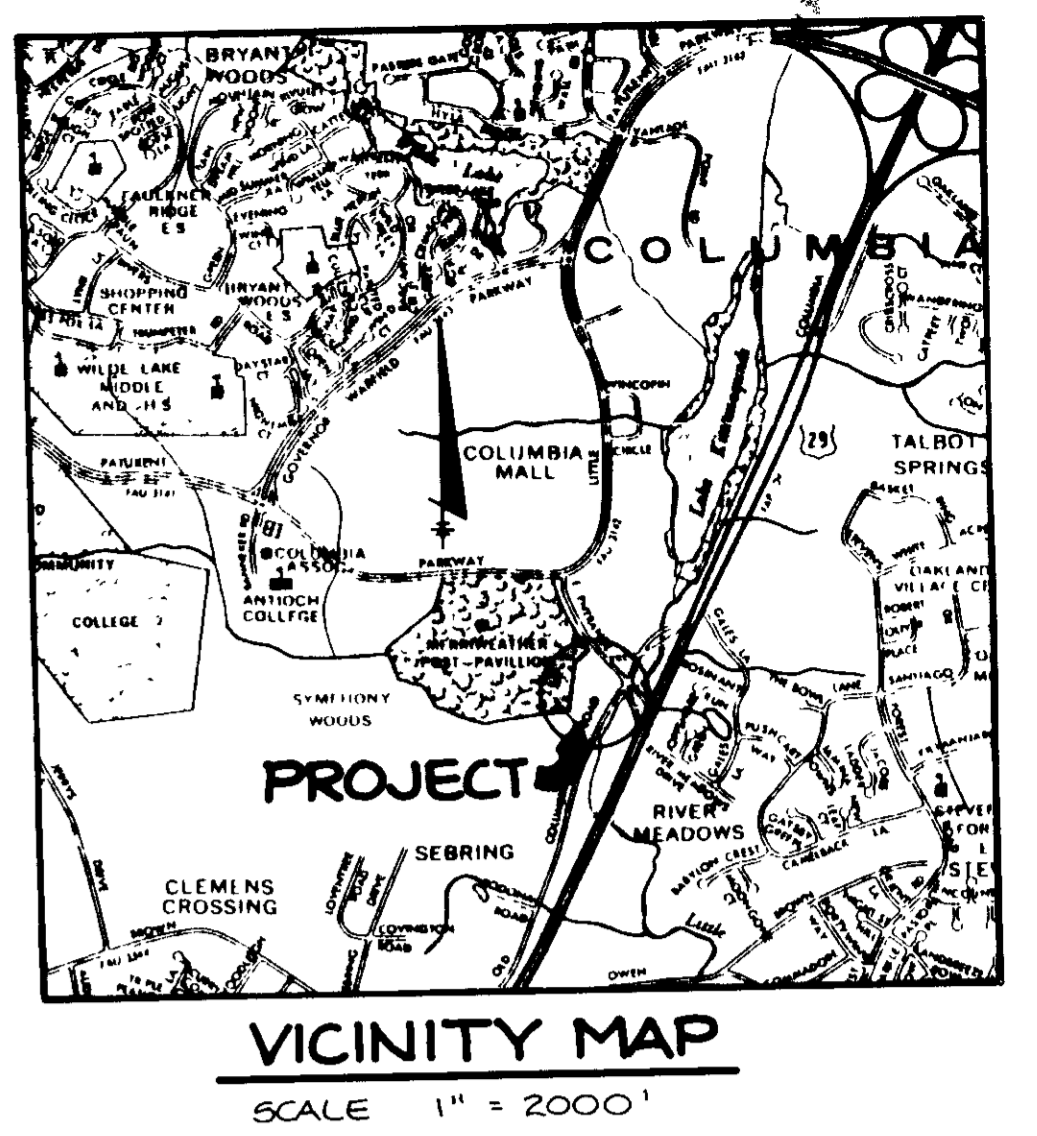
