

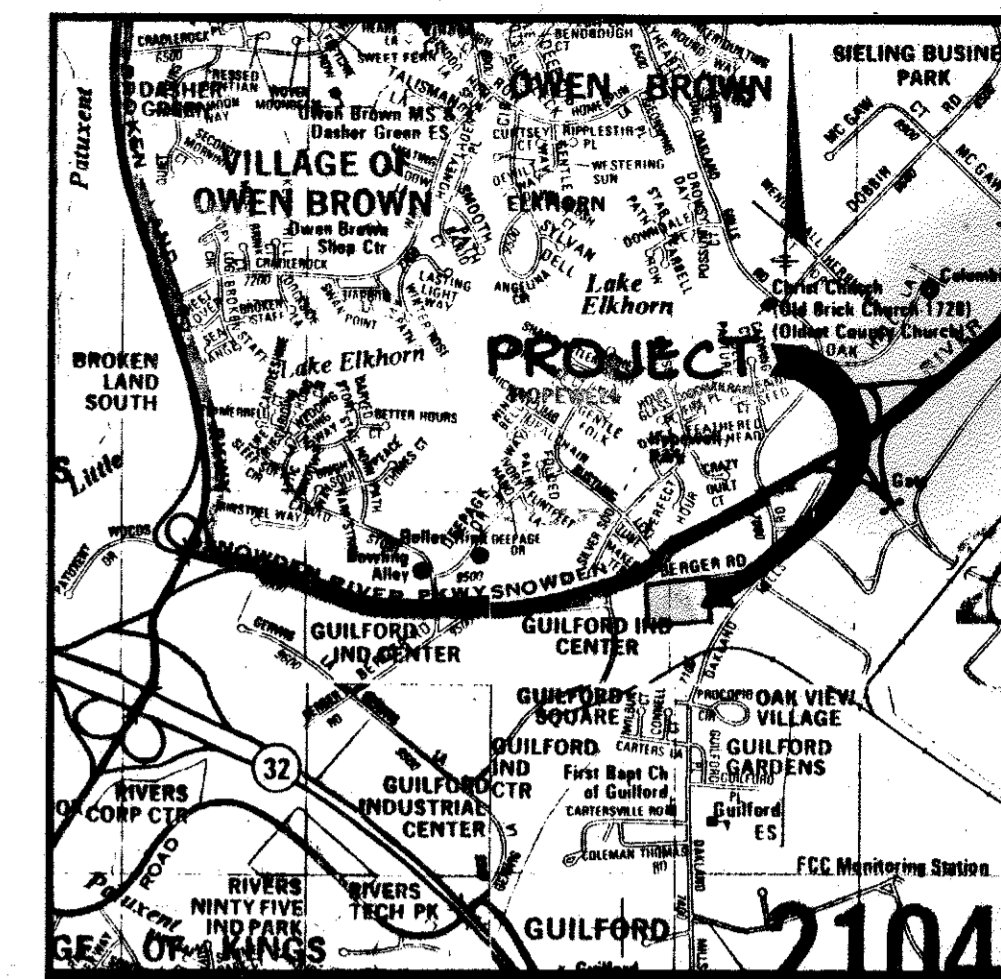
SHEET INDEX	
NO.	DESCRIPTION
1	TITLE SHEET
2	SITE DEVELOPMENT PLAN
3	GRADING AND SEDIMENT CONTROL AND DRAINAGE AREA MAP
4	STORM DRAIN PROFILES AND DETAILS
5	SEWER PROFILES AND DETAILS
6	PLANTING PLAN

# SITE DEVELOPMENT PLAN

# CONNELL PROPERTY

## 6th ELECTION DISTRICT

## HOWARD COUNTY, MARYLAND



VICINITY MAP  
SCALE: 1" = 2000'

- GENERAL NOTES**
- ALL WATER LINES SHALL BE CONSTRUCTED A MINIMUM OF 42" COVER BELOW FINISHED GRADE.
  - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, I.E., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION.
  - APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FROM BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
  - THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS TO VERIFY THEIR LOCATION AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
  - CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS:
 

MISS UTILITY	1-800-257-7777
C & P TELEPHONE COMPANY	725-9976
HOWARD COUNTY BUREAU OF UTILITIES	992-2366
AT&T CABLE LOCATION DIVISION	393-3553
BALTIMORE GAS & ELECTRIC COMPANY	685-0123
STATE HIGHWAY ADMINISTRATION	531-5533
HOWARD COUNTY CONSTRUCTION/INSPECTION SURVEY DIVISION (24 HOURS NOTICE PRIOR TO COMMENCEMENT OF WORK)	792-7272

- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- THE CONTRACTOR SHALL PROVIDE A JOINT IN ALL SEWER MAINS WITHIN 2'-0" OF EXTERIOR MANHOLE WALLS.
- PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT TO SUBGRADE.
- TOPO TAKEN FROM FIELD RUN SURVEY DATED NOVEMBER 1987 BY THE RIEMER GROUP INC.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL STORM DRAIN PIPE BEDDING SHALL BE AS SHOWN IN DETAIL G2.01 (TRENCH IN ROCK OR TRENCH IN EARTH AS DETERMINED BY FIELD CONDITIONS) IN VOL. IV OF HOWARD COUNTY DESIGN MANUAL UNLESS OTHERWISE DIRECTED BY THE ENGINEER OR AS SHOWN ON THE DRAWINGS.
- THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND / OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR THE SEDIMENT AND EROSION CONTROL PRACTICES, STORM WATER MANAGEMENT PRACTICES AND THE DISCHARGE OF STORM WATER ONTO OR ACROSS ADJACENT OR DOWNSTREAM PROPERTIES INCLUDED IN THIS PLAN. HE IS ALSO RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR WORK ON ADJACENT PROPERTIES INCLUDED IN THIS PLAN.
- THE OWNER SHALL PROVIDE A SEPARATE AND INDEPENDENT SEWER CONNECTION FOR EACH TENANT OR OCCUPANT OF ANY BUILDING, SHOWN ON THIS SITE DEVELOPMENT PLAN, WHO WILL DISCHARGE NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM IF THIS WASTE IS REGULATED UNDER SECTION 18.122A OF THE HOWARD COUNTY CODE. EACH SEPARATE AND INDEPENDENT SEWER CONNECTION SHALL INCLUDE A STANDARD MANHOLE AND OTHER WASTE PRETREATMENT DEVICES AS REQUIRED AND APPROVED BY HOWARD COUNTY. WASTE LINES ON THE INTERIOR OF THE BUILDING SHALL BE DESIGNED, CONSTRUCTED OR MODIFIED SUCH THAT NON-DOMESTIC WASTE WILL BE DISCHARGED TO THE SEPARATE AND INDEPENDENT SEWER CONNECTION. NO TENANT OR OCCUPANT OF ANY BUILDING SHOWN ON THIS SITE DEVELOPMENT PLAN SHALL DISCHARGE REGULATED NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM PRIOR TO INSTALLATION OF THE SEPARATE AND INDEPENDENT SEWER CONNECTION AND RELATED INTERIOR WASTE LINES. THE ABOVE REQUIREMENTS SHALL APPLY TO ALL INITIAL AND FUTURE OCCUPANTS OR TENANTS.

**SITE TABULATION**

GROSS AREA OF PARCEL	5.60 ACRES - 243936 SQ. FT.
PRESENT ZONING	M-1
AREA OF BUILDING A	11280 SQ. FT.
AREA OF BUILDING B	7800 SQ. FT.
AREA OF BUILDING C (SEE NOTE 1)	7800 SQ. FT.
AREA OF BUILDING D	11880 SQ. FT. *
GROSS AREA OF ONE STORY BUILDINGS:	38,760 SQ. FT.
BUILDING COVERAGE	15.89%
BUILDING USE	CAR CARE AND REPAIR
PARKING REQUIRED @ 1 SPACE/500 SQ. FT.	78 SPACES ** (SEE NOTE 2)
PARKING PROVIDED	96 SPACES ** (SEE NOTE 2)
HANDICAP PARKING REQUIRED	4 SPACES
HANDICAP PARKING PROVIDED	4 SPACES
LANDSCAPED ISLANDS REQUIRED	58 (2,191 S.F.)
LANDSCAPED ISLANDS PROVIDED	9,948 (4356 S.F.)
OPEN SPACE REQUIRED	48,787.2 SQ. FT. (1.12 AC.)-20%
OPEN SPACE PROVIDED	74,923 SQ. FT. (1.72 AC.)-30%

- \* INCLUDES 1000 SF OF USED CAR SALES/REPAIR AREA.
- 4 OUTSIDE DISPLAY SPACES (648 SF) WILL BE PROVIDED, CREATING AN ADDITIONAL \*\* 1 SPACE REQUIRED. THE TOTAL PROVIDED PARKING WILL DECREASE TO 92 SPACES AND THE PARKING REQUIRED WILL INCREASE TO 78 SPACES.
- NOTES:
  - INCLUDES 3/2 OF INTERIOR AUTO SALES AREA.
  - 11 OUTSIDE AUTO SALES DISPLAY SPACES (1,782 SF) WILL BE PROVIDED. THE TOTAL AREA PROVIDED FOR INTERIOR AUTO SALES WILL BE 3/2 OF THE TOTAL PARKING REQUIRED WILL BE 81 SPACES AND THE PARKING PROVIDED WILL BE 81 SPACES.
- NOTE: ACCESS PARKING AND SHARED ACCESS EGMT. AGREEMENT WILL BE REQUIRED FOR PARCELS A-3 TO A-6 ALLOWING THE 81 PARKING SPACES NOTED ABOVE TO BE USED BY THE PROPERTY OWNERS.

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21774 EXPIRATION DATE: 11-10-87

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

*J. J. ...* 7-28-88  
COUNTY HEALTH OFFICER

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

*W. J. ...* 8-1-88  
PLANNING DIRECTOR

*D. J. ...* 7-25-88  
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

*...* DATE

CHIEF, BUREAU OF ENGINEERING

APPROVED: 2/18/88 4 REV. SITE TABULATION

5-24-00/88 REV. SITE TABULATION

DATE NO. REVISION

9-16-16 5 SUBDIVISION

OWNER/DEVELOPER: C.A.S.C. LTD. PARTNERSHIP, 66 BENA CORPORATION, 8350 BOSTOL COURT, SUITE 101, JESSUP MARYLAND 20794

PROJECT: CONNELL PROPERTY (AN AUTO SERVICE CENTER)

AREA TAX MAP 42 ZONED - M-1 PLAT NO. 1941 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE: TITLE SHEET

THE RIEMER GROUP, INC.

The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
3105 North Ridge Road, Ellicott City, Maryland 21043 (301) 461-2890

DATE: 7-8-88

DATE: 7-8-88

DATE: 5-28-88

DESIGNED BY: W.C.W.

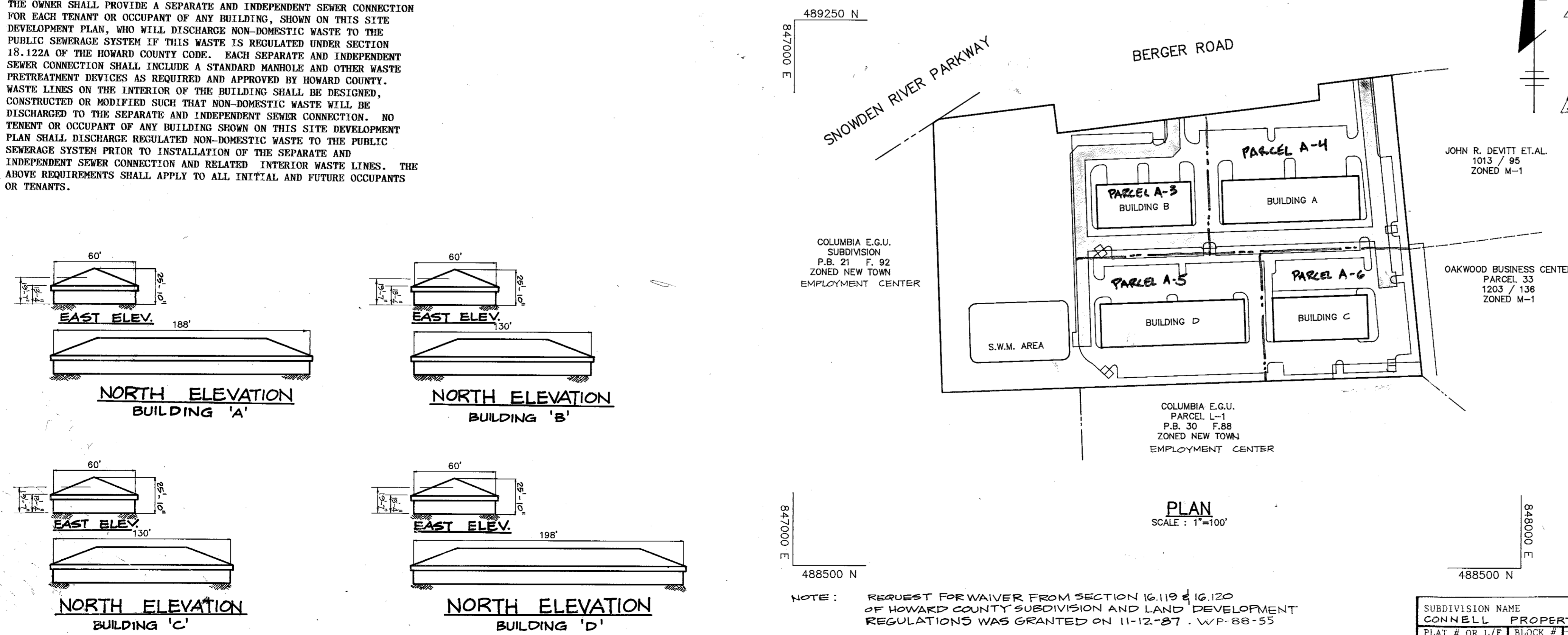
DRAWN BY: D.B.S.

PROJECT NO: 41003

DATE: DECEMBER 15, 1987

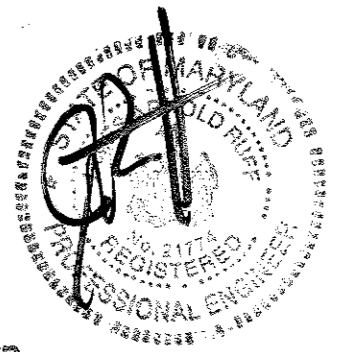
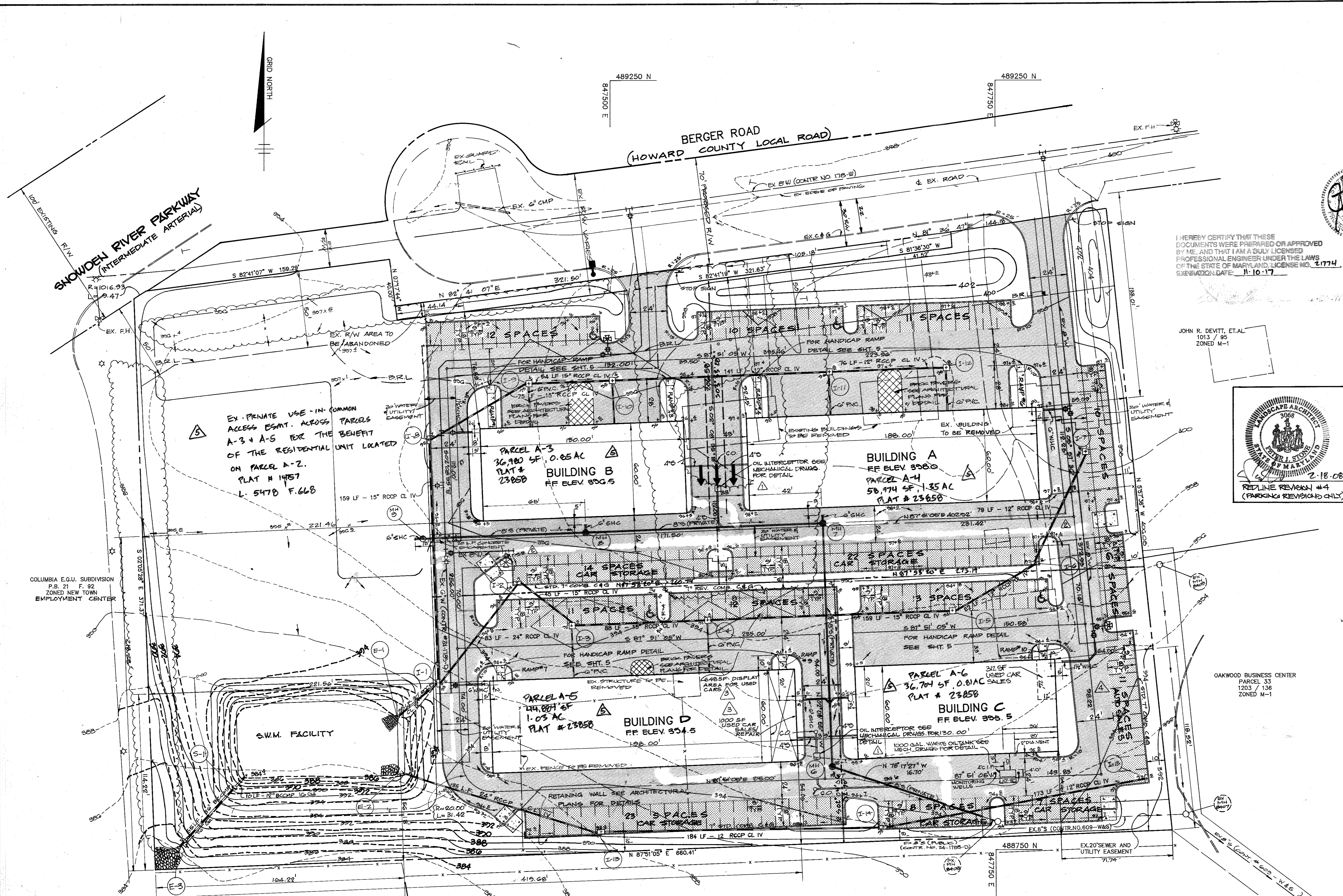
SCALE: AS SHOWN

