

VICINITY MAP
SCALE 1"=2000'

HAZARDOUS MATERIAL NOTE

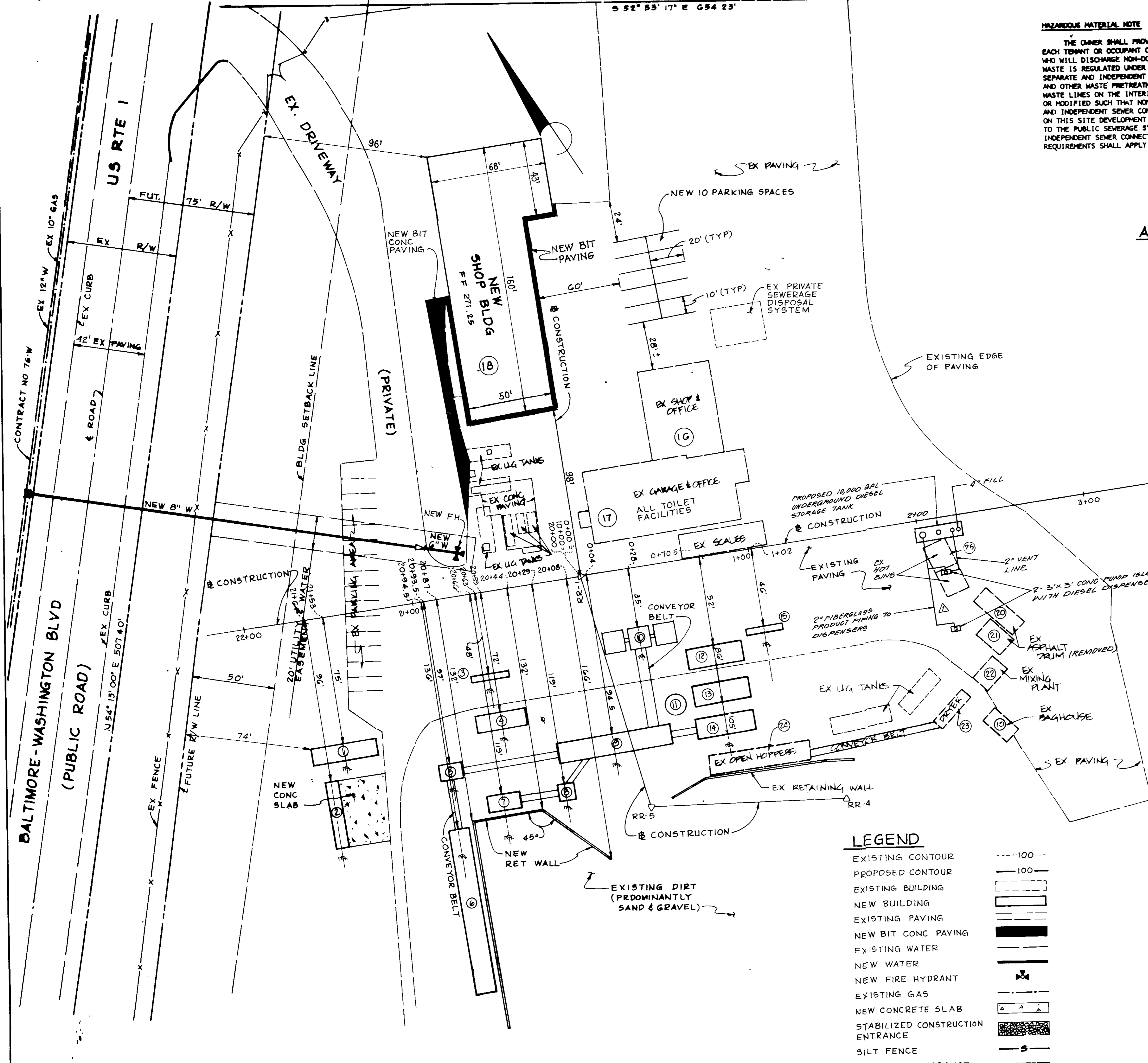
THE OWNER SHALL PROVIDE A SEPARATE AND INDEPENDENT SEWER CONNECTION FOR EACH TENANT OR OCCUPANT OF ANY BUILDING. BEGIN ON THIS SITE DEVELOPMENT PLAN, WHO WILL DISCHARGE NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM IF THIS WASTE IS REGULATED UNDER SECTION 18.122A OF THE HOWARD COUNTY CODE. EACH SEPARATE AND INDEPENDENT SEWER CONNECTION SHALL INCLUDE A STANDARD MANHOLE AND OTHER WASTE PRETREATMENT DEVICES AS REQUIRED AND APPROVED BY HOWARD COUNTY. WASTE LINES ON THE INTERIOR OF THE BUILDING SHALL BE DESIGNED, CONSTRUCTED OR MODIFIED SUCH THAT NON-DOMESTIC WASTE WILL BE DISCHARGED TO THE SEPARATE AND INDEPENDENT SEWER CONNECTION. NO TENANT OR OCCUPANT OF ANY BUILDING SHOWN ON THIS SITE DEVELOPMENT PLAN SHALL DISCHARGE REGULATED NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM PRIOR TO INSTALLATION OF THE SEPARATE AND INDEPENDENT SEWER CONNECTION AND RELATED INTERIOR WASTE LINES. THE ABOVE REQUIREMENTS SHALL APPLY TO ALL INITIAL AND FUTURE OCCUPANTS OR TENANTS.

ASPHALT PLANT SCHEDULE

NO.	BUILDING
5	SCALPER SCREEN
6	COLD FEED BIN
7	RAP BIN
4	TOOL SHED
3	TRUCK RACK
9	DRYER
8	SCALPER SCREEN
10	SURGE BINS
12	ASPHALT PLANT
13	ASPHALT TANK
14	BAGHOUSE
15	TRUCK RACK
1	CONTROL TOWER
2	STATE MODULAR UNIT
11	DUST SILO
16	EX SHOP & OFFICE
17	EX GARAGE & OFFICE
18	NEW SHOP & OFFICE
19	EX BAGHOUSE
20	EX ASPHALT DRUM
21	EX ASPHALT DRUM
22	EX MIXING PLANT
23	EX DRYER
24	EX OPEN HOPPERS
25	EX. HOT BINS

GENERAL NOTES:

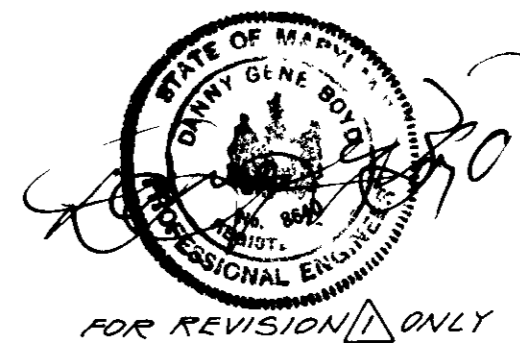
- TOTAL AREA OF PROPERTY = 17.44 AC AS COMPUTED
- DISTURBED AREA = 0.79 AC
- ADDITIONAL DOMESTIC WATER & PRIVATE SEWER WILL NOT BE NEEDED
- ZONING - M-2
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE HOWARD COUNTY DEPT. OF PUBLIC WORKS STANDARDS AND SPECIFICATIONS
- TAX MAP NO 48
- OPEN SPACE - 11.70 AC ON 67%
- BUILDING COVERAGE - 18,800 SF OR 2.5%
- PARKING ANALYSIS:
 - REQUIRED - 1 SPACE / 500 SF X 4680 SF OF BLDG = 10 SPACES PROVIDED - 10 SPACES
- TOPO TAKEN FROM SURVEY BY BEAVINS CO DATED SEP 25, 1987
- CONTRACTOR SHALL STAKE-OUT AND VERIFY PRIOR TO START OF WORK
- EXISTING BUILDING COVERAGE AREA - 8550 SF = 0.196 AC PERCENTAGE - 1.12 %
- PROPOSED BUILDING COVERAGE AREA - 8774 SF = 0.201 AC PERCENTAGE - 1.15 %
- TOTAL BUILDING COVERAGE AREA - 17,324 SF = 0.397 AC PERCENTAGE - 2.27%
- EXISTING NUMBER OF EMPLOYEES - 17
- PROPOSED NUMBER OF EMPLOYEES - 2
- TOTAL NUMBER OF EMPLOYEES - 19
- EXISTING PARKING SPACES - 20
- PROPOSED PARKING SPACES - 10
- TOTAL PARKING SPACES - 30