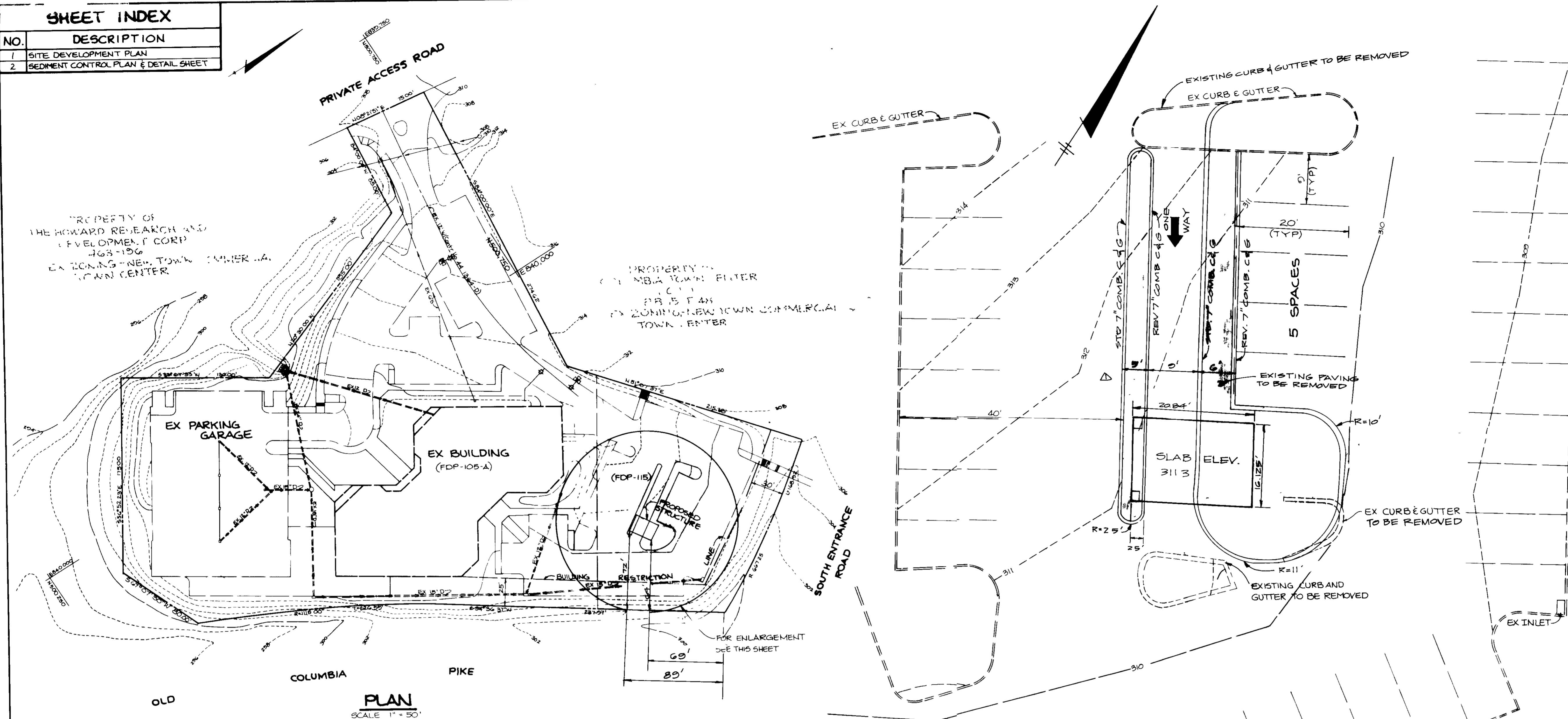


