

**NOTE**  
 1. ALL GRAVITY SEWER MAINS SHALL BE 6" DIA. R.C.P. WITH 1" DIA. GASKET JOINTS. CONCRETE PIPE JOINTS SHALL BE BELL & SPIGOT TYPE WITH RUBBER GASKETS.  
 2. 4" SAN. FORCE MAIN SHALL BE D.I.P. C.U.S. WITH C.U.D. 250 FITTINGS AND STANDARD FLANGED JOINTS.

**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, JOHN C. BVALAC, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27742, EXPIRATION DATE: JULY 12, 2022.

6/10/20  
 REVISION #3 PREPARED BY  
 BATTIMORE LAND DESIGN  
 GROUP, INC.  
 230 SCHILLING CIRCLE,  
 SUITE 304  
 HUNT VALLEY MD 21031

7/28/2020

REVISED PARKING REQUIREMENTS AND PROPOSED USES FOR CHANGE IN USE WITHIN EXISTING BUILDING AT 10830 GUILFORD ROAD, SUITE 107. REVISED PARKING CALCULATIONS. REQUIREMENTS TO:

THESE PLANS FOR SMALL BUILD CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MUST MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED HOWARD SOIL CONSERVATION DISTRICT  
 USDA SOIL CONSERVATION SERVICE  
 DATE: 5-9-88

APPROVED HOWARD SOIL CONSERVATION DISTRICT  
 DATE: 5/9/88

APPROVED HOWARD SOIL CONSERVATION DISTRICT  
 DATE: 6-1-88

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
 DATE: 6-10-88

**ANNAPOLIS JUNCTION ROAD WIDENING PAVING SECTION**

**LEGEND**

- TRACT OUTLINE
- MIN. BUILDING RESTRICTION LINE
- EXISTING GROUND
- PROPOSED GRADE
- NUMBERED PARKING SPACES
- HANDICAP PARKING
- TYPE 'A' PAVING (HO. CO. P-1) CAR
- TYPE 'B' PAVING (HO. CO. P-2) TRUCK
- ANNAPOLIS JUNCTION ROAD WIDENING
- LIMIT OF SUBMITTAL

**NOTE:**  
 The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building, shown on this site development plan, who will discharge non-domestic waste to the public sewerage system if this waste is regulated under Section 18.122A of the Howard County Code. Each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above requirements shall apply to all initial and future occupants or tenants.

**RELOCATED MD. ROUTE 32**  
 (STATE PLATS 45949, 45948, 45946)

**SITE DATA**

TOTAL AREA OF SUBMITTAL: 246,000 SQ. FT. OR 5.60 AC.  
 TOTAL AREA OF SITE: 716,644 SQ. FT. OR 16.42 AC.  
 AREA OF 25' HIGHWAY WIDENING: 20,174 SQ. FT. OR 0.46 AC.  
 NET AREA OF SITE: 696,470 SQ. FT. OR 15.96 AC.  
 EXISTING USE: VACANT  
 PROPOSED USE: OFFICE/WAREHOUSE  
 TOTAL FLOOR AREA: 143,000 SQ. FT.  
 FLOOR AREA RATIO: 20.54%  
 (BUILDING COVERAGE WITHOUT PAVING)  
 BUILDING COVERAGE WITH PAVING: 57.6%  
 AREA OF PARKING LOT: 150,000 SQ. FT. OR 3.40 AC.  
 AREA OF LANDSCAPED ISLANDS WITHIN PARKING AREA: 14,000 SQ. FT. OR 0.32 AC.  
 PERCENTAGE OF LANDSCAPING WITHIN PARKING AREA: 9.34%  
 % OPEN SPACE: 42.20%, 289,910 SQ. FT.  
 AREA TO BE DISTURBED: 148,210 SQ. FT.  
 AREA TO BE VEG. STABILIZED: 24,940 SQ. FT. OR 0.57 AC.  
 EXISTING ZONING: M-2  
 PROPERTY REFERENCE: THE AGENCY GROUP 10831 800

**INDEX OF SHEETS:**  
 SHEET 1A SITE PLAN  
 SHEET 2 OF 2 PROFILES & DETAILS (BUILDING, H.C. DETAILS, CURB DETAILS)  
 SHEET 3 OF 2 PROFILES & DETAILS (SOIL DRAINS)  
 SHEET 4 OF 1 PROFILES & DETAILS (SO. SAN., RAIL TIES A & B)  
 SHEET 5 OF 1 SEWAGE TREATMENT PLANT  
 SHEET 6 OF 1 PROFILES, SEDIMENT & EROSION CONTROL  
 SHEET 7 OF 1 LANDSCAPE PLAN

**STORM WATER MANAGEMENT**  
 APPROVED ON SDP 85-207

THIS PLAN IS A REVISION TO SDP 85-207 THE REASON FOR REVISION IS TO PROVIDE SPACE FOR A FUTURE S.H.A. RAMP AND REALIGN THE SANITARY SEWER

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS, AND ROADWAY DEPARTMENT OF PUBLIC WORKS

DIRECTOR: James M. Kelly DATE: 5/24/88

CHIEF BUREAU OF ENGINEERING: Robert S. Riey DATE: 5-24-88

REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND METS TECHNICAL REQUIREMENTS:  
 James M. Kelly 5/9/88  
 Stephen L. Shuler 5/9/88

**APPROVED DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION HOWARD COUNTY, MARYLAND DATE 1-28-88**

**ADDRESS CHART**

BUILDING #	STREET ADDRESS
1	10830 ANNAPOLIS JUNCTION ROAD GUILFORD ROAD
2	10830 ANNAPOLIS JUNCTION ROAD GUILFORD ROAD
3	10830 ANNAPOLIS JUNCTION ROAD GUILFORD ROAD
4	10830 ANNAPOLIS JUNCTION ROAD GUILFORD ROAD

SUBMITTAL NAME: AGENCY/MERRITT PROPERTY  
 PLAT OF THE BLOCK: 48  
 WATER CODE: 800  
 SEWER CODE: 450000

**GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.**  
 CIVIL ENGINEERS & LAND SURVEYORS  
 303 ALLEGHENY AVENUE  
 TOWSON, MARYLAND 21204  
 (501) 255-8120

**MERRITT**  
 2066 Lord Baltimore Drive  
 Baltimore, Maryland 21207  
 (301) 298-2600

OWNER: THE AGENCY GROUP

DEVELOPER'S CERTIFICATE:  
 I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ALL RESPONSIBILITIES PERTAINING TO THE SUBMITTAL REQUIREMENT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE REGIONAL ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED 'AS-BUILT' OF THE S.H.A. FACILITY WITHIN 30 DAYS OF COMPLETION.

ENGINEER: Tharadatta Chandra  
 DATE: 10/18/88

**DEVELOPER'S CERTIFICATE:**  
 I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ALL RESPONSIBILITIES PERTAINING TO THE SUBMITTAL REQUIREMENT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE REGIONAL ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED 'AS-BUILT' OF THE S.H.A. FACILITY WITHIN 30 DAYS OF COMPLETION.

