

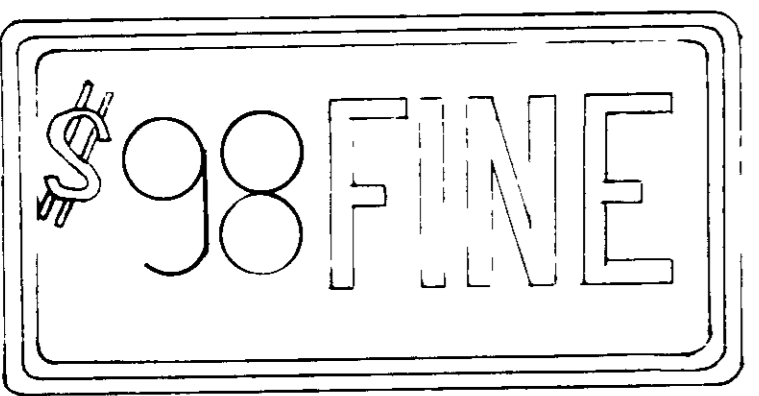
N/F Howard Research Development Lot 1-A

ZONING: NEW TOWN (EMPLOYMENT CENTER COMMERCIAL)  
Parcel B-3.  
N/F GFS Realty, Inc.

PLAN APPROVAL STAMP

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT  
 COUNTY HEALTH OFFICER: [Signature] DATE: 2/1/88  
 APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING  
 DIRECTOR: [Signature] DATE: 2-10-88  
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIRECTOR: [Signature] DATE: 2/8/88  
 CHIEF BUREAU OF ENGINEERING: [Signature] DATE: 1/28/88