LEGEND

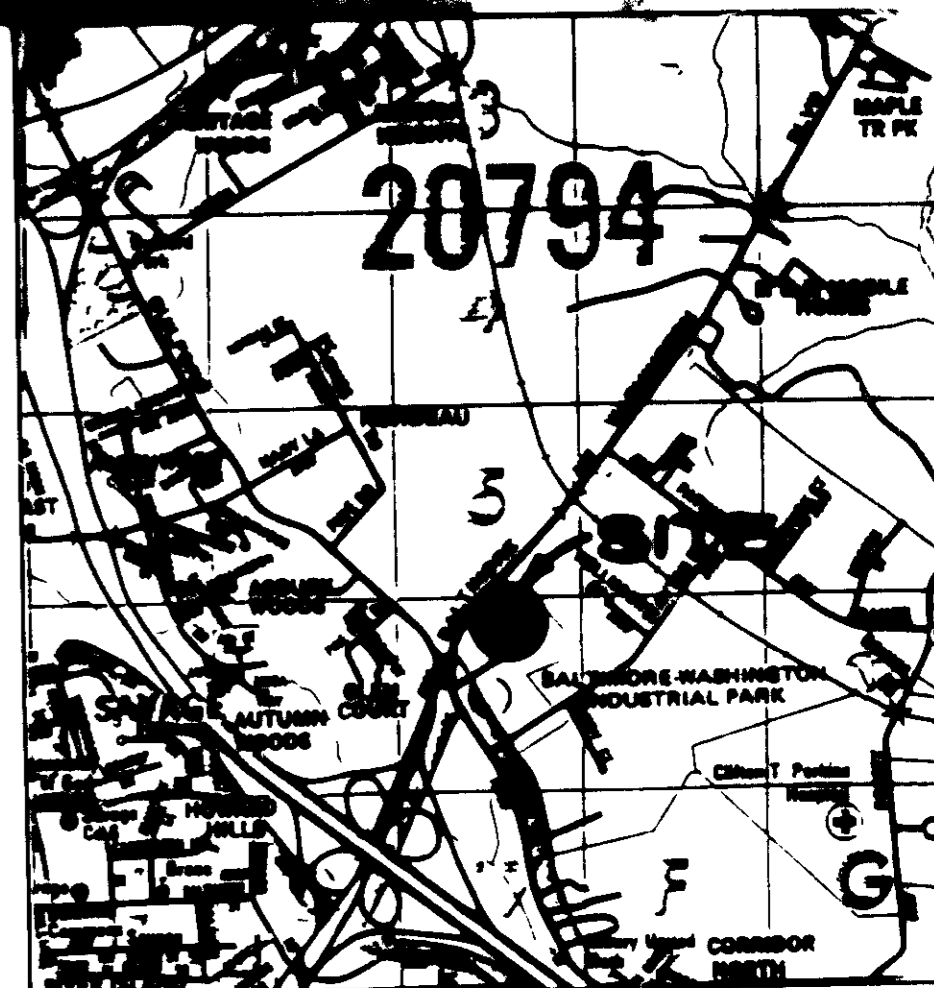
- EXISTING CONTOUR -----100---
- PROPOSED CONTOUR -----100---
- EXISTING BUILDING [Symbol]
- NEW BUILDING [Symbol]
- EXISTING PAVING [Symbol]
- NEW BIT CONC PAVING [Symbol]
- EXISTING WATER [Symbol]
- NEW WATER [Symbol]
- NEW FIRE HYDRANT [Symbol]
- EXISTING GAS [Symbol]
- NEW CONCRETE SLAB [Symbol]
- STABILIZED CONSTRUCTION ENTRANCE [Symbol]
- SILT FENCE [Symbol]
- LIMIT OF DISTURBANCE [Symbol]

BOYD & DONGIALLO, P.A.
405 HEADQUARTERS DRIVE
SUITES 7 & 8
MILLERSVILLE, MD 21108
(410) 987-2500



11-25-87

ADDRESS CHART		DATE	
PARCEL NUMBER	STREET ADDRESS	6-20-87	PROJ 15000 GAL 405 2' CONC DISPENSERS, UNDERGROUND FUEL TANK
121	8685 WASHINGTON BLVD		Boyd & Dongiallo P.A. 405 Headquarters Dr. MILLERSVILLE, MD 21108 410-987-2500
SUPERVISION NAME	SECT / AREA	LOT / PARCEL	DATE: NO.
RATRIE ROBBINS & SCHWITZER ASPHALT PLANT		121	REVISION
PERM	BLOCK	ZONE	TAX / ZONE
413/199	1	M-2	48
			ELEC DIST
			6
			CENSUS TR
			8060
WATER CODE	SEWER CODE	OWNER	
106	5584900	JOSEPH J. HOCK, INC 5500 BELLE GROVE ROAD BALTIMORE, MARYLAND 21225 (410) 789-4800	
APPROVED: FOR PUBLIC WATER, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS		PROJECT:	
[Signature] DIRECTOR DATE 2/10/88		SAVAGE PROPERTY UNDERGROUND FUEL TANK HOWARD COUNTY, MARYLAND	
APPROVED: FOR PUBLIC WATER AND PRIVATE SEWERAGE SYSTEMS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS		SITE PLAN	
[Signature] COUNTY HEALTH OFFICER DATE 2-11-88		BLDG #18 & SLAB ADDITIONS	
APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING		ENGINEERS: WHITNEY, BAILEY, COX & MAGNANI CONSULTING ENGINEERS	
[Signature] PLANNING DIRECTOR DATE 2-22-88		1850 YORK ROAD TIMONIUM, MD. 21083 (301) 252-8800	
[Signature] CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE 2/22/88		DESIGNED: ART	
		DRAWN: GBR	
		CHECKED: PD	
		DATE: OCT. 7, 1987	
		SCALE: 1" = 30'	
		DRAWING NO: 1 OF 4	



HAZARDOUS MATERIAL NOTE

THE OWNER SHALL PROVIDE A SEPARATE AND INDEPENDENT SEWER CONNECTION FOR EACH TENANT OR OCCUPANT OF ANY BUILDING, SHOWN ON THIS SITE DEVELOPMENT PLAN, WHO WILL DISCHARGE NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM IF THIS WASTE IS REGULATED UNDER SECTION 18.123A OF THE HOWARD COUNTY CODE. EACH SEPARATE AND INDEPENDENT SEWER CONNECTION SHALL INCLUDE A STANDARD HOUSEHOLD AND OTHER WASTE PRETREATMENT DEVICES AS REQUIRED AND APPROVED BY HOWARD COUNTY. WASTE LINES ON THE INTERIOR OF THE BUILDING SHALL BE DESIGNED, CONSTRUCTED OR MODIFIED SUCH THAT NON-DOMESTIC WASTE WILL BE DISCHARGED TO THE SEPARATE AND INDEPENDENT SEWER CONNECTION. NO TENANT OR OCCUPANT OF ANY BUILDING SHOWN ON THIS SITE DEVELOPMENT PLAN SHALL DISCHARGE REGULATED NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM PRIOR TO INSTALLATION OF THE SEPARATE AND INDEPENDENT SEWER CONNECTION AND RELATED INTERIOR WASTE LINES. THE ABOVE REQUIREMENTS SHALL APPLY TO ALL INITIAL AND FUTURE OCCUPANTS OR TENANTS.