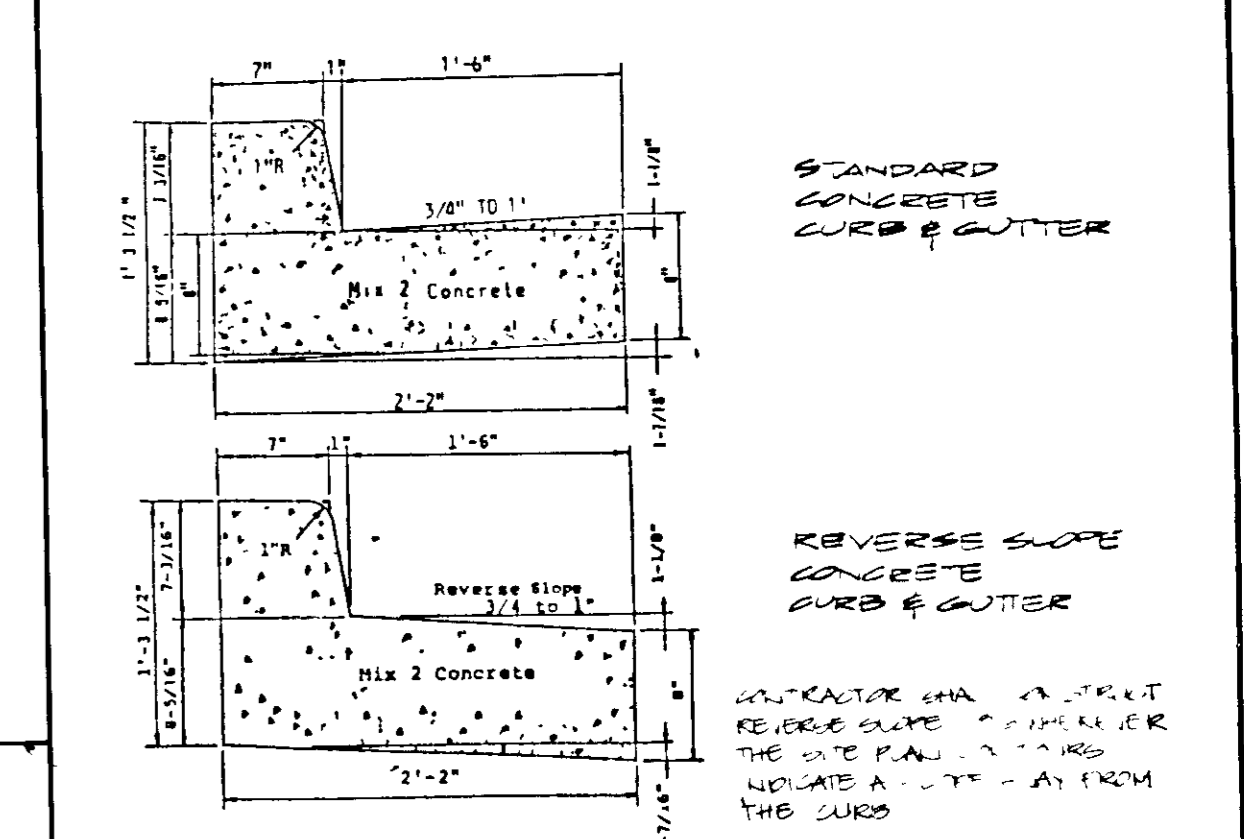
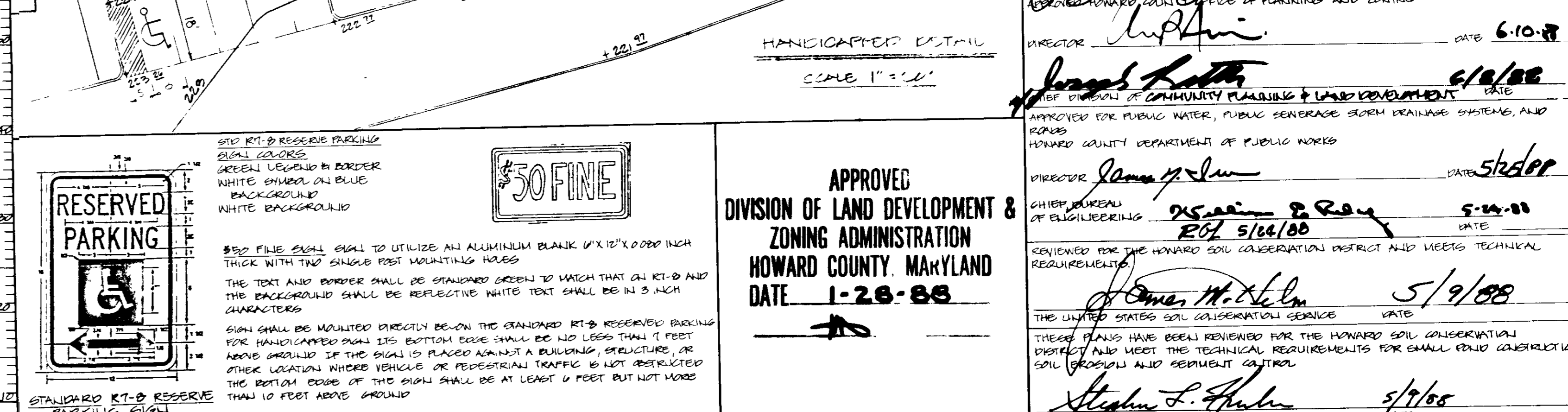
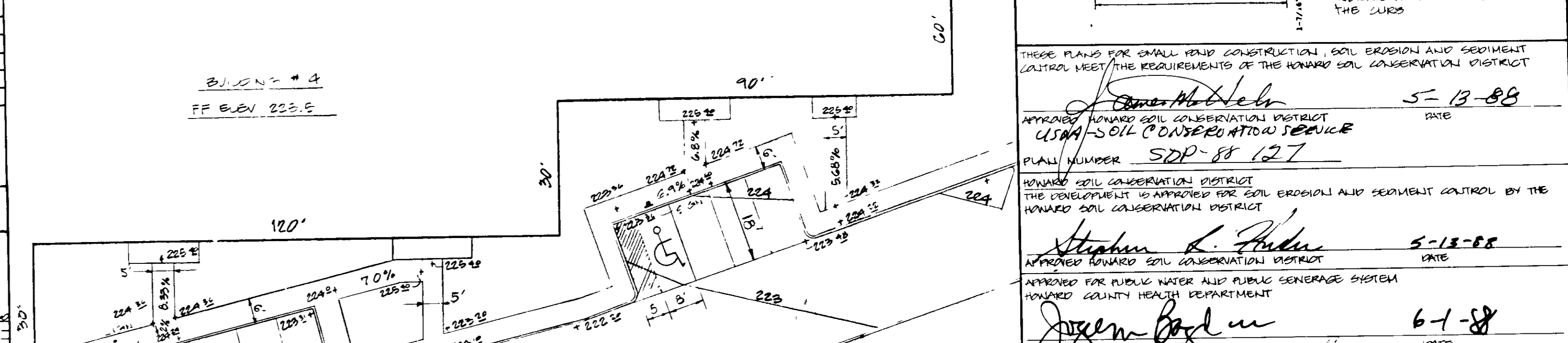
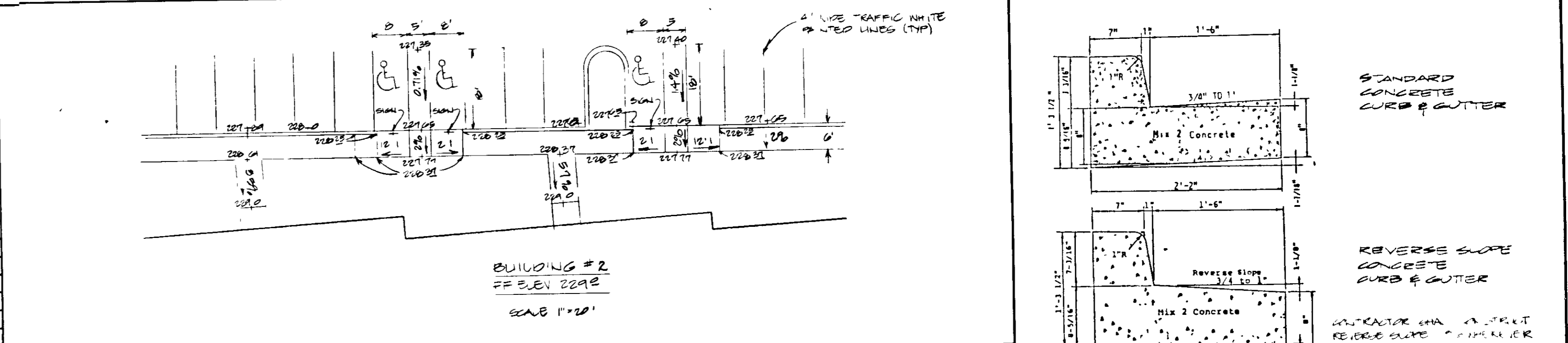
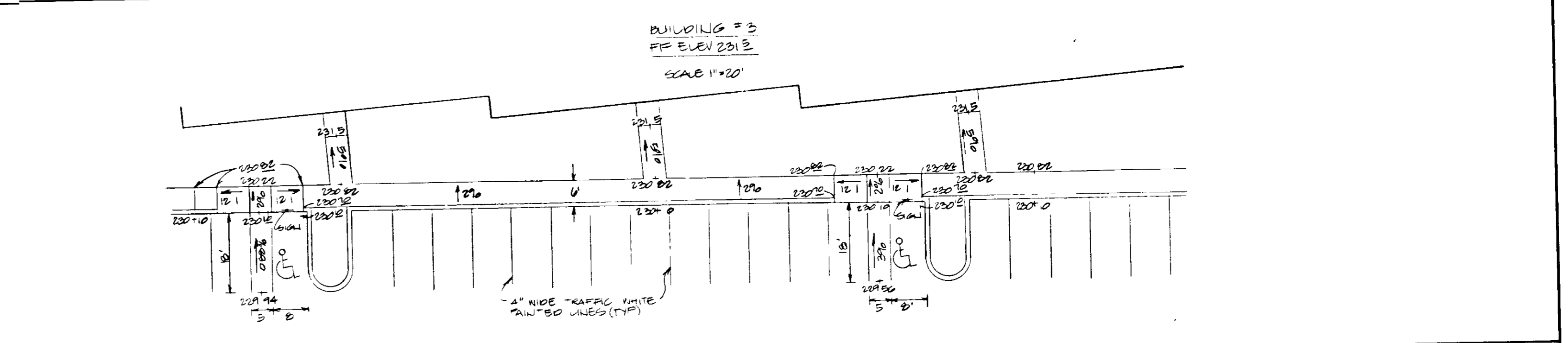
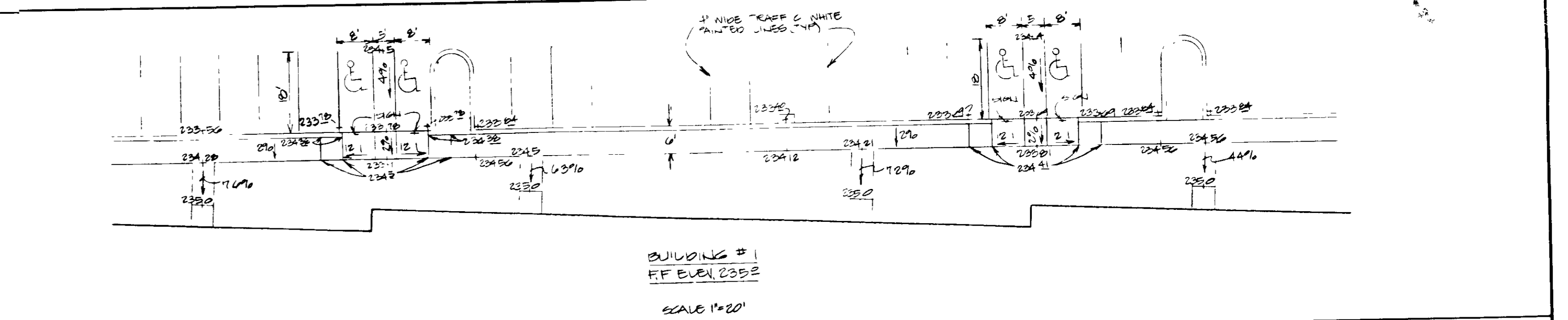
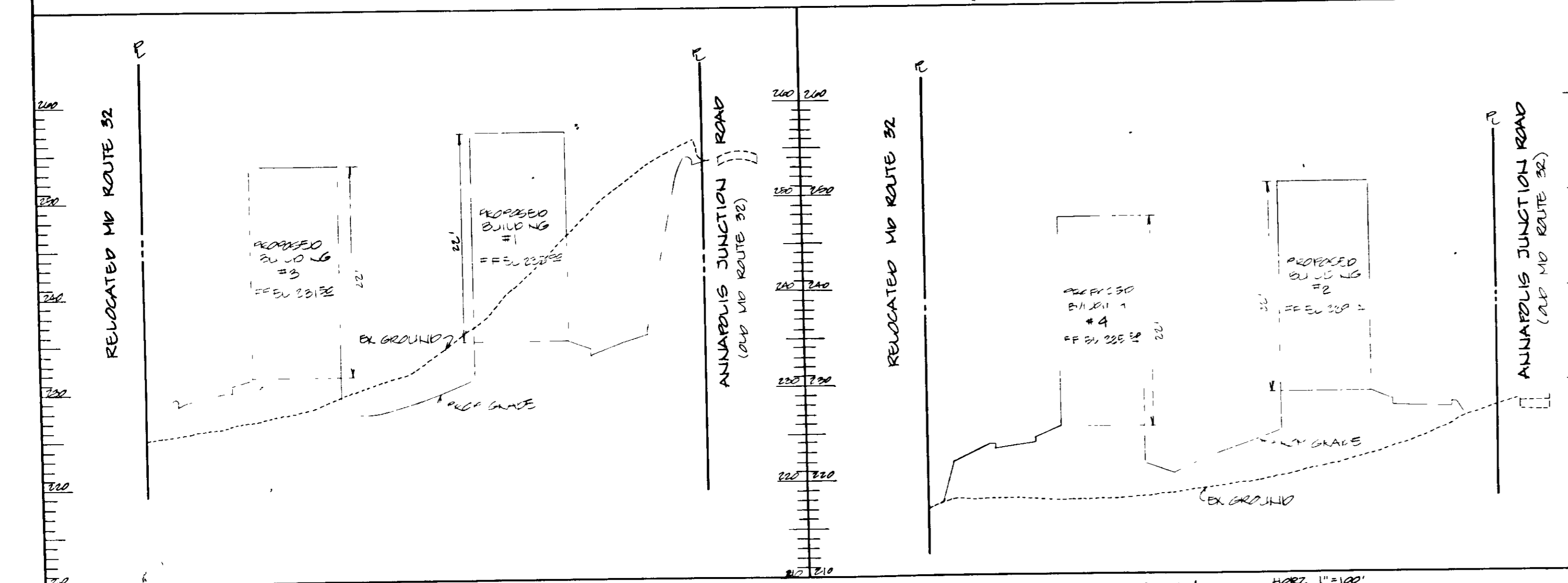
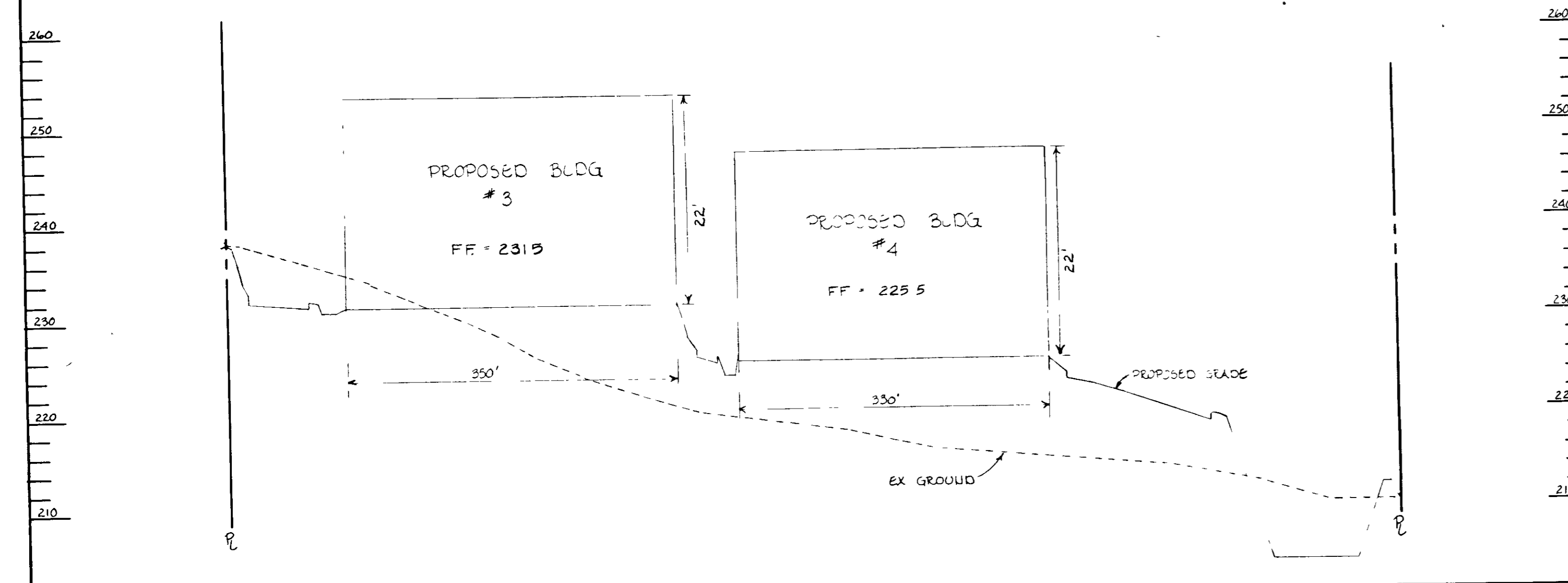
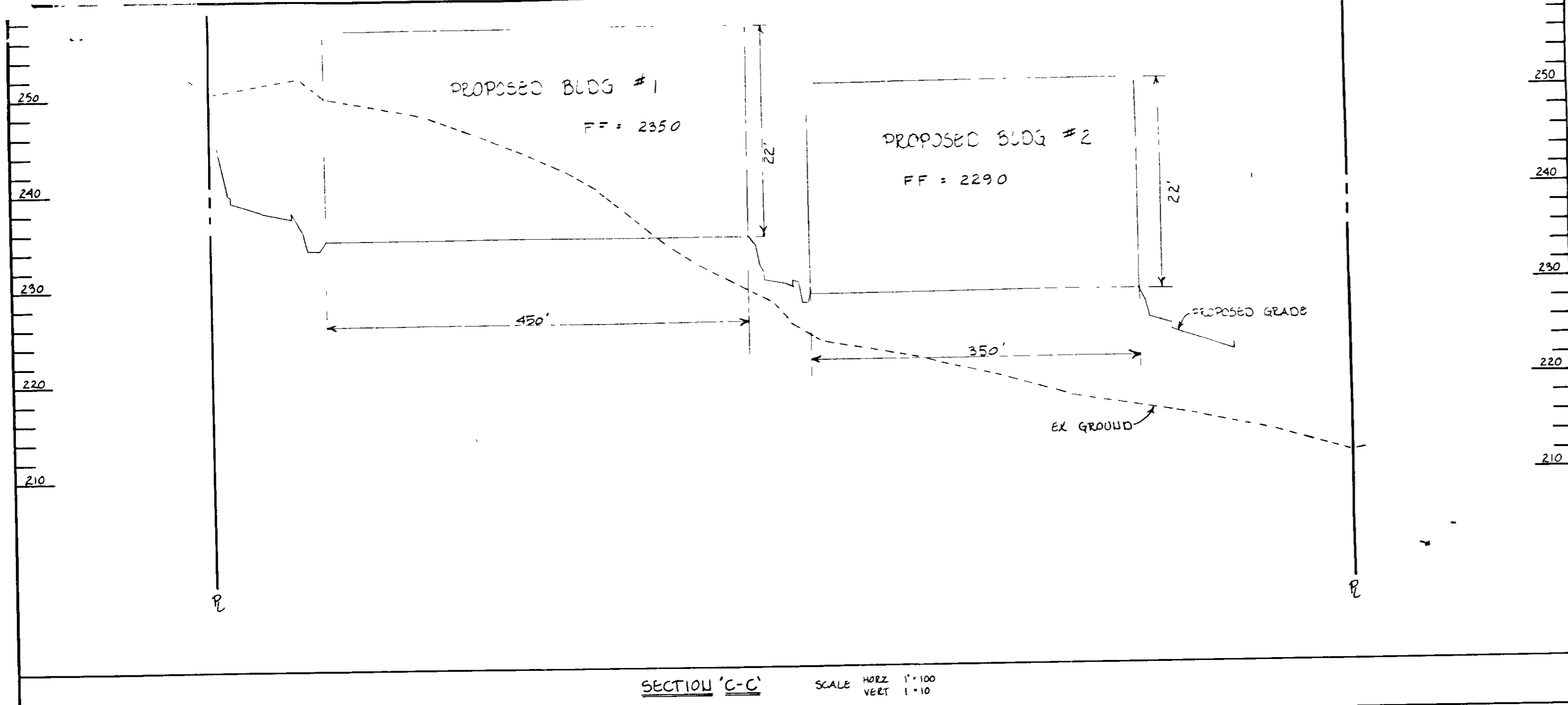
DEVELOPER: The Agency Group  
 DATE: 10/18/88

