GENERAL NOTES

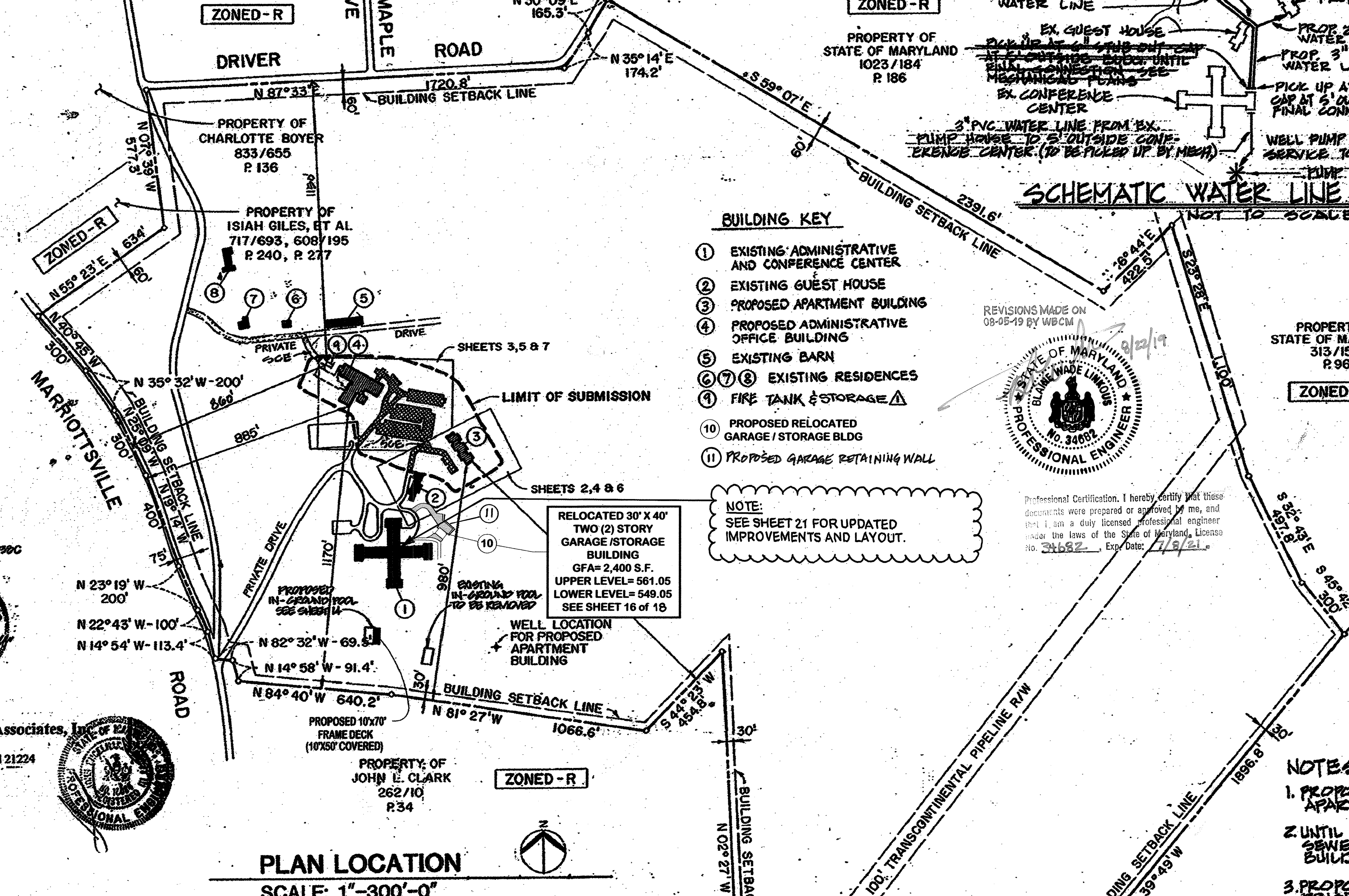
1. Any damage to County rights-of-way and paving of public roads shall be repaired immediately at the Contractors expense in accordance with Howard County Specifications and standards.
2. Trench through existing paved area shall be repaved in accordance with Howard County Specifications and Standards.
3. The Contractor shall notify the Gas & Electric Company and the Chesapeake and Potomac Telephone Company (Call collect, Miss Utility, 1-559-0100) five (5) days before beginning any construction.
4. All work shall be done in accordance with the Howard County standards and specifications and as shown on these approved plans.
5. Paved areas as per details shown on these approved drawings.
6. Proposed water mains shall have a minimum of 4'-0" cover from finished grade.
7. Topography information shown hereon is from the plan prepared by H. Malmud & Associates, Inc., November 1986.
9. Existing utilities have been taken from the best available information, the accuracy and completeness must be verified by the Contractor. Contractor shall excavate for and confirm the location and elevation of existing utilities prior to laying any new pipe. The Contractor shall be responsible for repairing and replacing any facilities or utilities damaged during construction.
10. The Contractor shall test pit all existing utilities within the limits of construction to determine the exact location and depth as required.
11. All utilities are to be retained unless marked otherwise and appurtenances are to be adjusted to finished grade.
12. Contractor is responsible for making connections to all building services so as to assure complete utility services to and from the building.
13. All storm inlets shall be constructed as per Howard County specifications and standard details.
14. The Contractor shall maintain a minimum of two (2) ft. level bench behind all proposed pavement in fill areas.
15. All fill shall be rolled to a minimum degree of compaction of 95% of the dry unit weight as determined by ASTM D-698.
16. Dimensions shall be taken from edge of pavement and face of building.
17. All concrete for site work shall be Class 2 concrete and shall be in accordance with the Maryland State Highway Administration Specification as amended to date.
18. Structures noted for removal shall be removed entirely and completely. Removal of utilities or materials that are below grade shall have the surface above restored to match adjacent grades.
19. Sidewalk expansion joints are typically spaced 15' o.c. Intermediate control joints are typically spaced 5' o.c. Expansion joints may occur more frequently as indicated on the drawings where sidewalks change directions, sidewalks are flush with doorway openings, and where sidewalks abut building.
20. The Contractor shall contact the Construction Inspection/Survey Division 24 hours in advance of commencement of work at 992-2417 or 992-2418.
21. Plan Revision No. 3 for pool relocation does not require a Board of Appeals Hearing. Previous County Files: BA-02-030C and BA-05-011C.

'PURPOSE STATEMENT'

THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO ADD A NEW 1" HDPE WATER SUPPLY TO THE NEW POOL, ABANDON THE EXISTING 1" WATER TO THE ABANDONED (AND NOW REMOVED POOL), TO ADD A NEW WATER VAULT NEAR THE EXISTING PUMP HOUSE, AND RE-DIRECT THE FOUR (4) WELL WATER MAINS INTO THE NEW WATER VAULT, AND TO ADD A 10' BY 70' COVERED DECK ALONG THE EAST SIDE OF THE NEW POOL.

'PURPOSE STATEMENT'

THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO RELOCATE THE PREVIOUSLY APPROVED GARAGE LOCATION (TO THE NORTH ALONG THE EXISTING DRIVEWAY). ADD THE GARAGE ELEVATIONS. PROVIDE DRYWELLS AT DOWN-SPOUT LOCATIONS FOR GARAGE FOR WATER QUALITY PURPOSES. ADD NEW SHEETS (16 & 17 of 17).



BUILDING KEY

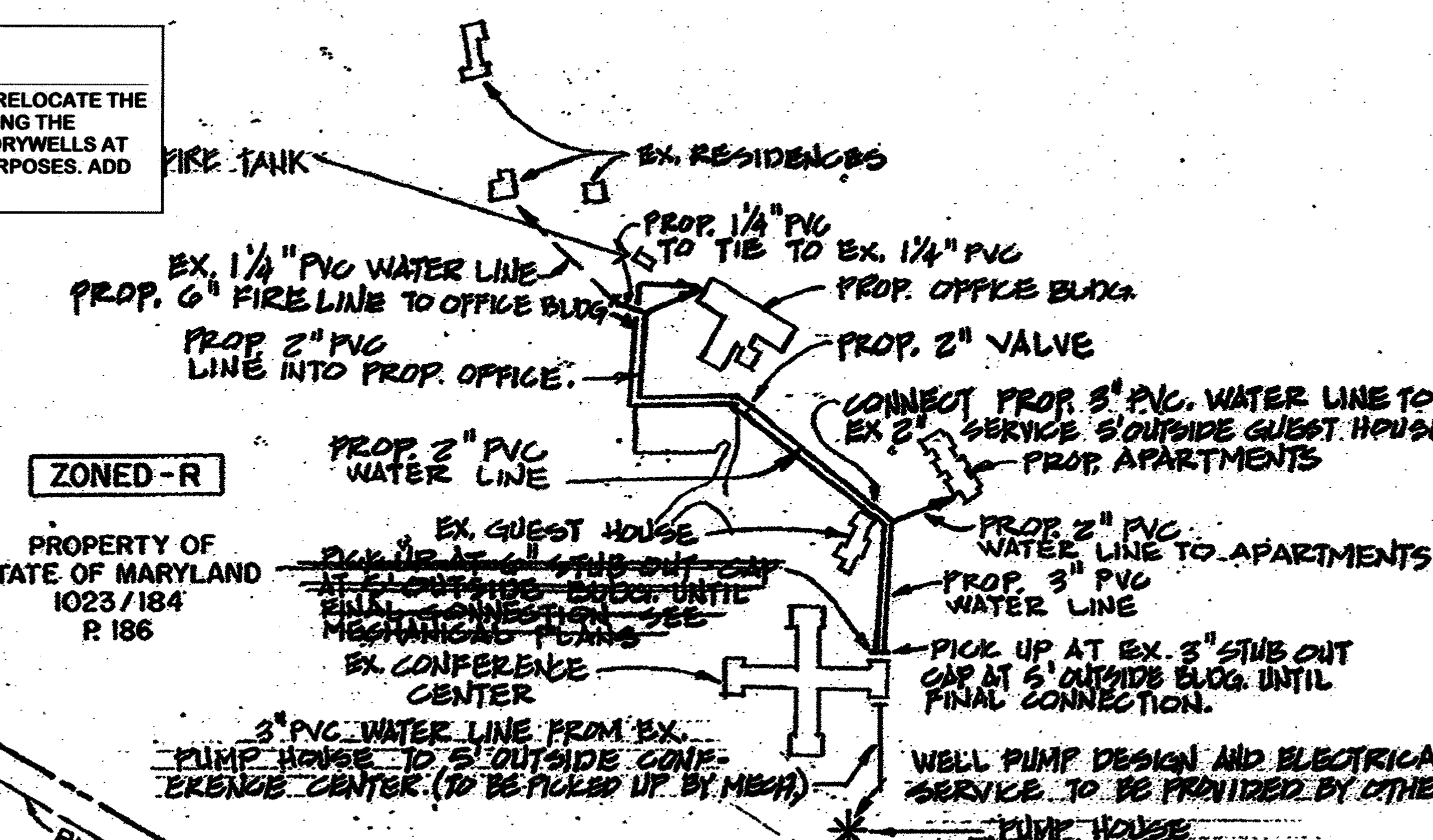
1. EXISTING ADMINISTRATIVE AND CONFERENCE CENTER
2. EXISTING GUEST HOUSE
3. PROPOSED APARTMENT BUILDING
4. PROPOSED ADMINISTRATIVE OFFICE BUILDING
5. EXISTING BARN
6. 7. 8. EXISTING RESIDENCES
9. FIRE TANK & STORAGE
10. PROPOSED RELOCATED GARAGE / STORAGE BLDG
11. PROPOSED GARAGE RETAINING WALL

REVISIONS MADE ON 08-05-19 BY WBCM

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 34682, Exp. Date: 7/8/21.

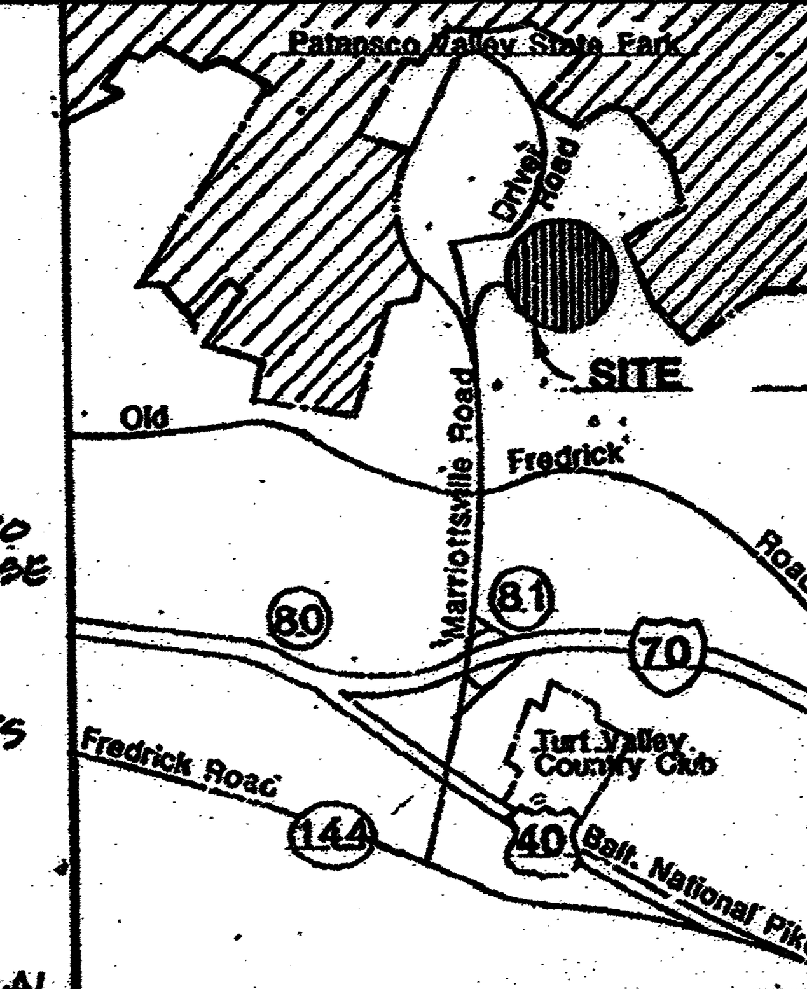
PLAN LOCATION

SCALE: 1"-300'-0"



SCHEMATIC WATER LINE LAYOUT

NOT TO SCALE



VICINITY MAP

SCALE: 1"-2000'

SITE ANALYSIS

1. AREA OF PARCEL 312.45 Ac
2. PRESENT ZONING R
3. FLOOR SPACE:
   - APARTMENTS - 8 UNITS
     - 1ST FLOOR - 6075.37 SF
     - 2ND FLOOR - 3432.23 SF
     - TENANTS - 28
     - PARKING SPACES REQUIRED - 12
     - PARKING SPACES PROVIDED - ~~1X~~ 25
   - OFFICE
     - 1ST FLOOR - 14,313 S.F.
     - 2ND FLOOR - 14,256 S.F
     - MAXIMUM NUMBER OF EMPLOYEES - 59
     - PARKING SPACES REQUIRED - 84
     - PARKING SPACES PROVIDED - 120
4. OPEN SPACE (GREEN AREA) TO REMAIN ON SITE: ~~306.94 Ac / 98.23%~~ 306.80 Ac / 98.22% 306.80Ac / 98.21%
5. NEW BUILDING COVERAGE OF SITE: ~~0.468 Ac / 0.15%~~ 0.499 Ac / 0.16% 0.518Ac / 0.17%
6. TOTAL BUILDING COVERAGE OF SITE ~~1.803 Ac / 0.58%~~ 1.834 Ac / 0.59% 1.853Ac / 0.59%
7. TOTAL AREA OF PAVING ON SITE ~~3.71 Ac / 1.19%~~ 3.74 Ac / 1.20%

FIRE TANK ENCLOSURE 1,365 SF

NOTES:

1. PROPOSED ADMINISTRATIVE OFFICE BUILDING AND PROPOSED APARTMENTS ARE TO BE SPRINKLERED.
2. UNTIL FINAL CONNECTION IS MADE, ALL WATER LINES AND SEWER LINES ARE TO BE CAPPED 5' OUTSIDE ALL BUILDINGS BEING CONNECTED, SEE MECHANICAL PLANS.
3. PROPOSED WATER LINE MUST BE IN PLACE AND SERVICEABLE PRIOR TO DISCONNECTING EXISTING WATER LINE, PROVIDING CONTINUOUS SERVICE.
4. WATER LINES ARE TO BE A MIN. 42" BELOW FINISH GRADE. BURIED IN A COMMON TRENCH, WITH THRUST BLOCKING AS REQ.
5. SITE WORK CONTRACTOR IS TO PROVIDE AND MANTAIN THE STABILIZED CONSTRUCTION ENTRANCE.
6. ROAD ACCESS TO DRIVER ROAD IS TO BE MAINTAINED, AS REQUIRED, AT A 14' WIDTH WITH CRUSHER RUN (CR-6) FOR APPROX. 1800'.
7. CONTRACTOR SHALL REMOVE SCE AND CR-6 CRUSHER RUN UPON COMPLETION OF PROJECT, AS PER INSTRUCTIONS

REVISION 2/13/07 (3)
- ADDED IN-GROUND POOL PLAN AND RETAINING WALL LOCATION PLAN & CONSTRUCTION DETAILS.
- ADDED SHEETS 14 & 15 TO SET FOR NEW IN-GROUND POOL PLAN AND RETAINING WALL PLAN AND CONSTRUCTION DETAILS.

REVISION 3/23/98 (1)
- ADD STORAGE ROOM TO FIRE TANK BLDG.
- REVISED SITE ANALYSIS TO REFLECT STORAGE RM

REVISION 11/1/88 SC
- ADD FIRE TANK
- DELETE NOTE ON SCHEMATIC WATER LINE LAYOUT
- REVISE SITE ANALYSIS

J. E. Scott & Associates, Inc.
2708 Dillon Street
Baltimore, Maryland 21224
(410) 534-7442

JOYCE ENGINEERING CORPORATION
CIVIL ENGINEERING · LAND SURVEYING · LAND PLANNING · CONSTRUCTION MANAGEMENT
10766 BALTIMORE AVENUE - BELTSVILLE, MARYLAND 20705
TEL: (301) 595-4353 FAX: (301) 595-4650 WEB: www.joyceeng.com

01/23/08	ADD NEW 1" HDPE WATER SUPPLY TO THE NEW POOL, ABANDON THE EXISTING 1" WATER TO THE ABANDONED (AND NOW REMOVED POOL), TO ADD A NEW WATER VAULT NEAR THE EXISTING PUMP HOUSE, AND RE-DIRECT THE FOUR (4) WELL WATER MAINS INTO THE NEW WATER VAULT, AND TO ADD A 10' BY 70' COVERED DECK ALONG THE EAST SIDE OF THE NEW POOL.
10-23-2009	SEE PURPOSE STATEMENT ABOVE FOR SPECIFIC GARAGE REVISIONS.

