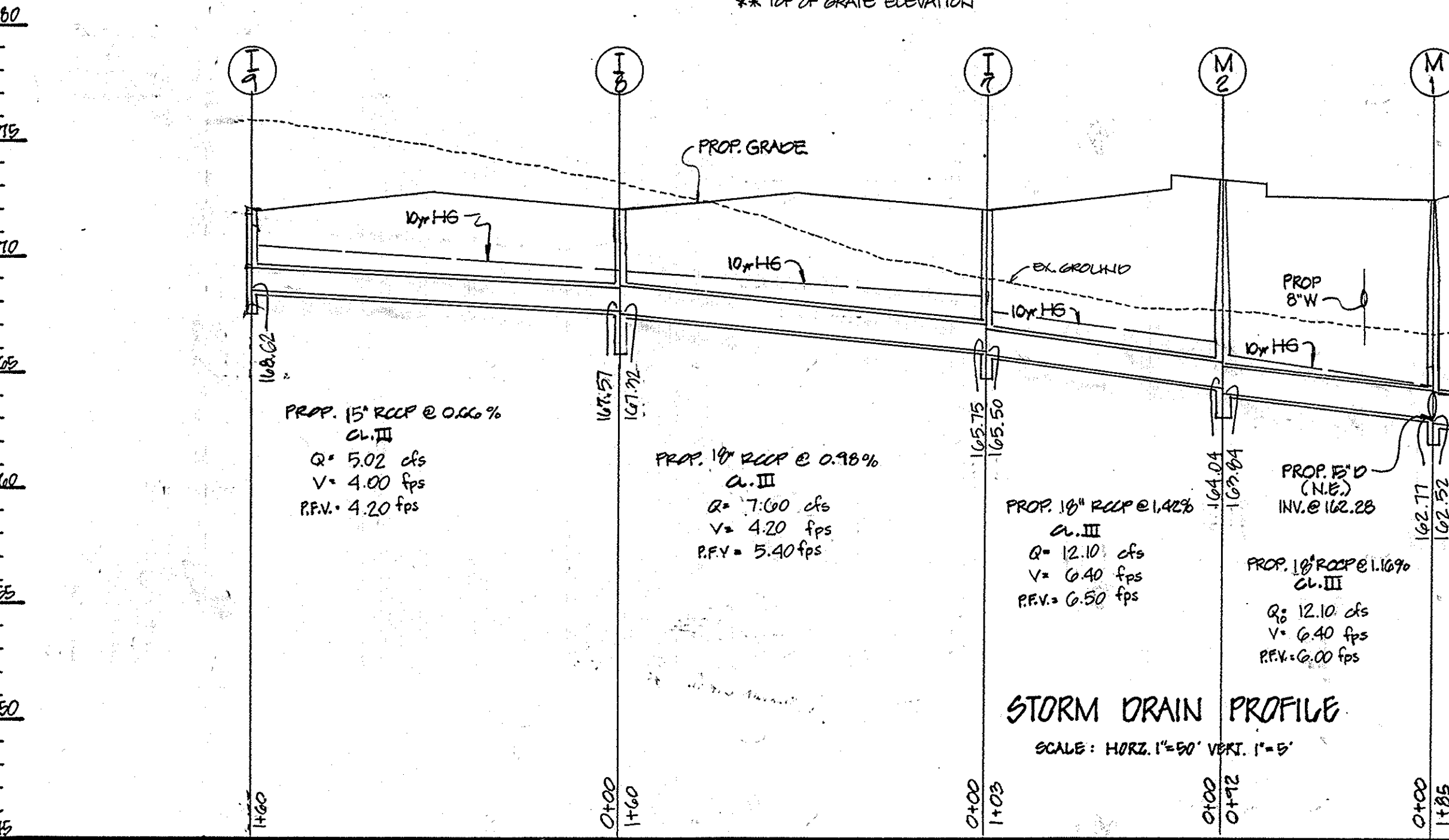
*Ullrich* 8-11-88  
DIRECTOR

*Barbara J. J. Campbell* 8-2-88  
CHIEF DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT DATE

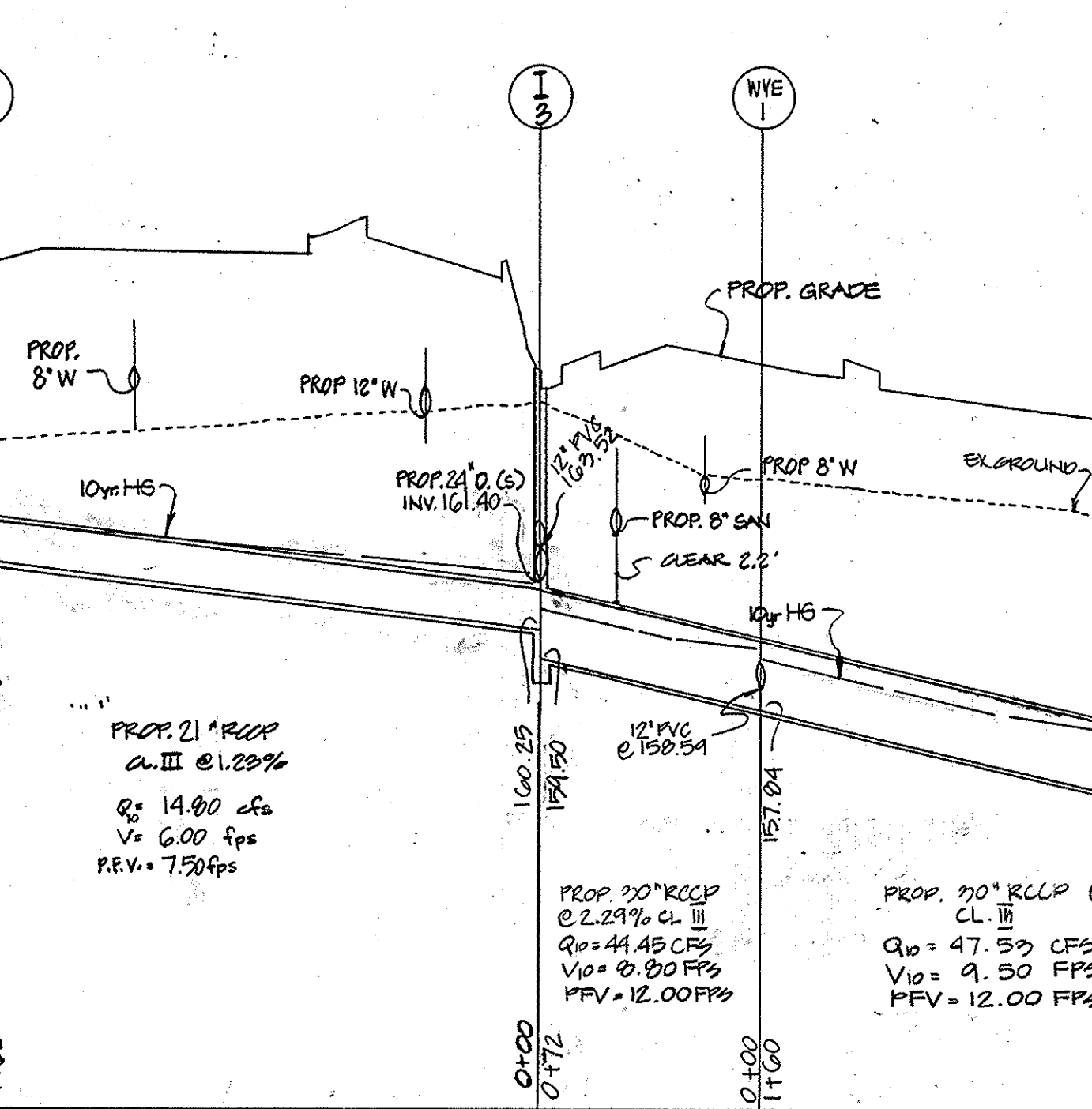
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

*James J. J. J.* 7/28/88  
DIRECTOR

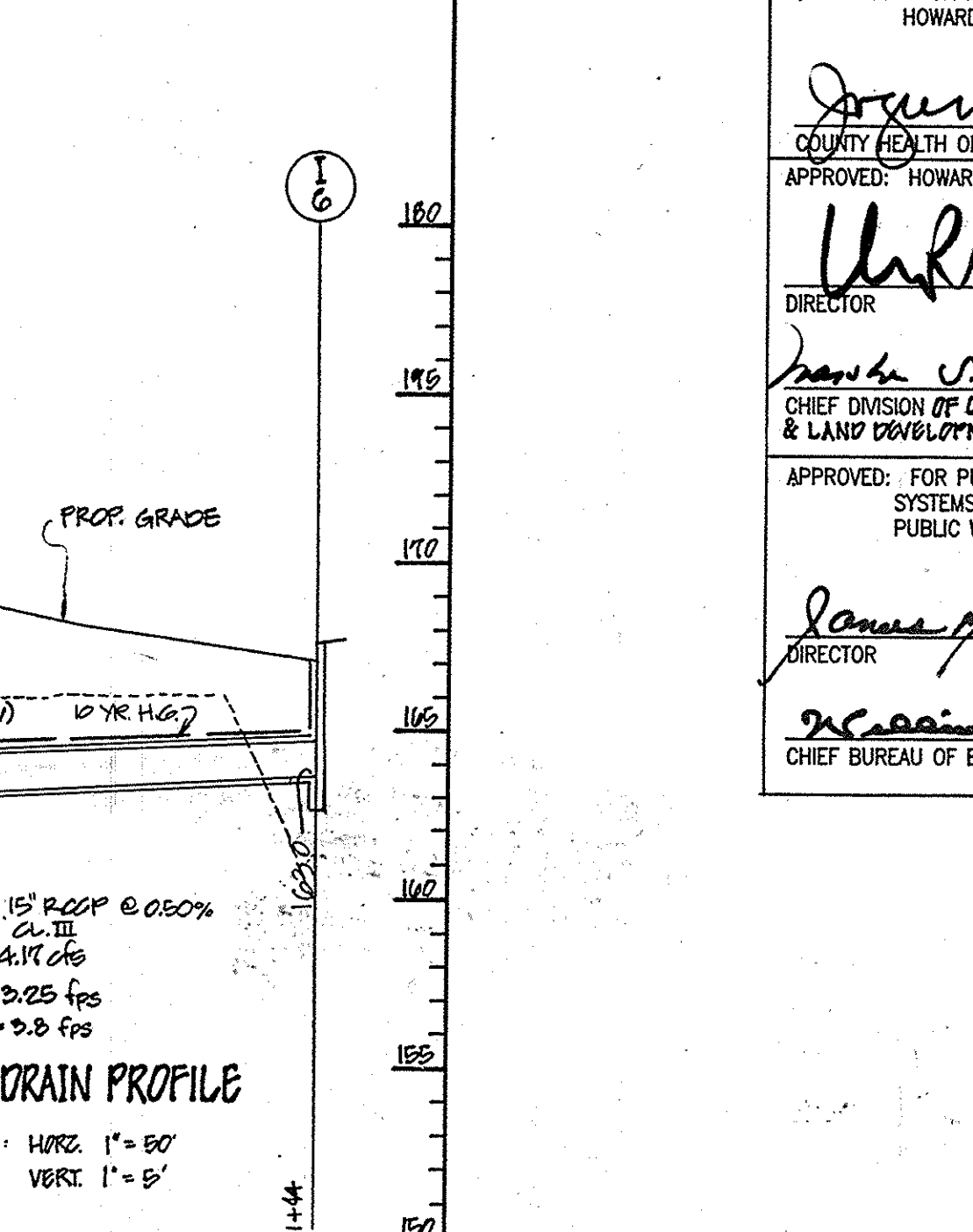
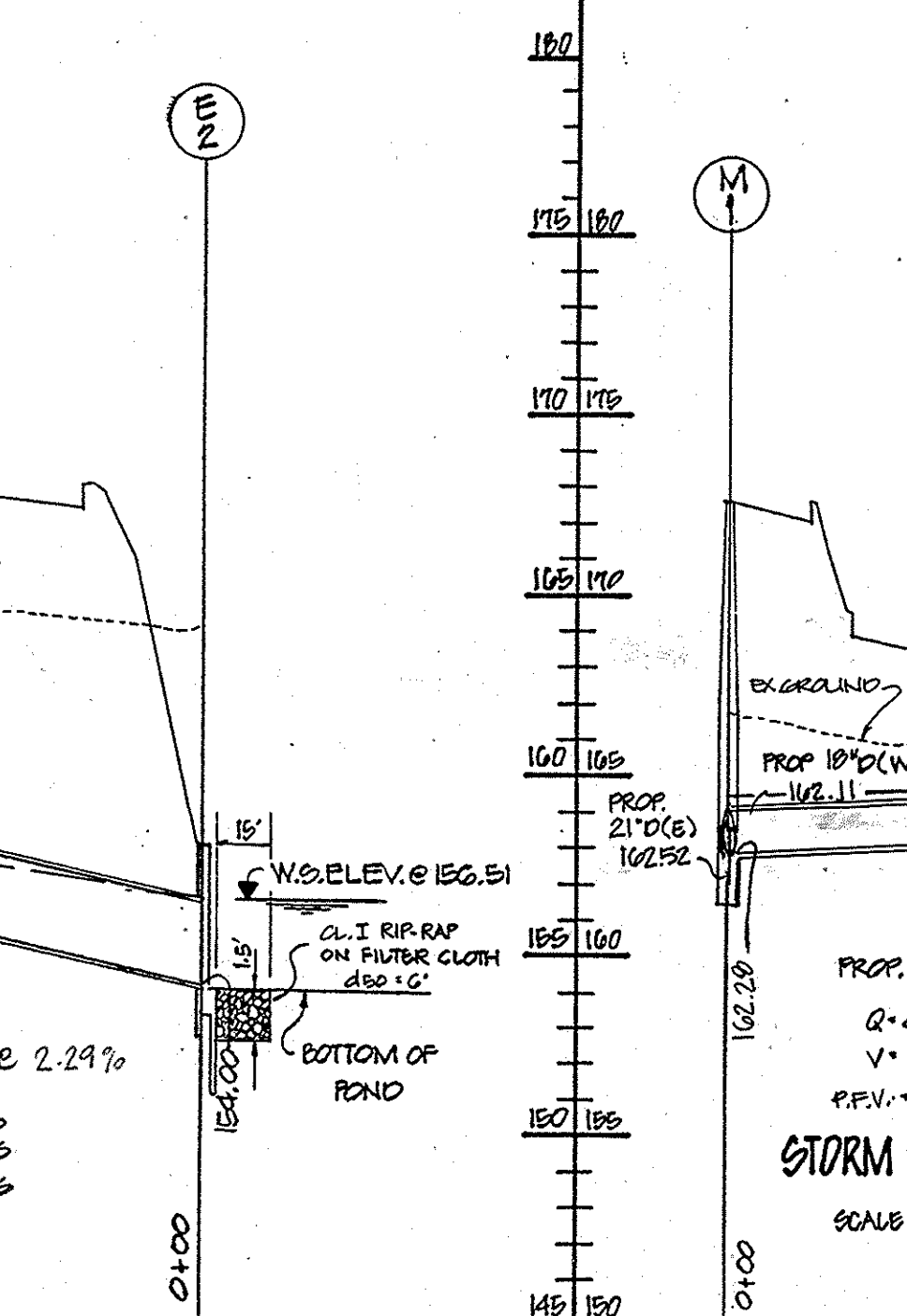
*Michael S. J. J.* 7-28-88  
CHIEF BUREAU OF ENGINEERING DATE



STORM DRAIN PROFILE  
SCALE: HORIZ. 1" = 50' VERT. 1" = 5'



STORM DRAIN PROFILE  
SCALE: HORIZ. 1" = 50' VERT. 1" = 5'



STORM DRAIN PROFILE  
SCALE: HORIZ. 1" = 50' VERT. 1" = 5'

**GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.**  
CIVIL ENGINEERS & LAND SURVEYORS  
303 ALLEGHENY AVENUE  
TOWSON, MARYLAND 21284  
(301) 825-8120

ENGINEER'S CERTIFICATE:  
I CERTIFY THAT THIS PLAN FOR S.W.M. FACILITY CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENT A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SITE CONDITIONS THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE S.W.M. FACILITY WITHIN 30 DAYS OF COMPLETION.  
ENGINEER: *George William Stephens, Jr.*  
REG. NO. 12345 DATE: 8/25/88

OWNER/DEVELOPER  
**NORCONCORD LTD. PARTNERSHIP**  
401 HARGRAVE STREET  
BALTIMORE, MARYLAND 21202  
(301) 701-2414

DEVELOPER'S CERTIFICATE:  
I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE S.W.M. FACILITY WITHIN 30 DAYS OF COMPLETION.  
DEVELOPER: *R.D. MacCallum*  
NAME: R.D. MACCALLUM DATE: 8/25/88  
TITLE: GEN'L. PARTNER.

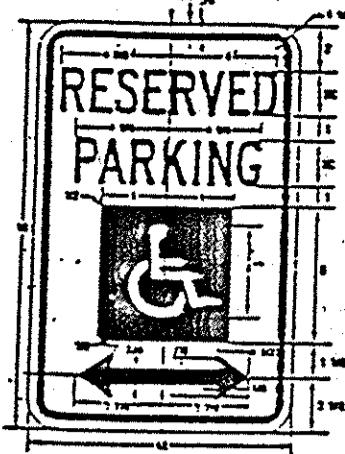
DESIGNED: *Michael S. J. J.*  
DRAWN: *Michael S. J. J.*  
CHECKED: *Michael S. J. J.*  
REVISIONS:  
1. STORM DRAIN CHANGED BLDG. A & B ROOF DRAIN TO POINT 10/26/88

ROUTE ONE HUNDRED BUSINESS PARK  
BLOCK 'D' PARCEL 'D-1'  
A RESUBDIVISION OF BLOCK 'D', PARCEL 'D'

HOWARD CO. MD.  
TAX MAP 330  
ZONING M-2  
PLAT NO. 7011  
SCALE: AS SHOWN

SHEET 4 OF 12  
SDP 88-141





GREEN GREEN LETTERS AND BORDER  
WHITE SYMBOL  
OLIVE BLUE BACKGROUND  
WHITE BACKGROUND

STANDARD R7-8  
RESERVE PARKING  
SIGN

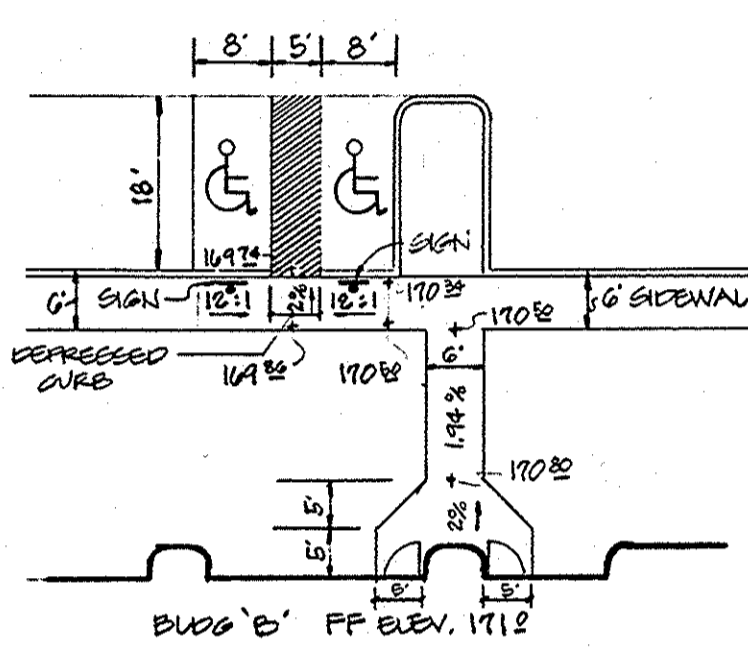


50 Fine Sign

Sign to utilize an aluminum blank 6" x 12" x 0.060 inch thick with two gage post mounting holes.