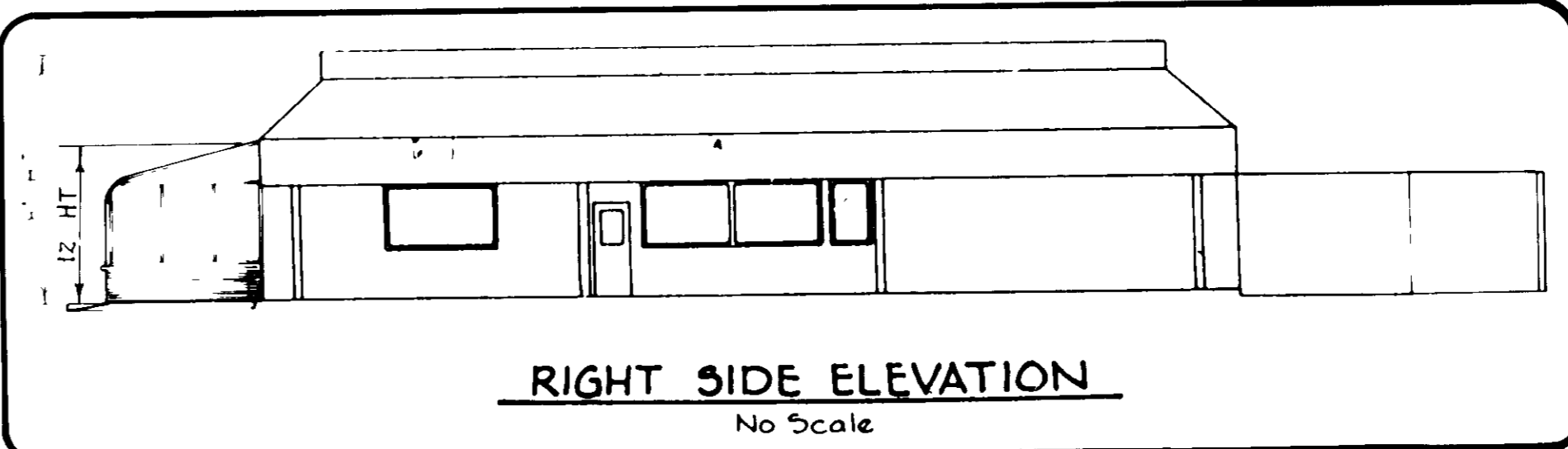
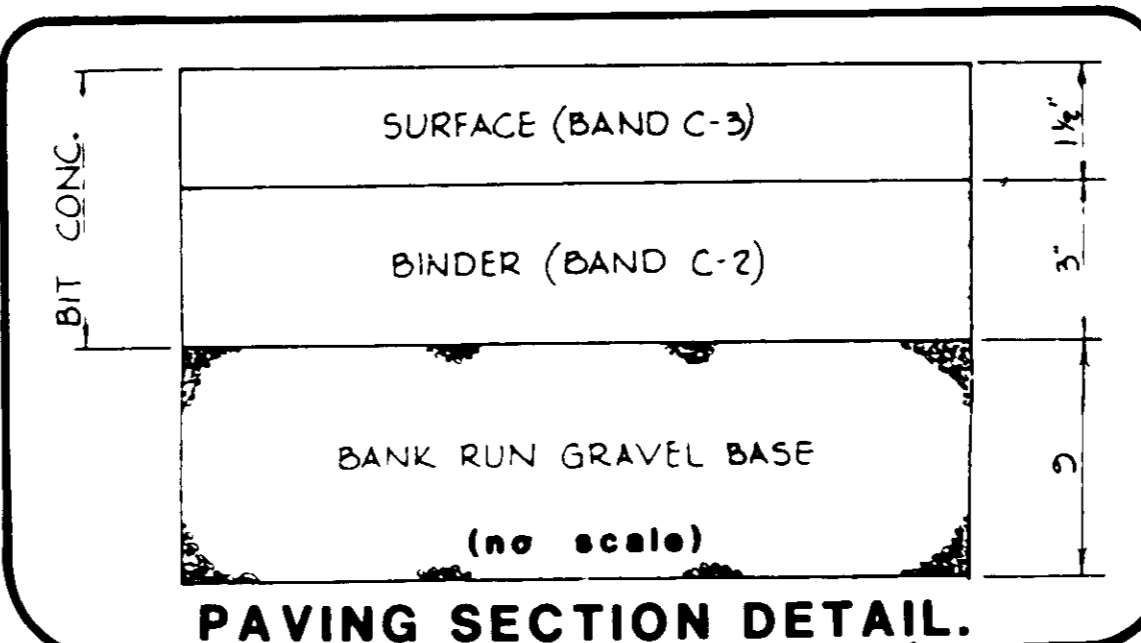
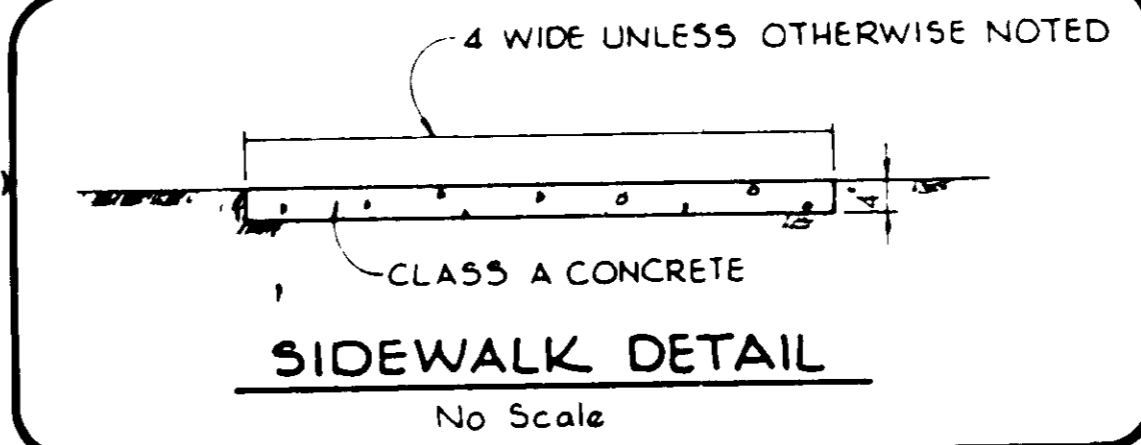
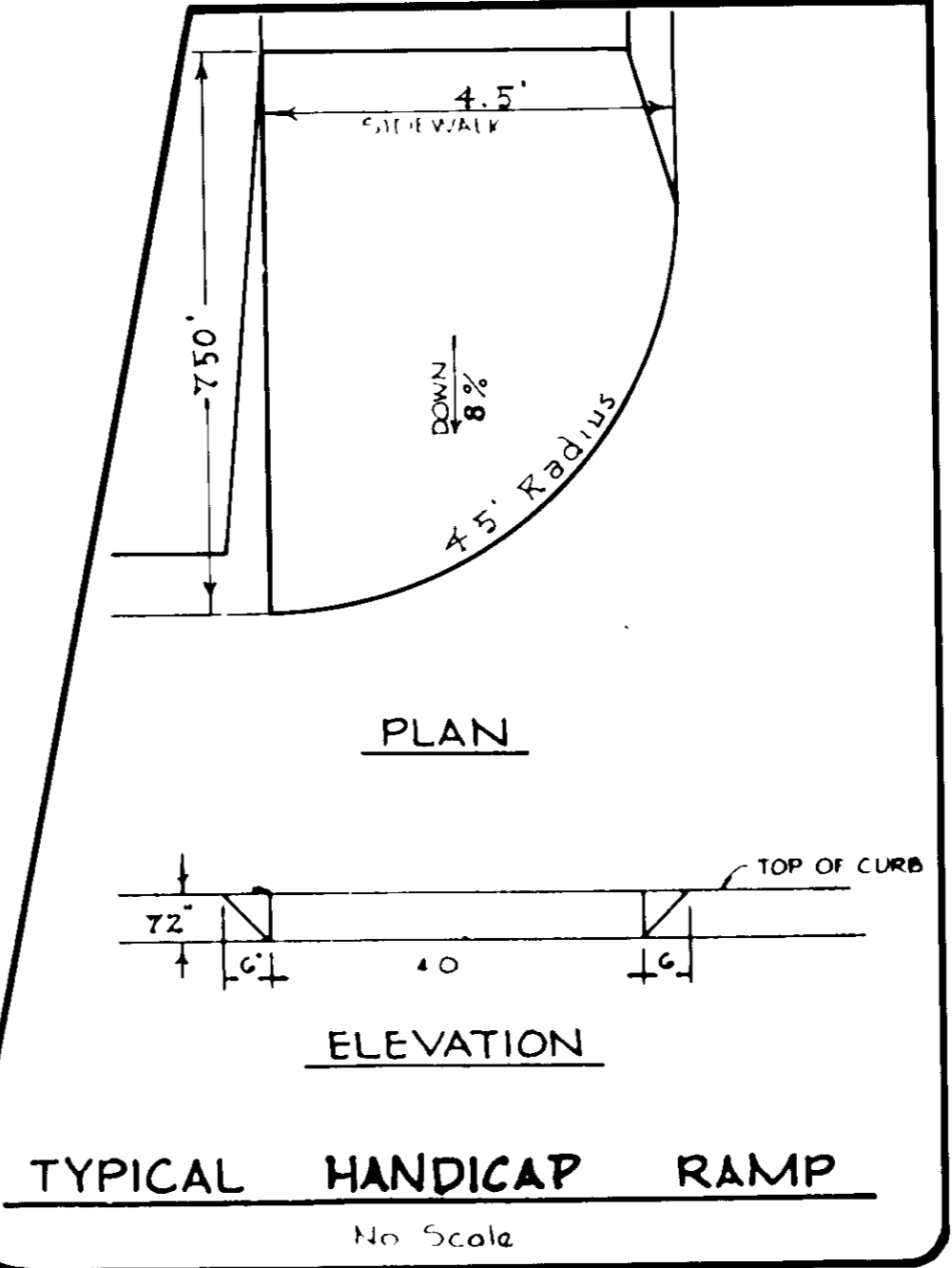
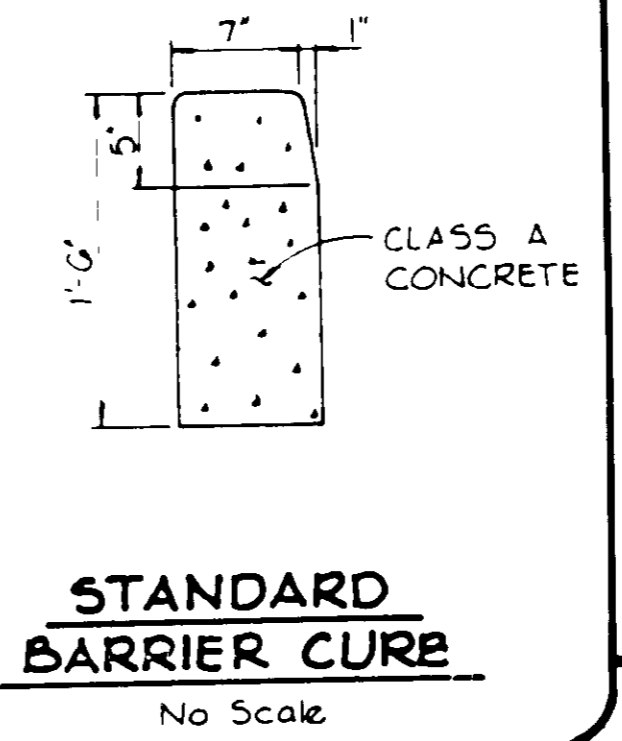
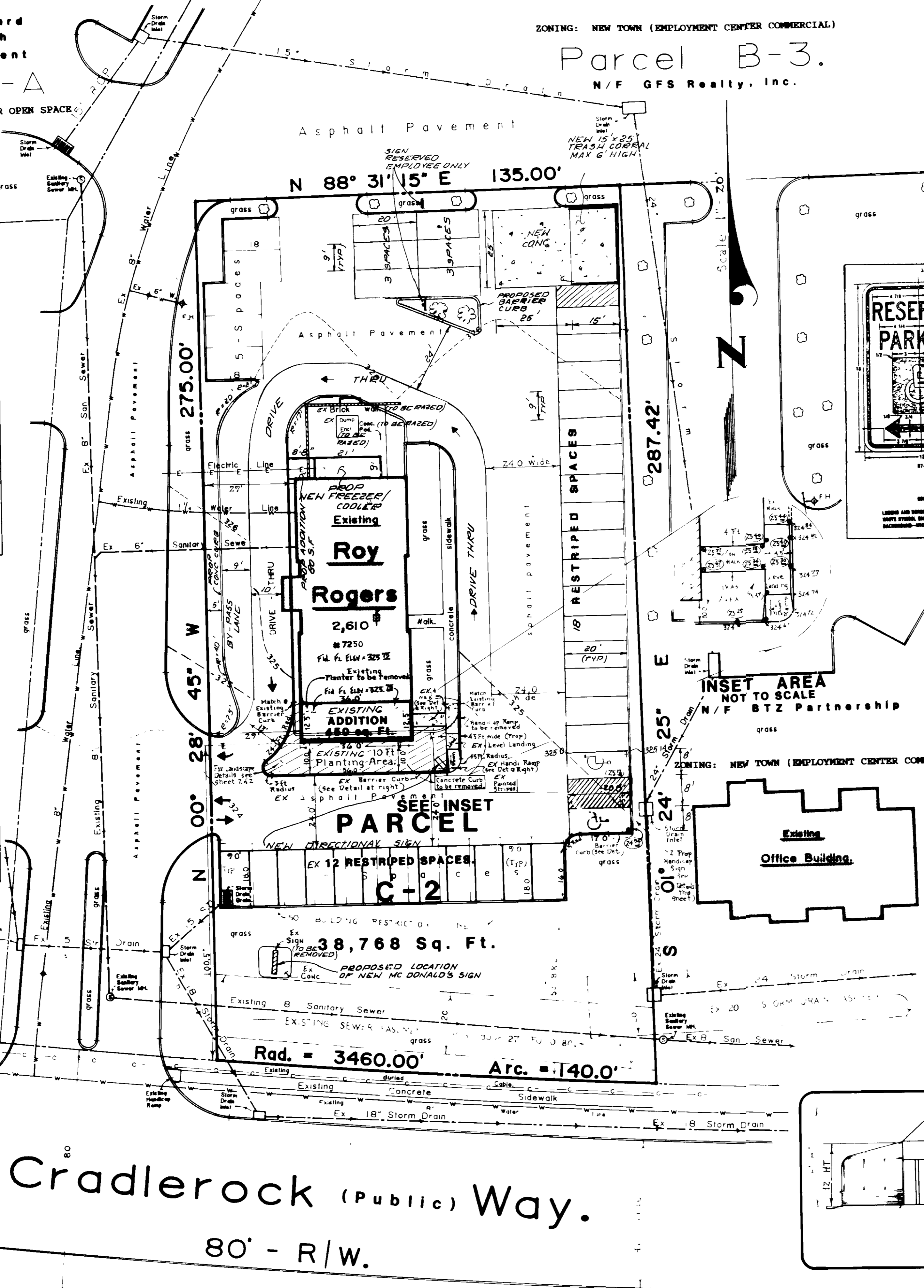
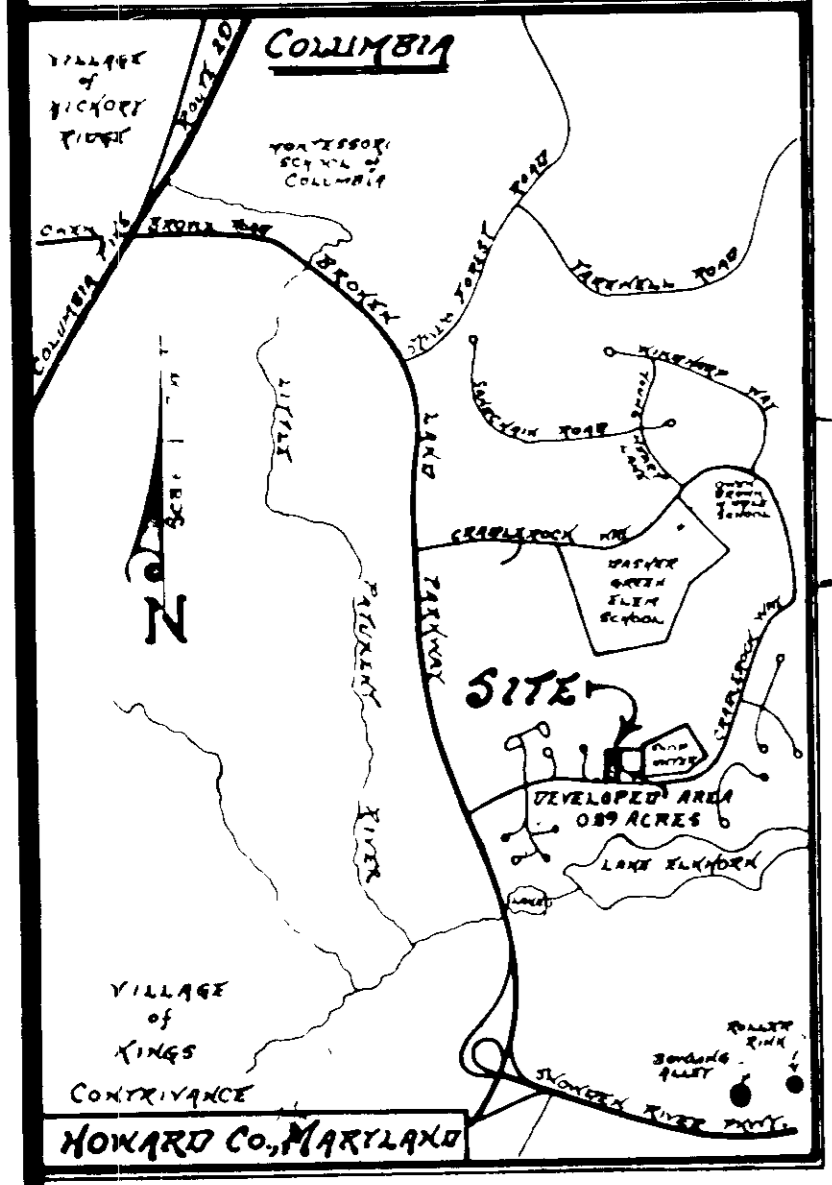
DEPARTMENT OF PUBLIC WORKS OF HOWARD COUNTY  
 SPECIFICATION  
 Handicapped Parking Space Violation Fine Notation  
 Pursuant to Howard County Council Bill 58-84 which established a Fifty-Dollar (\$50.00) fine for violating provisions for Handicapped Parking and provided for posting notifications of that fine, this specification describes the sign authorized for posting and the associated mounting details.  
 1. Sign (1/2 size)  
 Sign to utilize an aluminum black 6" x 12" x 0.080 inch thick with two (2) single post mounting holes.  
 The text and border shall be standard white to match that on 87-8 and the background shall be reflective grade. Text shall be in 3" characters.  
 II Mounting  
 Above sign shall be mounted directly below the standard 87-8 Reserved Parking for Handicapped sign. The bottom edge shall be no less than 7 feet above ground. If the sign is placed against a building, structure, or other junction where vehicle or pedestrian traffic is not obstructed the bottom edge of sign shall be at least 4 feet but not more than 12 feet above ground. Because this is an addition to existing sign installations, some adjustment in height will be necessary.