DRAWING NO. 1 OF 6



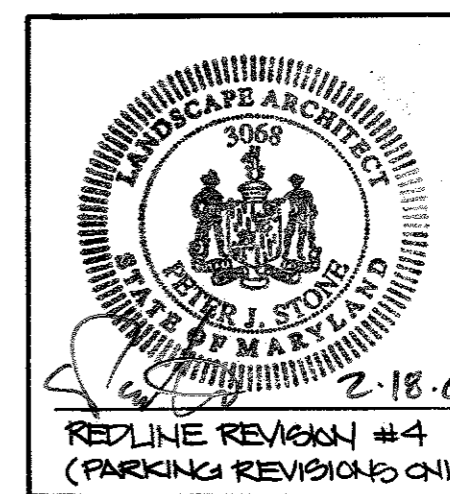
SUBDIVISION NAME	SECT./AREA	PARCEL A
CONNELL PROPERTY		
PLAT # OR L/F	BLOCK #	ZONE
7941	4 & 10	M-1
TAX/ZONE MAP	ELEC. DIST.	CENSUS TR.
42	6TH	000103
WATER CODE	SEWER CODE	
806	5202000	

NOTE: REQUEST FOR WAIVER FROM SECTION 16.119 & 16.120 OF HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WAS GRANTED ON 11-12-87. WP-88-55



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21774. EXPIRATION DATE: 11-10-17

JOHN R. DEVITT, ET AL.  
1013 / 95  
ZONED M-1



9-6-16	5	SUBDIVISION
2-18-08	4	CONVERT 11 PARKING SPACES TO AUTO SALES DISPLAY
5-24-00	3	ADDED SALES/REPAIR AND DISPLAY AREA FOR USED CARS
DATE	NO.	REVISION
<b>AS-BUILT CERTIFICATION</b>		
STATE OF MARYLAND ARTHUR E. MUEGGE PROFESSIONAL ENGINEER LICENSE NO. 21774 EXPIRATION DATE 11-10-17		
		6-20-91 DATE
2-24-07	3	PROVIDE 1000 GALLON WASTE OIL TANK FOR BLDG. C
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT		
		7-20-88 DATE
APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.		
		8-1-88 DATE
APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.		
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS		
		7-10-88 DATE
APPROVED: REVISED WATER LINE		
APPROVED: REVISED OIL INTERCEPTORS & WATER HOUSE CONN.		
DATE	NO.	REVISION

OWNER/DEVELOPER: C.A.S.C. LTD. PARTNERSHIP  
% SIENA CORPORATION  
8550 BRISTOL COURT, SUITE 101  
JESSUP MARYLAND, 20794

PROJECT: **CONNELL PROPERTY**  
(AN AUTO SERVICE CENTER)  
AREA TAX MAP 42 ZONED-M-1 PLAT NO. 1941  
6TH ELECTION DISTRICT (PARCEL A)  
HOWARD COUNTY, MARYLAND

**TITLE: SITE DEVELOPMENT PLAN**

**THE RIEMER GROUP, INC.**  
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
3105 North Ridge Road, Ellicott City, Maryland 21043 (301) 461-2690

7-8-88	DATE	F-88-134 WP 88-55
5-28-89	DATE	5-28-89
DESIGNED BY: W.C.W.		
DRAWN BY: D.B.S.		
PROJECT NO: 41003		
DATE: DECEMBER 15, 1987		
SCALE: 1" = 30'		
DRAWING NO. 2 OF 6		

APPROVED  
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE: 4-7-88

- LEGEND**
- P-1 PAVING (PARKING)
  - P-2 PAVING (DRIVE THRU)
  - P-4 PAVING
  - CONCRETE
  - LIGHT POLE
  - HANDICAP PARKING SIGN
  - TYPICAL HANDICAP PARKING SPACE
  - B.R.L. BUILDING RESTRICTION LINE
  - 8'X10' DUMPSTER PAD SEE DETAIL SHEET 5
  - 26+5 VALUE REFLECTS 396.5 (TYP)
  - NOTE: ALL RADII'S UNLESS OTHERWISE NOTED.
  - NOTE: 1. EXISTING BERGER ROAD AS PER F-88-134
  - NOTE: 2. ALL WATER METERS ARE INSIDE SETTINGS.

PLAN  
SCALE: 1"=30'

COLUMBIA E.G.U. PARCEL L-1  
P.B. 30 F. 88  
ZONED NEW TOWN EMPLOYMENT CENTER

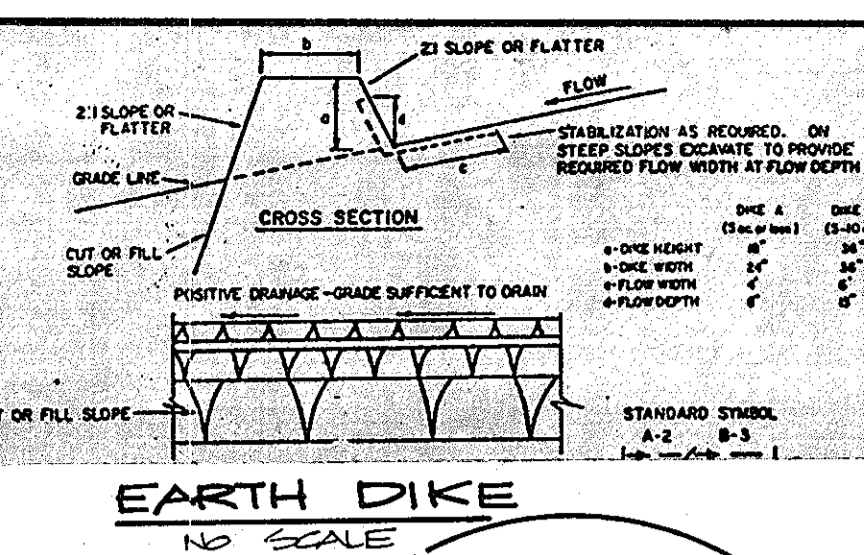
OAKWOOD BUSINESS CENTER  
PARCEL 33  
1203 / 138  
ZONED M-1

EX. PRIVATE USE-IN-COMMON ACCESS ESMT. ACROSS PARCELS A-3 & A-5 FOR THE BENEFIT OF THE RESIDENTIAL UNIT LOCATED ON PARCEL A-2.  
PLAT # 1457  
L. 5478 F. 66B

COLUMBIA E.G.U. SUBDIVISION  
P.B. 21 F. 92  
ZONED NEW TOWN EMPLOYMENT CENTER

**STRUCTURE SCHEDULE**

NO.	TYPE	ELEVATION (CREST OR GRATE)	INT. IN.	INT. OUT.	REMARKS
1-1	A-5	393.0	397.02	396.52	Ho. Co. STD. INTL., SP-4-01
1-2	S2, 10" DIA	394.7	397.55	397.45	Ho. Co. STD. INTL., SP-4-32
1-3	S2, 10" DIA	393.5	398.43	398.18	Ho. Co. STD. INTL., SP-4-22
1-4	S2, 10" DIA	393.8	398.97	398.87	Ho. Co. STD. INTL., SP-4-22
1-5	S2, 10" DIA	394.1	399.04	398.79	Ho. Co. STD. INTL., SP-4-22
1-6	S2, 10" DIA	397.0	392.96	392.36	Ho. Co. STD. INTL., SP-4-32
1-7	S2, 10" DIA	396.0	393.29	392.79	Ho. Co. STD. INTL., SP-4-32
1-8	A-5	391.11	391.11	391.01	Ho. Co. STD. INTL., SP-4-01
1-9	S2, 10" DIA	395.4	391.99	391.49	Ho. Co. STD. INTL., SP-4-22
1-10	S2, 10" DIA	395.4	392.11	391.86	Ho. Co. STD. INTL., SP-4-22
1-11	S2, 10" DIA	395.8	392.92	392.82	Ho. Co. STD. INTL., SP-4-22
1-12	S2, 10" DIA	395.8	393.70	393.70	Ho. Co. STD. INTL., SP-4-32
1-13	S2, 10" DIA	394.4	397.70	398.95	Ho. Co. STD. INTL., SP-4-32
1-14	S2, 10" DIA	393.2	398.00	398.65	Ho. Co. STD. INTL., SP-4-32
1-15	S2, 10" DIA	392.5	398.5	399.77	Ho. Co. STD. INTL., SP-4-32
E-1	30" CONC END SECT.	388.00	388.00	388.00	Ho. Co. STD. INTL., SP-5-51
E-2	24" CONC END SECT.	388.00	388.00	388.00	Ho. Co. STD. INTL., SP-5-51
E-3	30" CONC END SECT.	384.00	384.00	384.00	Ho. Co. STD. INTL., SP-5-51
S-1	STRUCTURE				SEE DETAIL SHEET



- CONSTRUCTION SPECIFICATIONS**
- ALL DIKES SHALL BE CONSTRUCTED BY EARTH-MOVING EQUIPMENT.
  - ALL DIKES SHALL HAVE POSITIVE DRAINAGE TO AN OUTLET.
  - TOP WIDTH SHALL BE MINIMUM AND SIDE SLOPES MAY BE FLATTER IF DESIRED TO FACILITATE TRAFFIC.
  - FIELD LOCATION SHALL BE LOCATED AS NEAR TO A STABILIZED SAFE OUTLET AS PRACTICABLE.
  - DIKES SHALL BE CONSTRUCTED WITH AN OUTLET THAT FUNCTIONS WITH A MINIMUM OF EROSION. STORM DRAIN SHALL BE LOCATED UPSTREAM OF THE DIKE AS A SEPARATE TRAP OR SEDIMENT BASIN. THE DIKE CHANNEL OR THE DRAINAGE AREA ABOVE THE DIKE ARE NOT TO BE ACCURATELY STABILIZED.
  - STABILIZATION SHALL BE: (A) IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEED AND STRAW MULCH OR STRAW MULCH IF NOT IN SEEDING SEASON; (B) FLOW CHANNEL AS PER THE OWNER'S REQUIREMENTS.

**FLOW CHANNEL STABILIZATION**

TYPE OF TREATMENT	DIKE A	DIKE B
1	SEED AND STRAW MULCH	SEED AND STRAW MULCH
2	SEED AND STRAW MULCH	SEED USING MULCH OR EXCESSIVE SEED & STONE
3	SEED WITH JUTE, OR SOY	LINED RIP-RAP 4'-8"
4	SEED WITH JUTE, OR SOY	LINED RIP-RAP 4'-8"

ENGINEERING DESIGN

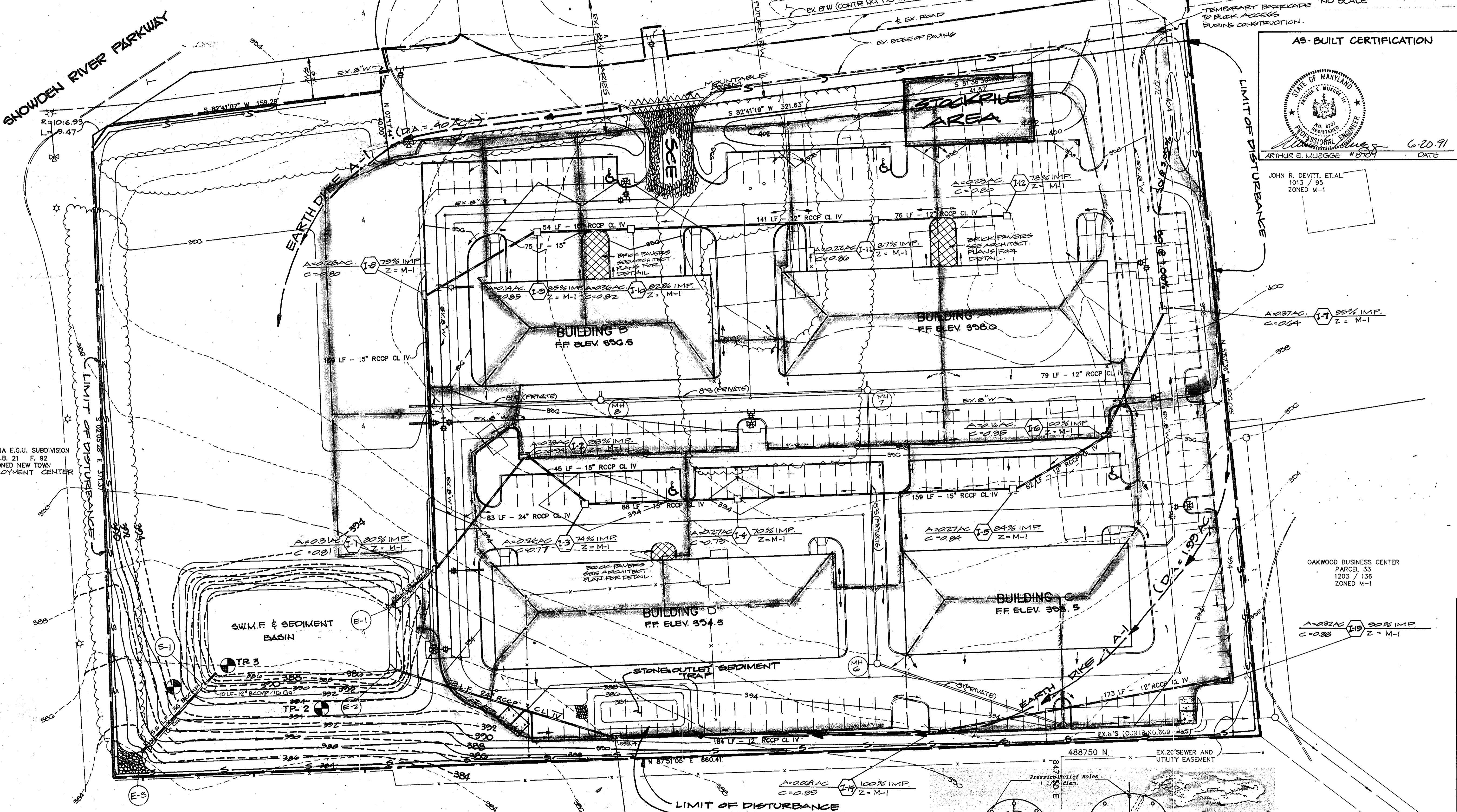
- STONE TO BE 2 INCH STONE, OR RECYCLED CONCRETE EQUIVALENT, IN A LAYER AT LEAST 3 INCHES IN THICKNESS AND BE PRESSED INTO THE SOIL WITH CONSTRUCTION EQUIPMENT.
- RIP-RAP TO BE 4 INCHES IN A LAYER AT LEAST 8 INCHES THICKNESS AND PRESSED INTO THE SOIL.
- APPROVED EQUIVALENTS CAN BE SUBSTITUTED FOR ANY OF THE ABOVE MATERIALS.
- PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

FILL MATERIAL SHALL BE MOST IMPERVIOUS MATERIAL AVAILABLE AND SHALL BE PLACED AND TAMPED TO 95% COMPACTION.

**SNOWDEN RIVER PARKWAY**

**BERGER ROAD**

**CORE TRENCH TYP. SECTION**



**AS-BUILT CERTIFICATION**

JOHN R. DEWITT, ETAL.  
1013 / 95  
ZONED M-1

ARTHUR E. MUEGGE #8709  
DATE 6-20-91

BY THE DEVELOPER:

"I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN 'AS-BUILT' PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

*Richard C. Jansal* Project Executive  
July 8, 1988  
DEVELOPER DATE

BY THE ENGINEER:

"I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN 'AS-BUILT' PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."

*Arthur E. Muegge*  
ENGINEER  
7-8-88  
DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

*James M. Helms*  
SOIL CONSERVATION SERVICE  
7-15-88  
DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*Stephen S. Fisher*  
HOWARD S.O.D.  
7-15-88  
DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

*Joeym Bedu*  
JOYCEM BEDU  
7-21-88  
DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

*W. H. ...*  
PLANNING DIRECTOR  
8-1-88  
DATE

APPROVED: CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT.