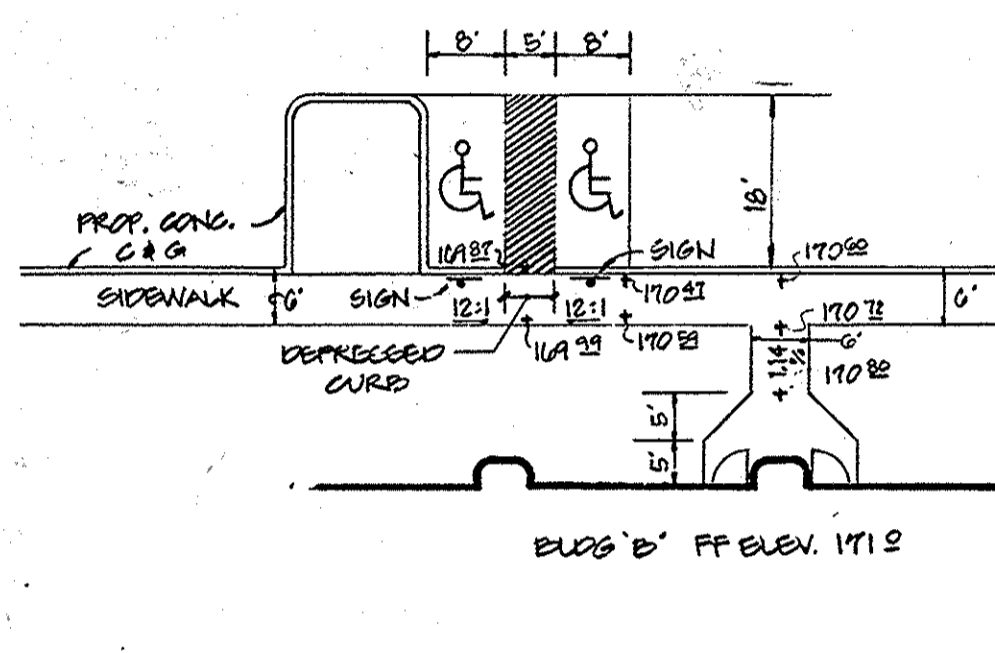
The text and border shall be standard green to match that on R7-8 and the background shall be reflective white. Text shall be in 3" characters.

Sign shall be mounted directly below the standard R7-8 reserved parking for handicapped sign. The bottom edge shall be no less than 7 feet above ground. If the sign is placed against a building, structure, or other structure where vehicle or pedestrian traffic is not obstructed the bottom edge of sign shall be at least 6 feet and not more than 10 feet above ground.



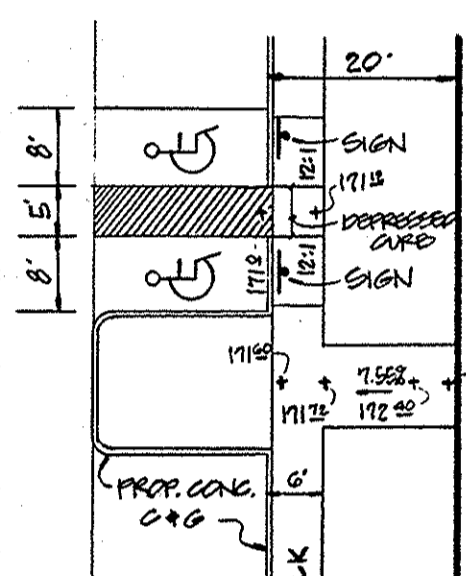
SCALE: 1" = 20"

1



SCALE: 1" = 20"

2

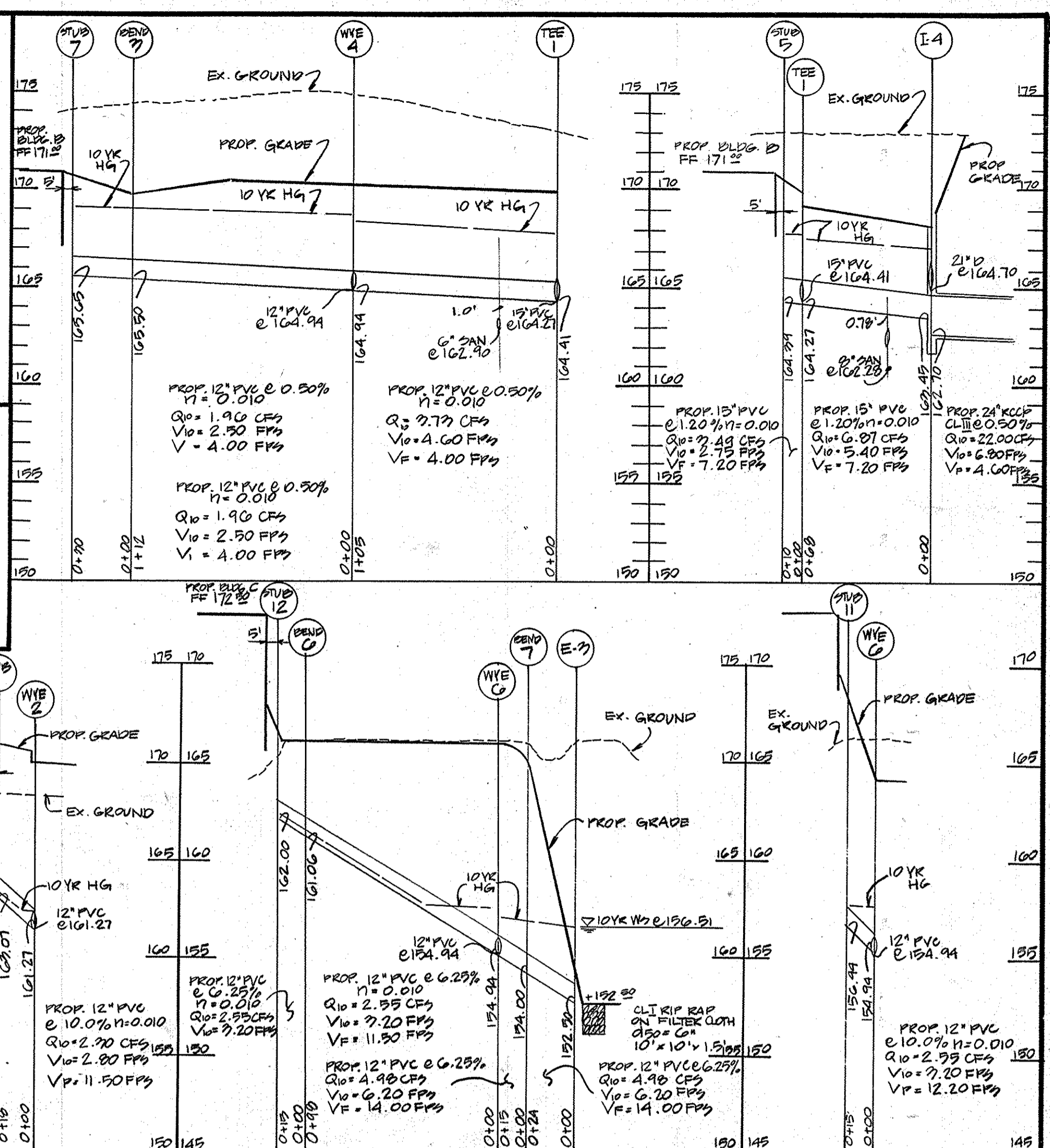
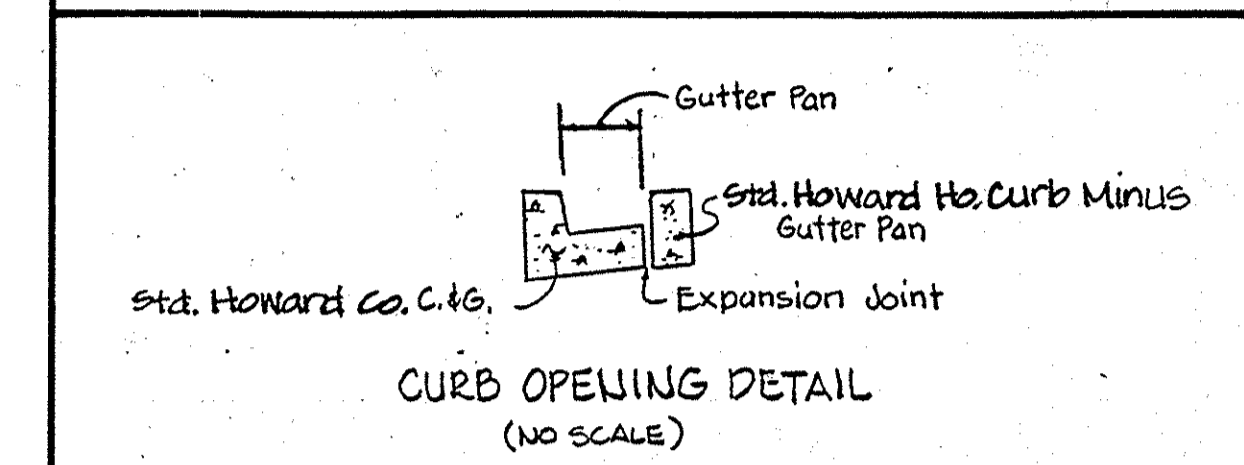
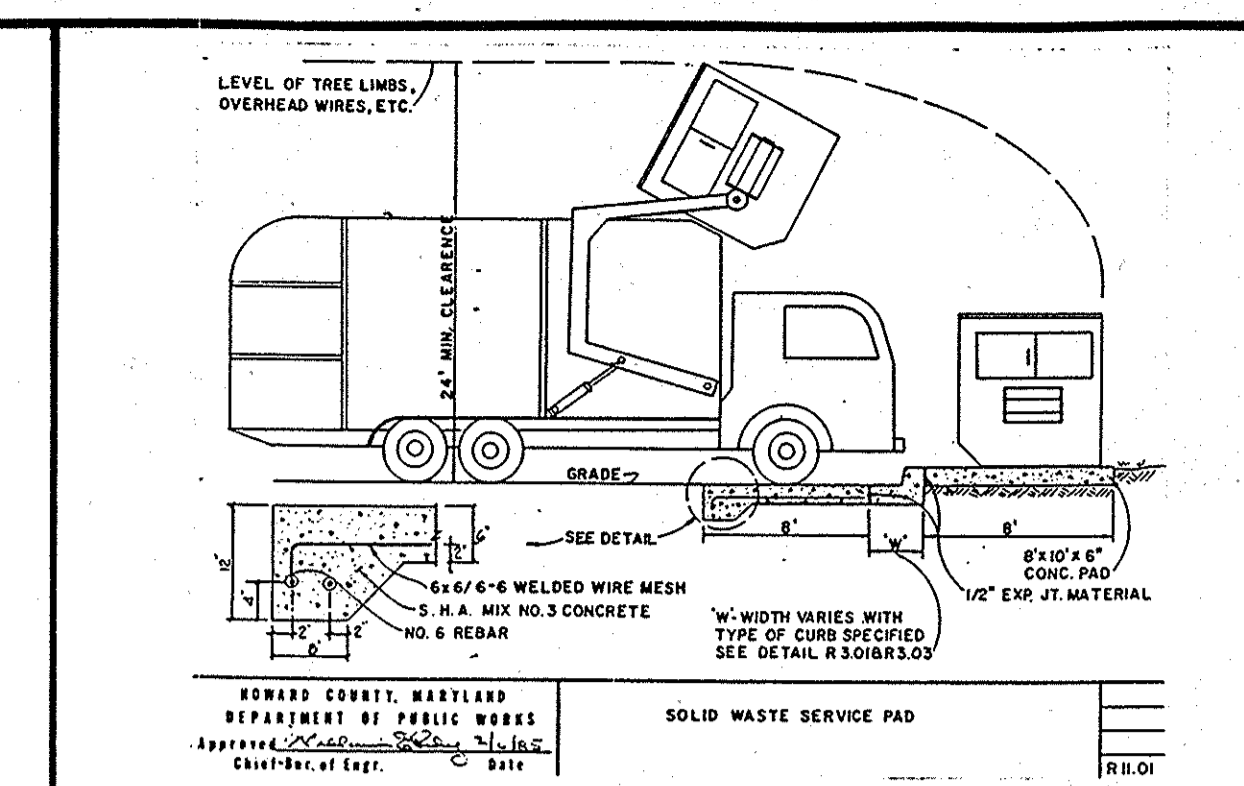


SCALE: 1" = 20"

3

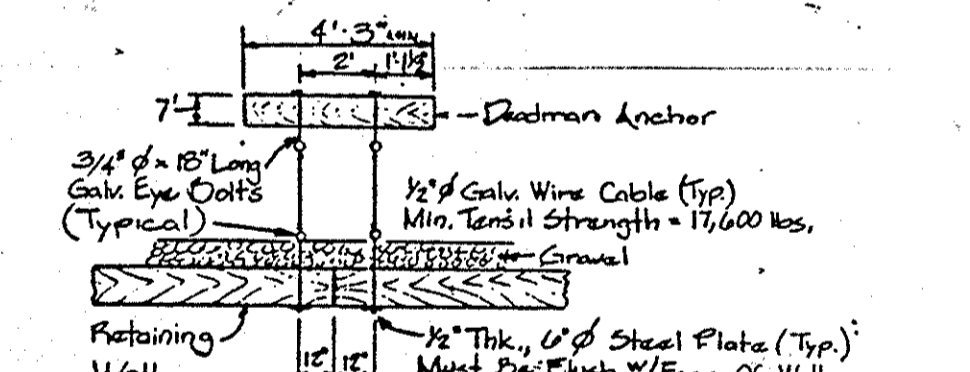
HANDICAPPED PARKING DETAILS 1 THRU 3

SCALE: AS SHOWN

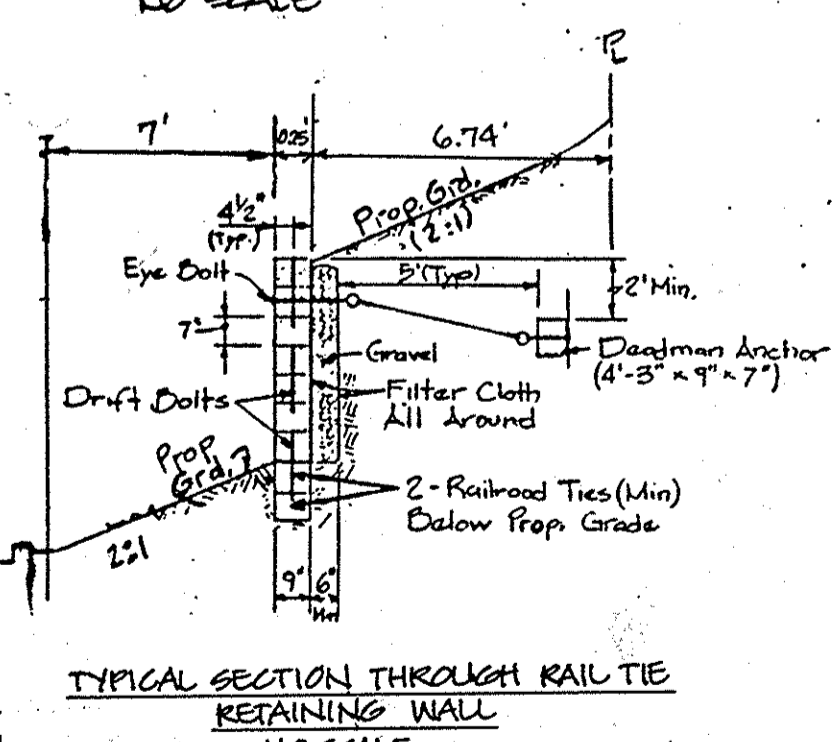


SPECIFICATIONS FOR TIMBER CRIBBING

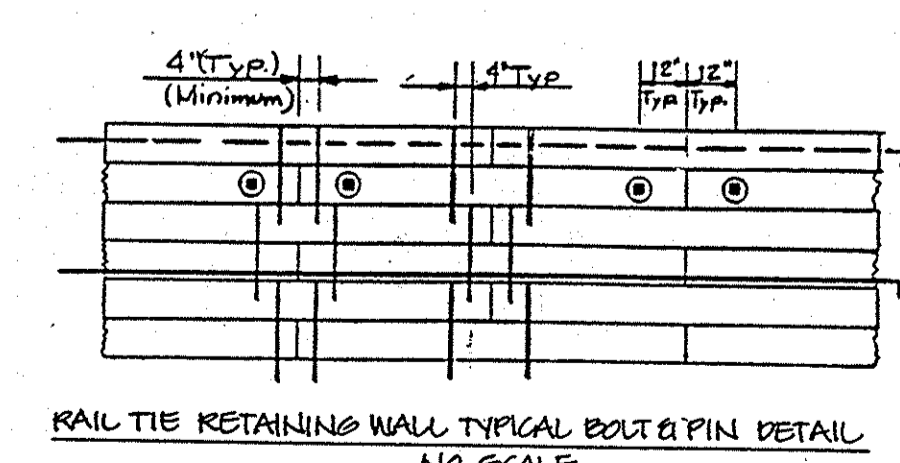
- MATERIAL**  
Timber Used For Cribbing Shall Be Railroad Ties, Pressure Treated Decks, or Lumber. The Lumber Shall Conform to A.W.P.A. P1. All Framing Shall Be Done In A Workmanlike Manner. The Lumber Shall Be Free From Knots, Splits, and Other Defects. All Spacing Framing And Cuts Shall Receive A Through Coating Of Concrete Oil.
- INSTALLATION**  
(A) Foundation: The Foundation For The Crib Shall Be Firm And As Uniform As Possible And Shall Be Approved By The Engineer Before Any Cribbing Is Placed. The Foundation Shall Be Sloped At Right Angles To The Face Of The Finished Crib.  
(B) Ties: The Ties In The Base Tier And In Alternate Tiers Above The Base Shall Be A Minimum Length Of 8'-0" Except As Shown. Joints In Each Tier Shall Be Staggered With Joints In Adjacent Tiers.  
(C) Lumber: Lumber Cuts Shall Be Spaced Not More Than 8'-0" Center To Center In Any Horizontal Tier. The Vertical Spacing Between Anchor Cables In The Same Vertical Plane Shall Be As Shown On The Drawings. Deadman Anchor (Railroad Tie) Shall Be Tied To The Cribbing According To Details Shown On The Drawings.  
(D) Fastenings: Each Successive Tier Of Cribbing Shall Be Drifted To The One Tier Which It Rests On. Each Tier Shall Be Laid On A Minimum Of Two Standard Railing Ties. The Ties Shall Be Used Of Sufficient Length To Extend Through Two (2) Tiers And Not Less Than 4 Inches Into The Tiers. The Cribbing Shall Be Connected As Shown On The Plan. All Ties Shall Be Drilled With 3/8" Holes For Pins.
- FILLING**  
Approved Fill Material Of Crushed Stone, Gravel, Or Other Course Granular Material, Well Graded From A Maximum Size Of 4 inches down Shall Be Placed In Such A Manner As To Provide A Maximum Of Voids. Loose Stones May Be Used If Carefully Enclosed. All Vegetable Matter Shall Be Excluded From The Filling Material. Clay Or Material Having A Large Percentage Of Clay Shall Not Be Used As Fill.