PURDUM & JESCHKE
CONSULTING ENGINEERS
LAND SURVEYORS
1029 North Calvert Street
Baltimore, Maryland 21202 301/837-0194

C-19	GAS TANK - SITE LAYOUT PLAN	19
C-20	GAS TANK - DETAIL SHEET	20
C-21	ELEVATOR ADDITION - DEMOLITION AND SITE LAYOUT PLAN	21

SHEETS 19 AND 20 BY KBD ENGINEERING COMPANY

'PURPOSE STATEMENT'

THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO ADD A BUILDING LOBBY ADDITION WITH ELEVATOR AND CONNECTION TO EXISTING HALLWAYS. MINOR UTILITY RELOCATION FOR GREASE TRAP AND SEWER CONNECTION WILL OCCUR.
NEW SHEET HAS BEEN ADDED
21 OF 21 (08.05.19)

INDEX OF DRAWINGS

NO.	DESCRIPTION	SHEET
C-1	REVISED SITE DEVELOPMENT PLAN TITLE SHEET	1
C-2	SITE PLAN - APARTMENT BUILDING	2
C-3	SITE PLAN - OFFICE BUILDING	3
C-4	GRADING & UTILITY PLAN - APARTMENT BUILDING	4
C-5	GRADING & UTILITY PLAN - OFFICE BUILDING	5
C-6	SEDIMENT & EROSION CONTROL PLAN - APT. BLDG.	6
C-7	SEDIMENT & EROSION CONTROL PLAN - OFFICE BLDG.	7
C-8	DRAINAGE AREA MAP	8
C-9	EROSION CONTROL DETAILS & PROFILES	9
C-10	PROFILES	10
C-11	SITE DETAILS	11
L-1	LANDSCAPING PLAN - APARTMENT BUILDING	12
L-2	LANDSCAPING PLAN - OFFICE BUILDING	13
C-14	IN-GROUND POOL PLAN and GARAGE RELOCATION PLAN & ELEV'S	14
C-15	RETAINING WALL LOCATION PLAN & CONSTRUCTION DETAILS	15
C-16	SITE PLAN - GARAGE; SEDIMENT & EROSION CONTROL CONTROL PLAN	16
C-17	STORM DRAIN & STORMWATER MANAGEMENT PLAN, PROFILES, NOTES, AND DETAILS FOR PROPOSED GARAGE	17
C-18	GARAGE RETAINING WALL CONS. DETAILS & SPECIFICATIONS	18

NO.	REVISION	DATE
1	ADD OF TEMP MODULAR BUILDING. SIDEWALK, AND TEMP. WOOD RAMP	7.29.02
	REV. TO SHOW KEYSTONE WALL & ONE NEW SHEET FOR PROFILE, DETAILS & SPECIFICATIONS SHEET 18-18	04-26-10

ADDRESS CHART

PARCEL NO.	STREET ADDRESS
P. 35	1525 MARRIOTTSVILLE ROAD.

SUBDIVISION NAME			SECT./AREA	LOT/PARCEL #	
SISTERS OF BON SECOURS, U.S.A.				PARCEL 35	
PLAT # ORL/F	BLOCK	ZONE	TAX MAP	ELECT. DIST.	CENSUS
393/29	10,11,16,17	R	10	3	6030
WATER CODE			SEWER CODE		
N.A.-WELL			N.A.-SEPTIC		

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland
Matthew E. Joyce, Date
Professional Engr. No. 27729
Exp. Date: July 15, 2010

REVISIONS MADE AFTER 01-23-08 BY JOYCE ENGINEERING CORP.

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland
William A. Joyce, Date
Professional Engr. No. 12243
Exp. Date: April 30, 2009

'PURPOSE STATEMENT'

THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO: ADD A KEYSTONE RETAINING WALL ALONG THE REAR DRIVE ISLE AND LOWER STORM DRAIN OUTFALL FROM STRUCTURE D-5 TO D-6 TO ACCOMODATE SAME. ONE (1) NEW SHEET HAS BEEN ADDED - 18 OF 18. (4-26-10)

APPROVED: FOR PRIVATE WATER AND SEWER SYSTEM HOWARD COUNTY HEALTH DEPARTMENT
B Nyhan for Peter Beilenson 11/24/2009
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
11/13/09
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
for KS 11/25/09
CHIEF, DIVISION OF LAND DEVELOPMENT DATE
Thomas E. Butler 11/30/09
DIRECTOR, DEP. DATE

Gaudreau, Inc.
Architects Planners Engineers
Baltimore
810 Light Street Baltimore Maryland 21230

Faisant Associates, Inc.
Structural Engineers
Kibart, Inc.
Mechanical/Electrical Engineers
Purdum & Jeschke
Civil Engineers

DEVELOPER'S CERTIFICATION

I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATION OF ATTENDANCE AT THE DEPARTMENT OF NATURAL RESOURCES, APPROVED TRAINING PROGRAM FOR THE CONTROL OF ANY SEDIMENT EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY HOWARD SOIL CONSERVATION DISTRICT.

ENGINEER'S CERTIFICATION

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
MATTHEW E. JOYCE, PE 27729
EXP. 07-15-2010

DEED: 393/29	
ELECTION DISTRICT: 3	
TAX MAP: 10	PARCEL 35

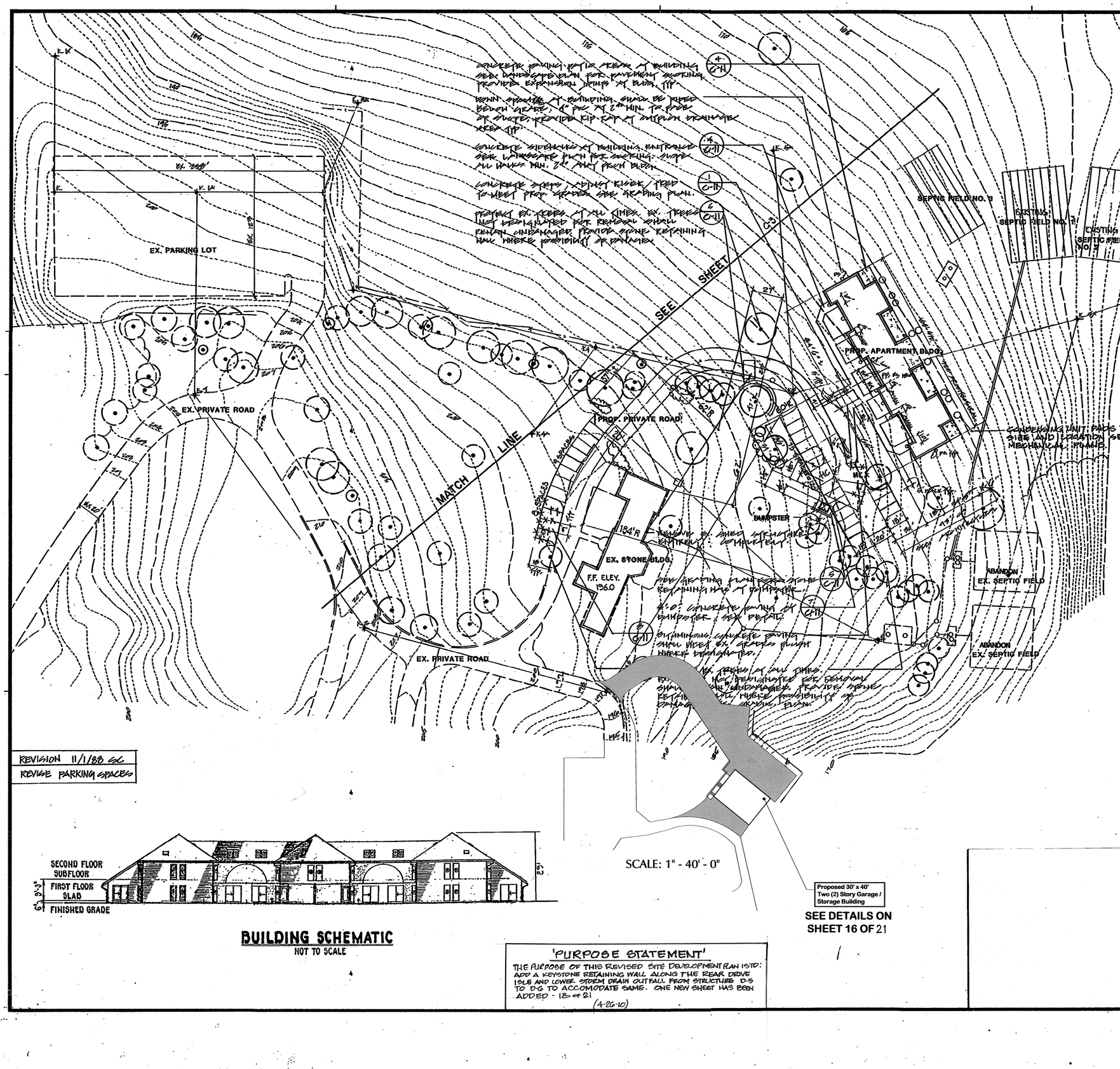
G8606

REVISED
SISTERS OF
BON SECOURS, U.S.A.
1525 MARRIOTTSVILLE ROAD
MARRIOTTSVILLE, MD. 21104
HOWARD CO., MD.
REVISED SITE DEVELOPMENT PLAN
TITLE SHEET

PROJ NO	DWG NO
SDP-87-252	C-1
SCALE 1" = 300'	
DATE AUG. 17, 1987	

SDP 87-252 Drawing name: R:\Land Projects\097042 - Bon Secours\dwg\SP-001_REDLINE.dwg Plotted: Mar 11, 2008 - 10

SDP-87-252



REVISION 11/1/88 GC
REVISE PARKING SPACES

SECOND FLOOR SUBFLOOR
FIRST FLOOR SLAB
FINISHED GRADE

BUILDING SCHEMATIC
NOT TO SCALE

'PURPOSE STATEMENT'

THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO: ADD A KEYSTONE RETAINING WALL ALONG THE REAR DRIVE ISLE AND LOWER STORM DRAIN OUTFALL FROM STRUCTURES D-5 TO D-6 TO ACCOMODATE SAME. ONE NEW SHEET HAS BEEN ADDED - 18 of 21 (4-26-10)

REVISIONS MADE AFTER 01-23-08 BY JOYCE ENGINEERING CORP.

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland

Matthew E. Joyce, Date
Professional Engr. No. 27729
Exp. Date: July 15, 2010

JOYCE ENGINEERING CORPORATION
CIVIL ENGINEERING LAND SURVEYING LAND PLANNING CONSTRUCTION MANAGEMENT
10 No. BALTIMORE AVENUE - BELTSVILLE, MARYLAND 20705
TEL: (301) 595-4551 FAX: (301) 595-4608 WEB: www.joyceeng.com

DATE	REVISION DISCRIPTION
4-26-10	SEE 'PURPOSE STATEMENT'
09-01-2009	SEE PURPOSE STATEMENT ABOVE FOR SPECIFIC REVISIONS

'PURPOSE STATEMENT'

THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO RELOCATE THE PREVIOUSLY APPROVED GARAGE LOCATION (TO THE NORTH ALONG THE EXISTING DRIVEWAY). ADD THE GARAGE ELEVATIONS. PROVIDE DRYWELLS AT DOWN-SPOUT LOCATIONS FOR GARAGE FOR WATER QUALITY PURPOSES. ADD NEW SHEETS (16 & 17 of 17).

PURDUM & JESCHKE
CONSULTING ENGINEERS
LAND SURVEYORS
1029 North Calvert Street
Baltimore, Maryland 21202 301/837-0194

APPROVED: FOR PRIVATE WATER AND SEWER SYSTEM
HOWARD COUNTY HEALTH DEPARTMENT

B Nelson for Peter Beilenson 11/24/2009
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 11/13/09

CHIEF, DIVISION OF LAND DEVELOPMENT FOR RS DATE 11/25/09

FOR DIRECTOR, [redacted] DATE 11/30/09

Gaudreau, Inc.
Architects Planners Engineers
Baltimore
810 Light Street Baltimore Maryland 21230

Faisant Associates, Inc.
Structural Engineers
Kibart, Inc.
Mechanical/Electrical Engineers
Purdum & Jeschke
Civil Engineers

DEED • 393/29
ELECTION DISTRICT • 3
TAX MAP • 10 | PARCEL 35

No. 15959 REGISTERED PROFESSIONAL ENGINEER

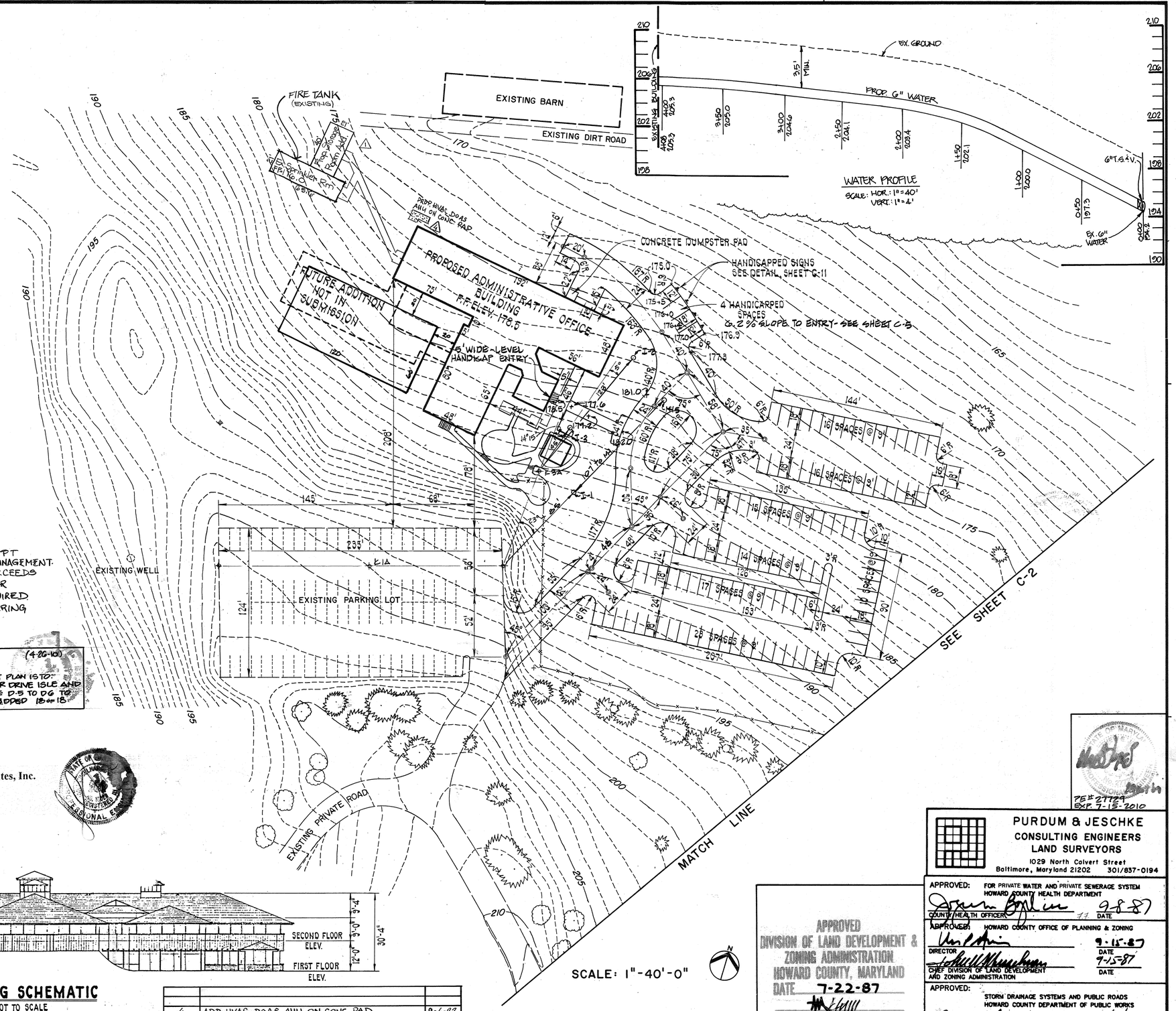
GB606

SISTERS OF BON SECOURS, U.S.A.
1525 MARRIOTTSVILLE ROAD
MARRIOTTSVILLE, MD. 21104.
HOWARD CO. MD.
APARTMENT BUILDING
SITE PLAN

PROJ NO	DWG NO
SDP-87-252	C-2
SCALE	
DATE 7 6 87 AUG. 17, 1987	SHEET 2 OF 21

SDP 87-252

Drawing name: R:\Land Projects\007042 - Bon Secour\dwg\SP-002_REDLINE.dwg
Plotted: Oct 23, 2009 - 9:16am



FOR REVISION 4 ONLY:

ADD HVAC DOAS AHU ON CONC. PAD.
NOTE: THE LOD OF 100 SFT IS EXEMPT FROM ADDRESSING STORMWATER MANAGEMENT. ANY FUTURE INCREASE THAT EXCEEDS 5000 SFT, THEN STORMWATER MANAGEMENT WILL BE REQUIRED.
REVISION 4 BY KCW ENGINEERING TECHNOLOGIES, INC.

STATE OF MARYLAND — MARK TSITLIK — 33351 — REGISTERED PROFESSIONAL ENGINEER
Mark Tsitlik 09-06-2022
P.E. 33351
EXP. 06-30-2024

'PURPOSE STATEMENT' (4-26-10)

THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO: ADD A KEYSTONE RETAINING WALL ALONG THE REAR DRIVE ISLE AND LOWER STORM DRAIN OUTFALL FROM STRUCTURE D-5 TO D6 TO ACCOMODATE SAME. ONE NEW SHEET HAS BEEN ADDED 18 OF 18.

REVISION 7-7-04 (#2)
ADD WATER PROFILE (RHV ENG.)

REVISION 3-23-98 ⚠
- ADD STORAGE RM. TO EX. SPRINKLER RM
- ADD SIDEWALK FROM OFFICE BLDG TO STORAGE RM

REVISION 11/1/88 GC
ADD FIRE TANK

J. E. Scott & Associates, Inc.
2708 Dillon Street
Baltimore, Maryland 21224
(410) 534-7442

STATE OF MARYLAND — REGISTERED PROFESSIONAL ENGINEER

BUILDING SCHEMATIC
NOT TO SCALE

NO.	REVISION	DATE
4	ADD HVAC DOAS AHU ON CONC. PAD	9-6-22
3	SEE 'PURPOSE STATEMENT'	4-26-10
2	REVISED SHEET INDEX - ADDED 2 NEW SHEETS	10-23-09
1	ADDITION OF TEMPORARY MODULAR BUILDING	8-30-02

STATE OF MARYLAND — PE 27729 — EXP. 7-15-2010

PURDUM & JESCHKE
CONSULTING ENGINEERS
LAND SURVEYORS
1029 North Calvert Street
Baltimore, Maryland 21202 301/837-0194

APPROVED
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 7-22-87

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEM
HOWARD COUNTY HEALTH DEPARTMENT
COUNTY HEALTH OFFICER — DATE 9-8-87

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
DIRECTOR — DATE 9-15-87
CHIEF DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION — DATE 7-15-87

APPROVED: STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DIRECTOR — DATE 9/14/87
CHIEF BUREAU OF ENGINEERING — DATE 9-14-87

Gaudreau, Inc.
Architects Planners Engineers
Baltimore
810 Light Street Baltimore Maryland 21230

Faisant Associates, Inc.
Structural Engineers
Kibart, Inc.
Mechanical/Electrical Engineers
Purdum & Jeschke
Civil Engineers

DEVELOPER'S CERTIFICATION

I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATION OF ATTENDANCE AT THE DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF ANY SEDIMENT EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY HOWARD SOIL CONSERVATION DISTRICT.