SHEET INDEX	
NO.	DESCRIPTION
1	SITE DEVELOPMENT PLAN
2	SEDIMENT CONTROL PLAN & DETAIL SHEET



PROPERTY OF THE HOWARD RESEARCH AND DEVELOPMENT CORP. 768-1106. EXISTING NEW TOWN TOWN CENTER.

PROPERTY OF MBIA TOWN FILTER. 2135 TOWN CENTER. ZONING: NEW TOWN COMMERCIAL TOWN CENTER.

**PLAN**  
SCALE 1" = 50'

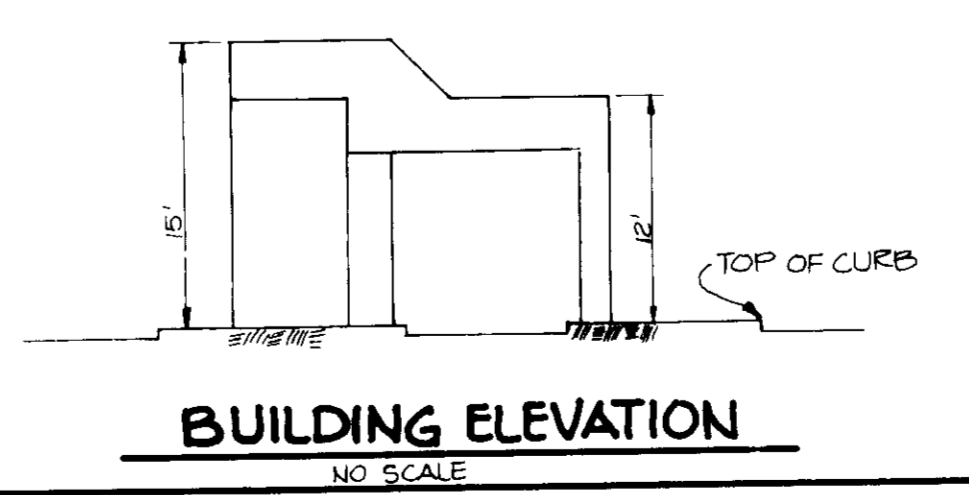
**GENERAL NOTES**

- ALL WATER LINES SHALL BE CONSTRUCTED A MINIMUM OF 42" COVER BELOW FINISHED GRADE.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. FROM BEST AVAILABLE INFORMATION THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS TO VERIFY THEIR LOCATION AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
- CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS:
  - MISS UTILITY 1-800-257-7777
  - C & P TELEPHONE COMPANY 725-9976
  - HOWARD COUNTY BUREAU OF UTILITIES 992-2366
  - AT&T CABLE LOCATION DIVISION 393-3553
  - BALTIMORE GAS & ELECTRIC COMPANY 685-0123
  - STATE HIGHWAY ADMINISTRATION 531-5533
  - HOWARD COUNTY CONSTRUCTION/INSPECTION SURVEY DIVISION (24 HOURS NOTICE PRIOR TO COMMENCEMENT OF WORK) 792-7272
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- THE CONTRACTOR SHALL PROVIDE A JOINT IN ALL SEWER MAINS WITHIN 2'-0" OF EXTERIOR MANHOLE WALLS.
- PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT TO SUBGRADE.
- TOPO TAKEN FROM FIELD RUN SURVEY DATED SEPTEMBER, 1987 BY THE RIEMER GROUP, INC.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL STORM DRAIN PIPE BEDDING SHALL BE AS SHOWN IN DETAIL G2.01 (TRENCH IN ROCK OR TRENCH IN EARTH AS DETERMINED BY FIELD CONDITIONS) IN VOL. IV OF HOWARD COUNTY DESIGN MANUAL UNLESS OTHERWISE DIRECTED BY THE ENGINEER OR AS SHOWN ON THE DRAWING.
- THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR THE SEDIMENT AND EROSION CONTROL PRACTICES, STORM WATER MANAGEMENT PRACTICES AND THE DISCHARGE OF STORM WATER ONTO OR ACROSS ADJACENT OR DOWNSTREAM PROPERTIES INCLUDED IN THIS PLAN. HE IS ALSO RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR GRADING AND/OR WORK ON ADJACENT PROPERTIES INCLUDED IN THIS PLAN.

**SITE TABULATION**

TOTAL AREA OF SITE	3.4 AC (48,150 SQ FT)
AREA OF SUBMISSION	0.182 AC (2,577 SQ FT)
PRESENT ZONING	NEW TOWN COMMERCIAL
PROPOSED BUILDING USE	DRIVE THRU BANK (AUTOMATED FACILITY)
EXISTING BUILDING USE	OFFICE CENTER
PROPOSED BUILDING COVERAGE INCLUDING CANOPY	936.05 SQ FT
WITHOUT CANOPY	132.54 SQ FT
EXISTING BUILDING COVERAGE	10,020 SQ FT
PROPOSED TOTAL COVERAGE	20,888.59 SQ FT
PARKING REQUIRED (AS PER PREVIOUSLY APPROVED SOP-BG-141C)	304 SPACES
EXISTING PARKING PROVIDED INCLUDING 8 HANDICAP SPACES	358 SPACES
PARKING SPACES REMOVED	10 SPACES
TOTAL PARKING SPACES PROVIDED	348 SPACES
REFERENCE:	FDP-105-A #115 SOP-BG-160-C SOP-BG-141-C

**PLAN**  
SCALE 1" = 10'  
NOTE: PROPOSED BUILDING TO HAVE AUTOMATIC TELLER MACHINE ONLY



SUBDIVISION NAME	TOWN CENTER/SYMPHONY WOODS	SECT./AREA	B/2	LOT/PARCEL #	A-2
PLAT # OR I/F	7	BLOCK #	28	ELEC. DIST	5
WATER CODE	E31	SEWER CODE	5520500	CENSUS TR	608802