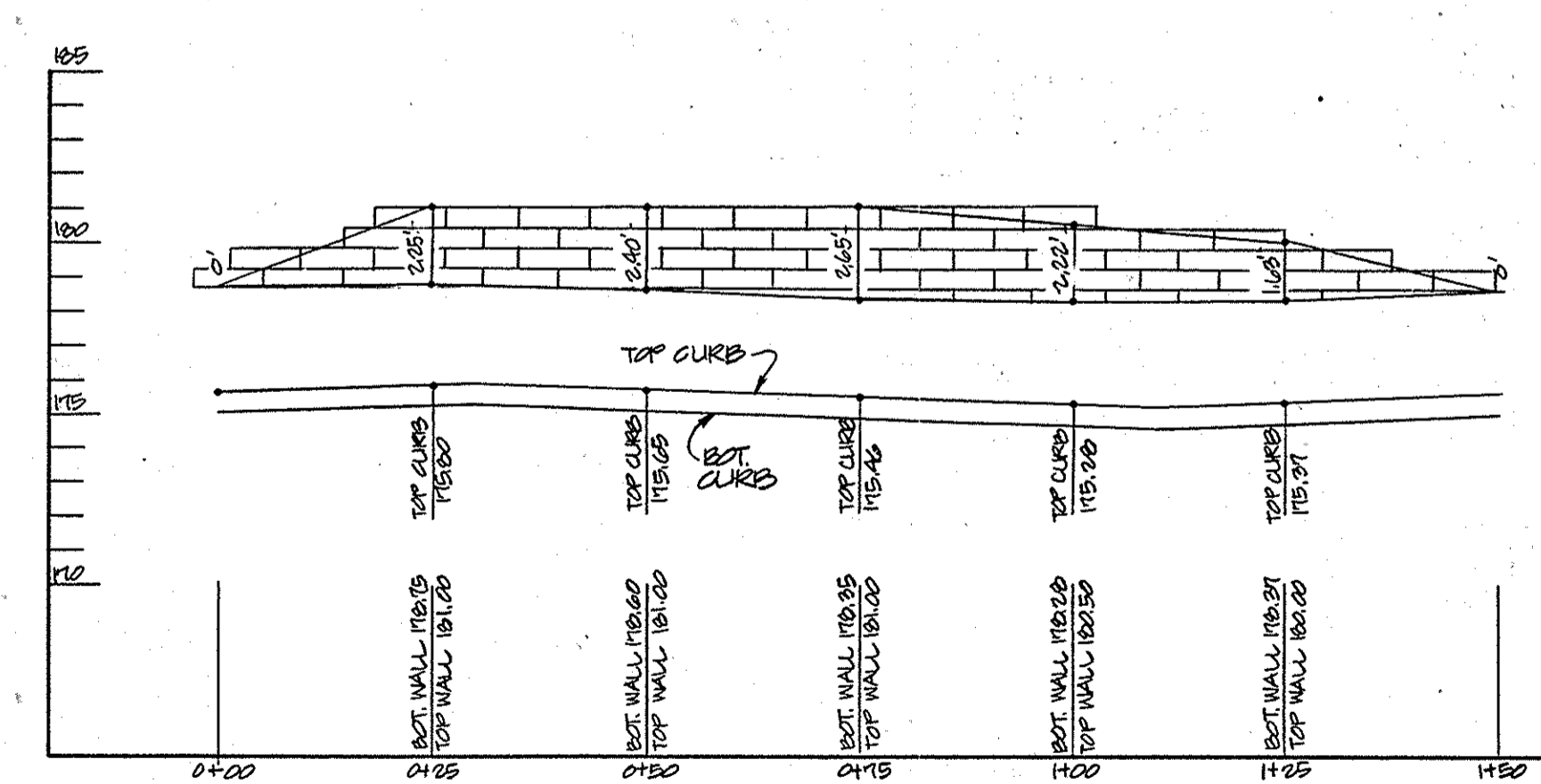
RAIL TIE RETAINING WALL DEADMAN ANCHOR DETAIL NO SCALE



TYPICAL SECTION THROUGH RAIL TIE RETAINING WALL NO SCALE

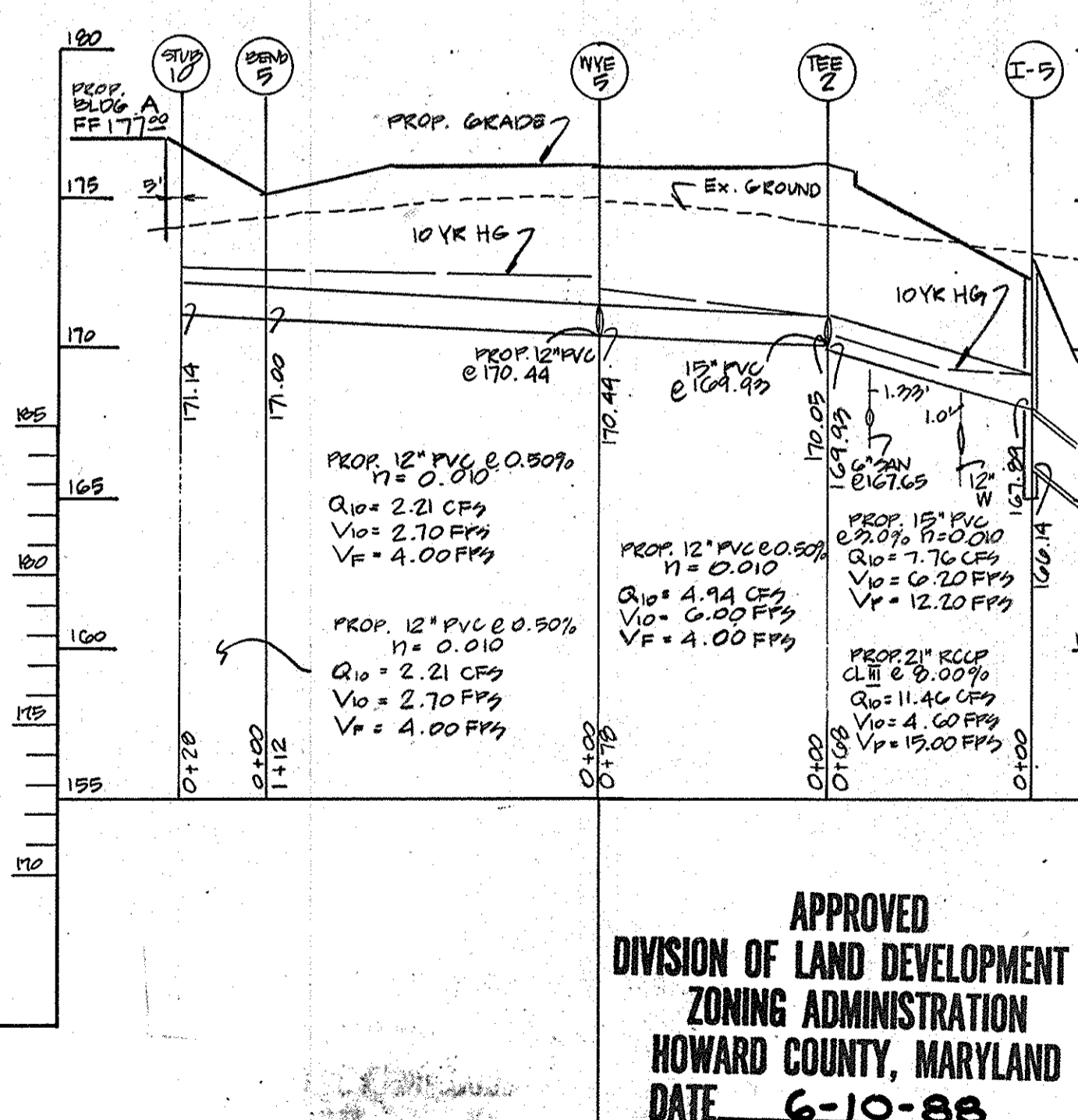


RAIL TIE RETAINING WALL TYPICAL BOLT & PIN DETAIL NO SCALE



PROFILE PROPOSED RETAINING WALL

SCALE: HORIZ. 1" = 20' VERT. 1" = 5'



THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT & MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

*James M. Helms* 7/22/88  
U.S. SOIL CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF HOWARD SOIL CONSERVATION DISTRICT.

*Robert J. Fisher* 7/22/88  
APPROVED: HOWARD SOIL CONSERVATION DISTRICT DATE

PLAN NUMBER

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT.

*Joseph A. Bogler* 8-2-88  
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING.

*Ulrich* 8-11-88  
DIRECTOR DATE

*Janice J. Langley*  
CHIEF DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT

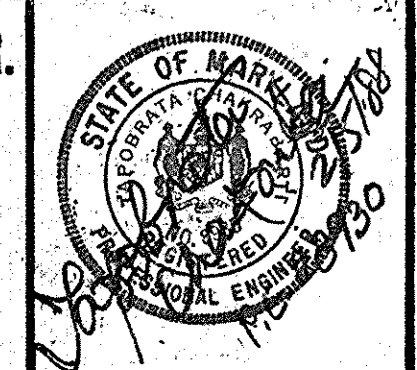
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

*James M. Helms* 7/28/88  
DIRECTOR DATE

*William S. Ray* 7-29-88  
CHIEF BUREAU OF ENGINEERING DATE

APPROVED  
DIVISION OF LAND DEVELOPMENT &  
ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE 6-10-88

**GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.**  
CIVIL ENGINEERS & LAND SURVEYORS  
303 ALLEGHENY AVENUE  
TOWSON, MARYLAND 21204  
(301) 825-8120



ENGINEER'S CERTIFICATE:  
I CERTIFY THAT THIS PLAN FOR S.W.M. FACILITY CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENT A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SITE CONDITIONS THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE S.W.M. FACILITY WITHIN 30 DAYS OF COMPLETION.

ENGINEER: *George William Stephens, Jr.*  
REG. NO. 18930 DATE: 7/25/88

OWNER/DEVELOPER  
**NORCONCORD LTD. PARTNERSHIP**  
101 HARBORE STREET  
BALTIMORE, MARYLAND 21202  
(301) 787-0414

DEVELOPER'S CERTIFICATE  
I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE S.W.M. FACILITY WITHIN 30 DAYS OF COMPLETION.

DEVELOPER: *Ed MacCuaig*  
NAME: ED MACCUAIG TITLE: GEN'L. PARTNER  
DATE: 7/25/88

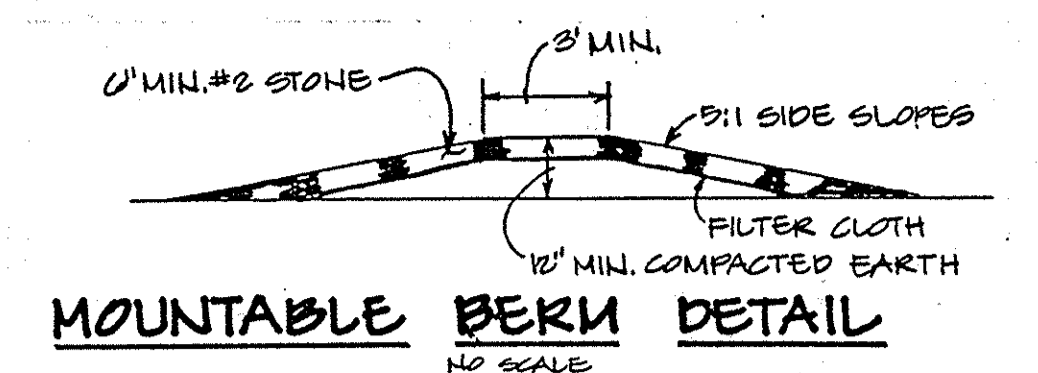
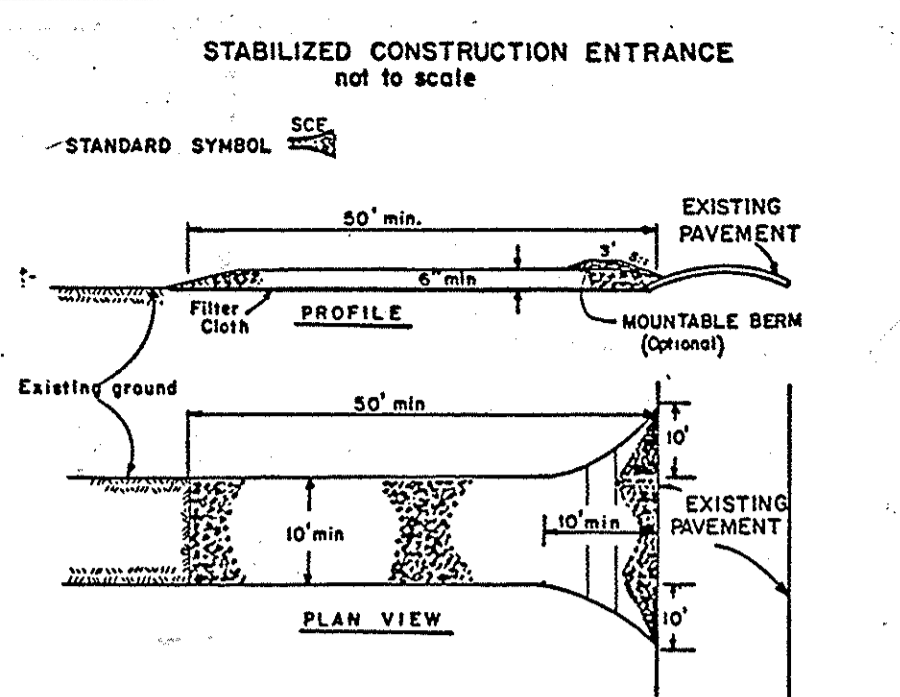
REVISIONS  
1. STORM DRAINS CHANGED FROM 4" TO 6" ROOF DRAINS TO FRONT  
10/26/88

PROFILES & DETAILS  
**ROUTE ONE HUNDRED BUSINESS PARK**  
BLOCK 'D' PARCEL 'D-1'  
(A RESUBDIVISION OF BLOCK 'D', PARCEL 'D')  
HOWARD CO., MD.  
TAX MAP NO. 98  
SUB. MAP NO. 101F  
SCALE: AS SHOWN  
SECTION DISTRICT: 1  
EX. ZONING: M-2  
PUB. MAP NO. 97-72  
DATE: FEBRUARY 9, 1988  
SHEET 5 OF 12

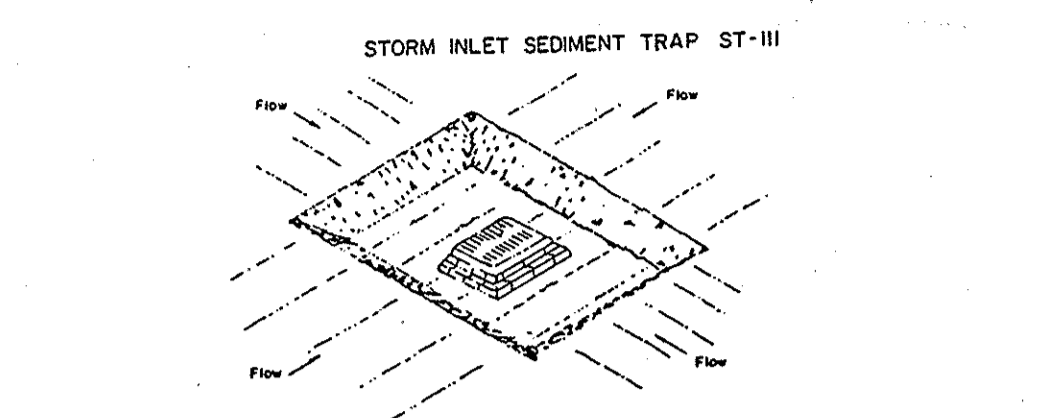








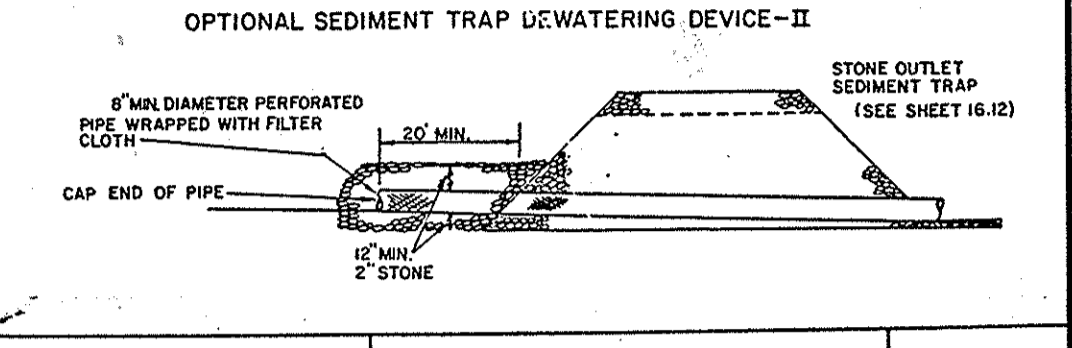
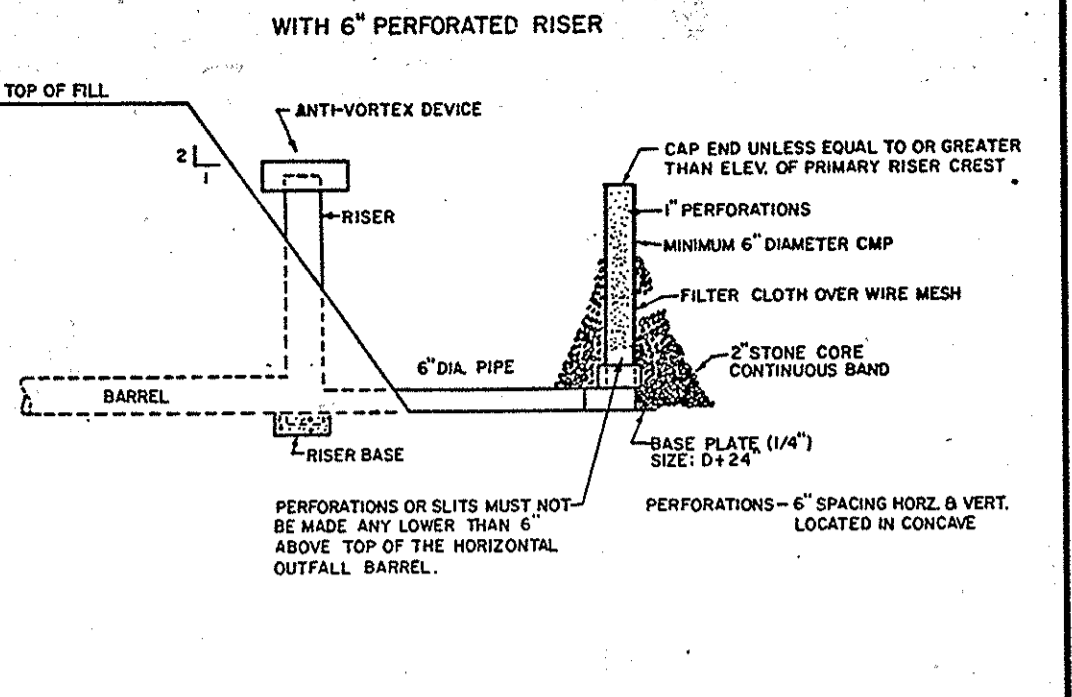
- CONSTRUCTION SPECIFICATIONS**
- Stone Size - Use 2" stone, or reclaimed or recycled concrete equivalent.
  - Length - As required, but not less than 50 feet (except on a simple residence lot where a 30 foot minimum length would apply).
  - Thickness - Not less than six (6) inches.
  - Width - The 100' foot minimum, but not less than the full width at points where ingress or egress occurs.
  - Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a simple family residence lot.
  - Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 2:1 slopes will be permitted.
  - Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and sprays and/or cleanout of any material used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
  - Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
  - Periodic inspection and needed maintenance shall be provided after each rain.



