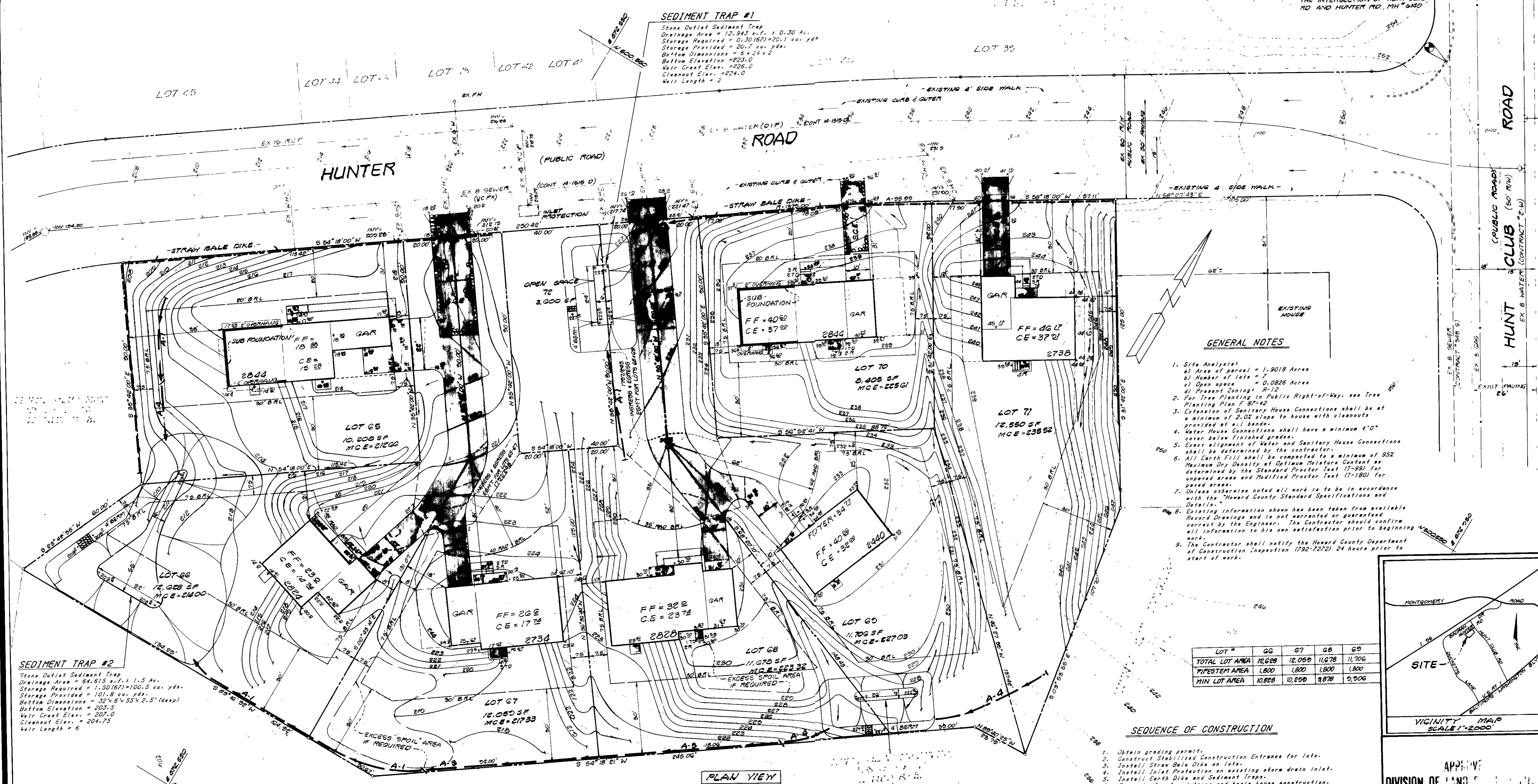


BENCHMARK
MIDDE BM "H-5" ELEV. 253.5
SANITARY SEWER MANHOLE AT
THE INTERSECTION OF HUNTER CLUB
RD AND HUNTER RD. MH "040"