*Charles J. ...*  
7-25-88  
DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

*James ...*  
DIRECTOR  
7/19/88  
DATE

*James ...*  
CHIEF, BUREAU OF ENGINEERING  
7-19-88  
DATE

DATE	NO.	REVISION

OWNER/DEVELOPER: C.A.S.C. LTD PARTNERSHIP, 50 SIENA CORPORATION, 8350 BRISTOL COURT, SUITE 101, MARYLAND 20794

PROJECT: **CONNELL PROPERTY (AN AUTO SERVICE CENTER)**

AREA TAX MAP 42 ZONED-M-1 PLAT No 7941, 6TH ELECTION DISTRICT (PARCEL A), HOWARD COUNTY, MARYLAND

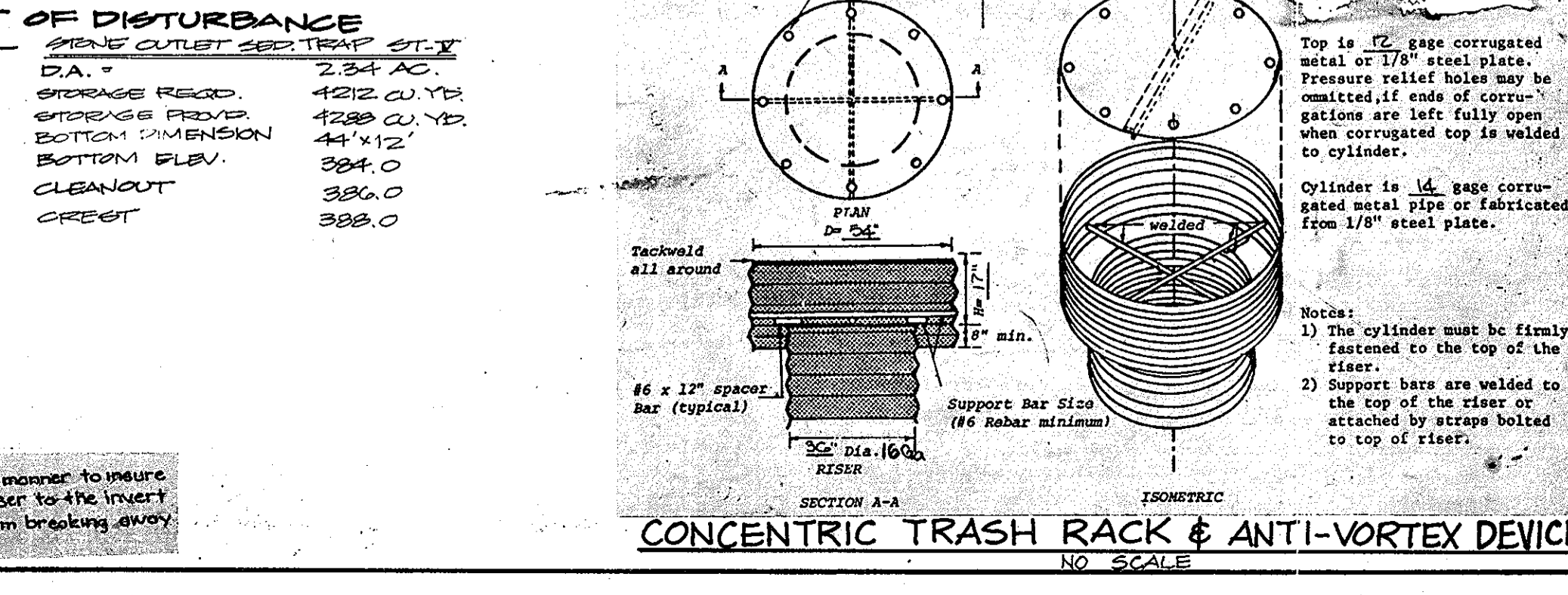
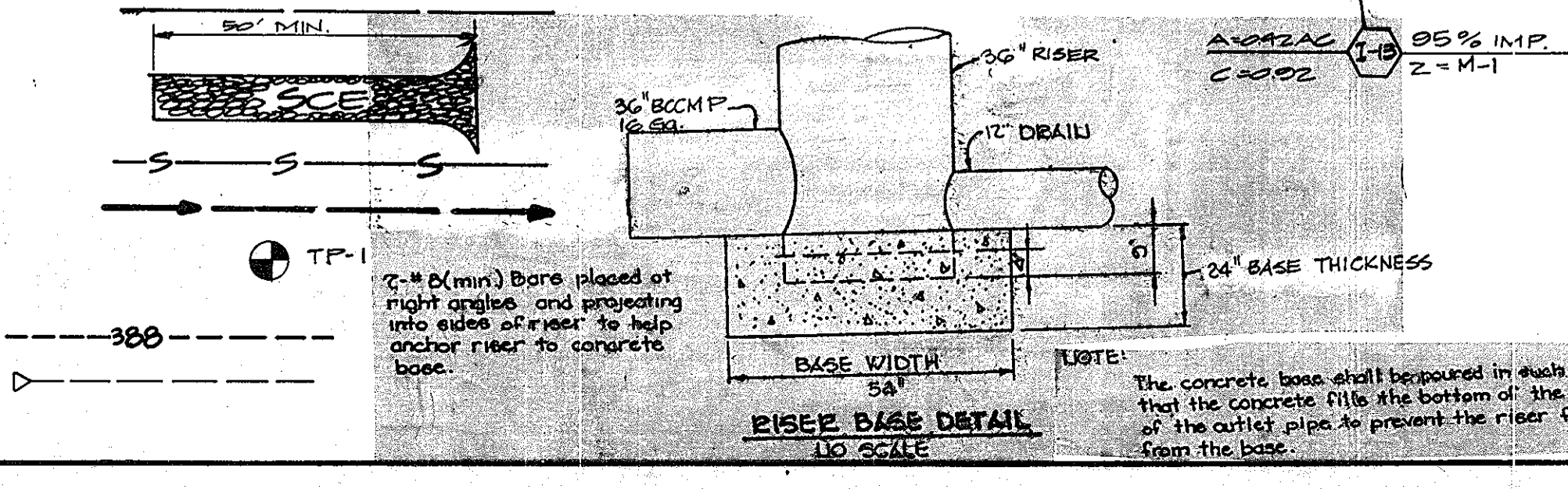
TITLE: **GRADING AND SEDIMENT CONTROL AND DRAINAGE AREA MAP**

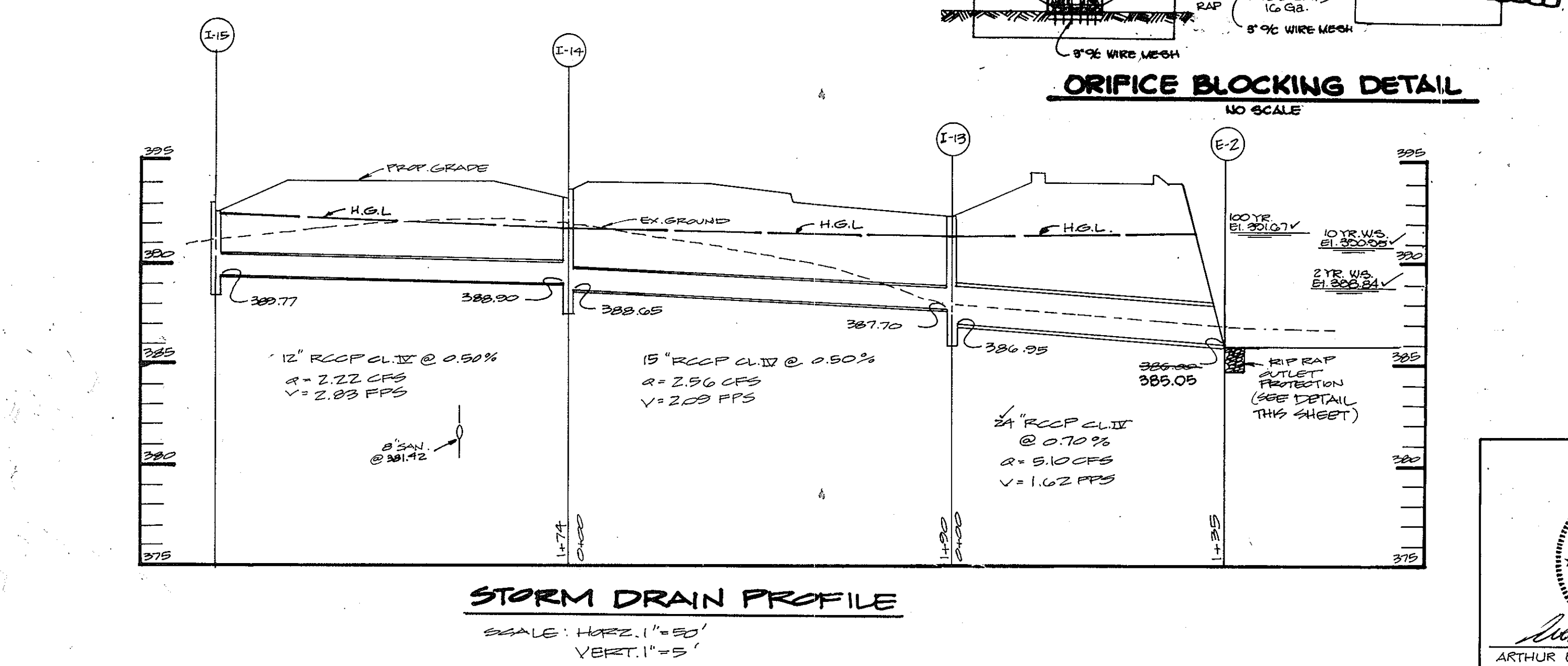
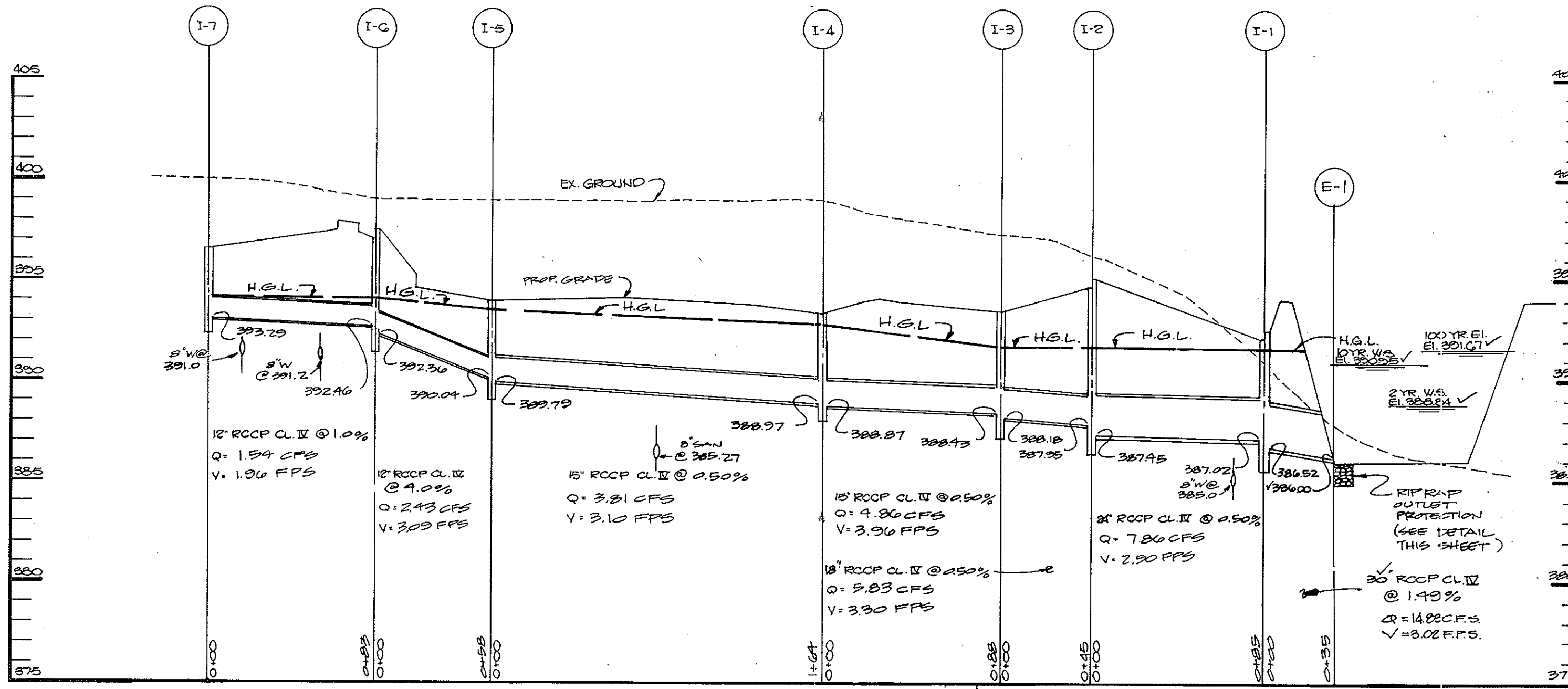
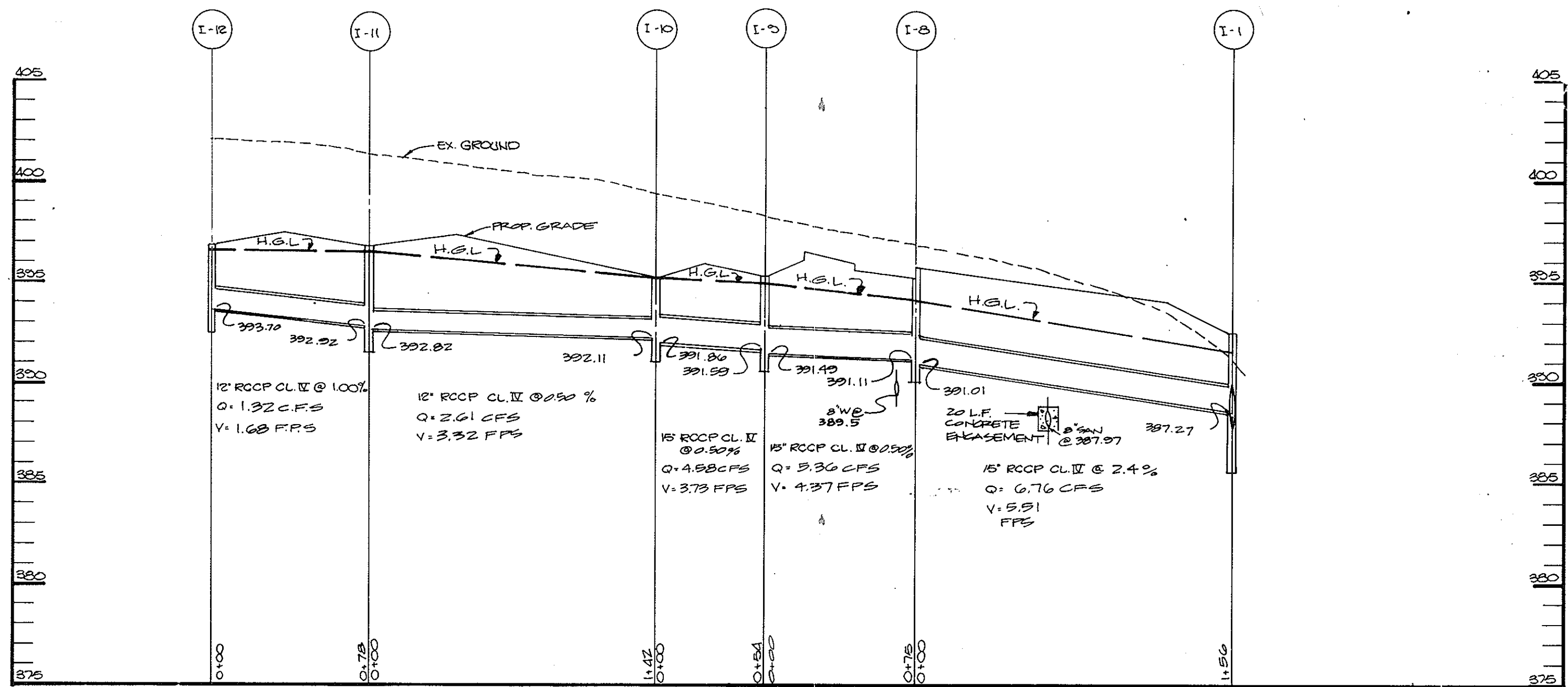
**THE RIEMER GROUP, INC.**

The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
3105 North Ridge Road, Ellicott City, Maryland 21043 (301) 461-2690

DATE: 7-8-88  
F-88-134 WP 88-55  
S-88-39  
DESIGNED BY J.L.B.  
DRAWN BY J.L.B.  
PROJECT NO: 41003  
DATE: DECEMBER 15, 1987  
SCALE: 1"=30'  
DRAWING NO. 3 OF 6

- LEGEND**
- LIMIT OF DISTURBANCE
  - STABILIZED CONSTRUCTION ENTRANCES
  - SILT FENCE
  - EARTH DIKE
  - SOIL BORING LOCATION
  - AS-BUILT CONTOURS
  - AS-BUILT STORM DRAINS





**SITE PREPARATION**  
Areas under the borrow areas, embankment, and structural works shall be cleared, grubbed and the topsoil stripped to remove all trees, vegetation, roots or other objectionable material. Channel banks and sharp breaks shall be sloped to no steeper than 1:1.

Areas covered by the pond or reservoir will be cleared of all trees, brush, logs, fences, rubbish and other objectionable material unless otherwise designated on the plans. Trees, brush and stumps shall be cut approximately level with the ground surface.

All cleared and grubbed material shall be disposed of outside the limits of the dam and reservoir as directed by the owner or his representative. When specified, a sufficient quantity of topsoil will be stockpiled in a suitable location for use on the embankment and other designated areas.

**EARTH FILL**  
The fill material shall be taken from approved designated borrow areas or areas. It shall be free of roots, stumps, wood, rubbish, concrete, stones, frozen or other objectionable materials. The embankment shall be constructed to an elevation which provides for anticipated settlement to the design elevation. The fill height all along the length of the embankment shall be increased above the design elevation (including freeboard) as shown on the plans.

**Placement**  
Areas on which fill is to be placed shall be scarified prior to placement of fill. Fill materials shall be placed in 8-inch maximum thickness (before compaction) layers which are to be continued over the entire length of the fill. The most porous borrow material shall be placed in the downstream portions of the embankment.

**Compaction**  
The movement of the hauling and spreading equipment over the fill shall be controlled so that the entire surface of each lift shall be traversed by not less than one track of the equipment or compaction shall be achieved by a minimum of four complete passes of a sheepsfoot, rubber tired or vibratory roller. Fill material shall contain sufficient moisture such that the required degree of compaction can be obtained with the equipment used.

**Connections**  
All connections with pipes must be completely watertight. The drain pipe or barrel connection to the riser shall be welded all around when the pipe and riser are metal. Mastic coupling bands shall be used at all joints. Antiseep collars shall be connected to the pipe in such a manner as to be completely watertight.

**Bedding**  
The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock or soft, spongy or other unstable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide adequate support.

**REINFORCING STEEL**  
All reinforcing material shall be free of dirt, rust, scale, oil, paint or other coatings. The steel shall be accurately placed and securely tied and blocked into position so that no movement of the steel will occur during placement of concrete.

**Finishing**  
Defective concrete, honeycombed areas, voids left by the removal of tie rods, ridges on all concrete surfaces permanently exposed to view or exposed to water on the finished structure, shall be repaired immediately after the removal of forms. All voids shall be reamed and completely filled with dry-patching mortar.

**Protection and Curing**  
Exposed surfaces of concrete shall be protected from the direct rays of the sun for at least the first three (3) days. All concrete shall be kept continuously moist for at least ten (10) days after being placed. Moisture may be applied by spraying or sprinkling as necessary to prevent the concrete from drying. Concrete shall not be exposed to freezing during the curing period. Curing compounds may also be used.

**Placement Temperature**  
Concrete may not be placed at temperatures below 32° F with the temperature falling or 34° with the temperature rising.

**STABILIZATION**  
All borrow areas shall be graded to provide proper drainage and left in a slightly condition. All exposed surfaces of the embankment, spillways, spoil and borrow areas, and berms shall be stabilized by seeding, fertilizing and mulching (if required) in accordance with the vegetative treatment specifications shown on accompanying drawings.

**Cutoff Trench**  
Where specified, a cutoff trench shall be excavated along or parallel to the centerline of the embankment as shown on the plans. The bottom width of the trench shall be governed by the equipment used for excavation, with the minimum width being four feet. The depth shall be at least four feet or as shown on the plans. The side slopes of the trench shall be 1 to 1 or flatter. The backfill material for the cutoff trench shall be the most impervious material available and shall be compacted with equipment or rollers to assure maximum density and minimum permeability.