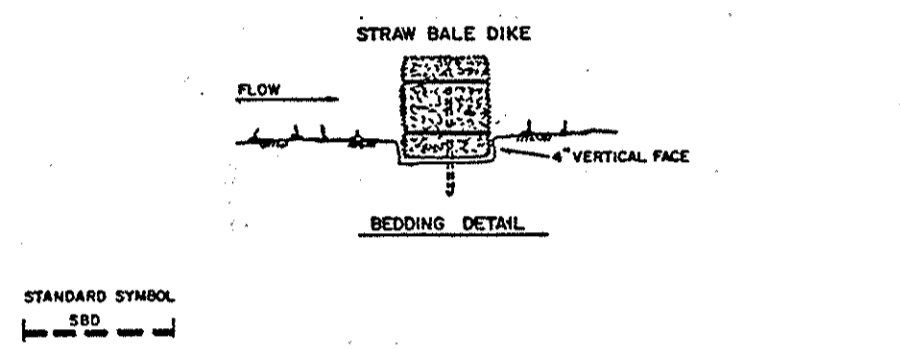
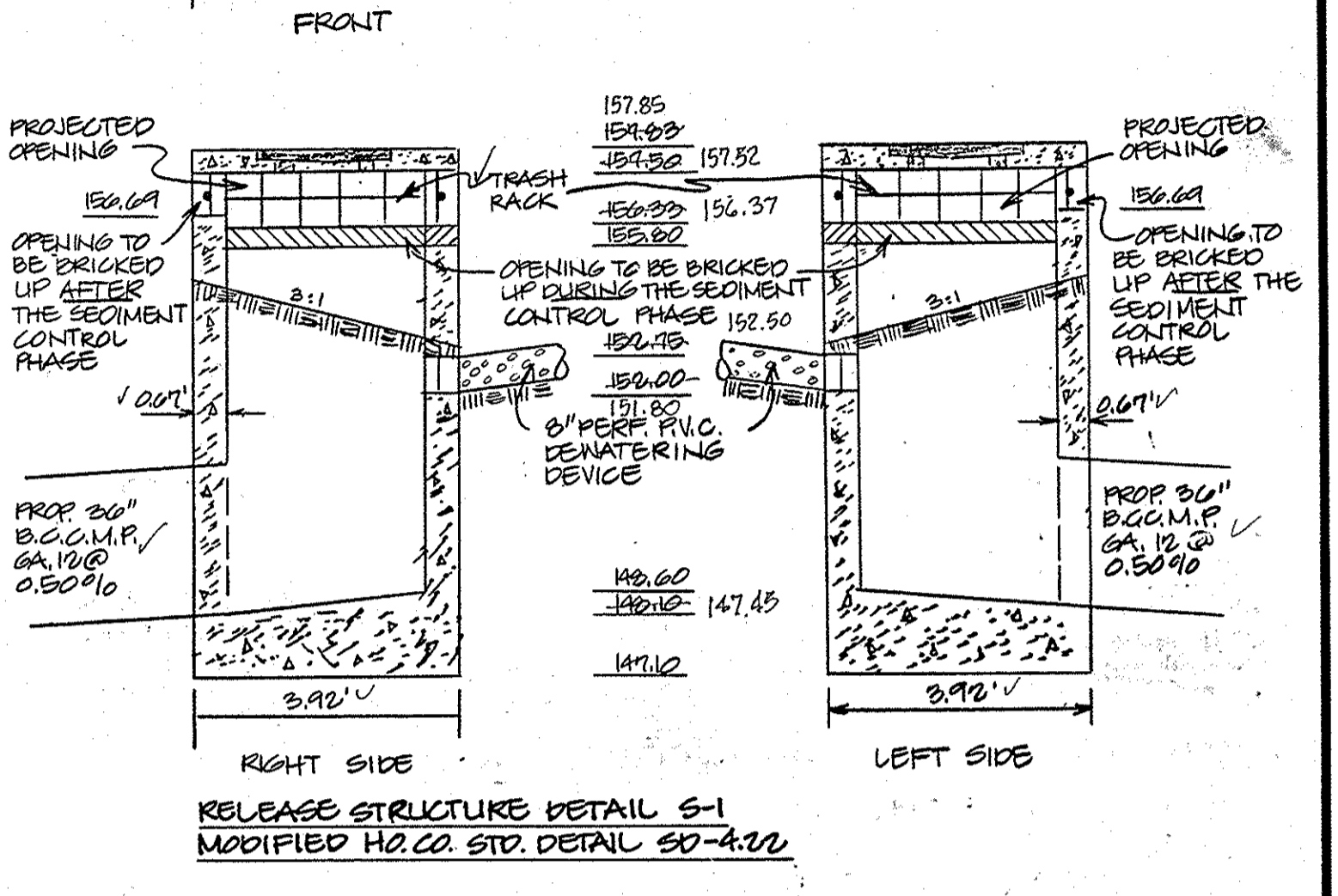
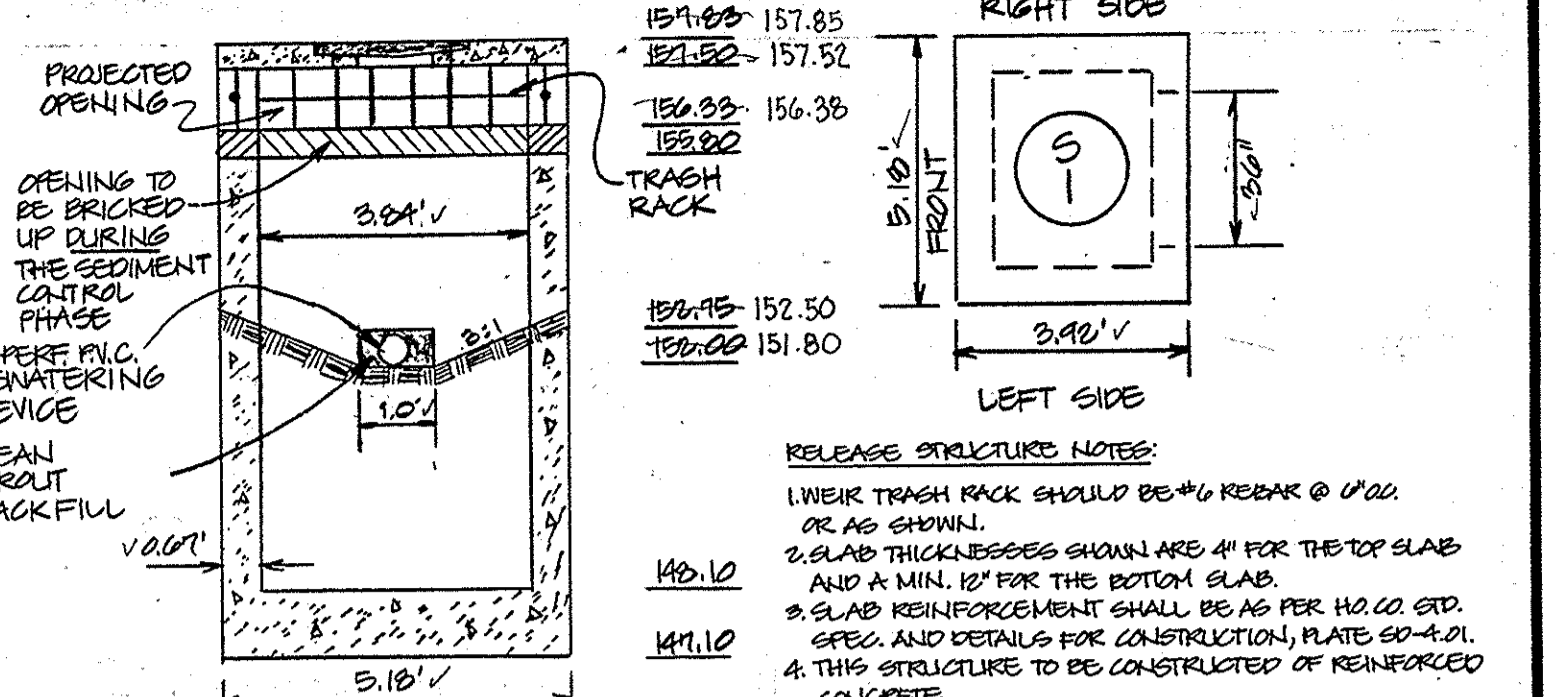
- CONSTRUCTION SPECIFICATION FOR ST-III**
- Sediment shall be removed and the trap restored to its original dimensions when the sediment has accumulated to 1/2 the design depth of the trap. Removed sediment shall be deposited in a suitable area and in such a manner that it will not erode.
  - The volume of sediment storage shall be 1800 cubic feet per acre of contributory drainage.
  - The structure shall be inspected after each rain and repairs made as needed.
  - Construction operations shall be carried out in such a manner that erosion and water pollution shall be minimized.
  - The sediment trap shall be removed and the area stabilized when the constructed drainage area has been properly stabilized.
  - All cut slopes shall be 1:1 or flatter.

- PERMANENT SEEDING NOTES**
- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (992-2437)
  - All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
  - Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within 7 calendar days for all permanent sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
  - All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
  - All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 513 soil (Sec. 54), temporary seedings (Sec. 50) and mulching (Sec. 52.) Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
  - All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- 7) Site Analysis:**
- |                                    |                |
|------------------------------------|----------------|
| Total Area of Site                 | 15.73 Acres    |
| Area Disturbed                     | 14.12 Acres    |
| Area to be seeded or paved         | 14.12 Acres    |
| Area to be vegetatively stabilized | 14.12 Acres    |
| Total Cur                          | 42,112 Cu. yds |
| Total Fill                         | 42,112 Cu. yds |
| Offsite waste/borrow area location |                |
- 8) Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.**
- 9) Additional sediment controls must be provided, if deemed necessary by the Howard County DPM sediment control inspector**
- 10) On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this final approval by the inspection agency is made.**
- 11) Material Will Be Obtained From A Site With An Approved Sediment Control Plan.**

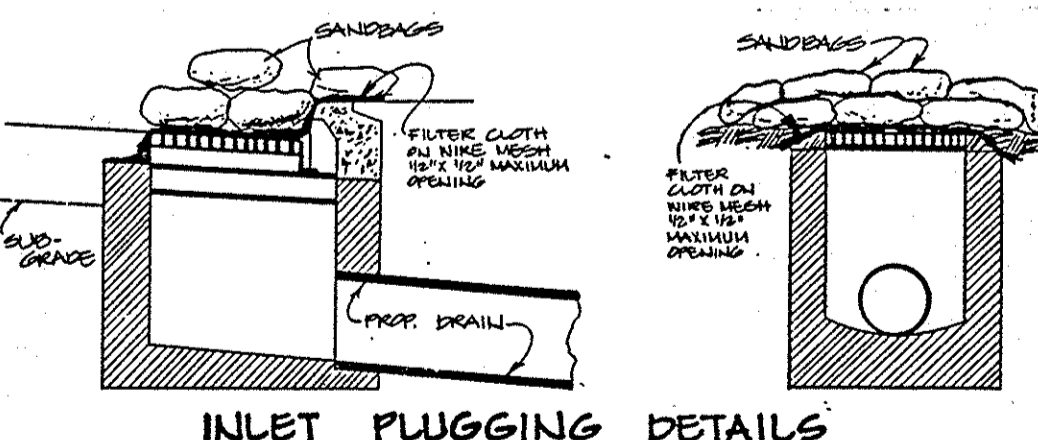
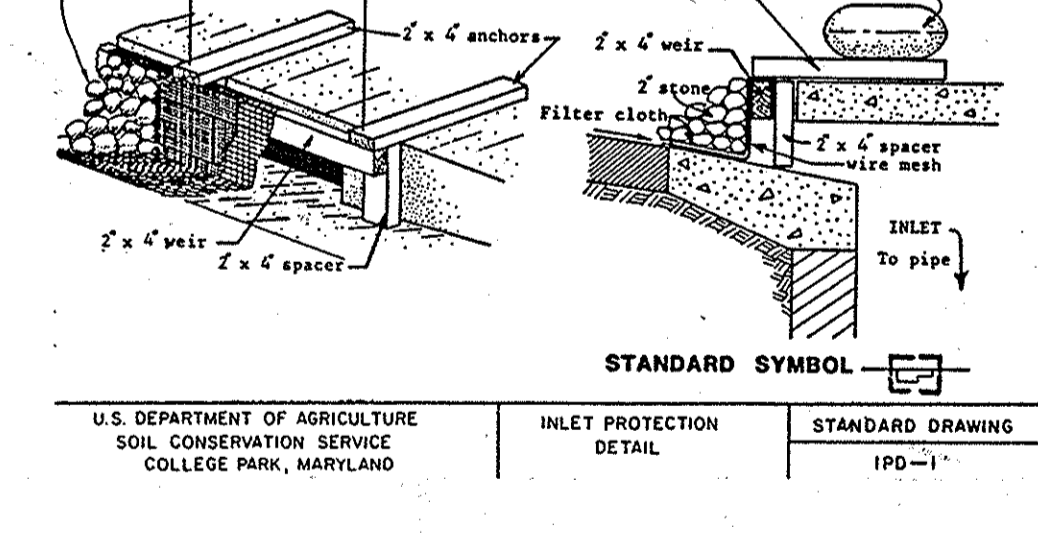
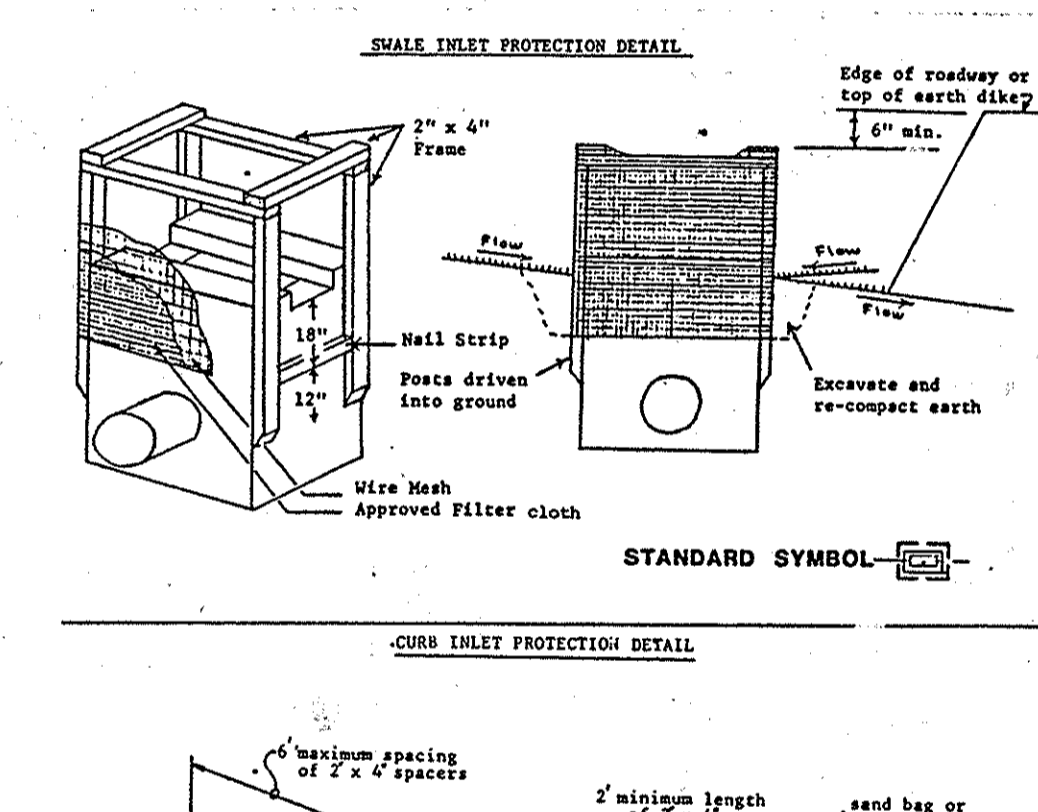
- TEMPORARY SEEDING NOTES**
- Seeded Preparation:** Loosen upper 3 inches of soil by raking, discing or other acceptable means before seeding.
- Soil Amendments:** Use one of the following schedules:
- Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq. ft.) and 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq. ft.) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs. per acre 30-0-0 urea form fertilizer (9 lbs./1000 sq. ft.).
  - Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq. ft.) and 1000 lbs. per acre 10-10-10 fertilizer (23 lbs./1000 sq. ft.) before seeding. Harrow or disc into upper three inches of soil.
- Seeding -** For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs. per acre (1.4 lbs./1000 sq. ft.) of Kentucky 31 tall fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 tall fescue per acre and 2 lbs. per acre (.05 lbs./1000 sq. ft.) of weeping lovegrass. During the period of October 16 thru February 28, protect site by Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Seed with 60 lbs./acre Kentucky 31 tall fescue and mulch with 2 tons/acre well anchored straw.
- Mulching -** Apply 13 to 15 tons per acre (30 to 36 lbs./1000 sq. ft.) of untreated small grain straw immediately after seeding. Anchor with immediately after application using mulch anchoring tool or 216 gallons per acre (5 gal./1000 sq. ft.) of undiluted asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal./1000 sq. ft.) for anchoring.
- Maintenance -** Inspect all seeded areas and make needed repairs, replacements and reseedings.