ASPHALT PLANT SCHEDULE

NO	BUILDING
5	SCALPER SCREEN
6	COLD FEED BIN
7	RAP BIN
4	TOOL SHED
3	TRUCK RACK
9	DRYER
8	SCALPER SCREEN
10	SURGE BINS
12	ASPHALT PLANT
13	ASPHALT TANK
14	BAGHOUSE
15	TRUCK RACK
1	CONTROL TOWER
2	STATE TRAILER
11	DUST SILO

GENERAL PLANTING NOTES

- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN, "AMERICAN STANDARDS FOR NURSERY STOCK"
- CONTRACTOR SHALL BE REQUIRED TO GUARANTEE ALL PLANTS MATERIALS FOR A PERIOD OF ONE YEAR AFTER INSTALLATION IS COMPLETED AND APPROVED AT THE END OF ONE YEAR ALL PLANT MATERIAL WHICH IS DEAD OR DYING SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH PLANT MATERIAL OF IDENTICAL TYPE, SIZE, AND CONDITION AS ORIGINALLY SPECIFIED
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND MAY MAKE MINOR ADJUSTMENT IN SPACING AND/OR LOCATION OF PLANT MATERIALS TO AVOID CONFLICTS WITH UTILITIES COORDINATE WITH UTILITY CONTRACTOR TO VERIFY "AS BUILT" LOCATION OF ALL UTILITIES

VICINITY MAP
SCALE: 1" = 2000'

APPROVED
 DIVISION OF LAND DEVELOPMENT & ZONING
 HOWARD COUNTY, MARYLAND
 DATE: 11-25-87

CONSTRUCTION SEQUENCE

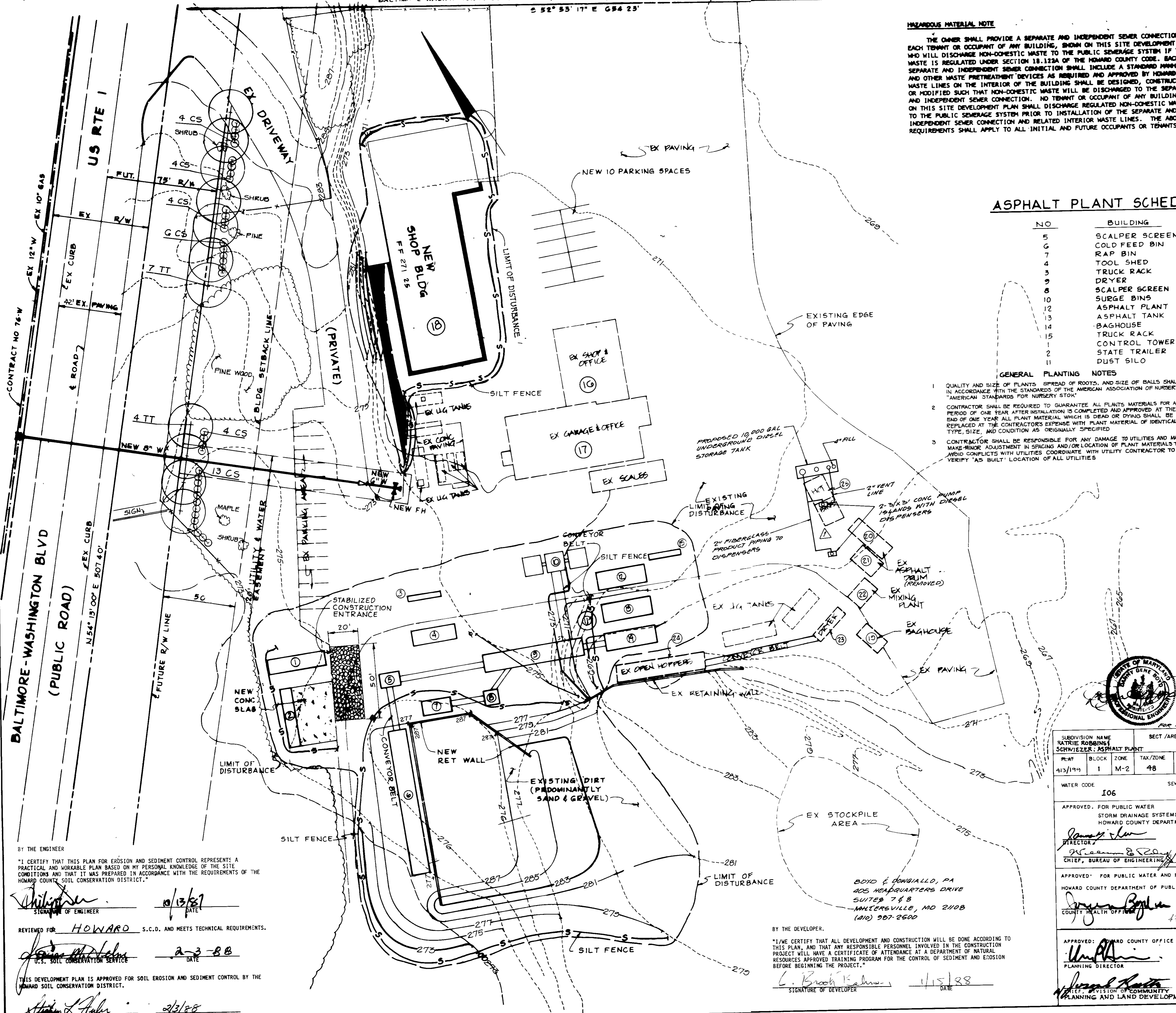
- | NO | ACTIVITY | ESTIMATED DURATION |
|----|---|--------------------|
| 1 | OBTAIN GRADING PERMIT | 2 WEEKS |
| 2 | CLEARING AND GRUBBING FOR THE INSTALLATION OF PERIMETER CONTROL | 1 DAY |
| 3 | INSTALL SEDIMENT CONTROL DEVICES | 2 DAYS |
| 4 | START GRADING TO SUBGRADE AND EXCAVATION FOR BUILDING CONSTRUCTION | 1 WEEK |
| 5 | START BUILDING CONSTRUCTION | 2 MONTHS |
| 6 | START CONSTRUCTION OF CONCRETE RETAINING WALL | 2 WEEKS |
| 7 | START EMBANKMENT BEHIND RETAINING WALL | 3 WEEKS |
| 8 | STABILIZE AREAS TO REMAIN GREEN AREA | 2 MONTHS |
| 9 | UPON APPROVAL OF SEDIMENT CONTROL INSPECTOR REMOVE SILT FENCE AND STABILIZE CONSTRUCTION ENTRANCE | 1 DAY |
| 10 | COMPLETION OF REMAINING ACTIVITIES INCLUDING PAVING | 2 MONTHS |

ALL TIMES ARE APPROPRIATE AND SUBJECT TO CHANGE

PLANT LIST

KEY	QUAN.	BOTANICAL NAME / COMMON NAME	SIZE	ROOT	REMARK
TT	11	TILIA TOMENTOSA / SILVER LINDEN	2 1/2-3"	B & B	PLANT 20' O.C.
CS	35	CORNUS SERICEA / REDOSIER DOGWOOD	2 1/2-3"	B & B OR CONT	PLANT 4' O.C.