Sister Justina Cyr 8/24/87

ENGINEER'S CERTIFICATION

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Richard H. Berith 8/26/87

DEED · 393/29
ELECTION DISTRICT · 3
TAX MAP · 10 | PARCEL 35

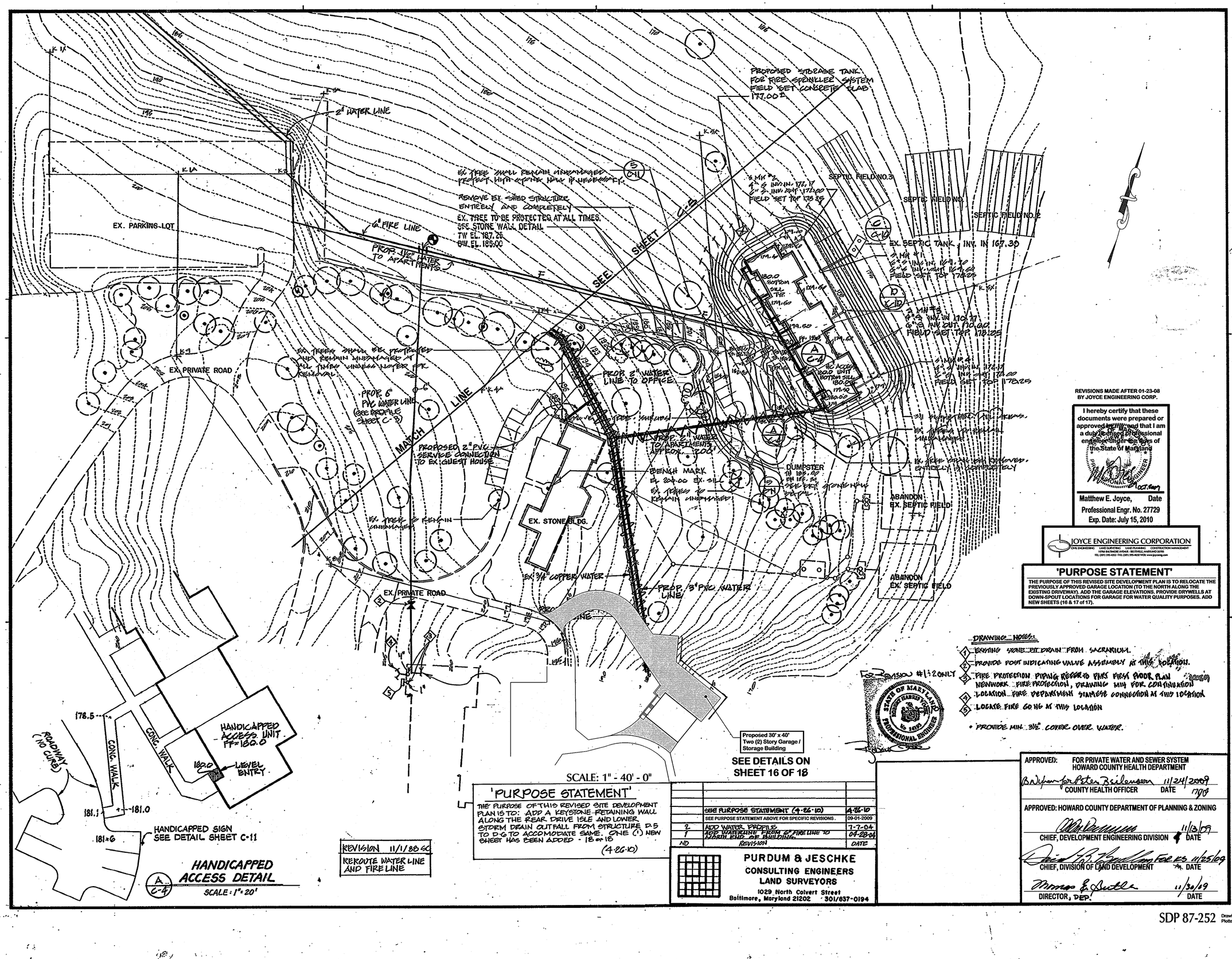
STATE OF MARYLAND — RICHARD H. BERITH — 10955 — REGISTERED PROFESSIONAL ENGINEER

G86606

SISTERS OF BON SECOURS, U.S.A.
1525 MARRIOTTSVILLE ROAD
MARRIOTTSVILLE, MD. 21104
HOWARD CO., MD.
ADMINISTRATIVE OFFICE BUILDING
SITE PLAN

PROJ NO SDP-87-252
DWG NO **C-3**
SCALE
DATE AUG. 17, 1987
SHEET 3 OF 21

SDP-87-252



DRAWING NOTES:

1. EXISTING STONE RIP RAP FROM SACRARIUM.
2. PROVIDE POST INDICATING VALVE ASSEMBLY AT THIS LOCATION.
3. FIRE PROTECTION PIPING REFERED TO FIRST FLOOR PLAN NEWWORK FIRE PROTECTION, DRAWING M1H FOR CONTINUATION
4. LOCATION FIRE DEPARTMENT SIAMESE CONNECTION AT THIS LOCATION
5. LOCATE FIRE GO HG AT THIS LOCATION

• PROVIDE MIN. 3½' COVER OVER WATER.

FOR REVISION #1 & 2 ONLY

'PURPOSE STATEMENT'

THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO: ADD A KEYSTONE RETAINING WALL ALONG THE REAR DRIVE ISLE AND LOWER STORM DRAIN OUTFALL FROM STRUCTURE D-5 TO D-6 TO ACCOMODATE SAME. ONE (1) NEW SHEET HAS BEEN ADDED - 18 of 18 (4-26-10)

REVISION 11/1/88 GC
REROUTE WATER LINE AND FIRE LINE

NO	REVISION	DATE
	SEE PURPOSE STATEMENT (4-26-10)	4-26-10
	SEE PURPOSE STATEMENT ABOVE FOR SPECIFIC REVISIONS.	09-01-2009
2.	ADD WATER PROFILE	7-7-04
1	ADD GARAGE FROM 6" FIRE LINE TO NORTH END OF BUILDING.	04-28-04

PURDUM & JESCHKE
CONSULTING ENGINEERS
LAND SURVEYORS
1029 North Calvert Street
Baltimore, Maryland 21202 · 301/837-0194

REVISIONS MADE AFTER 01-23-08 BY JOYCE ENGINEERING CORP.

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland

Matthew E. Joyce, Date
Professional Engr. No. 27729
Exp. Date: July 15, 2010

JOYCE ENGINEERING CORPORATION
CIVIL ENGINEERING · LAND SURVEYING · LAND PLANNING · CONSTRUCTION MANAGEMENT
10764 BALTIMORE AVENUE · BELTSVILLE, MARYLAND 20705
TEL: (301) 595-4333 FAX: (301) 595-4332 WEB: www.joyceeng.com

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APPROVED: FOR PRIVATE WATER AND SEWER SYSTEM
HOWARD COUNTY HEALTH DEPARTMENT

B.W. for Peter Beilenson 11/24/2009
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

11/13/09
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

for ES 11/25/09
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

11/30/09
DIRECTOR, DEP. DATE

Gaudreau, Inc.
Architects Planners Engineers
Baltimore
810 Light Street Baltimore Maryland 21230

Faisant Associates, Inc.
Structural Engineers
Kibart, Inc.
Mechanical/Electrical Engineers
Purdum & Jeschke
Civil Engineers

DEED · 393/29
ELECTION DISTRICT · 3
TAX MAP · 10 | PARCEL 35

GB6606

SISTERS OF BON SECOURS, U.S.A.
1525 MARRIOTTSVILLE ROAD
MARRIOTTSVILLE, MD. 21104
HOWARD CO., MD.

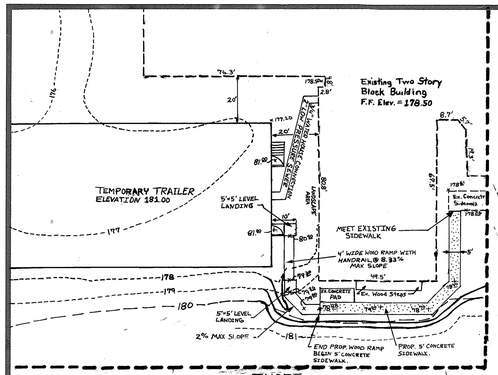
GRADING AND UTILITY PLAN

PROJ NO	DWG NO
SDP-87-252	C-4
SCALE	
DATE	Sheet 4 of 18
AUG. 17, 1987	SHEET

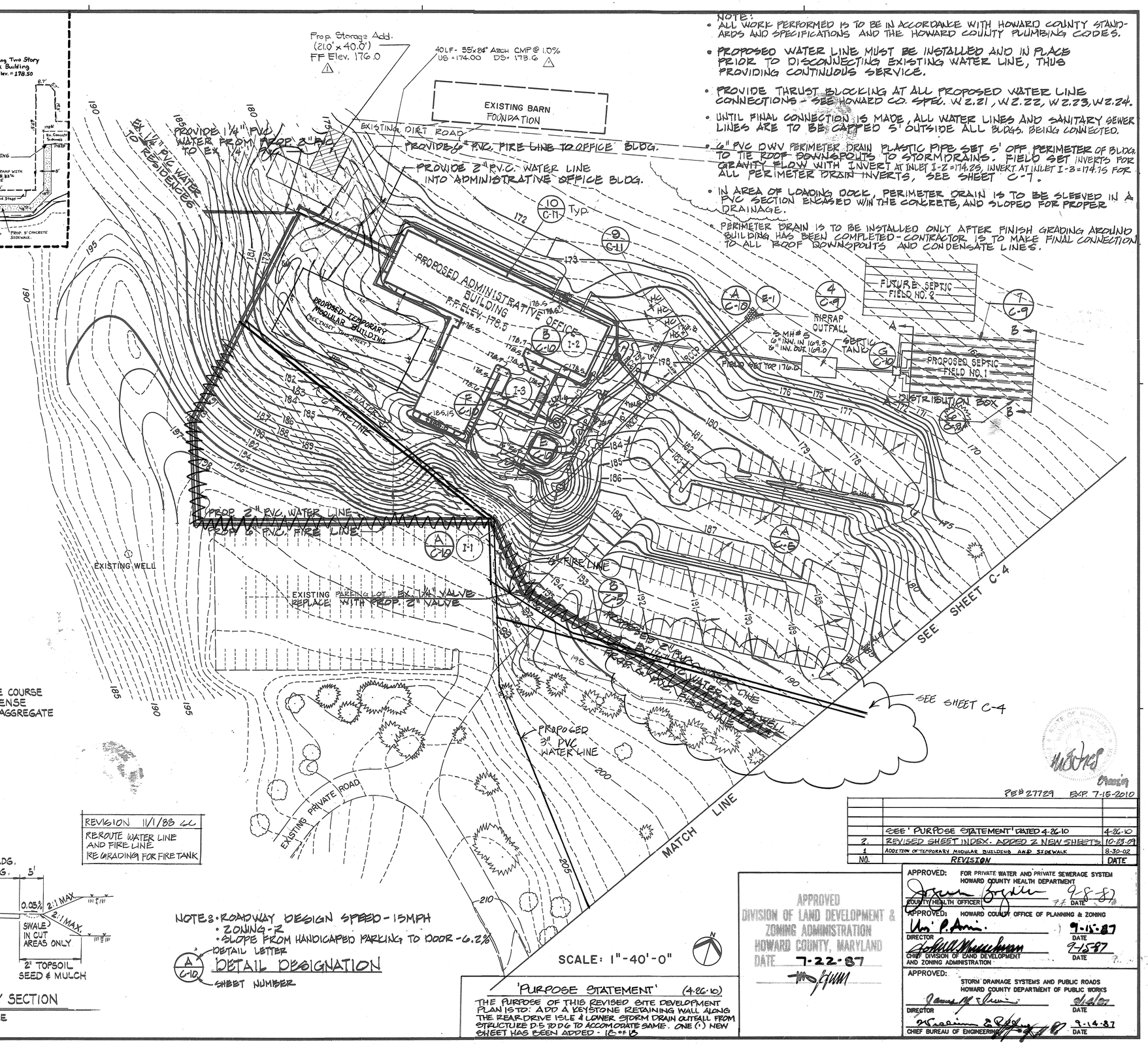
SDP 87-252

Drawing name: R:\Land Projects\007042 - Bon Secours\dwg\SP-004_REDLINE.dwg
Plotted: Oct 23, 2009 - 9:22am

NOTE:
- ALL WORK PERFORMED IS TO BE IN ACCORDANCE WITH HOWARD COUNTY STANDARDS AND SPECIFICATIONS AND THE HOWARD COUNTY PLUMBING CODES.
- PROPOSED WATER LINE MUST BE INSTALLED AND IN PLACE PRIOR TO DISCONNECTING EXISTING WATER LINE, THUS PROVIDING CONTINUOUS SERVICE.
- PROVIDE THRUST BLOCKING AT ALL PROPOSED WATER LINE CONNECTIONS - SEE HOWARD CO. SPEC. W.2.21, W.2.22, W.2.23, W.2.24.
- UNTIL FINAL CONNECTION IS MADE, ALL WATER LINES AND SANITARY SEWER LINES ARE TO BE CAPPED 5' OUTSIDE ALL BLDGS. BEING CONNECTED.
- 6" PVC DWV PERIMETER DRAIN PLASTIC PIPE SET 5' OFF PERIMETER OF BLDG. TO TIE ROOF DOWNSPOUTS TO STORMDRAINS. FIELD SET INVERTS FOR GRAVITY FLOW WITH INVERT AT INLET I-2 = 174.25, INVERT AT INLET I-3 = 174.75 FOR ALL PERIMETER DRAIN INVERTS, SEE SHEET C-7.
- IN AREA OF LOADING DOCK, PERIMETER DRAIN IS TO BE SLEEVED IN A PVC SECTION ENCASED W/IN THE CONCRETE, AND SLOPED FOR PROPER DRAINAGE.
- PERIMETER DRAIN IS TO BE INSTALLED ONLY AFTER FINISH GRADING AROUND BUILDING HAS BEEN COMPLETED - CONTRACTOR IS TO MAKE FINAL CONNECTION TO ALL ROOF DOWNSPOUTS AND CONDENSATE LINES.



INSET
PROPOSED TEMPORARY MODULAR BUILDING AND SIDEWALK
Scale: 1" = 30'

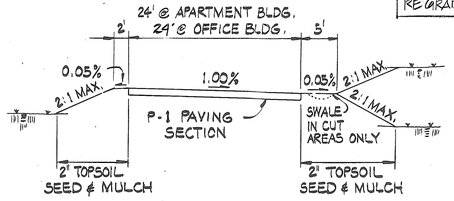


REVISION 3/23/88 △
- ADD 81'x40' Storage Add, Sidewalk & 35"x24" CMP ARCH, Regrade as Necessary

J.E. Scott & Assoc., Inc.
2708 Dillon Street
Baltimore, MD 21224
(410) 534-7442

1" BITUMINOUS CONCRETE SURFACE
2" BIT. CONC. BASE
PRIME
5" CRUSHER RUN BASE COURSE (2 COURSES) OR 4" DENSE GRADED STABILIZED AGGREGATE BASE COURSE

A / C-5 P-1 PAVING SECTION
NOT TO SCALE



B / C-5 TYPICAL ROADWAY SECTION
NOT TO SCALE

REVISION 11/1/88 CC
REROUTE WATER LINE AND FIRE LINE RE GRADING FOR FIRE TANK

NOTES: • ROADWAY DESIGN SPEED - 15MPH
• ZONING - R
• SLOPE FROM HANDICAPED PARKING TO DOOR - 6.2%

A / C-10 DETAIL DESIGNATION (DETAIL LETTER / SHEET NUMBER)

SCALE: 1"-40'-0"

'PURPOSE STATEMENT' (4.26.10)
THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO: ADD A KEYSTONE RETAINING WALL ALONG THE REAR DRIVE ISLE & LOWER STORM DRAIN OUTFALL FROM STRUCTURE D-5 TO DG TO ACCOMODATE SAME. ONE (1) NEW SHEET HAS BEEN ADDED - 18 OF 18

APPROVED
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 7-22-87

PE # 27729 EXP. 7-15-2010

NO.	REVISION	DATE
	SEE 'PURPOSE STATEMENT' DATED 4-26-10	4-26-10
2	REVISED SHEET INDEX. ADDED 2 NEW SHEETS	10-23-09
1	ADDITION OF TEMPORARY MODULAR BUILDING AND SIDEWALK	8-30-02

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEM HOWARD COUNTY HEALTH DEPARTMENT
COUNTY HEALTH OFFICER — DATE 9-8-87

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
DIRECTOR — DATE 9-15-87
CHIEF DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION — DATE 9-15-87

APPROVED: STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DIRECTOR — DATE 9/4/87
CHIEF BUREAU OF ENGINEERING — DATE 9-14-87

Gaudreau, Inc.
Architects Planners Engineers
Baltimore
810 Light Street Baltimore Maryland 21230

Faisant Associates, Inc.
Structural Engineers
Kibart, Inc.
Mechanical/Electrical Engineers
Purdum & Jeschke
Civil Engineers

DEVELOPER'S CERTIFICATION
I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATION OF ATTENDANCE AT THE DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF ANY SEDIMENT EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY HOWARD SOIL CONSERVATION DISTRICT.