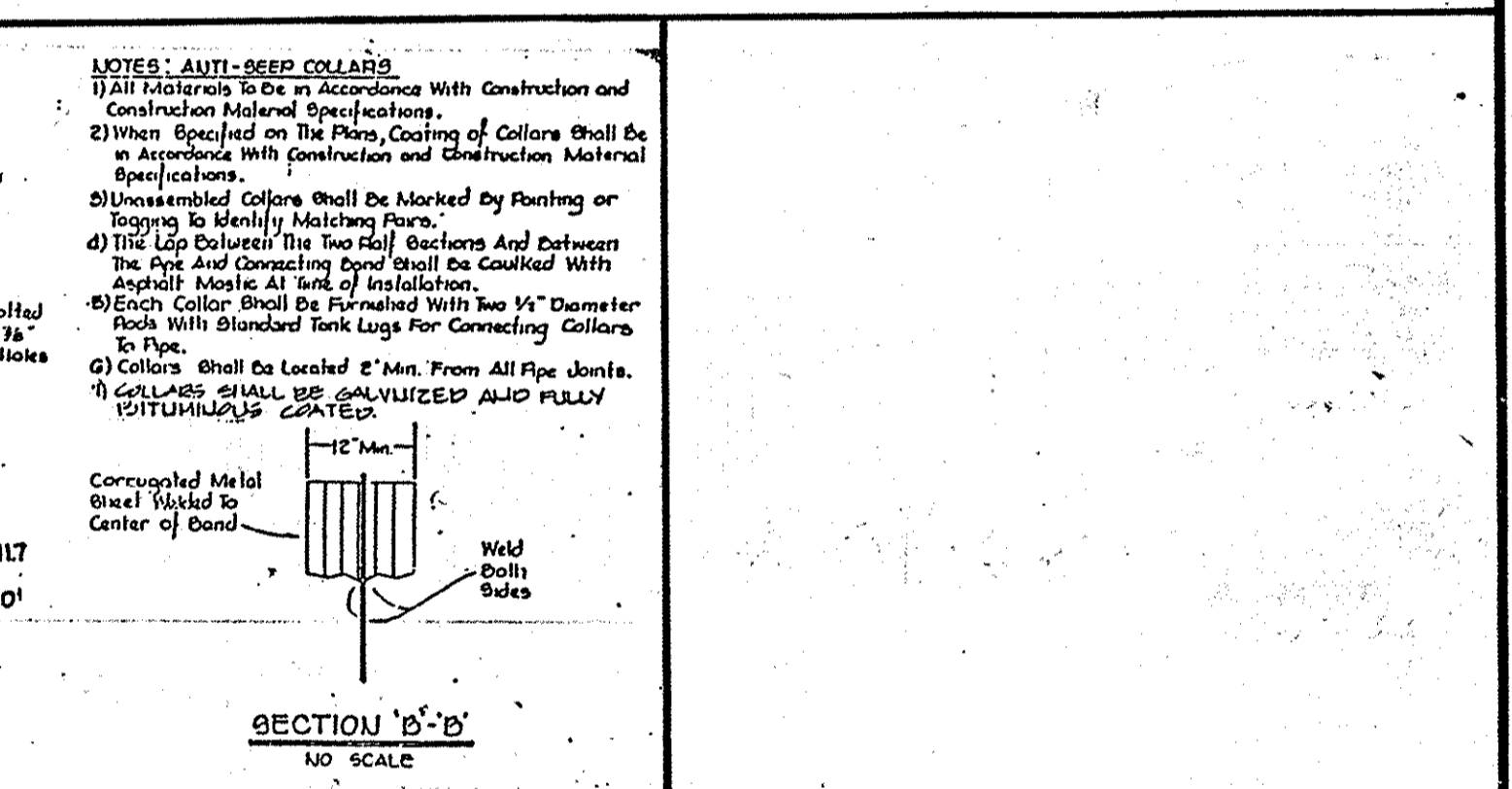
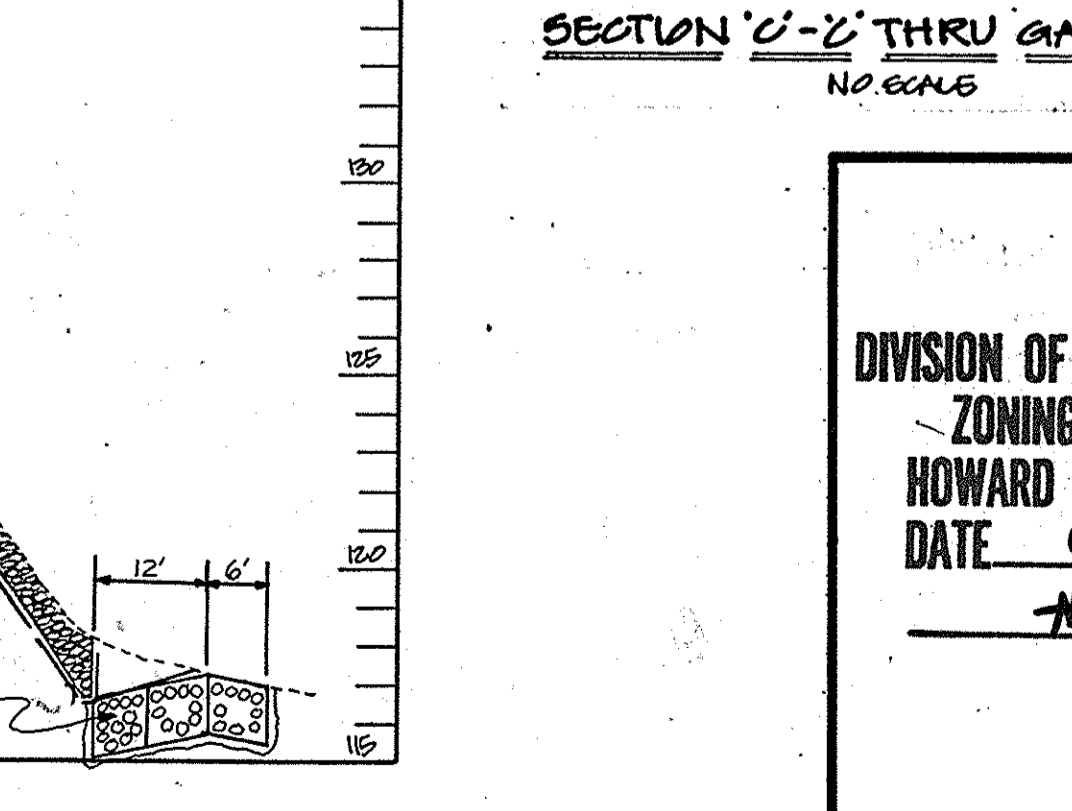
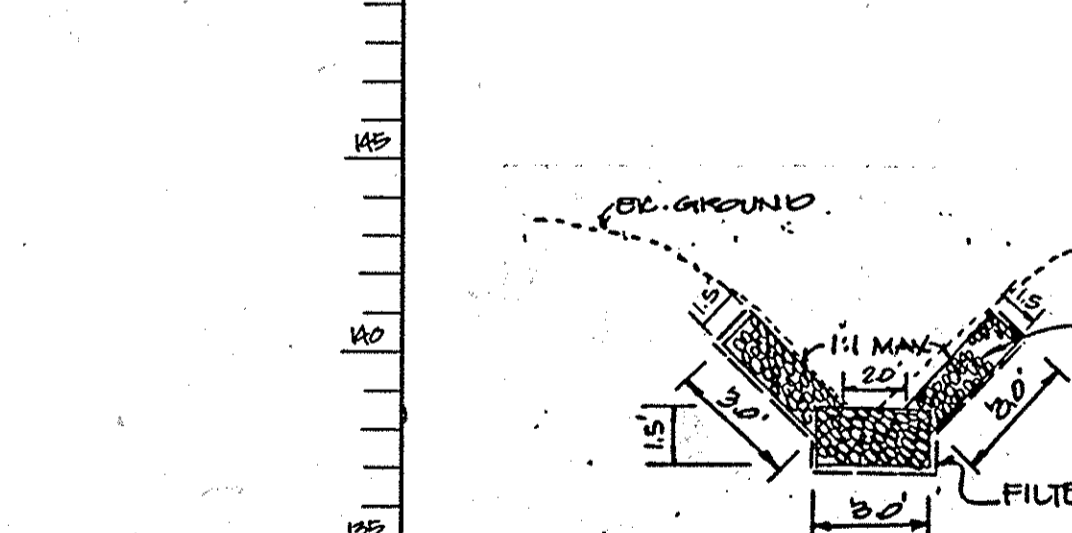
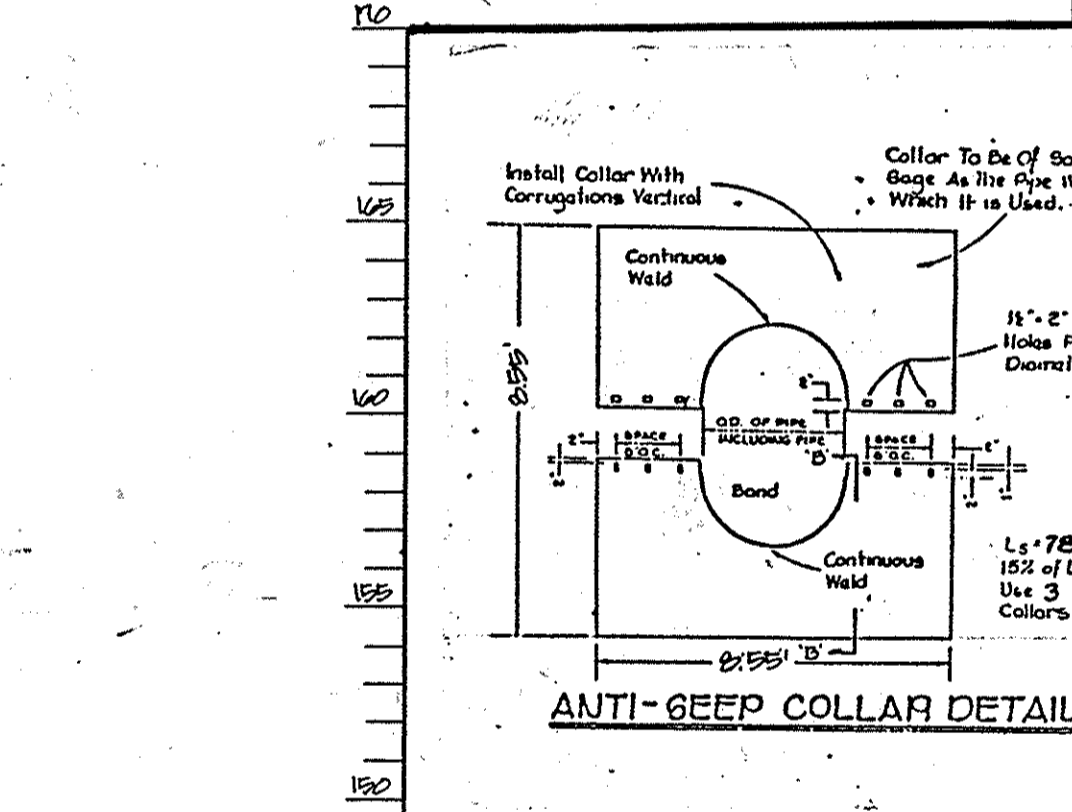
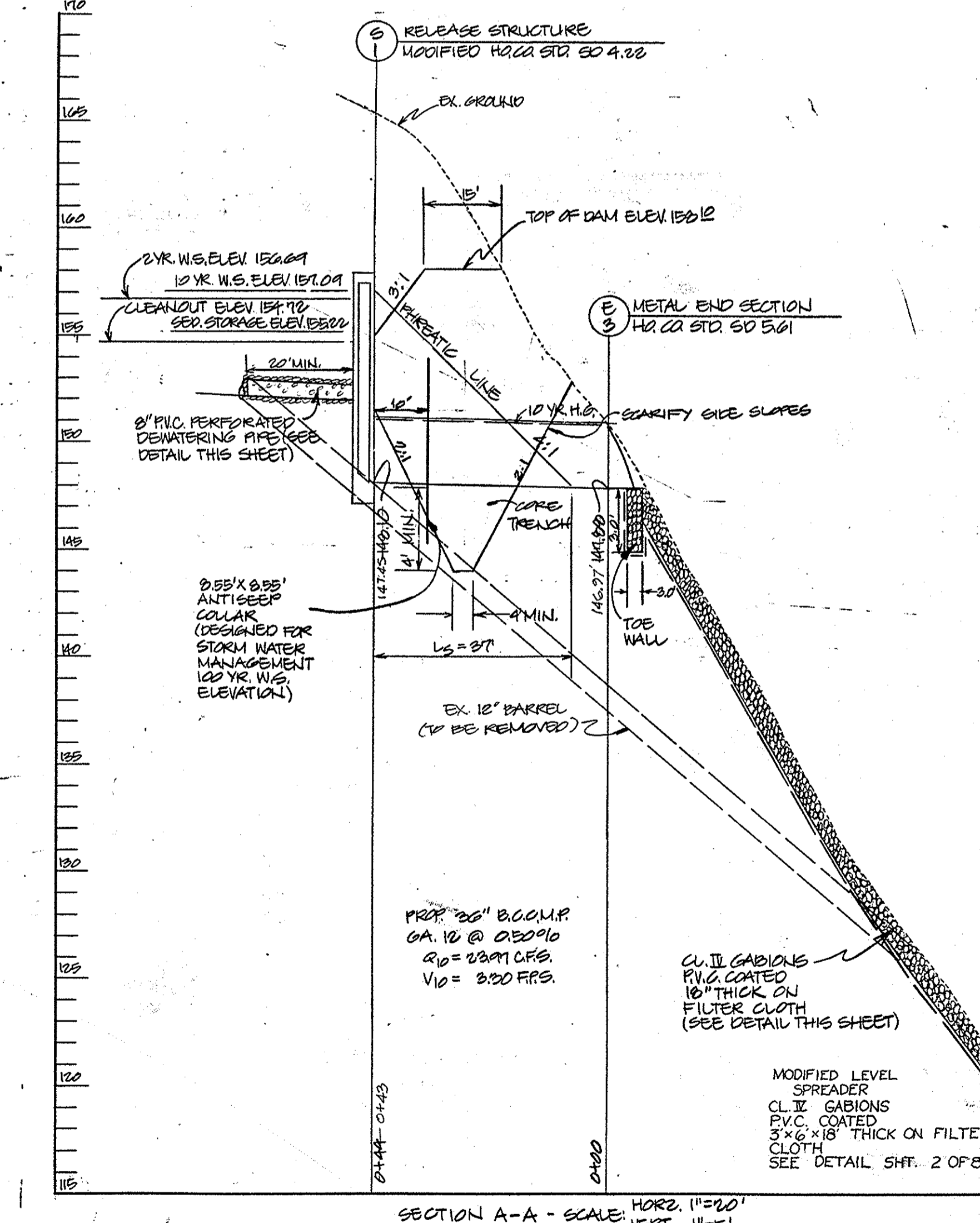
- SEQUENCE OF CONSTRUCTION**
1. OBTAIN GRADING PERMIT
  2. NOTIFY THE HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES INSPECTOR 48 HOURS BEFORE BEGINNING WORK.
  3. CLEAR AND GRUB FOR SEDIMENT CONTROL MEASURES ONLY.
  4. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
  5. INSTALL THE SEDIMENT BASIN AND OUTLET PIPE USING THE APPROVED STORM WATER MANAGEMENT PLAN SUBJECT FOR CHANGES TO THE RELEASE STRUCTURE WHICH ARE SHOWN ON THE SEDIMENT AND EROSION CONTROL PLAN.
  6. INSTALL THE REMAINING SEDIMENT CONTROL MEASURES AND STONE OUTLET SEDIMENT TRAP. REMOVE EX. 12 "6" DIA. PIPE.
  7. BEGIN GRADING MAINTAINING POSITIVE DRAINAGE TO THE SEDIMENT BASIN AND THE SEDIMENT TRAP.
  8. INSTALL ALL UTILITIES. FLAG 1'-10" AND PROVIDE INLET PROTECTION TO THE REMAINING INLETS.
  9. FINISH GRADING AND INSTALL SUBBASE MATERIAL IN PARKING AND BUILDING AREAS. STABILIZED AREAS NOT RECEIVING PAVING.
  10. AFTER OBTAINING PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, CLEAN OUT AND CONVERT THE SEDIMENT BASIN TO A STORM WATER MANAGEMENT FACILITY. MAKE THE NECESSARY CHANGES TO THE RELEASE STRUCTURE ACCORDING TO THE STORM WATER MANAGEMENT PLAN.
  11. AFTER OBTAINING PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, REMOVE THE REMAINING SEDIMENT CONTROL DEVICES AND STABILIZE.



- CONSTRUCTION SPECIFICATIONS**
- Bales shall be placed at the top of a slope or on the contour and in a row with tops tightly abutting the adjacent bales.
  - Each bale shall be embedded in the soil a minimum of (6) inches, and placed so the bindings are horizontal.
  - Bales shall be securely anchored in place by either two stakes or re-bars driven through the bale. The first stake in each bale shall be driven through the previously laid bale at an angle to force the bales together. Stakes shall be driven flush with the bales.
  - Inspection shall be frequent and repair replacement shall be made promptly as needed.
  - Bales shall be removed when they have served their usefulness so as not to block or impede storm flow or drainage.



- CONSTRUCTION SPECIFICATIONS**
- PLACE NINE MESH OVER INLET GRATE AND THROAT OPENING, OVERLAP 6 FEET AT ALL ENDS.
  - PLACE A PIECE OF APPROVED FILTER CLOTH (40-60 SIEVE) OF THE SAME DIMENSIONS OF THE NINE MESH OVER THE NINE MESH.
  - PLACE SANDBAGS OVER FILTER CLOTH AND NINE MESH SANDBAGS SHOULD OVERLAP AND COVER COMPLETE SURFACE OF THE NINE MESH.
  - INSPECT FREQUENTLY TO INSURE SANDBAGS ARE SECURE AND FILTER CLOTH IS FREE OF SEDIMENT. REPLACE FILTER CLOTH IF CLOGGED.



These plans have been reviewed for the Howard Soil Conservation District to meet the technical requirements for small pond construction, soil erosion and sediment control.

*[Signature]* 7/22/88  
U.S. Soil Conservation Service Date

These plans for small pond construction, soil erosion and sediment control meet the requirements of Howard Soil Conservation District.

Approved: *[Signature]* 7/22/88  
Howard Soil Conservation District Date

Plan Number: \_\_\_\_\_

APPROVED: For public water and public sewerage systems  
Howard County Health Department.

*[Signature]* 8-2-88  
County Health Officer Date

APPROVED: Howard County Office of Planning & Zoning.

*[Signature]* B. 11. 88  
Director Date

*[Signature]* 8-2-88  
Chief Division of COMMUNITY PLANNING & LAND DEVELOPMENT Date

APPROVED: For public water and public sewerage storm drainage systems and public roads Howard County Department of Public Works.

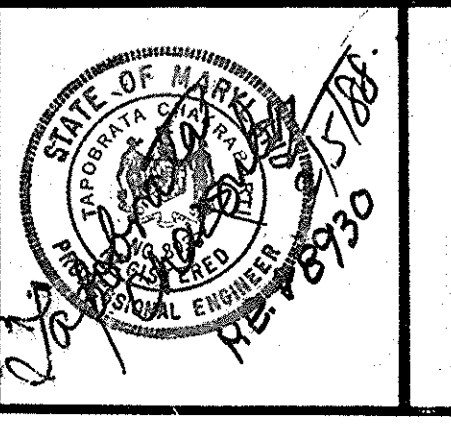
*[Signature]* 7/22/88  
Director Date

*[Signature]* 7-22-88  
Chief Bureau of Engineering Date

**GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.**

CIVIL ENGINEERS & LAND SURVEYORS

303 ALLEGHENY AVENUE  
TOWSON, MARYLAND 21204  
(301)825-8120



**ENGINEER'S CERTIFICATE:**

I CERTIFY THAT THIS PLAN FOR S.W.M. FACILITY CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENT A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD COUNTY DEPARTMENT WITH A RED-LINED "AS-BUILT" OF THE S.W.M. FACILITY WITHIN 30 DAYS OF COMPLETION.

*[Signature]*  
ENGINEER: *[Signature]*  
REG. NO. 19730 DATE: 8/15/88

**OWNER/DEVELOPER:**

**NORCONCORD LTD. PARTNERSHIP**

701 HARGRAVE STREET  
BALTIMORE, MARYLAND 21202  
(301) - 701-2414

**DEVELOPER'S CERTIFICATE:**

I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES. I WILL PROVIDE THE HOWARD COUNTY DEPARTMENT WITH A RED-LINE "AS-BUILT" OF THE S.W.M. FACILITY WITHIN 30 DAYS OF COMPLETION.

DEVELOPER: *[Signature]* DATE: 8/25/88  
NAME: R.D. MACCULLICH TITLE: GEN'L. MGR.

DESIGNED: C.M.M.  
CHECKED: G.M.L.  
DATE: 9/15/83

**AS-BUILT**  
9/15/83

**PROFILES & DETAILS FOR SEDIMENT & EROSION CONTROL**

**ROUTE ONE HUNDRED BUSINESS PARK**

**BLOCK 'D' PARCEL 'D-1'**

A RECONFIGURATION OF BLOCK 'D', PARCEL 'D'

HOWARD CO. IND. TAX MAPS 30  
PLAT NO. 1017  
SUBV. ASHMAN

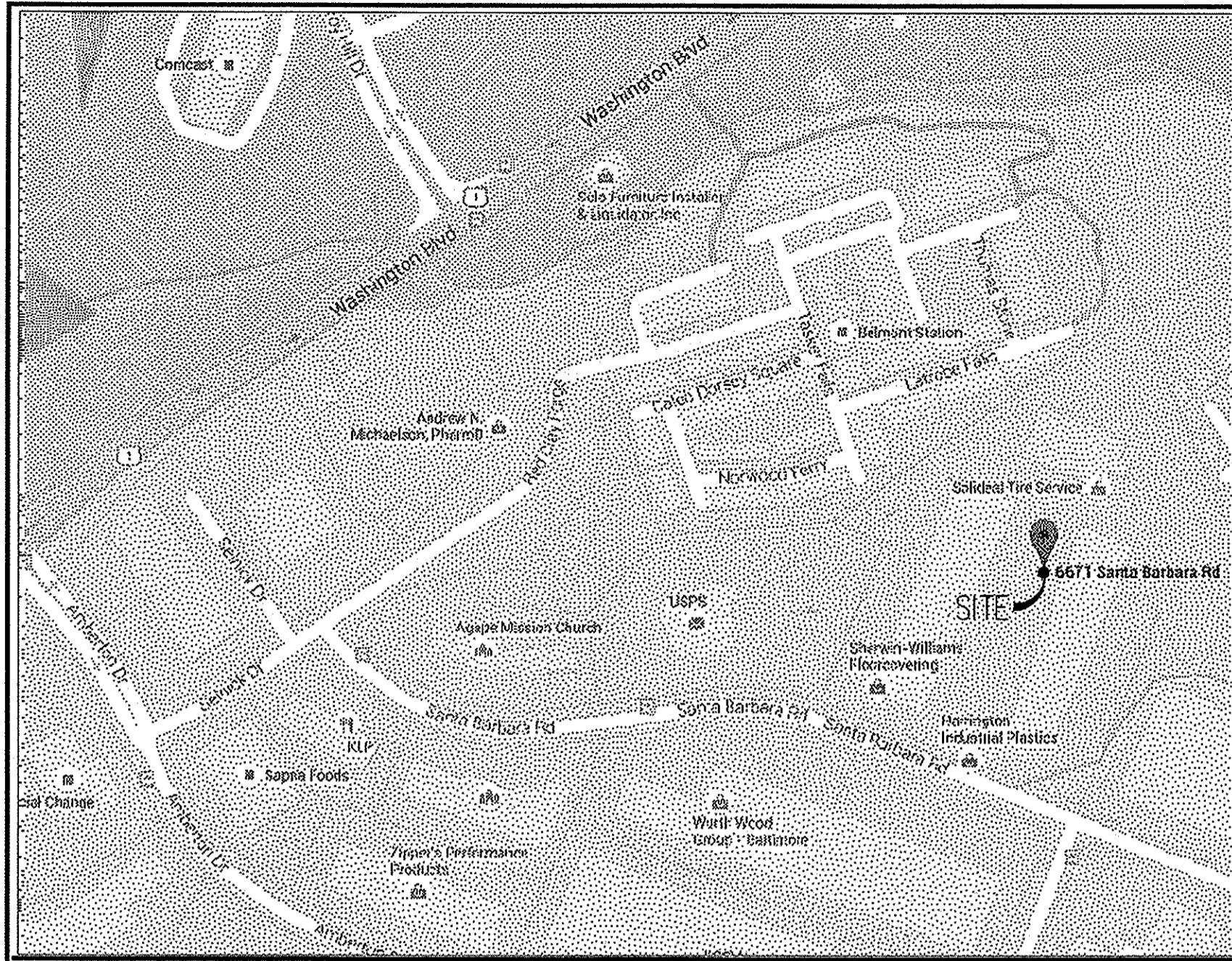
HOWARD COUNTY ZONING MAP 27-1  
FILE NO. P-27-1  
DATE: FEBRUARY 1983

SHEET 1 OF 12









**VICINITY MAP**  
SCALE: 1" = 2000'



**SITE NOTES**

- 1.) SEARCH RING: IVY  
SITE NAME: ATC 305283
- 2.) THIS IS NOT A BOUNDARY SURVEY AND IS NOT TO BE USED FOR THE TRANSFER OF PROPERTY.
- 3.) THE SUBJECT PARCEL INFORMATION;  
OWNER: TECH 100 LLC  
PREMISES ADDRESS: 6671 SANTA BARBARA RD  
MAILING ADDRESS: 9640 DEERCO RD  
TIMONIUM, MD 21093  
COUNTY: HOWARD COUNTY  
TAX MAP: 0037 GRID: 0024  
PARCEL: 0583 LOT: D1  
DISTRICT NUMBER: 01  
ACCOUNT NUMBER: 170430  
ZONING: GENERAL INDUSTRIAL  
USE: INDUSTRIAL

