

PARCEL F-2
VILLAGE OF OWEN BROWN
SECTION 5, AREA 1,
ZONED NT - EMPLOYMENT CENTER
COMMERCIAL

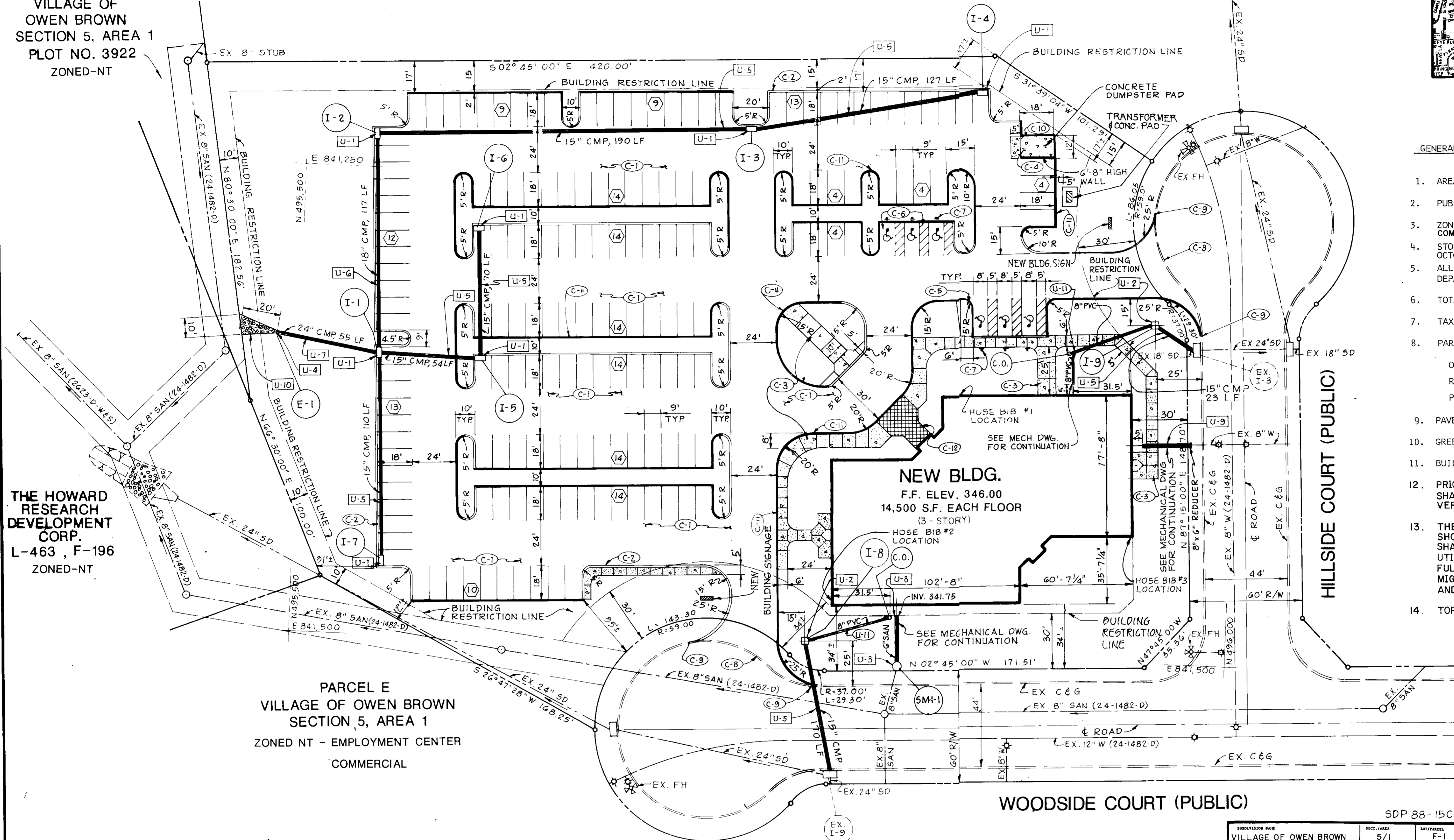
HAZARDOUS MATERIAL NOTE

THE OWNER SHALL PROVIDE A SEPARATE AND INDEPENDENT SEWER CONNECTION FOR EACH TENANT OR OCCUPANT OF ANY BUILDING, SHOWN ON THIS SITE DEVELOPMENT PLAN, WHO WILL DISCHARGE NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM IF THIS WASTE IS REGULATED UNDER SECTION 18.122A OF THE HOWARD COUNTY CODE. EACH SEPARATE AND INDEPENDENT SEWER CONNECTION SHALL INCLUDE A STANDARD MANHOLE AND OTHER WASTE PRETREATMENT DEVICES AS REQUIRED AND APPROVED BY HOWARD COUNTY. WASTE LINES ON THE INTERIOR OF THE BUILDING SHALL BE DESIGNED, CONSTRUCTED OR MODIFIED SUCH THAT NON-DOMESTIC WASTE WILL BE DISCHARGED TO THE SEPARATE AND INDEPENDENT SEWER CONNECTION. NO TENANT OR OCCUPANT OF ANY BUILDING SHOWN ON THIS SITE DEVELOPMENT PLAN SHALL DISCHARGE REGULATED NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM PRIOR TO INSTALLATION OF THE SEPARATE AND INDEPENDENT SEWER CONNECTION AND RELATED INTERIOR WASTE LINES. THE ABOVE REQUIREMENTS SHALL APPLY TO ALL INITIAL AND FUTURE OCCUPANTS OR TENANTS.

LOT 3
OPEN SPACE
VILLAGE OF
OWEN BROWN
SECTION 5, AREA 1
PLOT NO. 3922
ZONED-NT

THE HOWARD
RESEARCH
DEVELOPMENT
CORP.
L-463, F-196
ZONED-NT

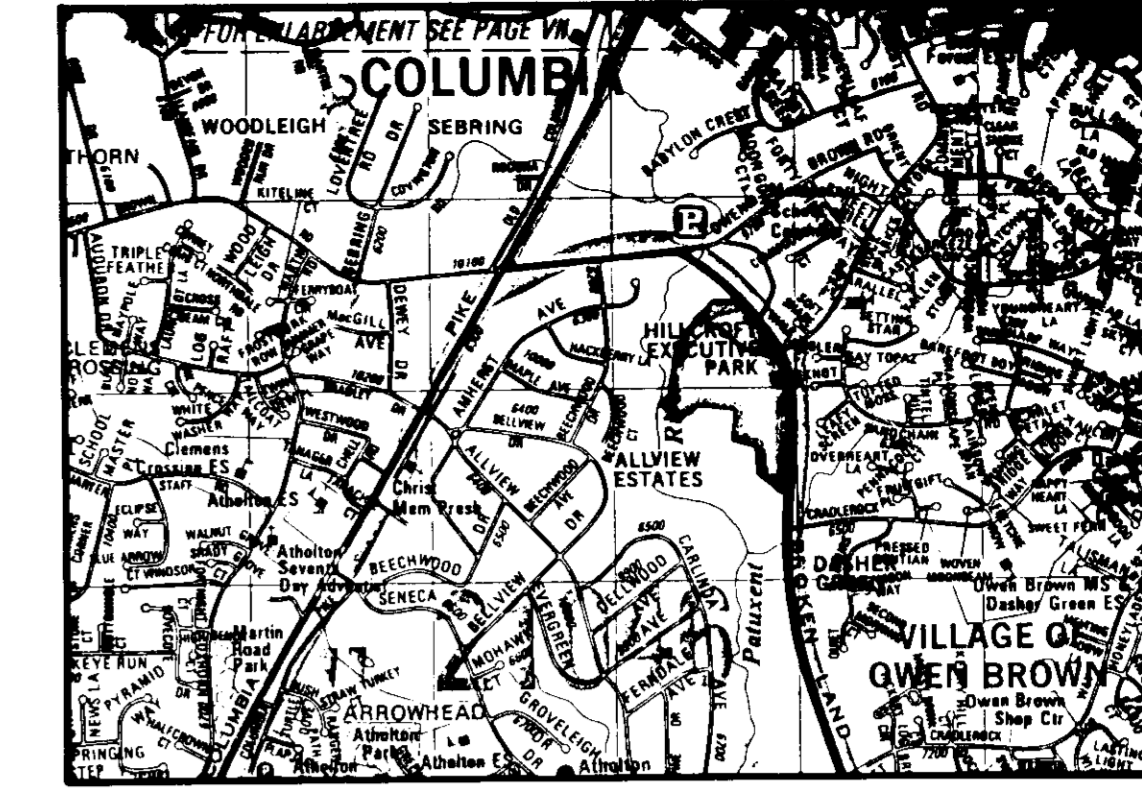
PARCEL E
VILLAGE OF OWEN BROWN
SECTION 5, AREA 1
ZONED NT - EMPLOYMENT CENTER
COMMERCIAL



PLAN
SCALE: 1"=30'

- CONSTRUCTION NOTES
- U-1 NEW DOUBLE TYPE "S" COMBINATION INLET, SEE STRUCTURE SCHEDULE, SHEET SD-6
 - U-2 NEW TYPE "S" INLET, SEE STRUCTURE SCHEDULE, SHEET SD-6
 - U-3 NEW STANDARD PRECAST MANHOLE, HOWARD COUNTY STANDARDS DETAIL G 5.12
 - U-4 NEW METAL END SECTION, HOWARD COUNTY STANDARD DETAIL SD 5.61. SEE PROFILE SHEET SD-6.
 - U-5 NEW 15" CMP, SEE PROFILE SHEET SD-6
 - U-6 NEW 18" CMP, SEE PROFILE SHEET SD-6
 - U-7 NEW 24" CMP, SEE PROFILE SHEET SD-6
 - U-8 NEW 6" SANITARY HOUSE CONNECTION
 - U-9 NEW 8" WATER HOUSE CONNECTION. PROVIDE 4' MIN COVER
 - U-10 NEW RIPRAP OVER FILTER CLOTH. SEE PROFILE SHEET SD-6.
 - U-11 NEW 8" PVC ROOF LEADER AND CLEANOUT

- CONSTRUCTION NOTES
- C-1 NEW BITUMINOUS PAVING, SEE DETAIL SHEET SD-6
 - C-2 NEW CONCRETE CURB & GUTTER, SEE DETAIL SHEET SD-6
 - C-3 NEW CONCRETE SIDEWALK, SEE DETAIL SHEET SD-6
 - C-4 NEW CONCRETE DUMPSTER PAD, SEE DETAIL SHEET SD-7
 - C-5 NEW HANDICAPPED RAMP, SEE DETAIL SHEET SD-6
 - C-6 NEW HANDICAPPED STRIPING, SEE DETAIL SHEET SD-6
 - C-7 NEW HANDICAPPED PARKING SIGNS, SEE DETAIL SHEET SD-6
 - C-8 REMOVE EXISTING CURB & GUTTER
 - C-9 MEET EXISTING GRADE
 - C-10 NEW 6'-8" HIGH WALL. MATERIAL SAME AS BUILDING.
 - C-11 NEW CONCRETE CURB AND GUTTER WITH REVERSED GUTTER SLOPE, SEE DETAIL SHEET SD-6
 - C-12 NEW SPECIAL PAVERS, SEE DETAIL SHEET SD-3



GENERAL NOTES

- AREA OF PROPERTY - 3.516 AC.
- PUBLIC WATER AND PUBLIC SEWER WILL BE UTILIZED.
- ZONING- NEW TOWN (NT) - EMPLOYMENT CENTER COMMERCIAL, FDP-149-A-1
- STORMWATER MANAGEMENT FACILITY WAS WAIVED PER LETTER DATED OCTOBER 1, 1986 FROM THE DIRECTOR OF PUBLIC WORKS
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS STANDARD & SPECIFICATIONS.
- TOTAL AREA OF LANDSCAPED ISLAND - 10,410 SF
- TAX MAP NO. 48
- PARKING REQUIREMENT:
OFFICE USE - FLOOR AREA = 43,500 SF
REQUIRED = 2/1000 SF X 43,500 = 87 SPACES
PROVIDED - 172 SPACES
- PAVED AREA = 1.744 AC.; 49.6%
- GREEN AREA = 1.771 AC.; 50.4%
- BUILDING COVERAGE = 0.333 AC.; 9.5% = 14,505.48 SQ. FT.
- PRIOR TO THE START OF ANY CONSTRUCTION, THE CONTRACTOR SHALL STAKE OUT ALL BASELINES, BUILDING LOCATION, AND VERIFY OFFSETS AND SETBACKS.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- TOPO TAKEN FROM SURVEY BY BEAVIN CO. DATED JULY 2, 1987.

ADDRESS CHART	
LOT NO.	ADDRESS
F-1	6400 WOODSIDE COURT.

PROJECT:
6400 WOODSIDE COURT
VILLAGE OF OWEN BROWN
SECTION 5, AREA 1, PARCEL F-1
6TH ELECTION DISTRICT HOWARD CO., MARYLAND
PLAT NO. 7004, TAX MAP NO. 38

TITLE:
SITE LAYOUT & UTILITY PLAN

OWNER: HILLCROFT I LIMITED PARTNERSHIP
7 EAST REDWOOD ST. SUITE 1200
BALTIMORE, MARYLAND 21202
ATTENTION: DAVID FREDERICK

DATE: 10/28/88

DESIGNED: ART
DRAWN: GSB
CHECKED: BDJ
PROJECT NO.: 87084
DATE: JULY 2ND, 1987
SCALE: AS SHOWN

DATE: 10-14-88

DESIGNED: ART
DRAWN: GSB
CHECKED: BDJ
PROJECT NO.: 87084
DATE: JULY 2ND, 1987
SCALE: AS SHOWN

PROFESSIONAL ENGR. NO. 9972

SDP 88-15C

VILLAGE OF OWEN BROWN	SECT. JARA 5/1	LOT/FACIL. F-1
PLAT/F 7044	BLOCK/F 14	ZONE NT-EMP COMM.
TAX/ZONE MAP 36	ELEC. DIST. 6	COVER YR. 6061.02
WATER CODE E13	SEWER CODE 5410000	
APPROVED: FOR PUBLIC WATER AND SEWERAGE, STORM DRAINAGE SYSTEM AND PUBLIC WORKS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS		
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWER SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT		
APPROVED: PLANNING AND ENGINEERING		

no.	date	comments
8-24-87	REV. BLDG. RESTRICT. LINE	

ROSS MURPHY FINKELSTEIN, INC.
Mechanical/Electrical Engineers

LPJ, INC.
Structural Engineers

WHITNEY, BAILEY, COX, & MAGNANI
Civil Engineers

6400 Woodside Court
Columbia, Maryland

Hillicroft I Limited Partnership

Marshall Craft Associates, Inc.