NOTE: FOR PLANTING DETAILS, SEE SHEET 3 OF 4



BY THE ENGINEER
 *I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.
 Signature: [Signature] DATE: 10/13/87
 REVIEWED FOR: HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS.
 Signature: [Signature] DATE: 2-3-88
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 Signature: [Signature] DATE: 2/3/88

BY THE DEVELOPER
 *I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.
 Signature: [Signature] DATE: 11/5/88

FOR REVISION ONLY

SUBDIVISION NAME RATRIE ROBBINS SCHWIEZER ASPHALT PLANT	SECT/AREA 12.1	LOT/PARCEL 17.1
PLAT 413/199	BLOCK 1	ZONE M-2
TAX/ZONE 48	ELEC. DIST 6	CENSUS TR. 6060
WATER CODE I06	SEWER CODE 3584900	

APPROVED FOR PUBLIC WATER
 STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Director: [Signature] DATE: 2/18/88
 Chief, Bureau of Engineering: [Signature] DATE: 2/18/88

APPROVED FOR PUBLIC WATER AND PRIVATE SEWERAGE SYSTEMS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 County Health Officer: [Signature] DATE: 2-11-88

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 Planning Director: [Signature] DATE: 2-22-88
 Division of Community Planning and Land Development: [Signature] DATE: 2/22/88

DATE NO.	REVISION
OWNER	JOSEPH J. HOCK, INC 5500 BELLE GROVE ROAD BALTIMORE, MARYLAND 21225 (410) 789-8000
PROJECT	SAVAGE PROPERTY UNDERGROUND FUEL TANK HOWARD COUNTY, MARYLAND
ENGINEERS	GRADING & SEDIMENT CONTROL PLAN LANDSCAPING PLAN WHITNEY, BAILEY, COX & MAGNANI CONSULTING ENGINEERS 1850 YORK ROAD TIMONIUM, MD. 21093 (301) 252-8060
DESIGNED	ART
DRAWN	GSB
CHECKED	PD
DATE	OCT. 7, 1987
SCALE	1" = 30'
DRAWING NO.	2 OF 4

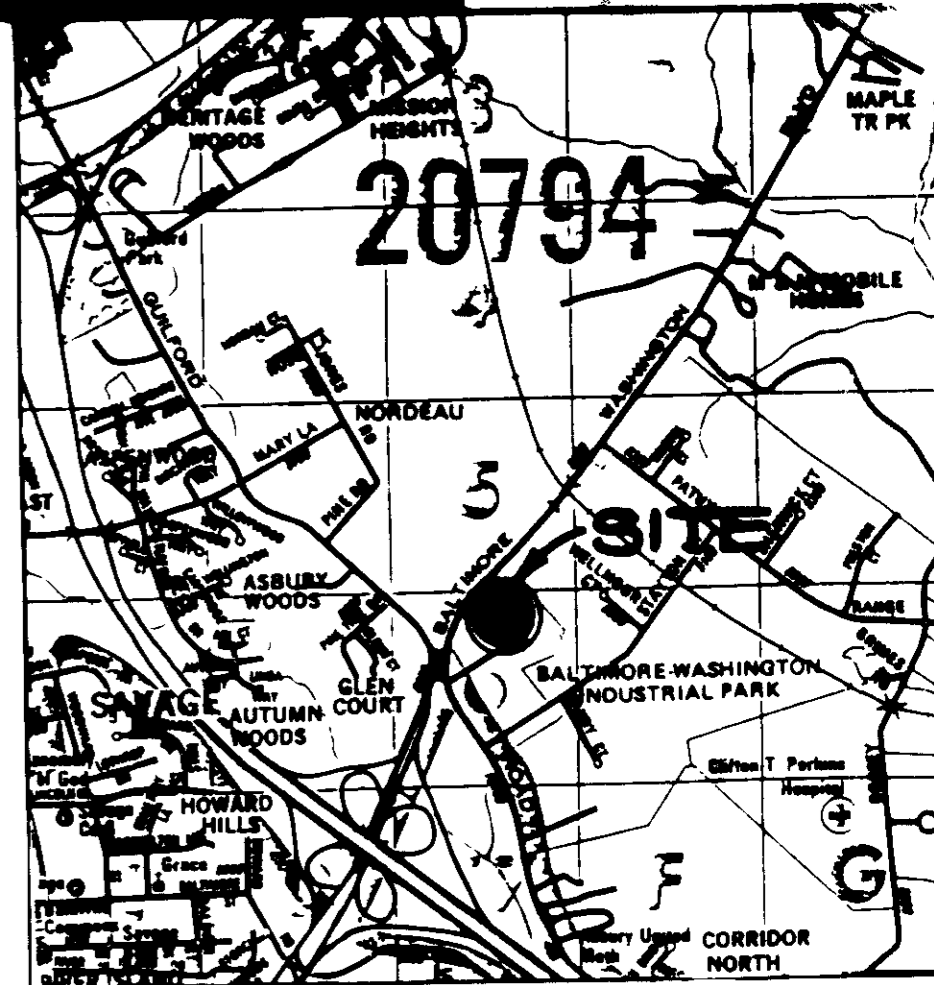
S 52° 53' 17" E 654.23'

DEMOLITION NOTES

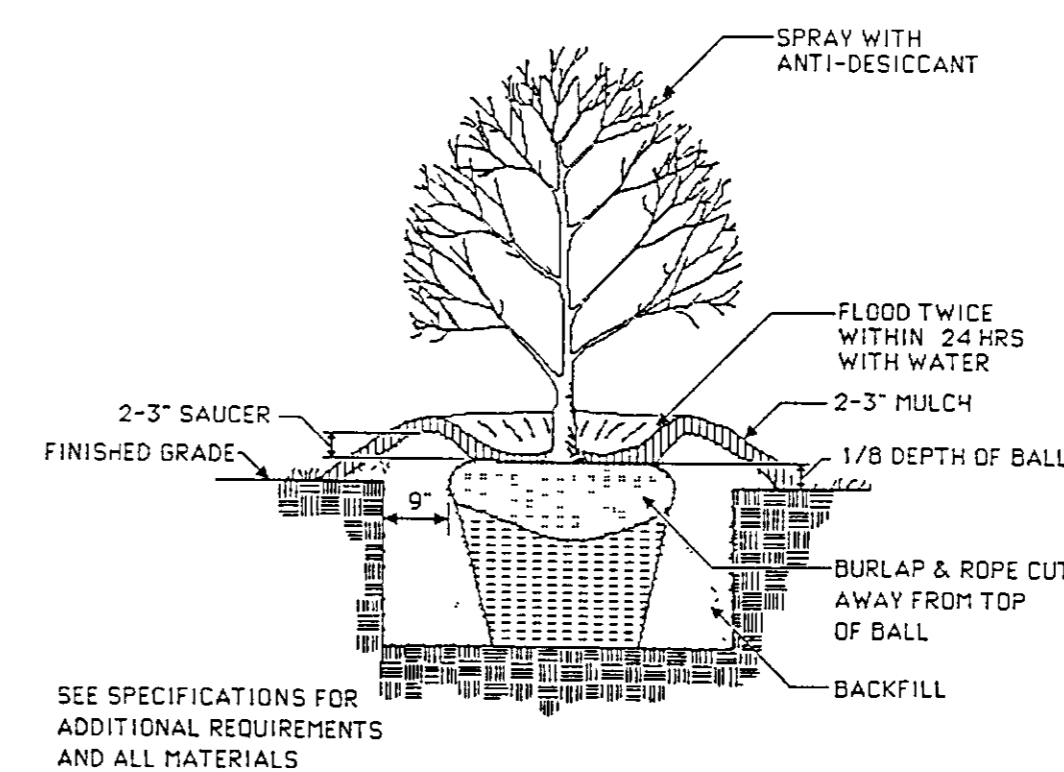
- D-1 REMOVE EXISTING PAVING
- D-2 REMOVE EXISTING WOOD SHED
- D-3 RELOCATE EXISTING BG&E POLE