**III. STRUCTURAL BACKFILL**  
Backfill material shall be of the type and quality conforming to that specified for the adjoining fill material. The fill shall be placed in horizontal layers not to exceed four inches in thickness and compacted by hand tampers or other compaction equipment. The material needs to fill completely all spaces under and adjacent to the pipe. At no time during the backfilling operation shall driven equipment be allowed to operate closer than four feet, measured horizontally, to any part of a structure. Under no circumstances shall the contractor drive equipment over any part of a concrete structure or pipe unless there is a compacted fill of twenty-four inches or greater over the structure or pipe.

**IV. CORRUGATED METAL PIPE**  
**Material**  
(Steel Pipe)-This pipe and its appurtenances shall be galvanized and fully bituminous coated and shall conform to the requirements of ASTM Specification No. 100 Type A with weathering coating bands. Any bituminous coating damaged or otherwise removed shall be replaced with cold applied bituminous coating compound.

**Forms**  
The forms shall have sufficient strength and rigidity to hold the concrete and to withstand the necessary pressure, tampering, and vibration without deflection lines. They shall be mortar-tight and constructed so that they can be removed without hammering or prying against the concrete.

The inside of forms shall be oiled with a non-staining mineral oil or thoroughly wetted before concrete is placed.

Forms may be removed 24 hours after the placement of concrete. All wire ties and other devices used shall be recessed from the surface of the concrete.

**Reinforcing Steel**  
All reinforcing material shall be free of dirt, rust, scale, oil, paint or other coatings. The steel shall be accurately placed and securely tied and blocked into position so that no movement of the steel will occur during placement of concrete.

**Consolidating**  
Concrete shall be consolidated with internal type mechanical vibrators. Vibration shall be supplemented by spading and hand tamping as necessary to insure smooth and dense concrete along form surfaces, in corners, and around embedded items.

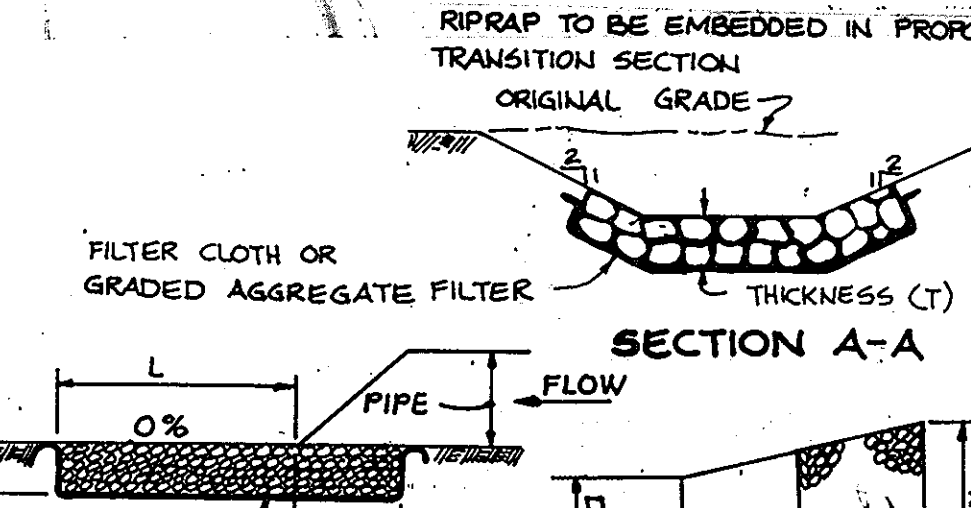
**Finishing**  
Defective concrete, honeycombed areas, voids left by the removal of tie rods, ridges on all concrete surfaces permanently exposed to view or exposed to water on the finished structure, shall be repaired immediately after the removal of forms. All voids shall be reamed and completely filled with dry-patching mortar.

**Placement Temperature**  
Concrete may not be placed at temperatures below 32° F with the temperature falling or 34° with the temperature rising.

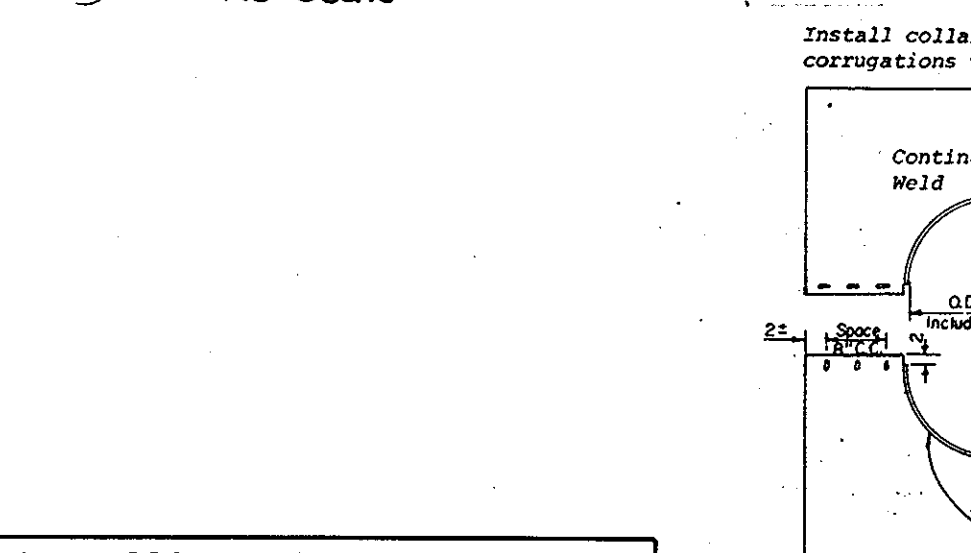
**STABILIZATION**  
All borrow areas shall be graded to provide proper drainage and left in a slightly condition. All exposed surfaces of the embankment, spillways, spoil and borrow areas, and berms shall be stabilized by seeding, fertilizing and mulching (if required) in accordance with the vegetative treatment specifications shown on accompanying drawings.

**Design Mix**  
The concrete shall be mixed in the following proportions, measured by weight. The water-cement ratio shall be 4 to 4.5 gallons of water per 94 pound bag of cement. The proportion of materials for the trial mix shall be 1:2.3:3. The combination of aggregates may be adjusted to produce a plastic and workable mix that will not produce harshness in placing or honeycombing in the structure.

**Mixing**  
The concrete ingredients shall be mixed in batch mixers until the mixture is homogeneous and of uniform consistency. The mixing of each batch shall continue for not less than one and one-half minutes after all the ingredients, except the full amount of water, are in the mixer. The minimum mixing time is predicted on proper control of the speed of rotation of the mixer and of the introduction of the material, including water, into the mixer. Water shall be added prior to, during, and following the mixer-charging operations. Excessive couraining requiring the addition of water to preserve the required concrete consistency shall not be permitted. Truck mixing will be allowed provided that the use of this method shall cause no violation of any applicable provisions of the specifications given here.

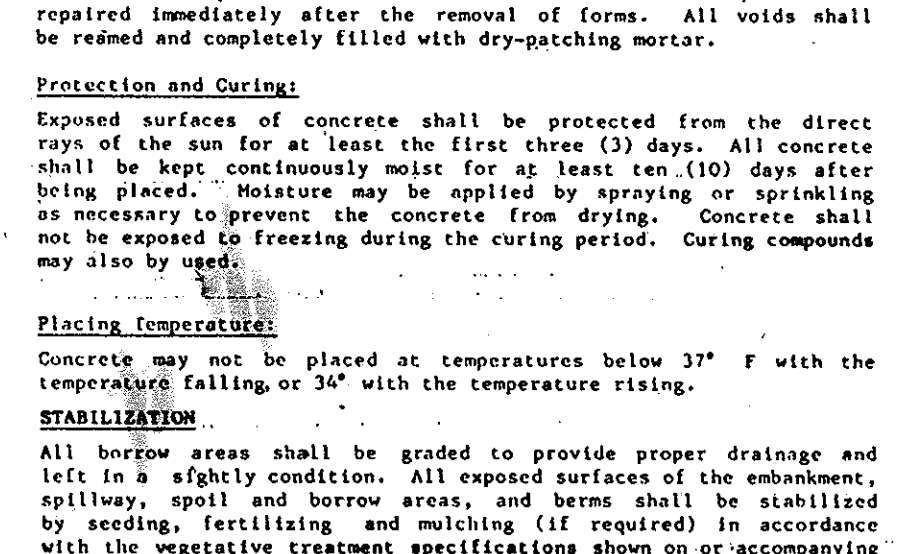


SECTION	PLAN			
STRUCTURE	MEDIUM STONE DIA	LENGTH (L)	WIDTH (W)	THICKNESS (T)
E-1	6"	10' 8"	15' 12"	14"
E-2	6"	7' 8"	11' 12"	14"
E-3	6"	15'	20' 11"	14"



**AS-BUILT CERTIFICATE**

ARTHUR E. MUEGGE #8707  
DATE 6-20-91



Install collar with corrugations vertical

Collar to be of same gage as the pipe with which it is used.

1/2" x 2" slotted holes for 3/8" diameter holes

Weld both sides

Corrugated metal sheet welded to center of band

**NOTES FOR COLLARS:**

- All materials to be in accordance with construction and construction material specifications.
- When specified on the plans, coating of collars shall be in accordance with construction and construction material specifications.

**APPROVED**  
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE 4-7-88

**APPROVED**  
HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
DATE 8-1-88

BY THE DEVELOPER:

"I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

Richard E. Muegge Project Executive July 8, 1988  
DEVELOPER DATE

BY THE ENGINEER:

"I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."

Arthur E. Muegge 7-8-88  
ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

James M. Helms 7-15-88  
S. SOIL CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Stephen J. Felt 7-15-88  
HOWARD S.C.D. DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

James M. Helms 7-20-88  
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

W.R. 8-1-88  
PLANNING DIRECTOR DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

James M. Helms 7-19-88  
DIRECTOR DATE

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

James M. Helms 7-19-88  
CHIEF, BUREAU OF ENGINEERING DATE

OWNER/DEVELOPER C.A.F.C. LTD PARTNERSHIP  
% SIENA CORPORATION  
8856 ENFIELD COURT, SUITE 101  
JESUP, MARYLAND 20724

PROJECT: CONNELL PROPERTY  
(AN AUTO SERVICE CENTER)

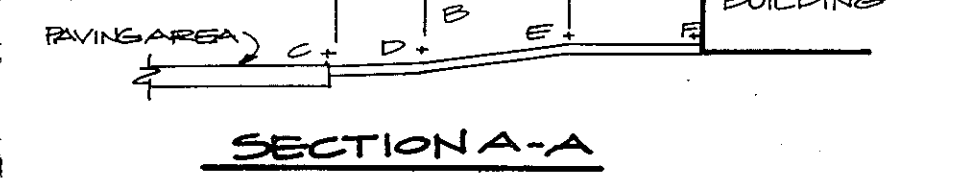
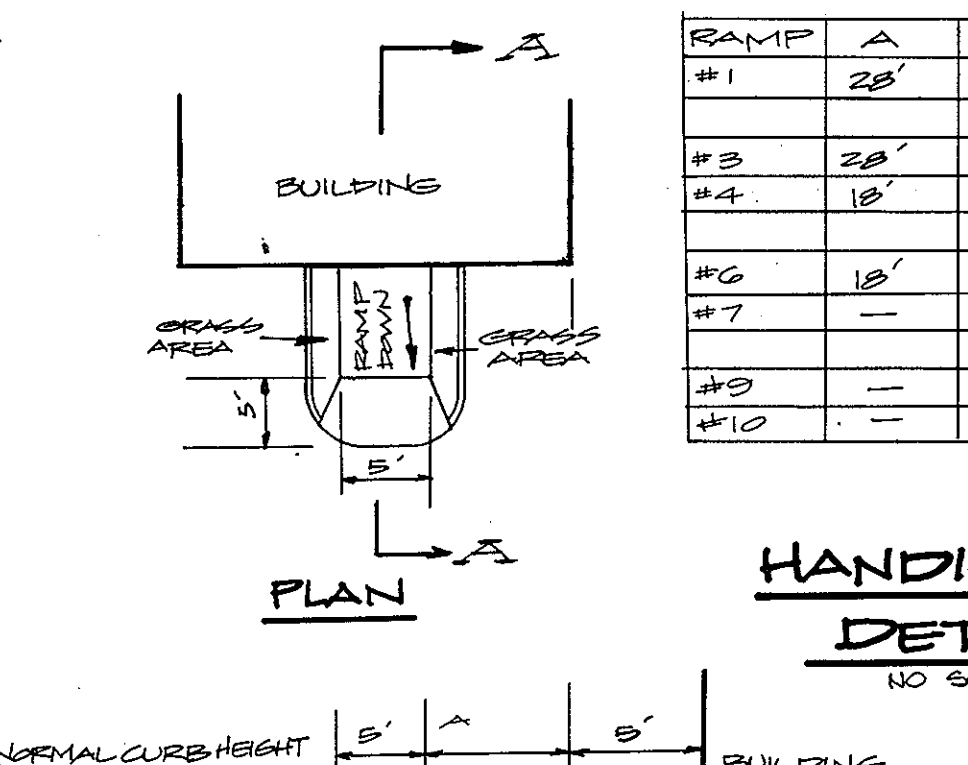
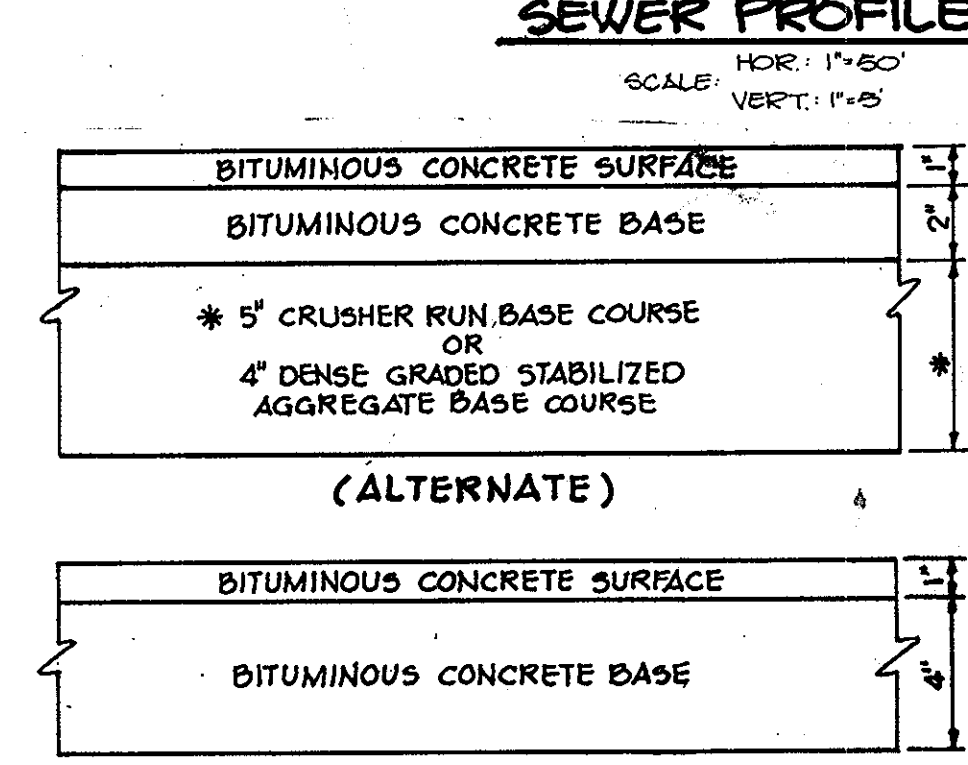
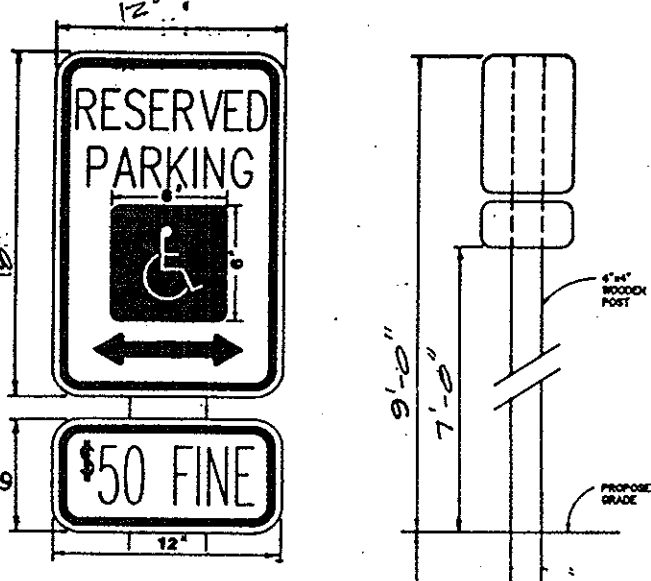
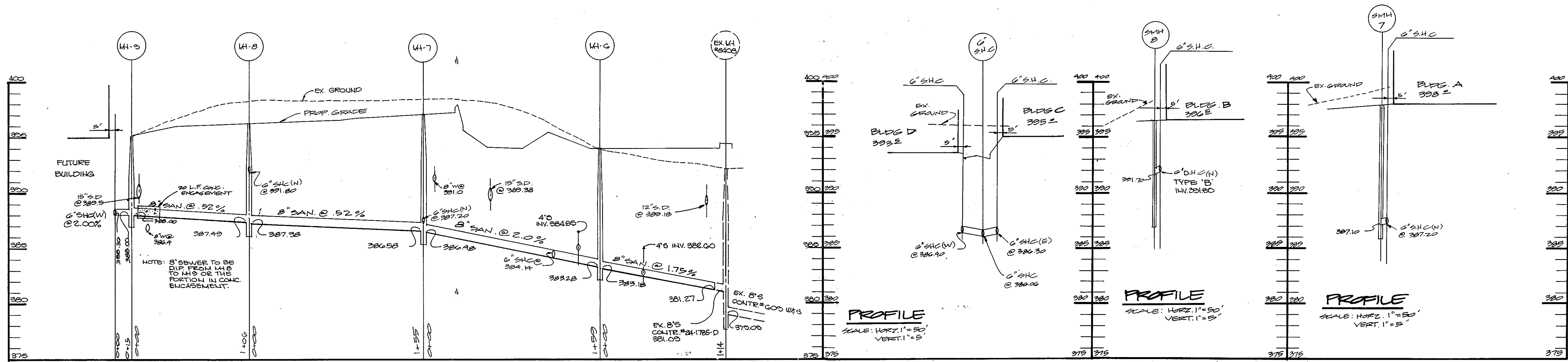
AREA TAX MAP 42 ZONED-M-1 PLAT No. 7941  
6TH ELECTION DISTRICT (PARCEL A)  
HOWARD COUNTY, MARYLAND