7215 York Road, Suite 100
Baltimore, Maryland 21111
301-339-7979

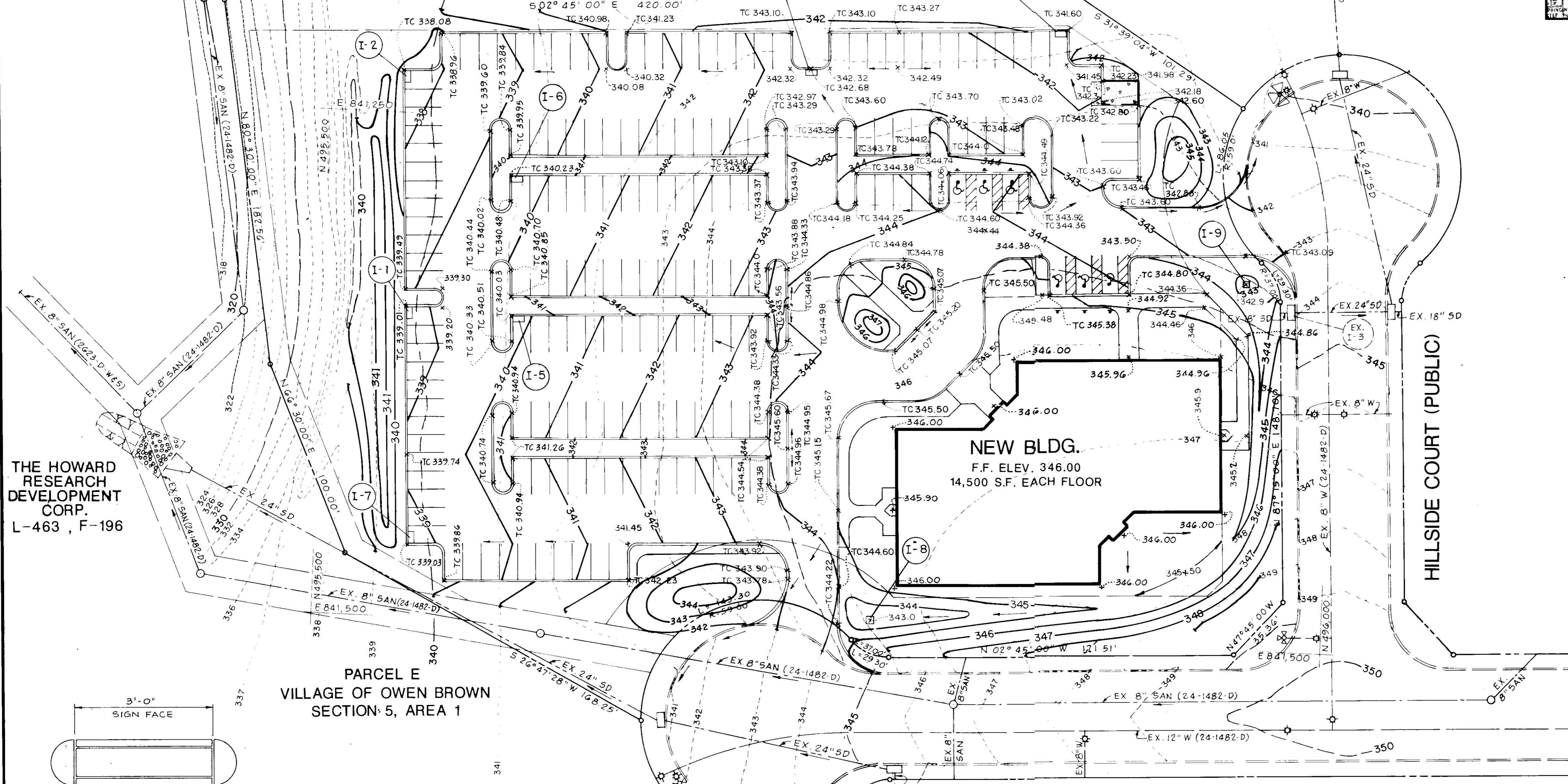
date: 10-14-88
job no:
scale:

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sheet no: SD-1

PARCEL F-2
VILLAGE OF OWEN BROWN
SECTION 5, AREA 1,

LOT 3
OPEN SPACE
VILLAGE OF OWEN BROWN
SECTION 5, AREA 1
PLOT NO. 3922



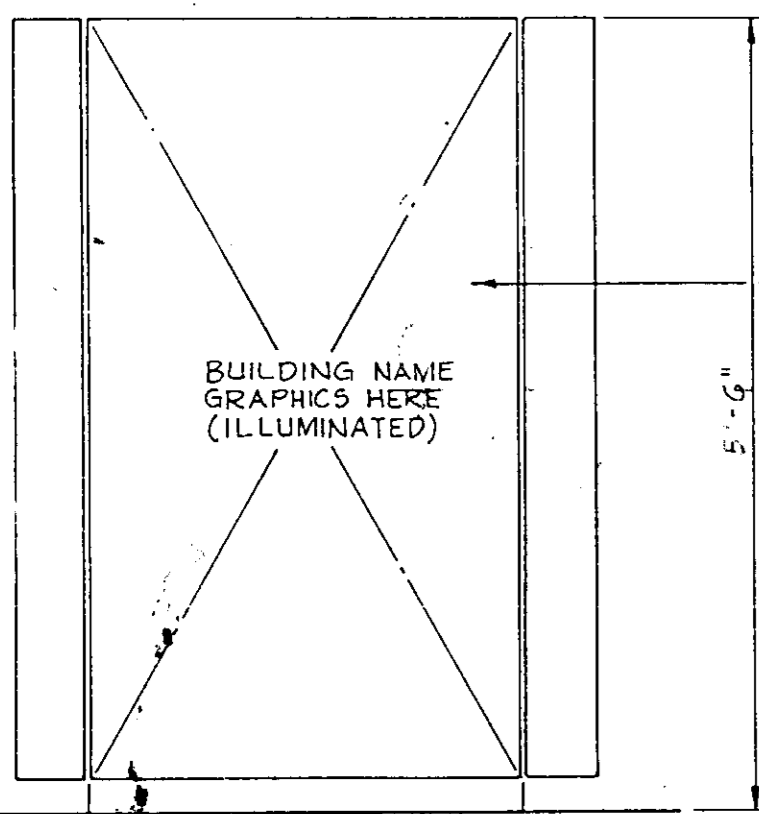
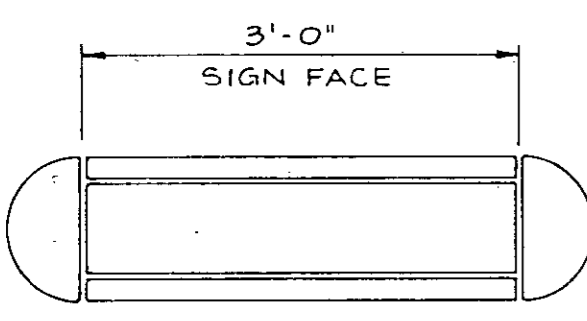
THE HOWARD
RESEARCH
DEVELOPMENT
CORP.
L-463, F-196

PARCEL E
VILLAGE OF OWEN BROWN
SECTION 5, AREA 1

WOODSIDE COURT (PUBLIC)

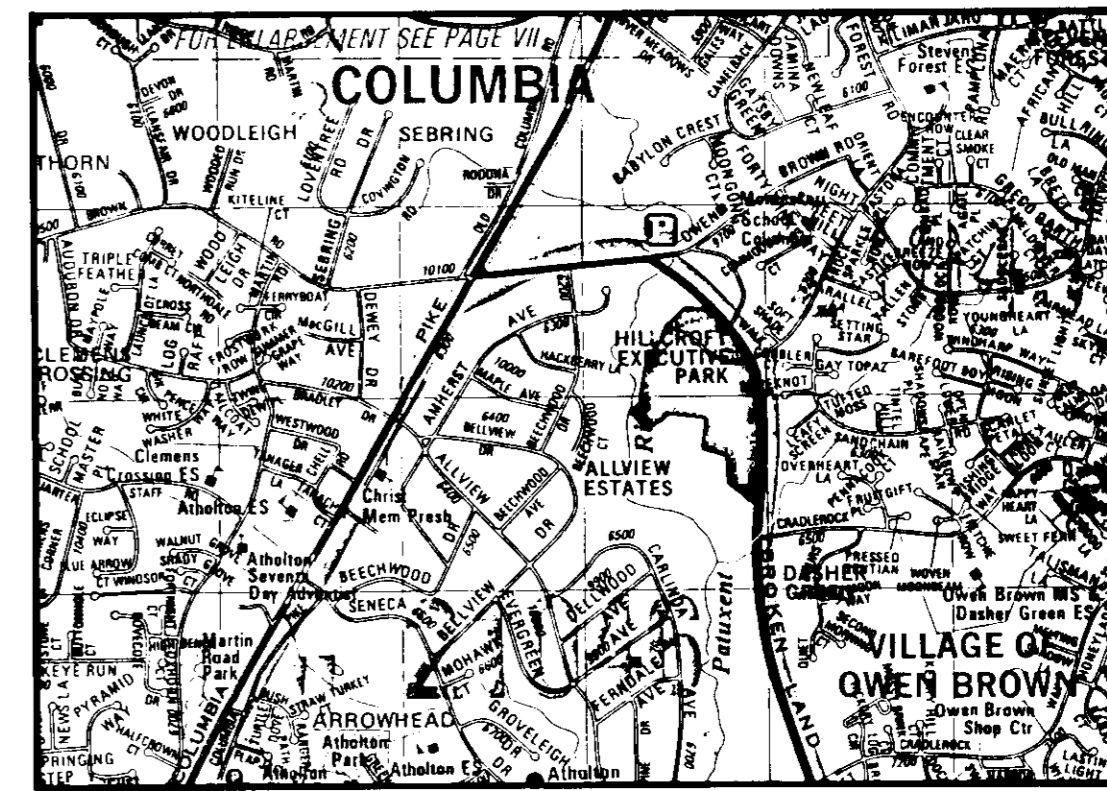
HILLSIDE COURT (PUBLIC)

PLAN
SCALE: 1"=30'



ELEVATION
BUILDING SIGNAGE
3/4"=1'-0"

BASE MOUNT, TWO SIDED
INTERNALLY ILLUMINATED
EXTERIOR SIGNAGE W/
RADIUS SIDES &
CHANGEABLE PANELS W/
CONCRETE FOUNDATION



VICINITY MAP
SCALE: 1"=2000'

no.	date	comments
1	8-24-87	REV. GRADING

ROSS MURPHY
FINKELSTEIN, INC.
Mechanical/Electrical Engineers

LPJ, INC.
Structural Engineers

WHITNEY, BAILEY,
COX, & MAGNANI
Civil Engineers

6400 Woodside Court
Columbia, Maryland

Hillcroft I Limited Partnership

**Marshall
Craft
Associates,
Inc.**

7717 York Road, Suite 100
Baltimore, Maryland
301.343.7979

PROJECT:
6400 WOODSIDE COURT
VILLAGE OF OWEN BROWN
SECTION 5, AREA 1, PARCEL F-1
6TH ELECTION DISTRICT HOWARD CO., MARYLAND
PLAT NO. 7004, TAX MAP NO. 36

TITLE:
GRADING PLAN

OWNER: HILLCROFT I LIMITED PARTNERSHIP
7 EAST REDWOOD ST. SUITE 1200
BALTIMORE, MARYLAND 21202
ATTENTION: DAVID FREDERICK

Consulting Engineers
1830 Tolia Road
Towson, Maryland 21093 301.252.6060

WHITNEY, BAILEY, COX & MAGNANI

DATE 10/28/87 DESIGNED: ART
DRAWN: GSB
CHECKED: BDJ
PROJECT NO. 87084
DATE: JULY 2ND, 1987
SCALE: AS SHOWN
PROFESSIONAL ENGR. NO. 9972 DRAWING NO. 2 OF 7

SUBMITTAL PAGE		SDP 88-15C
PLAT #	BLK #	LOT #
VILLAGE OF OWEN BROWN	5/1	F-1
7044	14	36
DATE	DATE	DATE
10-24-88	10-24-88	10-24-88
DATE	DATE	DATE
10-31-88	10-31-88	10-31-88
DATE	DATE	DATE
12-5-88	12-5-88	12-5-88
DATE	DATE	DATE
11-21-88	11-21-88	11-21-88
DATE	DATE	DATE
11-21-88	11-21-88	11-21-88

10-14-87
LKS

PARCEL F-2
VILLAGE OF OWEN BROWN
SECTION 5, AREA 1,

LOT 3
OPEN SPACE
VILLAGE OF
OWEN BROWN
SECTION 5, AREA 1
PLOT NO. 3922

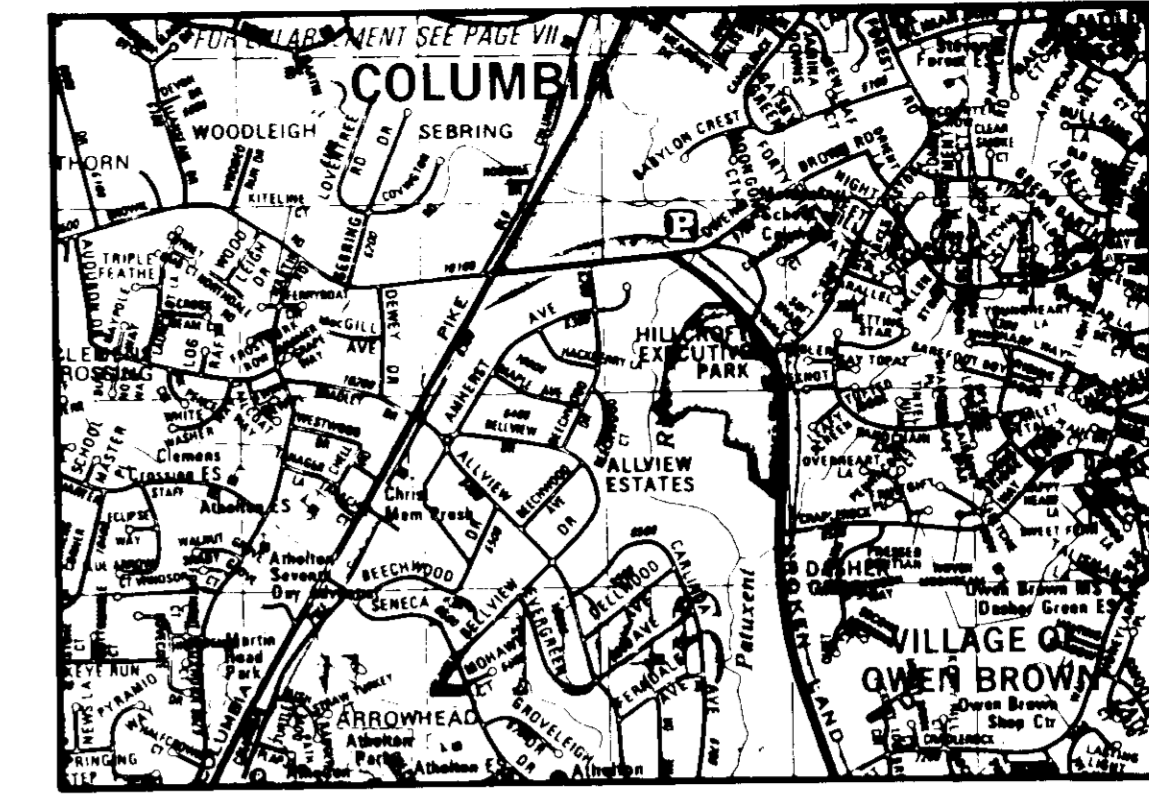
THE HOWARD
RESEARCH
DEVELOPMENT
CORP.
463, F-198