8/24/87

ENGINEER'S CERTIFICATION
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

8/24/87

DEED : 393/29
ELECTION DISTRICT : 3
TAX MAP : 10 | PARCEL 35

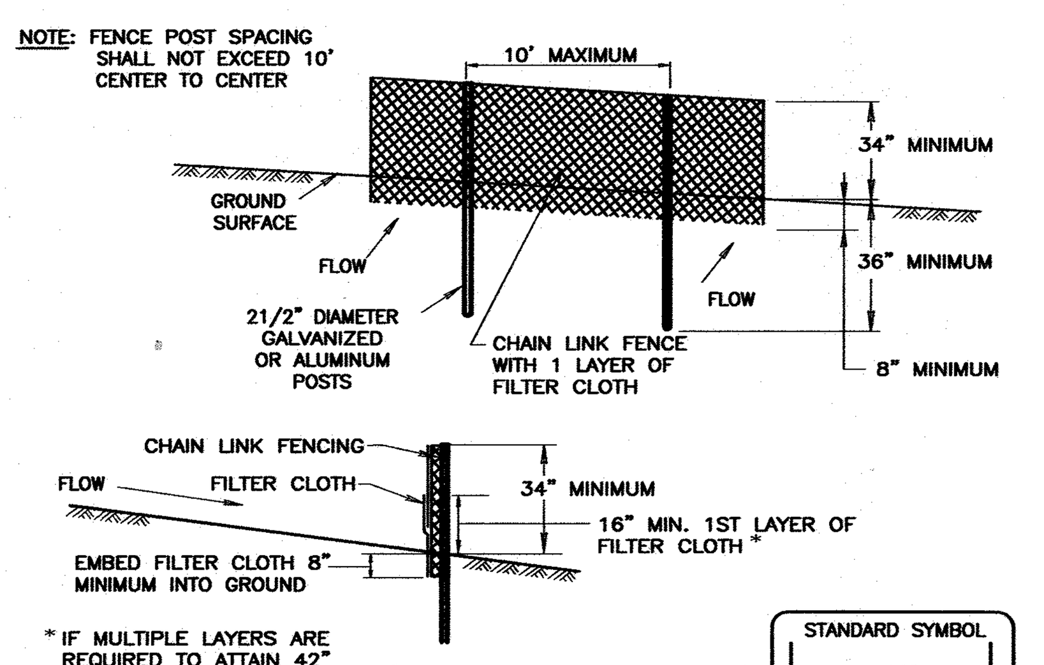
G86006

SISTERS OF BON SECOURS, U.S.A.
1525 MARRIOTTSVILLE ROAD
MARRIOTTSVILLE, MD. 21104
HOWARD CO., MD.
ADMINISTRATIVE OFFICE BUILDING
GRADING & UTILITY PLAN

PROJ NO	DWG NO
SDP-87-252	C-5
SCALE 1"=40'	
DATE AUG. 17, 1987	SHEET 5 OF 21

SDP-87-252

DETAIL 33 – SUPER SILT FENCE



CONSTRUCTION SPECIFICATIONS

1. FENCING SHALL BE 42" IN HEIGHT AND CONSTRUCTED IN ACCORDANCE WITH THE LATEST MARYLAND STATE HIGHWAY DETAILS FOR CHAIN LINK FENCING. THE SPECIFICATION FOR A 6' FENCE SHALL BE USED, SUBSTITUTING 42" FABRIC AND 6' LENGTH POSTS.
2. CHAIN LINK FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIES. THE LOWER TENSION WIRE, BRACE AND TRUSS RODS, DRIVE ANCHORS AND POST CAPS ARE NOT REQUIRED EXCEPT ON THE ENDS OF THE FENCE.
3. FILTER CLOTH SHALL BE FASTENED SECURELY TO THE CHAIN LINK FENCE WITH TIES SPACED EVERY 24" AT THE TOP AND MID SECTION.
4. FILTER CLOTH SHALL BE EMBEDDED A MINIMUM OF 8" INTO THE GROUND.
5. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6" AND FOLDED.
6. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SILT BUILDUPS REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE, OR WHEN SILT REACHES 50% OF FENCE HEIGHT
7. FILTER CLOTH SHALL BE FASTENED SECURELY TO EACH FENCE POST WITH WIRE TIES OR STAPLES AT TOP AND MID SECTION AND SHALL MEET THE FOLLOWING REQUIREMENTS FOR GEOTEXTILE CLASS F:

TENSILE STRENGTH	50 LBS/IN (MIN.)	TEST: MSMT 509
TENSILE MODULUS	20 LBS/IN (MIN.)	TEST: MSMT 509
FLOW RATE	0.3 GAL/FT² /MINUTE (MAX.)	TEST: MSMT 322
FILTERING EFFICIENCY	75% (MIN.)	TEST: MSMT 322

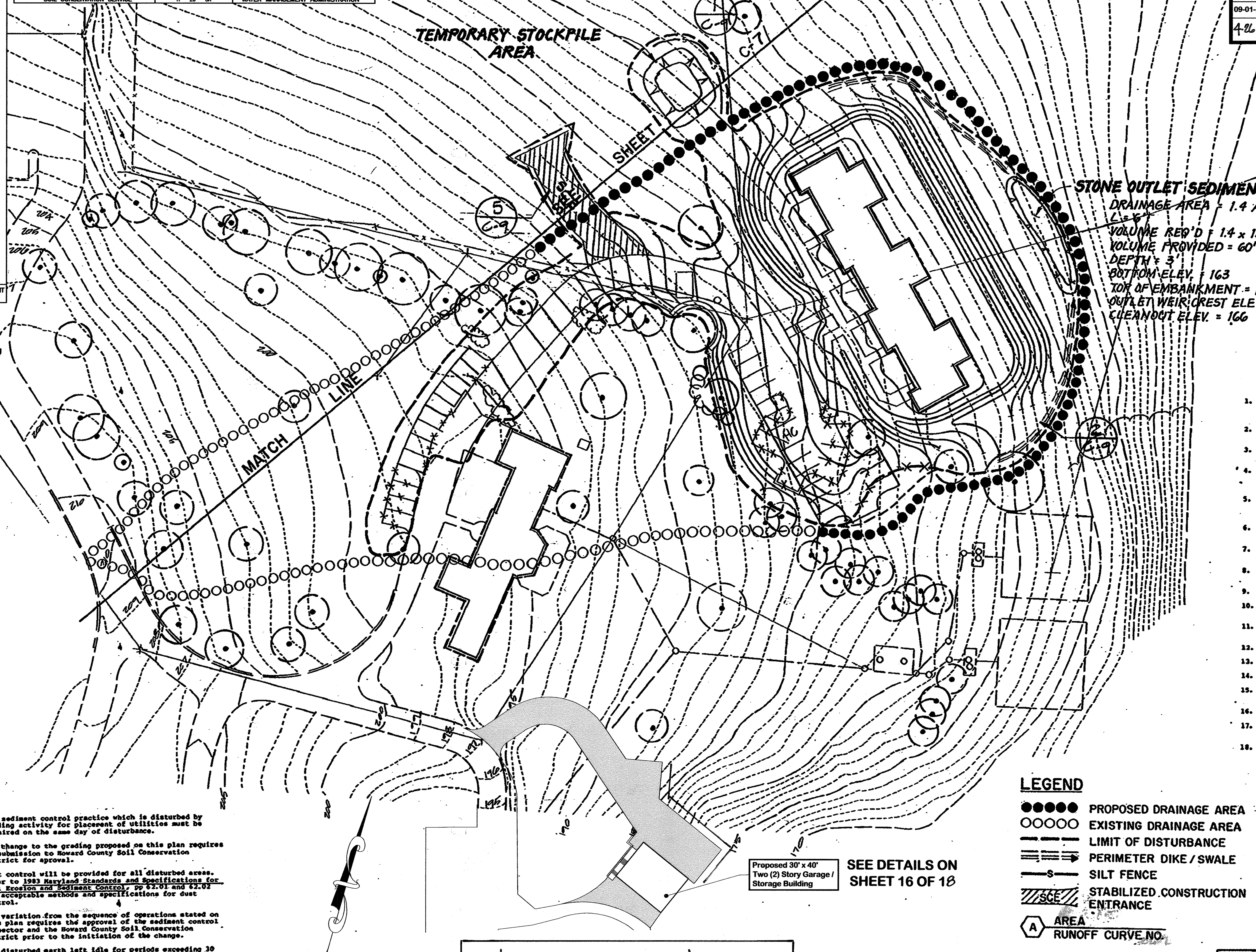
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE H - 26 - 3	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

SUPER SILT FENCE

DESIGN CRITERIA

SLOPE	SLOPE STEEPNESS	SLOPE LENGTH (MAXIMUM)	SILT FENCE LENGTH (MAXIMUM)
0 – 10%	0 – 10:1	UNLIMITED	UNLIMITED
10 – 20%	10:1 – 5:1	200 FEET	1,500 FEET
20 – 33%	5:1 – 3:1	100 FEET	1,000 FEET
33 – 50%	3:1 – 2:1	100 FEET	500 FEET
50% +	2:1 +	50 FEET	250 FEET

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE H - 26 - 3A	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



SEE DETAILS ON SHEET 16 OF 18

SCALE: 1" - 40'

REVISION 11/1/88 SC

REVISE PARKING SPACES

LEGEND

- PROPOSED DRAINAGE AREA
- EXISTING DRAINAGE AREA
- LIMIT OF DISTURBANCE
- PERIMETER DIKE / SWALE
- SILT FENCE
- STABILIZED CONSTRUCTION ENTRANCE
- (A) AREA / RUNOFF CURVE NO.

* NOTE: THE SEDIMENT CONTROL PLAN FOR THE APARTMENT BUILDING AND OFFICE BUILDING ARE SEPARATE AND CAN BE CONSTRUCTED INDEPENDENTLY

SEDIMENT: EROSION CONTROL NOTES

1. A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction (992-2437).
2. Refer to "1983 Maryland Standards and Specifications for Soil Erosion and Sediment Control for the standard details and detailed specifications of each practice specified herein.
3. On all sites disturbed areas in excess of 2 acres approval of the inspection agency shall be required upon completion of installation of perimeter erosion and sediment controls but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
4. With the approval of the sediment control inspector, minor field adjustments can and will be made to insure the control of any sediment. Changes in sediment control practices require prior approval of the sediment control inspector and the Howard County Soil Conservation District.
5. Additional sediment controls must be provided if deemed necessary by the Howard County Department Sediment Control Inspector.
6. Following initial soil disturbance, permanent or temporary stabilization shall be complete within: a) seven calendar days as to the surface of all perimeter controls, dikes, swales, ditches, perimeter slopes, and all slopes greater than 3 horizontal to 1 vertial (3: 1) and b) fourteen days as to all other disturbed or graded areas on the project site.
7. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with volume 1., chapter 2 of the Howard County Design Manual Storm Drainage.
8. All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 Maryland Standards and Specifications for Soil Erosion and Sediment Control for permanent seedings (Sec. 51) Sod (Sec. 54). Temporary seeding (Sec. 50) and mulching (Sec. 52). Temporary stabilization with mulch alone can only be done when recommended seeding dates can not all for proper germination and establishment of grasses.
9. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
10. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
11. Any change to the grading proposed on this plan requires re-submission to Howard County Soil Conservation District for aproval.
12. Dust control will be provided for all disturbed areas. Refer to 1983 Maryland Standards and Specifications for Soil Erosion and Sediment Control, pp 62.01 and 62.02 for acceptable methods and specifications for dust control.
13. Any variation from the sequence of operations stated on this plan requires the approval of the sediment control inspector and the Howard County Soil Conservation District prior to the initiation of the change.
14. Any disturbed earth left idle for periods exceeding 30 days shall be stabilized according to temporary stabilization specifications.
15. At the end of each working day, all sediment control practice will be inspected and left in operational condition.
16. SITE ANALYSIS: APT. BLDG.

TOTAL AREA OF PROPERTY	312.45 ACRES
AREA DISTURBED	0.97 ACRES
AREA TO BE ROOFED OR PAVED	0.2 ACRES
AREA TO BE VEGETATIVELY STABILIZED	0.77 ACRES
TOTAL CUT	1967 CU.YDS.
TOTAL FILL	1565 CU.YDS.

See sheet 16 of 17 for earthwork number and disturbed area.

17. All disturbed areas shall be stabilized with permanent seed and mulch in accordance with plans approved by the Howard County Conservation District.
18. All parking lot islands shall be sodded as per Howard County specifications and standard details.
19. The Contractor shall repair and maintain existing sediment control devices until all areas within the limit of construction are stabilized. At that point all sediment control devices shall be removed and areas restored and stabilized.

* SEQUENCE OF CONSTRUCTION

1. Notify the Howard County Soil Conservation District and the Howard County Bureau of Licenses, Inspection and Permits at least 48 hours before any work begins.
2. Clear and grub for sediment and erosion control measures or devices only.
3. Install all sediment and erosion control measures and devices.
4. Notify Howard County Department of Permits and Licenses, Sediment Control Division, upon completion of said installation.
5. With the approval of Howard County Department of Permits and Licenses and the sediment control inspector, clear and grub remainder of site.
6. Make the appropriate removals to existing site conditions.
7. Begin earthwork operations beginning with topsoil removal and stockpiling.
8. Start major grading, maintain positive drainage to sediment control structures.
9. Stabilize rough graded areas.
10. During building construction maintain all sediment control measures.
11. Place building floor area and parking areas to subgrade.
12. Construct foundation walls.
13. Install all utilities.
14. Place base stone on building and paving subgraded areas.
15. Stabilize all remaining disturbed areas outside of building and paved areas.
16. Complete paving.
17. Grade to proposed finished grades stabilize with permanent seed mix.
18. After obtaining permission from the sediment control inspector, remove all erosion control devices and stabilize those areas.

'PURPOSE STATEMENT'

THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO: ADD A KEYSTONE RETAINING WALL ALONG THE REAR DRIVE ISLE AND LOWER STORM DRAIN OUTFALL FROM STRUCTURE D-5 TO D-6 TO ACCOMODATE SAME. ONE (1) NEW SHEET HAS BEEN ADDED - 18 of 18
(4-26-10)

Reviewed for Howard SCD and meets Technical Requirements

USDA - Natural Resources Conservation Service — Date

This development plan is approved for the soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT

John R Robertson — 11/10/09
Howard SCD — Date

ENGINEERS' CERTIFICATION

"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Signature of Engineer (print name below signature) — Date: 29 OCT. 2009
Matthew E. Joyce, P.E.

DEVELOPER'S CERTIFICATION

"I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at the Department of Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Sr. Alice M. Talone — 10/29/09

Signature of Developer (print name below signature) — Date
Sisters of Bon Secours, USA Sr. ALICE TALONE

APPROVED: FOR PRIVATE WATER AND SEWER SYSTEM HOWARD COUNTY HEALTH DEPARTMENT

B Nufer for Peter Beilenson — 11/24/2009
COUNTY HEALTH OFFICER — DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION — DATE 11/13/09

CHIEF, DIVISION OF LAND DEVELOPMENT — DATE 11/25/09

DIRECTOR, DEP. — DATE 11/30/09

PURDUM & JESCHKE
CONSULTING ENGINEERS
LAND SURVEYORS
1029 North Calvert Street
Baltimore, Maryland 21202 301/837-0194

'PURPOSE STATEMENT'

THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO RELOCATE THE PREVIOUSLY APPROVED GARAGE LOCATION (TO THE NORTH ALONG THE EXISTING DRIVEWAY). ADD THE GARAGE ELEVATIONS. PROVIDE DRYWELLS AT DOWN-SPOUT LOCATIONS FOR GARAGE FOR WATER QUALITY PURPOSES. ADD NEW SHEETS (16 & 17 of 17).

DATE	REVISION DISCRIPTION
1/06/09	FOR REVISIONS DETAILS SEE 'PURPOSE STATEMENT' DATED JAN. 6, 2009
09-01-2009	SEE PURPOSE STATEMENT ABOVE FOR SPECIFIC REVISIONS
4-26-10	SEE 'PURPOSE STATEMENT' DATED 4-26-10

JOYCE ENGINEERING CORPORATION
CIVIL ENGINEERING LAND SURVEYING LAND PLANNING CONSTRUCTION MANAGEMENT
10766 BALTIMORE AVENUE - BELTSVILLE, MARYLAND 20705
TEL: (301) 595-4353 FAX: (301) 595-4650 WEB: www.joyceeng.com

REVISIONS MADE AFTER 01-23-08 BY JOYCE ENGINEERING CORP.

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland

29 OCT. 2009
Matthew E. Joyce, — Date
Professional Engr. No. 27729
Exp. Date: July 15, 2010

Gaudreau, Inc.
Architects Planners Engineers
Baltimore
810 Light Street Baltimore Maryland 21230

Faisant Associates, Inc.
Structural Engineers
Kibart, Inc.
Mechanical/Electrical Engineers
Purdum & Jeschke
Civil Engineers

DEED: 393/29	
ELECTION DISTRICT: 3	
TAX MAP: 10	PARCEL 35

G8606

SISTERS OF BON SECOURS, U.S.A.

1525 MARRIOTTSVILLE ROAD
MARRIOTTSVILLE, MD. 21104
HOWARD CO., MD.

SEDIMENT AND EROSION CONTROL PLAN

PROJ NO	DWG NO
SDP-87-252	C-6
SCALE	
DATE AUG. 17, 1987	
	SHEET 6 OF 21

SDP 87-252

Drawing name: R:\Land Projects\007042 - Bon Secour\dwg\SP-006_REDLINE.dwg
Plotted: Oct 23, 2009 - 9:29am

SEQUENCE OF CONSTRUCTION

1. Notify the Howard County Soil Conservation District and the Howard County Bureau of Licenses, Inspection and Permits at least 48 hours before any work begins.
2. Clear and grub for sediment and erosion control measures or devices only.
3. Install all sediment and erosion control measures and devices.
4. Notify Howard County Department of Permits and Licenses, Sediment Control Division, upon completion of said installation.
5. With the approval of Howard County Department of Permits and Licenses and the sediment control inspector, clear and grub remainder of site.
6. Make the appropriate removals to existing site conditions.
7. Begin earthwork operations beginning with topsoil removal and stockpiling.
8. Start major grading, maintain positive drainage to sediment control structures.
9. Stabilize rough graded areas.
10. During building construction maintain all sediment control measures.
11. Place building floor area and parking areas to subgrade.
12. Construct foundation walls.
13. Install all utilities.
14. Place base stone on building and paving subgraded areas.
15. Stabilize all remaining disturbed areas outside of building and paved areas.
16. Complete paving.
17. Grade to proposed finished grades stabilize with permanent seed mix.
18. After obtaining permission from the sediment control inspector, remove all erosion control devices and stabilize those areas.