PARCEL NO.	A-2	STREET ADDRESS	5050 SYMPHONY WOODS
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APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.  
 COUNTY HEALTH OFFICER: [Signature] DATE: 2-4-88

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
 PLANNING DIRECTOR: [Signature] DATE: 2-18-88

CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT  
 DATE: 2/17/88

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIRECTOR: [Signature] DATE: 2/1/88

CHIEF, BUREAU OF ENGINEERING: [Signature] DATE: 2-1-88

DATE	NO.	REVISION
4-22-88	1	REVISE ISLANDS, DRIVE LANE, AND KIOSK

OWNER: ROUSE AND ASSOCIATES  
 5050 SYMPHONY WOODS OFFICE CENTER  
 SUITE 300  
 COLUMBIA, MARYLAND 21044

DEVELOPER: OVERTON & OGBURN ASSOCIATES, INC.  
 4626 ANNAPOLIS ROAD  
 BLADENSBURG, MARYLAND 20710

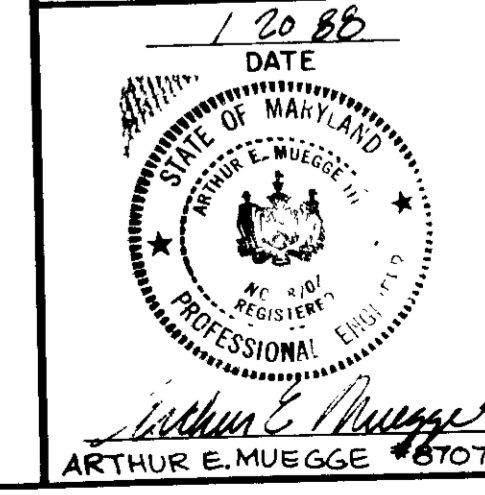
PROJECT: DRIVE THRU BANK FACILITY ADDITION TO SOP-BG-141-C  
 SYMPHONY WOODS BANK - KIOSK

AREA TAX MAP #36 TOWN CENTER PLAT 6657  
 SYMPHONY WOODS OFFICE CENTER  
 SECTION 5 AREA 2 PARCEL A-2  
 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE: **SITE DEVELOPMENT PLAN**

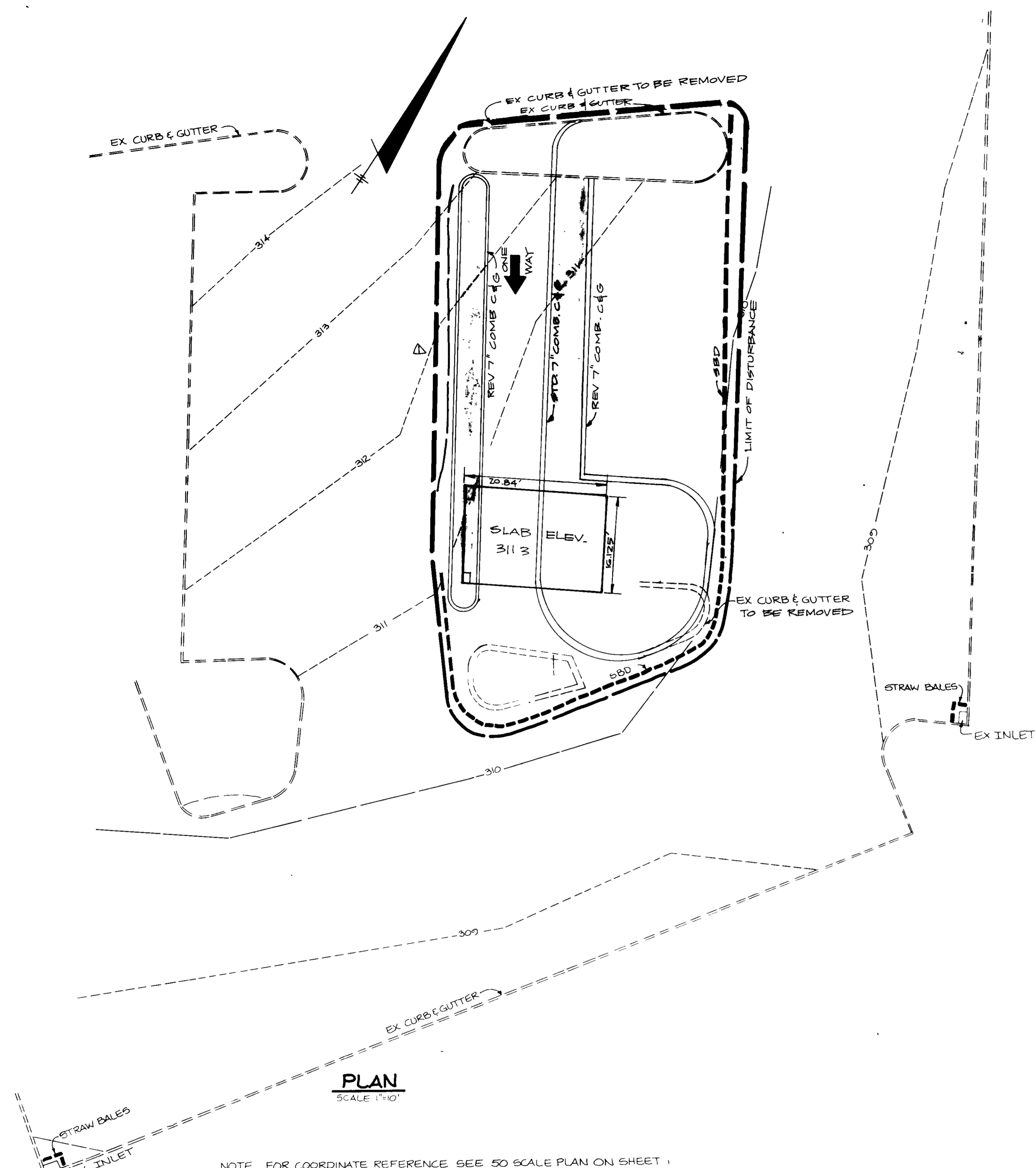
**THE RIEMER GROUP, INC.**  
 The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
 3105 North Ridge Road, Ellicott City, Maryland 21043 (301) 461-2690