PARCEL E
VILLAGE OF OWEN BROWN
SECTION 5, AREA 1

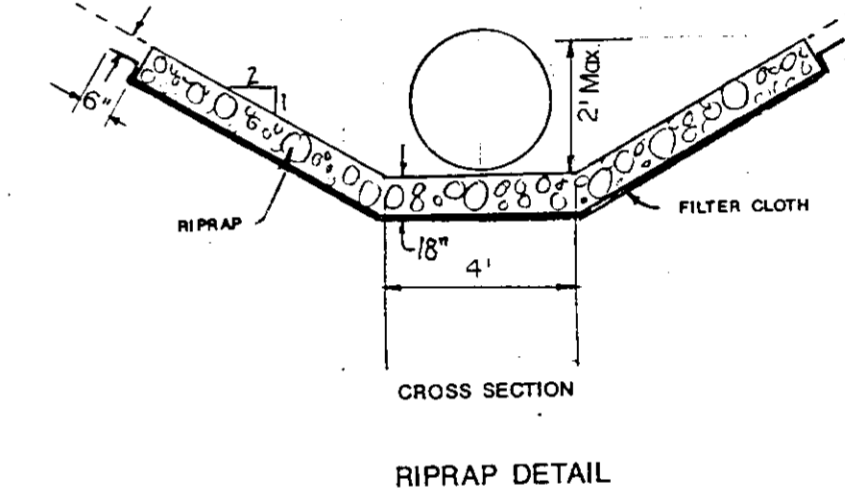
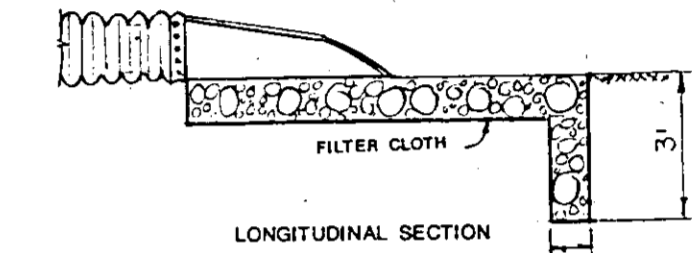
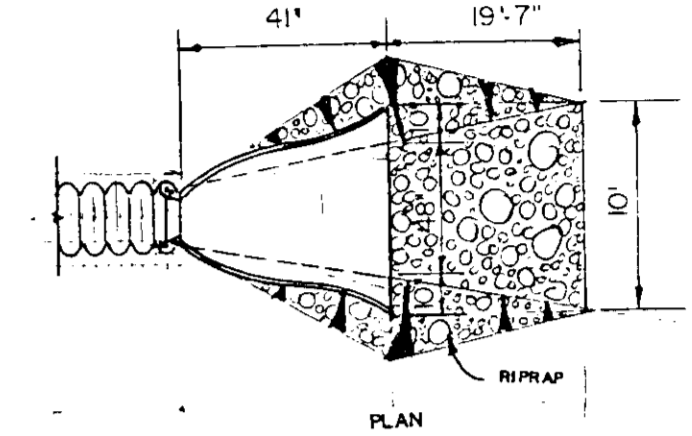
WOODSIDE COURT (PUBLIC)

HILLSIDE COURT (PUBLIC)

PLAN
SCALE: 1"=30'



VICINITY MAP
SCALE: 1"=2000'



RIPRAP DETAIL

revisions

no. date comments

0-24-87

ROSS MURPHY
FINKELSTEIN, INC.

Mechanical/Electrical Engineers

LPJ, INC.
Structural Engineers

WHITNEY, BAILEY,
COX, & MAGNANI
Civil Engineers

6400 Woodside Court
Columbia, Maryland

Hillcroft I Limited Partnership

Marshall
Craft
Associates,
Inc.

date:
job no:
scale:

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sheet no:

SD-3

PROJECT:
6400 WOODSIDE COURT
VILLAGE OF OWEN BROWN
SECTION 5, AREA 1, PARCEL F-1
6TH ELECTION DISTRICT HOWARD CO., MARYLAND
PLAT NO. 7904, TAX MAP NO. 36

TITLE:
STORM DRAINAGE AREA MAP

OWNER: HILLCROFT I LIMITED PARTNERSHIP
7 EAST REDWOOD ST. SUITE 1200
BALTIMORE, MARYLAND 21202
ATTENTION: DAVID FREDERICK

Whitney, Bailey, Cox & Magnani
1850 York Road
Temple Hills, Maryland 21150
301 252 0000

DATE: 10/28/87

DESIGNED: AGN

DRAWN: GSB

CHECKED: BDJ

PROJECT NO. 87084

DATE: JULY 2ND, 1987

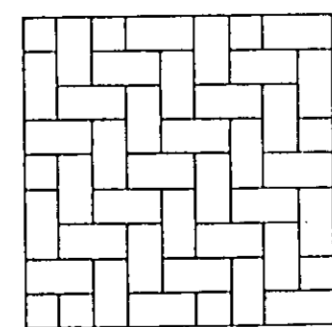
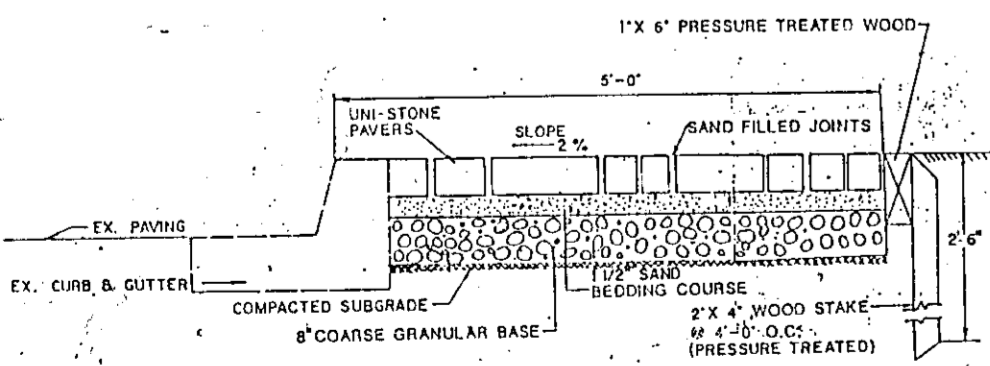
SCALE: AS SHOWN

PROFESSIONAL ENGR. NO. 9972
DRAWING NO. 3 OF 7

SDP 88-15C	
DATE: 10-14-87 LKS	
APPROVED: FOR PUBLIC WATER AND SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HILLCROFT I LIMITED PARTNERSHIP	DATE: 10-24-87
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWER SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT	DATE: 10-31-87
APPROVED: FOR PLANNING AND ZONING PLANNING SECTION	DATE: 12-5-87
APPROVED: CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT	DATE: 11-21-87

SPECIAL PAVERS DETAIL
NOT TO SCALE

SPECIAL PAVERS LAYING DETAIL
NOT TO SCALE



SDP 88-15c

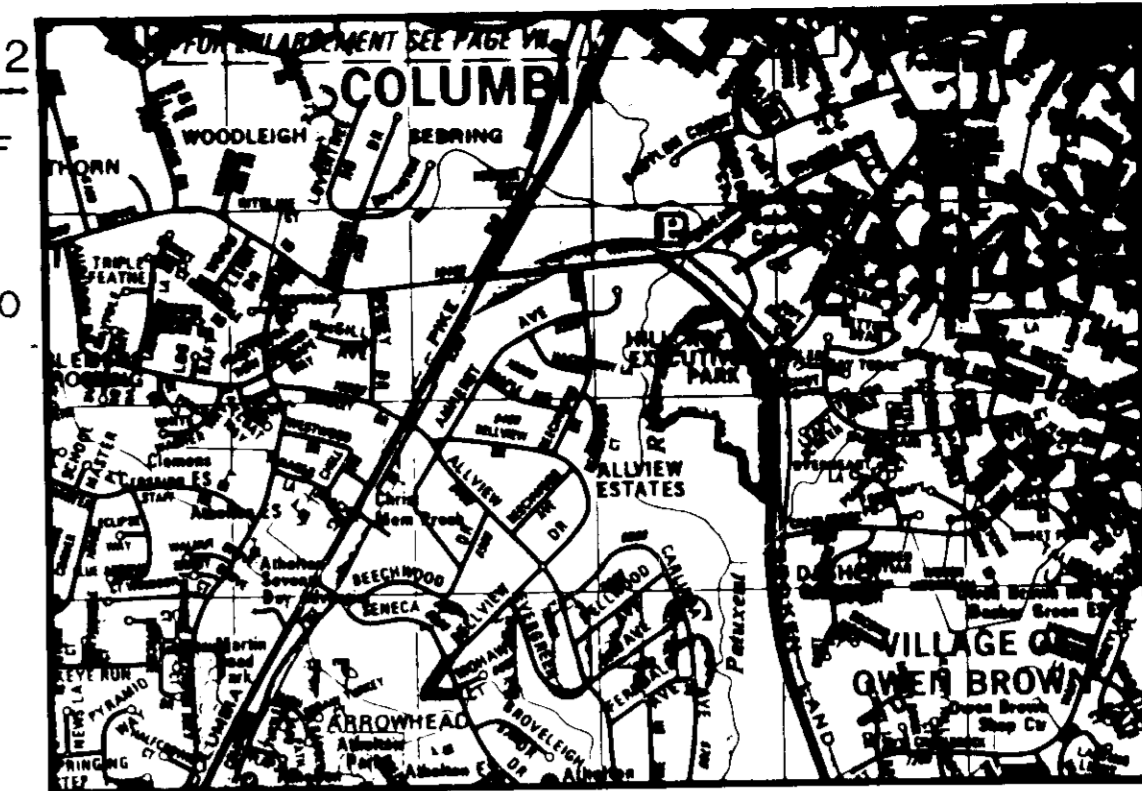
PARCEL F-2
VILLAGE OF OWEN BROWN
SECTION 5, AREA 1,

LOT 3
OPEN SPACE
VILLAGE OF
OWEN BROWN
SECTION 5, AREA 1
PLOT NO. 3922

I.P. - INLET PROTECTION

STONE OUTLET SEDIMENT TRAP NO.2

DRAINAGE AREA = 1.00 AC.
VOLUME REQ'D. = 1800 x 1 = 1800 CF
VOLUME PROVIDED = 2000 CF
BOTTOM ELEV. = 338.00
CLEANOUT ELEV. = 339.25
STONE WEIR CREST ELEV. = 341.50
STONE OUTLET LENGTH = 4'
TOP OF DAM ELEV. = 342.50
TRAP: WIDTH = 10'
LENGTH = 80'
DEPTH = 2.5'
SIDE SLOPE = 2:1



VICINITY MAP
SCALE: 1" = 200'

CONSTRUCTION SEQUENCE

- OBTAIN GRADING PERMITS - 2 WEEKS
 - CLEARING AND GRUBBING FOR THE INSTALLATION OF PERIMETER CONTROL - 1 WEEK
 - INSTALL SEDIMENT CONTROL DEVICES - 2 WEEKS
 - CLEARING AND GRUBBING OF SITE - 2 WEEKS
 - START GRADING TO SUBGRADE AND EXCAVATION FOR BUILDING CONSTRUCTION - 3 WEEKS
 - START BUILDING CONSTRUCTION - 4 MONTHS
 - START INSTALLATION OF STORM DRAIN, WATER AND SEWER, EXCEPT STORM DRAIN FROM E-1 TO I-1, I-1 TO I-4 TO I-3 AND I-1 TO I-2 - 2 MONTHS
INSTALL INLET PROTECTION TO AN INLET
 - START INSTALLATION OF CURB AND GUTTER
 - STABILIZE DISTURBED AREA NOT TO BE PAVED - 4 MONTHS
 - START PAVING PARKING AREAS - 2 WEEKS
 - REMOVE SEDIMENT TRAPS AND GRADE PARKING AREA AND STABILIZE SLOPE - 4 MONTHS
 - COMPLETION OF REMAINING ACTIVITIES - 2 MONTHS
AND INSTALL REMAINING STORM DRAIN.
 - REMOVAL OF REMAINING SEDIMENT CONTROL DEVICES - 1 WEEK
- NOTE: ALL TIMES ARE APPROXIMATE AND SUBJECT TO CHANGE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.
Approved: *Stephen L. G... Date 11/14/88*
Howard S.C.D.

THE HOWARD RESEARCH DEVELOPMENT CORP.
L-483, F-198

STONE OUTLET SEDIMENT TRAP NO.1
DRAINAGE AREA = 2.06 AC.
VOLUME REQ'D. = 1800 x 2.06 = 3708 CF
VOLUME PROVIDED = 3740 CF
BOTTOM ELEV. = 334.80
CLEANOUT ELEV. = 335.65
STONE WEIR CREST ELEV. = 337.50
STONE OUTLET LENGTH = 10'
TOP OF DAM ELEV. = 338.50
TRAP: WIDTH = 10'
LENGTH = 220'
DEPTH = 1.70'
SIDE SLOPE = 2:1

PARCEL E
VILLAGE OF OWEN BROWN
SECTION 5, AREA 1

NEW BLDG.
F.F. ELEV. 348.00
14,500 S.F. EACH FLOOR

WOODSIDE COURT (PUBLIC)

PLAN
SCALE: 1" = 30'

Reviewed for S.C.D. Name and meets Technical Requirements. Signature: *Robert M. ...* Date: *11/14/88*
U.S. Soil Conservation Service

BY THE DEVELOPER:
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT."
David R. Deane 11/11/88
SIGNATURE OF DEVELOPER DATE
HILLCROFT I.P.T.O.