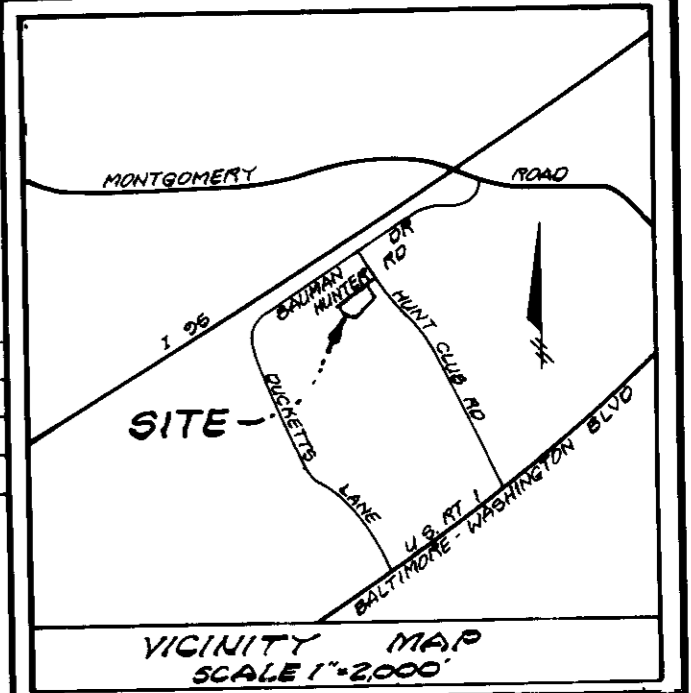
GENERAL NOTES

1. Site Analysis:
 - a) Area of parcel = 1.9018 Acres
 - b) Number of lots = 7
 - c) Open space = 0.0826 Acres
 - d) Present Zoning: R-12
2. For Tree Planting in Public Right-of-Way, see Tree Planting Plan F 07-42
3. Extension of Sanitary House Connections shall be at a minimum of 3.00' slope to house with cleanouts provided at all bands.
4. Water House Connections shall have a minimum 4" cover below finished grades.
5. Exact alignment of Water and Sanitary House Connections shall be determined by the contractor.
6. All Earth Fill shall be compacted to a minimum of 95% Maximum Dry Density at Optimum Moisture Content as determined by the Standard Proctor Test (T-99) for approved areas and Modified Proctor Test (T-180) for paved areas.
7. Unless otherwise noted all work is to be in accordance with the "Howard County Standard Specifications and Details."
8. Existing information shown has been taken from available Record Drawings and is not warranted or guaranteed except by the Engineer. The Contractor should confirm all information to his own satisfaction prior to beginning work.
9. The Contractor shall notify the Howard County Department of Construction Inspection (782-7272) 24 hours prior to start of work.

LOT #	GC	G7	G8	G9
TOTAL LOT AREA	12,628	12,059	11,678	11,706
PIPESTEM AREA	1,800	1,800	1,800	1,800
MIN LOT AREA	10,828	10,259	9,878	9,906

SEQUENCE OF CONSTRUCTION

1. Obtain grading permit.
2. Construct Stabilized Construction Entrance for lots.
3. Install Stray Bale Dike on lots.
4. Install Silt Protection on existing storm drain inlet.
5. Install Earth Dike and Sediment Traps.
6. Excavate for foundations and begin house construction.
7. The contractor shall inspect and provide necessary maintenance on the sediment and erosion control structures shown herein, after each rainfall, and on a daily basis.
8. Fine grade lots and install sidewalks and stabilize with seed and mulch.
9. After all contributing areas have been stabilized vegetatively remove the effective sediment control devices pertaining to those areas after obtaining permission from the Howard Co. Sediment Control Inspector.
10. Immediately restore disturbed areas resulting from the removal of sediment control structures and stabilize with seed and mulch.
11. Throughout construction inspect each sediment control structure after each rainfall and maintain as required to ensure proper functioning. Remove any sediment from roadways as may be required throughout the construction period. Sediment traps shall be cleaned when sediment reaches noted depth.



APPROVE
DIVISION OF LAND
ZONING ADJUTANT
HOWARD COUNTY
DATE 1-29-88

SEDIMENT TRAP #2
Stone Outlet Sediment Trap
Drainage Area = 64,615 s.f. 1.5 Ac.
Storage Required = 1,301(67) = 100.5 cu. yds.
Storage Provided = 101.8 cu. yds.
Bottom Dimensions = 32' 6" x 55' 2" (deep)
Bottom Elevation = 203.5
Weir Crest Elev. = 207.0
Cleanout Elev. = 204.75
Weir Length = 6

ADDRESS CHART

LOT #	STREET	ADDRESS
65	0065 HUNTER ROAD	
66	0066 HUNTER ROAD	
67	0067 HUNTER ROAD	
68	0068 HUNTER ROAD	
69	0069 HUNTER ROAD	
70	0070 HUNTER ROAD	
71	0071 HUNTER ROAD	
72	OPEN SPACE	

PROJECT ENGINEER
JACOB E. EVANS, P.E.
6500 CROVER DRIVE, SUITE A
HANOVER, MARYLAND 21076
PHONE (301) 768-1103

OWNER, DEVELOPER, CONTRACT PURCHASER
PRESIDENTIAL HOMES, INC.
ATTN: BRENDAN MURPHY, PRES
PO BOX 517
COLUMBIA, MARYLAND 21044
PHONE (301) 775-2529

LEGEND
EXISTING CONTOURS
PROPOSED CONTOURS
PROPOSED SPOT ELEVATIONS
EXISTING PROPERTY LINE
PROPOSED PAVING

ENGINEER'S CERTIFICATE
I hereby certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the HOWARD SOIL CONSERVATION DISTRICT.