**APPROVED**  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE: 1-6-88



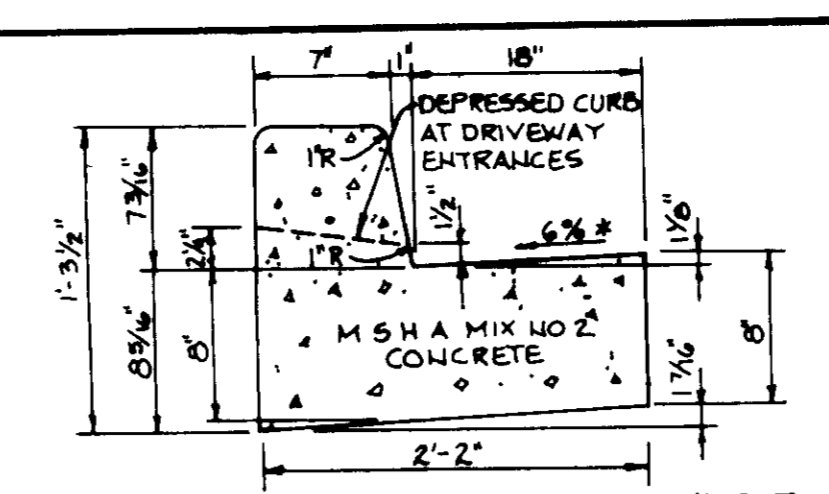
DATE	1-20-88	SOP-BG-141-C
DESIGNED BY	DAM	
DRAWN BY	DDB	
PROJECT NO	44600	
DATE	SEPTEMBER 18, 1987	
SCALE	AS SHOWN	
DRAWING NO.	1 OF 2	