TITLE: STORM DRAIN PROFILES AND DETAILS

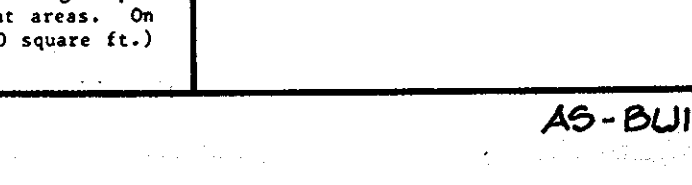
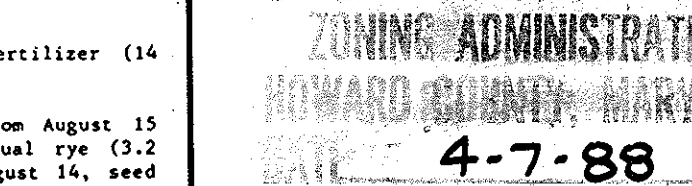
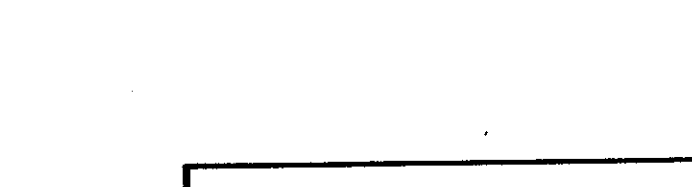
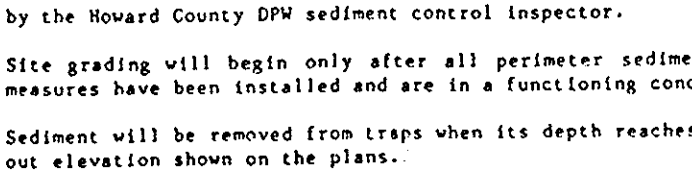
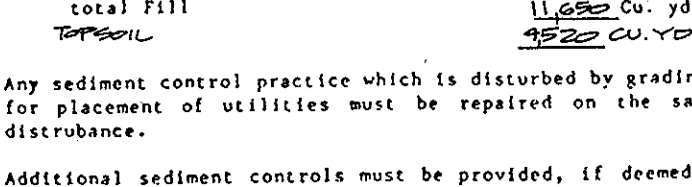
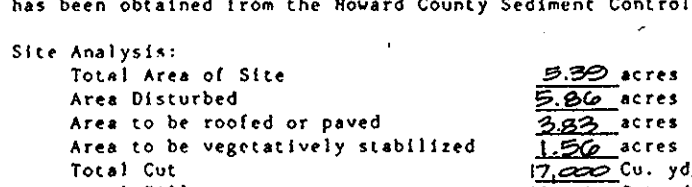
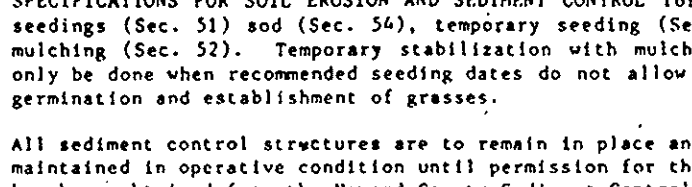
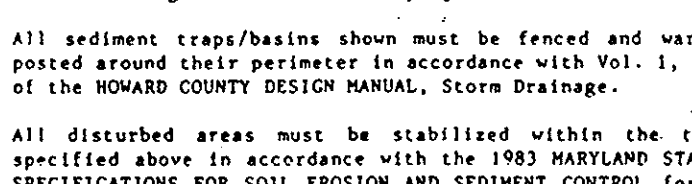
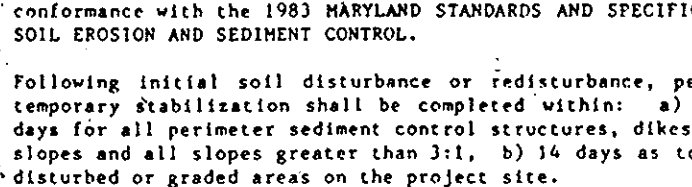
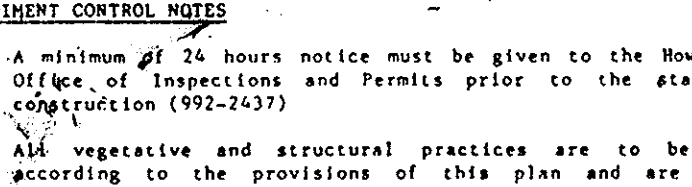
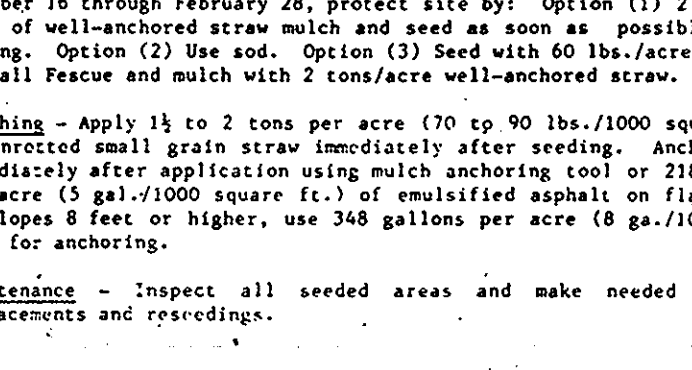
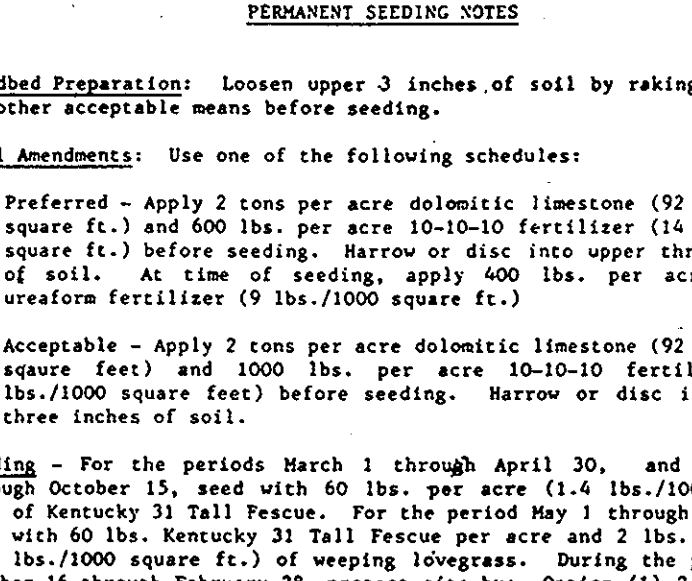
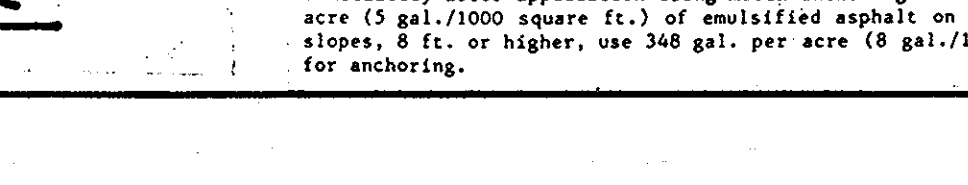
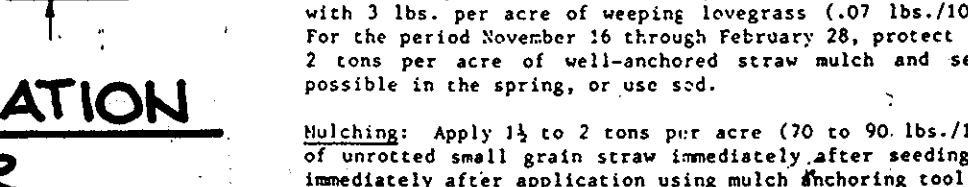
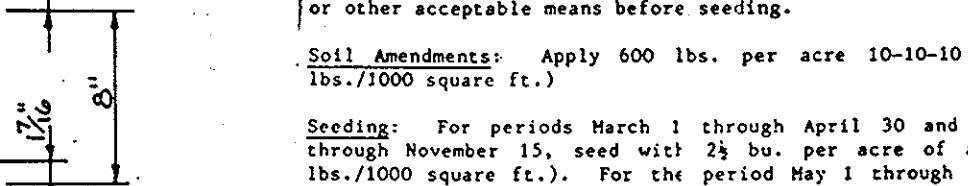
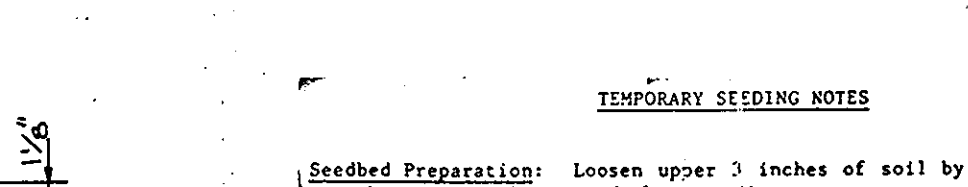
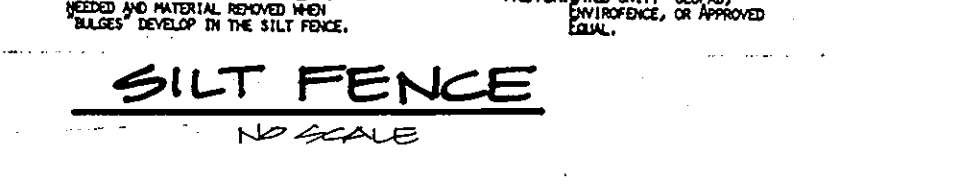