Signature of Engineer: Jacob E. Evans Date: 1/20/88

DEVELOPER'S CERTIFICATE
I/WE certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that responsible personnel involved in the construction project will have a certificate of attendance at a DEPARTMENT OF NATURAL RESOURCES approved training program for the control of sediment and erosion before beginning the project. I also authorize periodic onsite inspection by the HOWARD SOIL CONSERVATION DISTRICT or their authorized agents, as are deemed necessary.

Signature of Developer: Presidential Homes, Inc. by Brendan Murphy Date: 1/20/88

Reviewed for HOWARD SOIL CONSERVATION DISTRICT and meets technical requirements
James M. Helms 4/20/88 Date
U.S. SOIL CONSERVATION SERVICE

This development is approved for erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
APPROVED:
Stephen L. Huh 4/20/88 Date
DISTRICT HOWARD SOIL CONSERVATION DISTRICT

APPROVED: OFFICE OF PLANNING AND ZONING
[Signature] 1-29-88 Date
PLANNING DIRECTOR
[Signature] 5/4/88 Date
CHIEF, DIVISION OF COMMUNITY PLANNING and LAND DEVELOPMENT

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS.
[Signature] 4-28-88 Date
HEALTH OFFICER

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER AND SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.
[Signature] 4-22-88 Date
DIRECTOR, PUBLIC WORKS

CHIEF, BUREAU OF ENGINEERING
[Signature] 4-22-88 Date
SUBDIVISION NAME: HUNTER CLUB ESTATES (SINGLE FAMILY UNITS)
SECT / AREA: 6-1
LOT / PARCEL #: 65-72 / 515
PLAT / MAP: 47 1800A# 1
SOIL: R 12
TAX / ZONE MAP: 58
ELEC. DIST: 11
CEILING FT: 6012
WATER CODE: 008
SEWER CODE: 8 2162/2

REVISIONS

DATE	DESCRIPTION

DATE 1-20-88
SCALE 1"=20'
DESIGN ADR
DRAWN EJS
CHECK TTD
CHECK JEE

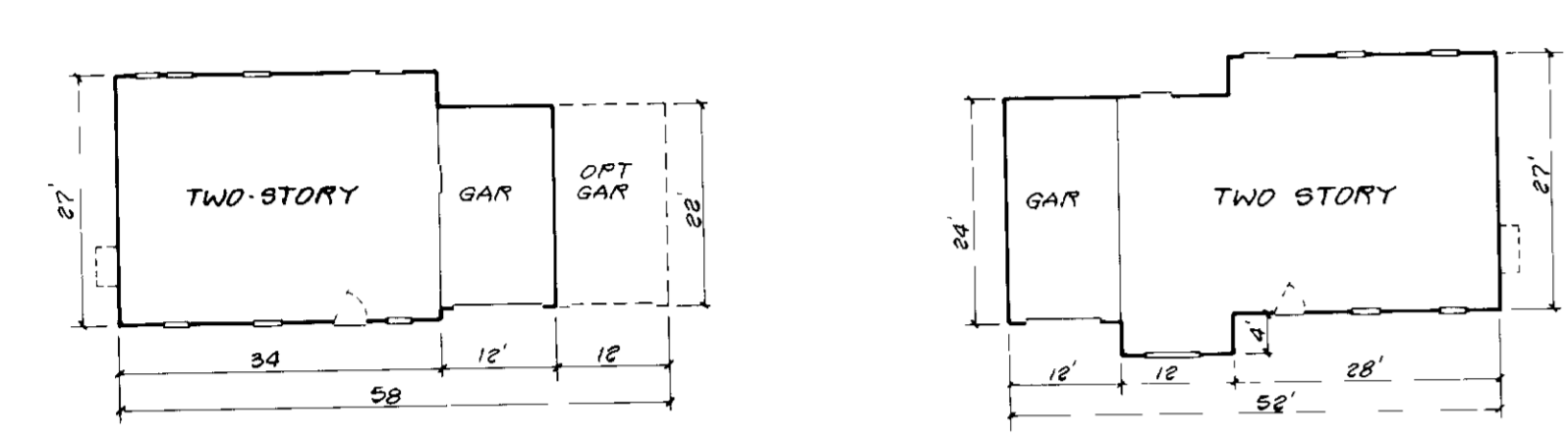
SITE DEVELOPMENT PLAN FOR HUNTER CLUB ESTATES
LOTS 65 THRU 72
SECTION 5 AREA 1
1ST ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

BENGTSON, D-BELL, ELKIN & TITUS, P.C.
CONSULTING ENGINEERS - SURVEYORS - PLANNERS - LANDSCAPE ARCHITECTS
2800 CROVER DRIVE - SUITE A - HANOVER, MARYLAND 21076 (301) 768-1198 (301) 261-2812
OFFICE LOCATIONS:
- PRINCE WILLIAM COUNTY, VIRGINIA
- VIRGINIA BEACH, VIRGINIA
- ANNE ARUNDEL COUNTY, MARYLAND
- MONTGOMERY COUNTY, MARYLAND