SDP-88-67c



**PLAN**  
SCALE 1"=10'

NOTE FOR COORDINATE REFERENCE SEE 50 SCALE PLAN ON SHEET 1

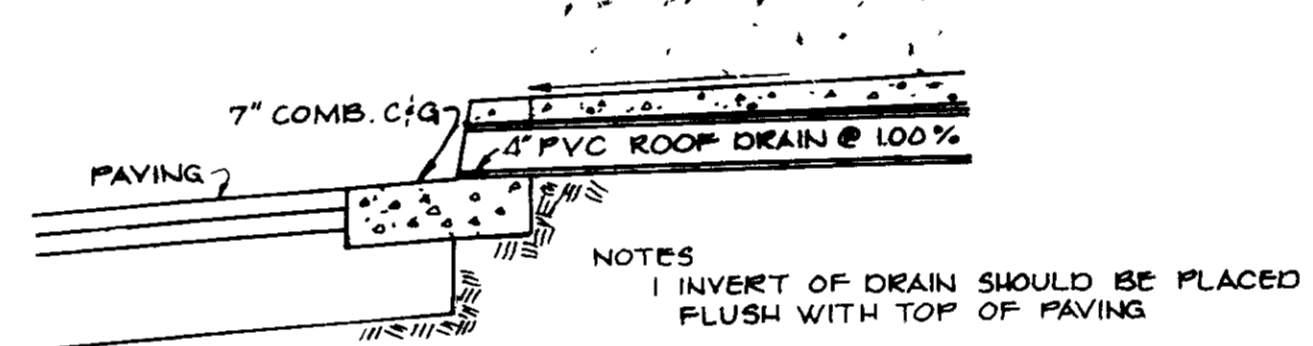


HOWARD COUNTY DESIGN MANUAL VOLUME III  
STANDARD SPECIFICATIONS AND DETAILS FOR  
CONSTRUCTION (DRAWING R-301)

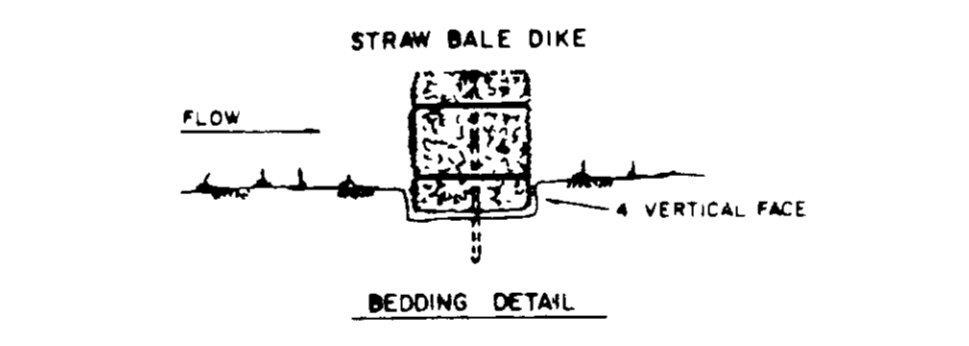
**STANDARD 7" COMBINATION  
CURB AND GUTTER**  
No Scale

**PERMANENT SEEDING NOTES**  
Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.  
**Seedbed Preparation** Loosen upper three inches of soil by raking, disking or other acceptable means before seeding.  
**Soil Amendment** Apply 0-20-20 fertilizer at the rate of 600 lbs per acre narrow or disc 1-m and 0-20-20 fertilizer into the soil to a minimum depth of 3". Lawns or high maintenance areas will be dragged and leveled with a York rake. At the time of seeding, apply 600 lbs of 10-0-0 ureiform fertilizer and 500 lbs of 10-20-20 or equivalent fertilizer per acre.  
**Seeding** For the periods March 1 thru April 30, and August 1 thru October 15, seed with 40 lbs per acre (1 lb/1000 sq ft) of a mixture of certified "Marion" Kentucky bluegrass, common Kentucky bluegrass # 40 lbs per acre (1 lb/1000 sq ft) and Red Fescue, Pennlawn or Jamestown # 20 lbs per acre (0.5 lb/1000 sq ft) for the period May 1 thru July 31, seed with 40-0-20 mix as specified above and 2 lbs per acre (0.05 lb/1000 sq ft.) of weeping lovegrass. During the period of October 15 thru February 28, protect site by (Option 1) 2 tons per acre of well-anchored straw mulch and seed as soon as possible in the spring (Option 2) Use sod (Option 3) Seed with 40-0-20 mix specified above and mulch with 2 tons/acre well-anchored straw.  
**Mulching** Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft.) of untreated small green straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 3rd gallons per acre (8 gal/1000 sq ft.) for anchoring.  
**Maintenance** Inspect all seeded areas and make needed repairs, replacements and reseedings.