GENERAL NOTES

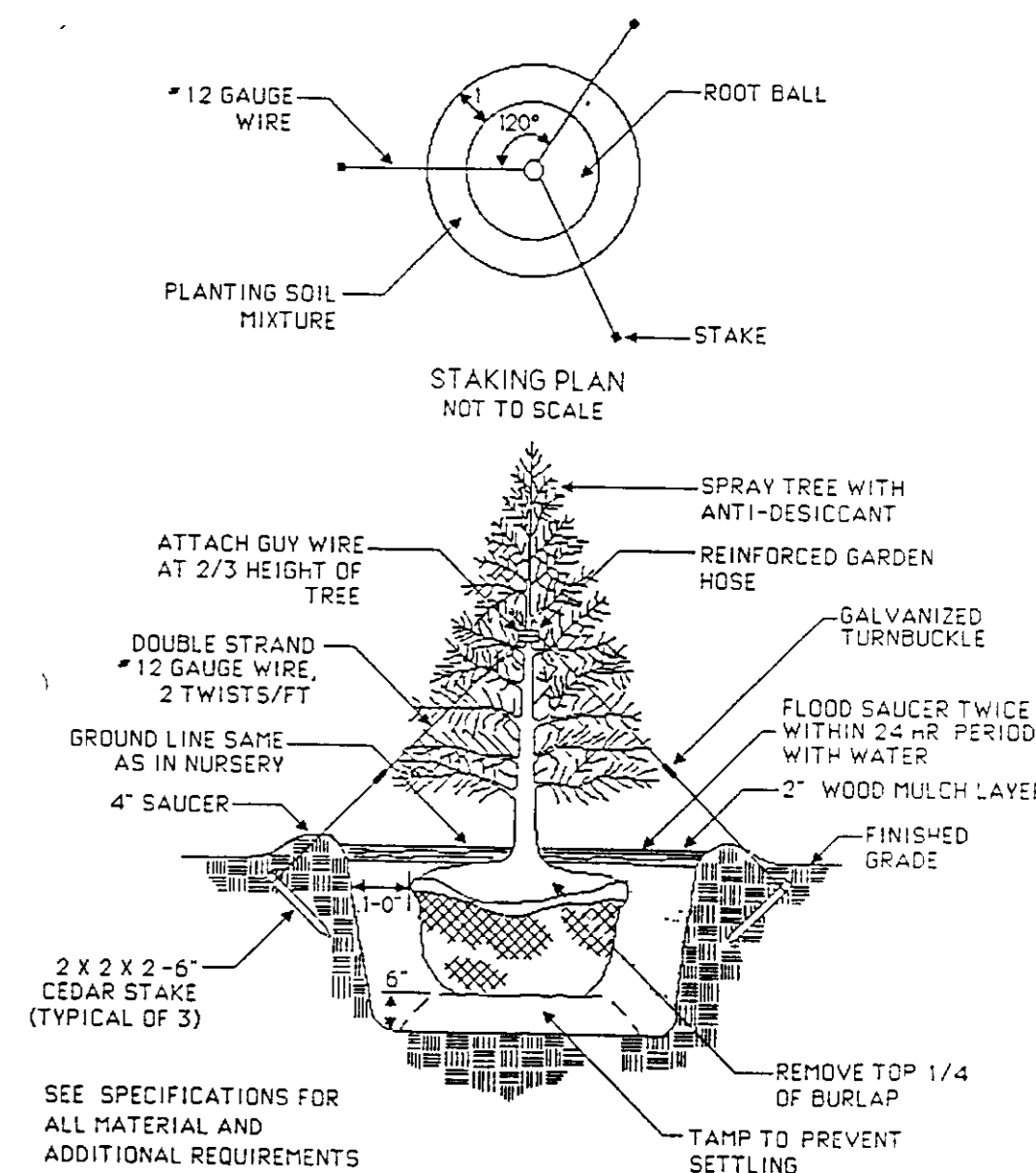
- A. PRIOR TO THE START OF ANY CONSTRUCTION, THE CONTRACTOR SHALL STAKE OUT ALL BASELINES, BUILDING LOCATION, AND CURBS, AND VERIFY OFFSETS AND SETBACKS
- B. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT TELEPHONE NO (301) 599-0100 AT LEAST 72 HOURS PRIOR TO STARTING EXCAVATION TO VERIFY ALL LOCATIONS OF EXISTING UTILITIES
- C. ALL CONSTRUCTION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH HOWARD COUNTY, DEPARTMENT OF PUBLIC WORKS STANDARDS, SPECIFICATIONS AND REQUIREMENTS.
- D. THE INFORMATION SHOWN ON THESE PLANS IS FOR THE CONVENIENCE OF THOSE CONCERNED ONLY. THE CORRECTNESS OR COMPLETENESS OF THE INFORMATION SHOWN IS NOT WARRANTED OR GUARANTEED.
- E. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES
- F. ALL DISTURBED AREAS NOT STABILIZED WITH PAVING, BUILDING, SOODING OR MULCH IN PLANTING AREAS SHALL BE SEEDED AND MULCHED



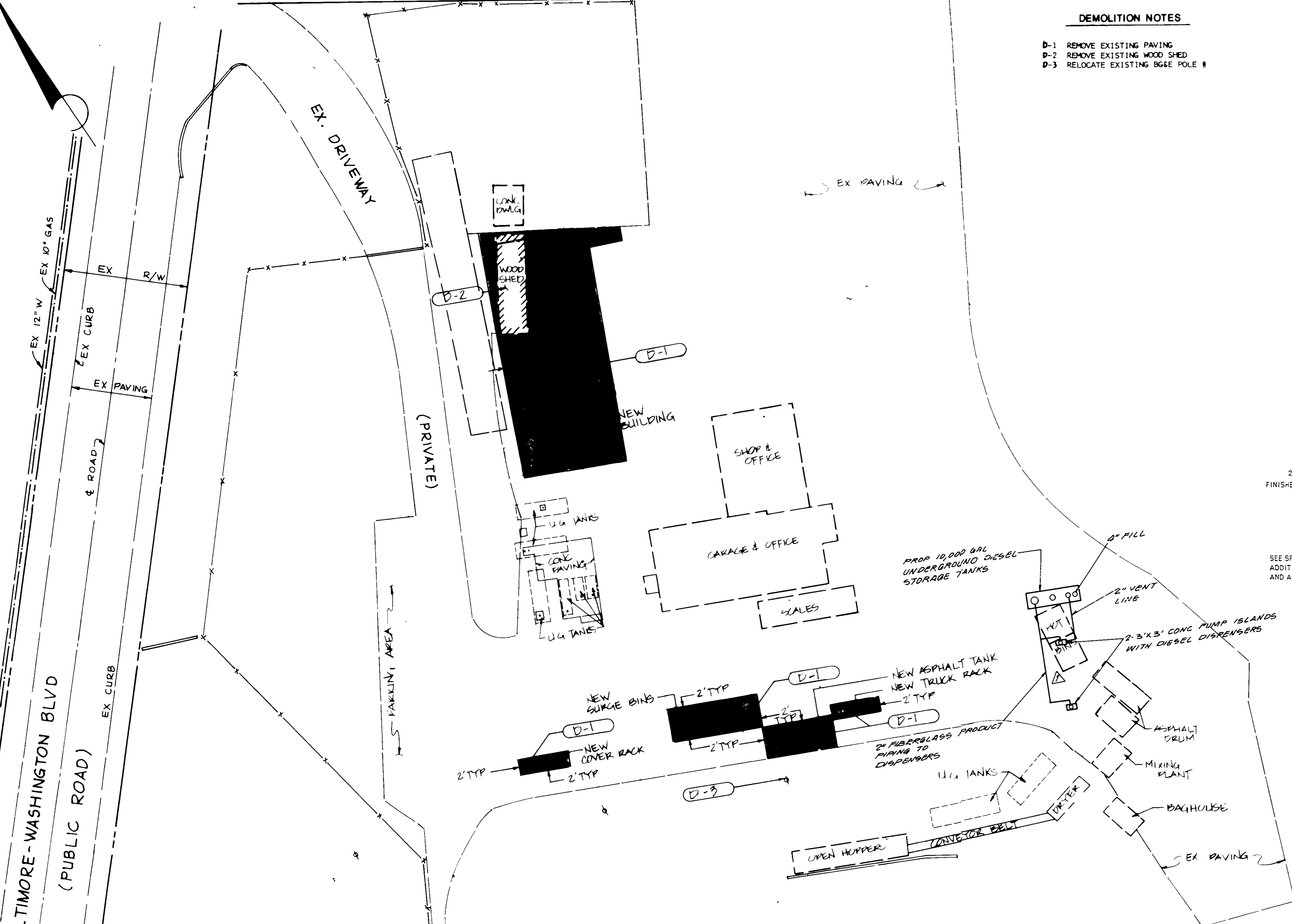
VICINITY MAP
SCALE: 1"=2000'