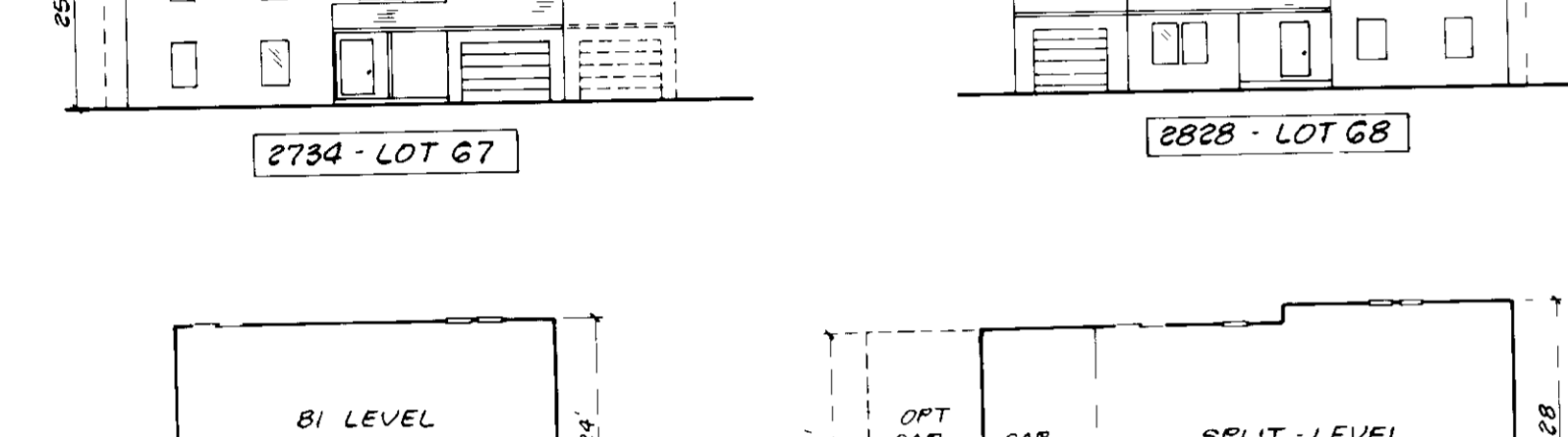
JEB
JOB NO A40763000
WO NO
SHEET 1 OF 2
FILE NO SDP-88-106