SEDIMENT: EROSION CONTROL NOTES

1. A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction (992-2437).
2. Refer to "1983 Maryland Standards and Specifications for Soil Erosion and Sediment Control for the standard details and detailed specifications of each practice specified herein.
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4. With the approval of the sediment control inspector, minor field adjustments can and will be made to insure the control of any sediment. Changes in sediment control practices require prior approval of the sediment control inspector and the Howard County Soil Conservation District.
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6. Following initial soil disturbance, permanent or temporary stabilization shall be complete within: a) seven calendar days as to the surface of all perimeter controls, dikes, swales, ditches, perimeter slopes, and all slopes greater than 3 horizontal to 1 vertical (3: 1) and b) fourteen days as to all other disturbed or graded areas on the project site.
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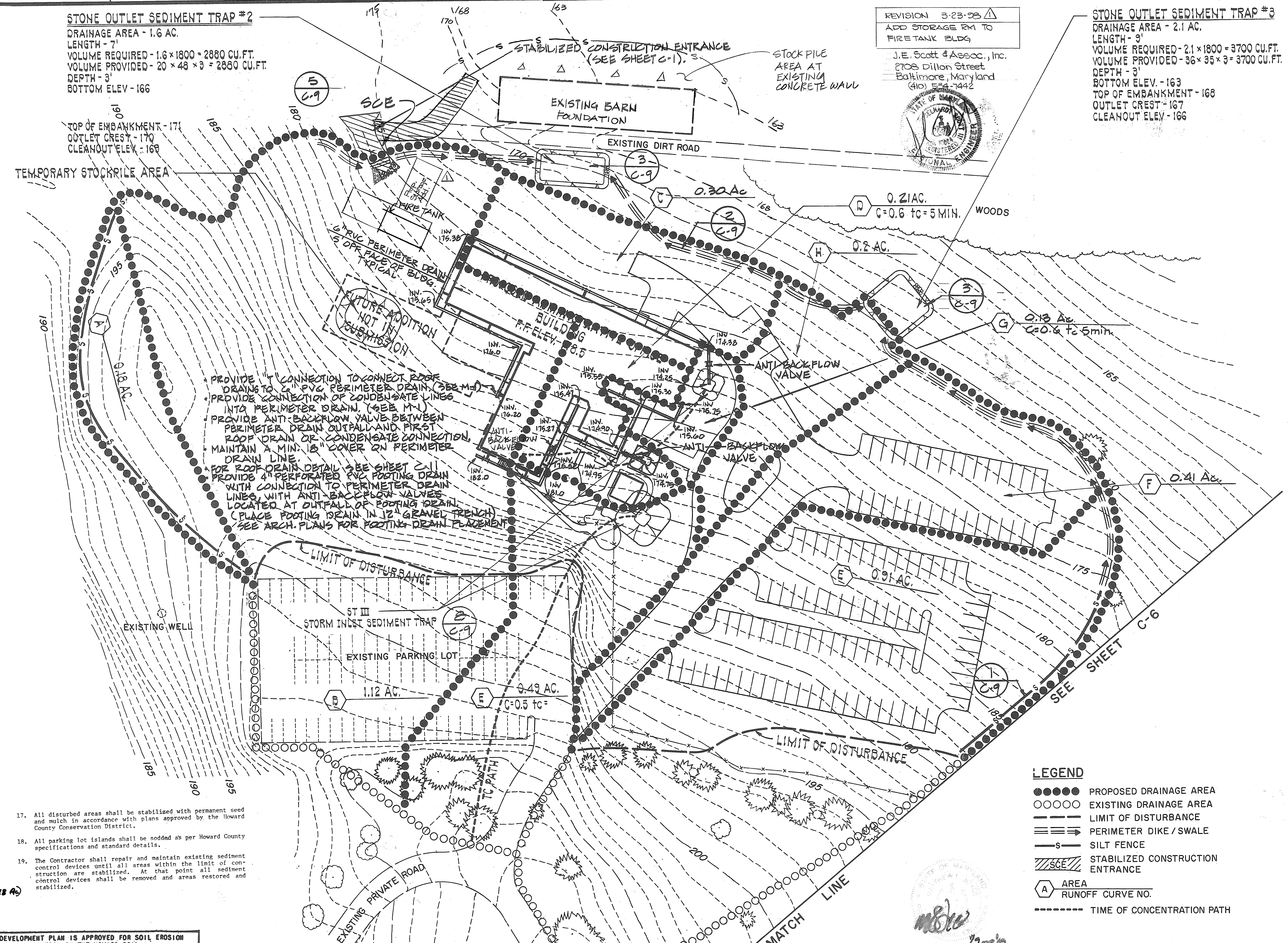
13. Any variation from the sequence of operations stated on this plan requires the approval of the sediment control inspector and the Howard County Soil Conservation District prior to the initiation of the change.
14. Any disturbed earth left idle for periods exceeding 30 days shall be stabilized according to temporary stabilization specifications.
15. At the end of each working day, all sediment control practice will be inspected and left in operational condition.
16. SITE ANALYSIS: OFFICE SITE

TOTAL AREA OF PROPERTY	312.45 ACRES
AREA DISTURBED	5.96 ACRES
AREA TO BE ROOFED OR PAVED	1.48 ACRES
AREA TO BE VEGETATIVELY STABILIZED	0.44 ACRES (3.48 Ac)
TOTAL CUT	8544 CU.YDS.
TOTAL FILL	8345 CU.YDS.

17. All disturbed areas shall be stabilized with permanent seed and mulch in accordance with plans approved by the Howard County Conservation District.
18. All parking lot islands shall be sodded as per Howard County specifications and standard details.
19. The Contractor shall repair and maintain existing sediment control devices until all areas within the limit of construction are stabilized. At that point all sediment control devices shall be removed and areas restored and stabilized.



SCALE: 1"-40'-0"

LEGEND

- PROPOSED DRAINAGE AREA
- EXISTING DRAINAGE AREA
- LIMIT OF DISTURBANCE
- PERIMETER DIKE / SWALE
- SILT FENCE
- SCE — STABILIZED CONSTRUCTION ENTRANCE
- (A) AREA / RUNOFF CURVE NO.
- TIME OF CONCENTRATION PATH

REVISION 4-26-10
SEE 'PURPOSE STATEMENT' DATED 4-26-10

REVISION 11/1/88 SC
ADD SOIL STOCK PILE IN AREA OF BARN FOUNDATION

REVISION 10/23/09
REVISED SHEET INDEX. ADDED 2 NEW SHEETS.

'PURPOSE STATEMENT' (4-26-10)

THE PURPOSE OF THIS REVISED SITE DEVELOPMENT IS TO: ADD A KEYSTONE RETAINING WALL ALONG REAR DRIVE ISLE AND TO LOWER STORM DRAIN OUTFALL FROM STRUCTURE D-5 TO D-6 TO ACCOMODATE SAME. ADD SHEET 18 OF 18

P.E.# 27729 EXP. 7-15-2010

APPROVED
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 7-22-87

RESPONSIBLE PERSONNEL CERTIFICATION

"I HEREBY CERTIFY THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE FROM A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT".

SIGNATURE OF DEVELOPER — DATE 8/26/87

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: HOWARD S.C.D. — DATE 9/2/87

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS.

SIGNATURE: U.S. SOIL CONSERVATION SERVICE — DATE 9-2-87

CERTIFICATION BY THE ENGINEER

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

SIGNATURE OF ENGINEER — DATE 8/26/87

CERTIFICATION BY THE DEVELOPER

"I CERTIFY THAT ALL DEVELOPMENT AND OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THIER AUTHORIZED AGENTS, AS DEEMED NECESSARY."

SIGNATURE OF DEVELOPER — DATE 8/26/87

PURDUM & JESCHKE
CONSULTING ENGINEERS
LAND SURVEYORS
1029 North Calvert Street
Baltimore, Maryland 21202 301/837-0194

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEM HOWARD COUNTY HEALTH DEPARTMENT
COUNTY HEALTH OFFICER — DATE 9-8-87

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
DIRECTOR — DATE 9-15-89
CHIEF DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION — DATE 9-15-87

APPROVED: STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DIRECTOR — DATE 9/14/87
CHIEF BUREAU OF ENGINEERING — DATE 9-14-87

Gaudreau, Inc.
Architects Planners Engineers
Baltimore
810 Light Street Baltimore Maryland 21230

Faisant Associates, Inc.
Structural Engineers
Kibart, Inc.
Mechanical/Electrical Engineers
Purdum & Jeschke
Civil Engineers

DEVELOPER'S CERTIFICATION

I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATION OF ATTENDANCE AT THE DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF ANY SEDIMENT EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY HOWARD SOIL CONSERVATION DISTRICT.

8/26/87

ENGINEER'S CERTIFICATION

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

8/26/87

DEED: 393/29
ELECTION DISTRICT: 3
TAX MAP: 10 — PARCEL 35

G8606

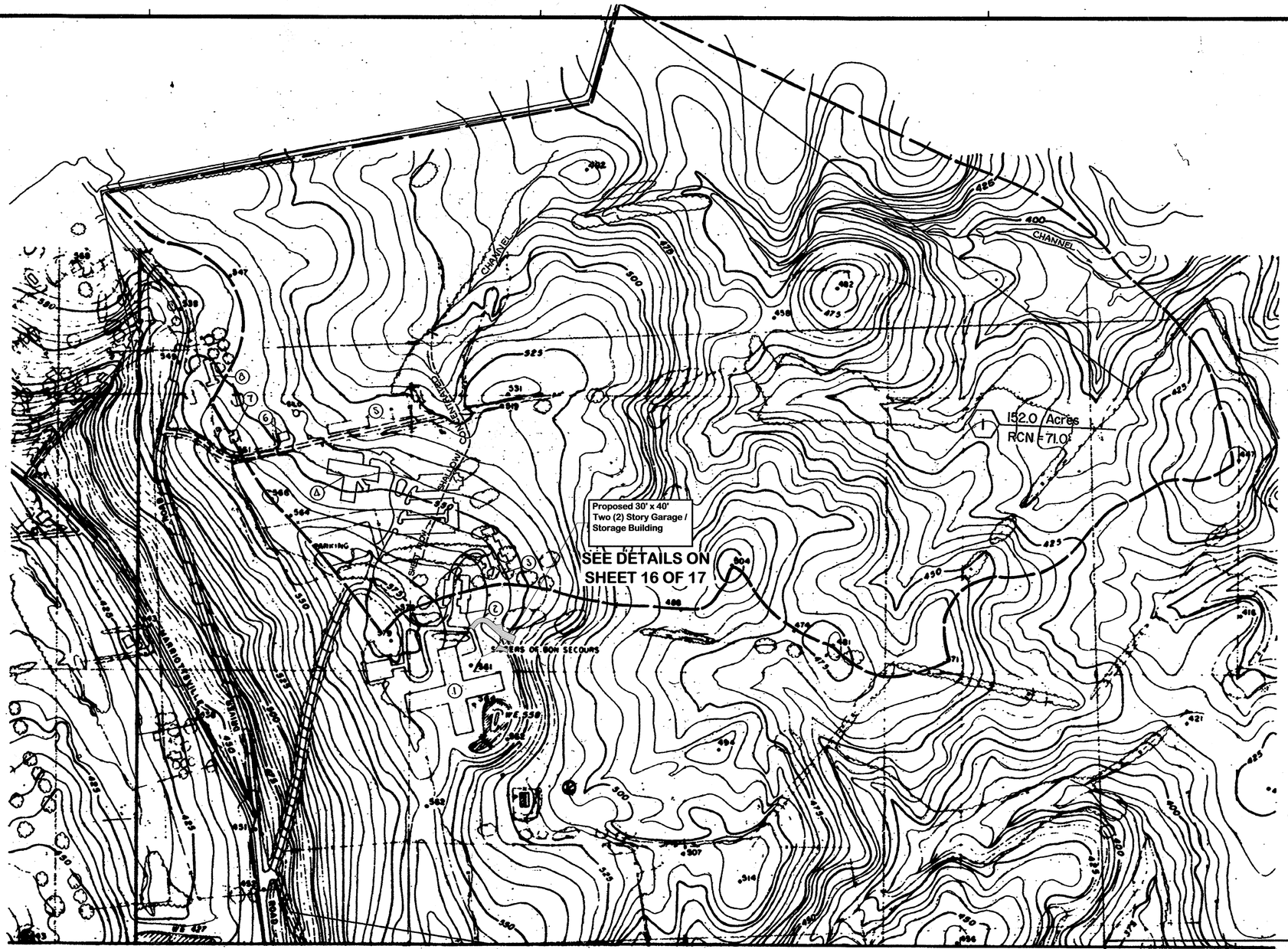
SISTERS OF BON SECOURS, U.S.A.

1525 MARRIOTTSVILLE ROAD
MARRIOTTSVILLE, MD. 21104
HOWARD CO., MD.

SEDIMENT AND EROSION CONTROL PLAN AND DRAINAGE AREA MAP

PROJ NO SDP-87-252	DWG NO C-7
SCALE	
DATE AUG. 17, 1987	SHEET 7 OF 21

SDP-87-252



DRAINAGE AREA MAP

SCALE: 1"=200'

'PURPOSE STATEMENT'

THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO RELOCATE THE PREVIOUSLY APPROVED GARAGE LOCATION (TO THE NORTH ALONG THE EXISTING DRIVEWAY), ADD THE GARAGE ELEVATIONS. PROVIDE DRYWELLS AT DOWN-SPOUT LOCATIONS FOR GARAGE FOR WATER QUALITY PURPOSES. ADD NEW SHEETS (16 & 17 of 17).

DATE	REVISION DISCRIPTION
09-01-2009	SEE PURPOSE STATEMENT ABOVE FOR SPECIFIC REVISIONS
4-26-10	SEE 'PURPOSE STATEMENT' DATED 4-26-10

'PURPOSE STATEMENT' (4-26-10)

THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO: ADD A KEYSTONE RETAINING WALL ALONG THE REAR DRIVE ISLE AND LOWER STORM DRAIN OUTFALL STRUCTURE D-5 TO D-6 TO ACCOMODATE GAME. ONE (1) NEW SHEET HAS BEEN ADDED. Book

JOYCE ENGINEERING CORPORATION
CIVIL ENGINEERING LAND SURVEYING LAND PLANNING CONSTRUCTION MANAGEMENT
10706 BALTIMORE AVENUE - BELTSVILLE, MARYLAND 20705
TEL: (301) 595-4350 FAX: (301) 595-4660 WEB: www.joyceeng.com

REVISIONS MADE AFTER 01-23-08
BY JOYCE ENGINEERING CORP.

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland

Matthew E. Joyce, Date
Professional Engr. No. 27729
Exp. Date: July 15, 2010

PURDUM & JESCHKE
CONSULTING ENGINEERS
LAND SURVEYORS
1029 North Calvert Street
Baltimore, Maryland 21202 301/837-0194

APPROVED: FOR PRIVATE WATER AND SEWER SYSTEM
HOWARD COUNTY HEALTH DEPARTMENT

B Nixon for Peter Bailenson 11/24/2009
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

11/13/09
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

11/25/09
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

11/30/09
DIRECTOR, DATE

SDP 87-252

Gaudreau, Inc.
Architects Planners Engineers
Baltimore
810 Light Street Baltimore Maryland 21230

Faisant Associates, Inc.
Structural Engineers
Kibart, Inc.
Mechanical/Electrical Engineers
Purdum & Jeschke
Civil Engineers

DEED · 393/29
ELECTION DISTRICT · 3
TAX MAP · 10 | PARCEL 35

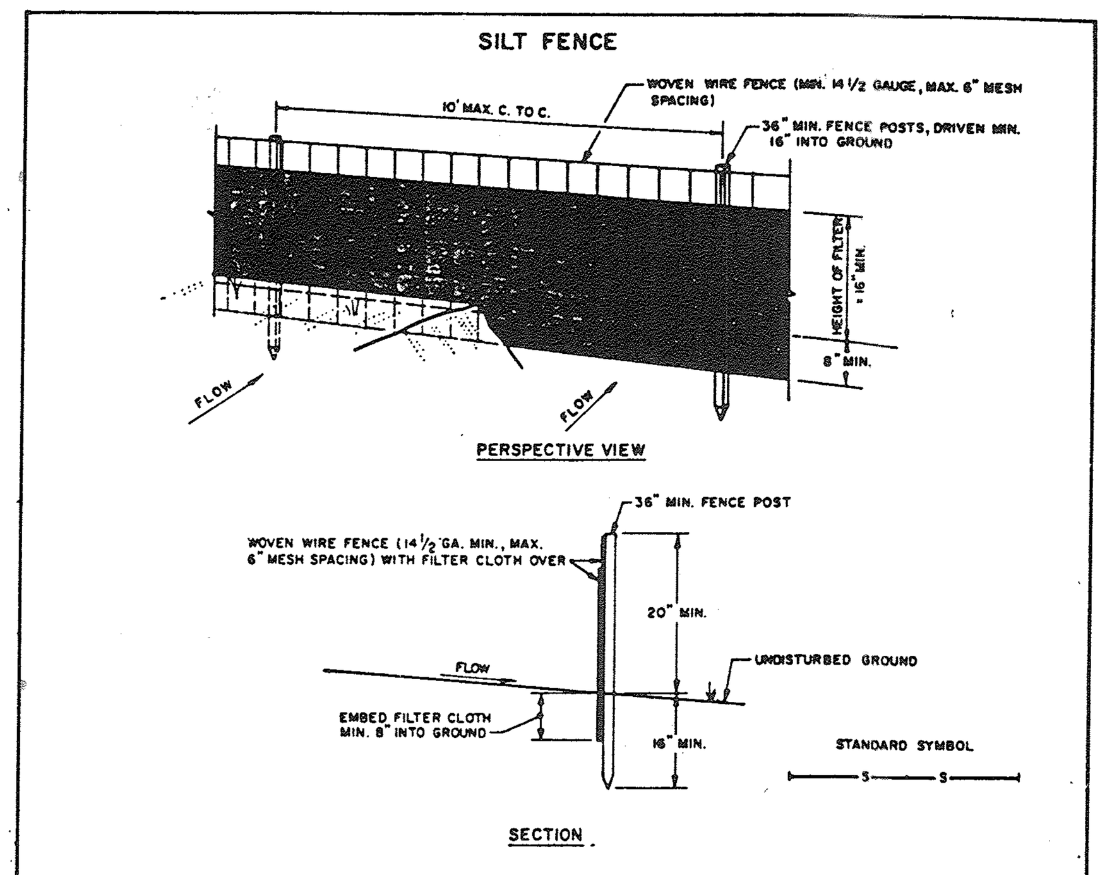
SISTERS OF
BON SECOURS, U.S.A.
1525 MARRIOTTSVILLE ROAD
MARRIOTTSVILLE, MD. 21104
HOWARD CO., MD.

DRAINAGE AREA MAP

PROJ NO SDP-87-252
SCALE
DATE AUG. 17, 1987
DWG NO C-8
SHEET 8 of 21

Drawing name: R:\Land Projects\007042 - Bon Secour\dwg\SP-008_REDLINE.dwg
Plotted: Oct 23, 2009 - 9:41am

SEDIMENT & EROSION CONTROL NOTES AND DETAILS



CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD

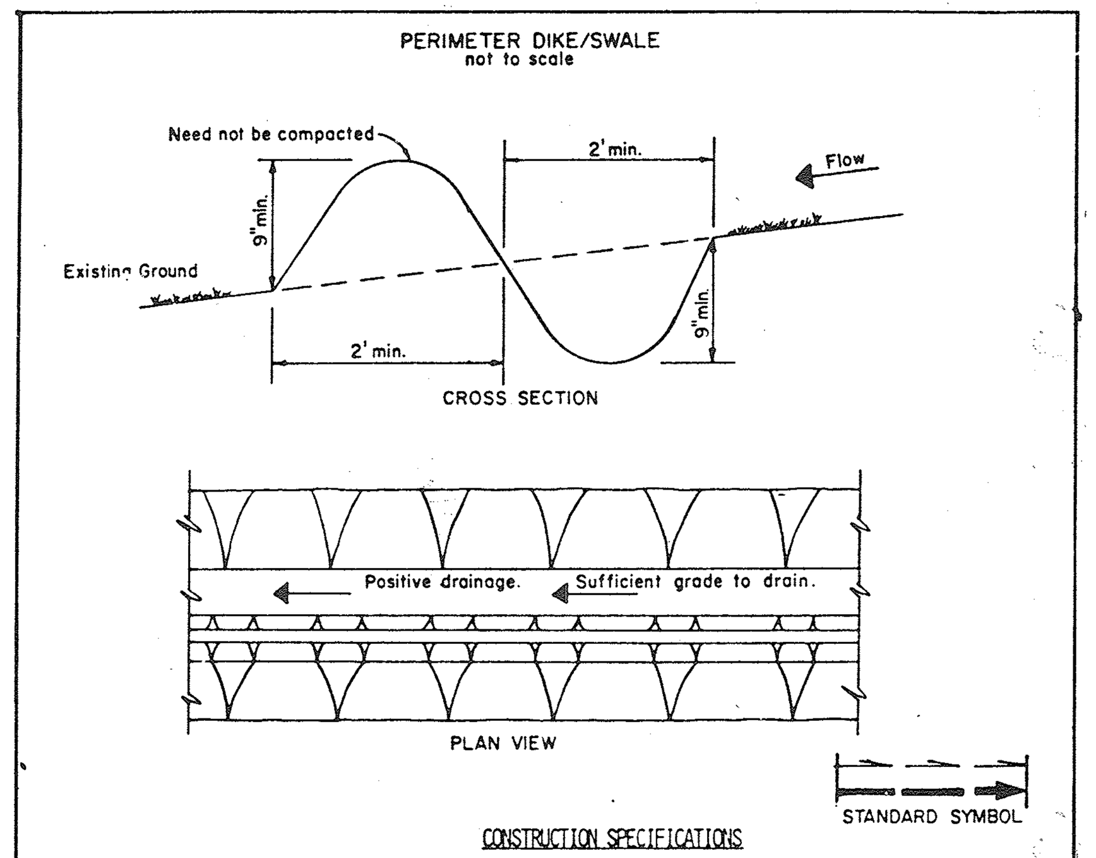
FENCE: WOVEN WIRE, 14½ GA. 6" MAX. MESH OPENING

FILTER CLOTH: FILTER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL

PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL.