**PROPOSED OFFICE AND WAREHOUSE THE AGENCY GROUP**  
 ANNAPOLIS JUNCTION ROAD GUILFORD ROAD  
 (A REVISION TO SDP 85-207)  
 PARCEL 33

HOWARD CO. MR. BVALAC  
 SCALE: 1"=50'  
 ELECT. DIST. 6  
 DECEMBER 31, 1987

**SDP-88-127**

SHEET 1 OF 7



THESE PLANS FOR SMALL BUILD CONSTRUCTION SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT

APPROVED HOWARD SOIL CONSERVATION DISTRICT  
USDA'S SOIL CONSERVATION SERVICE  
PLANNING NUMBER SDP-88-127

APPROVED HOWARD SOIL CONSERVATION DISTRICT  
THE DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEM  
HOWARD COUNTY HEALTH DEPARTMENT

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEM  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS, AND HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

SHIPP BUREAU OF ENGINEERING

REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

THE UNITED STATES SOIL CONSERVATION SERVICE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL BUILD CONSTRUCTION SOIL EROSION AND SEDIMENT CONTROL

OWNER  
THE AGENCY GROUP C/O  
**MERRITT**  
2066 Lord Baltimore Drive  
Baltimore, Maryland 21207  
(301) 298-2600

DEVELOPER'S CERTIFICATE: I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE BEING ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AS A PART OF HUMAN RESOURCES APPROVED PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZED PERSONNEL ON-SITE INSPECTION ON THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS AND DEEMED NECESSARY DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE S.M. FACILITY WITHIN 30 DAYS OF COMPLETION.

DEVELOPER: *Scott Downey* DATE: 11/1/87

APPROVED  
DIVISION OF LAND DEVELOPMENT &  
ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE: 1-28-89

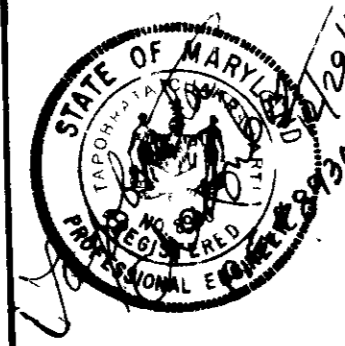
DESIGNED P.R.C.  
DRAWN C.A.H.  
CHECKED P.R.C.  
REVISIONS

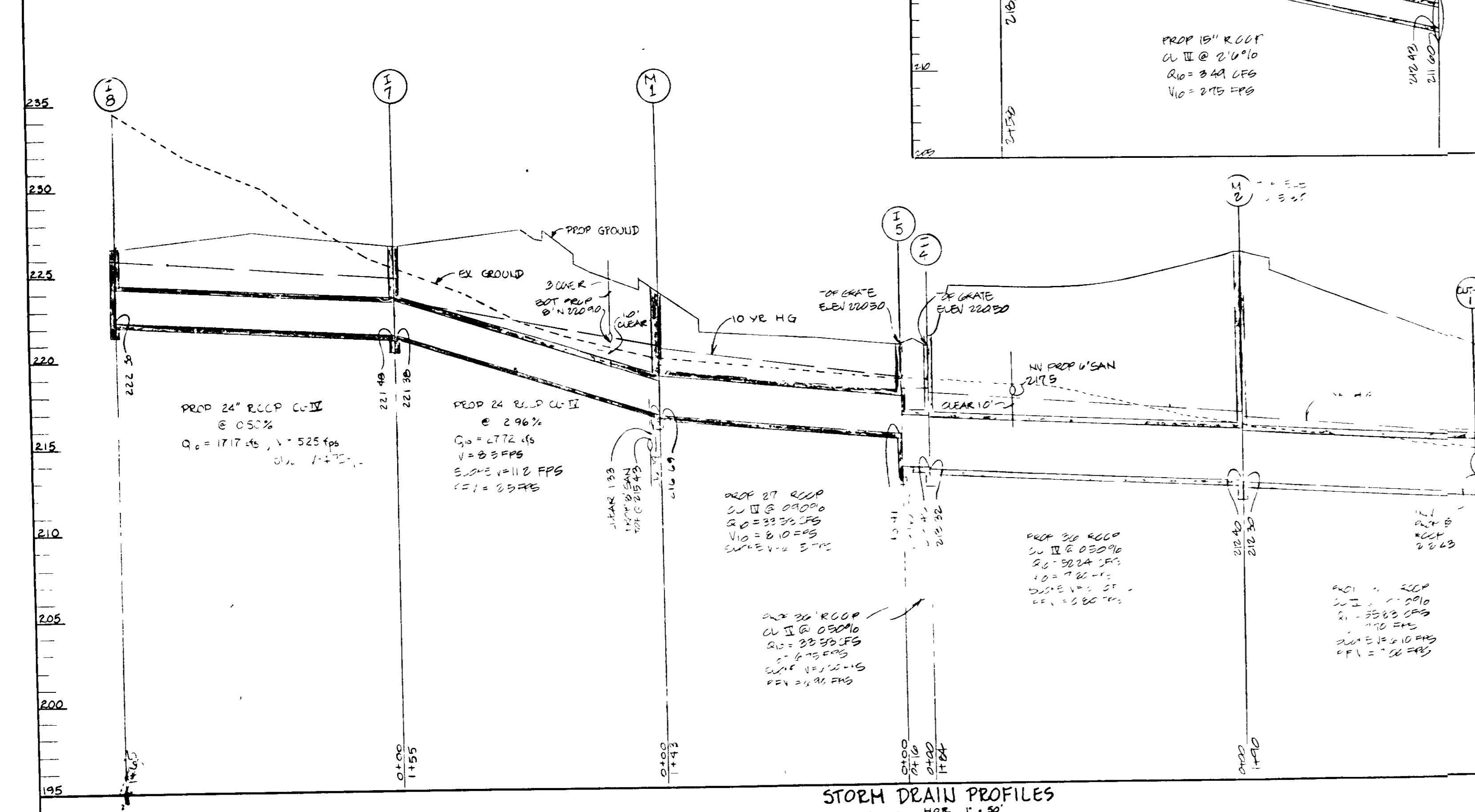
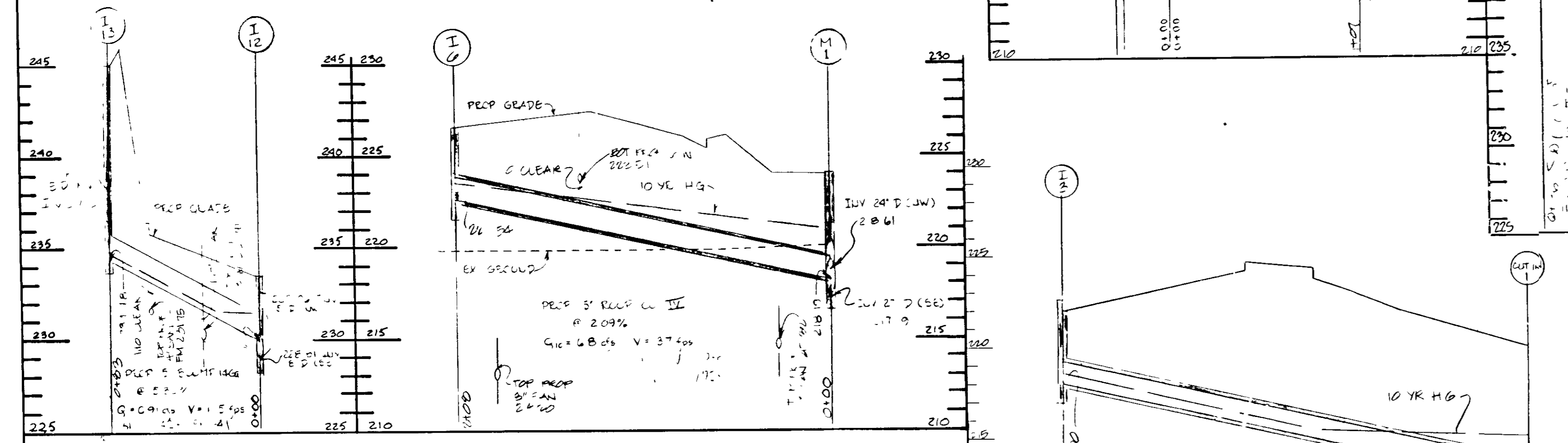
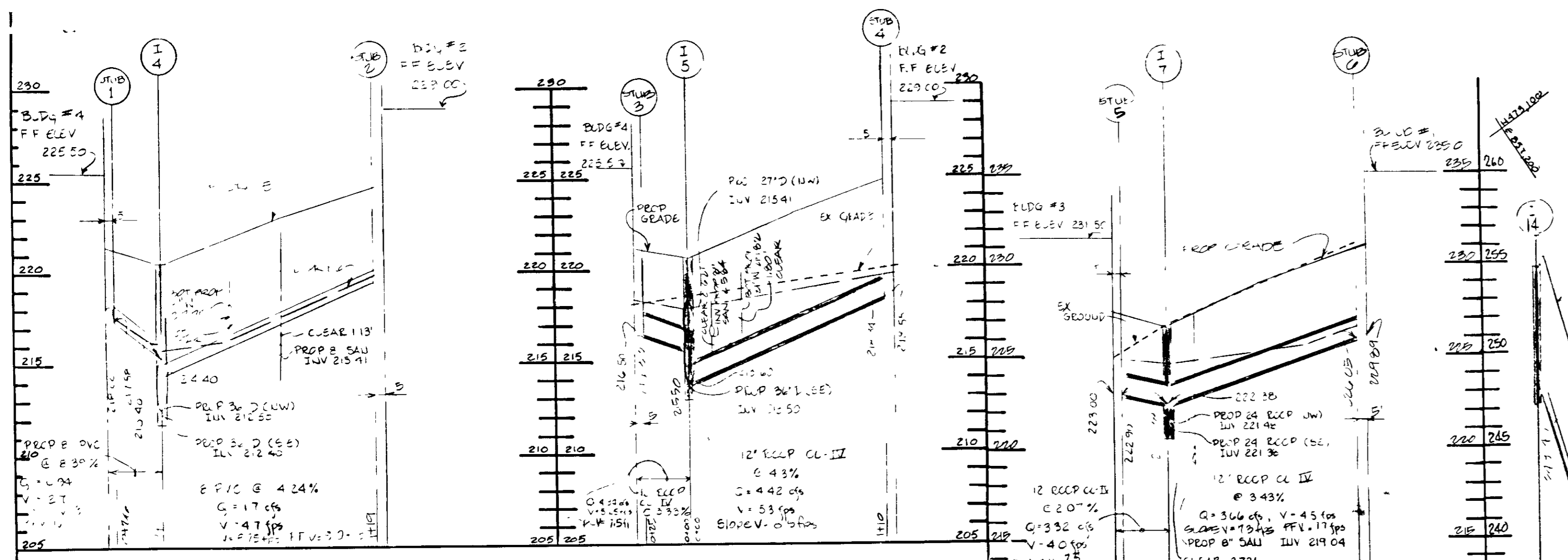
PROFILES & DETAILS  
PROPOSED OFFICE AND WAREHOUSE  
**THE AGENCY GROUP**  
ANNAPOLIS JUNCTION ROAD  
(A REVISION TO SET 88-207)  
TAX MAP 40 PARCEL 33  
HOWARD CO, MD ELECT DIST 6  
SCALE AS SHOWN DEC 29, 1987  
SHEET 2 OF 7  
SDP-88-127

**GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.**  
CIVIL ENGINEERS & LAND SURVEYORS  
303 ALLEGHENY AVENUE  
TOWSON, MARYLAND 21204  
(301) 825-8120

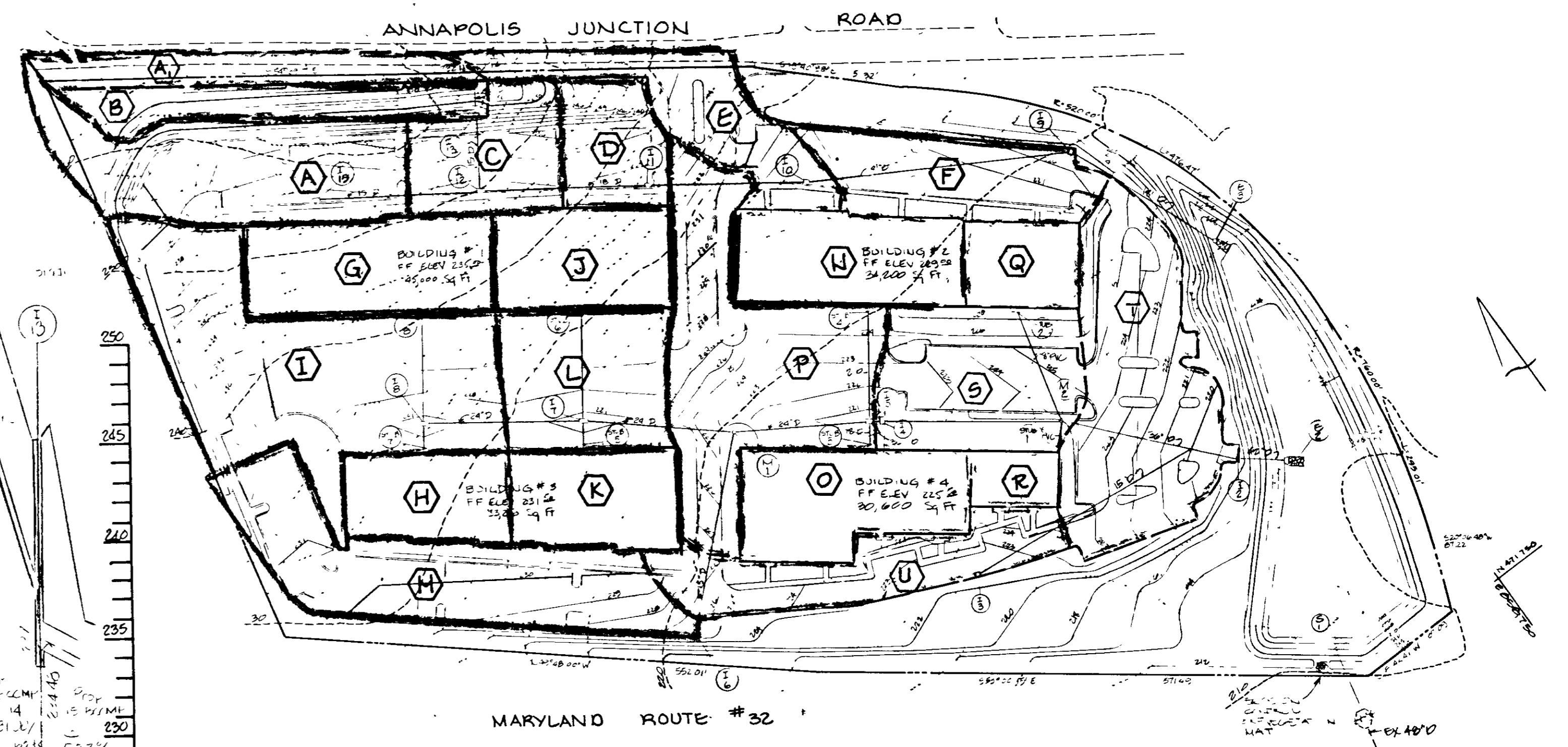
ENGINEER'S CERTIFICATE: I CERTIFY THAT THIS PLAN FOR S.M. FACILITY CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE S.M. FACILITY WITHIN 30 DAYS OF COMPLETION.

ENGINEER: *George William Stephens, Jr.*  
DATE: 12-29-87





STORM DRAIN PROFILES  
SCALE: HORIZ. 1" = 50'  
VERT. 1" = 5'



STORM DRAIN  
DRAINAGE AREA MAP  
SCALE 1" = 100'

PA	AREA	CA	AREA	CA	AREA	CA	AREA
A	DRY	DRY	DRY	DRY	DRY	DRY	DRY
B	DRY	DRY	DRY	DRY	DRY	DRY	DRY
C	DRY	DRY	DRY	DRY	DRY	DRY	DRY
D	DRY	DRY	DRY	DRY	DRY	DRY	DRY
E	DRY	DRY	DRY	DRY	DRY	DRY	DRY
F	DRY	DRY	DRY	DRY	DRY	DRY	DRY
G	DRY	DRY	DRY	DRY	DRY	DRY	DRY

NO	TYPE	TOP ELEV.	INV. IN	INV. OUT	REMARKS
2-1	24" RCP CL-II	229.00	211.85	207.85	Ho Co Std - SD 432
2-2	24" RCP CL-II	228.57	218.00	218.00	Ho Co Std - SD 434
2-3	24" RCP CL-II	221.10	213.32	213.32	Ho Co Std - SD 423
2-4	24" RCP CL-II	222.50	215.41	213.50	Ho Co Std - SD 434
2-5	24" RCP CL-II	222.05	222.94	222.94	Ho Co Std - SD 433
2-6	24" RCP CL-II	222.60	221.48	221.58	Ho Co Std - SD 433
2-7	24" RCP CL-II	222.60	222.80	222.80	Ho Co Std - SD 433
2-8	24" RCP CL-II	222.60	222.80	222.80	Ho Co Std - SD 433
2-9	24" RCP CL-II	222.55	221.00	219.50	Ho Co Std - SD 434
2-10	24" RCP CL-II	222.25	223.35	223.35	Ho Co Std - SD 434
2-11	24" RCP CL-II	223.90	227.90	226.40	Ho Co Std - SD 434
2-12	24" RCP CL-II	224.00	229.00	228.01	Ho Co Std - SD 434
2-13	24" RCP CL-II	224.00	227.25	224.48	Ho Co Std - SD 414
2-14	24" RCP CL-II	224.00	224.00	224.00	Ho Co Std - MD 374.21
2-15	24" RCP CL-II	224.00	224.00	224.00	Ho Co Std - MD 374.21
2-16	24" RCP CL-II	224.00	224.00	224.00	Ho Co Std - MD 374.21

APPROVED  
DIVISION OF LAND DEVELOPMENT &  
ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE 1-29-88

THESE PLANS FOR SMALL BUILDING CONSTRUCTION SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*James McHelm* 5-13-88  
APPROVED FOR THE HOWARD SOIL CONSERVATION DISTRICT  
USDA SOIL CONSERVATION SERVICE

*Stephen L. Fuller* 6-9-88  
APPROVED FOR THE HOWARD SOIL CONSERVATION DISTRICT  
HOWARD COUNTY HEALTH DEPARTMENT

*James McHelm* 6-1-88  
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEM  
HOWARD COUNTY HEALTH DEPARTMENT

*James McHelm* 6-10-88  
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEM, STORM DRAINAGE SYSTEMS, AND ROADS  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

*James McHelm* 5-11-88  
APPROVED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

*James McHelm* 5-19-88  
THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL BUILDING CONSTRUCTION SOIL EROSION AND SEDIMENT CONTROL.

*Stephen L. Fuller* 5/1/88  
US SOIL CONSERVATION SERVICE

**GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.**  
CIVIL ENGINEERS & LAND SURVEYORS  
303 ALLEGHENY AVENUE  
TOWSON, MARYLAND 21204  
(301) 825-8120

ENGINEER'S CERTIFICATE  
I CERTIFY THAT THIS PLAN FOR A FACILITY CONSTRUCTION, EROSION AND SEDIMENT CONTROL MEETS THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS FOR SMALL BUILDING CONSTRUCTION SOIL EROSION AND SEDIMENT CONTROL.