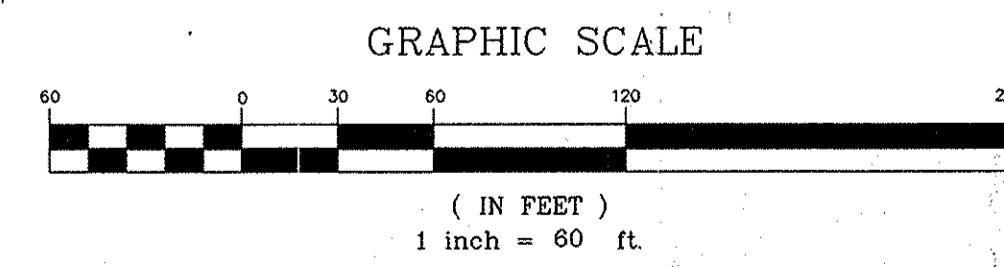
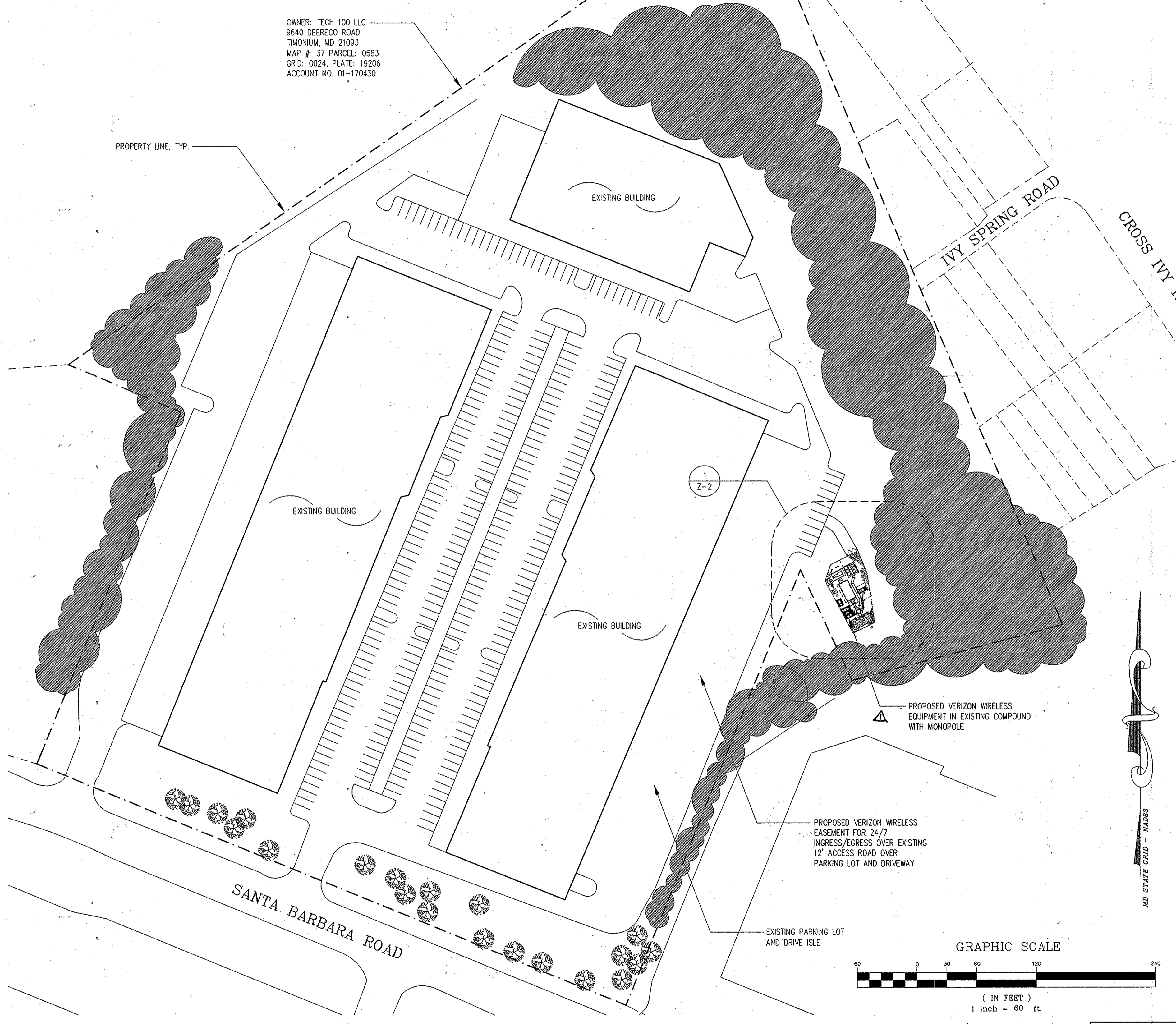
**LEGEND**

- FOUND PROPERTY CORNER
- △ BENCH MARKS
- UTILITY POLE
- SIGN
- ☆ LIGHT POLE
- TELEPHONE PEDESTAL
- ⊙ DRAINAGE MANHOLE
- ⊙ SANITARY MANHOLE
- INDIVIDUAL TREE - DECIDUOUS
- INDIVIDUAL TREE - CONIFER
- ◇ TRANSFORMER
- ⊗ GAS VALVE
- ⊗ WATER SHUT OFF
- ⊗ FIRE HYDRANT

**LINE TYPES**

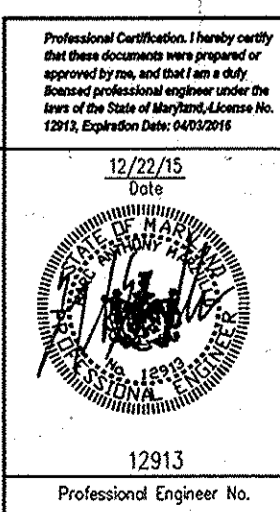
- BOUNDARY LINE - PARENT PARCEL
- UNSURVEYED LINE - BOUNDARY OF ADJOINERS
- TIE LINE FOR DIMENSIONS
- EASEMENT BOUNDARY
- RIGHT OF WAY BOUNDARY
- BUILDING SET BACK
- INTERIOR LOT LINES
- EDGE OF ASPHALT
- EDGE OF CONCRETE
- CURB

OWNER: TECH 100 LLC  
9640 DEERCO ROAD  
TIMONIUM, MD 21093  
MAP #: 37 PARCEL: 0583  
GRID: 0024, PLATE: 19206  
ACCOUNT NO. 01-170430



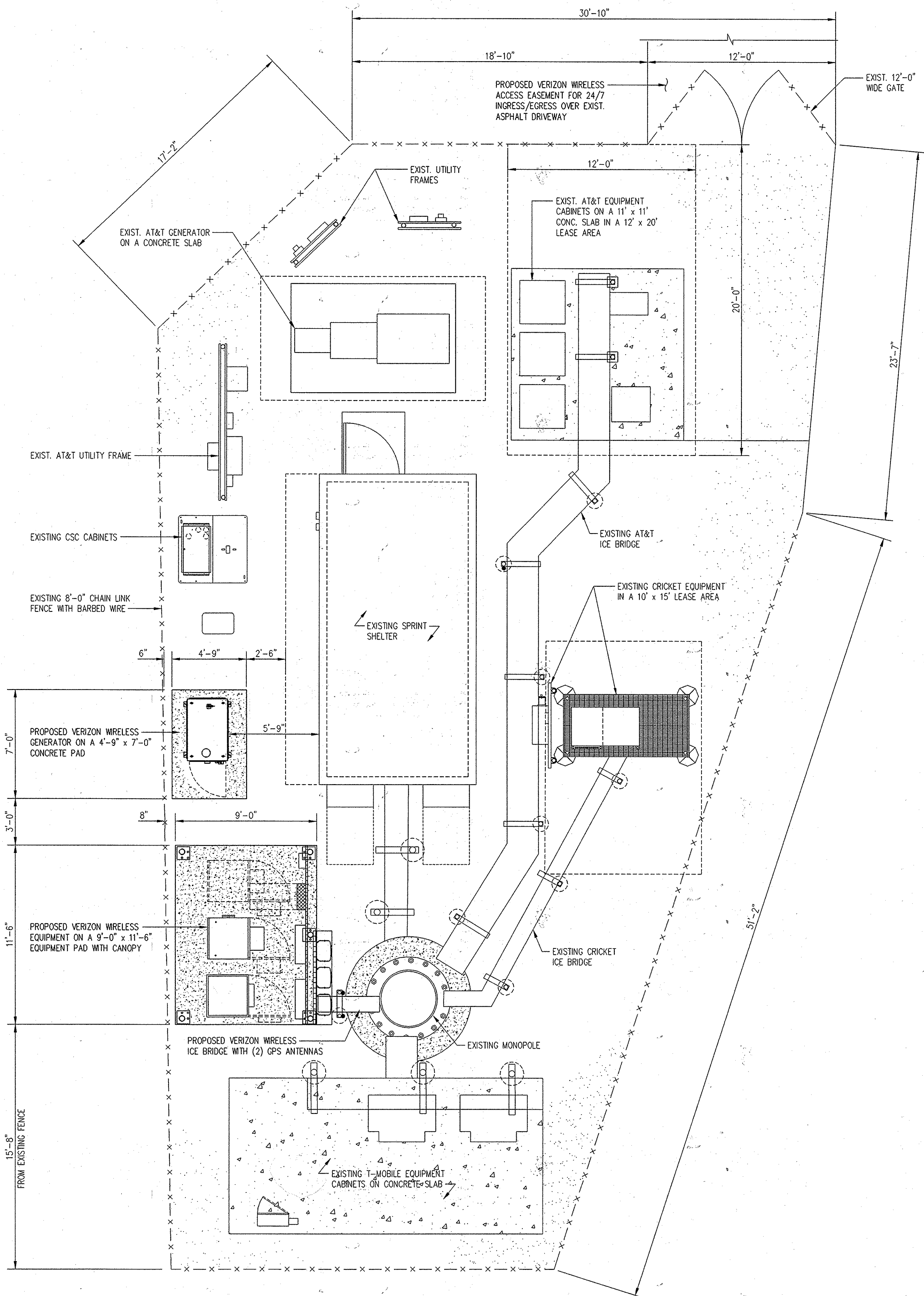
**SITE PLAN**  
SCALE: 1" = 60'-0"

APPROVALS			
APPROVED:	DEPARTMENT OF PLANNING AND ZONING		
<i>[Signature]</i>		2-10-16	
<i>[Signature]</i>		2-16-16	
<i>[Signature]</i>		2-16-16	



Date:	12-22-15	Revision Description:	NEW VERIZON WIRELESS EQUIPMENT WITH CANOPY AND GENERATOR IN EXISTING EQUIPMENT COMPOUND
OWNER:	TECH 100 LLC	DEVELOPER:	VERIZON WIRELESS
PROJECT:	9640 DEERCO RD	PROJECT:	1600 MONROE RD
PROJECT:	TIMONIUM, MD 21093	PROJECT:	LABEL, MD 20725
<b>ROUTE 100 BUSINESS PARK</b>			
<b>entrex</b> communication services, inc. 600 Knowledge Drive, Suite 500 Baltimore, MD 21077 PHONE: (410) 246-0000 FAX: (410) 246-0991			
Subdivision Name:	None	Section/Area:	N/A
USER: 1936	Zone: 24	Per/Zone map:	17/20
FILE NO: 508		Section:	1
WATER CODE:		Parcel:	583
<b>SITE PLAN</b>			
Des. By:	M.A.	Scale:	
Drn. By:	M.A.	Date:	11-12-15
Chk. By:	M.M.	Approved:	M.M.
			Enter Proj. No: 1102283
			9 of 12

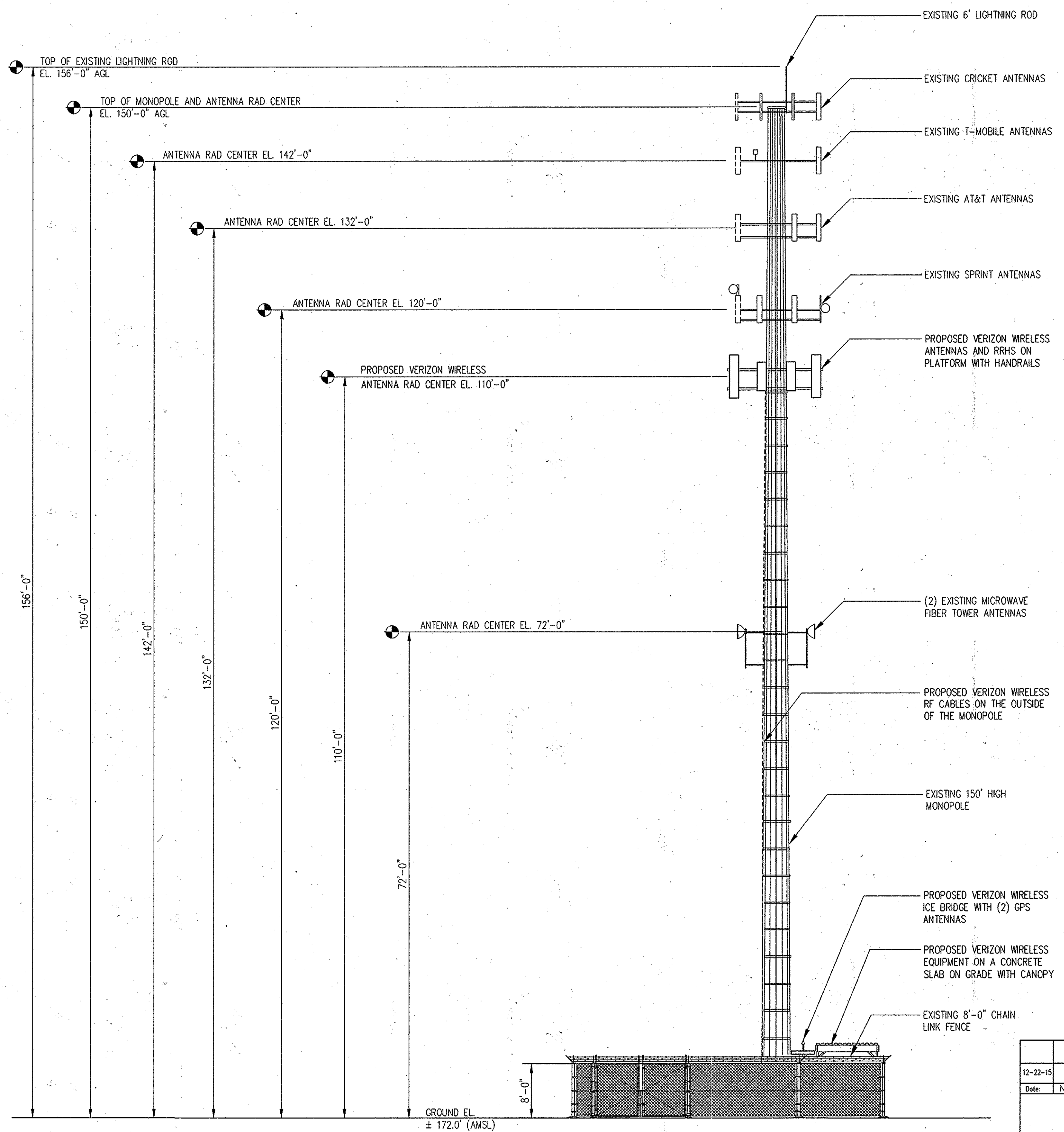




**COMPOUND PLAN**  
SCALE: 1/4"=1'-0"

1 10

TRUE NORTH



**MONOPOLE ELEVATION**  
SCALE: 3/32"=1'-0"

2 10

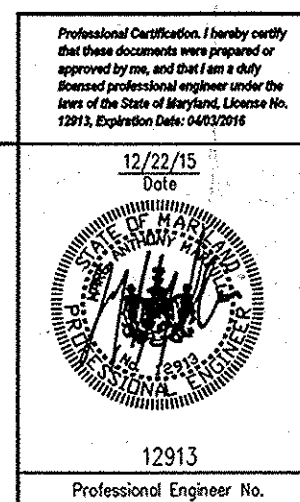
**APPROVALS**

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DATE: 2-10-16

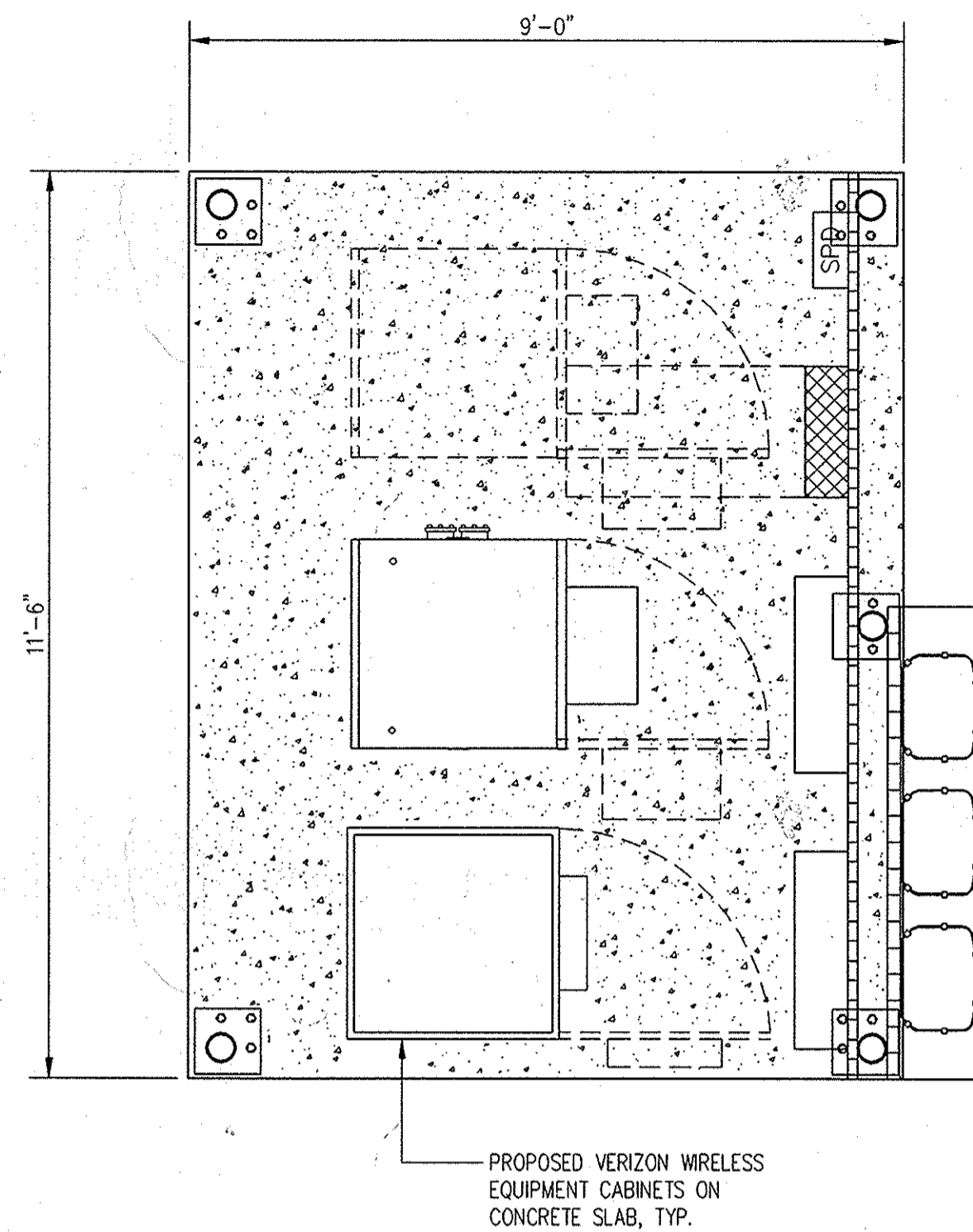
DATE: 2-16-16

DATE: 2-16-16

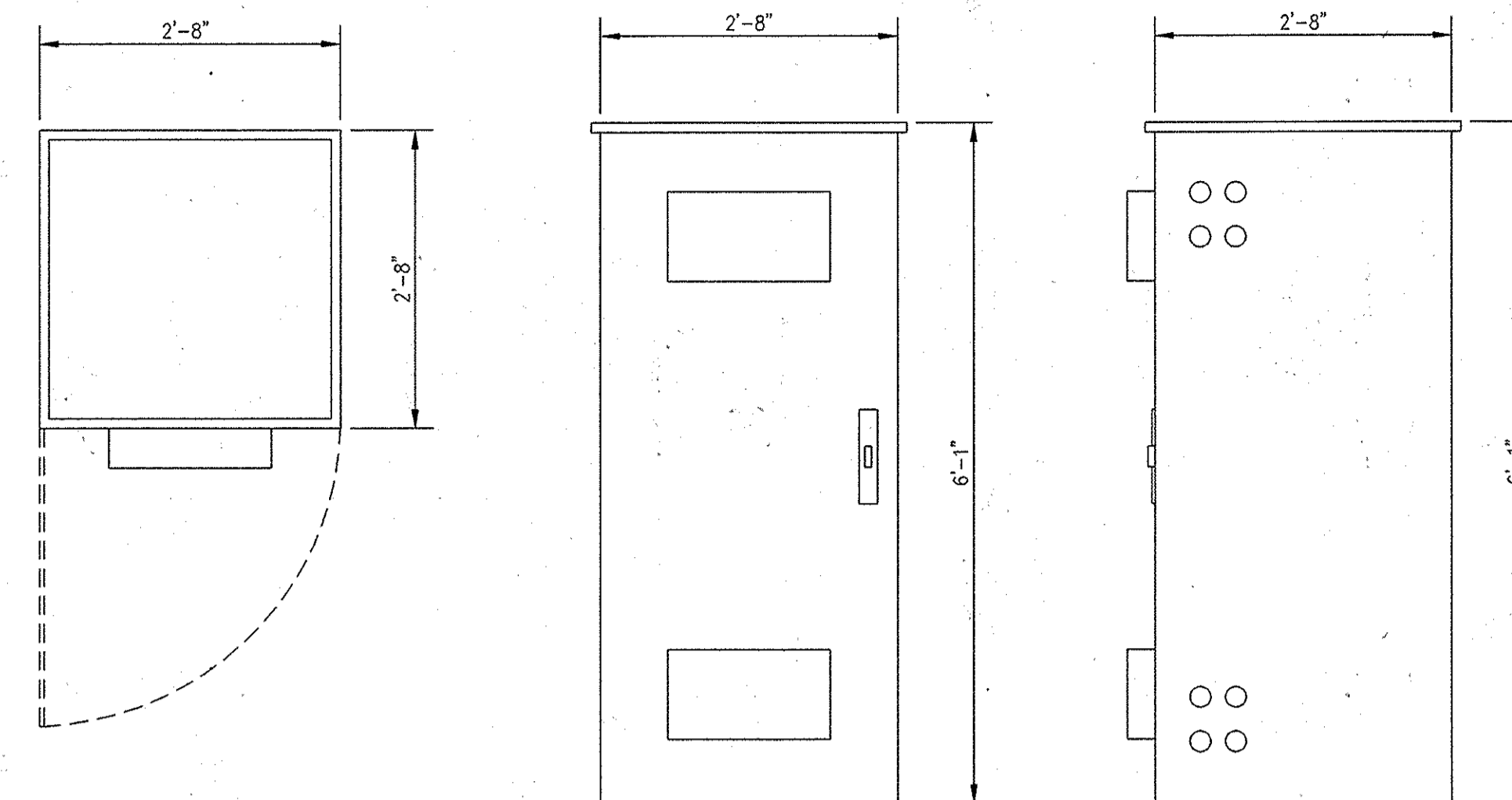
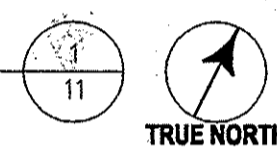