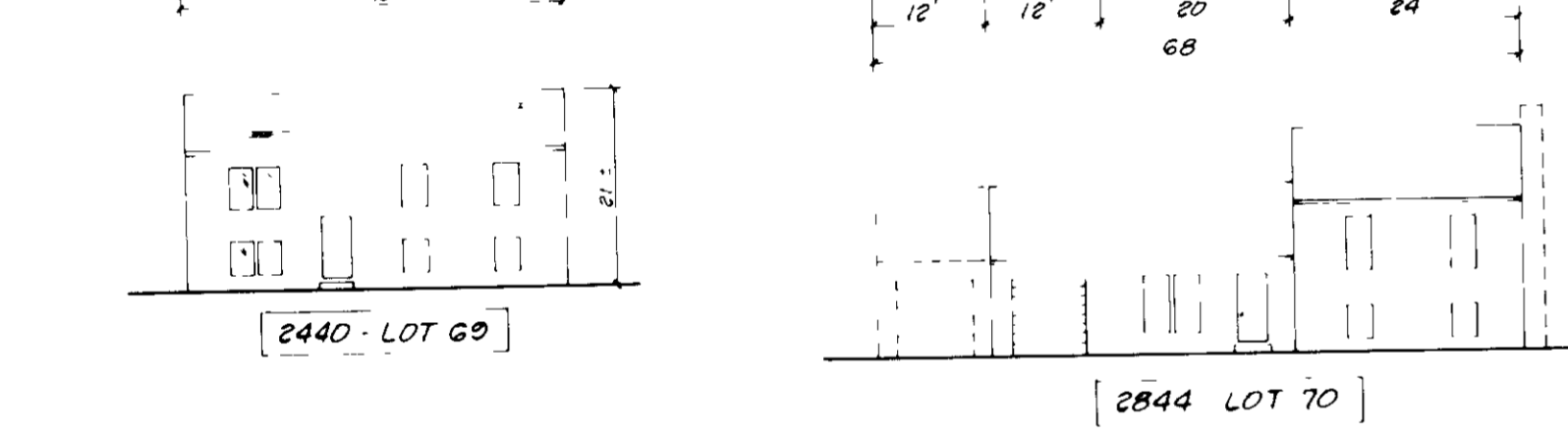
2844 - LOT G5



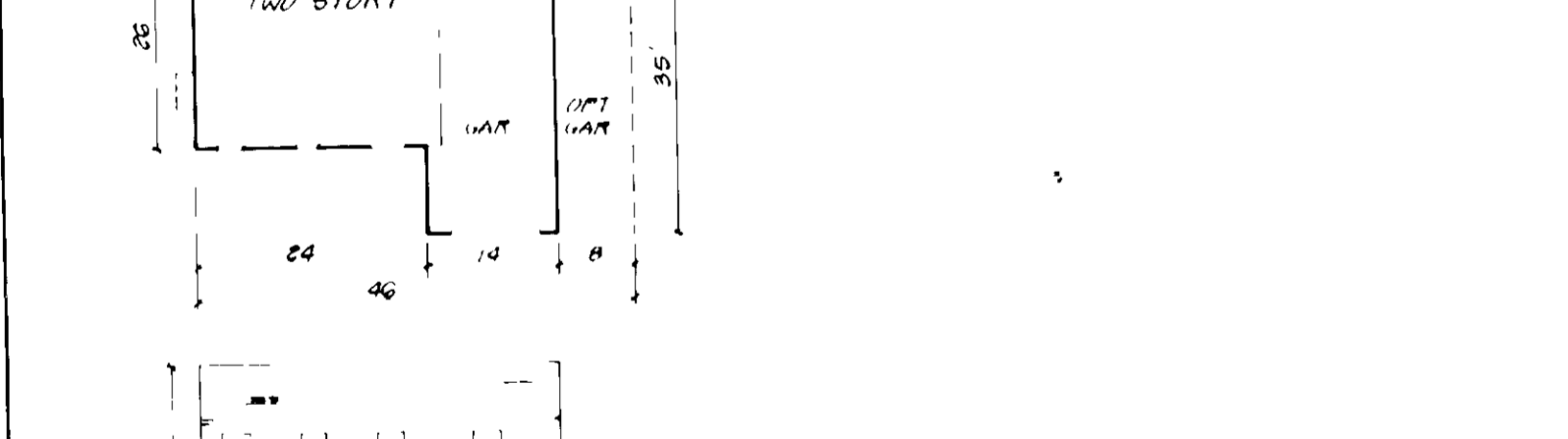
2824 - LOT G6



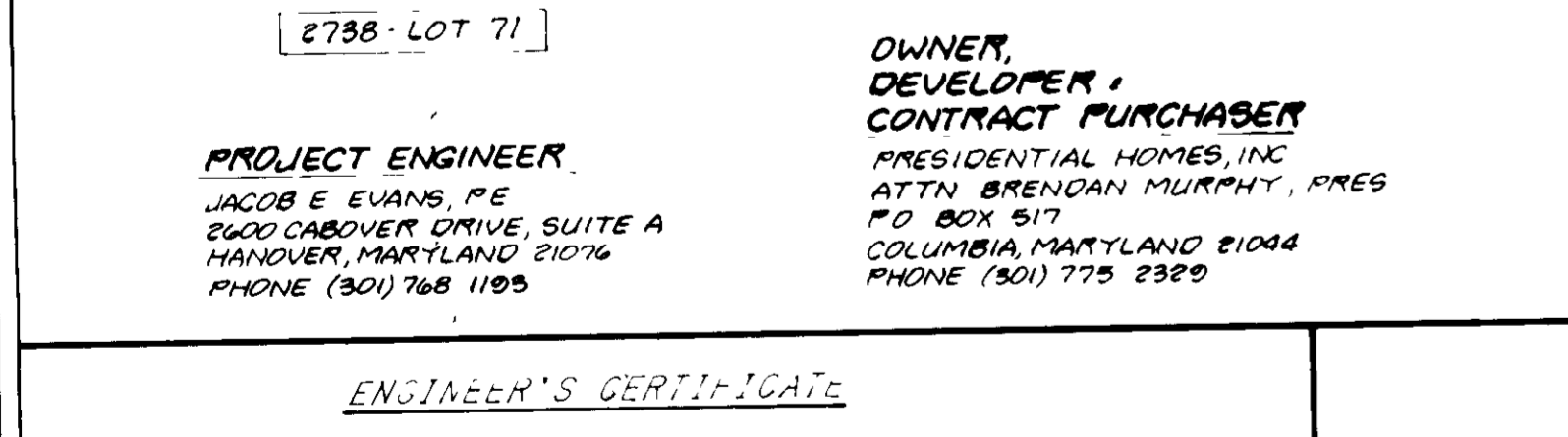
2784 - LOT G7



2828 - LOT G8

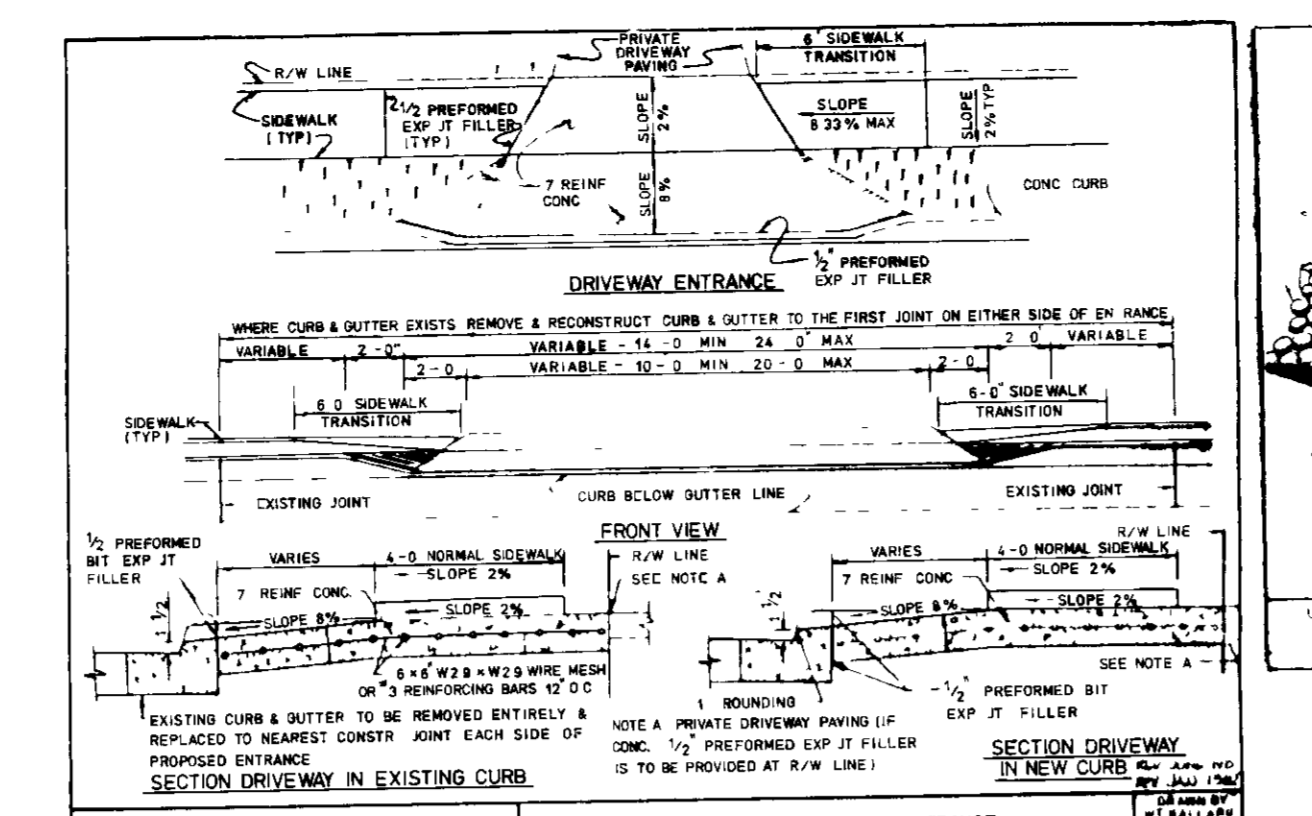


2844 - LOT 10