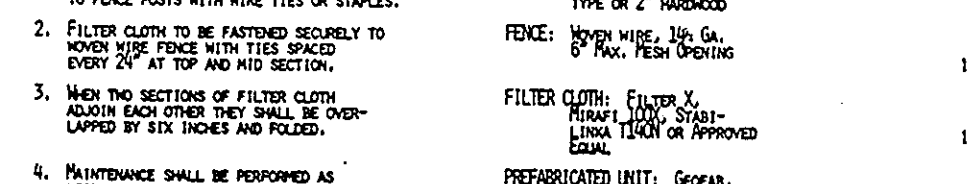
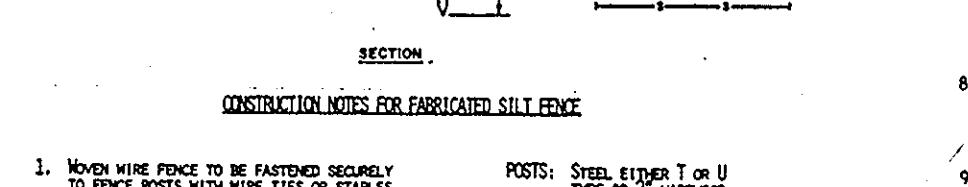
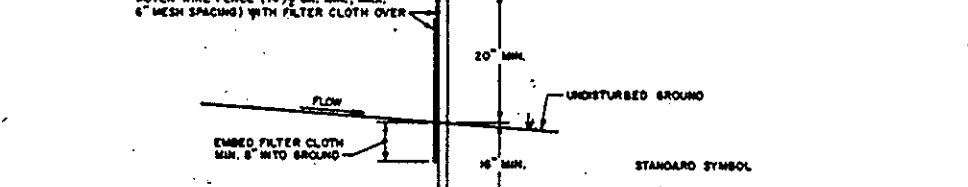
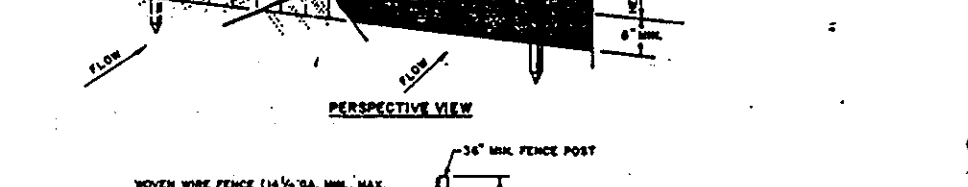
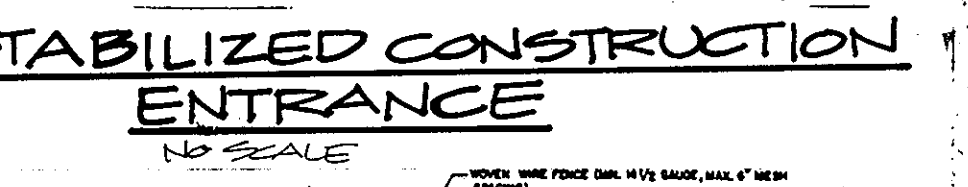
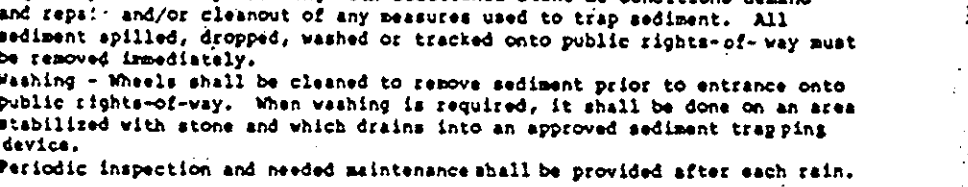
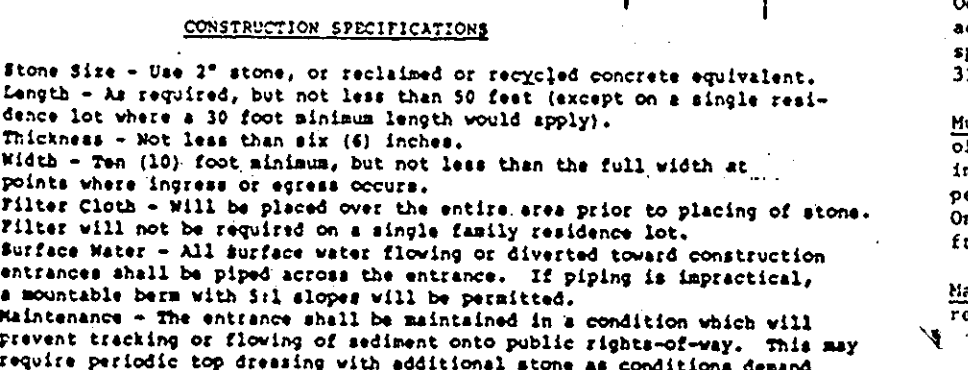
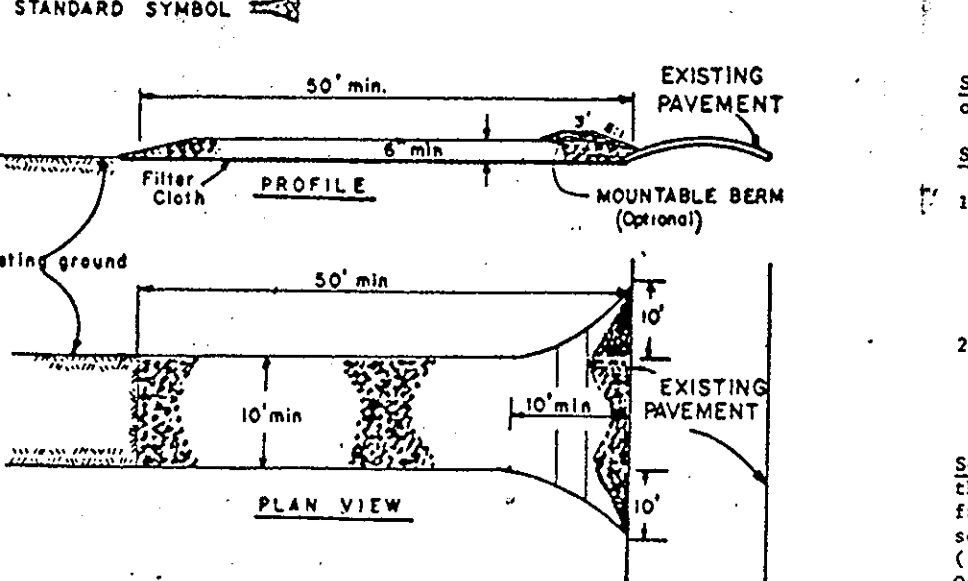
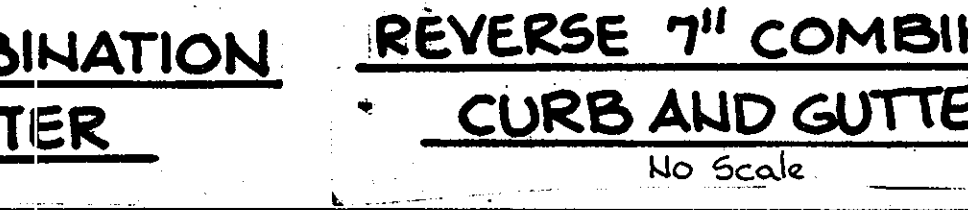
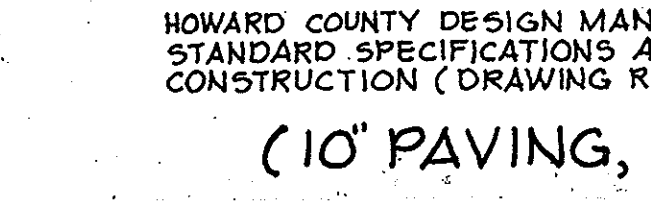
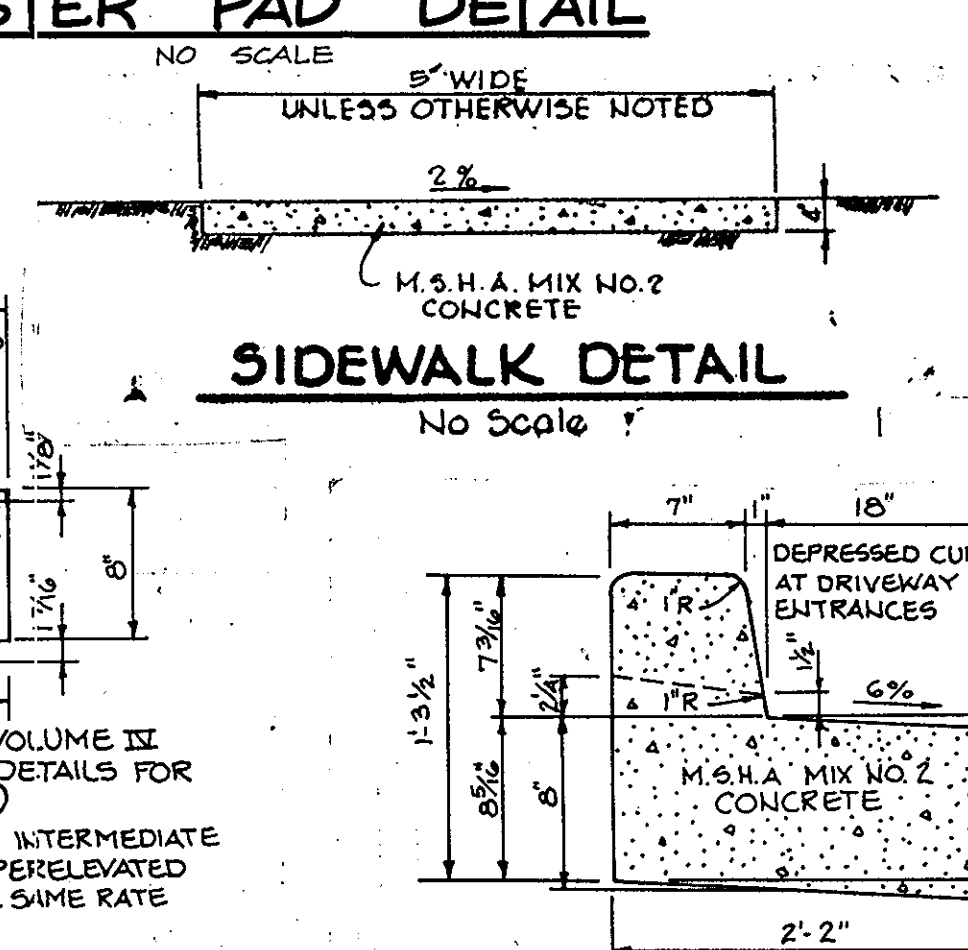
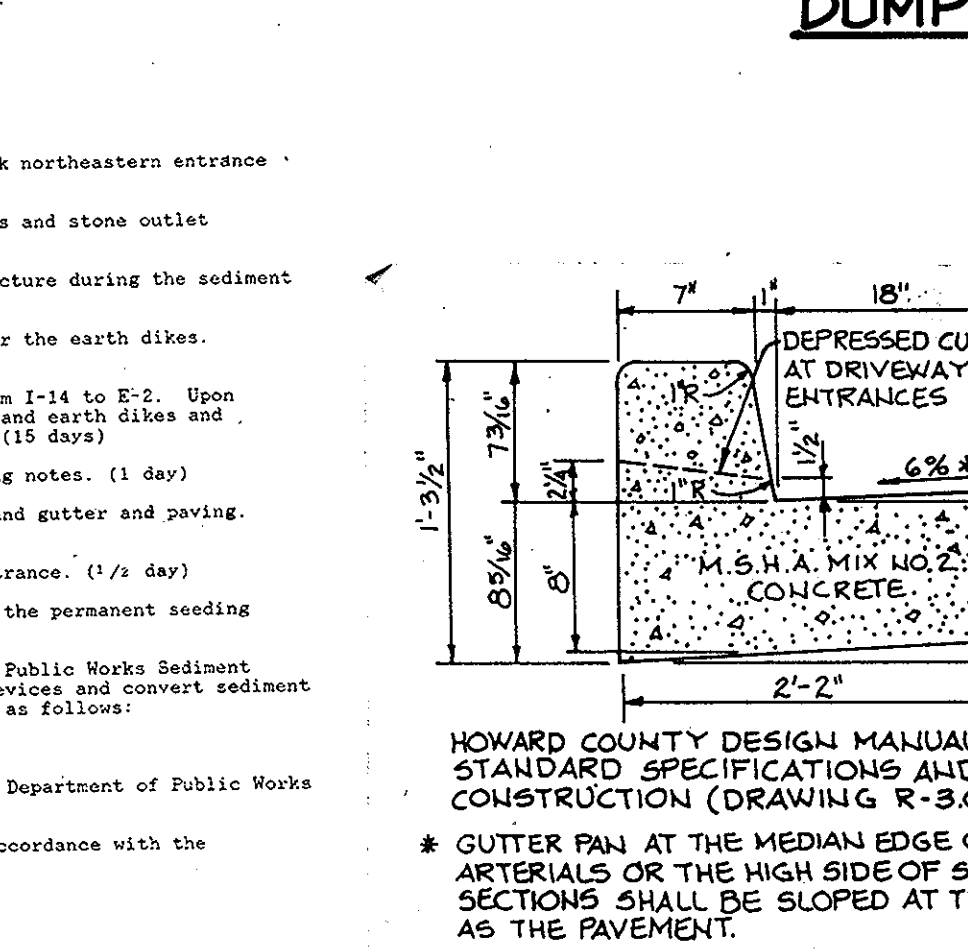
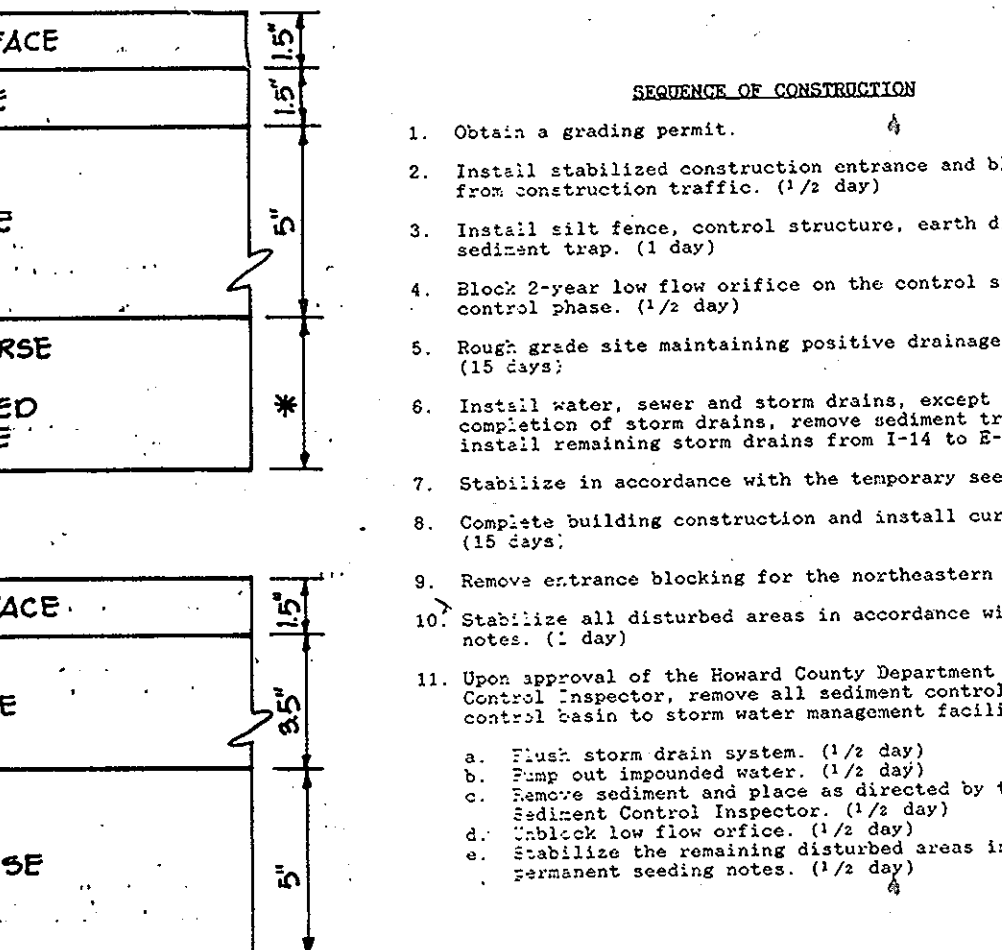
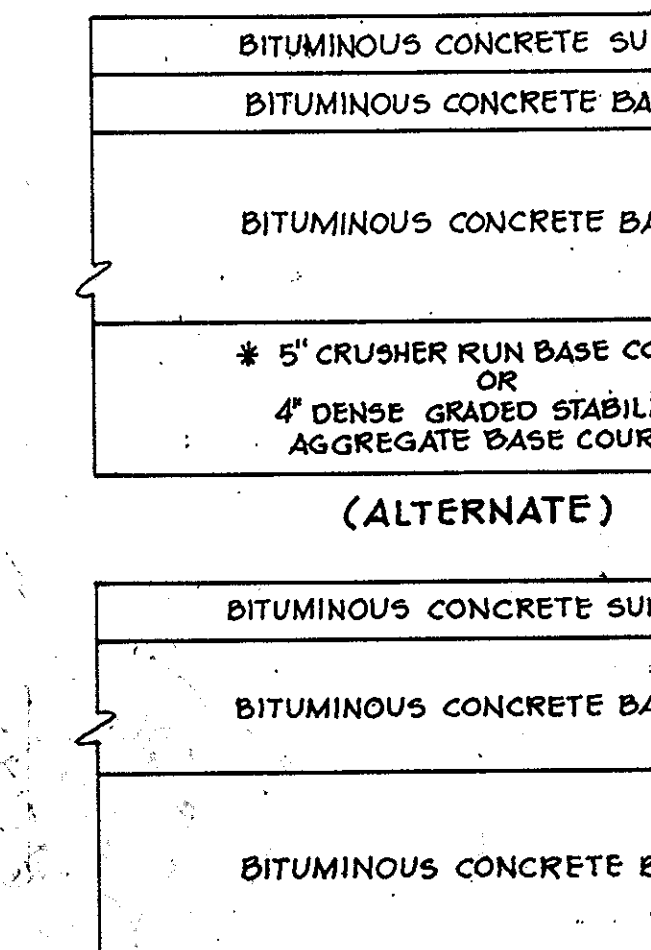
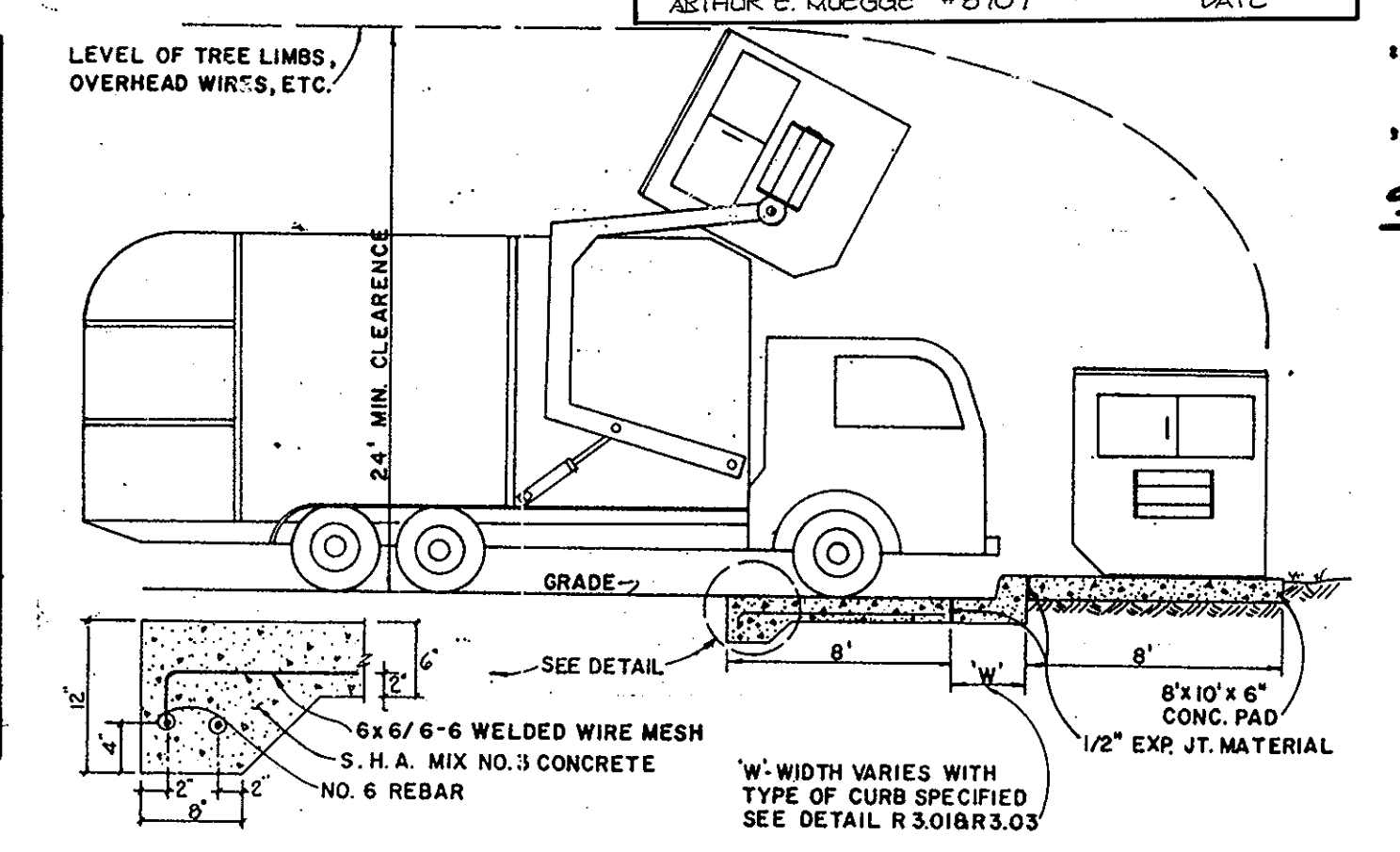
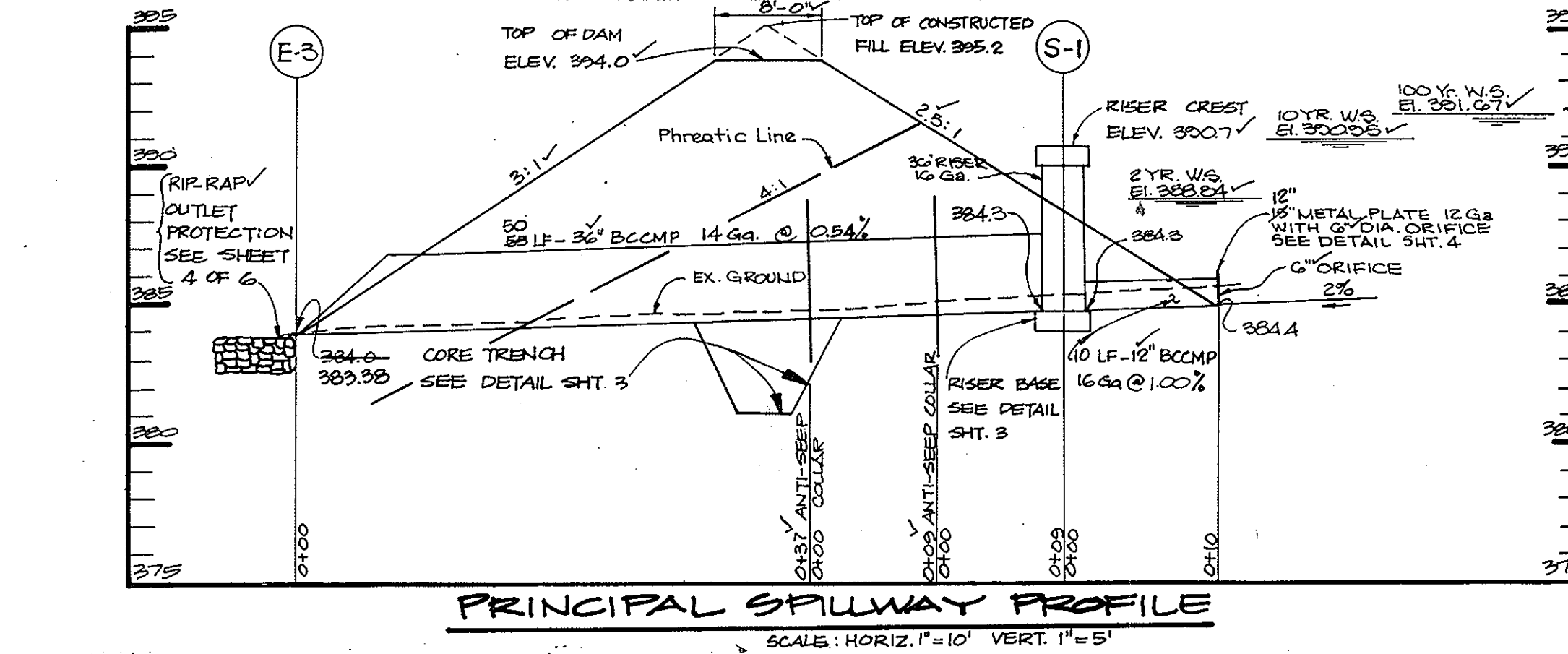
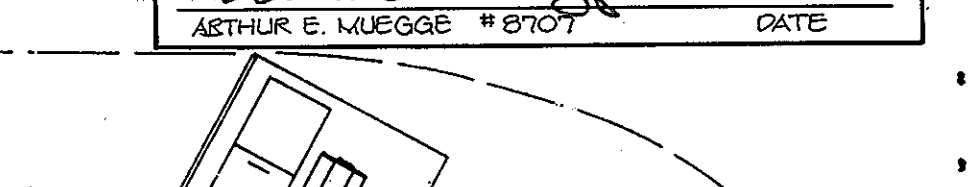
THE RIEMER GROUP, INC.