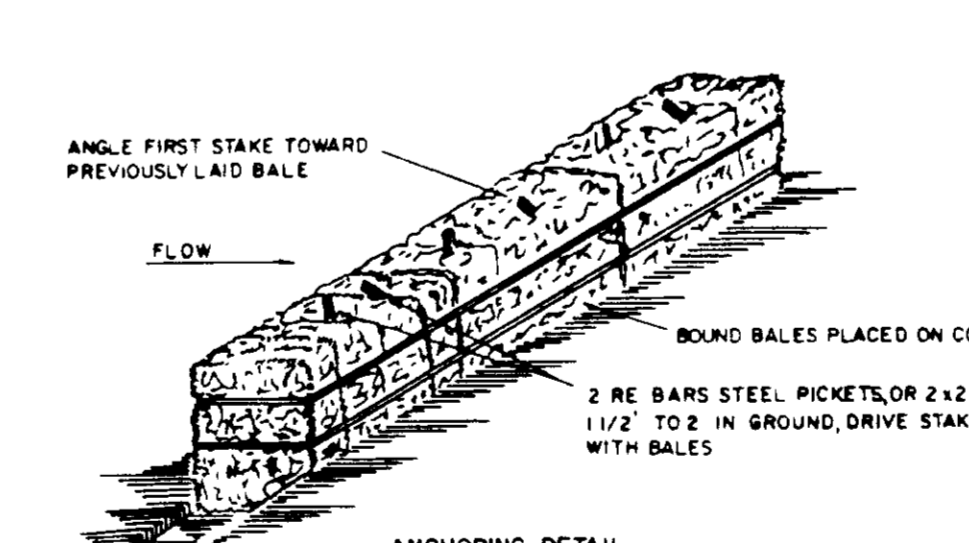
\* SEE ARCHITECT'S PLANS FOR LOCATIONS AND TURN-UP DETAILS



**TYPICAL ROOF DRAIN DETAIL**  
NO SCALE



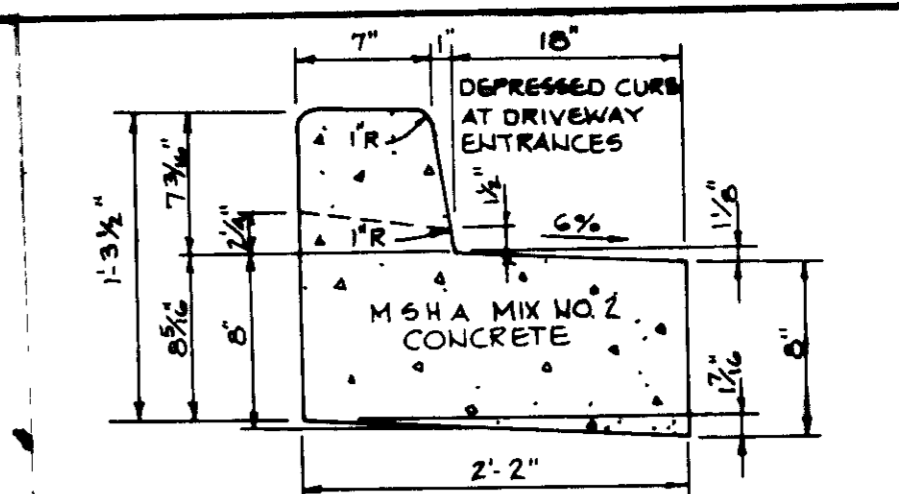
**STRAW BALE DIKE**  
BEDDING DETAIL



**ANCHORING DETAIL**  
CONSTRUCTION SPECIFICATIONS

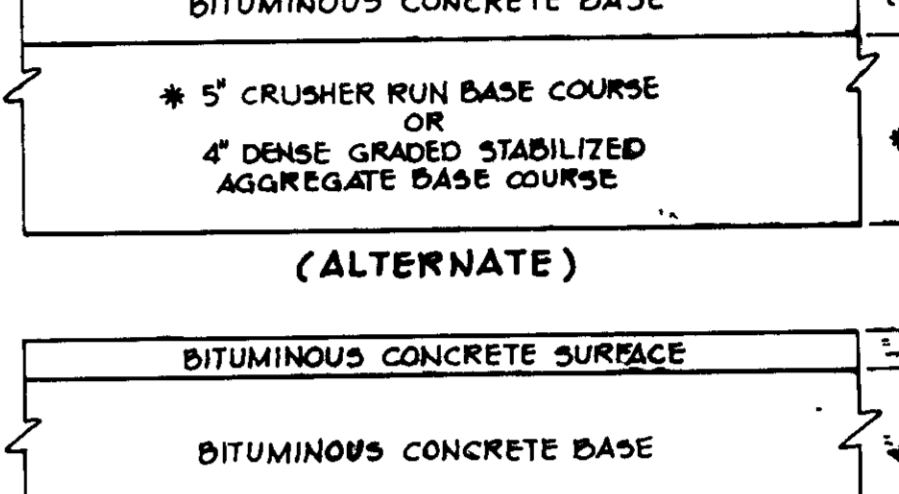
- BALES SHALL BE PLACED AT THE TOE OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH DIKS TIGHTLY ABUTTING THE ADJACENT BALES.
- EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF (4) INCHES, AND PLACED SO THE BINDINGS ARE HORIZONTAL.
- BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
- INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPED STORM FLOW OR DRAINAGE.