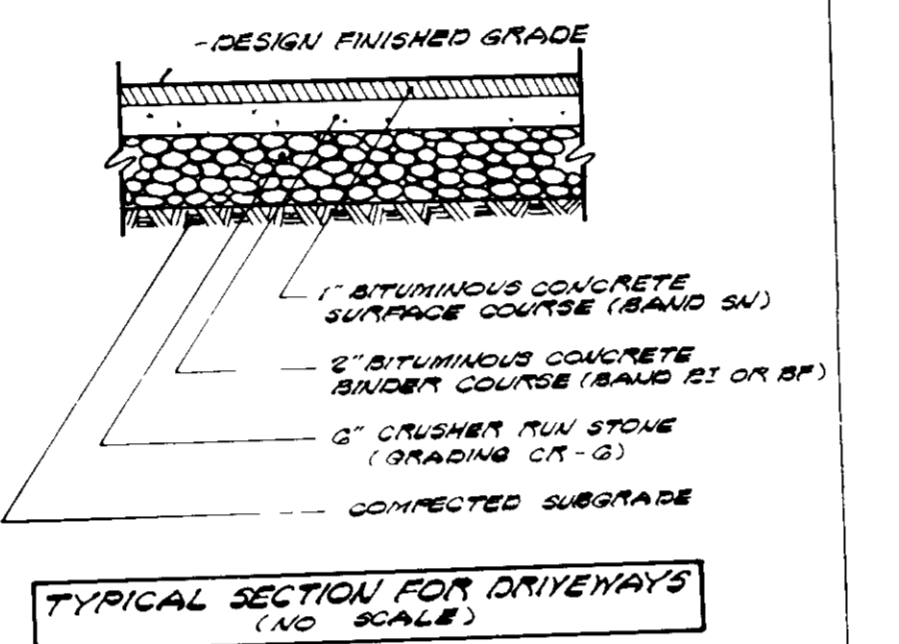


2738 - LOT 71

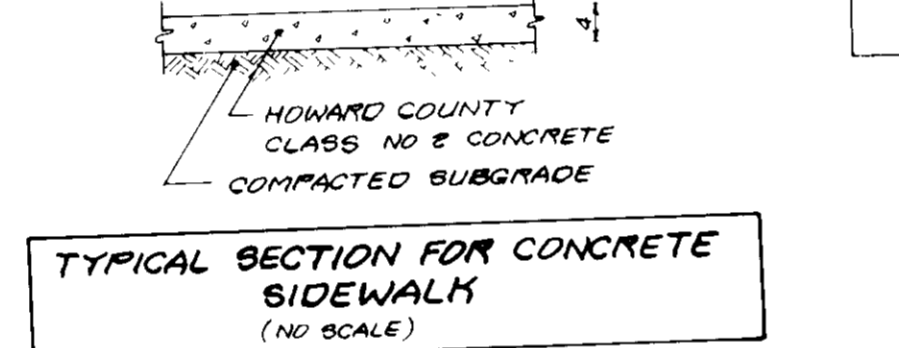
OWNER, DEVELOPER, CONTRACT PURCHASER: JACOB E EVANS, PE, 2600 CABOVER DRIVE, SUITE A HANOVER, MARYLAND 21076



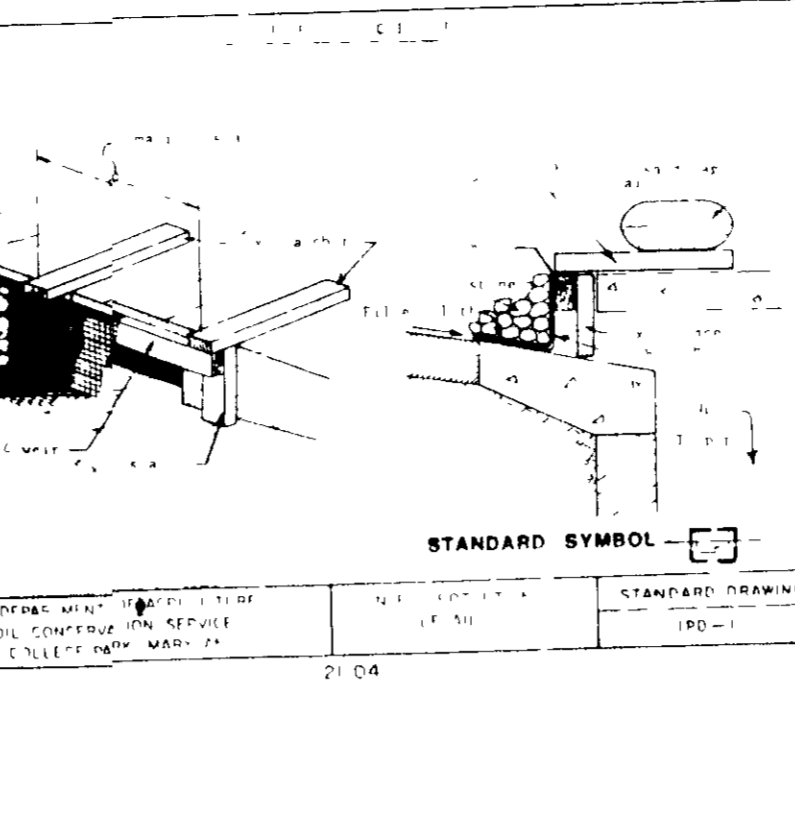