The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
3105 North Ridge Road, Ellicott City, Maryland 21043 (301) 461-2690

7-8-88 DATE  
F-88-134 WP-88-55  
5-88-39  
DESIGNED BY: JLB  
DRAWN BY: JLB  
PROJECT NO: 41,003  
DATE: DECEMBER 15, 1987  
SCALE: AS SHOWN  
DRAWING NO. 4 OF 6



RAMP	A	B	C	D	E	F
#1	28'	1.4%	96'	-	-	96'
#2	38'	1.0%	96'	-	-	96'
#3	18'	2.2%	97'	97'	97'	96'
#4	-	-	97'	-	-	96'
#5	18'	1.6%	97'	97'	97'	96'
#6	-	-	97'	-	-	96'
#7	-	-	97'	-	-	96'
#8	-	-	97'	-	-	96'
#9	-	-	97'	-	-	96'
#10	-	-	97'	-	-	96'



BY THE DEVELOPER:  
 "I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN 'AS-BUILT' PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."  
 Richard C. Connel, Project Executive July 8, 1988  
 DEVELOPER DATE

BY THE ENGINEER:  
 "I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN 'AS-BUILT' PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."  
 Arthur E. Muegge, Engineer 7-8-88  
 ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.  
 James M. Selman, S.C.S. 7-15-88  
 SOIL CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
 Stephen D. Selman, HOWARD S.C.S. 7-15-88  
 APPROVED DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT  
 Joseph J. ... 7-20-88  
 COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.  
 ... 8-1-88  
 PLANNING DIRECTOR DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.  
 ... 7-25-88  
 CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.  
 ... 7-19-88  
 DIRECTOR DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.  
 ... 7-18-88  
 CHIEF, BUREAU OF ENGINEERING DATE

OWNER/DEVELOPER: C.A.S.C. LTD PARTNERSHIP, 9% SIENA CORPORATION, 8282 BELT ROAD, SUITE 101, JESSUP MARYLAND 20794

PROJECT: CONNELL PROPERTY (AN AUTO SERVICE CENTER)  
 AREA TAX MAP 42 ZONED-M-1 PLAT NO. 7941 6TH ELECTION DISTRICT (PARCEL A) HOWARD COUNTY, MARYLAND

TITLE: SEWER PROFILES AND DETAILS

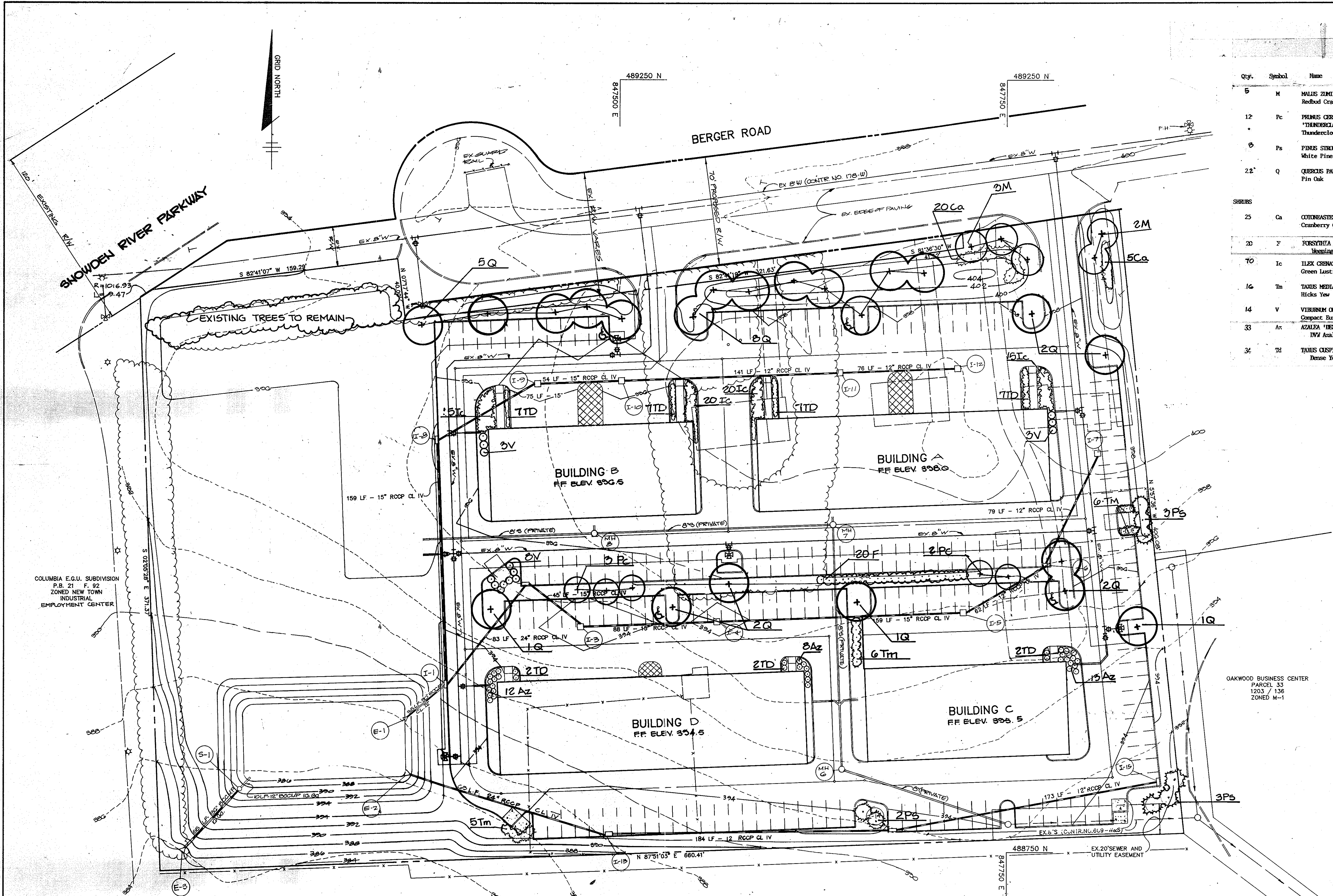
THE RIEMER GROUP, INC.  
 The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
 3105 North Ridge Road, Ellicott City, Maryland 21043 (301) 461-2690

DATE: 7-8-88  
 DESIGNED BY: J.L.B.  
 DRAWN BY: J.L.B.  
 PROJECT NO: 41,003  
 DATE: DECEMBER 15, 1987  
 SCALE: AS SHOWN  
 DRAWING NO. 5 OF 6

APPROVED: DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION, HOWARD COUNTY, MARYLAND  
 DATE: 4-7-88

APPROVED: DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION, HOWARD COUNTY, MARYLAND  
 DATE: 4-7-88

AS-BUILT: 5-15-91 SDP-88-119



Qty.	Symbol	Name	Size	Remarks
5	M	MALUS ZIMM 'CALOCARPA' Redbud Crab	2-2 1/2" CAL., 13-15' Ht.	BBB, FULL HEAD
12	Pc	PRUNUS CERASIFERA 'THUNDERCLOUD' Thundercloud Plum	7-8' Ht.	BBB
6	Ps	PINUS STROBUS White Pine	2 1/2" CAL., 6-8' Ht.	BBB, WELL BRANCHED, UNSHEARED
22'	Q	QUERCUS PALAISTRIS Pin Oak	2-2 1/2" CAL., 13-15' Ht.	BBB, FULL HEAD
<b>SHRUBS</b>				
25	Ga	COTONEASTER APICULATA Cranberry Cotoneaster	18-24" SPD.	CONTAINER
20	F	FOXYSTYLIA SUSPENS... Weeping Forsythia	2-3' Ht.	BBB or Container
70	Ic	ILEX CORNATA 'GREEN LUSTRE' Green Lustre Holly	18-24" SPD.	CONTAINER
16	Tm	TAXUS MEDIA 'HICKSII' Hicks Yew	2-2 1/2' Ht.	BBB
14	V	VIBURNUM OPULIS 'COMPACTUM' Compact European Cranberrybush	18-24" SPD.	BBB
33	Az	AZALEA 'DELAWARE VALLEY WHITE' DVM Azalea	18-24" Spd.	Container
34	Ti	TAXUS CUSPIDATA DENSIFORMIS Dense Yew	18-24" Spd.	BBB

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

*James M. Lewis*  
COUNTY HEALTH OFFICER  
7-20-88  
DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

*William H. ...*  
PLANNING DIRECTOR  
2.1.88  
DATE R

*James S. ...*  
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT  
2-25-88  
DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

*James M. Lewis*  
DIRECTOR  
7/19/88  
DATE

*James B. ...*  
CHIEF, BUREAU OF ENGINEERING  
7-20-88  
DATE

DATE	NO	REVISION

OWNER/DEVELOPER  
CASC LTD. PARTNERSHIP  
56 DIENA CORPORATION  
8350 BRISTOL COURT, SUITE 101  
JESSUP, MARYLAND 20794

PROJECT:  
**CONNELL PROPERTY**  
(AN AUTO SERVICE CENTER)

AREA TAX MAP 42 ZONED M-1 PLAT NO. 7041  
6TH ELECTION DISTRICT (PARCEL A)  
HOWARD COUNTY, MARYLAND

TITLE  
**PLANTING PLAN**

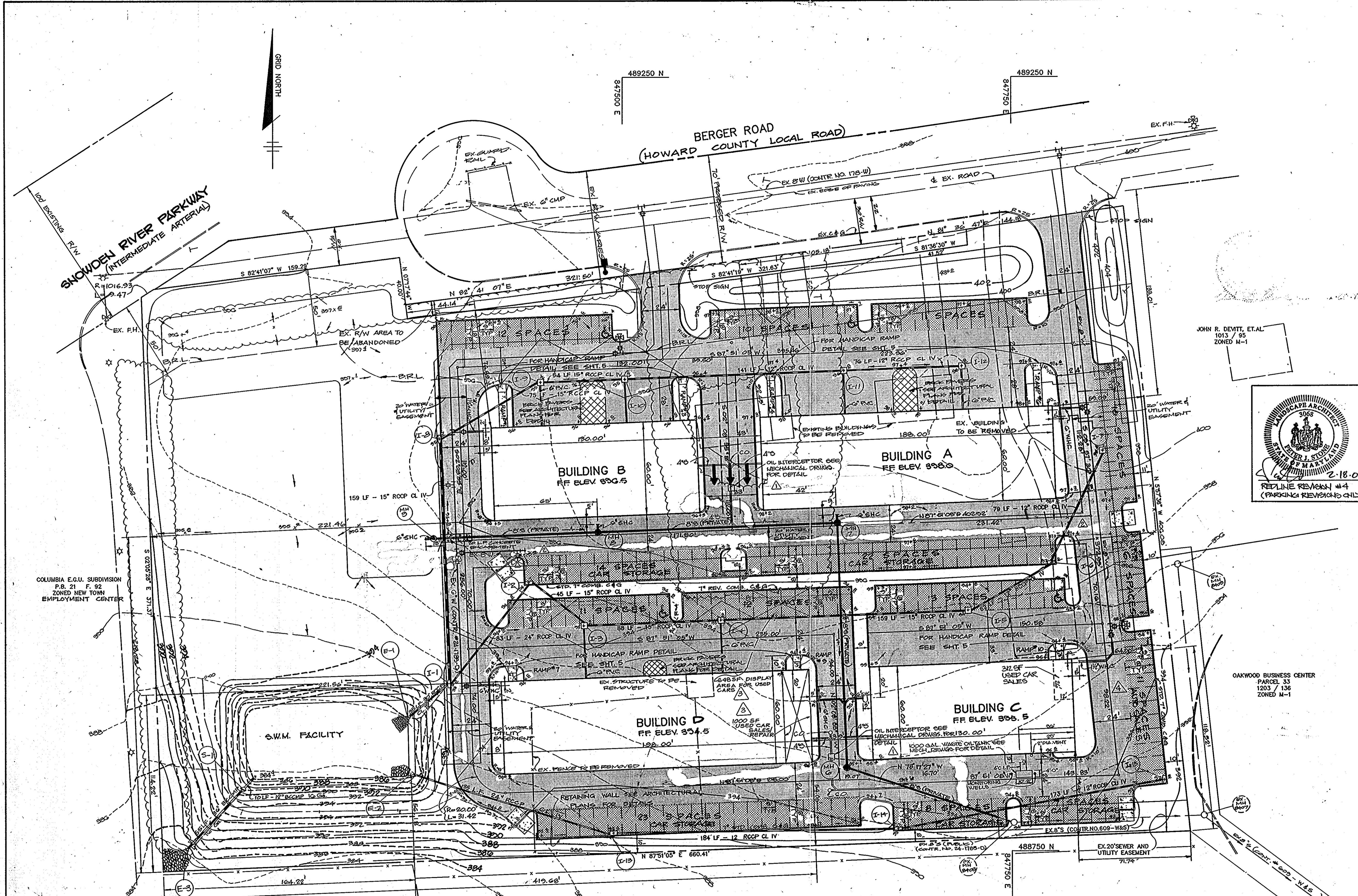
**THE RIEMER GROUP, INC.**  
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
3105 North Ridge Road, Ellicott City, Maryland 21043 (301) 461-2690

APPROVED  
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE 4-7-88

7-8-85 DATE	F-88-134 WP 88-55 5-28-89
DESIGNED BY: M.C.S.	DRAWN BY: D.D.B.
PROJECT NO: 41003	DATE: DECEMBER 15, 1987
SCALE: AS SHOWN	DRAWING NO. 6 OF 6

SDP-88-119

COLUMBIA E.G.U. PARCEL L-1 P.B. 30 F. 88 ZONED NEW TOWN INDUSTRIAL EMPLOYMENT CENTER  
PLAN SCALE: 1"=30'



COLUMBIA E.G.U. SUBDIVISION  
P.B. 21 F. 92  
ZONED NEW TOWN  
EMPLOYMENT CENTER

PLAN  
SCALE: 1"=30'

- LEGEND**
- P-1 PAVING (PARKING)
  - P-1 PAVING (DRIVE THRU)
  - P-4 PAVING
  - CONCRETE
  - LIGHT POLE
  - HANDICAP PARKING SIGN
  - TYPICAL HANDICAP PARKING SPACE
  - B.R.L. BUILDING RESTRICTION LINE
  - 8'X10' DUMPSTER PAD SEE DETAIL SHEET 5
  - 36" E VALUE REFLECTS 396.5 (TYP)
  - OIL INTERCEPTOR SEE DETAIL MECHANICAL DRAWINGS
- NOTES:  
1. ALL ELEVATIONS UNLESS OTHERWISE NOTED.  
2. ALL WATER METERS ARE INSIDE SETTINGS.

APPROVED  
DIVISION OF LAND DEVELOPMENT &  
ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE 4-7-88

DATE	NO.	REVISION
2/18/08	4	CONVERT 11 PARKING SPACES TO AUTO SALES DISPLAY
9-24-00	3	ADDED SALES/REPAIR AND DISPLAY AREA FOR USED CARS

**AS-BUILT CERTIFICATION**

STATE OF MARYLAND  
ARTHUR E. MUEGGE, REGISTERED PROFESSIONAL ENGINEER  
DATE 6-20-91

LANDSCAPE ARCHITECT  
STATE OF MARYLAND  
REPLINE REVISION #4  
(PARKING REVISIONS ONLY)

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,  
HOWARD COUNTY HEALTH DEPARTMENT  
J. MUEGGE, COUNTY HEALTH OFFICER  
DATE 7-20-88

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.  
PLANNING DIRECTOR  
DATE 8-1-88  
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT  
DATE 7-25-88

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
DIRECTOR  
DATE 9/9/88  
CHIEF, BUREAU OF ENGINEERING  
DATE 7-15-88

DATE	NO.	REVISION
10-10-88	1	REVISED WATER LINE
9-12-88	2	REVISED OIL INTERCEPTOR & WATER HOUSE CONN.

OWNER/DEVELOPER: C.A.S.C. LTD. PARTNERSHIP  
% SIENA CORPORATION  
8880 BOSTON COURT, SUITE 101  
JESSEL, MARYLAND, 20794

PROJECT: **CONNELL PROPERTY**  
(AN AUTO SERVICE CENTER)  
AREA TAX MAP 42 ZONED-M-1 PLAT NO. 1941  
6TH ELECTION DISTRICT (PARCEL A)  
HOWARD COUNTY, MARYLAND

**TITLE: SITE DEVELOPMENT PLAN**

**THE RIEMER GROUP, INC.**  
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
3105 North Ridge Road, Ellicott City, Maryland 21043 (301) 461-2600

DATE 7-8-88  
DESIGNED BY: W.C.W.  
DRAWN BY: P.B.S.  
PROJECT NO: 41003  
DATE: DECEMBER 15, 1987  
SCALE: 1" = 30'  
DRAWING NO. 2 OF 6

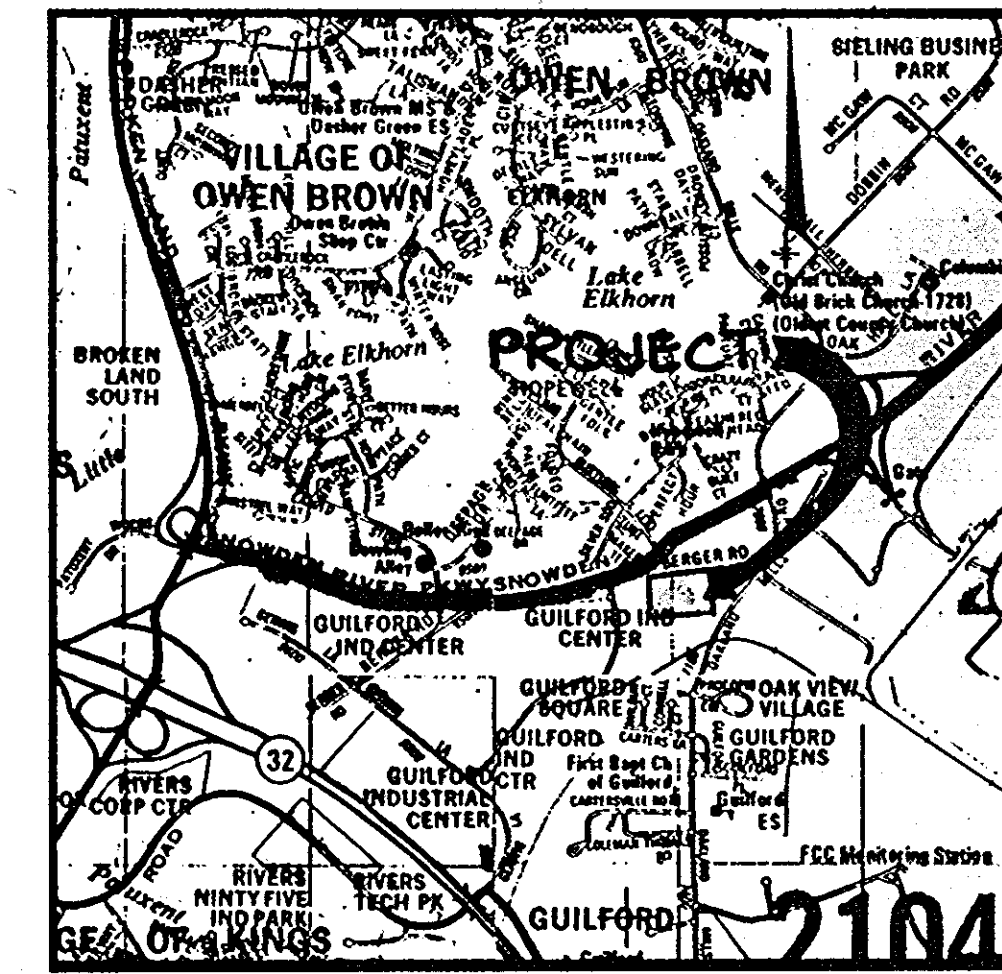
SHEET INDEX	
NO.	DESCRIPTION
1	TITLE SHEET
2	SITE DEVELOPMENT PLAN
3	GRADING AND SEDIMENT CONTROL AND DRAINAGE AREA MAP
4	STORM DRAIN PROFILES AND DETAILS
5	SEWER PROFILES AND DETAILS
6	PLANTING PLAN