BY THE ENGINEER:
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."
Arthur D. ... 10/21/87
SIGNATURE OF ENGINEER DATE

10-14-88
LWS

VILLAGE OF OWEN BROWN		SECT./AREA 5/1	LIT/FRAMES F-1
PLAT NO. 7044	BLK NO. 14	FORM NT-EMP COMM	TAX/ZONE MAP 36
E13		SEWER CODE 5410000	
APPROVED FOR PUBLIC WATER AND SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROAD HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS		<i>James J. ...</i> 10/24/88 DATE	
APPROVED FOR THE PUBLIC WATER AND PUBLIC SEWER SYSTEM HOWARD COUNTY HEALTH DEPARTMENT		<i>James J. ...</i> 10-31-88 DATE	
APPROVED FOR THE OFFICE OF PLANNING AND ZONING PLANNING SECTION		<i>Arthur D. ...</i> 12-5-87 DATE	
APPROVED FOR THE CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT		<i>Frank V. ...</i> 11-2-88 DATE	

PROJECT:
6400 WOODSIDE COURT
VILLAGE OF OWEN BROWN
SECTION 5, AREA 1, PARCEL F-1
6TH ELECTION DISTRICT HOWARD CO., MARYLAND
PLAT NO. 7004, TAX MAP NO. 36

TITLE:
EROSION AND SEDIMENT CONTROL PLAN

OWNER: HILLCROFT I LIMITED PARTNERSHIP
7 EAST REDWOOD ST. SUITE 1200
BALTIMORE, MARYLAND 21202
ATTENTION: DAVID FREDERICK

Consulting Engineers
1850 York Road
Towson, Maryland 21286
301-252-6060
WHITNEY, BAILEY, COX & MAGNANI

DATE: 10/21/87
DESIGNED: ART
DRAWN: GSB
CHECKED: BDJ
PROJECT NO. 87084
DATE: JULY 2ND, 1987
SCALE: AS SHOWN
PROFESSIONAL ENGR. NO. 9972
DRAWING NO. 4 OF 7

revisions

no.	date	comments
1	10-24-87	REV 5ED CONTROL

ROSS MURPHY FINKELSTEIN, INC.
Mechanical/Electrical Engineers

LPJ, INC.
Structural Engineers

WHITNEY, BAILEY, COX, & MAGNANI
Civil Engineers

6400 Woodside Court
Columbia, Maryland

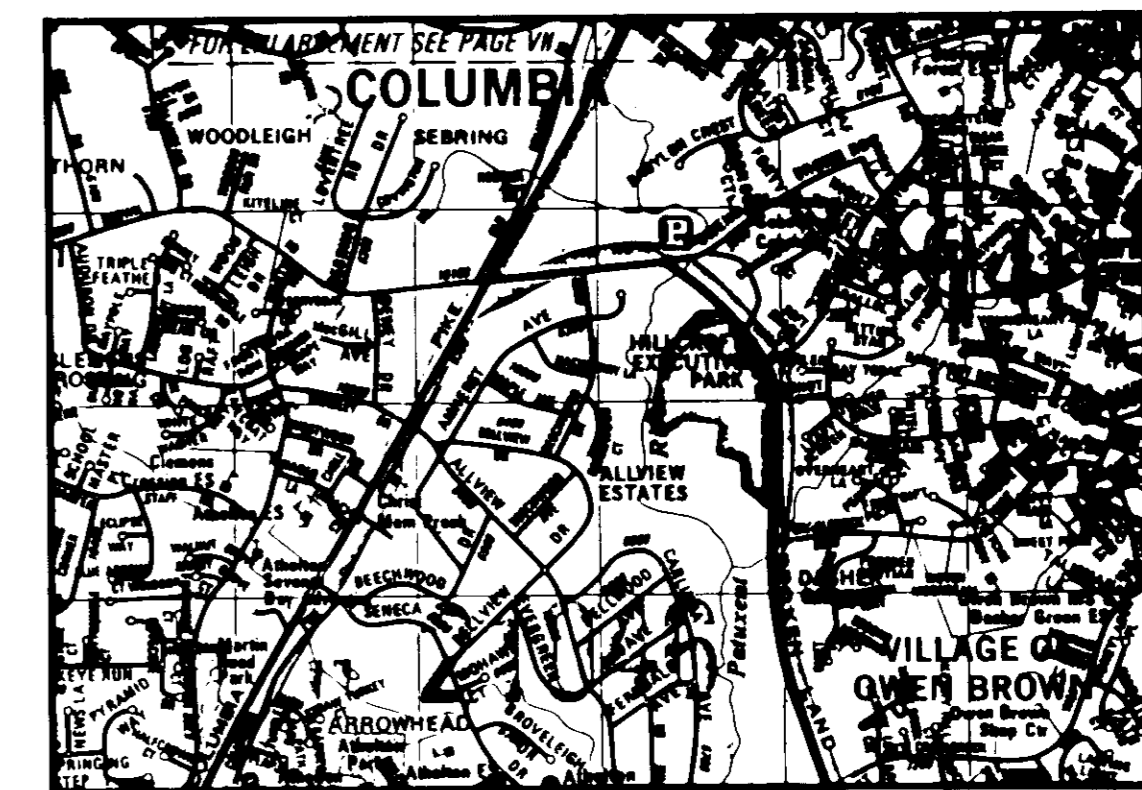
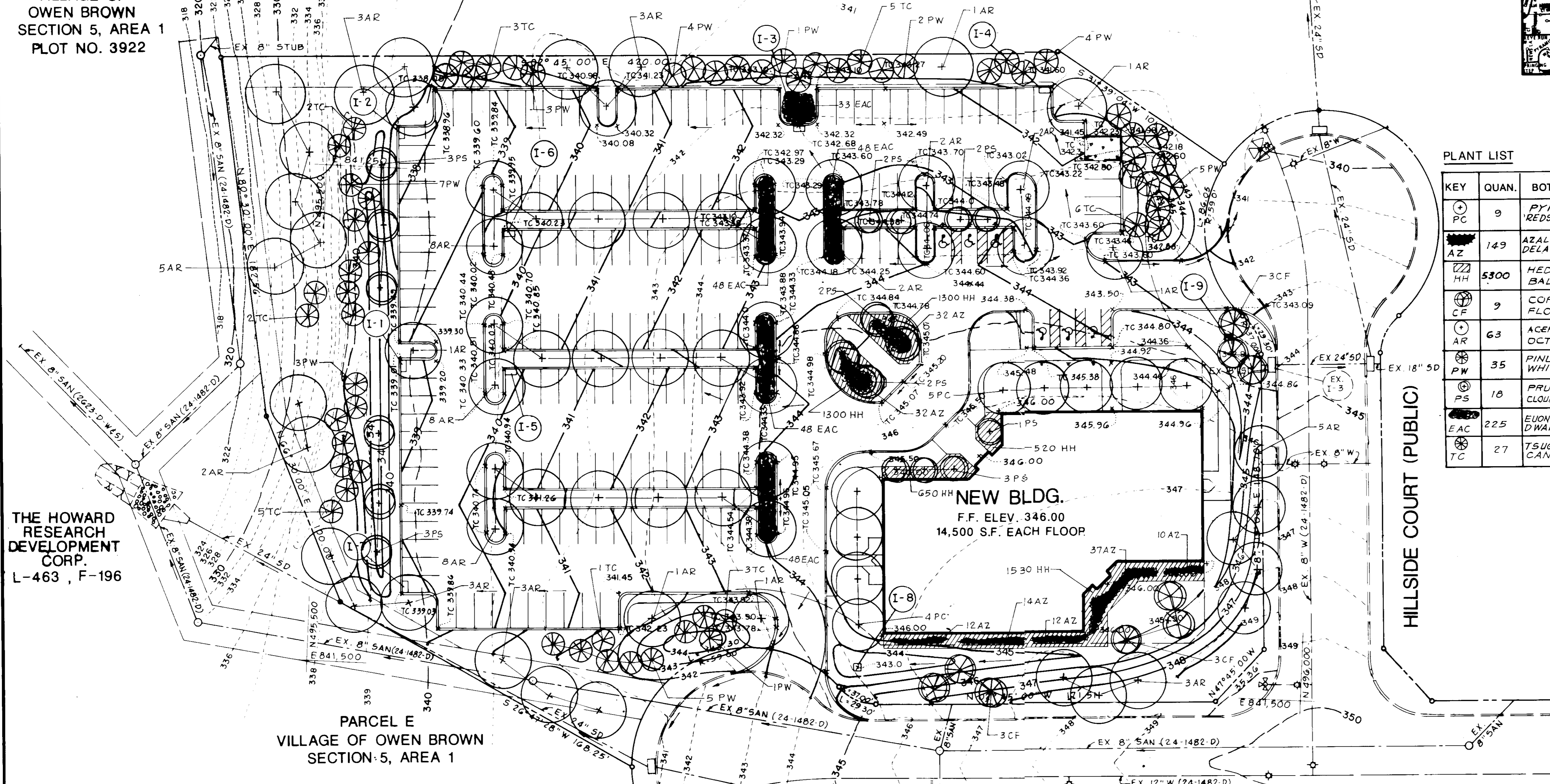
Hillcroft I Limited Partnership

Marshall Craft Associates, Inc.

date:
job no:
scale:
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sheet no: SD-4

PARCEL F-2
VILLAGE OF OWEN BROWN
SECTION 5, AREA 1,

LOT 3
OPEN SPACE
VILLAGE OF
OWEN BROWN
SECTION 5, AREA 1
PLOT NO. 3922



VICINITY MAP
SCALE: 1" = 200'

PLANT LIST

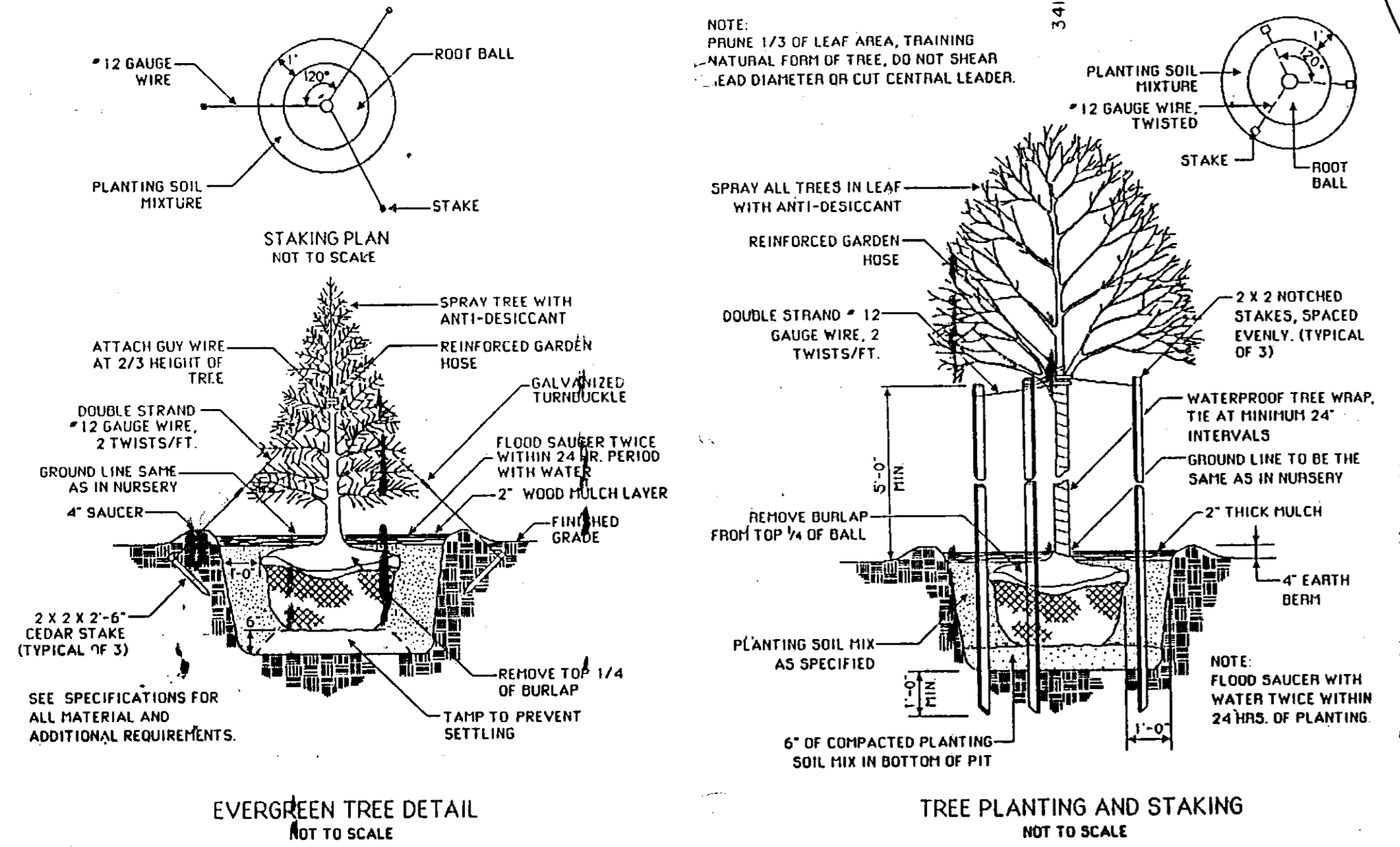
KEY	QUAN.	BOTANICAL/ COMMON NAME	SIZE	ROOT	REMARKS
PC	9	PYRUS CALLERYANA REDSPIRE PEAR	2 1/2'-3"	B & B	
AZ	149	AZALEA EXBURY HYBRID DELAWARE VALLEY WHITE	2'-2 1/2'	CONT	PLANT 3' O.C.
HH	5300	HEDERA HELIX BALTICA/ BALTIC IVY	12"-15"	CONT	PLANT 8" O.C. STAGGERED
CF	9	CORNUS FLORIDA/ FLOWERING DOGWOOD	8'-10' HT 2 1/2" CAL	B & B	
AR	63	ACER RUBRUM OCTOBER GLORY OCTOBER GLORY MAPLE	2'-2 1/2"	B & B	
PW	35	PINUS STROBUS/ WHITE PINE	6'-8'	B & B	
PS	18	PRUNUS SUBHIRTELLA 'ROSY CLOUD'/ ROSY CLOUD CHERRY	8'-10' HT 2 1/2" CAL	B & B	
EAC	225	EUONYMUS ALATUS COMPACTUS DWARF WINGED EUONYMUS	2'-2 1/2' HT	B & B	PLANT 3' O.C. STAGGERED ROWS
TC	27	TSUGA CANADENSIS/ CANADIAN HEMLOCK	6'-8'	B & B	

THE HOWARD
RESEARCH
DEVELOPMENT
CORP.
L-463, F-196

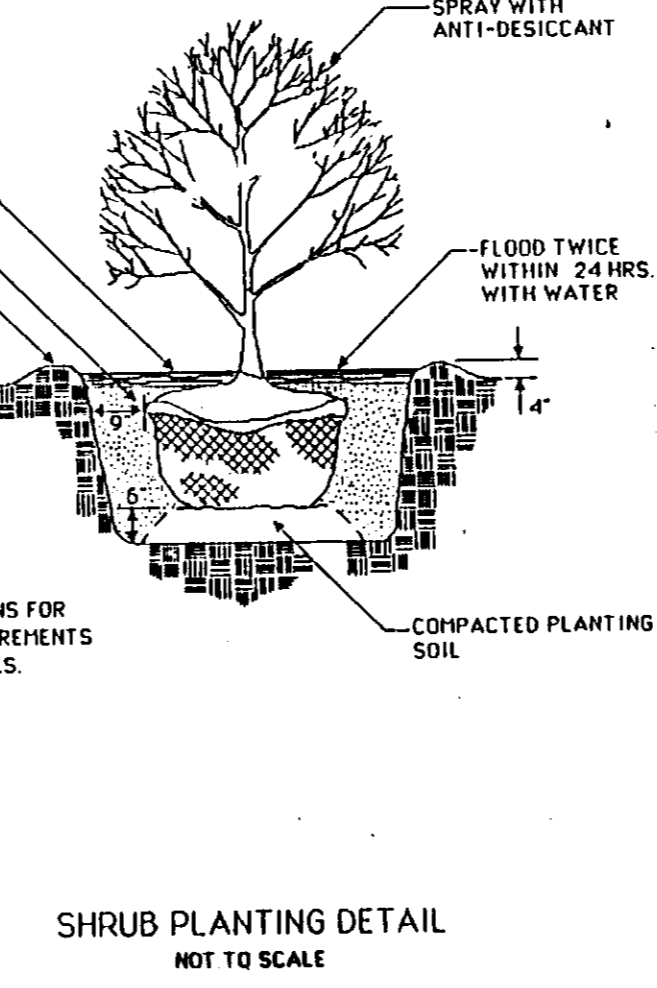
PARCEL E
VILLAGE OF OWEN BROWN
SECTION 5, AREA 1

WOODSIDE COURT (PUBLIC)

PLAN
SCALE: 1" = 30'



- GENERAL PLANTING NOTES
1. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN, "AMERICAN STANDARDS FOR NURSERY STOCK".
 2. CONTRACTOR SHALL BE REQUIRED TO GUARANTEE ALL PLANTS MATERIALS FOR A PERIOD OF ONE YEAR AFTER INSTALLATION IS COMPLETE AND APPROVED. AT THE END OF ONE YEAR ALL PLANT MATERIAL WHICH IS DEAD OR DYING SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH PLANT MATERIAL OF IDENTICAL TYPE, SIZE, AND CONDITION AS ORIGINALLY SPECIFIED.
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND/OR LOCATION OF PLANT MATERIALS TO AVOID CONFLICTS WITH UTILITIES. COORDINATE WITH UTILITY CONTRACTOR TO VERIFY 'AS BUILT' LOCATION OF ALL UTILITIES.
 4. EVERGREEN TREES SHALL HAVE A FULL, WELL-BRANCHED, CONICAL FORM TYPICAL OF THE SPECIES.