SHRUB PLANTING DETAIL



TREE DETAIL

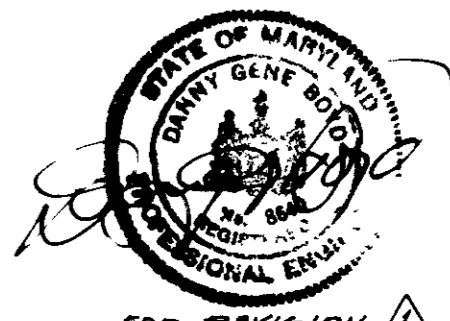


PLAN
SCALE: 1"=30'

LEGEND	EXISTING	TO BE REMOVED
BUILDING	[Solid black box]	[Hatched box]
CONTOUR	[Dashed line]	[Dotted line]
BG&E POLE	[Circle with cross]	[Circle with cross]
WATER	[Dashed line]	[Dashed line]
GAS	[Dashed line]	[Dashed line]
PAVING	[Dashed line]	[Hatched box]

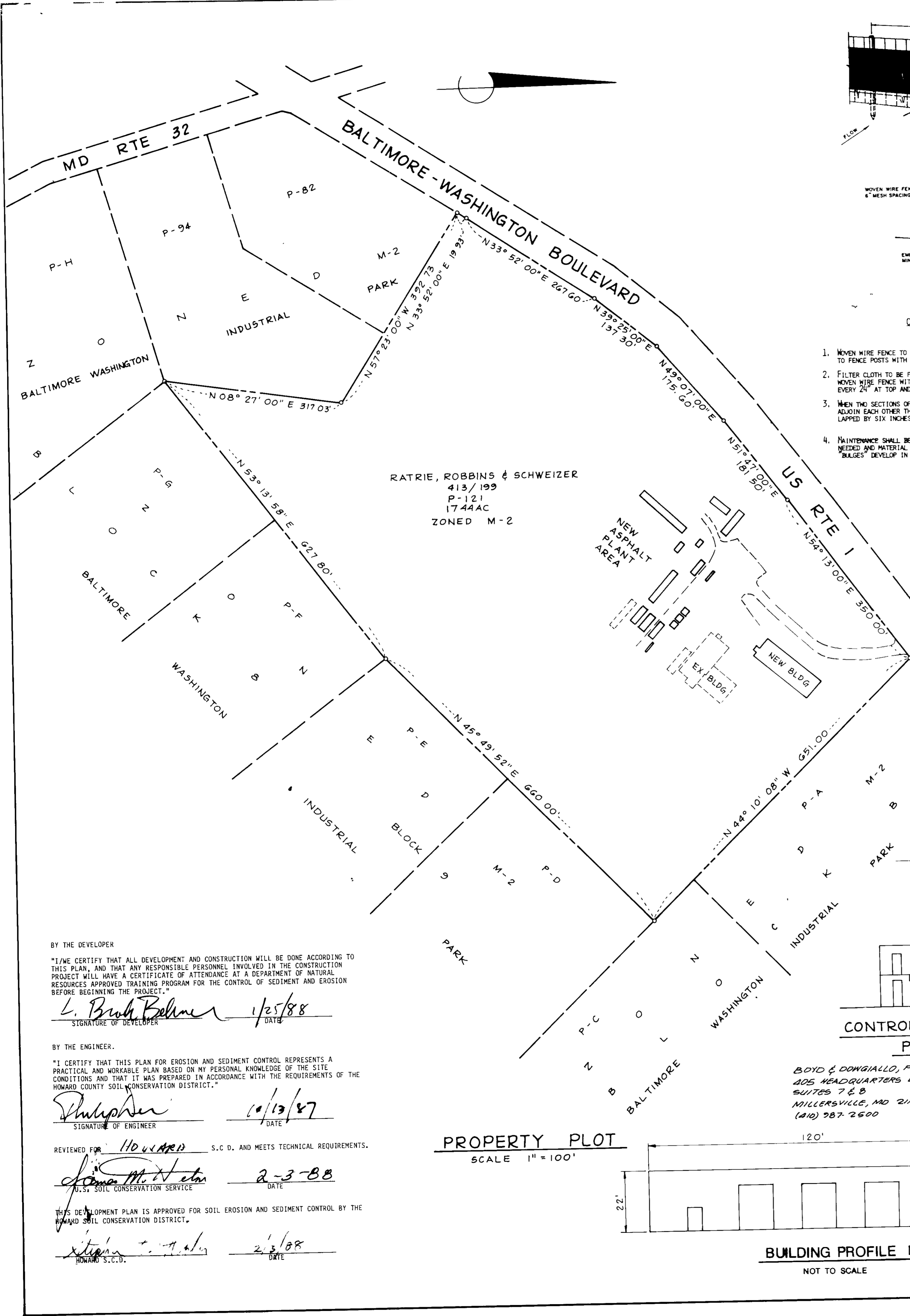
BOYD & DONIGALLO, PA
305 HEADQUARTERS DRIVE
SUITES 7 & 8
MILLERSVILLE, MD 21088
(410) 987-2500