(1 / C-9) S SILT FENCE DETAIL

N.T.S.



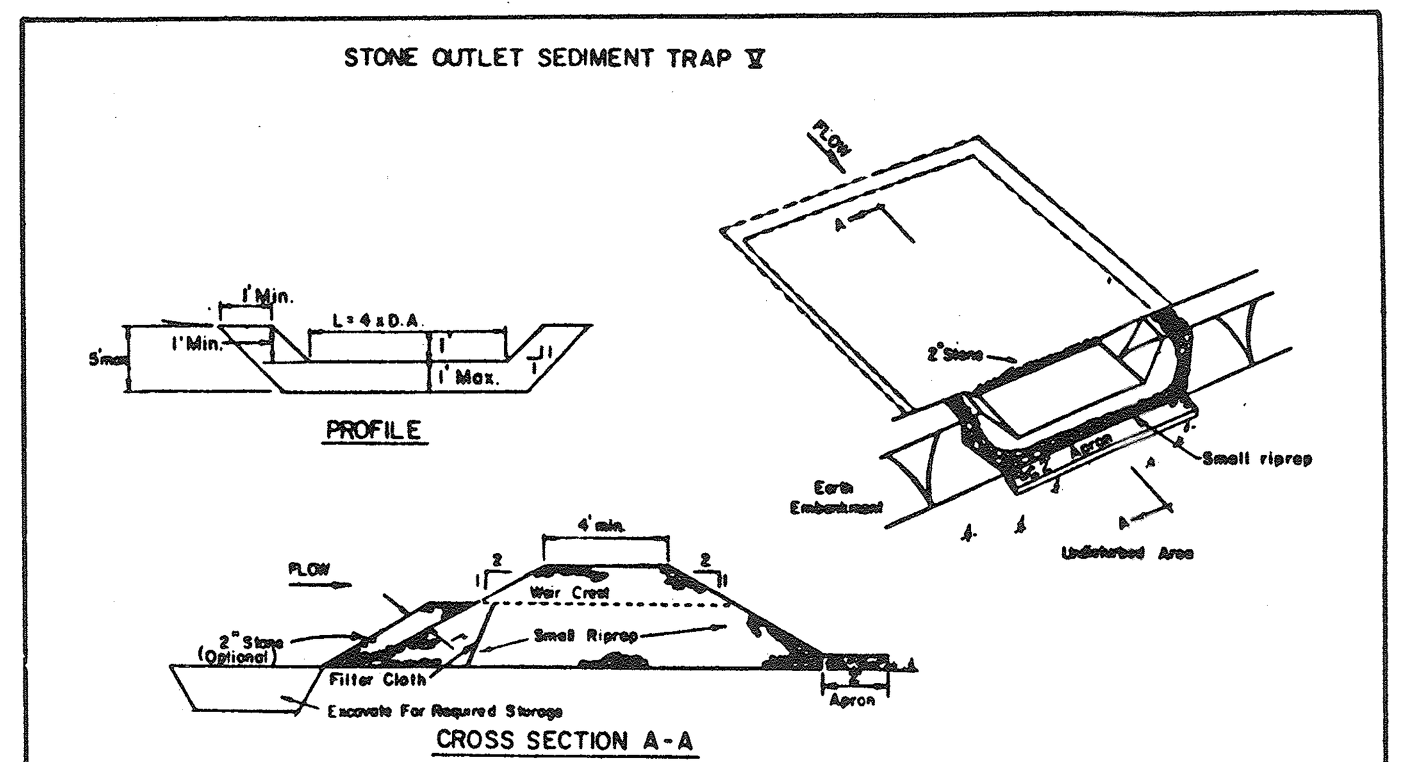
CONSTRUCTION SPECIFICATIONS

1. ALL PERIMETER DIKE/SWALE SHALL HAVE UNINTERRUPTED POSITIVE GRADE TO AN OUTLET.
2. DIVERTED RUNOFF FROM A DISTRUBED AREA SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE.
3. DIVERTED RUNOFF FROM AN UNDISTURBED AREA SHALL OUTLET INTO AN UNDISTURBED STABILIZED AREA AT NON-EROSION VELOCITY.
4. THE SWALE SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED IN THE STANDARD.
5. STABILIZATION OF THE AREA DISTURBED BY THE DIKE AND SWALE SHALL BE DONE IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SEED AND STRAW MULCH, AND SHALL BE DONE WITHIN 10 DAYS.
6. PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

Max. Drainage Area Limit: 2 Acres

(2 / C-9) PDS-1 PERIMETER DIKE/SWALE DETAIL

N.T.S.



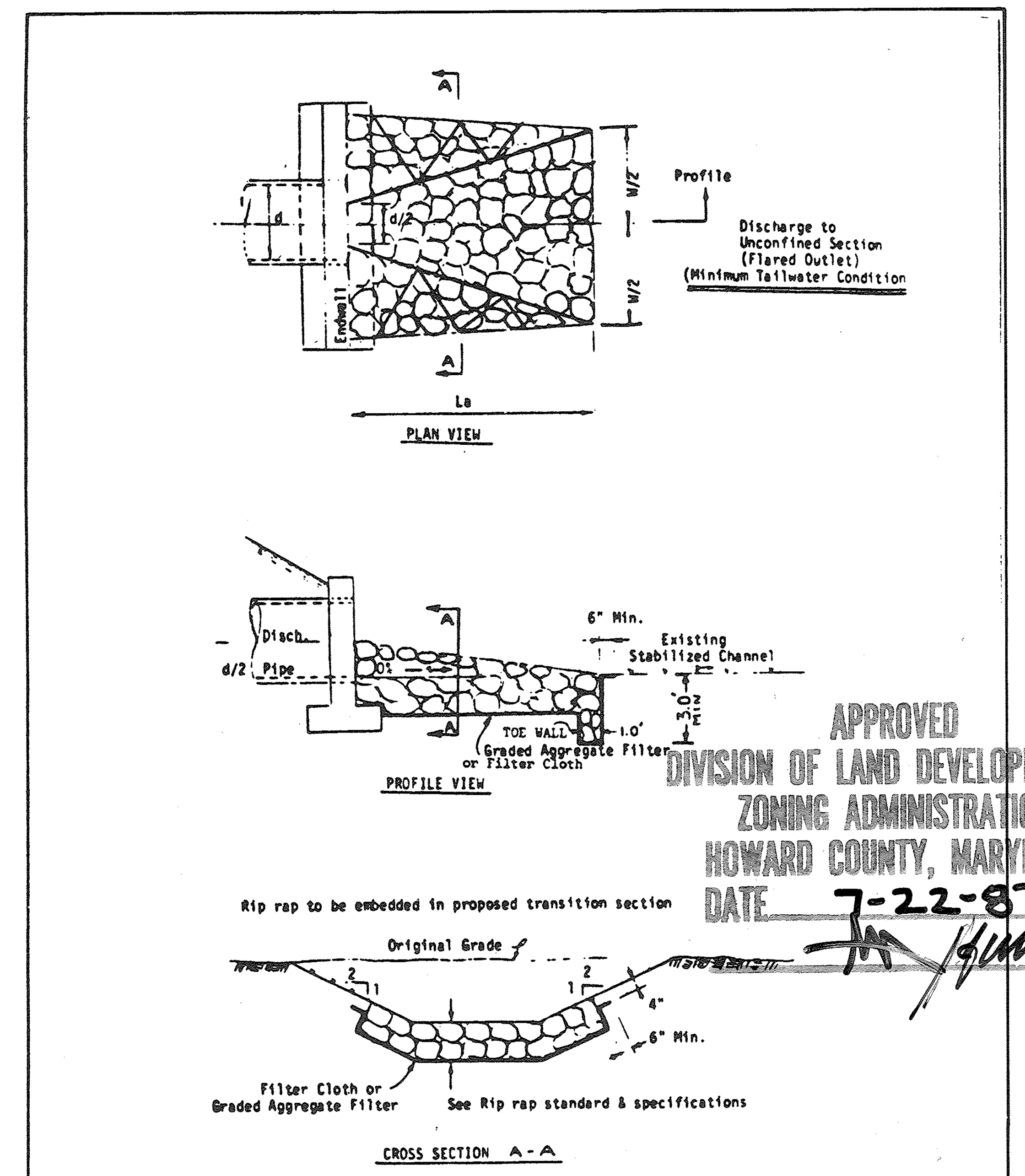
OPTION: A one foot layer of 2" stone may be placed on the upstream side of the riprap in place of the embedded filter cloth.

CONSTRUCTION SPECIFICATIONS FOR ST-V

1. Area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat. The pool area shall be cleared.
2. The fill material for the embankment shall be free of roots and other woody vegetation as well as over-sized stones, rocks, organic material or other objectionable material. The embankment shall be compacted by traversing with equipment while it is being constructed.
3. All cut and fill slopes shall be 2:1 or flatter.
4. The stone used in the outlet shall be small riprap 4"-8" along with a 1' thickness of 2" aggregate placed on the up-grade side on the small riprap OR embedded filter cloth in the riprap.
5. Sediment shall be removed and trap restored to its original dimensions when the sediment has accumulated to ½ the design depth of the trap.
6. The structure shall be inspected after each rain and repairs made as needed.
7. Construction operations shall be carried out in such a manner than erosion and water pollution is minimized.
8. The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.

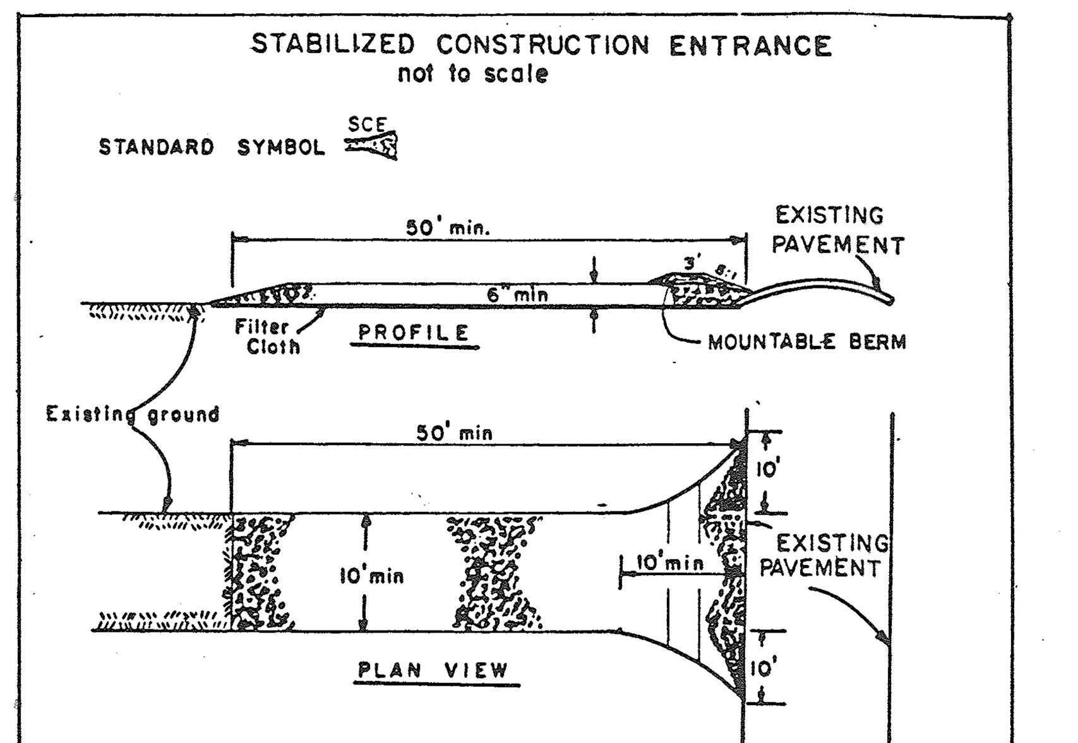
Maximum Drainage Area: 5 Acres

(3 / C-9) STONE OUTLET SEDIMENT TRAP ST-V



APPROVED
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 7-22-87

(4 / C-9) RIPRAP OUTLET PROTECTION - I ROP-I



CONSTRUCTION SPECIFICATIONS

1. Stone Size - Use 2" stone, or reclaimed or recycled concrete equivalent.
2. Length - As required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply).
3. Thickness - Not less than six (6) inches.
4. Width - Ten (10) foot minimum, but not less than the full width at points where ingress or egress occurs.
5. Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residence lot.
6. Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
7. Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
8. Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
9. Periodic inspection and needed maintenance shall be provided after each rain.

(5 / C-9) SCE STAB. CONSTRUCTION ENTRANCE

N.T.S.

TEMPORARY METHOD FOR DUST CONTROL

A. Mulches - See standards for critical area stabilization with mulches only. Chemical mulch binders may be used instead of asphalt to bind mulch material. Binders such as Curasol or Terratack should be used according to manufacturer's recommendations.

B. Vegetative Cover - See standards for temporary vegetative cover.

C. Spray-on Adhesives - On mineral soils (not effective on muck soils). Keep traffic off these areas.

	Water Dilution	Type of Nozzle	Apply-Gallons/Ac.
Anionic asphalt emulsion	7:1	Coarse Spray	1,200
Latex emulsion	121/2:1	Fine Spray	235
Resin-in-water emulsion	4:1	Fine Spray	300

D. Tillage - to roughen surface and bring clods to the surface. This is an emergency measure which should be used before soil blowing starts. Begin plowing on windward side of site. Chisel-type plows spaced about 12" apart, spring-toothed harrows, and similar plows are examples of equipment which may produce the desired effect.

E. Irrigation - This is generally done as an emergency treatment. Site is sprinkled with water until the surface is moist. Repeat as needed.

F. Barriers - Solid board fences, snow fences, burlap fences, crate walls, bales of hay and similar material can be used to control air currents and soil blowing. Barriers placed at right angles to prevailing currents at intervals of about 15 times their height are effective in controlling soil blowing.

G. Calcium Chloride - Apply at rate that will keep surface moist. May need retreatment.

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding.

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:

1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 square ft) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft).

2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.

Seeding - For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thre July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching - Apply 1½ to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

Matinenance - Inspect all seeded areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding.

Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft)

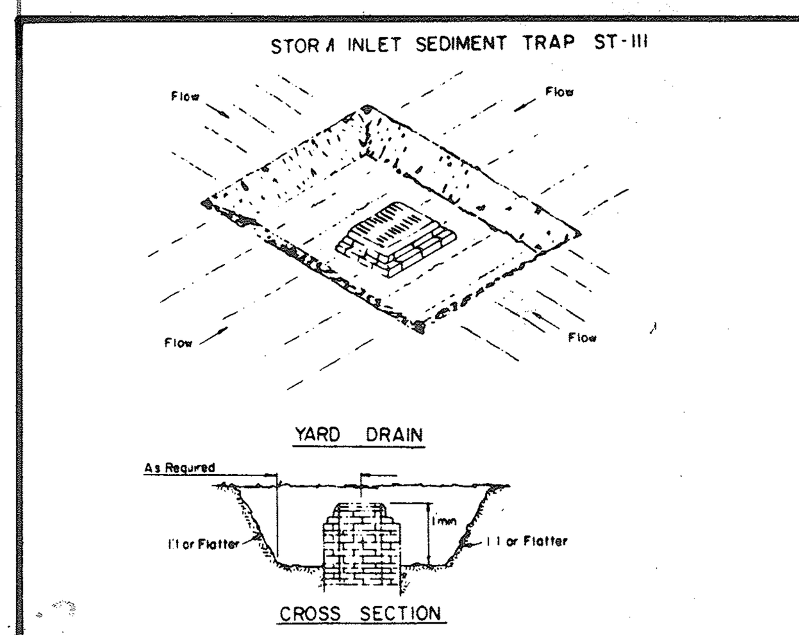
Seeding: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2½ bushel per acre of annual rye (3.2 lbs/1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (.07 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching: Apply 1½ to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes, 8 ft or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.

Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

'PURPOSE STATEMENT' (4-26-10)

THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO: ADD A KEYSTONE RETAINING WALL ALONG THE REAR DRIVE ISLE AND LOWER STORM DRAIN OUTFALL FROM STRUCTURE D-5 TO D-6 TO ACCOMODATE SAME. ONE (1) NEW SHEET HAS BEEN ADDED 18 of 18



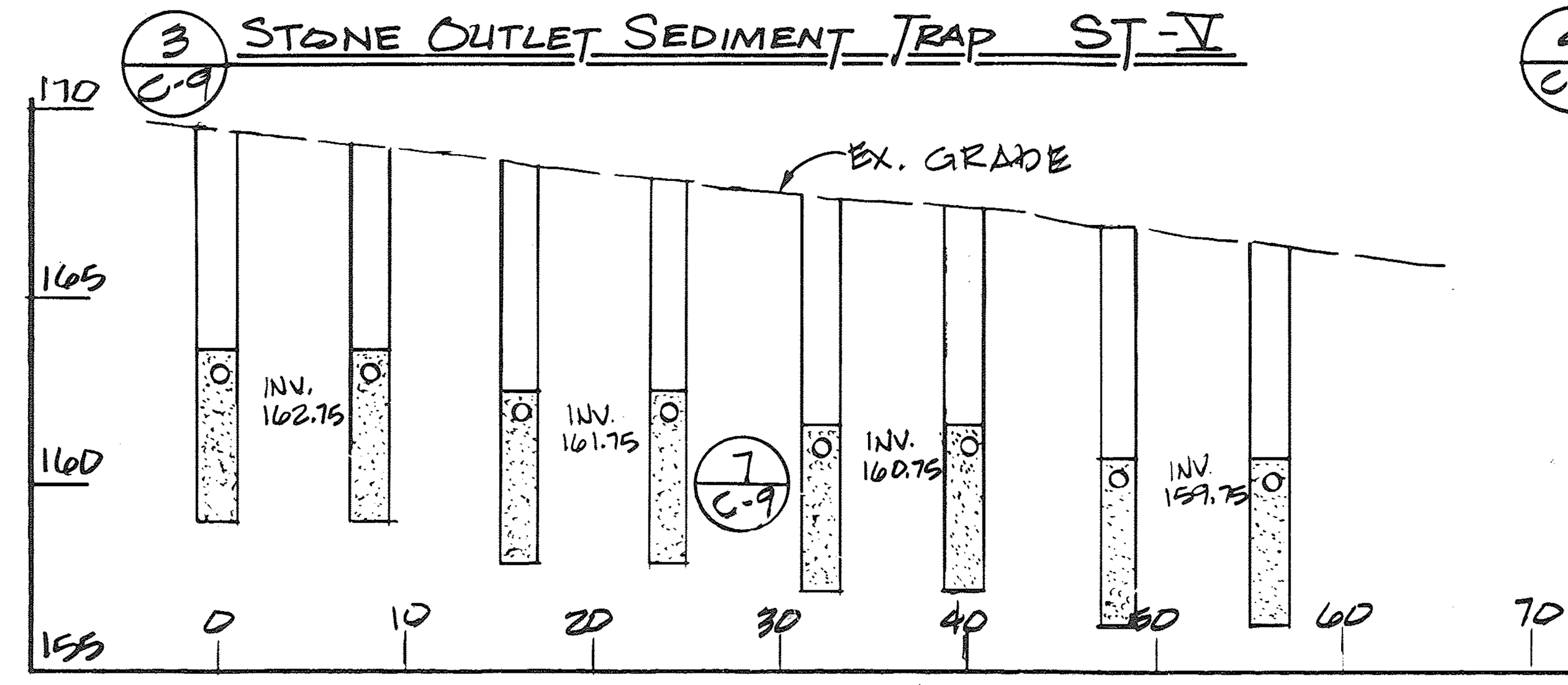
CONSTRUCTION SPECIFICATION FOR ST-III

1. Sediment shall be removed and the trap restored to its original dimensions when the sediment has accumulated to ½ the design depth of the trap. Removed sediment shall be deposited in a suitable area and in such a manner that it will not erode.
2. The volume of sediment storage shall be 1800 cubic feet per acre of contributory drainage.
3. The structure shall be inspected after each rain and repairs made as needed.
4. Construction operations shall be carried out in such a manner that erosion and water pollution shall be minimized.
5. The sediment trap shall be removed and the area stabilized when the constructed drainage area has been properly stabilized.
6. All cut slopes shall be 1:1 or flatter.

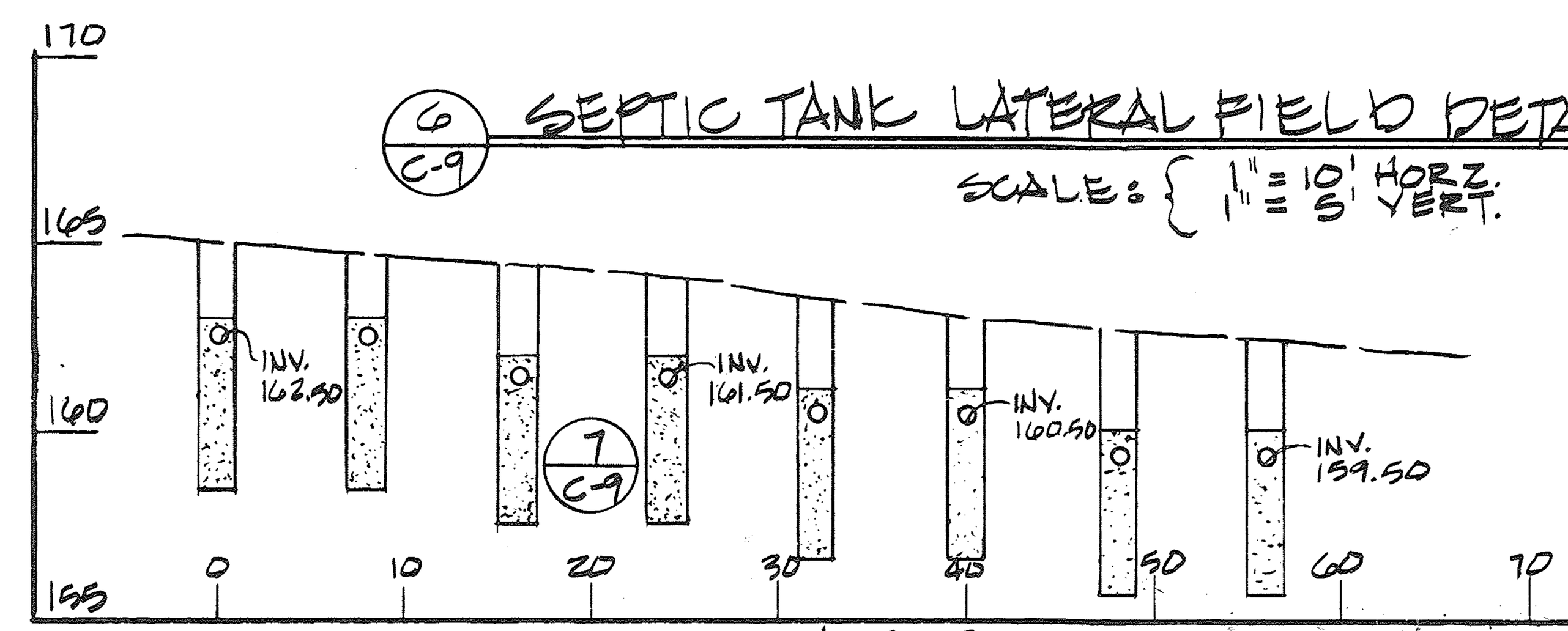
Maximum Drainage Area: 3 Acres

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE COLLEGE PARK, MARYLAND	STORM INLET SEDIMENT TRAP	STANDARD DRAWING ST-III

(8 / C-9) STORM INLET SEDIMENT TRAP



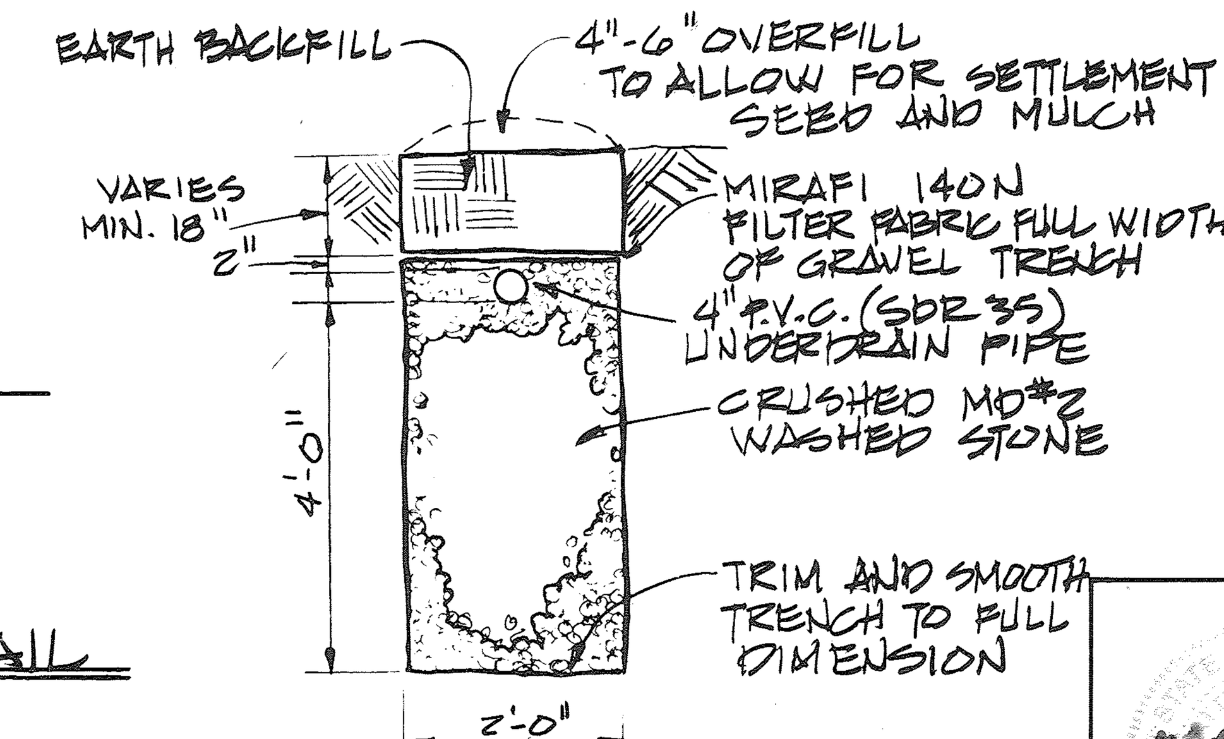
SECTION A-A SEE SHEET C-5



(6 / C-9) SEPTIC TANK LATERAL FIELD DETAIL

SCALE: { 1" = 10' HORZ. 1" = 5' VERT.

SECTION B-B



(7 / C-9) TYPICAL TRENCH SECTION

NOT TO SCALE

PE# 27729 EXP. 7-15-2010

REVISED: 10-23-09; REVISION TO SHEET INDEX. ADDED 2 NEW SHEETS.

REVISED: 4-26-10 SEE 'PURPOSE STATEMENT' 4-26-10

RESPONSIBLE PERSONNEL CERTIFICATION

"I HEREBY CERTIFY THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE FROM A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT".

Sister Justine Cap — SIGNATURE OF DEVELOPER — 8/26/87 DATE

CERTIFICATION BY THE ENGINEER

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Richard H. Berich — SIGNATURE OF ENGINEER — 8-26-87 DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: Stephen L. [signature] HOWARD S.C.D. — 9/2/87 DATE

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS.

SIGNATURE: [signature] DATE 9-2-87 U.S. SOIL CONSERVATION SERVICE

CERTIFICATION BY THE DEVELOPER

"I CERTIFY THAT ALL DEVELOPMENT AND OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THIER AUTHORIZED AGENTS AS DEEMED NECESSARY."

Sister Justine Cap — SIGNATURE OF DEVELOPER — 8/26/87 DATE

PURDUM & JESCHKE
CONSULTING ENGINEERS
LAND SURVEYORS
1029 North Calvert Street
Baltimore, Maryland 21202 301/837-0194

APPROVED: STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

[signature] DIRECTOR — 9/14/87 DATE

[signature] CHIEF, BUREAU OF ENGINEERING — 9.14.87 DATE

APPROVED: For private Water and Private Sewerage Systems.

HOWARD COUNTY HEALTH DEPARTMENT

[signature] COUNTY HEALTH OFFICER — 8-87 DATE

APPROVED: Howard County Office of Planning and Zoning

[signature] PLANNING DIRECTOR — 9-15-87 DATE

[signature] CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION — 9-15-87 DATE

Gaudreau, Inc.
Architects Planners Engineers
Baltimore
810 Light Street Baltimore Maryland 21230

Faisant Associates, Inc.
Structural Engineers

Kibart, Inc.
Mechanical/Electrical Engineers

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Civil Engineers

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Sister Justine Cap 8/26/87

ENGINEER'S CERTIFICATION

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Richard H. Berich 8/26/87

DEED: 393/29

ELECTION DISTRICT: 3

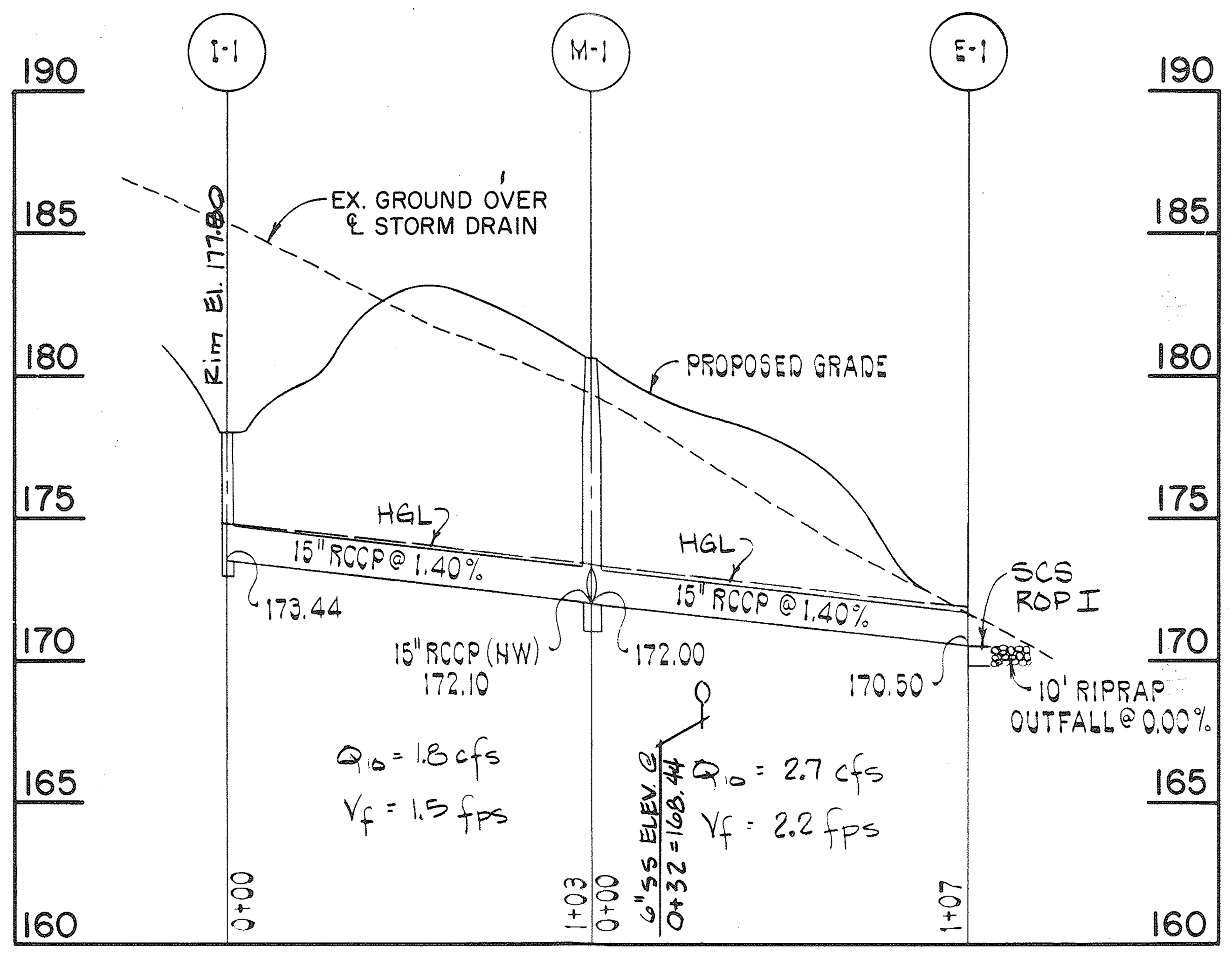
TAX MAP: 10 | PARCEL 35

Richard H. Berich
G8606

SISTERS OF BON SECOURS, U.S.A.
1525 MARRIOTTSVILLE ROAD
MARRIOTTSVILLE, MD. 21104
HOWARD CO., MD.
EROSION CONTROL DETAILS

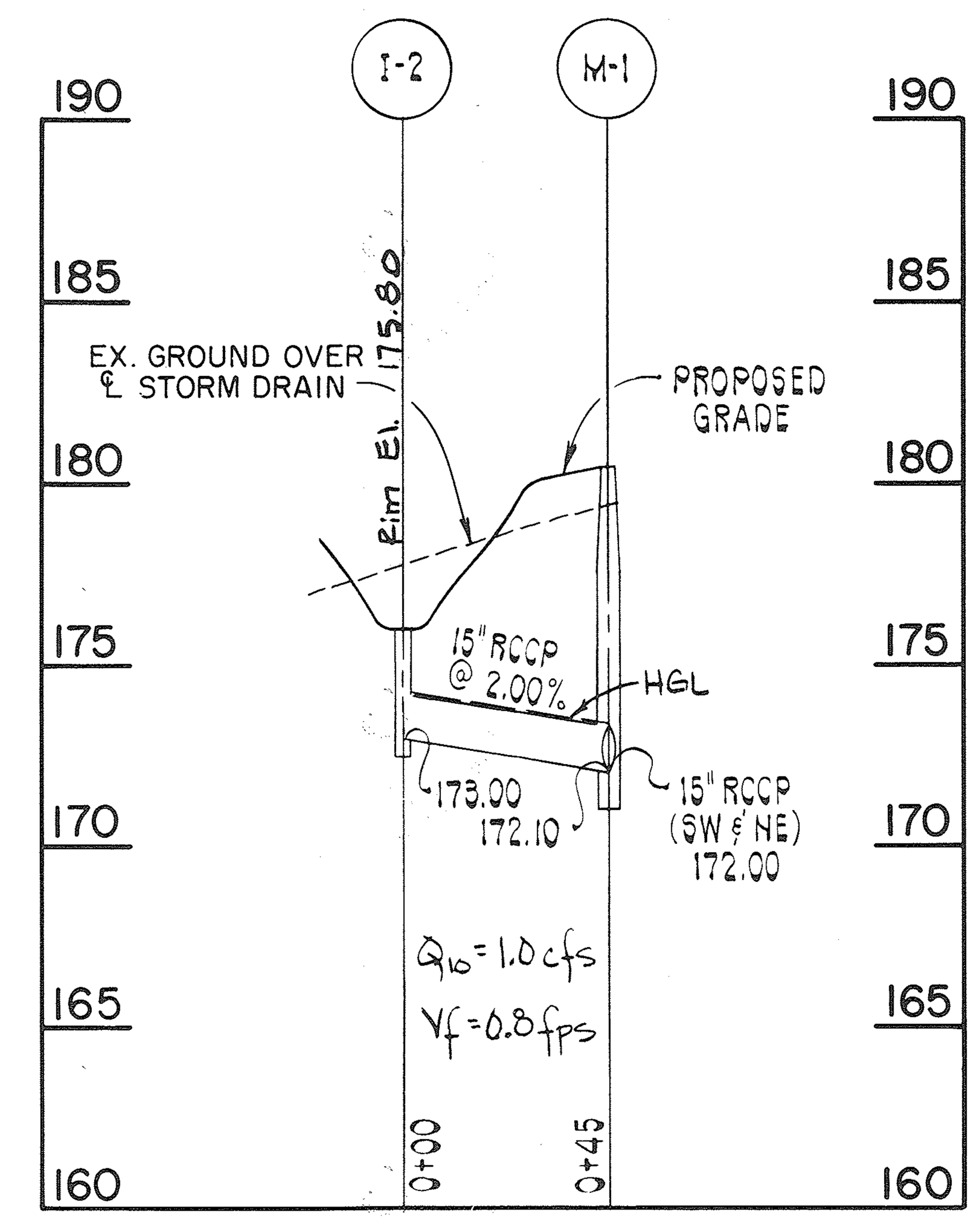
PROJ NO SDP-87-252	DWG NO
SCALE	C-9
DATE AUG. 17, 1987	SHEET 9 OF 21