SHRUB PLANTING DETAIL
NOT TO SCALE

SDP 88-15C

PROJECT NAME VILLAGE OF OWEN BROWN	REVISION 5/1	DATE F-1
PLAT # 7044	BLK. # 14	COMM. # 36
E13		5410000
APPROVED FOR PUBLIC USE AND SUBMITTAL TO THE PUBLIC WORKS DIVISION OF THE BALTIMORE COUNTY DEPARTMENT OF PUBLIC WORKS		
APPROVED FOR PUBLIC USE AND SUBMITTAL TO THE PUBLIC WORKS DIVISION OF THE BALTIMORE COUNTY DEPARTMENT OF PUBLIC WORKS		
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PROJECT:
6400 WOODSIDE COURT
VILLAGE OF OWEN BROWN
SECTION 5, AREA 1, PARCEL F-1
6TH ELECTION DISTRICT HOWARD CO., MARYLAND
PLAT NO. 7004, TAX MAP NO. 36

TITLE:
LANDSCAPING PLAN

OWNER: HILLCROFT I LIMITED PARTNERSHIP
7 EAST REDWOOD ST. SUITE 1200
BALTIMORE, MARYLAND 21202
ATTENTION: DAVID FREDERICK

DATE: 10/28/87

DESIGNED: ART
DRAWN: GSB
CHECKED: BDJ
PROJECT NO. 87084
DATE: JULY 2ND, 1987
SCALE: AS SHOWN
DRAWING NO. 807

revisions

no.	date	comments
1	5-24-87	REV. GRADING

ROSS MURPHY FINKELSTEIN, INC.
Mechanical/Electrical Engineers

LPJ, INC.
Structural Engineers

WHITNEY, BAILEY, COX, & MAGNANI
Civil Engineers

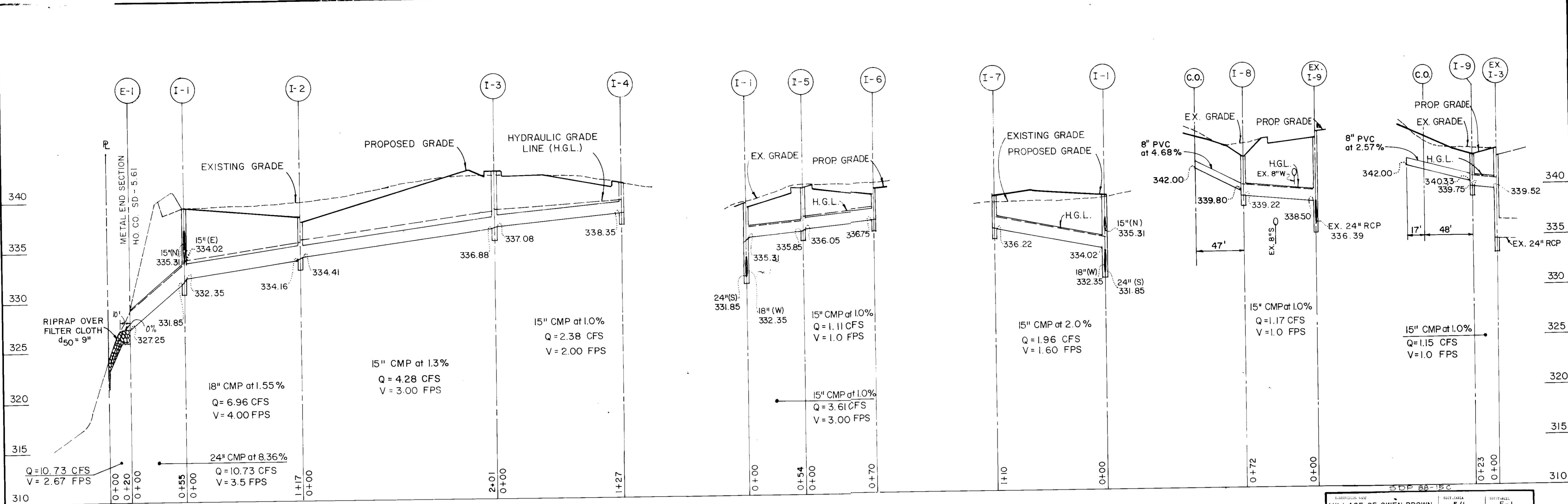
6400 Woodside Court
Columbia, Maryland

Hillcroft I Limited Partnership

Marshall
Craft
Associates,
Inc.

date:
job no:
scale:

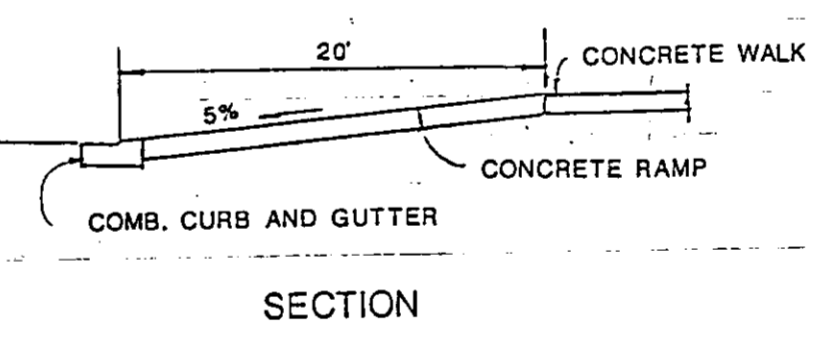
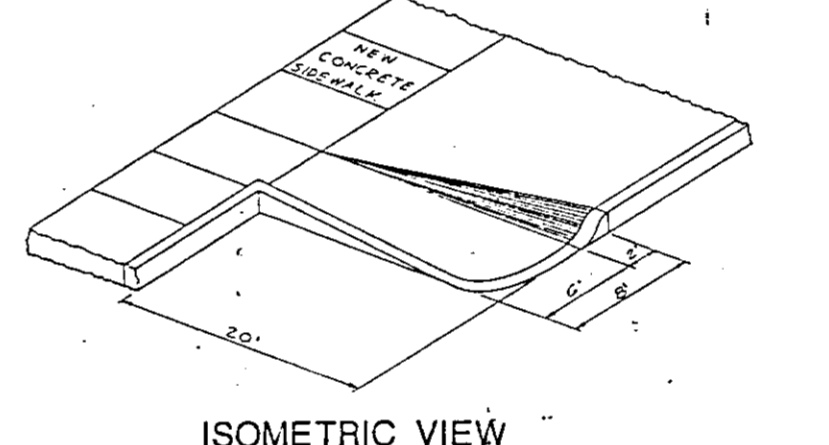
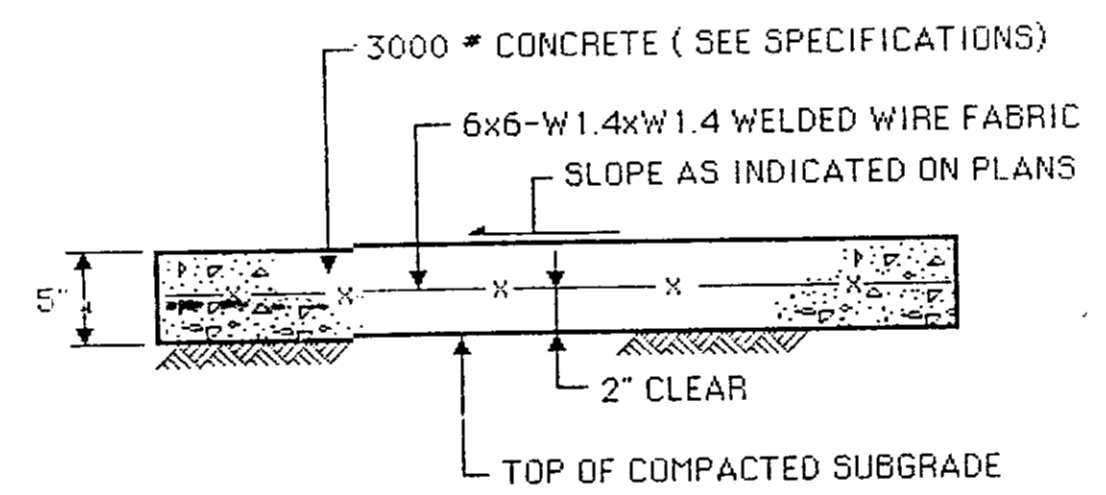
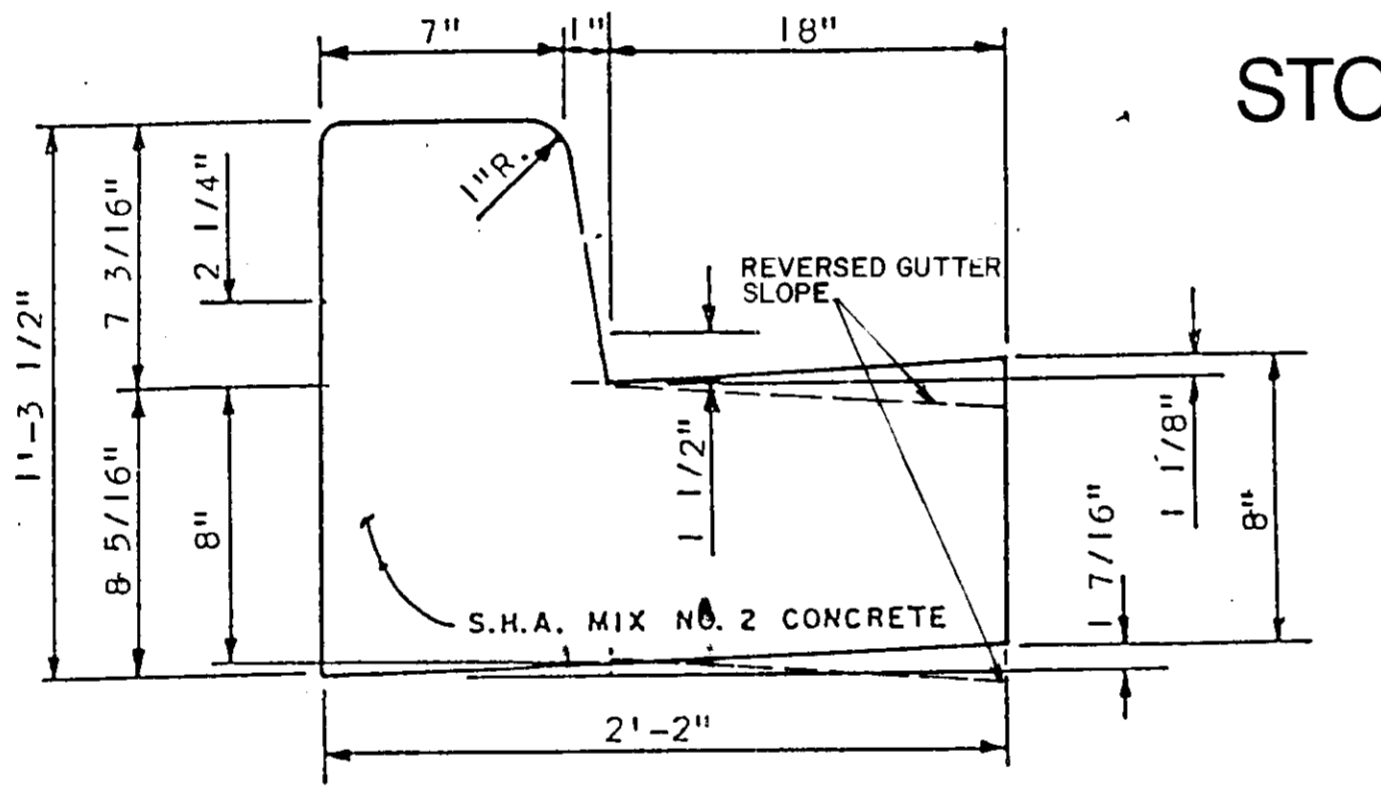
SD-5