RESIDENTIAL DRIVEWAY ENTRANCE CLOSED SECTION WITH STANDARD 7" COMBINATION CURB AND GUTTER AND SIDEWALK SET BACK FROM CURB



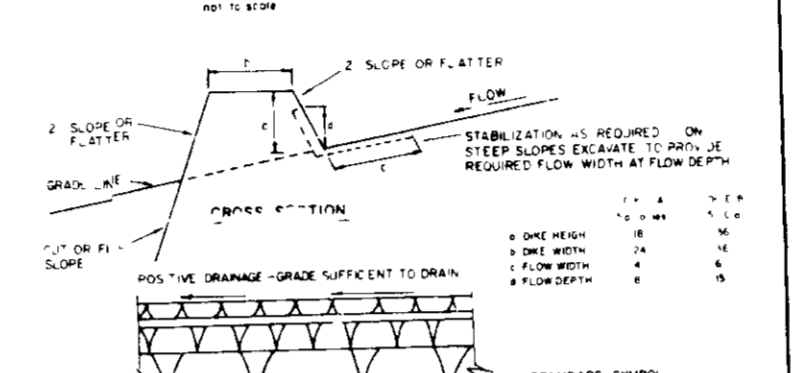
TYPICAL SECTION FOR DRIVEWAYS (NO SCALE)



TYPICAL SECTION FOR CONCRETE SIDEWALK (NO SCALE)