12-22-15	1	NEW VERIZON WIRELESS EQUIPMENT WITH CANOPY AND GENERATOR IN EXISTING EQUIPMENT COMPOUND
Date:	NO.	Revision Description
VERIZON WIRELESS PROPOSED EQUIPMENT AND GENERATOR IN EXISTING FENCED EQUIPMENT COMPOUND		
OWNER: RICHMOND, MD 21201	DEVELOPER: VERIZON WIRELESS	
ROUTE 100 BUSINESS PARK		
6600 Rockledge Drive, Suite 550 Bethesda, MD 20817 PHONE: (301)460-4900 FAX: (301)460-4901		
Subdivision Name: FORDS 508	Section/Area: N/A	Lot/Parcel #: Parcel 583
LIBER: 11836	GRID: 24	Zone: 1
DATE: 12/22/15	Zone: 1	Block: 1
<b>COMPOUND PLAN AND MONOPOLE ELEVATION</b>		
Des. By: M.A.	Scale:	Enter Proj. No.: 1102283
Dim. By: M.A.	Date: 11-12-15	
Chk. By: M.M.	Approved: M.M.	10 of 12





**EQUIPMENT LAYOUT PLAN**  
SCALE: 1/2"=1'-0"



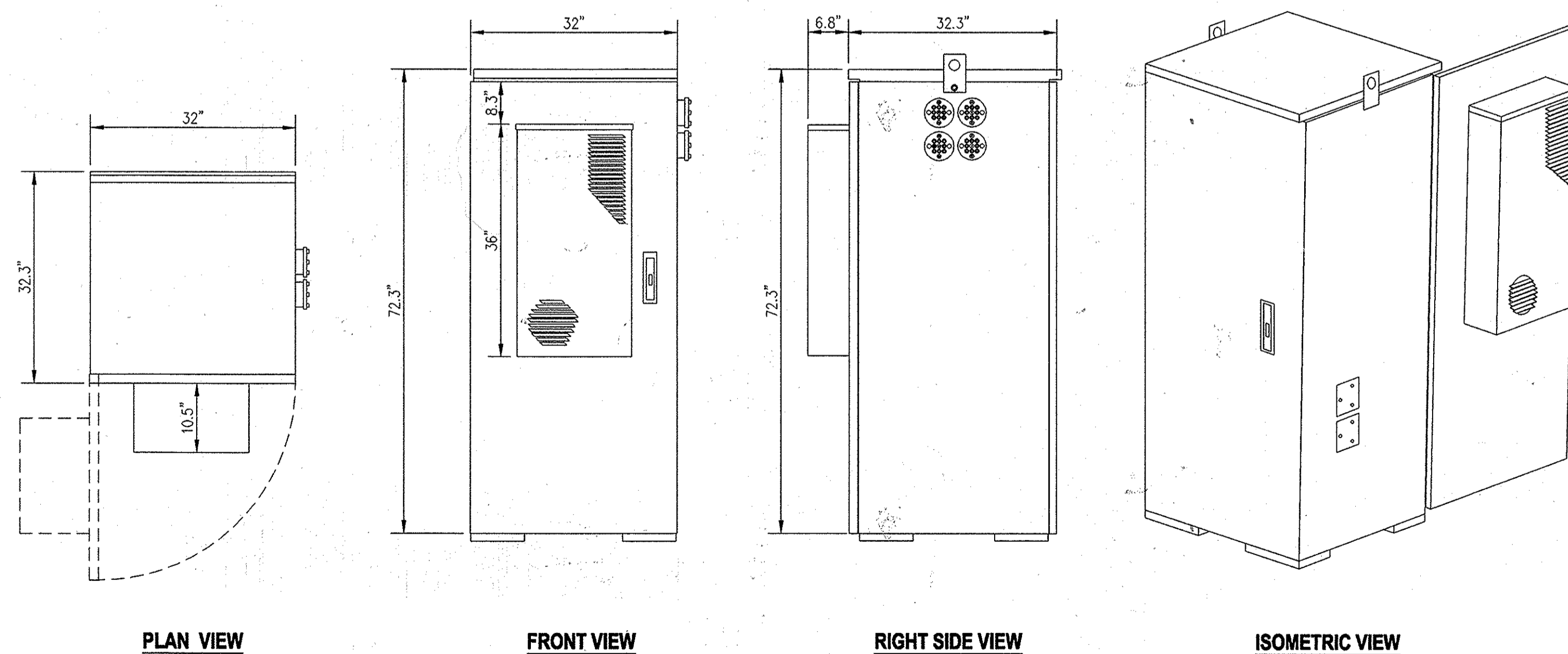
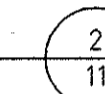
**PLAN VIEW**

**FRONT VIEW**

**RIGHT SIDE VIEW**

MODEL: CUBE-BBDLJ2HN1  
CABINET WEIGHT EMPTY = 900 LBS  
CABINET WEIGHT WITH BATTERIES = 3,450 LBS  
CABINET VOLUME = 44 CF

**CHARLES BATTERY CABINET DETAILS**  
SCALE: 3/4"=1'-0"



**PLAN VIEW**

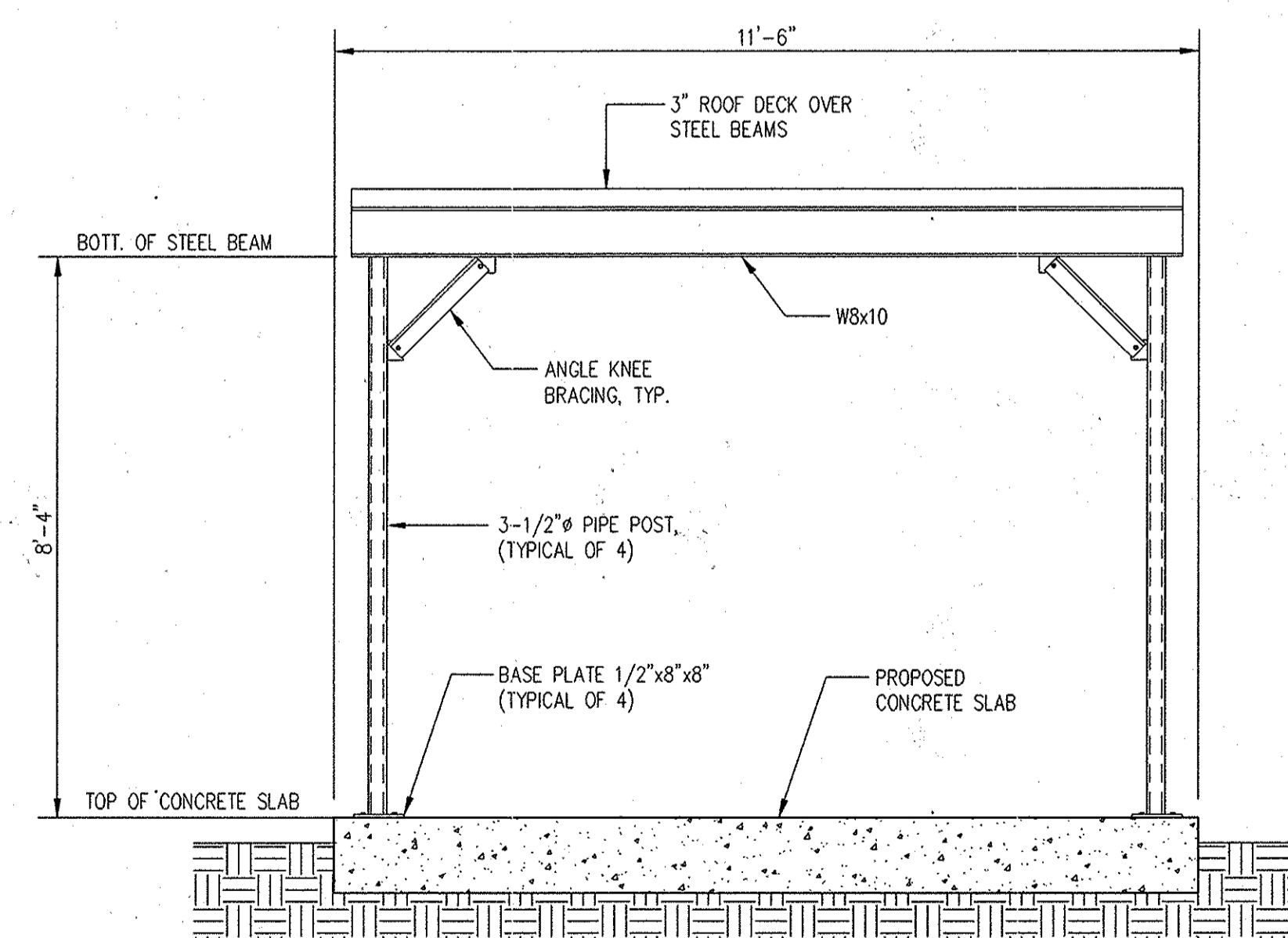
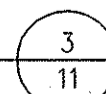
**FRONT VIEW**

**RIGHT SIDE VIEW**

**ISOMETRIC VIEW**

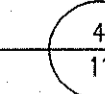
CABINET WEIGHT = 1000 LBS  
CABINET VOLUME = 54 CF

**CHARLES CONTROL CABINET DETAILS**  
SCALE: 3/4"=1'-0"

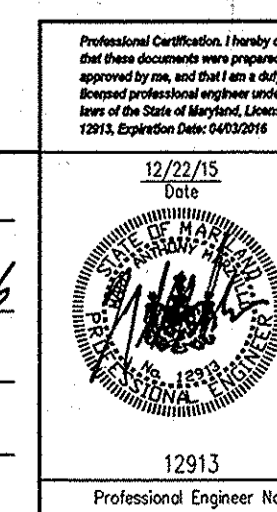


NOTE:  
ALL EXPOSED STEEL WIDE FLANGED BEAMS, PIPE COLUMNS, AND ANGLES SHALL BE HOT DIP GALVANIZED

**CANOPY ELEVATION**  
SCALE: 1/2"=1'-0"

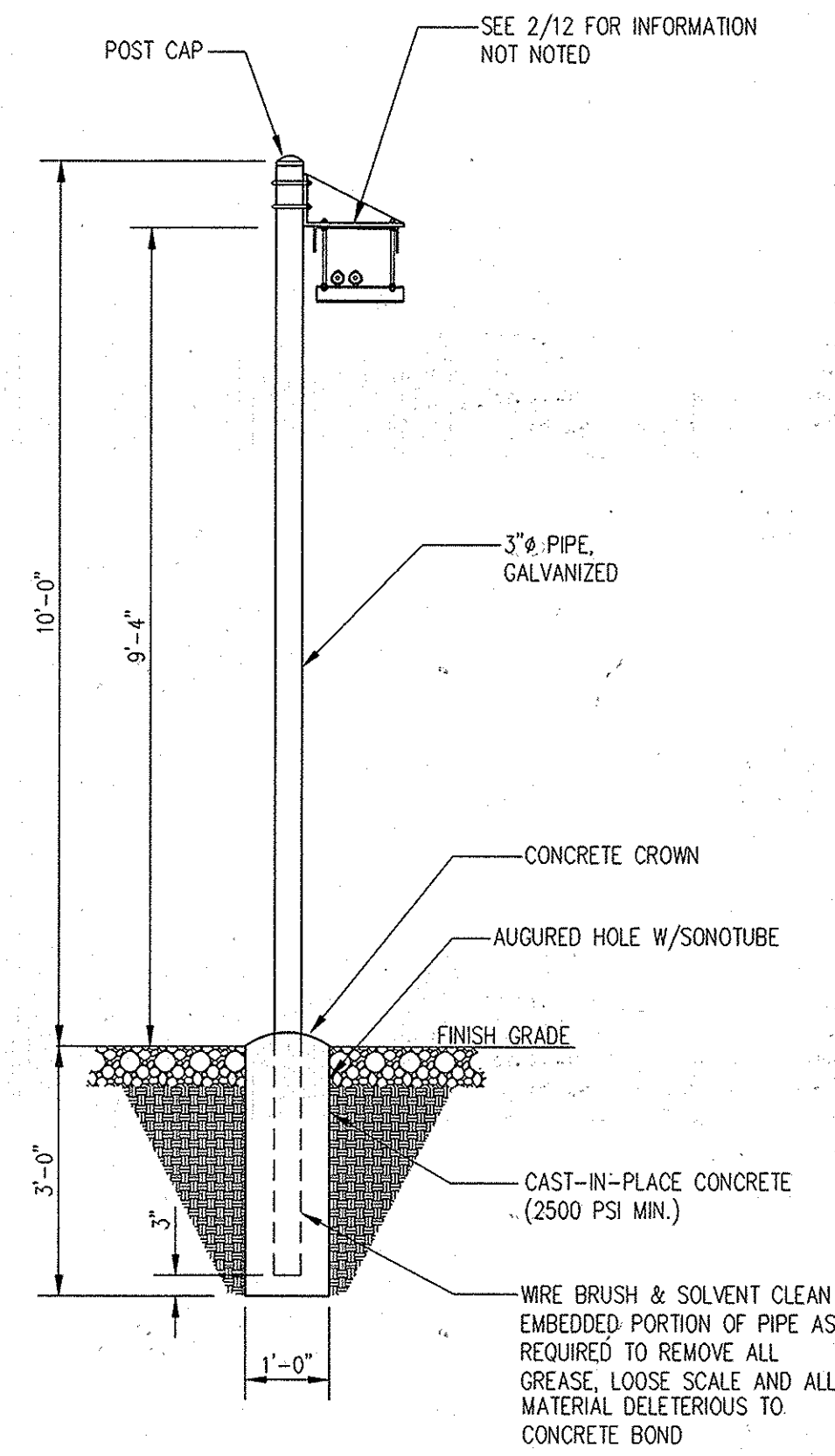


APPROVALS			
APPROVED:	DEPARTMENT OF PLANNING AND ZONING	DATE:	2-10-16
		DATE:	2-16-16
		DATE:	



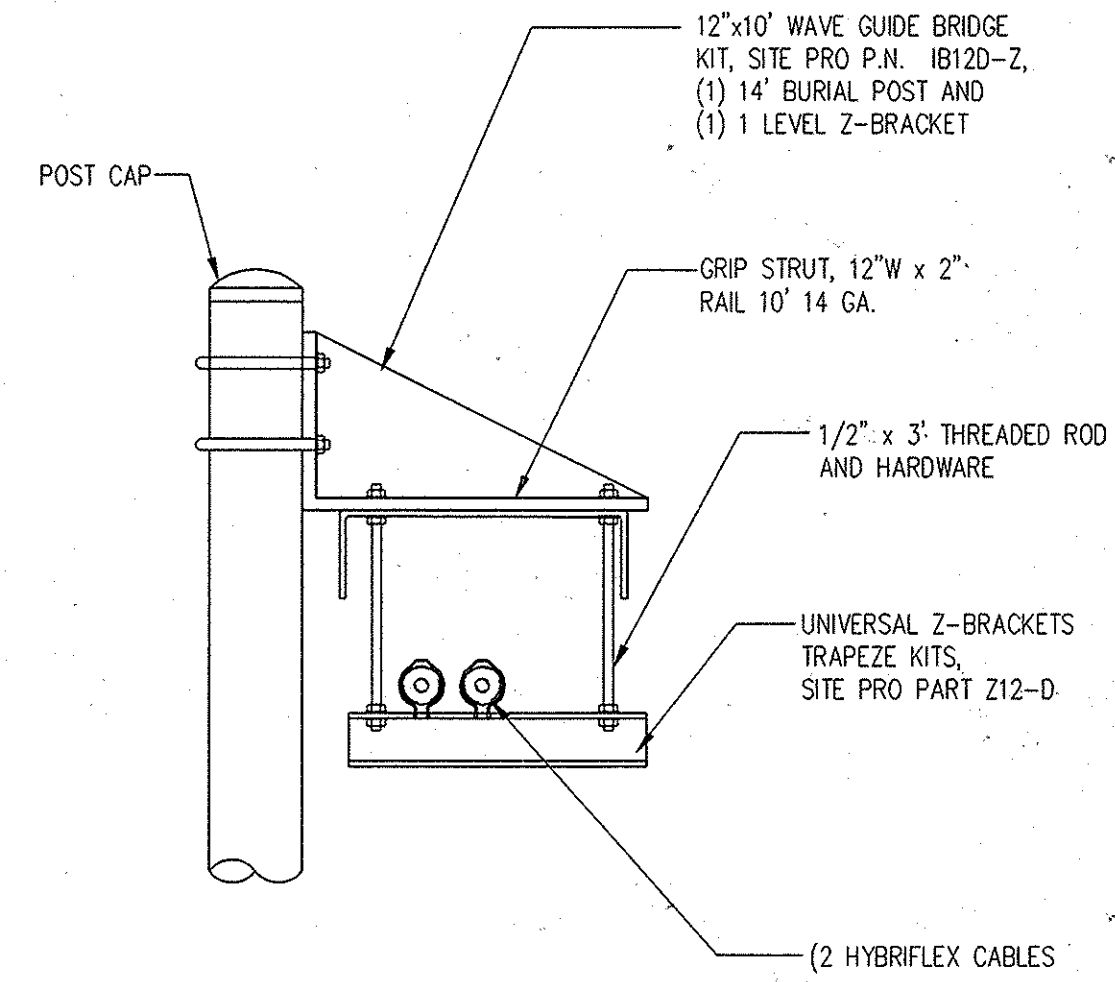
12-22-15	1	NEW VERIZON WIRELESS EQUIPMENT WITH CANOPY AND GENERATOR IN EXISTING EQUIPMENT COMPOUND
Date:	No.	Revision Description
VERIZON WIRELESS PROPOSED EQUIPMENT AND GENERATOR IN EXISTING FENCED EQUIPMENT COMPOUND		
OWNER: REDHOO LLC 9640 FREDERICK RD FARMERS BR, MD 20725	DEVELOPER: VERIZON WIRELESS 7600 HANOVER BELLEVUE LAUREL, MD 20725	
<b>ROUTE 10 BUSINESS PARK</b>		
6600 Rockledge Drive, Suite 550 Bethesda, MD 20817 PHONE: (301)468-0900 FAX: (301)468-0991		
Substation Name: LBER-11936	Section Area: GRID: Zone: 24	Lot/Parcel #: Parcel 302 Dist. 008 Census Tract: 1
DATE: 12/22/15	DATE: 11/22/15	DATE: 11/22/15
<b>EQUIPMENT PLANS AND DETAILS</b>		
Des. By: M.A.	Scale:	Entrex Proj. No: 1102293
Dim. By: M.A.	Date: 11-12-15	
Chk. By: M.M.	Approved: M.M.	11 of 12