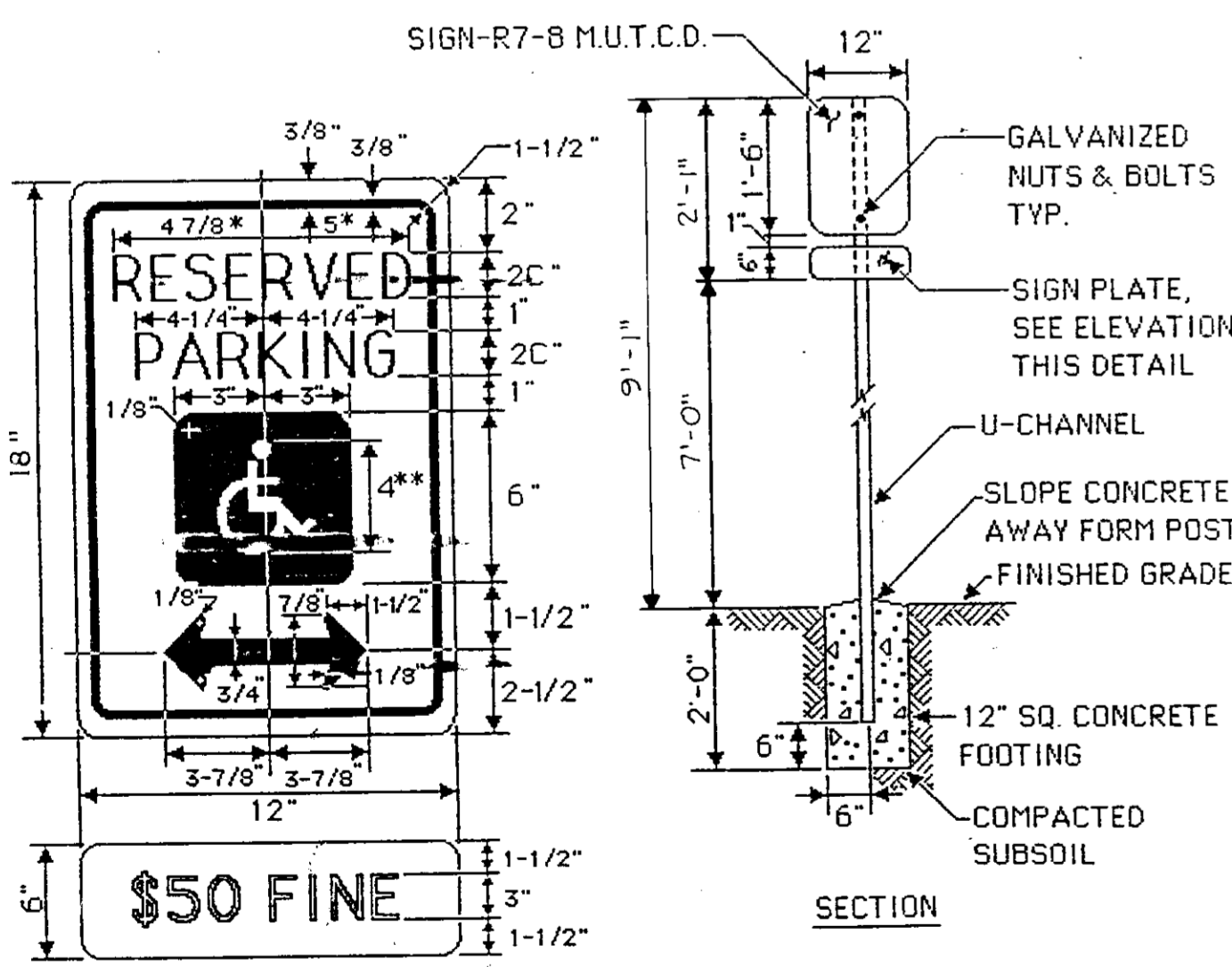
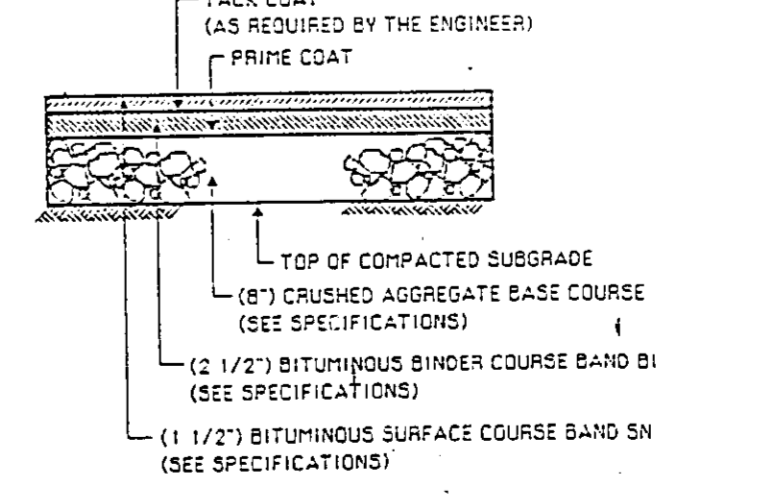
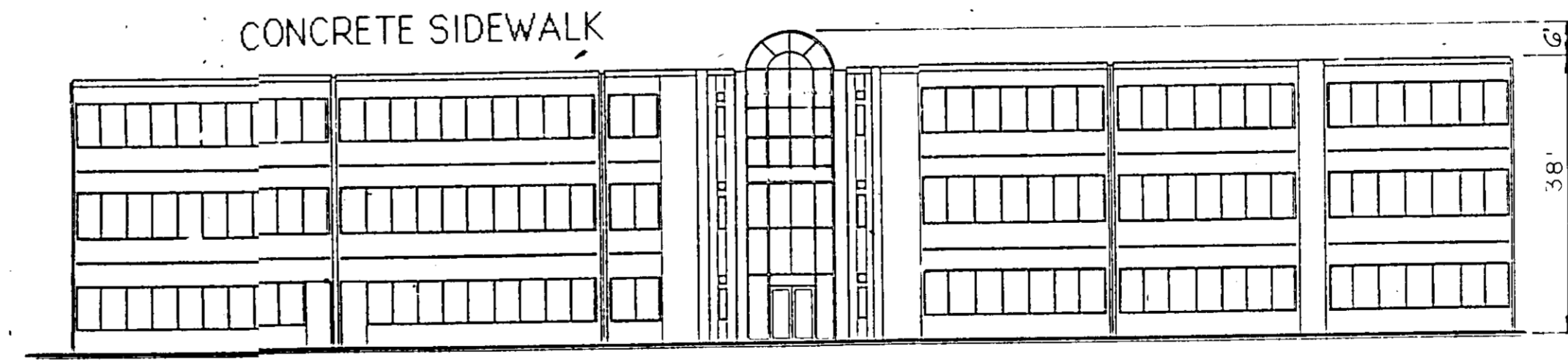
STRUCTURE SCHEDULE					
NO.	TYPE	INV. IN	INV. OUT	TOP EL.	REMARKS
I-1	DBL. TYPE S COMB.	332.35	331.85	339.01	HO. CO. SD-4.34
I-2	DBL. TYPE S COMB.	334.41	334.16	338.08	HO. CO. SD-4.34
I-3	DBL. TYPE S COMB.	337.08	336.88	342.68	HO. CO. SD-4.34
I-4	DBL. TYPE S COMB.	-	338.35	341.60	HO. CO. SD-4.34
I-5	DBL. TYPE S COMB.	336.05	335.85	340.03	HO. CO. SD-4.34
I-6	DBL. TYPE S COMB.	-	336.75	340.23	HO. CO. SD-4.34
I-7	DBL. TYPE S COMB.	-	336.22	339.03	HO. CO. SD-4.34
I-8	TYPE S INLET	-	339.22	343.00	HO. CO. SD-4.22
I-9	TYPE S INLET	-	339.75	342.90	HO. CO. SD-4.22

STORM DRAIN PROFILES

SCALE H: 1" = 50' V: 1" = 5'

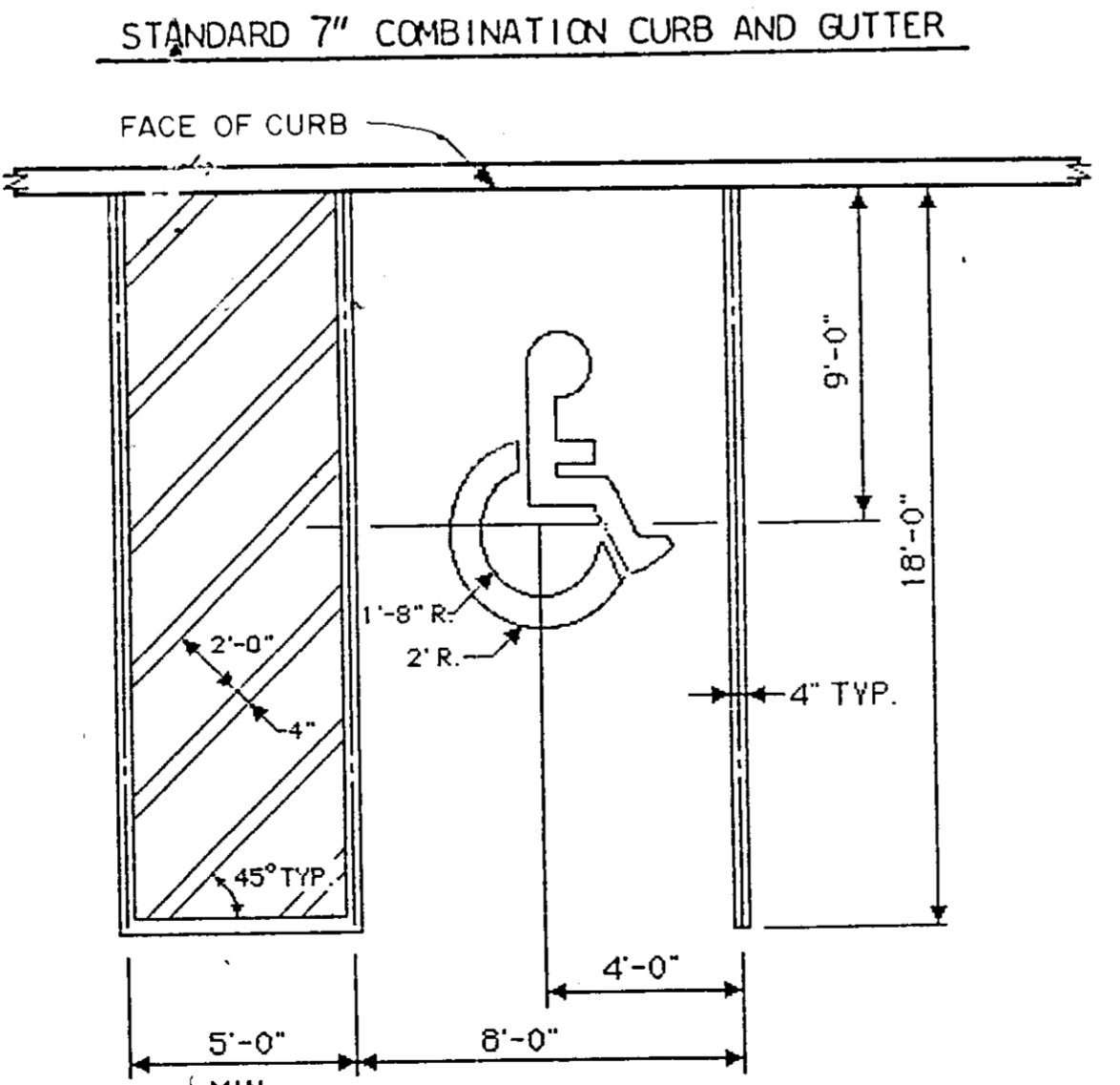


- NOTE:
- 1/2" PREMOLDED EXPANSION JOINT MATERIAL TO BE PLACED WHERE WALKS ABUT CURBS, STEPS, BUILDINGS, OTHER WALKS, ETC. AND AT A MAXIMUM OF 20' INTERVALS ALONG THE WALK.
 - SCORING SHALL BE AT PROVIDED AT 4' ON CENTER FOR 4' & 8' WALKS, 5' ON CENTER FOR 5' & 10' WALKS, AND 6' ON CENTER FOR 6' WALKS & LARGER, UNLESS OTHERWISE NOTED ON PLANS.



NOTE: PROVIDE ONE SIGN AND POST PER HANDICAP PARKING SPACE, SEE PLAN.

COLORS:
 LEGEND & BORDER- GREEN
 WHITE SYMBOL ON BLUE BACKGROUND
 BACKGROUND- WHITE



NOTE: PAINT IS TO BE WHITE TRAFFIC PAINT APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. TWO (2) COATS REQUIRED)

HANDICAP STRIPING

HANDICAP SIGN

NOT TO SCALE

- * REDUCE SPACING 50%
- ** SEE SYMBOL 186d FOR SYMBOL DESIGN

SUBMISSION DATE		VILLAGE OF OWEN BROWN		5/1	F-1
PLAT NO.	7044	BLK. NO.	14	CD. NO.	NT-EMP COMM
WATER CODE	E13	SEWER CODE	5410000	ELEC. DIST.	6
REVISION NO.	1	DATE	10-24-88	REVISION NO.	1
DESIGNED BY	ART	CHECKED BY	BDJ	DATE	11-31-88
DATE	10/28/87	PROJECT NO.	87084	DATE	12.5.88
SCALE	AS SHOWN	DRAWING NO.	6 OF 7	DATE	12.5.88

PROJECT: 6400 WOODSIDE COURT VILLAGE OF OWEN BROWN SECTION 5, AREA 1, PARCEL F-1 6TH ELECTION DISTRICT HOWARD CO., MARYLAND PLAT NO. 7004, TAX MAP NO. 36

TITLE: PROFILES AND DETAILS

OWNER: HILLCROFT I LIMITED PARTNERSHIP 7 EAST REDWOOD ST. SUITE 1200 BALTIMORE, MARYLAND 21202 ATTENTION: DAVID FREDERICK

DATE: 10/28/87

DESIGNED BY: ART

DRAWN BY: GSB

CHECKED BY: BDJ

PROJECT NO.: 87084

DATE: JULY 2ND, 1987

SCALE: AS SHOWN

DRAWING NO.: 6 OF 7

revisions

no.	date	comments
8-24-87	REV. 5D	PROFILE

ROSS MURPHY FINKELSTEIN, INC.
 Mechanical/Electrical Engineers

LPJ, INC.
 Structural Engineers

WHITNEY, BAILEY, COX, & MAGNANI
 Civil Engineers

6400 Woodside Court
 Columbia, Maryland

Hillcroft I Limited Partnership

Marshall Craft Associates, Inc.