*Veerabrat Chakrabarti*  
ENGINEER  
8830  
DATE 12/29/82

OWNERS  
THE AGENCY GROUP CO  
**MERRITT**  
2066 Lord Baltimore Drive  
Baltimore, Maryland 21207  
(301) 298-1600

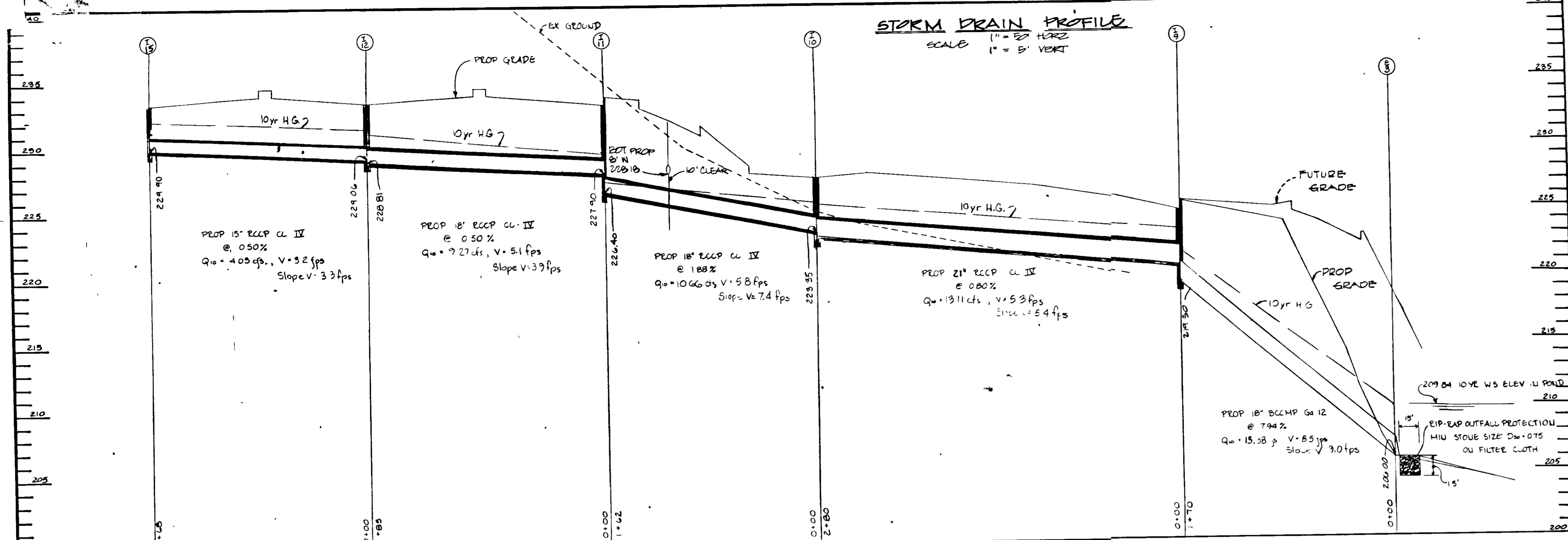
DESIGNED BY  
PC  
CHECKED BY  
PC

DEVELOPER'S CERTIFICATE  
I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ALL RESPONSIBLE PERSONNEL EMPLOYED IN THE CONSTRUCTION OF THE PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE THESE AUTHORIZED AGENTS AS ARE PROVIDED NECESSARY IDENTIFICATION FROM THIS PLAN WILL NOT BE WAIVED UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A REB-LINED "AS-BUILT" OF THE GNM FACILITY WITHIN 30 DAYS OF COMPLETION.

*Scott Conroy*  
DEVELOPER  
DATE 12/21/82

PROFILES & DETAILS  
PROPOSED OFFICE AND WAREHOUSE  
**THE AGENCY GROUP**  
ANNAPOLIS JUNCTION ROAD  
(A REVISION TO SDP 88-127)  
TAX MAP 40 PARCEL 23  
HOWARD CO, MD ELECT DIST 0  
SCALE AS SHOWN NUMBER OF SHEETS  
DATE 12/21/82

SHEET 3 OF 7  
SDP-88-127

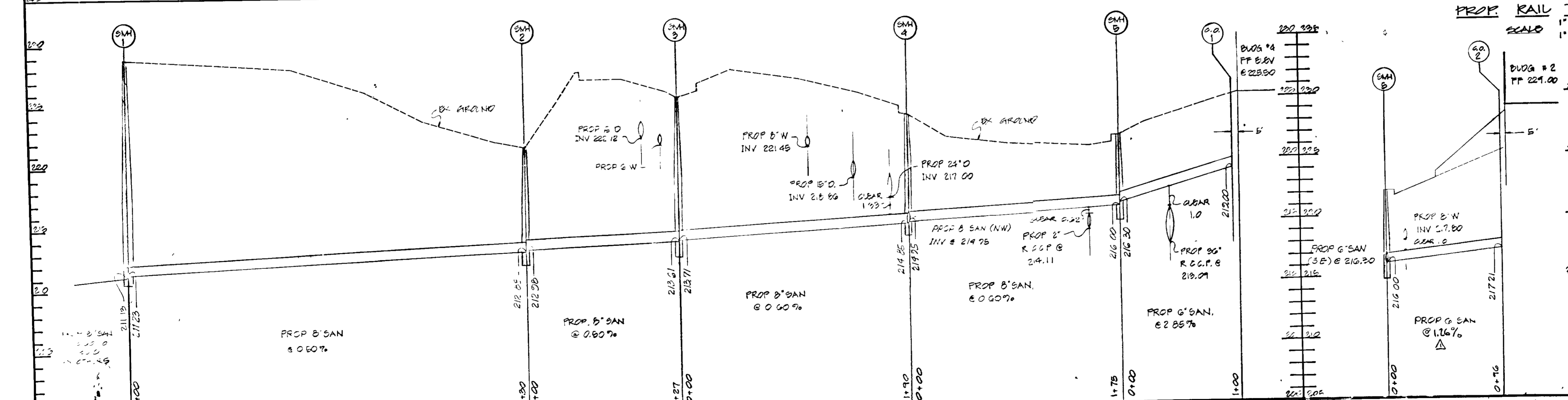
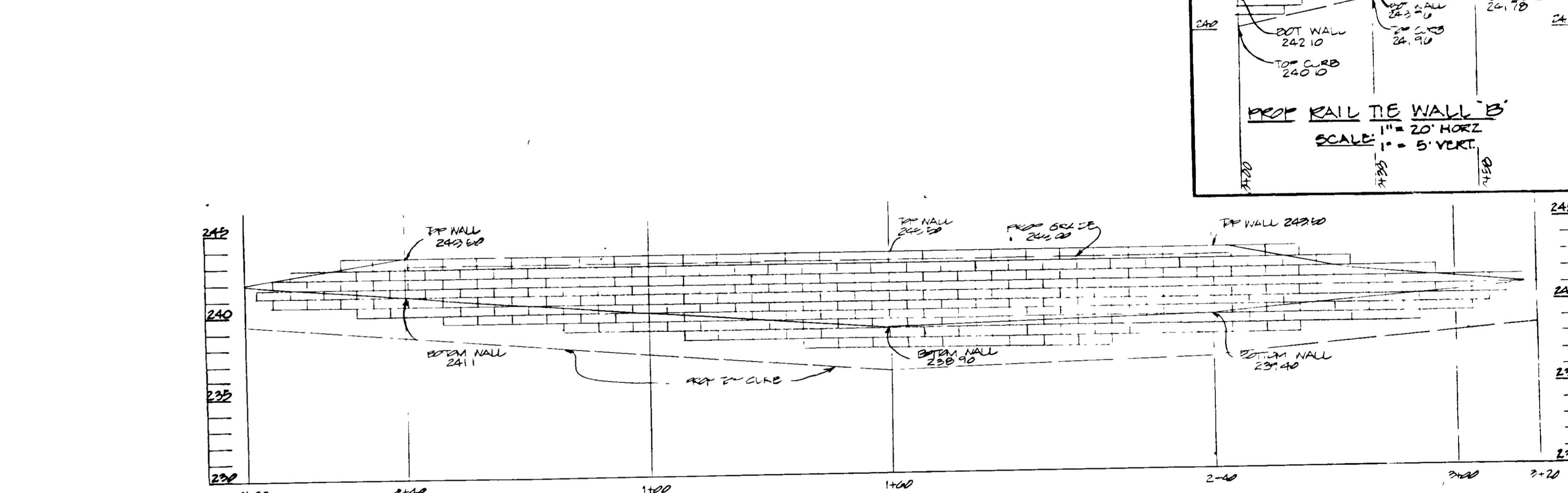
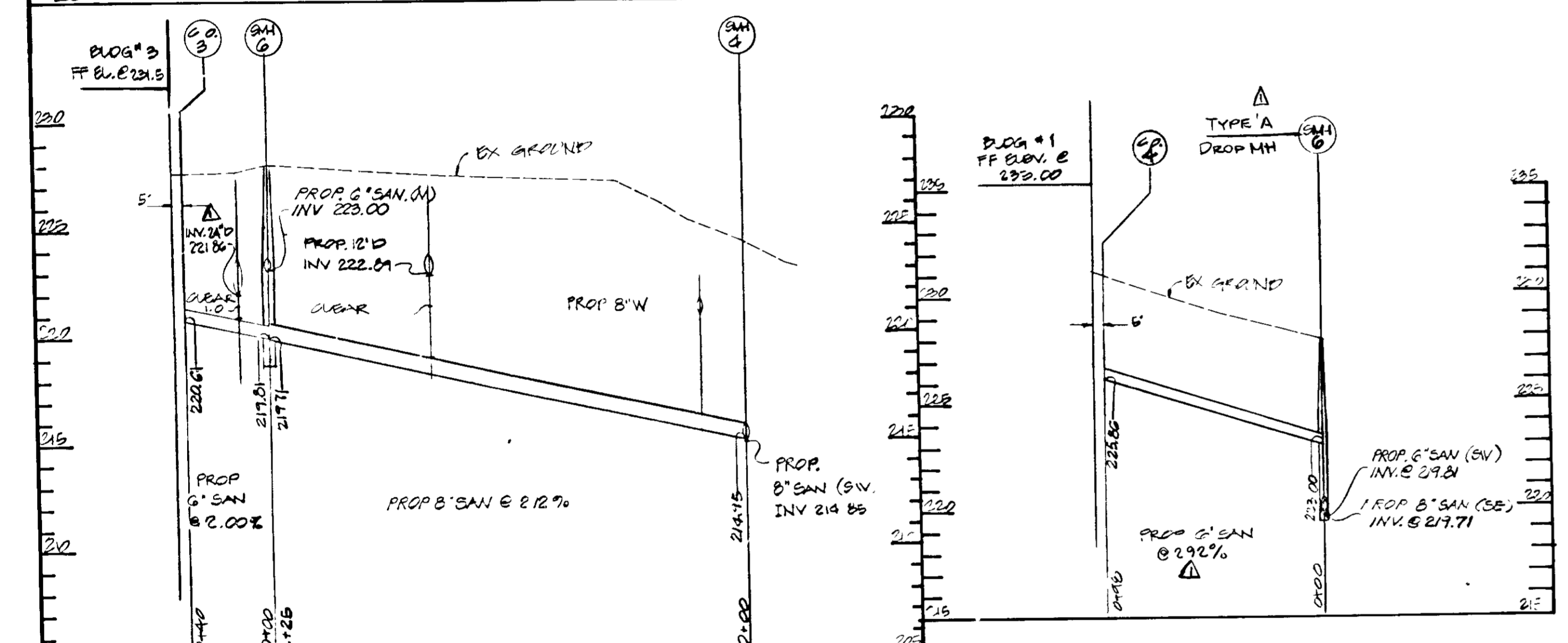
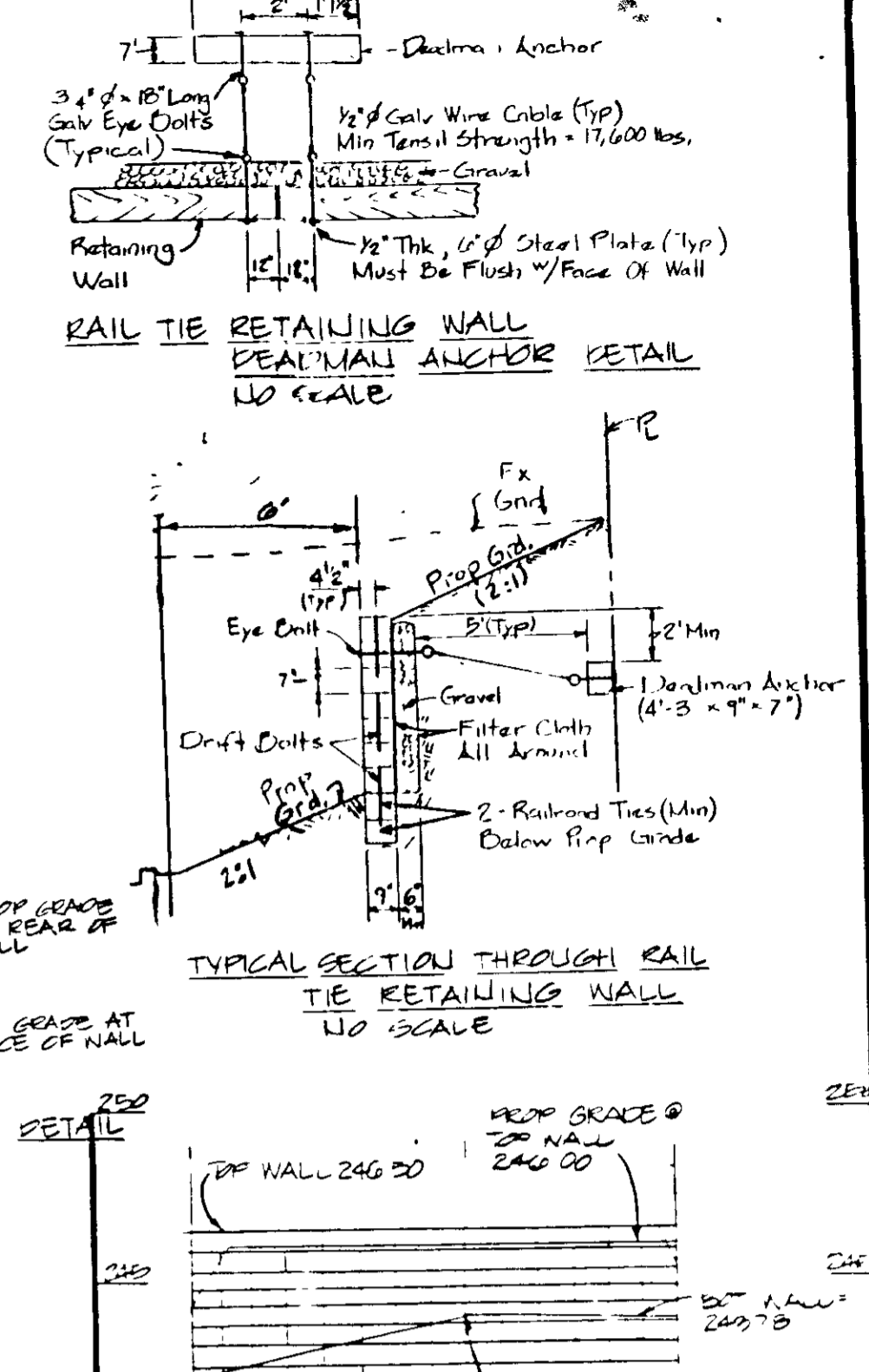