Parcel A-2.  
N/F Mobil Oil Corp.  
(Honeywell Center)  
Zoning: New Town (Employment Center Commercial)

**SITE ANALYSIS**

- Area of Parcel C-2: 0.89 ac. or 38,768 sq. ft.
- Present Building: New Town (N/T Employment Center Commercial "PDP-150-A") 30 sq. ft.
- Area of Proposed Building Addition: 30 sq. ft.
- Area of Building Coverage: Existing Coverage: 3,660 sq. ft. = 9.4%  
Proposed Coverage: 3,140 sq. ft. = 8.1%
- Maximum Number of Employees: 18 Employees + 2 = 5 spaces
- Number of Patrons (seats): 87 Patrons + 3 = 29 spaces
- Parking Spaces: Provided: 32  
Standard: 32  
Minimum: 32  
Total: 34
- Area of Open Space (Green Area): Existing: 11,603 sq. ft. = 30.0%  
Proposed: 10,793 sq. ft. = 27.9%



- NOTES**
- Topographic and boundary information was compiled from approved Site Development Plan SDP-79-54C, as prepared by others.
  - All construction shall be in accordance with Howard County Road Construction Code and Standards and Specifications.
  - Parking lot is privately owned and maintained.
  - Adequate facilities shall be provided for on-site storage of all refuse and debris generated during construction.
  - Refer to the architectural plans for details regarding the addition and landscaping.
  - Utility information shown hereon was obtained from available records and may not be reliable. All utilities are to be located by the contractor prior to constructing project improvements. The Engineer reserves the right to adjust the location of new utilities should there be a conflict with presented information.
  - The contractor shall hand dig test pits at all utility crossings and connections to determine the exact location and depth well in advance of construction. The contractor shall connect respective intersecting utilities as required for the proper function of that utility.
  - For marking locations of existing utilities, notify "Miss Utility" at 1-800-381-7111, 48-hours prior to any excavation or construction.
  - Excavation and/or additions of utilities found during construction shall be the sole responsibility of any contractor engaged in excavation at this site. Marriott Corporation and A. MORTON THOMAS and Associates, Inc. shall be notified immediately of any and all utility information, conditions and additions found by any contractor.
  - Due to the proximity of live underground and overhead utilities, A. MORTON THOMAS and Associates, Inc. is not responsible for any damage or injury sustained during construction by any persons, trucks, trailers or equipment used on or adjacent to the site.
  - The contractor shall take proper precautions so as not to damage existing adjacent buildings and structures. The contractor shall restore disturbed areas to their original condition or better unless otherwise noted.
  - Where new concrete paving is to be placed against existing construction, such as buildings, paving, retaining, stairs, manholes and similar improvements, a 1" expansion joint shall be provided.
  - Sewer cut pavement where existing pavement is to be removed (preferably at joints). All new cuts shall be straight even cuts; jagged edges shall not be permitted.
  - The contractor shall coordinate utility service with the owner prior to any disruption of that service.
  - There is no utility work proposed by this plan.
  - Height of addition: 13 feet.
  - Maximum building coverage permitted: none required.
  - Parcel C-3 is recorded in Plat 4002.
  - Public Water & Sewer is utilized.
  - All building setback restrictions to be complied with those set forth in Final Development Plan, Phase 150-A, recorded in Plat Book 32, Folios 138-139.
  - The base will be primed in accordance with the Howard County Road Construction Code and Standard Specifications.
  - A tack coat is required in accordance with the Howard County Road Construction Code and Standard Specifications.
  - No Title Report furnished, easements shown hereon are taken from record Plat No. 4002.