APPROVED
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE: 11-25-87

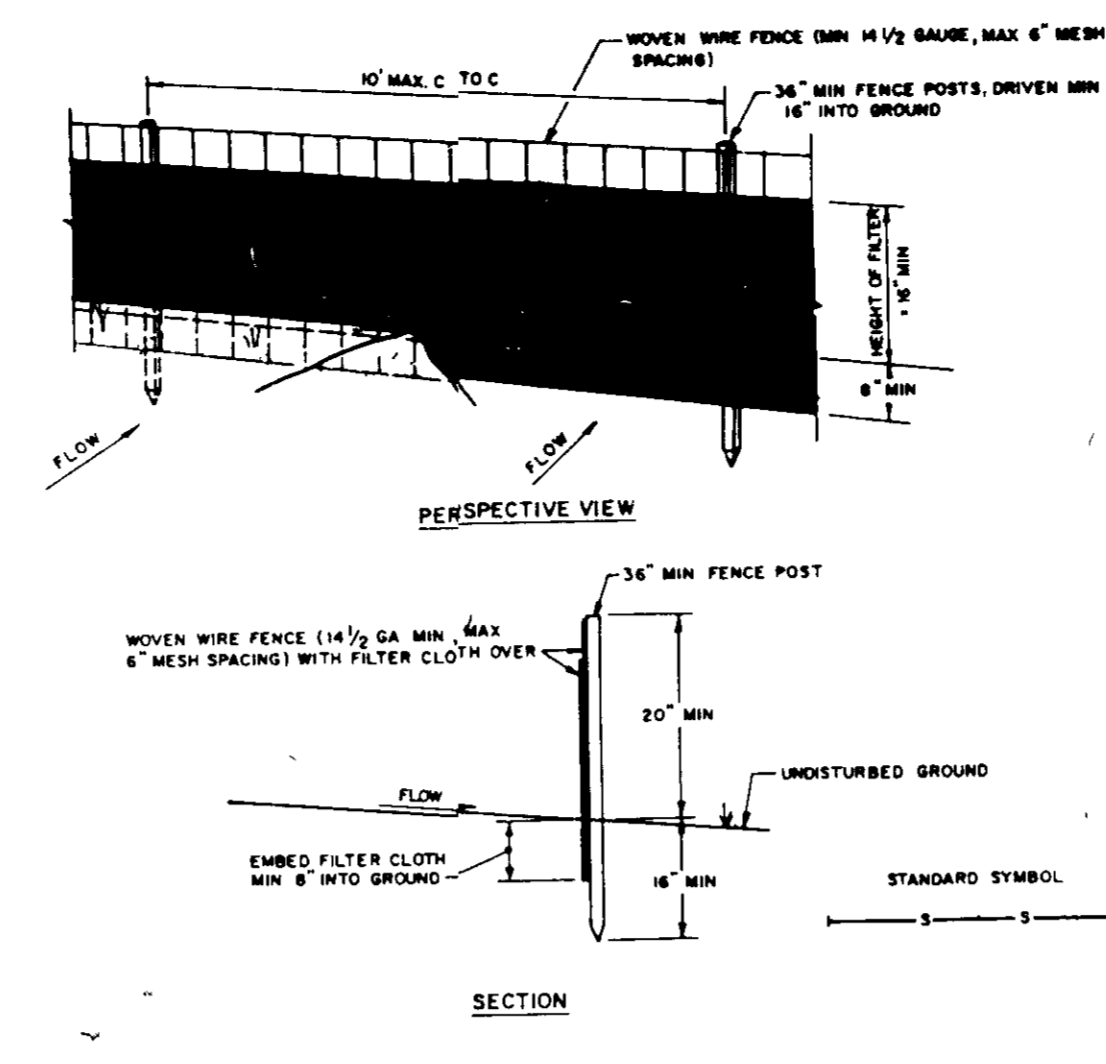


SUBDIVISION NAME	SECT./AREA	LOT/PARCEL
RATRIE, ROBBINS & SCHWIEZERS ASPHALT PLANT		121
PERM. BLOCK ZONE TAX/ZONE ELEC. DIST. CENSUS TR.	1 M-2 48 6 6060	
WATER CODE	SEWER CODE	
I06	5584900	
APPROVED: FOR PUBLIC WATER STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS		
DIRECTOR: James J. ... DATE: 2/18/88		
CHIEF, BUREAU OF ENGINEERING: ... DATE: 2/18/88		
APPROVED: FOR PUBLIC WATER AND PRIVATE SEWERAGE SYSTEMS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS		
COUNTY HEALTH OFFICER: ... DATE: 2-11-88		
APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING		
PLANNING DIRECTOR: ... DATE: 2-22-88		
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT: ... DATE: 2/22/88		

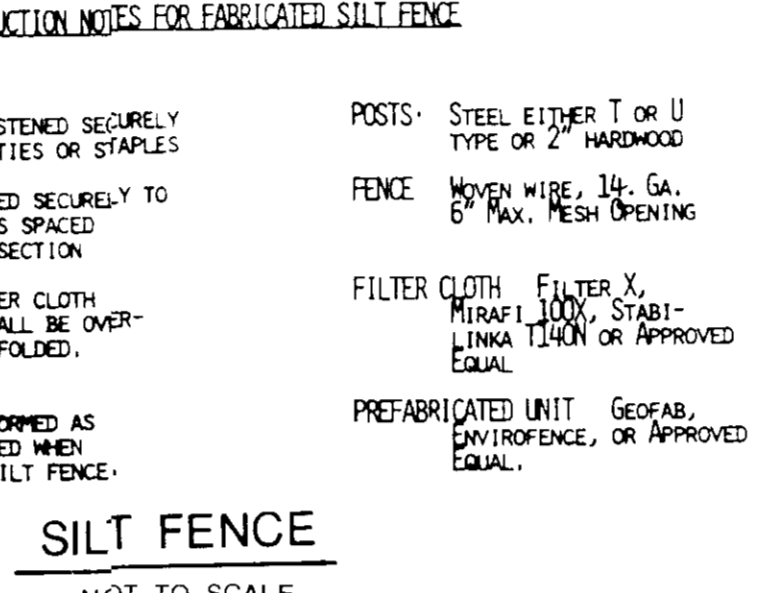
DATE	NO.	REVISION
OWNER: JOSEPH J. HOCK, INC. 5500 BELLE GROVE ROAD BALTIMORE, MARYLAND 21225 (410) 789-4000		
PROJECT: SAVAGE PROPERTY UNDERGROUND FUEL TANK HOWARD COUNTY, MARYLAND		
ENGINEERS: WHITNEY, BAILEY, COX & MAGNANI CONSULTING ENGINEERS 1850 YORK ROAD TIMONUM, MD. 21083 (301) 252-8000		
DESIGNED:	ART	
DRAWN:	G88	
CHECKED:	PD	
DATE:	OCT. 7, 1987	
SCALE:	1" = 30'	
DRAWING NO:	3 OF 4	



RATRIE, ROBBINS & SCHWEIZER
413/199
P-121
1744AC
ZONED M-2

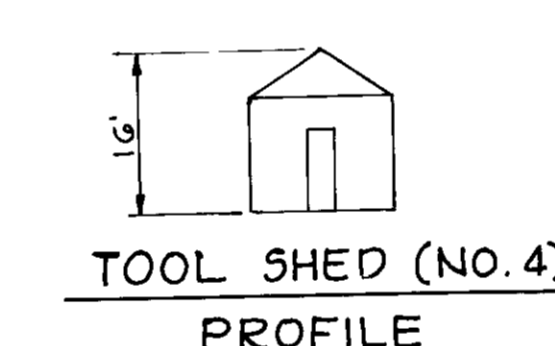


- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN BRUSH DEVELOPS IN THE SILT FENCE.

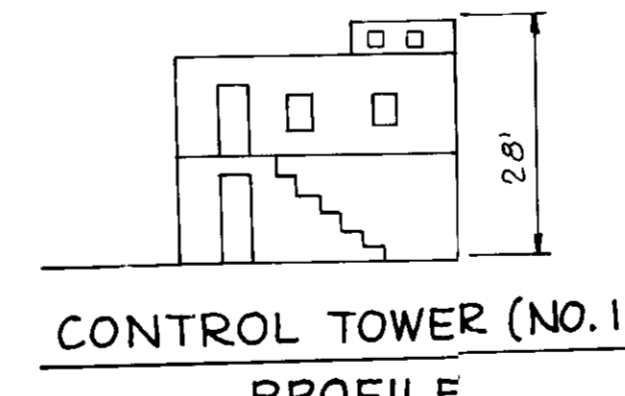


SILT FENCE
NOT TO SCALE

STATE MODULAR UNIT (NO.2)
PROFILE

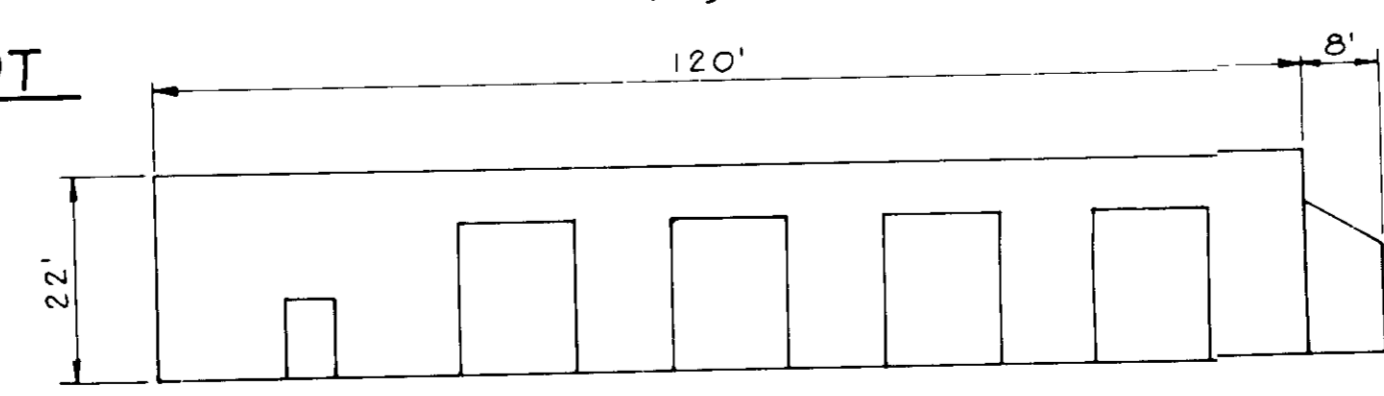


TOOL SHED (NO.4)
PROFILE



CONTROL TOWER (NO.1)
PROFILE

BOYD & DONIGALLO, PA
405 HEADQUARTERS DRIVE
SUITES 7 & 8
MILLERSVILLE, MD 2108
(410) 987-2600



BUILDING PROFILE NO. 18
NOT TO SCALE

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

Soil Amendments: In lieu of soil test recommendations, use one of the following schedule:

- 1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft).
- 2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.