# SITE DEVELOPMENT PLAN

## CONNELL PROPERTY

### 6th ELECTION DISTRICT

### HOWARD COUNTY, MARYLAND



VICINITY MAP  
SCALE: 1" = 2000'

**GENERAL NOTES**

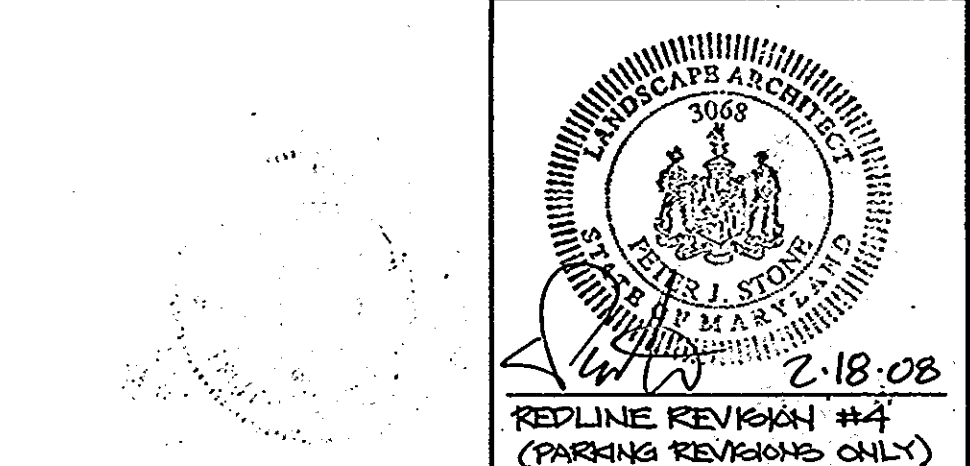
- ALL WATER LINES SHALL BE CONSTRUCTED A MINIMUM OF 42" COVER BELOW FINISHED GRADE.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, I.E., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FROM BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS TO VERIFY THEIR LOCATION AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
- CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS:
 

MISS UTILITY	1-800-257-7777
C & P TELEPHONE COMPANY	725-9976
HOWARD COUNTY BUREAU OF UTILITIES	992-2366
ATEX CABLE LOCATION DIVISION	393-3553
BALTIMORE GAS & ELECTRIC COMPANY	685-0123
STATE HIGHWAY ADMINISTRATION	531-5533
HOWARD COUNTY CONSTRUCTION/INSPECTION SURVEY DIVISION (24 HOURS NOTICE PRIOR TO COMMENCEMENT OF WORK)	792-7272
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- THE CONTRACTOR SHALL PROVIDE A JOINT IN ALL SEWER MAINS WITHIN 2'-0" OF EXTERIOR MANHOLE WALLS.
- PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT TO SUBGRADE.
- TOPO TAKEN FROM FIELD RUN SURVEY DATED NOVEMBER 1987 BY THE RIEMER GROUP INC.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL STORM DRAIN PIPE BEDDING SHALL BE AS SHOWN IN DETAIL G2.01 (TRENCH IN ROCK OR TRENCH IN EARTH AS DETERMINED BY FIELD CONDITIONS) IN VOL. IV OF HOWARD COUNTY DESIGN MANUAL UNLESS OTHERWISE DIRECTED BY THE ENGINEER OR AS SHOWN ON THE DRAWINGS.
- THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND / OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR THE SEDIMENT AND EROSION CONTROL PRACTICES, STORM WATER MANAGEMENT PRACTICES AND THE DISCHARGE OF STORM WATER ONTO OR ACROSS ADJACENT OR DOWNSTREAM PROPERTIES INCLUDED IN THIS PLAN. HE IS ALSO RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR WORK ON ADJACENT PROPERTIES INCLUDED IN THIS PLAN.
- THE OWNER SHALL PROVIDE A SEPARATE AND INDEPENDENT SEWER CONNECTION FOR EACH TENANT OR OCCUPANT OF ANY BUILDING, SHOWN ON THIS SITE DEVELOPMENT PLAN, WHO WILL DISCHARGE NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM IF THIS WASTE IS REGULATED UNDER SECTION 18.122A OF THE HOWARD COUNTY CODE. EACH SEPARATE AND INDEPENDENT SEWER CONNECTION SHALL INCLUDE A STANDARD MANHOLE AND OTHER WASTE PRETREATMENT DEVICES AS REQUIRED AND APPROVED BY HOWARD COUNTY. WASTE LINES ON THE INTERIOR OF THE BUILDING SHALL BE DESIGNED, CONSTRUCTED OR MODIFIED SUCH THAT NON-DOMESTIC WASTE WILL BE DISCHARGED TO THE SEPARATE AND INDEPENDENT SEWER CONNECTION. NO TENANT OR OCCUPANT OF ANY BUILDING SHOWN ON THIS SITE DEVELOPMENT PLAN SHALL DISCHARGE REGULATED NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM PRIOR TO INSTALLATION OF THE SEPARATE AND INDEPENDENT SEWER CONNECTION AND RELATED INTERIOR WASTE LINES. THE ABOVE REQUIREMENTS SHALL APPLY TO ALL INITIAL AND FUTURE OCCUPANTS OR TENANTS.

**SITE TABULATION**

GROSS AREA OF PARCEL	5.60 ACRES - 243936 SQ. FT.
PRESENT ZONING	M-1
AREA OF BUILDING A	11280 SQ. FT.
AREA OF BUILDING B	7800 SQ. FT.
AREA OF BUILDING C (SEE NOTE 1)	7800 SQ. FT.
AREA OF BUILDING D	18200 SQ. FT. *
GROSS AREA OF ONE STORY BUILDINGS:	38,760 SQ. FT.
BUILDING COVERAGE	15.89%
BUILDING USE	CAR CARE AND REPAIR
PARKING REQUIRED @ 1 SPACE/500 SQ. FT.	78 SPACES ** (SEE NOTE 2)
PARKING PROVIDED	96 SPACES ** (SEE NOTE 2)
HANDICAP PARKING REQUIRED	4 SPACES
HANDICAP PARKING PROVIDED	4 SPACES
LANDSCAPED ISLANDS REQUIRED	9,945 (4356 S.F.)
LANDSCAPED ISLANDS PROVIDED	48,787.2 SQ. FT. (1.12 AC.)-20%
OPEN SPACE REQUIRED	74,923 SQ. FT. (1.72 AC.)-30%
OPEN SPACE PROVIDED	

- \* INCLUDES 1000 SF OF USED CAR SALES/REPAIR AREA.
- 4 OUTSIDE DISPLAY SPACES (648 SF) WILL BE PROVIDED, CREATING AN ADDITIONAL 1 SPACE REQUIRED. THE TOTAL PROVIDED PARKING WILL DECREASE TO 92 SPACES AND THE PARKING REQUIRED WILL INCREASE TO 74 SPACES.
- NOTES:  
1. INCLUDES 512 SF OF INTERIOR AUTO SALES AREA.  
2. 11 OUTSIDE AUTO SALES DISPLAY SPACES (1,782 SF) WILL BE PROVIDED. THE TOTAL AREA PROVIDED FOR INTERIOR AUTO SALES WILL BE 512 SF. THE TOTAL PARKING REQUIRED WILL BE 81 SPACES AND THE PARKING PROVIDED WILL BE 81 SPACES.



APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,  
HOWARD COUNTY HEALTH DEPARTMENT

*Jean Bedu* 7-28-88  
COUNTY HEALTH OFFICER # DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

*WPA* 8-1-88  
PLANNING DIRECTOR # DATE

*Debra S. D'Angelo* 7-25-88  
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT # DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

*James P. ...* 7/28/88  
DIRECTOR # DATE

*William P. ...* 7-28-88  
CHIEF, BUREAU OF ENGINEERING # DATE

2/18/08	4	REV. SITE TABULATION
5-24-00	3	REV. SITE TABULATION
DATE	NO.	REVISION
OWNER/DEVELOPER: C.A.S.C. LTD. PARTNERSHIP, 8380 BRISTOL COURT, SUITE 101, JESSUP, MARYLAND 20794		

PROJECT: **CONNELL PROPERTY (AN AUTO SERVICE CENTER)**

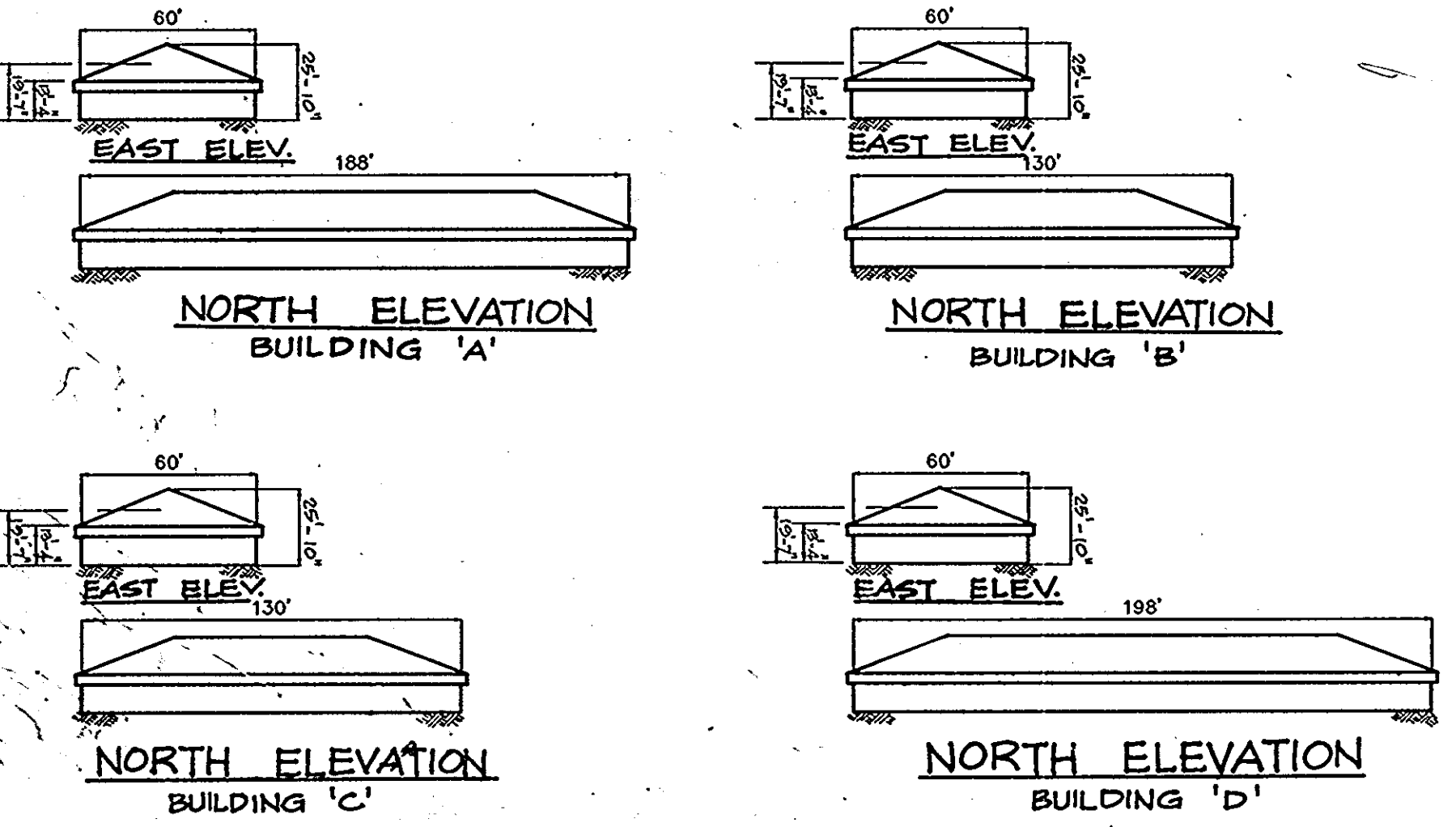
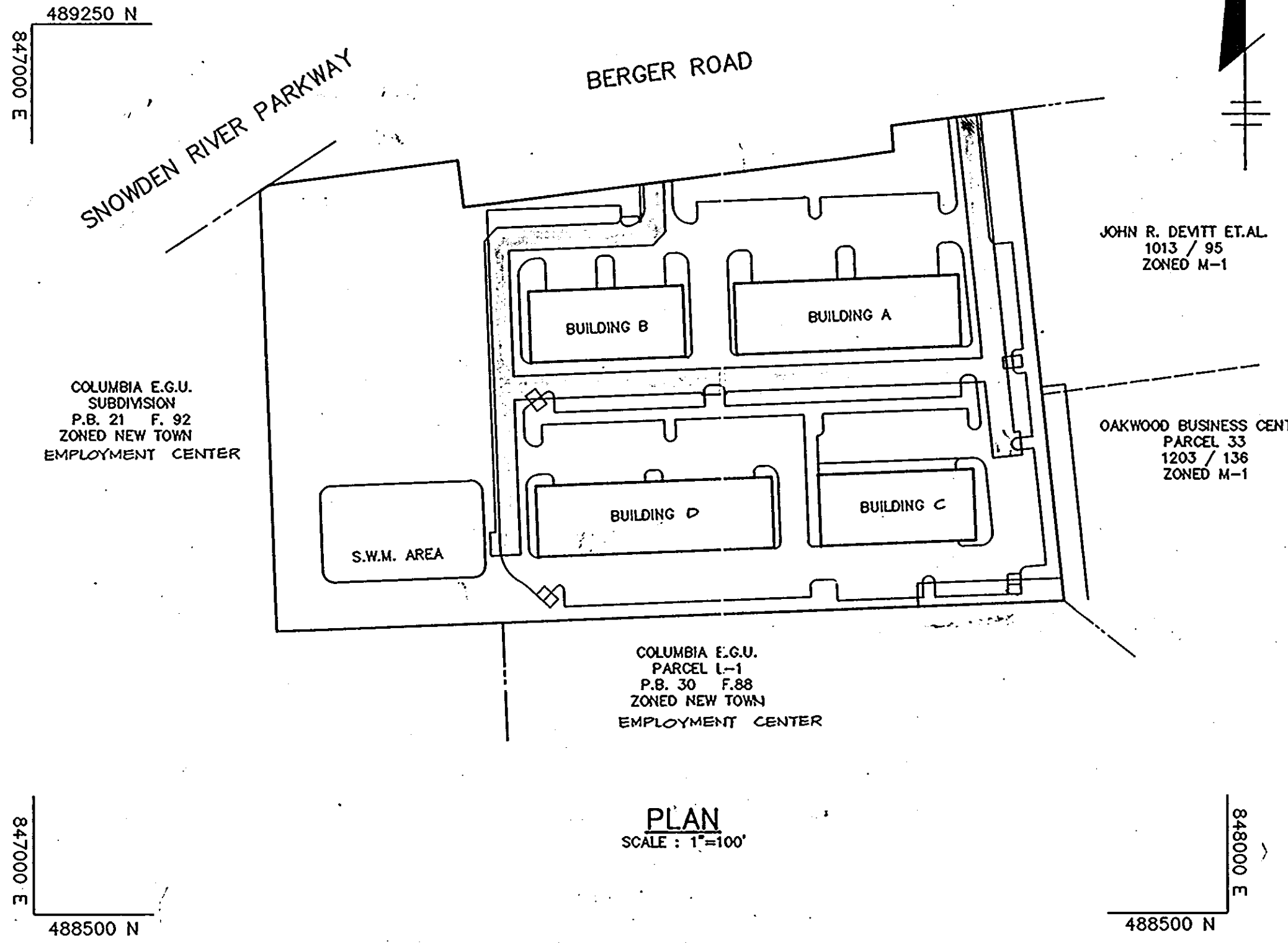
AREA TAX MAP 42 ZONED - M-1 PLAT NO. 1041  
6TH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

TITLE: **TITLE SHEET**

**THE RIEMER GROUP, INC.**  
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
3105 North Ridge Road, Elliott City, Maryland 21043 (301) 461-2690

DATE: 7-8-88  
DESIGNED BY: W.C.W.  
DRAWN BY: D.B.S.  
PROJECT NO: 41003  
DATE: DECEMBER 15, 1987  
SCALE: AS SHOWN  
DRAWING NO. 1 OF 6

APPROVED  
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE: 4-7-88



NOTE: REQUEST FOR WAIVER FROM SECTION 16.119 & 16.120 OF HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WAS GRANTED ON 11-12-87. W.P. 88-55

SUBDIVISION NAME	CONNELL PROPERTY	SECT./AREA	PARCEL A
PLAT # OR L/F	7041	TAX/ZONE MAP	42
WATER CODE	806	ELEC. DIST.	6TH
		CENSUS TR	000108
		SEWER CODE	6202000