**SUBDIVISION NAME**  
 VILLAGE OF OWEN BROWN - ROY ROGERS  
 SECT./AREA: 1/3  
 LOT/PARCEL: C-2  
 PLAN 1 ON LOT BLOCK 41 TOWNSHIP 36 ELEC. SURV. COMMISSION 4002  
 WATER CODE: E-11  
 SEWER CODE: 530800

**ADDRESS CHART**

PARCEL NUMBER	STREET ADDRESS
C-2	7250 CRADLEROCK WAY

**LEGEND**

Existing elevation	..... 324.24
Proposed elevation	..... 324.24
Existing contour	..... 247
Proposed contour	..... 324
Existing sanitary sewer	.....
Proposed Concrete Sidewalk	.....
Existing water line	.....
Proposed Paving Area	.....
Proposed Concrete Curb	.....

**PLAT REFERENCE:**  
 Record Plat No. 4002.  
**AREA OF PARCEL:**  
 0.89 Ac. or 38,768 Sq. Ft.  
**OWNER / DEVELOPER:**  
 N/F MARRIOTT CORPORATION  
 One Marriott Drive  
 Washington D.C. 20058  
 Phone No. 897-7133

Previous Approval No. SDP-79-54c  
 APPROVAL NO. SDP - 88-87c

**SITE DEVELOPMENT PLAN and DETAILS**  
**VILLAGE OF OWEN BROWN**  
 Section 1, Area 3, Parcel C-2  
 8th Election District  
 Howard County, Maryland

SCALE	CONTOUR INTERVAL	A.M.T. FILE NO.
1 in. = 20 Ft.	1 - Foot	H-87-10024
DATE	TAX MAP NO.	SHEET
September, 1987	36	1 of 2
	PARCEL 435	

A. MORTON THOMAS and ASSOCIATES, INC.  
 CIVIL ENGINEERS - LAND PLANNERS - LAND SURVEYORS.  
 12750 TWINBROOK PARKWAY - ROCKVILLE, MARYLAND 20852 - (301) 881-2545

DATE	REVISION	BY	APPR.
7/11/1987	ADDED BY-PASS LINE	CHB	
5/08/1987	ADDED ADDITION TO ROY ROGERS, WHICH WILL BE CONVERTED TO MCDONALD'S	CHB	
11/13/1988	ADDED REVISIONS PER H & O COMMENTS. RE: 15 FT. LANDSCAPE STRIP INSTEAD OF 4 FT. WIDE	CHB	
11/14/1987	REVISED AREA CHART, ADDED SEWER AREA TO PLAN, RAMP AND ELEVATION, PER HOWARD COUNTY SPECIFICATIONS	CHB	

SDP-88-87

N/F Howard Research Development

Lot 1-A

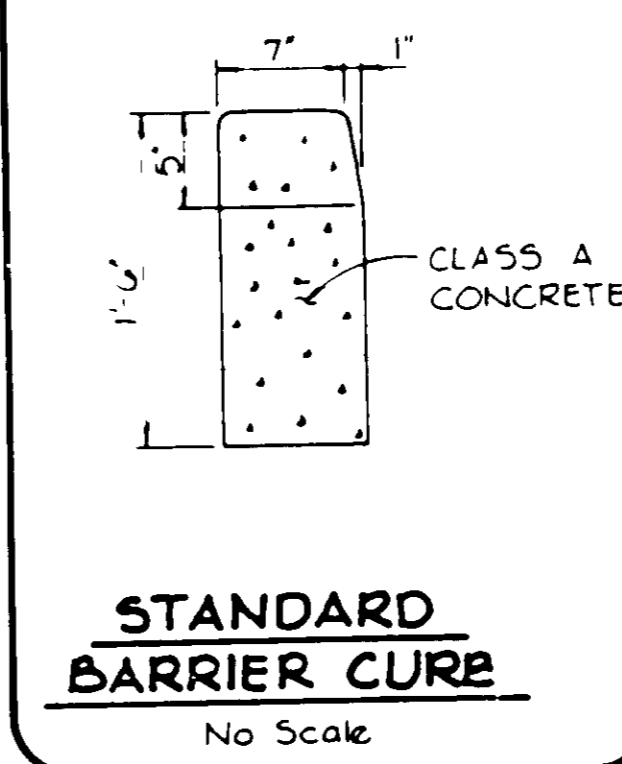
ZONING: VILLAGE CENTER OPEN SPACE

ZONING: NEW TOWN (EMPLOYMENT CENTER COMMERCIAL)

Parcel B-3.

N/F GFS Realty, Inc.

PLAN APPROVAL STAMP



APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT  
4/1/88  
DIRECTOR

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & DESIGN  
2-10-88  
DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE  
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
12/88  
DATE