**SPECIFICATIONS FOR TIMBER CRIBBING**

**1 MATERIAL**  
Timber Used For Cribbing Shall Be Red Pine, Spruce, Fir, or Fir-Like Species. The Job is According to A.S.T.M. D-2000 Standard. All Timber Shall Be Free From Knots, Decay, or Other Defects. The Timber Shall Be Cut To A Uniform Length. The Timber Shall Be Cut To A Uniform Length. The Timber Shall Be Cut To A Uniform Length.

**2 INSTALLATION**  
(A) Foundation: The Foundation Or Bed For The Crib Shall Be Firm And As Uniform As Possible. The Foundation Shall Be Sloped At Right Angles To The Face Of The Finished Crib.  
(B) Timbers: The Timbers In The Base Tier And In Alternate Tiers Above The Base Tier Shall Be A Minimum Length Of 8'-0" Except As Shown. Joints In Each Tier Shall Be Staggered With Joints In Adjacent Tiers To Be Center To Center In Any Horizontal Plane. The Vertical Spacing Between Anchor Cables In The Same Vertical Plane Shall Be As Shown On The Drawing. Diagonal Anchor (Rail Ties) Shall Be Tied To The Cribbing According To Details Shown On The Drawing.  
(C) Fastenings: Each Successive Tier Of Cribbing Shall Be Fastened To The One Below Which It Rests On Draft Only. The Fastenings Shall Be Made In One Plane. The Fastenings Shall Be Made In One Plane. The Fastenings Shall Be Made In One Plane.

**3 FILLING**  
Approved Fill Material Of Crushed Stone, Gravel, Or Other Course Granular Material, Well Graded From A Maximum Size Of 4 inches down Shall Be Placed In Such A Manner As To Provide A Maximum Of Void Space. The Filling Material Shall Be Placed In Such A Manner As To Provide A Maximum Of Void Space. The Filling Material Shall Be Placed In Such A Manner As To Provide A Maximum Of Void Space.



**PROF. RAIL TIE WALL 'A'**  
SCALE: 1" = 20' HORIZ.  
1" = 5' VERT.

**PROF. RAIL TIE WALL 'B'**  
SCALE: 1" = 20' HORIZ.  
1" = 5' VERT.

**PROF. RAIL TIE WALL 'C'**  
SCALE: 1" = 20' HORIZ.  
1" = 5' VERT.

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

APPROVED: *James M. Wilson* 5/9/88  
D. S. Soil Conservation Service

APPROVED: *Stephen J. ...* 5/9/88  
HOWARD SOIL CONSERVATION DISTRICT

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,  
HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: *...* 6-1-88  
COUNTY HEALTH OFFICER

APPROVED: *...* 6-10-88  
DIRECTOR, HOWARD COUNTY OFFICE OF PLANNING & ZONING

APPROVED: *...* 5/24/88  
DIRECTOR, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

**GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.**  
CIVIL ENGINEERS & LAND SURVEYORS  
303 ALLEGHENY AVENUE  
TOWSON, MARYLAND 21204  
(301) 825-8120

**THE AGENCY GROUP**  
2066 Lord Baltimore Drive  
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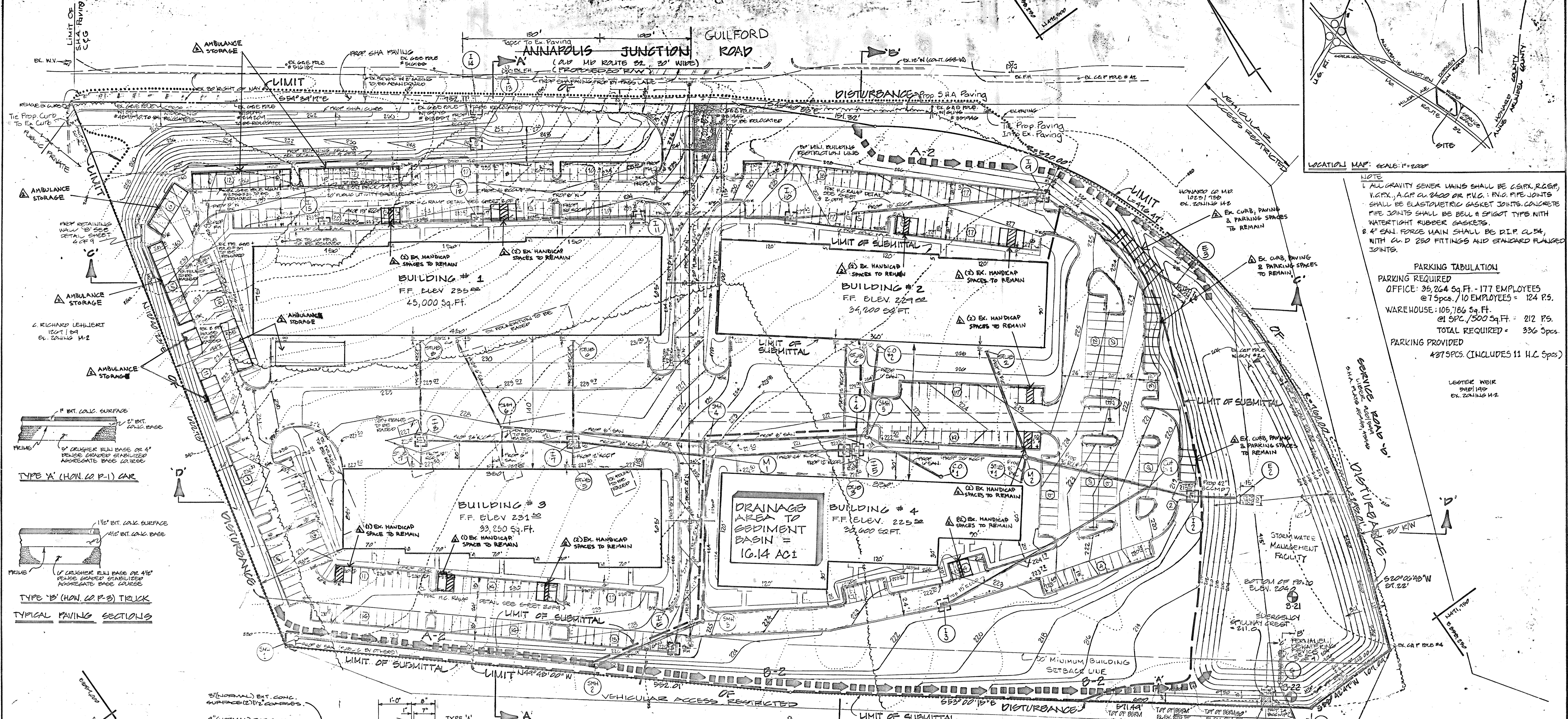
ENGINEER: *...* 1/29/87

**MERRITT**  
2066 Lord Baltimore Drive  
Baltimore, Maryland 21207  
(301) 298-2600

DEVELOPER: *...* DATE: *...*

**THE AGENCY GROUP**  
ANNAPOLIS JUNCTION ROAD  
(A REVISION TO SDP 88-120)  
TAX MAP 40 PARCEL 33  
HUNARD CO., MD ELECT DIST 6  
SCALE AS SHOWN DECEMBER 1987  
FN 8076 SHEET 4 OF 7

SDP-88-127



**LOCATION MAP: SCALE: 1"=200'**

**NOTE**  
 1. ALL GRAVITY SEWER LINES SHALL BE CORR. R.C.P., V.C.P., A.G.P. OR 2400 OR P.V.C. PIPE JOINTS SHALL BE ELASTOMETRIC GASKET JOINTS. CONCRETE PIPE JOINTS SHALL BE BELL & SPIGOT TYPE WITH WATER TIGHT RUBBER GASKETS.  
 2. 4" SAN. FORCE MAIN SHALL BE D.I.P. CL 54, WITH CL D 250 FITTINGS AND STANDARD FLANGED JOINTS.

**PARKING TABULATION**

PARKING REQUIRED  
 OFFICE: 35,264 Sq.Ft. - 177 EMPLOYEES @ 7 SPCS./10 EMPLOYEES = 124 P.S.  
 WAREHOUSE: 105,786 Sq.Ft. @ 1 SPC./500 Sq.Ft. = 212 P.S.  
 TOTAL REQUIRED = 336 SPCS.  
 PARKING PROVIDED  
 437 SPCS. (INCLUDES 11 H.C. SPACES)

LEGEND  
 5/9/88 EX. ZONING M-2

THESE PLANS FOR SMALL BUILDING CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*James McHelm* 5-9-88 DATE  
 APPROVED: HOWARD SOIL CONSERVATION DISTRICT  
 USDA - SOIL CONSERVATION SERVICE

PLANNING NUMBER

HOWARD SOIL CONSERVATION DISTRICT  
 THE DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Stephen R. Fisher* 5-9-88 DATE  
 APPROVED: HOWARD SOIL CONSERVATION DISTRICT

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEM.  
 HOWARD COUNTY HEALTH DEPARTMENT

*James McHelm* 6-1-88 DATE  
 APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING

APPROVED: *James McHelm* 6/10/88 DATE  
 OFFICE OF COMMUNITY PLANNING & LAND DEVELOPMENT

**ANNAPOLIS JUNCTION ROAD WIDENING PAVING SECTION**

**NOTE:**  
 The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building, as shown on this site development plan, who will discharge non-domestic waste to the public sewerage system if this waste is regulated under Section 18.122A of the Howard County Code. Each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above requirements shall apply to all initial and future occupants or tenants.