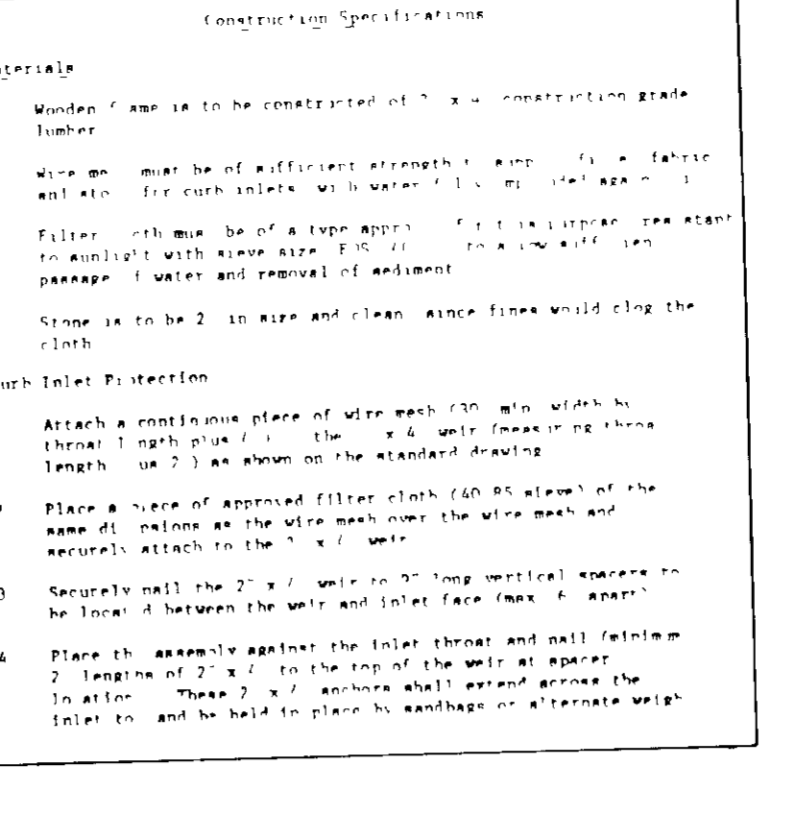


STABILIZED CONSTRUCTION ENTRANCE

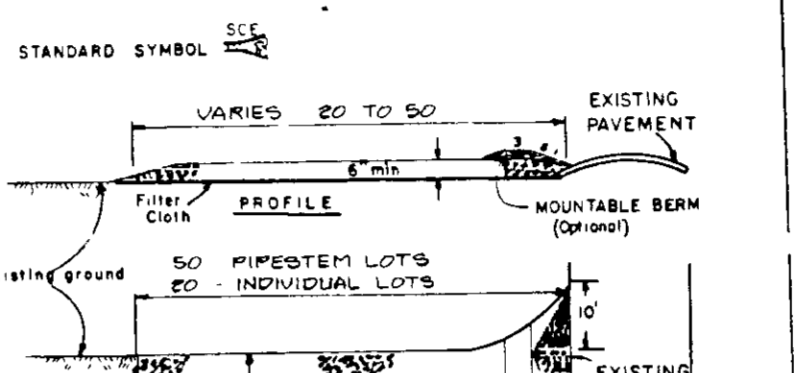


EARTH DIKE

Table with 3 columns: TYPE, SIZE, and COMMENTS. Lists various construction materials and specifications.



STANDARD SYMBOL



STABILIZED CONSTRUCTION ENTRANCE

Table with 3 columns: TYPE, SIZE, and COMMENTS. Lists various construction materials and specifications.

PERMANENT SEEDING NOTES: Apply to graded or cleared area not subject to immediate further disturbance. Seedbed preparation: Loosen upper three-inches of soil by raking, discing or other acceptable means before seeding.

TEMPORARY SEEDING NOTES: Apply to grade or cleared area likely to be redistributed where a short-term vegetative cover is needed. Seedbed preparation: Loosen upper three-inches of soil by raking, discing or other acceptable means before seeding.

SEEDING CONTROL NOTES: A minimum of 24 hours notice must be given to the Howard County Office of Inspections and Permits prior to the start of any construction.

ENGINEER'S CERTIFICATE: I hereby certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions...

DEVELOPER'S CERTIFICATE: I, WE certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control...

APPROVED FOR HOWARD SOIL CONSERVATION DISTRICT and meets technical requirements. U.S. SOIL CONSERVATION SERVICE Date 5/1/88

APPROVED: OFFICE OF PLANNING AND ZONING. PLANNING DIRECTOR Date 5/14/88

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER AND SEWER AND STORM DRAINAGE SYSTEMS AND ROADS. DIRECTOR, PUBLIC WORKS Date 4/22/88

Vertical sidebar containing project details: HUNT CLUB ESTATES, LOTS 27 THRU 34, SECTION 5 AREA 1, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND. Includes scale, date, and revision table.

APPROVED DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION HOWARD COUNTY, MARYLAND DATE 1-29-88

Vertical sidebar at the bottom right containing project details: BENGTON, DEBELL, ELKIN & TITUS, P.C., CONSULTING ENGINEERS - SURVEYORS - PLANNERS - LANDSCAPE ARCHITECTS. Includes job number, sheet number, and file number.