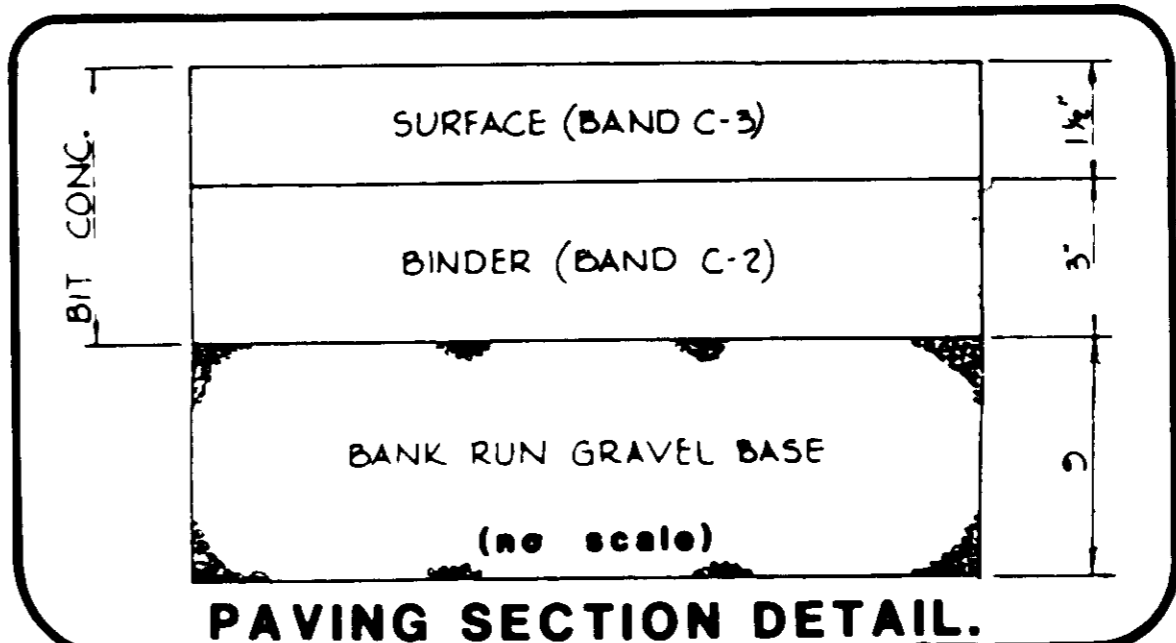
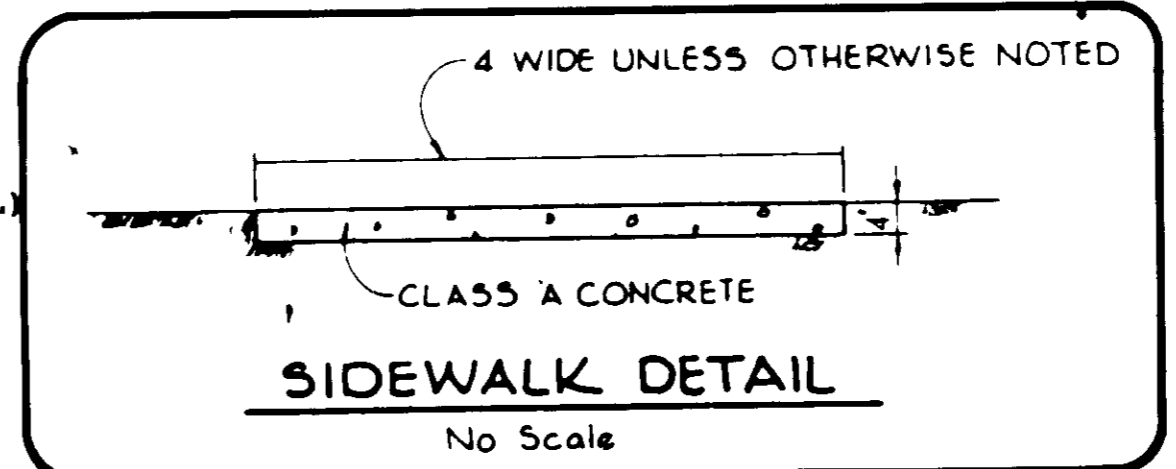
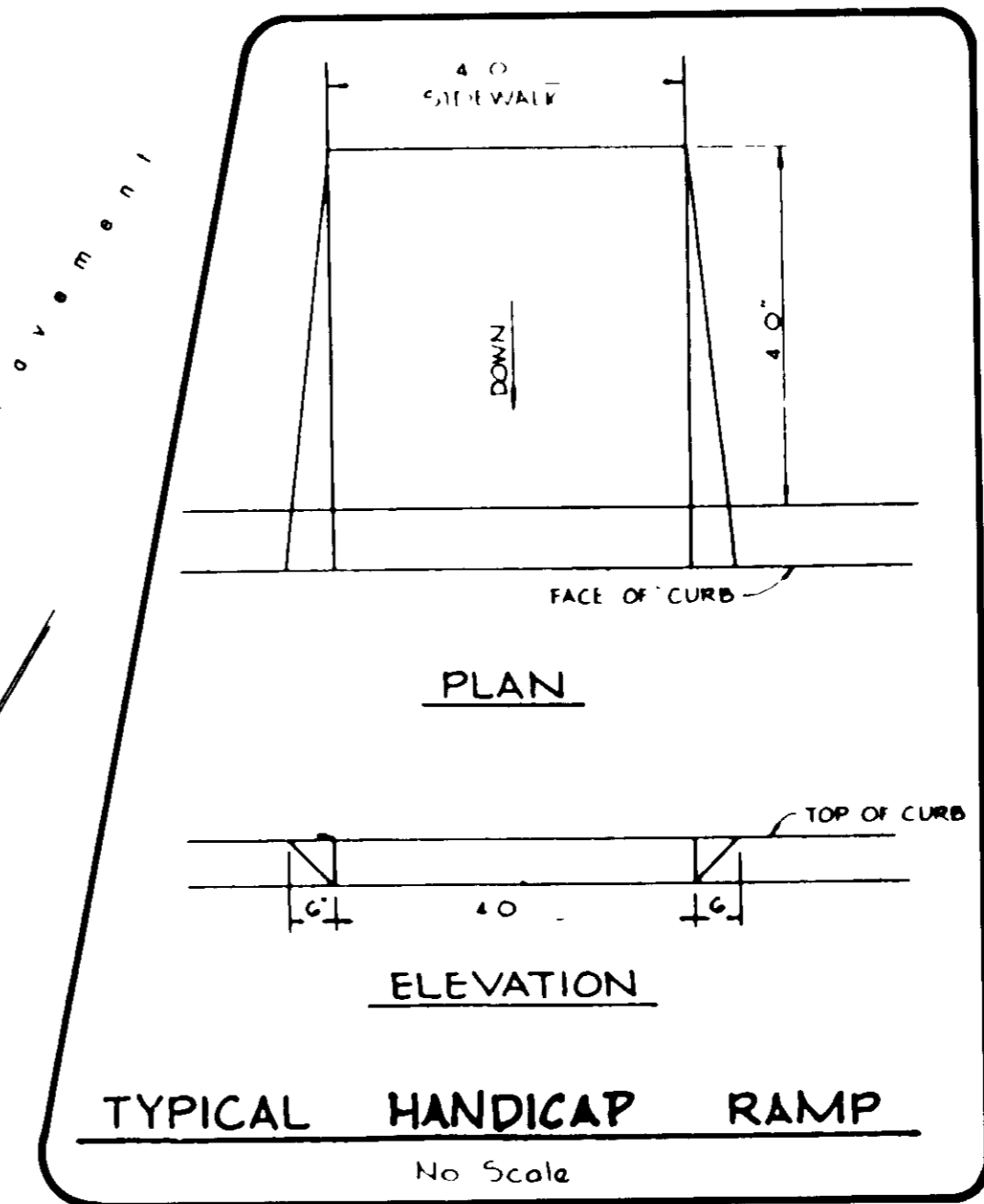
CHIEF BUREAU OF ENGINEERING