**LEGEND**

TRACT OUTLINE  
 EASEMENTS  
 MINIMUM BUILDING RESTRICTION LINE  
 EXISTING GROUND PROPOSED GRADE  
 NUMBER PARKING SPACES  
 HANDICAP PARKING  
 TYPE 'A' PAVING (HON. CO. P-1) CAR  
 TYPE 'B' PAVING (HON. CO. P-2) TRUCK  
 ANNAPOLIS JUNCTION ROAD WIDENING  
 LIMIT OF SUBMITTAL  
 LIMIT OF DISTURBANCE

**TYPE 'A' CONC. CURB & GUTTER**  
 SHA, STD. 620.02

**TYPE 'B' CONC. SURFACE**  
 1 1/2" EXT. CONC. SURFACE  
 2" EXT. CONC. EDGE  
 5" CRACKER RILL BASE OR 4" POLYMER SAND STABILIZED AGGREGATE BASE COURSE

**TYPE 'A' (HON. CO. P-1) CAR**

**TYPE 'B' (HON. CO. P-2) TRUCK**

**TYPICAL PAVING SECTIONS**

**RELOCATED MD. ROUTE 32**  
 (STATE PLATS 45943, 45944, 45940)

**SITE DATA:**  
 TOTAL AREA OF SUBMITTAL: 28,000 SQ.FT. OR 630 ACI  
 TOTAL AREA OF SITE: 716,049 SQ.FT. OR 16,350 ACI  
 AREA OF 25' HIGHWAY WIDENING: 20,714 SQ.FT. OR 0.475 ACI  
 NET AREA OF SITE: 140,475 SQ.FT. OR 3.209 ACI  
 EXISTING USE: VACANT  
 PROPOSED USE: OFFICE/WAREHOUSE  
 TOTAL FLOOR AREA: 143,050 SQ.FT.  
 FLOOR AREA RATIO: 22.54%  
 (BUILDING COVERAGE WITHOUT PAVING)  
 BUILDING COVERAGE WITH PAVING: 57.8%  
 AREA OF PARKING LOT: 156,000 SQ.FT. OR 3.56 ACI  
 AREA OF LANDSCAPED ISLANDS WITHIN PARKING AREA: 14,870 SQ.FT. OR 0.34 ACI  
 PERCENTAGE OF LANDSCAPING WITHIN PARKING AREA: 9.44%  
 % OPEN SPACE: 42.20% OR 249,910 SQ.FT.  
 AREA TO BE DISTURBED: 10,492 ACI  
 AREA TO BE REVEGETATED: 205,910 SQ.FT. OR 4.75 ACI  
 EXISTING ZONING: M-2  
 PROPERTY REFERENCE: THE AGENCY GROUP  
 10071 500

**INDEX OF SHEETS:**  
 SHEET 1 OF 7 SITE PLAN  
 SHEET 2 OF 7 PROFILES & DETAILS (SEWER DRAINAGE, A.G. DETAILS, CURB DETAILS)  
 SHEET 3 OF 7 PROFILES & DETAILS (SEWER DRAINAGE)  
 SHEET 4 OF 7 PROFILES & DETAILS (SO. SAN., RAIL TIES A & B)  
 SHEET 5 OF 7 SEDIMENT EROSION CONTROL PLAN  
 SHEET 6 OF 7 DETAILS, SEWAGE & DRAINAGE CONTROL  
 SHEET 7 OF 7 LANDSCAPE PLAN

THIS PLAN IS A REVISION TO SDP 85-207 THE REASON FOR REVISION IS TO PROVIDE SPACE FOR A FUTURE S.H.A. RAMP AND REALIGN THE SANITARY SEWER

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS, AND FLOOD CONTROL BY REVEGETATION MATS

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

PREPARED BY: *James McHelm* DATE: 5/24/88  
 CHIEF, BUREAU OF ENGINEERING: *William E. Ray* DATE: 5/24/88  
 RGL 5/24/88

REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.  
*James McHelm* 5/9/88  
 THE UNITED STATES SOIL CONSERVATION SERVICE DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL BUILDING CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

*Stephen R. Fisher* 5/9/88  
 U.S. SOIL CONSERVATION SERVICE DATE

**APPROVED DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION HOWARD COUNTY, MARYLAND DATE 1-28-88**

BUILDING #	STREET ADDRESS
1	10040 ANNAPOLIS-JUNCTION ROAD GUILFORD ROAD
2	10030 ANNAPOLIS-JUNCTION ROAD GUILFORD ROAD
3	10020 ANNAPOLIS-JUNCTION ROAD GUILFORD ROAD
4	10010 ANNAPOLIS-JUNCTION ROAD GUILFORD ROAD

SUBMITTAL NUMBER	AGENCY / MERRITT PROJECT	FEET/AREA	LOT/FINISHED
10010	AGENCY / MERRITT PROJECT	33	33
10020	AGENCY / MERRITT PROJECT	40	40
10030	AGENCY / MERRITT PROJECT	40	40
10040	AGENCY / MERRITT PROJECT	40	40

ADDRESS CHART

DATE: 6/10/88

**GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.**  
 CIVIL ENGINEERS & LAND SURVEYORS  
 303 ALLEGHENY AVENUE  
 TOWSON, MARYLAND 21204  
 (301) 825-8120

**GWS**

**OWNER**  
 THE AGENCY GROUP, INC.

**MERRITT**  
 2066 Lord Baltimore Drive  
 Baltimore, Maryland 21207  
 (301) 298-2600

**DEVELOPER'S CERTIFICATE:**  
 I CERTIFY THAT THIS PLAN FOR G.N.M. FACILITY CONSTRUCTION, DRAINAGE AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-BUILT "AG-BUILT" OF THE G.N.M. FACILITY WITHIN 30 DAYS OF COMPLETION.

ENGINEER: *James McHelm* DATE: 11/29/87  
 SEAL NO: 20130

**DEVELOPER'S CERTIFICATE:**  
 I CERTIFY THAT ALL CONSTRUCTION AND/OR CONSTRUCTION TO BE DONE ACCORDING TO THESE PLANS AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A CERT. OF NATURAL RESOURCES APPROVED PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE RESPECTIVE AGENCY INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-BUILT "AG-BUILT" OF THE G.N.M. FACILITY WITHIN 30 DAYS OF COMPLETION.

DEVELOPER: *James McHelm* DATE: 11/29/87

**REVISIONS**

ADDITION OF AMBULANCE STORAGE, UPDATED EXISTING HANDICAP PARKING, & UPDATED PARKING TABULATION

REVISIONS: P.R.C. 12M  
 DRAWN BY: DL (GAM)  
 CHECKED BY: PLS (TC)

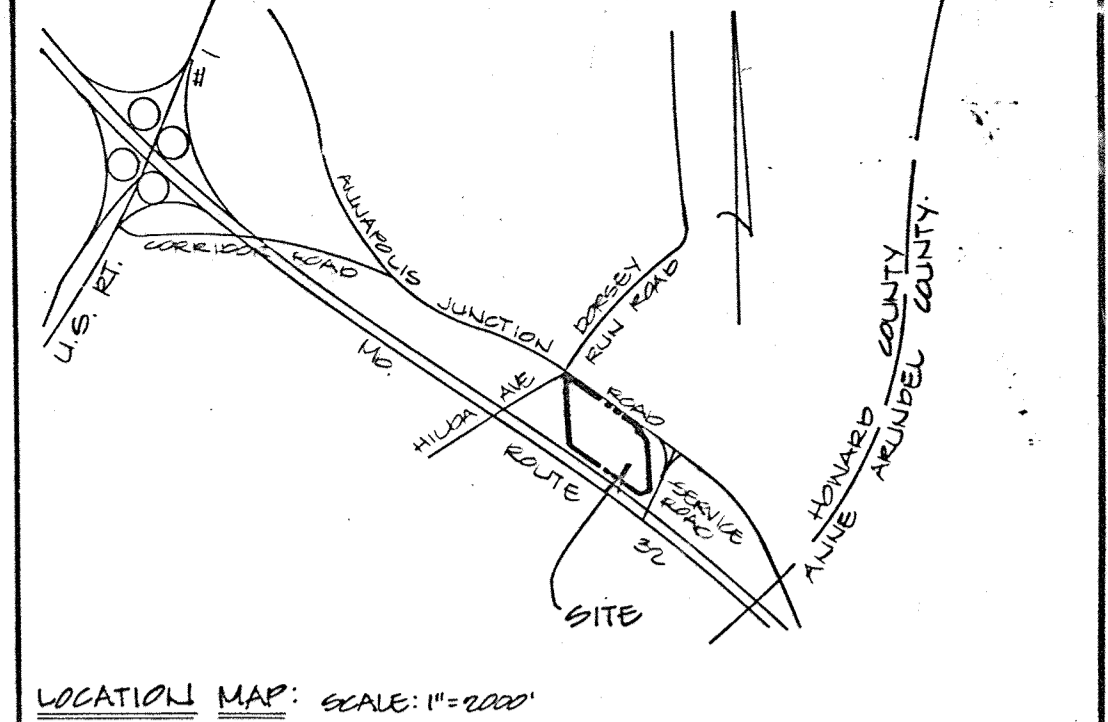
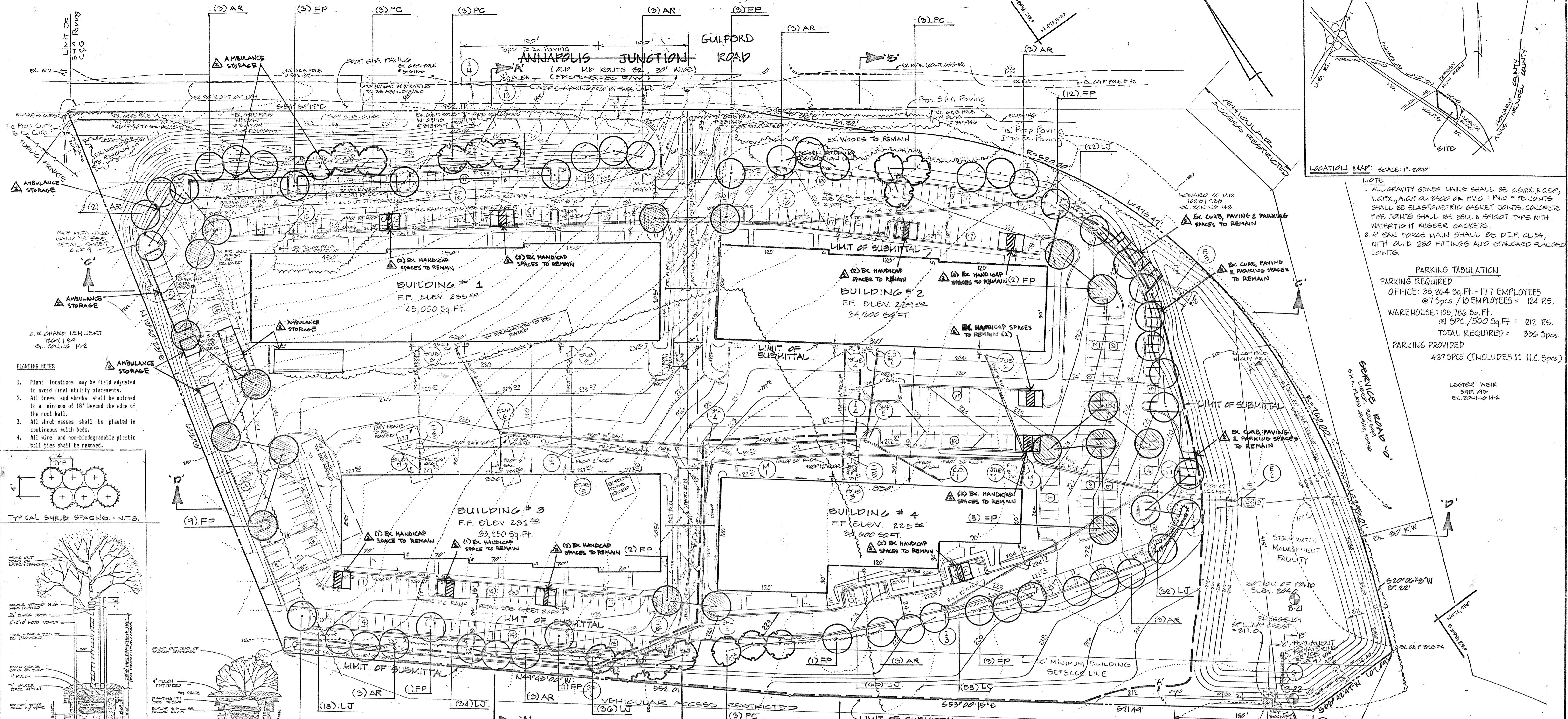
**THE AGENCY GROUP**  
 ANNAPOLIS-JUNCTION ROAD GUILFORD ROAD  
 (A REVISION TO SDP 85-207)  
 TAX MAP 43  
 PARCEL 33