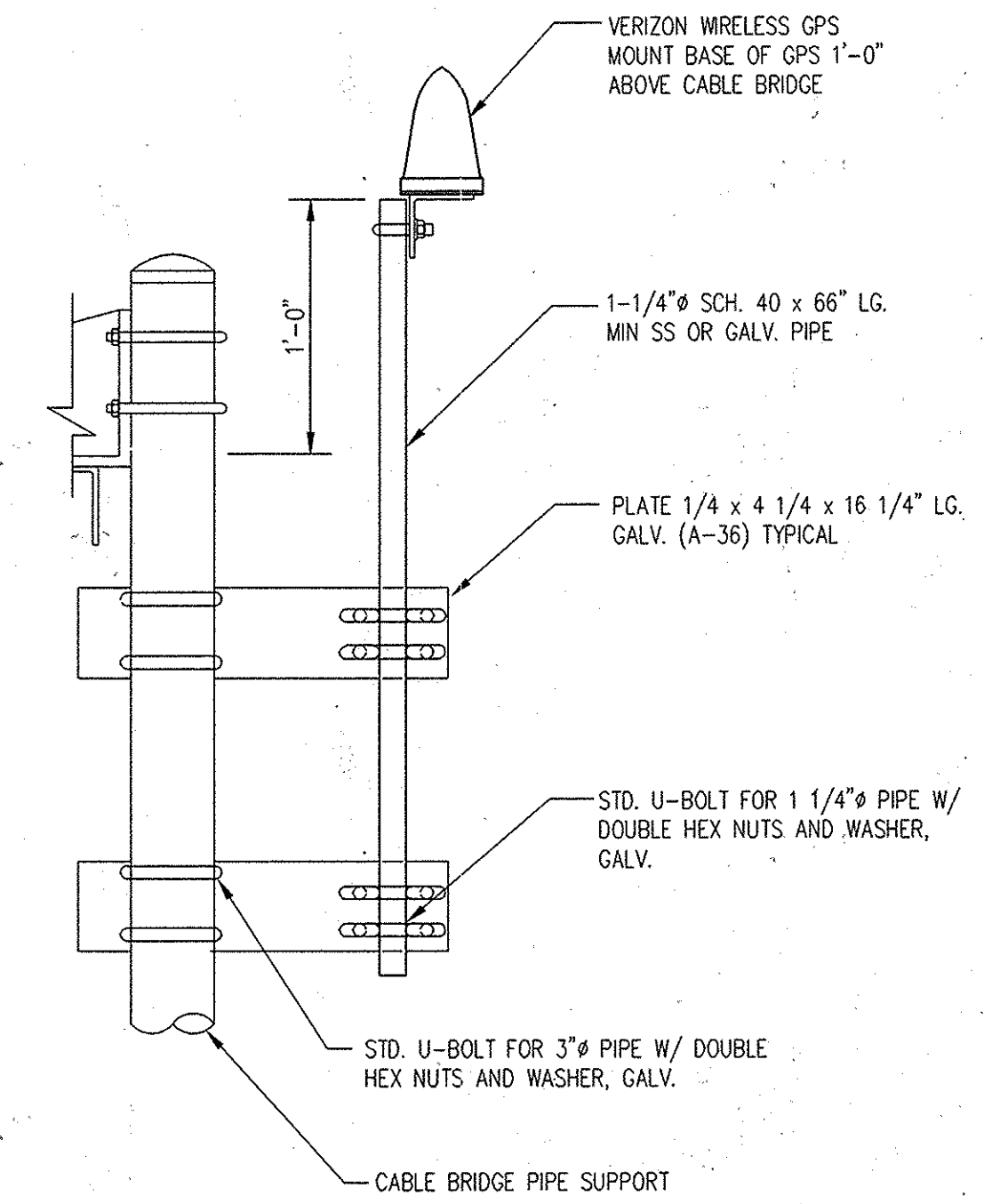
**CABLE BRIDGE DETAIL**  
SCALE: 1-1/2"=1'-0"

1  
12



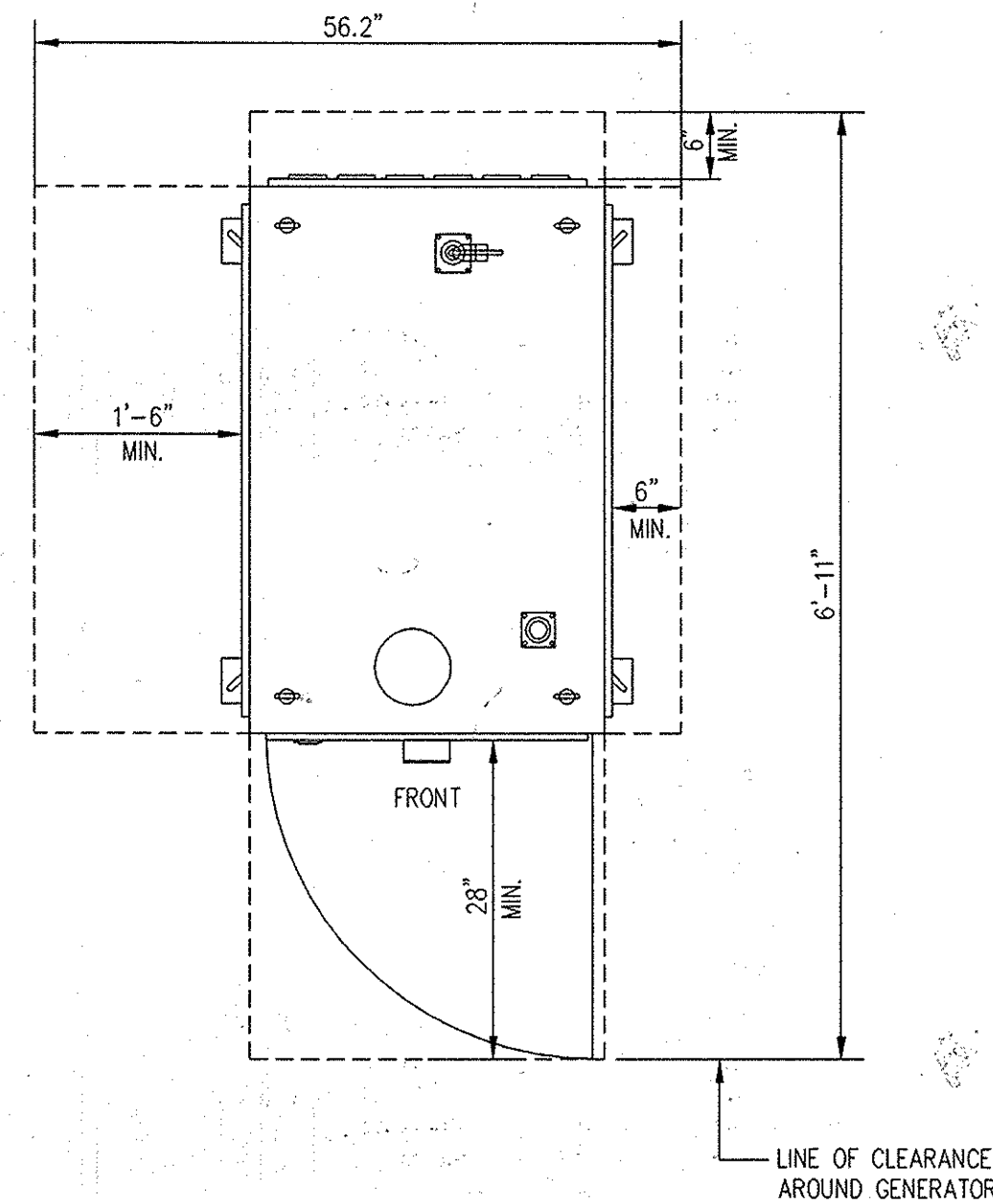
**CABLE SUPPORT DETAIL**  
SCALE: 1-1/2"=1'-0"

2  
12

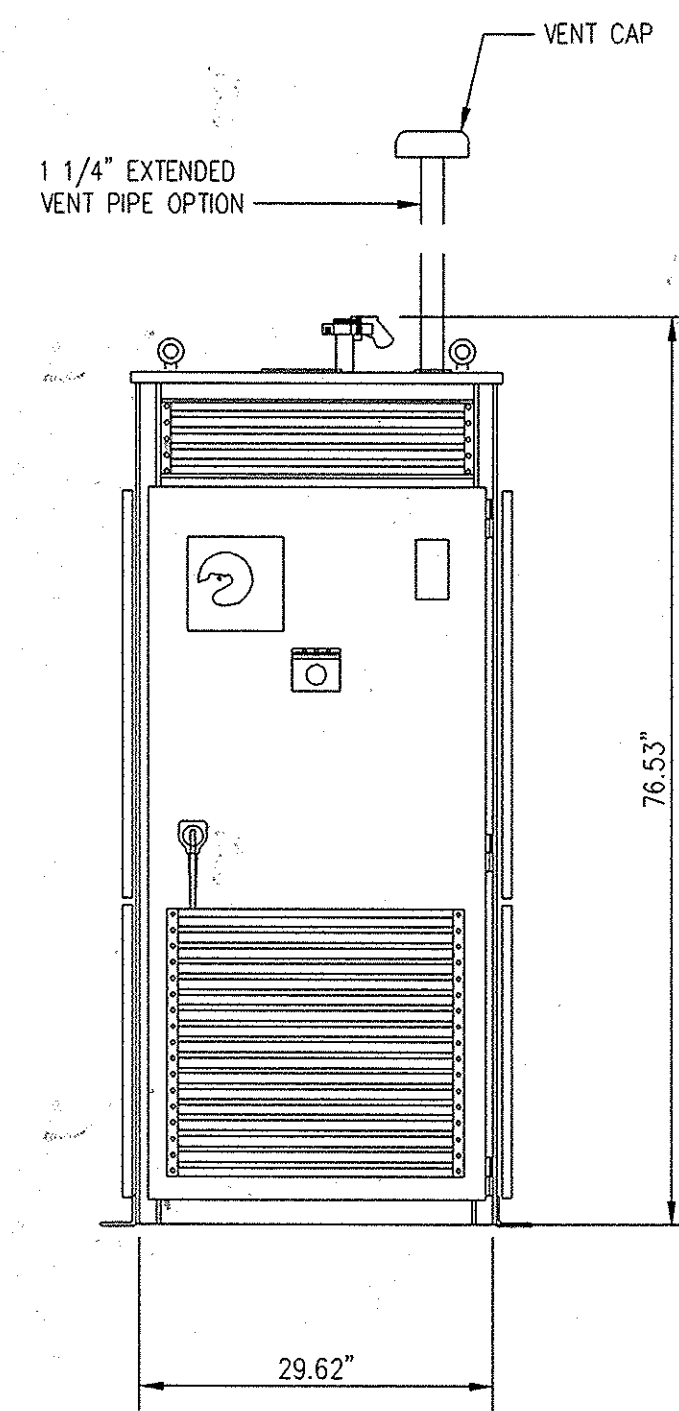


**GPS MOUNTING DETAIL**  
SCALE: 1-1/2"=1'-0"

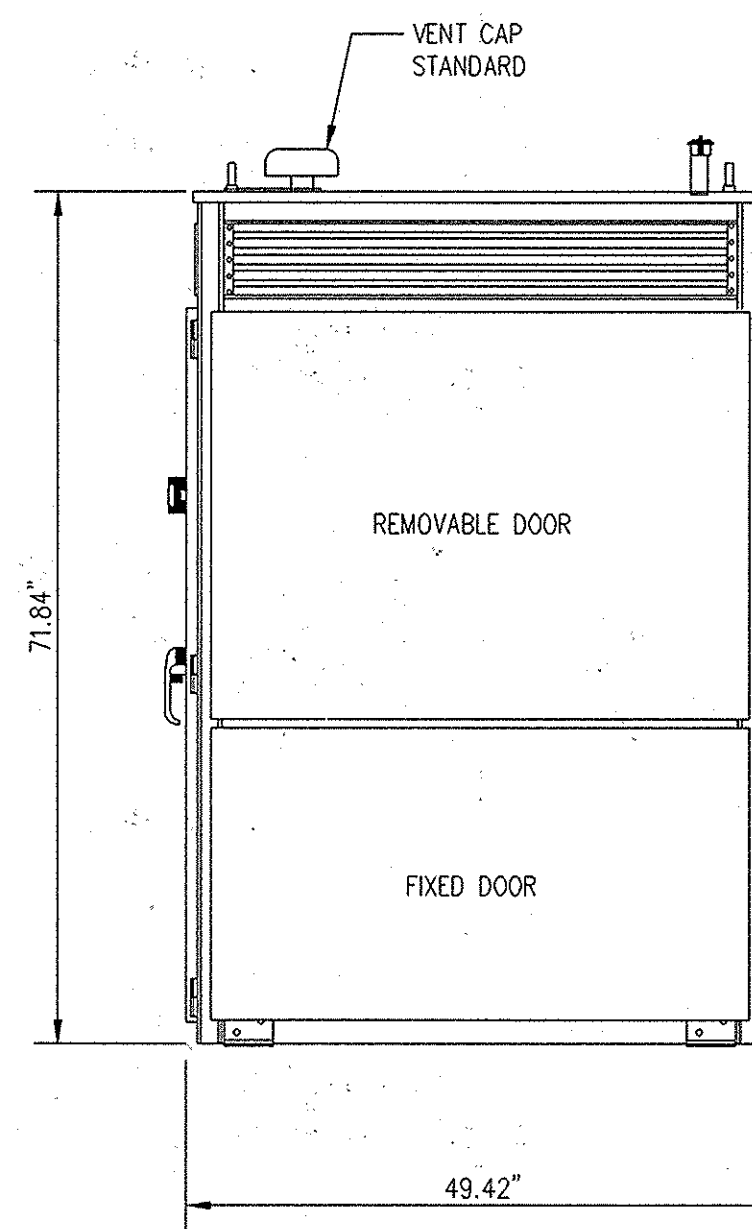
3  
12



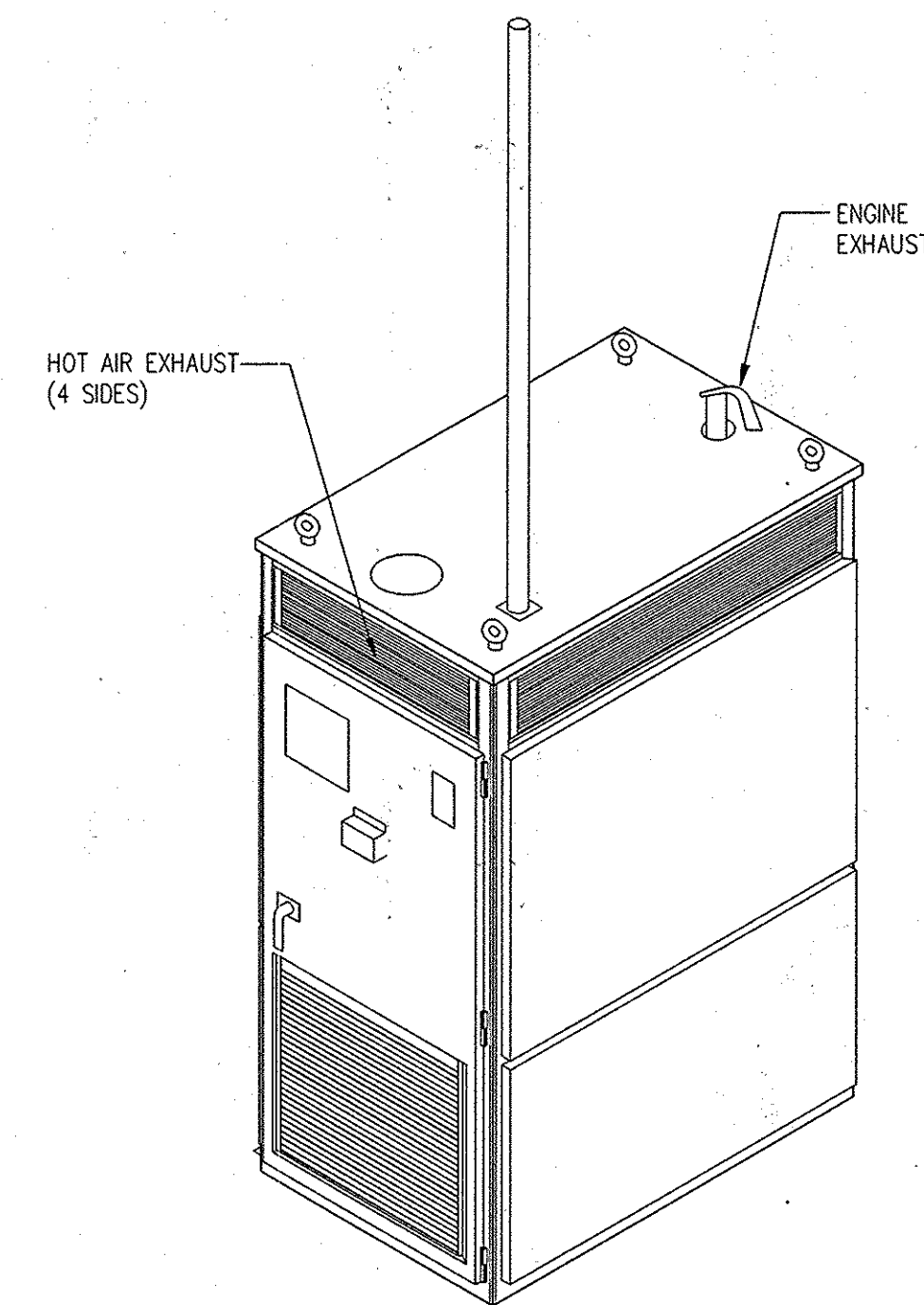
**TOP VIEW**



**FRONT VIEW**



**SIDE VIEW**



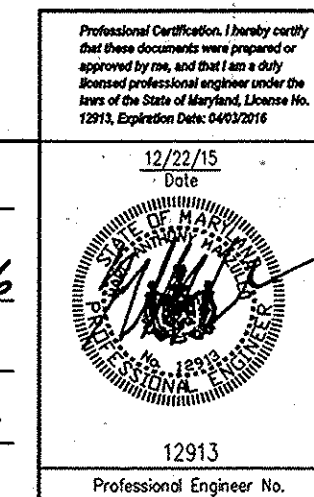
**ISOMETRIC VIEW**

GENERATOR WEIGHT - 765 LBS

**POLAR NATURAL GAS DC GENERATOR DETAILS**  
SCALE: 3/4"=1'-0"

4  
12

APPROVALS			
APPROVED:	DEPARTMENT OF PLANNING AND ZONING	DATE:	2-10-16
		DATE:	2-16-16
		DATE:	2-16-16



Date	No.	Revision Description
12-22-15	1	NEW VERIZON WIRELESS EQUIPMENT WITH CANOPY AND GENERATOR IN EXISTING EQUIPMENT COMPOUND

VERIZON WIRELESS  
PROPOSED EQUIPMENT AND GENERATOR  
IN EXISTING FENCED EQUIPMENT COMPOUND

OWNER:  
REHOCOLLIC  
9640 EMBERTON RD  
FARMERSVILLE, MD 21039

DEVELOPER:  
VERIZON WIRELESS  
13630 ANDERLEIGH RD  
LABEL, MD 20725

**ROUTE 100 BUSINESS PARK**

**entrex**  
communications services, inc.  
6600 Rockledge Drive, Suite 550  
Baltimore, MD 21117  
PHONE: (410)488-0900  
FAX: (410)488-0901

Subdivision Name	Section/Zone	Lot/Parcel #
LIBERTY 11935	1/A	Parcel 382

DATE: 12/22/15

12913  
Professional Engineer No.

**SITE AND GENERATOR DETAILS**

Des. By: M.A. Scale: Entrex Proj. No: 1102.283  
Dwn. By: M.A. Date: 11-12-15  
Chk. By: M.M. Approved: M.M. 12 of 12