PLAT NUMBER	4002	LOT	21	BLK	COM	SEC	1	TRAC	1/3	BLK	C-2
WATER CODE	E-11	SEWER CODE	530800								

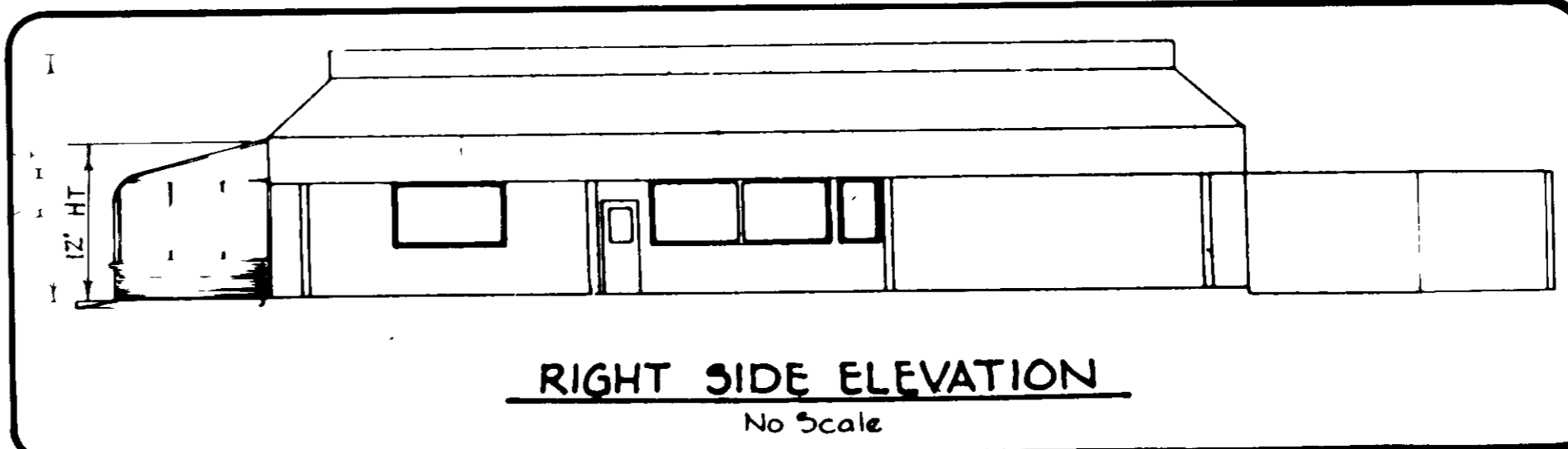
ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
C-2	7250 CRADLEROCK WAY.

NOTES

- Topographic and boundary information was compiled from approved Site Development Plan SDP-79-54C, as prepared by others.
- All construction shall be in accordance with Howard County Road Construction Code and Standards and Specifications.
- Parking lot to be privately owned and maintained.
- Adequate facilities shall be provided for on-site storage of all refuse and debris generated during construction.
- Refer to the architectural plans for details regarding the addition and landscaping.
- Utility information shown herein was obtained from available records and may not be reliable. All utilities are to be located by the contractor prior to construction project commencement. The Engineer reserves the right to adjust the location of new utilities should there be a conflict with proposed information.
- The contractor shall hand dig test pits at all utility crossings and connections to determine the exact location and depth well in advance of construction. The contractor shall connect respective intersecting utilities as required for the proper function of that utility.
- For marking locations of existing utilities, notify "Miss Utility" at 1-800-887-7777, 48-hours prior to any excavation or construction.
- Outlines and/or additions of utilities found during construction shall be the sole responsibility of any contractor engaged in excavation at this site. Morton Thomas and Associates, Inc. and Associates, Inc. shall be notified immediately of any and all utility information, existence and addition found by any contractor.
- Due to the proximity of live underground and overhead utilities, A. MORTON THOMAS and Associates, Inc. is not responsible for any damage or injury sustained during construction by any persons, trucks, trailers or equipment used on or adjacent to the site.
- The contractor shall take proper precautions so as not to damage existing adjacent facilities and structures. The contractor shall restore disturbed areas to their original condition or better unless otherwise noted.
- Where new concrete paving is to be placed against existing construction, such as buildings, parking, driveways, curbs, sidewalks and similar improvements, a 1" expansion joint shall be provided.
- See out pavement where existing pavement is to be removed (preferably at joints). All new work shall be straight even cuts; jagged edges shall not be permitted.
- The contractor shall coordinate utility service with the owner prior to any disruption of that service.
- There is no utility work proposed by this plan.
- Height of addition 11 feet.
- Maximum building coverage permitted none required.
- Parcel C-1 is recorded in Plat 4002.
- Public Water & Sewer is utilized.
- All building setbacks shall be in accordance with those set forth in the Site Development Plan, Plan SDP-79-54, recorded in Plat Book 20, Pages 128-129.
- The laws will be printed in accordance with the Howard County Road Construction Code and Standard Specifications.
- A full set is required in accordance with the Howard County Road Construction Code and Standard Specifications.
- No Title Report furnished, easements shown herein are taken from record Plat No. 4002.



PROPOSED LANDSCAPE AREA PLANTING SCHEDULE					
Symbol	Botanical Name	Common Name	Quantity	Size	Remarks
⊕	Ilex crenata	Japanese Holly	4	1 1/2' x 3'	Heavy
⊕	Pinus Mugo Mughus	Mugo Pine	10	2' - 2 1/2'	B & B
⊕	Pine Bark Mulch				
⊕	Seasonal Planting				



PLAT REFERENCE:  
Record Plat No. 4002.  
AREA OF PARCEL  
0.89 Ac. or 38,768 Sq. Ft.