Seeding: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

Maintenance: Inspect all seeded areas and make needed repairs, replacements and reseeds.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

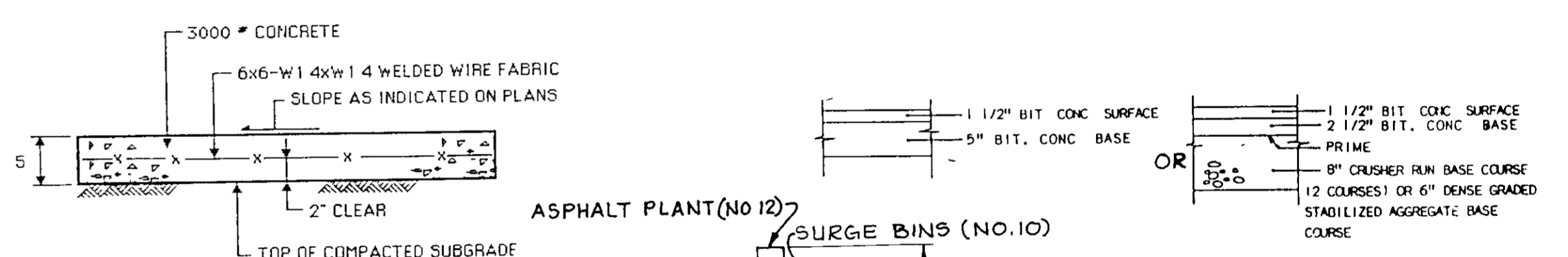
Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).

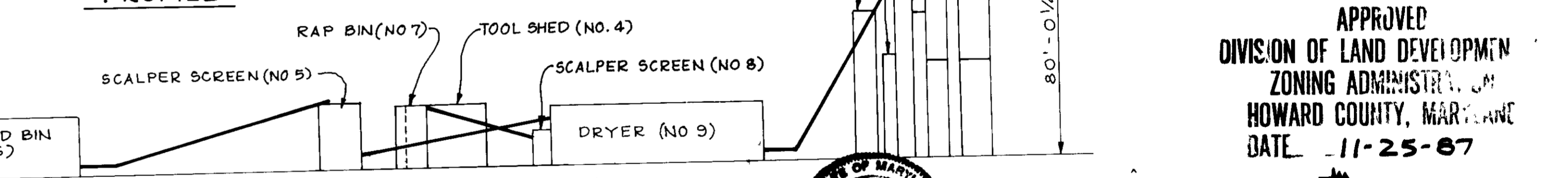
Seeding: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2 1/2 bushel per acre of annual rye (3.2 lbs/1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (.07 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes, 8 ft or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.

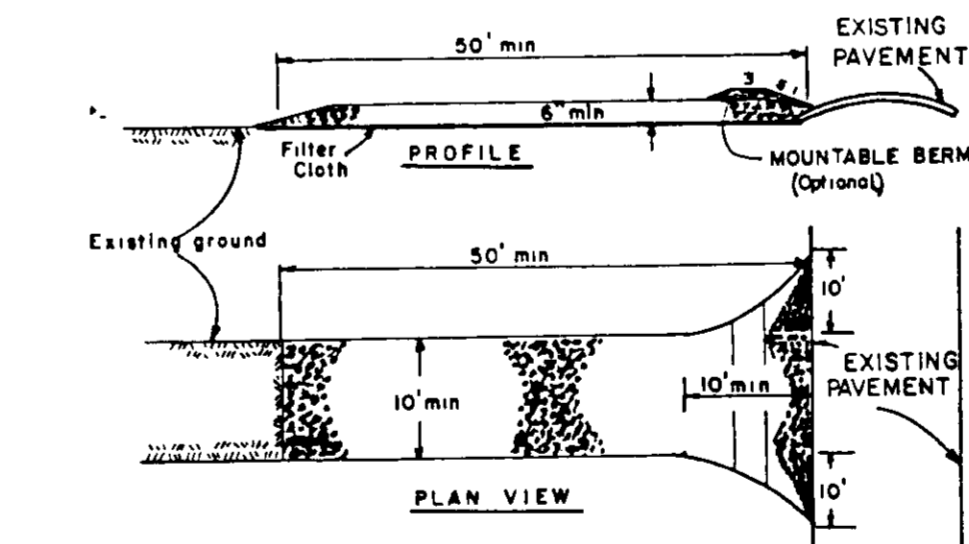
Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR rate and methods not covered.



PAVING DETAIL
NOT TO SCALE



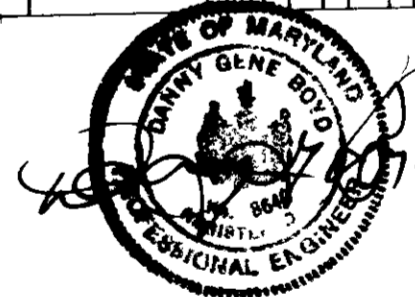
ASPHALT PLANT PROFILE
NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

- CONSTRUCTION SPECIFICATIONS**
1. Stone Size - Use 2" stone, or reclaimed or recycled concrete equivalent.
 2. Length - As required, but not less than 50 feet (except on a simple residence lot where a 10 foot minimum length would apply).
 3. Thickness - Not less than six (6) inches.
 4. Width - Ten (10) foot minimum, but not less than the full width at points where ingress or egress occurs.
 5. Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a simple residential lot.
 6. Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 3/4 slope will be permitted.
 7. Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanup of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
 8. Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
 9. Periodic inspection and needed maintenance shall be provided after each rain.

APPROVED
DIVISION OF LAND DEVELOPMENT
ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 11-25-87



BY THE DEVELOPER
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT."
L. Brub Baker 1/25/88
SIGNATURE OF DEVELOPER DATE

BY THE ENGINEER
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."
Philip J. Behner 10/13/87
SIGNATURE OF ENGINEER DATE

REVIEWED FOR HOWARD COUNTY S.C.D. AND MEETS TECHNICAL REQUIREMENTS.
James M. Vetter 2-3-88
DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.
John A. ... 2/3/88
DATE

SUBDIVISION NAME RATRIE, ROBBINS & SCHWEIZER ASPHALT PLANT	SECT./AREA 1 M-2	LOT/PARCEL 12-1	TAX/ZONE 48	ELEC. DIST. 6	CENSUS TR. 6060
WATER CODE I06	SEWER CODE 5584800	APPROVED FOR PUBLIC WATER STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS			
APPROVED: <i>James M. Vetter</i> 2/10/88 DIRECTOR		APPROVED: <i>James M. Vetter</i> 2/10/88 CHIEF, BUREAU OF ENGINEERING			
APPROVED: <i>James M. Vetter</i> 2-11-88 COUNTY HEALTH OFFICER		APPROVED: <i>James M. Vetter</i> 2-11-88 COUNTY HEALTH OFFICER			
APPROVED: <i>Philip J. Behner</i> 2/22/88 PLANNING DIRECTOR		APPROVED: <i>Philip J. Behner</i> 2/22/88 PLANNING DIRECTOR			
APPROVED: <i>Philip J. Behner</i> 2/22/88 DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT		APPROVED: <i>Philip J. Behner</i> 2/22/88 DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT			

DATE: NO.	REVISION
OWNER	JOSEPH J. HOOK, INC 5500 BELLE GROVE ROAD BALTIMORE, MARYLAND 21225 (410) 789-4800
PROJECT	SAVAGE PROPERTY UNDERGROUND FUEL TANK HOWARD COUNTY, MARYLAND
SITE DETAIL	
ENGINEERS: WHITNEY, BAILEY, COX & MAGNANI CONSULTING ENGINEERS 1850 YORK ROAD TIMONUM, MD. 21093 (301) 252-8080	
DESIGNED:	ART
DRAWN:	GGB
CHECKED:	P.D.
DATE:	OCT 7, 1987
SCALE:	AS SHOWN
DRAWING NO:	4 OF 4

SDP-88-78