**STRAW BALE DIKE**  
NO SCALE



HOWARD COUNTY DESIGN MANUAL VOLUME III  
STANDARD SPECIFICATIONS AND DETAILS FOR  
CONSTRUCTION (DRAWING R-201)

**REVERSE 7" COMBINATION  
CURB AND GUTTER**  
No Scale



**(ALTERNATE)**  
**BITUMINOUS CONCRETE SURFACE**  
**BITUMINOUS CONCRETE BASE**  
**(5" PAVING, P-1)**  
NO SCALE

**SEDIMENT CONTROL NOTES**  
1 A minimum of 24 hours notice must be given to the Howard County Office of Inspections and Permits prior to the start of any construction (992-2437)  
2 All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.  
3 Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.  
4 All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.  
5 All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 51) soil (Sec. 50), temporary seeding (Sec. 50) and mulching (Sec. 52). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.  
6 All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.  
7 Site Analysis  
Total Area of Site \_\_\_\_\_ acres 1620.50 FT  
Area Disturbed 0.007 acres 386.05 sq FT  
Area to be roofed or paved 0.007 acres 386.05 sq FT  
Area to be vegetatively stabilized 0.000 acres 0.00 sq FT  
Total Cut \_\_\_\_\_ cu yds  
Total Fill \_\_\_\_\_ cu yds  
8 Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.  
9 Additional sediment controls must be provided, if deemed necessary by the Howard County DPW sediment control inspector.  
10 Site grading will begin only after all perimeter sediment control measures have been installed and are in a functioning condition.  
11 Sediment will be removed from traps when its depth reaches the clean out elevation shown on the plans.

**SEQUENCE OF CONSTRUCTION**  
1. OBTAIN GRAD M. PERMIT  
2. INSTALL STRAW BALES (1/2 day)  
3. REMOVE EXISTING PAVING, CURB AND GUTTER (1 day)  
4. INSTALL PROPOSED PAVING, CURB AND GUTTER (2 days)  
5. UPON APPROVAL OF HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS SEDIMENT CONTROL INSPECTION REMOVE ALL REMAINING SEDIMENT CONTROL DEVICES AND STABILIZE ALL DISTURBED AREAS IN ACCORDANCE WITH PERMANENT SEEDING NOTES (1/2 day)

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,  
HOWARD COUNTY HEALTH DEPARTMENT  
*John B. ...* 2/11/88  
COUNTY HEALTH OFFICER # DATE

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
*...* 2-18-88  
PLANNING DIRECTOR DATE

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*...* 2/1/88  
DIRECTOR DATE

BY THE DEVELOPER  
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.  
*...* 1-20-88  
DEVELOPER DATE

BY THE ENGINEER  
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."  
*...* 1-29-88  
ENGINEER DATE

REVIEWED FOR HOWARD S.C.D. NAME  
AND MEETS TECHNICAL REQUIREMENTS  
*...* 1-29-88  
DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
HOWARD S.C.D. DATE

OWNER ROUSE AND ASSOCIATES  
5950 SYMPHONY WOODS OFFICE CENTER  
SUITE 300  
COLUMBIA, MARYLAND 21044

DEVELOPER OVERTON & OGBURN ASSOCIATES, INC.  
4626 ANNAPOLIS ROAD  
BLADENSBURG, MARYLAND 20710

PROJECT DRIVE THRU BANK FACILITY ADDITION TO SDP-86-141-C  
SYMPHONY WOODS BANK-KIOSK

AREA TAX MAP #36 TOWN CENTER PLAT 6657  
SYMPHONY WOODS OFFICE CENTER  
SECTION 5 AREA 2 PARCEL A-2  
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE **SEDIMENT CONTROL PLAN  
AND DETAIL SHEET**

**THE RIEMER GROUP, INC.**  
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
3105 North Ridge Road, Ellicott City, Maryland 21043 (301) 461-2690

DATE 1-20-88  
DESIGNED BY JOP  
DRAWN BY DDB  
PROJECT NO 44600  
DATE SEPTEMBER 18, 1987  
SCALE AS SHOWN  
DRAWING NO 2 OF 2

APPROVED  
PLANNING  
OFFICE OF HOWARD  
DATE 1-6-88