OWNER / DEVELOPER  
N/F MARRIOTT CORPORATION  
One Marriott Drive  
Washington D.C. 20058  
Phone No. 897-7133

FOR LANDSCAPING PURPOSES ONLY

FOR SITE PLAN  
SEE SHEET 1 OF 2

~~SITE DEVELOPMENT PLAN and DETAILS~~

VILLAGE OF OWEN BROWN  
Section 1, Area 3, Parcel C-2  
Howard County, Maryland

SCALE	CONTOUR INTERVAL	A.M.T. FILE NO.
1 in. = 20 Ft.	1 - Foot	H-87-10024
DATE	TAX MAP No.	SHEET
September, 1987	36	2 of 2
PARCEL	415	

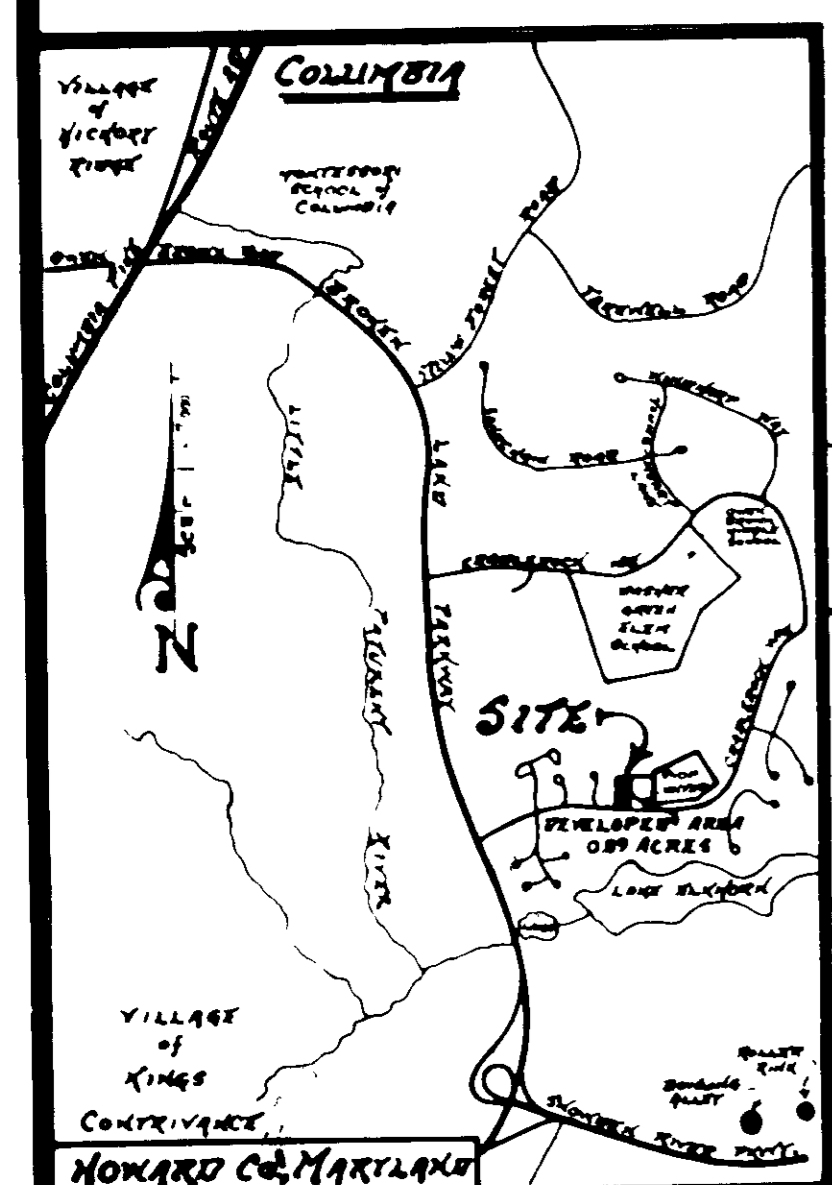
1 in. = 20 ft.

ZONING: NEW TOWN (EMPLOYMENT CENTER COMMERCIAL)

Parcel A-2.  
N/F Mobil Oil Corp.  
(Honeywell Center)

SITE ANALYSIS

a) Area of Parcel C-2:	0.89 ac. or 38,768 sq. ft.
b) Present Building: New Town (New Employment Center Commercial "79P-150-A")	
c) Area of Proposed Building Addition:	80 sq. ft.
d) Area of Building Coverage:	3060 sq. ft. = 7.9%
e) Building Coverage:	3140 sq. ft. = 8.1%
f) Maximum Number of Employees:	10 Employees + 2 = 5 spaces
g) Number of Access (doors):	87 Access + 3 = 29 spaces
h) Parking Spaces:	Standard: 32 Minimum: 34 Total: 41
i) Area of Open Space (Green Area):	Building: 11,603 sq. ft. = 30% Total: 10,793 sq. ft. = 27.5%



Cradlerock (Public) Way.  
80' - R/W.

A. MORTON THOMAS and ASSOCIATES, INC.  
CIVIL ENGINEERS - LAND PLANNERS - LAND SURVEYORS.  
12750 TWINBROOK PARKWAY - ROCKVILLE, MARYLAND 20852 - (301) 881-2545

DATE	REVISION	BY	APP'R.
7/1/87	ADDED BY-PASS LANE	CHS	
5/28/87	ADDED ADDITION TO ROY ROGERS, WHICH WILL BE CONVERTED TO MCDONALD'S	CHS	
NOV 12, 1987	REVISED LANDSCAPE AREA FROM 4' TO 10' WIDE. ADDED LANDSCAPE SCHEDULE PER H&D COMMENTS	JW	MW

FOR LANDSCAPING PURPOSES ONLY

FOR SITE PLAN  
SEE SHEET 1 OF 2

~~SITE DEVELOPMENT PLAN and DETAILS~~

VILLAGE OF OWEN BROWN  
Section 1, Area 3, Parcel C-2  
Howard County, Maryland

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PARCEL	415	

SDP-88-87c