2700 York Road, Suite 100
 Baltimore, Maryland 21286
 301-339-7974

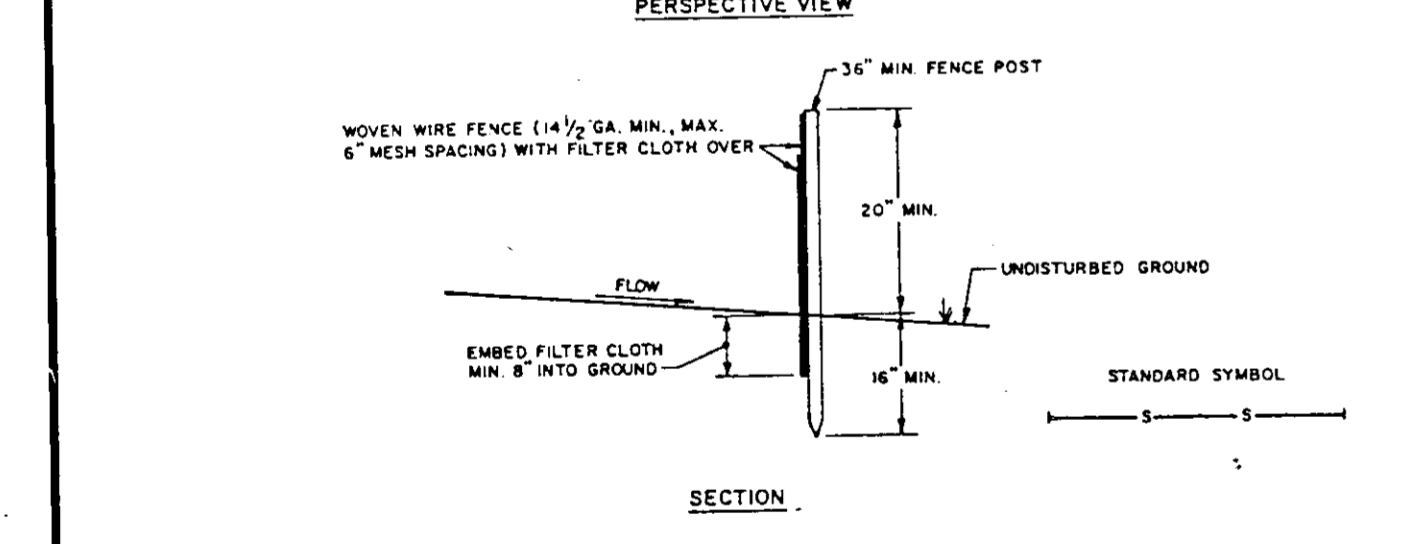
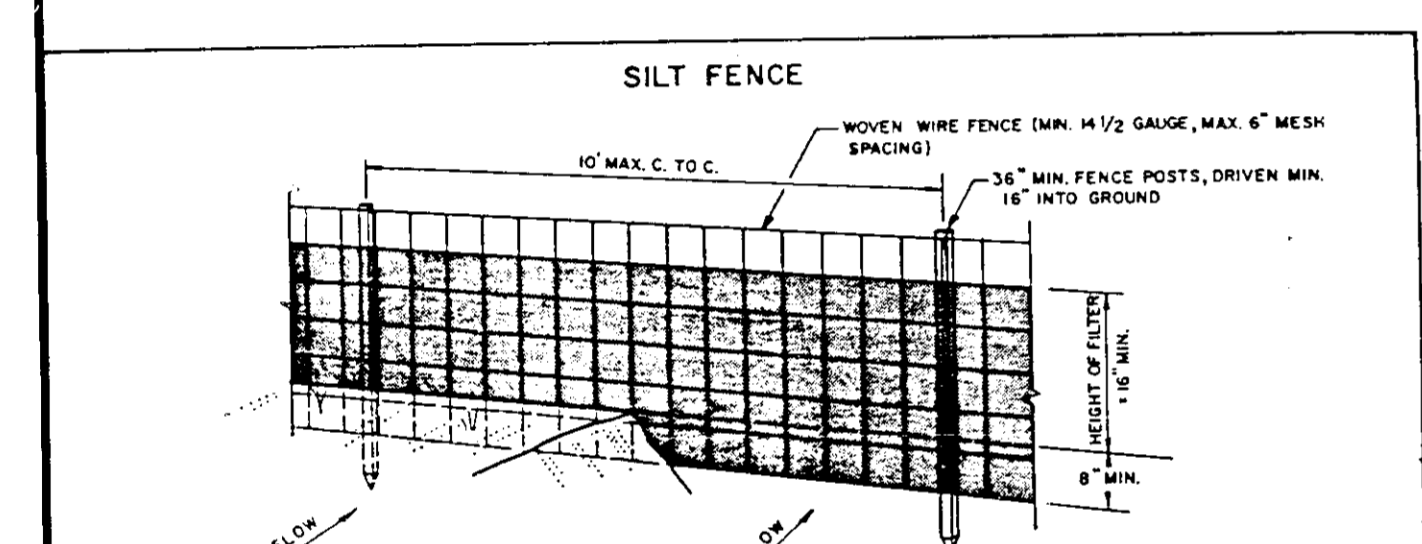
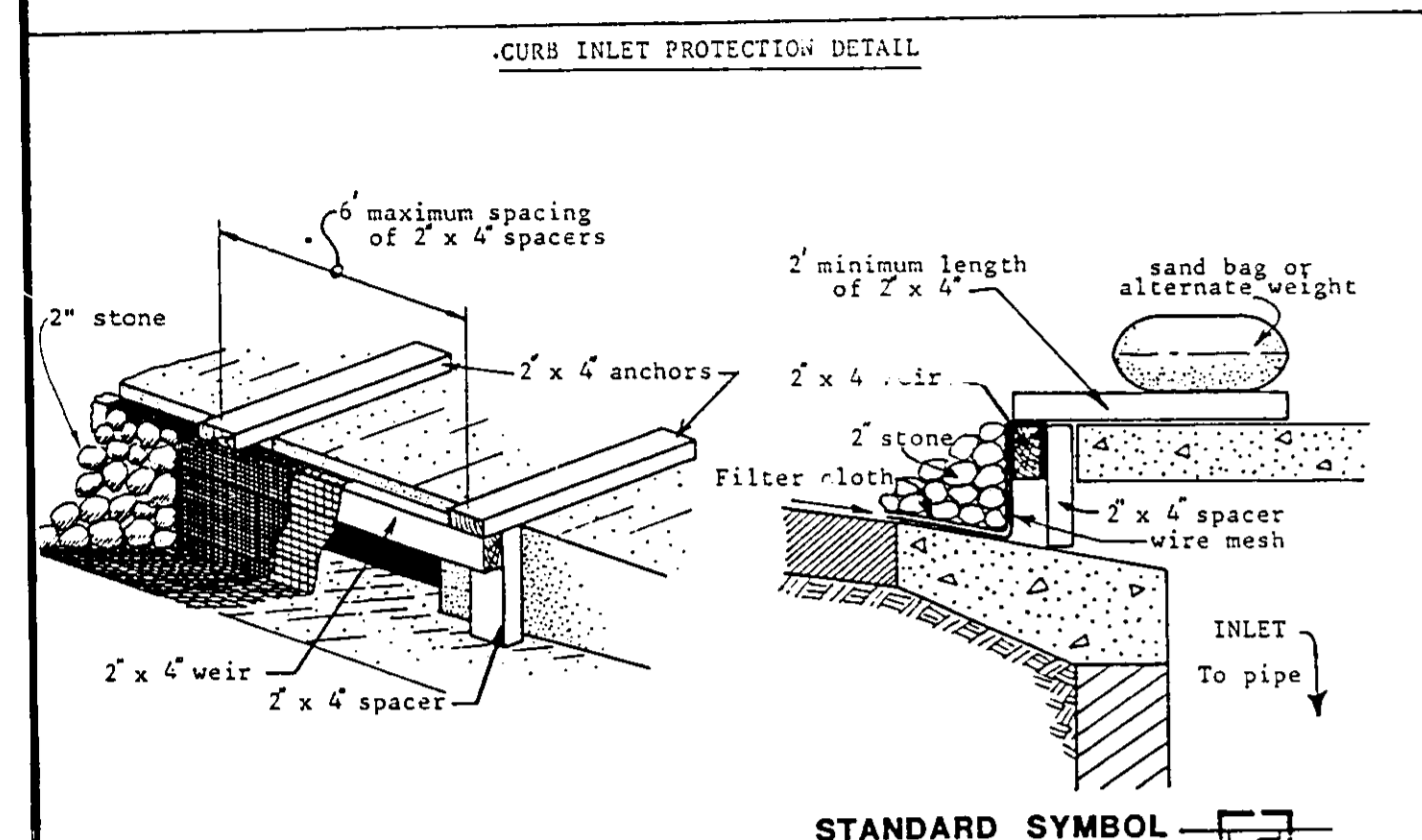
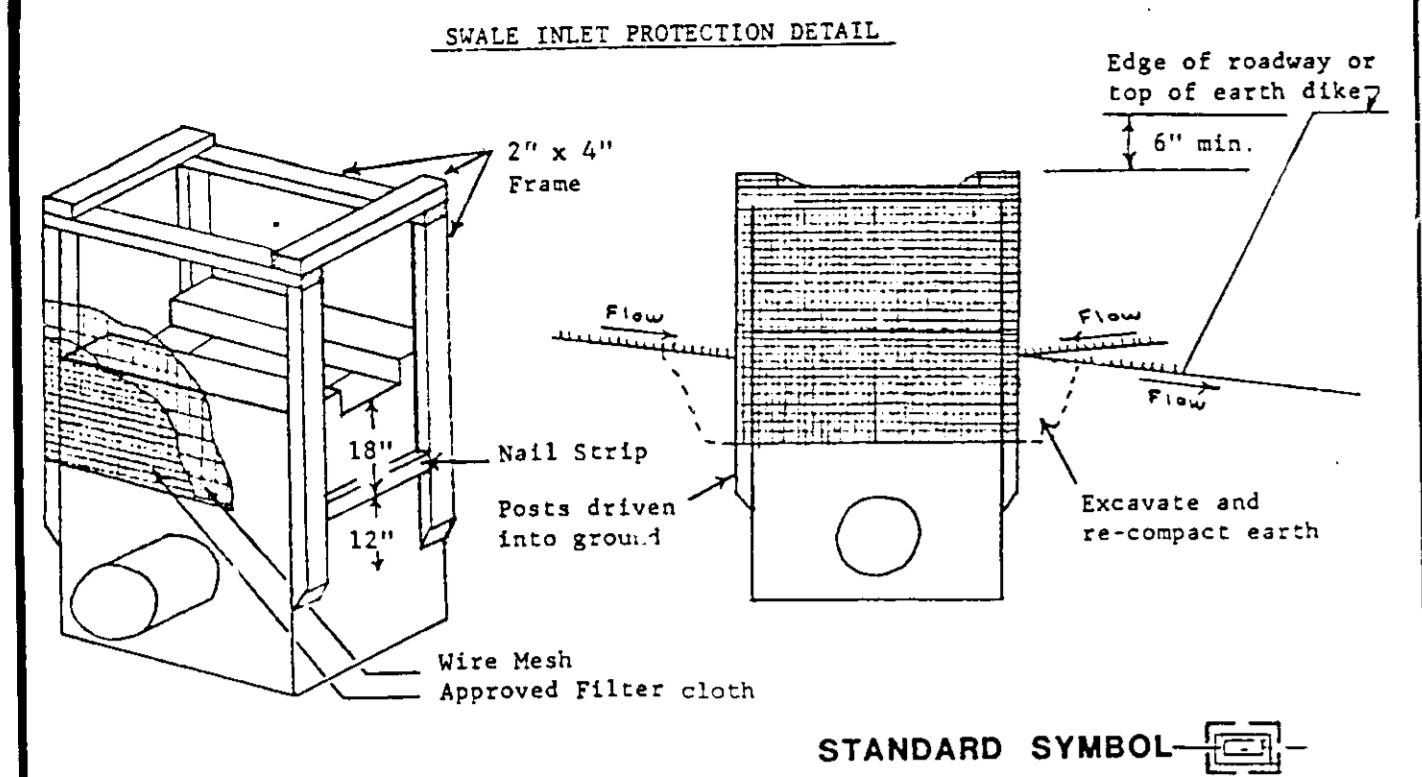
date: 10/28/87

job no: 9972

scale: AS SHOWN

sheet no: SD-6

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- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- POSTS: STEEL EITHER 1 OR U TYPE OR 2" HARDWOOD
- FENCE: WOVEN WIRE, 18" GA. 6" MAX. MESH OPENING
- FILTER CLOTH: FILTER X, HERRI 100X, STABILINKA 1140N OR APPROVED EQUAL
- PREFABRICATED UNIT: GEOPAB, DIVISFENCE, OR APPROVED EQUAL

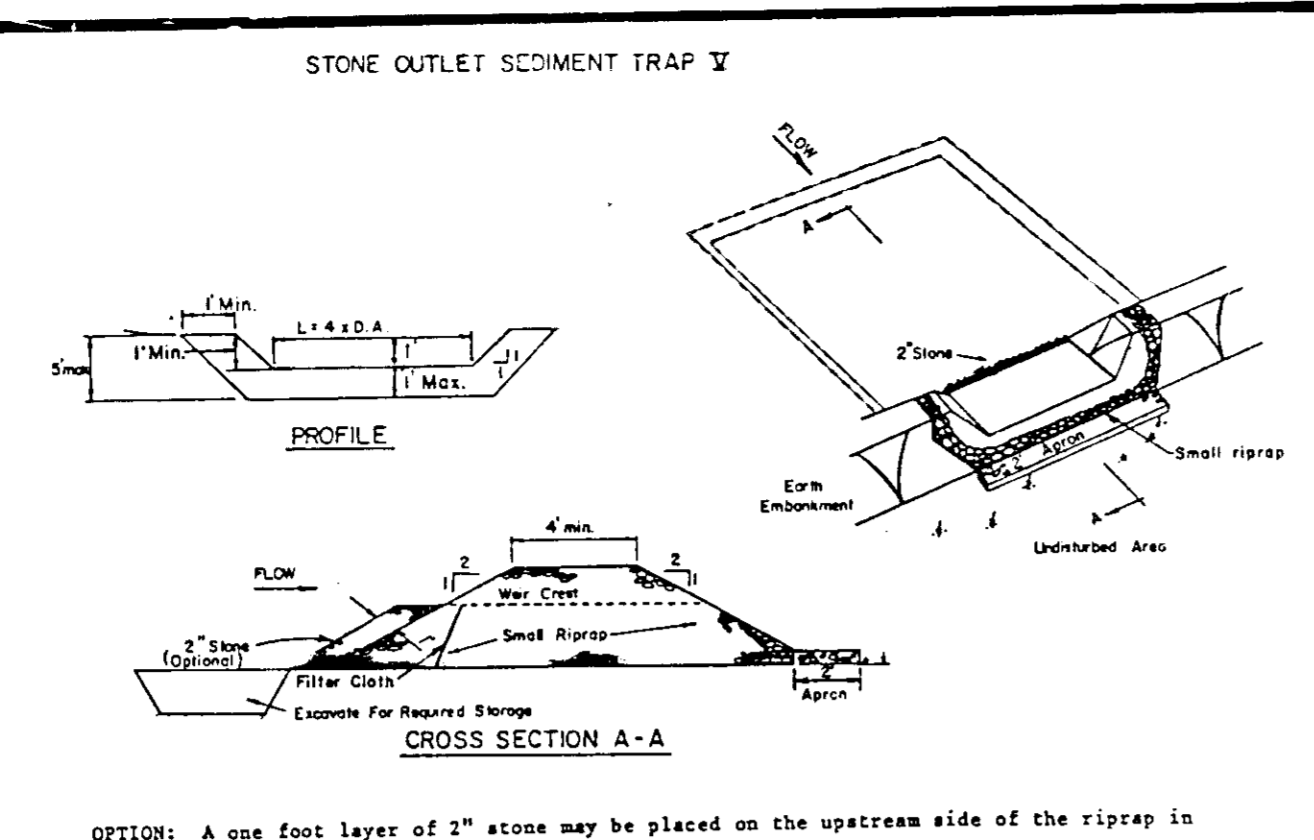
BY THE DEVELOPER:

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT."

David R. Redmond 10/11/88
SIGNATURE OF DEVELOPER
HILLCROFT LTD.
BY THE ENGINEER:

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."