HOWARD CO, MD  
 SCALE: 1"=50'  
 PROFESSIONAL SEAL 5016

ELECT. DIST. 6  
 DECEMBER 21, 1987

SHEET 5 OF 7

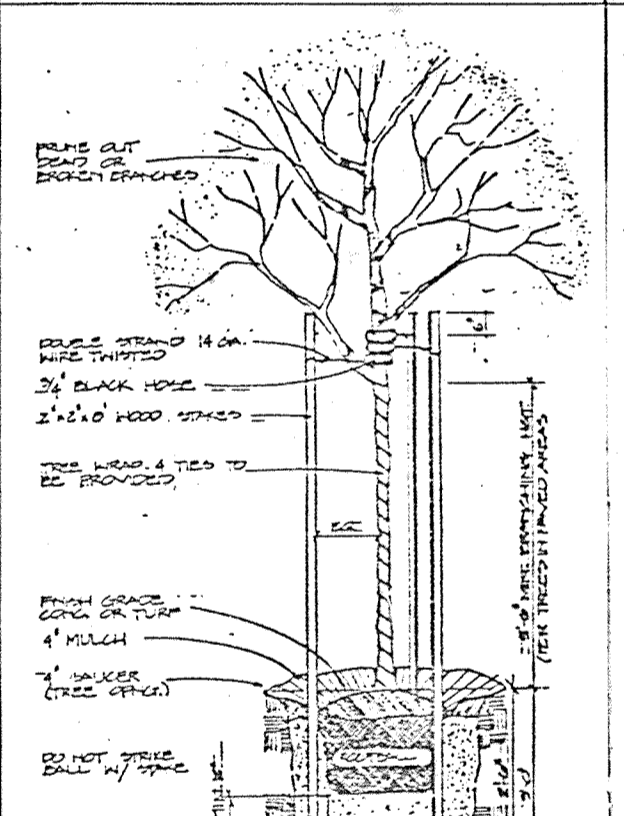
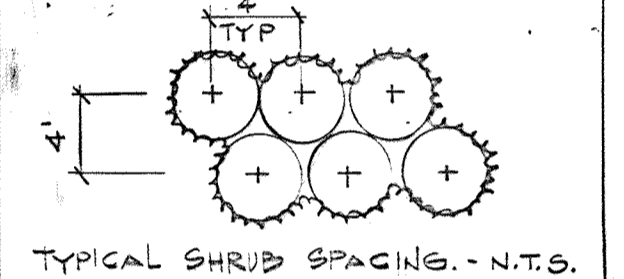




**NOTE:**  
 1. ALL GRAVITY SEWER LINES SHALL BE C.S.P.R. ROSE, 12" DIA., A.C.P. CL. 2400 OR M.V.C. P.I.G. PIPE JOINTS SHALL BE ELASTOMERIC GASKET JOINTS. CONCRETE PIPE JOINTS SHALL BE BELL & SPIGOT TYPE WITH WATER TIGHT RUBBER GASKETS.  
 2. 4" S&W FORCE MAIN SHALL BE D.I.P. C.I.P., WITH C.I.D. 250 FITTINGS AND STANDARD FLANGED JOINTS.

**PARKING TABULATION**  
 PARKING REQUIRED  
 OFFICE: 35,264 Sq. Ft. - 177 EMPLOYEES @ 75 pcs./10 EMPLOYEES = 124 P.S.  
 WAREHOUSE: 105,786 Sq. Ft. @ 5 PC./500 Sq. Ft. = 212 P.S.  
**TOTAL REQUIRED = 336 SPCS.**  
**PARKING PROVIDED = 437 SPCS. (INCLUDES 11 H.C. SPCS.)**

- PLANTING NOTES**
- Plant locations may be field adjusted to avoid final utility placements.
  - All trees and shrubs shall be mulched to a minimum of 18" beyond the edge of the root ball.
  - All shrub masses shall be planted in continuous mulch beds.
  - All wire and non-biodegradable plastic ball ties shall be removed.



TREE PLANTING DETAIL NOT TO SCALE  
 SHRUB PLANTING DETAIL NOT TO SCALE

THESE PLANS FOR SMALL ROAD CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED HOWARD SOIL CONSERVATION DISTRICT  
**USDA - SOIL CONSERVATION SERVICE**  
 PLANS NUMBER: SDP 88-127

APPROVED HOWARD SOIL CONSERVATION DISTRICT  
 THE DEVELOPER SHALL MAINTAIN SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEM.  
 HOWARD COUNTY HEALTH DEPARTMENT

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING

PLANT SCHEDULE			
KEY	QTY	BOTANICAL NAME / COMMON NAME	SIZE / COND. / SPACING
AR	26	ACER RUBRUM OCTOBER GLORY / OCTOBER GLORY MAPLE	2 1/2" - 3" CAL. B & B 30' 0" / C
FP	43	FRAXINUS PENNSYLVANICA MARSHALLS VARIANTS / S.E.D. 555 GREEN ASH	2 1/2" - 3" CAL. B & B 30' 0" / C
LJ	260	LIGUSTRUM SCAEVOLA / CARANES PRINCE	30" - 36" H. 3" S.P. OF CONT. 0" / C
PC	16	CYRUS GALLSRYANA BRADFORD / BRADFORD PEAR	2 1/2" - 3" CAL. B & B 30' 0" / C

**LEGEND**

TRACT OUTLINE  
 R/W LINE  
 EASEMENTS  
 MINIMUM BUILDING RESTRICTION LINE  
 BULLETING GROUND  
 PROPOSED DRIVE  
 NUMBER PARKING SPACES  
 \*HANDICAP PARKING

TYPE 'A' PAVING (40 C.P.R.) CAR  
 TYPE 'B' PAVING (40 C.P.T.) TRUCK  
 ANNAPOLIS JUNCTION ROAD INTERLOCKING  
 LIMIT OF SUBMITTAL

**RELOCATED MD. ROUTE 32**  
 (STATE PLATS 45940, 45941, 45946)

**SITE DATA:**  
 TOTAL AREA OF SUBMITTAL: 216,000 SQ. FT. OR 500 AC.  
 TOTAL AREA OF SITE: 716,000 SQ. FT. OR 1640 AC.  
 AREA OF 25' HIGHWAY WIDENING: 2074 SQ. FT. OR 0.047 AC.  
 NET AREA OF SITE: 140,426 SQ. FT. OR 3.22 AC.  
 EXISTING USE: VACANT  
 PROPOSED USE: OFFICE / WAREHOUSE  
 TOTAL FLOOR AREA: 143,930 SQ. FT.  
 FLOOR AREA RATIO: 22.54 / 16  
 (BUILDING COVERAGE WITHOUT PAVING)  
 BUILDING COVERAGE WITH PAVING: 51.6%  
 AREA OF PARKING LOT: 156,600 SQ. FT. OR 3.56 AC.  
 AREA OF LANDSCAPED ISLANDS WITHIN PARKING AREA: 14,640 SQ. FT. OR 0.34 AC.  
 PERCENTAGE OF LANDSCAPING WITHIN PARKING AREA: 9.44%  
 % OPEN SPACE: 42.20% / 243,410 SQ. FT.  
 AREA TO BE DISTURBED: 10,492 AC.  
 AREA TO BE VEG. STABILIZED: 0.13 AC. OR 0.75 AC.  
 EXISTING ZONING: M-2  
 PROPERTY REFERENCE: THE AGENCY GROUP 10071 300

**INDEX OF SHEETS:**  
 SHEET 1A OF 7 SITE PLAN  
 SHEET 2 OF 7 PROFILES & DETAILS (BUILDING SECT., H.C. DETAILS, CURB & SIDEWALK)  
 SHEET 3 OF 7 PROFILES & DETAILS (SEWER DRAINAGE)  
 SHEET 4 OF 7 PROFILES & DETAILS (SO. SAN., RAIL TIES & E.B.)  
 SHEET 5 OF 7 SEDIMENT EROSION CONTROL PLAN  
 SHEET 6 OF 7 DETAILS, EROSION & EROSION CONTROL  
 SHEET 7 OF 7 LANDSCAPE PLAN

REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

THE UNITED STATES SOIL CONSERVATION SERVICE DATE: 5-9-88

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS THE TECHNICAL REQUIREMENTS FOR SMALL ROAD CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS, AND PUBLIC FORNS.  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

CHIEF, BUREAU OF ENGINEERING: **James M. Kelly** DATE: 5-24-88

**APPROVED DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION HOWARD COUNTY, MARYLAND DATE: 1-28-88**

BUILDING #	STREET ADDRESS
1	10040 ANNAPOLIS JUNCTION ROAD GULFORD ROAD
2	10020 ANNAPOLIS JUNCTION ROAD GULFORD ROAD
3	10020 ANNAPOLIS JUNCTION ROAD GULFORD ROAD
4	10010 ANNAPOLIS JUNCTION ROAD GULFORD ROAD

SUBDIVISION NAME	ADDRESS / INTEREST PROPERTY	FEET / AREA	OFFICIAL #
THE AGENCY GROUP	ANNAPOLIS JUNCTION ROAD GULFORD ROAD	14.00	88
HOWARD CO, MD	ANNAPOLIS JUNCTION ROAD GULFORD ROAD	14.00	88

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEM.  
 HOWARD COUNTY HEALTH DEPARTMENT

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING

DATE: 6/1/88

DATE: 6/8/88

**LANDSCAPE SPECIFICATIONS**

Landscape specifications shall conform to "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Area." A one-year maintenance and warranty period shall be required.

PLANTS SHOWN THUSBY ARE BEYOND THE REQUIREMENTS OF HOWARD COUNTY AND ARE TO BE PLANTED AT THE OPTION OF THE DEVELOPER.

**OWNER**  
 THE AGENCY GROUP 90

**MERRITT**  
 2066 Lord Baltimore Drive  
 Baltimore, Maryland 21207  
 (301) 298-2600

**DEVELOPER'S CERTIFICATE:**  
 I CERTIFY THAT ALL REQUIREMENTS AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED PROGRAM FOR THE CONTROL OF EROSION AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERSONNEL ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ALSO REQUESTED NECESSARY. SEPARATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE 6-M. FACILITY WITHIN 30 DAYS OF COMPLETION.

DEVELOPER: **James M. Kelly** DATE: 10/1/88

**REVISIONS:**  
 ADDITION OF AMBULANCE STORAGE, UPDATED EXISTING HANDICAP PARKING, & UPDATED PARKING TABULATION

DESIGNED BY: **J.M. Kelly**  
 DRAWN BY: **J.M. Kelly**  
 CHECKED BY: **M.R.T.C.**

**LANDSCAPE PLAN PROPOSED OFFICE AND WAREHOUSE THE AGENCY GROUP**  
 ANNAPOLIS JUNCTION ROAD GULFORD ROAD  
 A REVISION TO SDP 88-127 PARCEL 83

HOWARD CO, MD  
 SCALE: 1"=50'  
 ELEC. DIST. 0  
 DECEMBER 21, 1987

DATE: 5/9/88

DATE: 5/24/88