Philip S. ... 10/28/87
SIGNATURE OF ENGINEER



- OPTION: A one foot layer of 2" stone may be placed on the upstream side of the riprap in place of the embedded filter cloth.
- CONSTRUCTION SPECIFICATIONS FOR ST-V
- Area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat. The pool area shall be cleared.
 - The fill material for the embankment shall be free of roots and other woody vegetation as well as over-sized stones, rocks, organic material or other objectionable material. The embankment shall be compacted by traversing with equipment while it is being constructed.
 - All cut and fill slopes shall be 2:1 or flatter.
 - The stone used for the outlet shall be small riprap 4"-8" along with a 1' thickness of 2" aggregate placed on the upgrade side on the small riprap embedded filter cloth in the riprap.
 - Sediment shall be removed and trap restored to its original dimensions when the sediment has accumulated to 1/4 the design depth of the trap.
 - The structure shall be inspected after each rain and repairs made as needed.
 - Construction operations shall be carried out in such a manner that erosion and water pollution is minimized.
 - The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding.

Soil Amendments: In lieu of soil test recommendations, use one of the following schedule.

- Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft).
- Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.

Seeding - For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq ft) of weeping lovegrass. During the period of October 15 thru February 28, protect site by: Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching - Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

Maintenance - Inspect all seeded areas and make needed repairs, replacements and reseeding.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

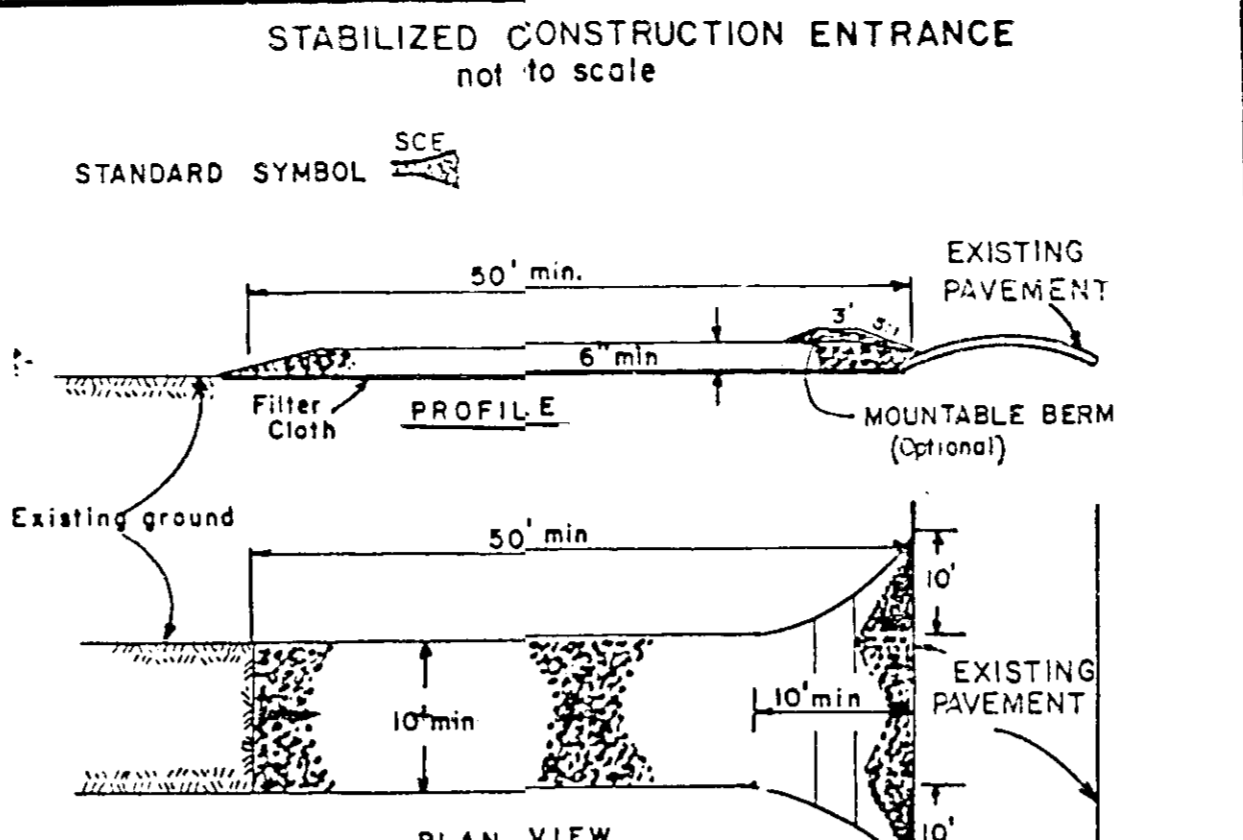
Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding.

Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft)

Seeding: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2 1/2 bushel per acre of annual rye (2.2 lbs/1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (.07 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes, 8 ft or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring areas.

Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.



- CONSTRUCTION SPECIFICATIONS
- Stone Size - Use 2" stone, or reclaimed or recycled concrete equivalent.
 - Length - As required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply).
 - Thickness - Not less than six (6) inches.
 - Width - Ten (10) foot minimum, but not less than the full width at points where ingress or egress occurs.
 - Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residence lot.
 - Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
 - Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment applied, dropped, washed or tracked onto public rights-of-way must be removed immediately.
 - Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
 - Periodic inspection and needed maintenance shall be provided after each rain.

PERMANENT SEEDING NOTES

A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (992-2437)

All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

- Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 15 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 51) and (Sec. 54), temporary seedings (Sec. 50) and mulching (Sec. 53). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.

Site Analysis:

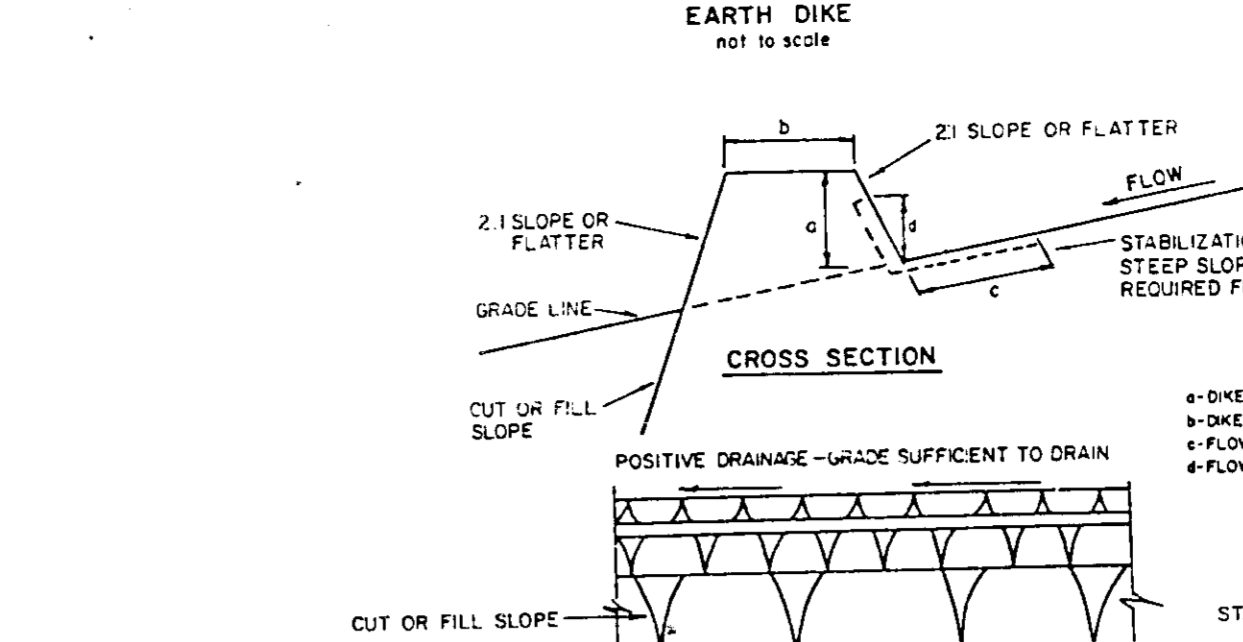
Total Area of Site	3,516 Acres
Area Disturbed	3,100 Acres
Area to be roofed or paved	1,744 Acres
Area to be vegetatively stabilized	1,772 Acres
Total Cut	3,000 Cu. Yds.
Total Fill	3,000 Cu. Yds.
Office waste/borrow area location	NOT KNOWN

Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.

Additional sediment controls must be provided, if deemed necessary by the Howard County DPW sediment control inspector.

On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.

On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.

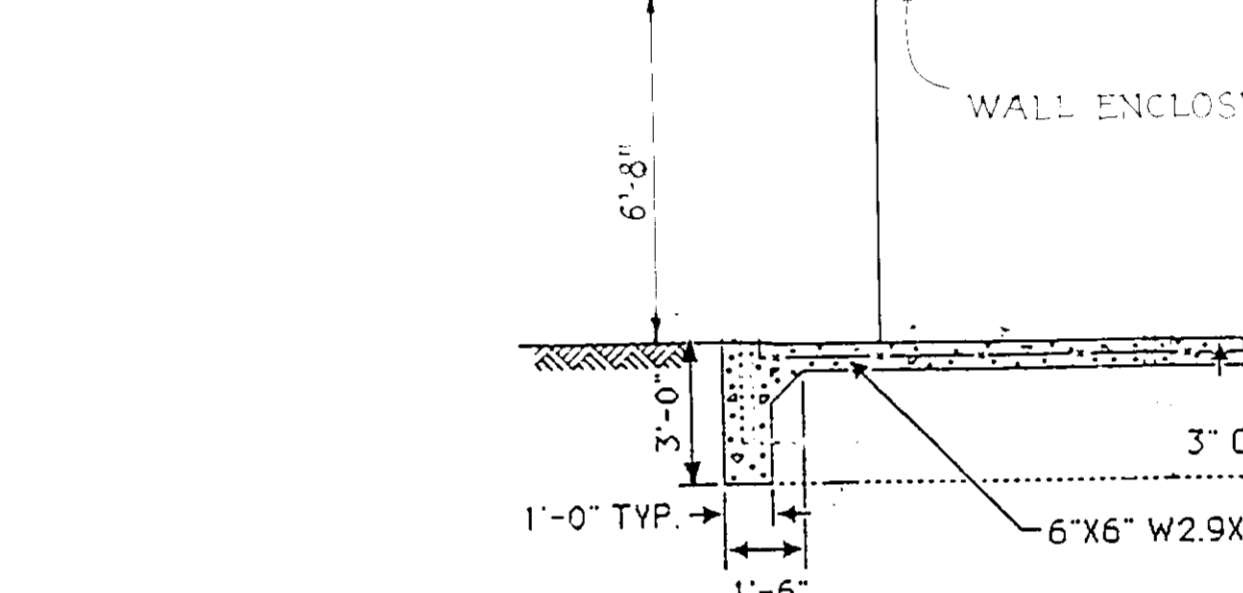


- CONSTRUCTION SPECIFICATIONS
- All dikes shall be compacted by EARTH-MOVING EQUIPMENT.
 - All dikes shall have POSITIVE DRAINAGE TO AN OUTLET, CROSSING BY CONSTRUCTION TRAFFIC.
 - TOP WIDTH MAY BE WIDER AND SIDE SLOPES MAY BE FLATTER IF DESIRED TO FACILITATE FIELD LOCATION SHOULD BE ADJUSTED AS NEEDED TO UTILIZE A STABILIZED SAFE OUTLET.
 - EARTH DIKES SHALL HAVE AN OUTLET THAT FUNCTIONS WITH A MINIMUM OF EROSION. RUNOFF SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE SUCH AS A SEDIMENT TRAP OR SEDIMENT BASIN WHERE EITHER THE DIKE CHANNEL OR THE DRAINAGE AREA ABOVE THE DIKE ARE NOT ADEQUATELY STABILIZED.
 - STABILIZATION SHALL BE: (A) IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEED AND STRAW MULCH OR STRAW MULCH IF NOT IN SEEDING SEASON, (B) FLOW CHANNEL AS PER THE CHART BELOW.

FLOW CHANNEL STABILIZATION

TYPE OF TREATMENT	CHANNEL GRADE	DIKE A	DIKE B
1	5-3.0%	SEED AND STRAW MULCH	SEED AND STRAW MULCH
2	3.1-5.0%	SEED AND STRAW MULCH	SEED USING JUTE, OR EXCELSTOR; SOD; 2" STONE
3	5.1-8.0%	SEED WITH JUTE, OR SOD; 2" STONE	LINED RIP-RAP 4-8"
4	8.1-20%	LINED RIP-RAP 4-8"	ENGINEERING DESIGN

A. STONE TO BE 2 INCH STONE, OR RECYCLED CONCRETE EQUIVALENT, IN A LAYER AT LEAST 3 INCHES IN THICKNESS AND BE PRESSED INTO THE SOIL WITH CONSTRUCTION EQUIPMENT.
B. RIP-RAP TO BE 4-8 INCHES IN A LAYER AT LEAST 3 INCHES THICKNESS AND PRESSED INTO THE SOIL.
C. APPROVED EQUIVALENTS CAN BE SUBSTITUTED FOR ANY OF THE ABOVE MATERIALS.
7. PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.



- CONCRETE: 3000 P.S.I.
- SURFACE: BROOM FINISHED- NON SKID

DUMPSTER PAD SECTION
NOT TO SCALE

REVISIONS

no.	date	comments
8-24-87		

ROSS MURPHY FINKELSTEIN, INC.
Mechanical/Electrical Engineers

LPJ, INC.
Structural Engineers

WHITNEY, BAILEY, COX, & MAGNANI
Civil Engineers

6400 Woodside Court
Columbia, Maryland

Hillcroft I Limited Partnership

Marshall Craft Associates, Inc.
7215 York Road, Suite 103
Baltimore, Maryland 21212
301-339-7979

DATE NO. REVISION

PROJECT: 6400 WOODSIDE COURT
VILLAGE OF OWEN BROWN
SECTION 5, AREA 1, PARCEL F-1
6TH ELECTION DISTRICT HOWARD CO., MARYL AND
PLAT NO. 7004, TAX MAP NO. 36

TITLE: SEDIMENT CONTROL NOTES
AND DETAILS

OWNER: HILLCROFT I LIMITED PARTNERSHIP
7 EAST REDWOOD ST. SUITE 1200
Baltimore, Maryland 21202
ATTENTION: DAVID FREDERICK

DATE 10/28/87

DESIGNED: ART
DRAWN: GSB
CHECKED: BDJ
PROJECT NO. 87084
DATE: JULY 2ND, 1987
SCALE: AS SHOWN
DRAWING NO. 7 OF 7

DATE 10-14-87
DATE 10-24-88
DATE 10-31-88
DATE 12-5-88

APPROVED FOR PUBLIC WATER AND SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

APPROVED FOR PUBLIC WATER AND PUBLIC SEWER SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

APPROVED FOR THE HOWARD COUNTY OFFICE OF PLANNING AND ZONING

APPROVED FOR THE CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT

SDP-88-15c

revisions

no.	date	comments
8-24-87		

ROSS MURPHY FINKELSTEIN, INC.
Mechanical/Electrical Engineers

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SDP-88-15c