SDP-87-252



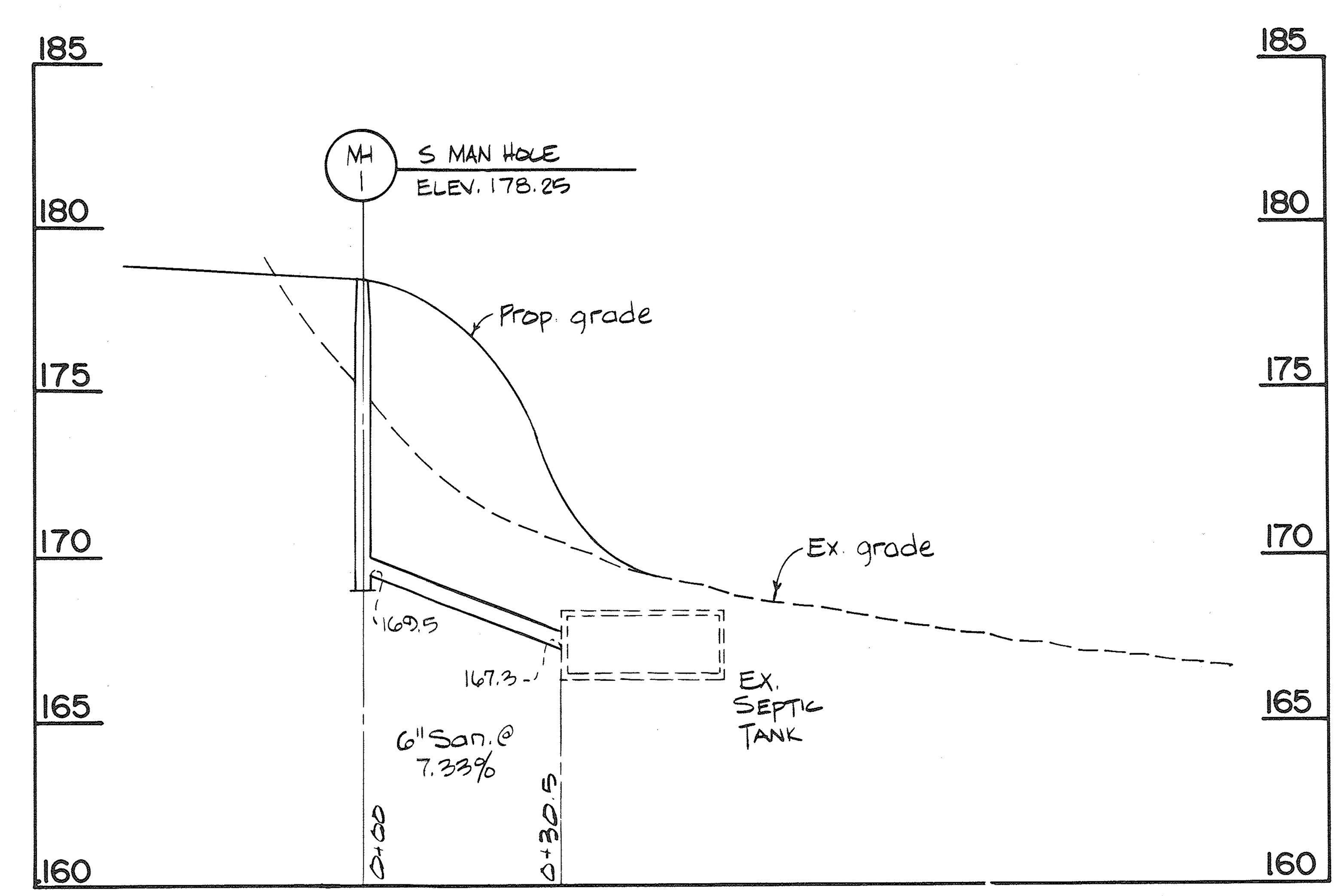
(A / C-10) STORM DRAIN PROFILE

SCALE: 1"= 40' HORIZ. 1"= 5' VERT.



(B / C-10) STORM DRAIN PROFILE

SCALE: 1"= 40' HORIZ. 1"= 5' VERT.



(C / C-10) SANITARY PROFILE

Scale: 1"= 20' Horz. 1"= 4' Vert.

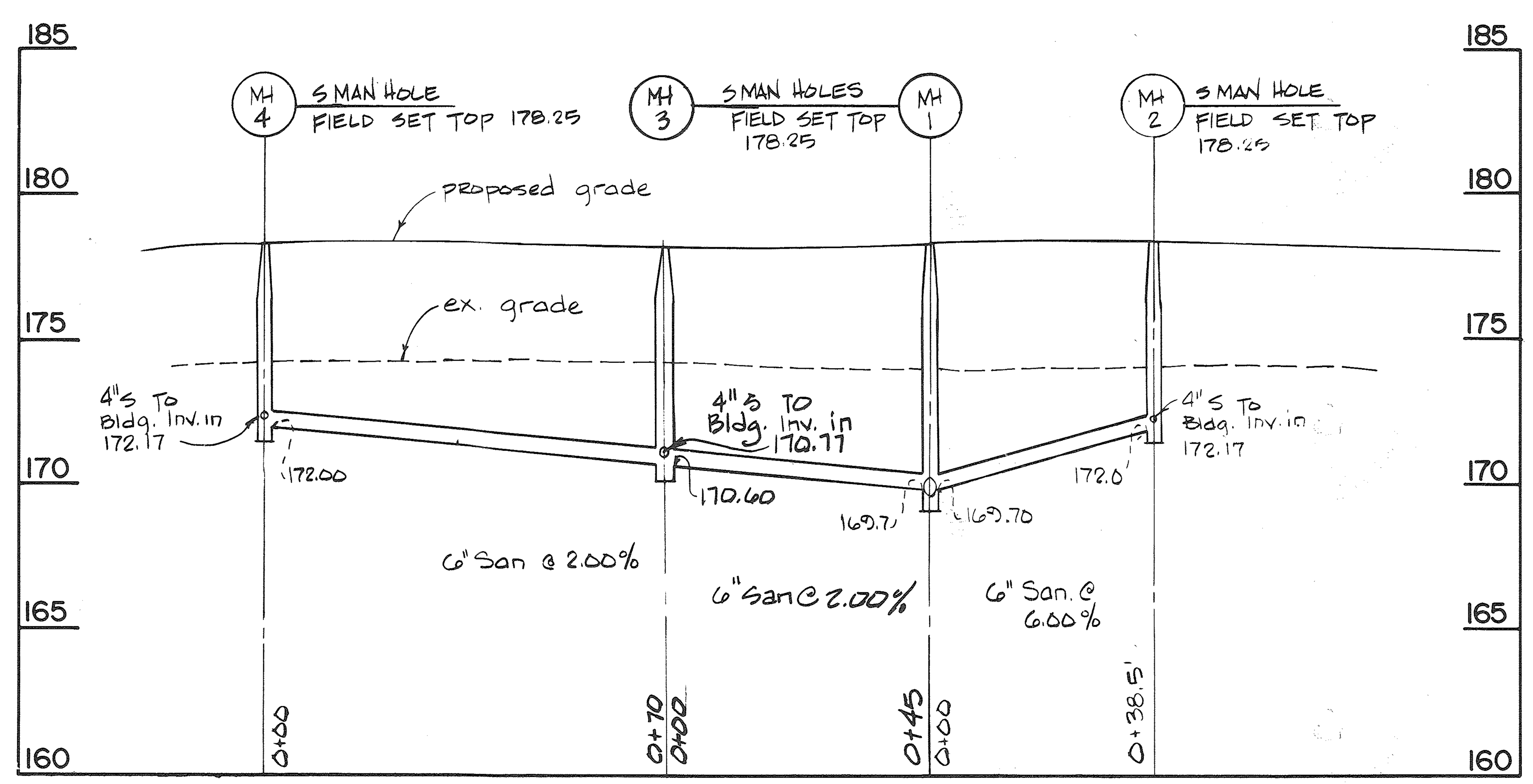
STRUCT.	STD DETAIL	INV. IN	INV. OUT	TOP ELEV
I-1	SD 4.14	—	173.44	177.80
M-1	G5.12	172.10	172.00	180.80
E-1	SD 5.21	—	170.50	—
I-2	SD 4.14	—	173.00	175.80
I-3	SD 4.14	—	173.50	177.00

STRUCTURE SCHEDULE

* SET MH FRAME AND COVER TO FINISHED GRADE.

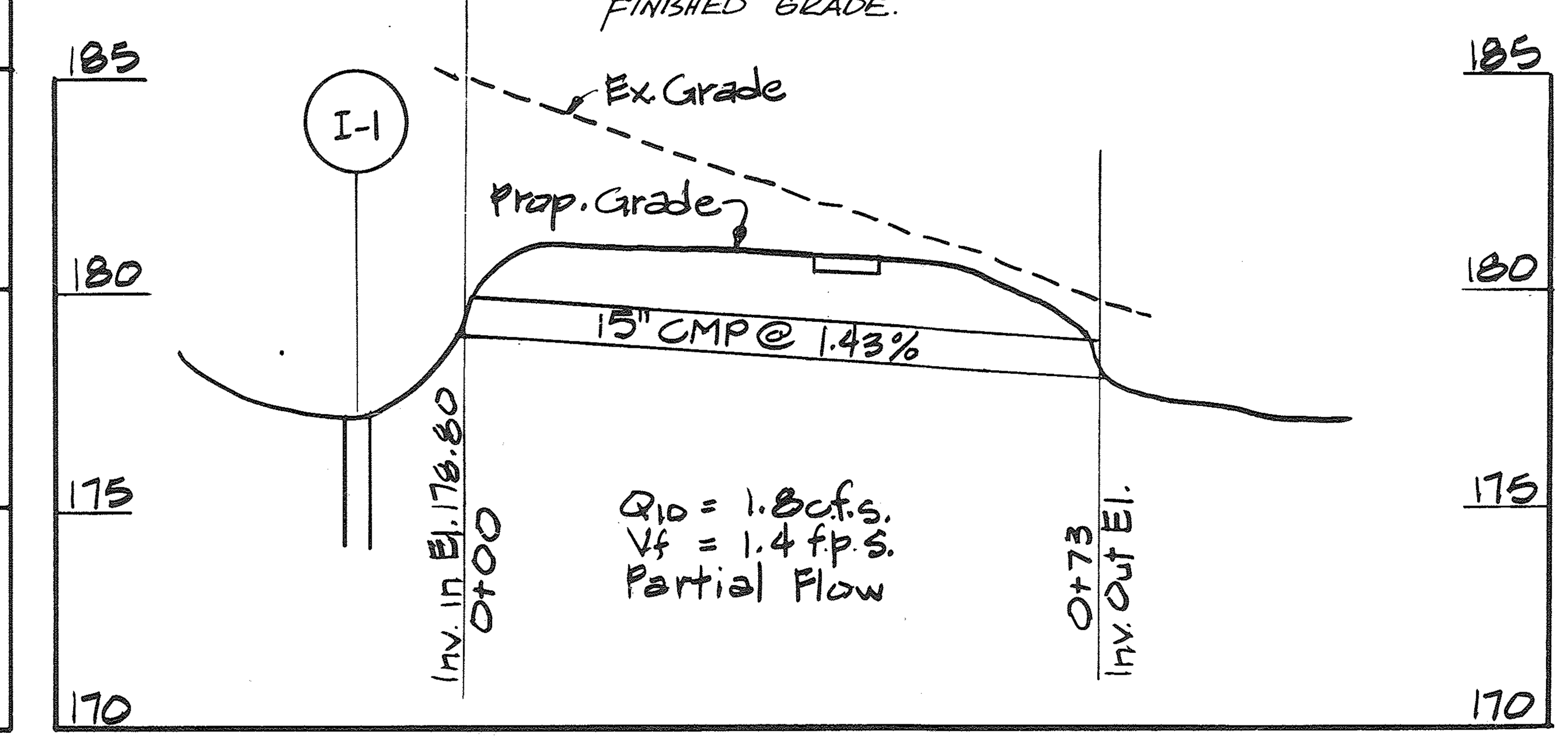
'PURPOSE STATEMENT' (4-26-10)

THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO: ADD A KEYSTONE RETAINING WALL ALONG THE REAR DRIVE ISLE AND LOWER STORM DRAIN OUTFALL FROM STRUCTURE D-5 TO D-6 TO ACCOMODATE SAME. ONE (1) NEW SHEET HAS BEEN ADDED 18 of 18



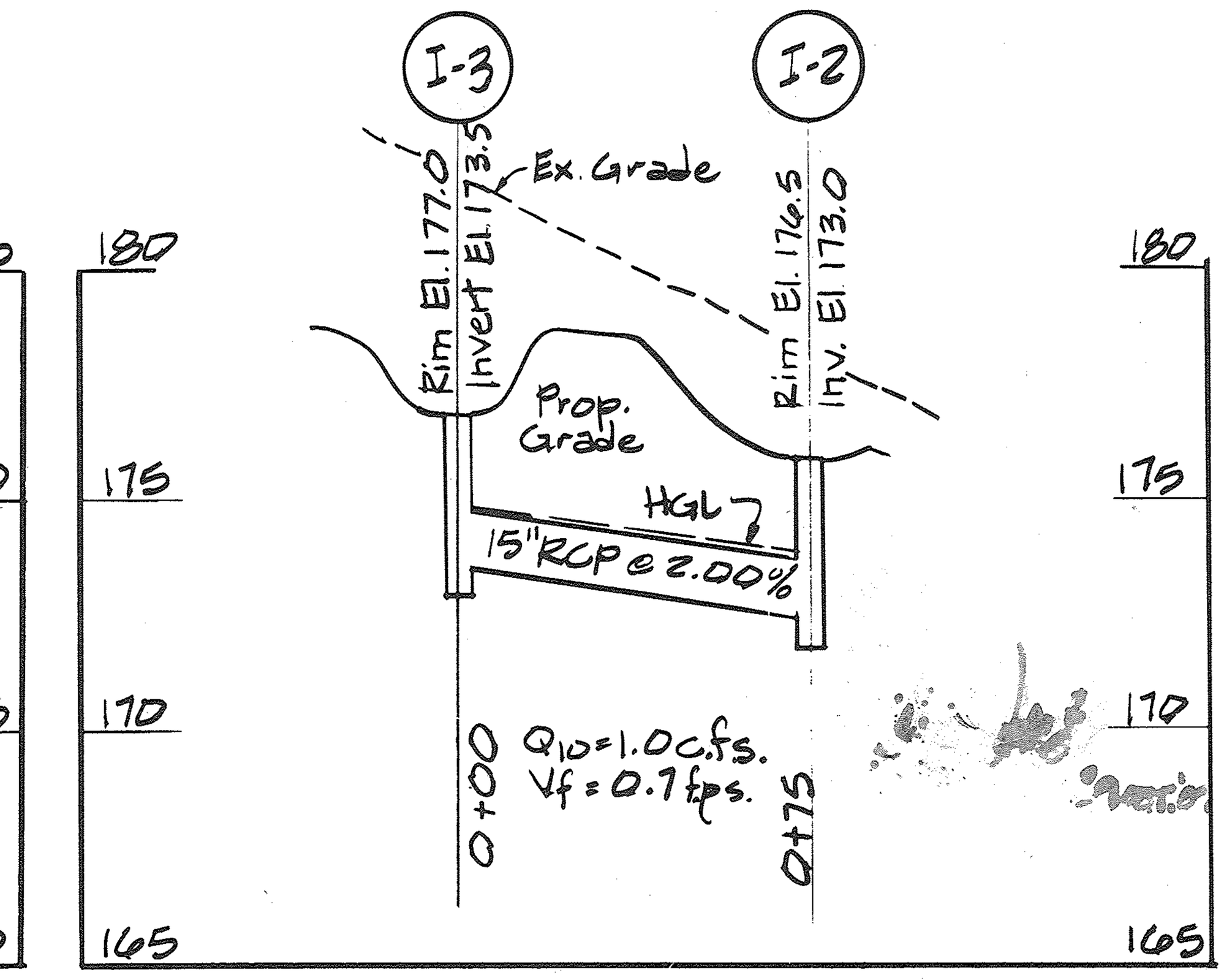
(D / C-10) SANITARY PROFILE

Scale: 1"= 20' Horz. 1"= 4' Vert.



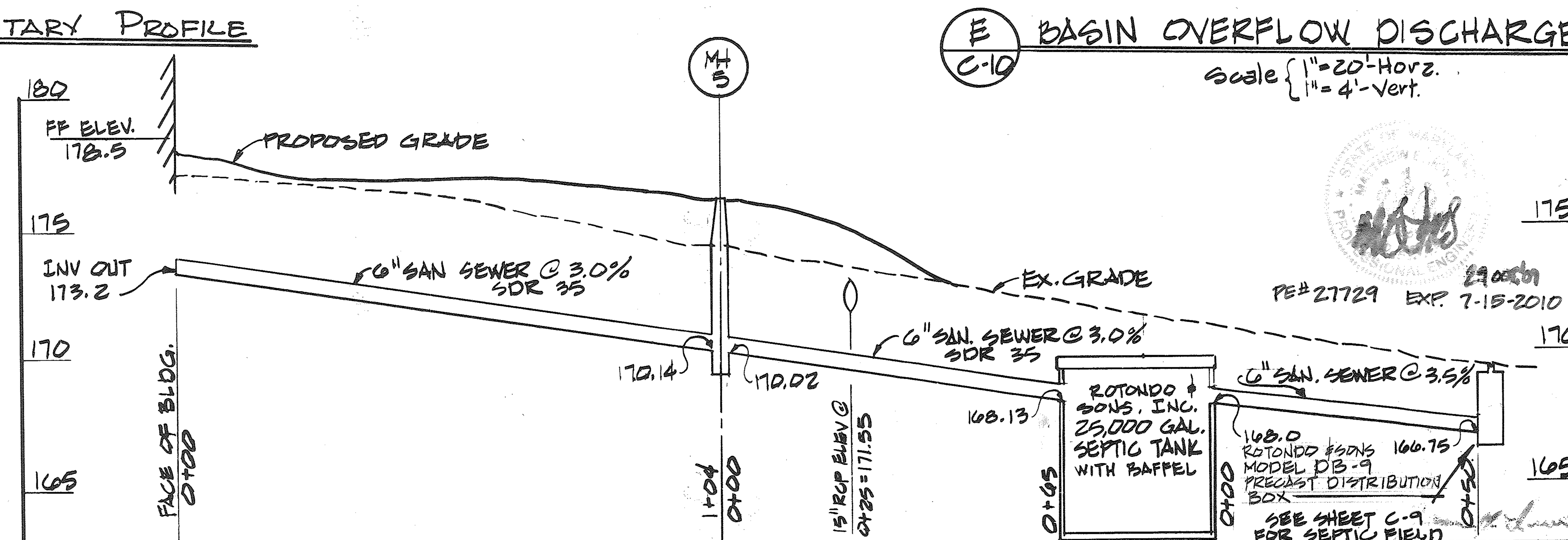
(E / C-10) BASIN OVERFLOW DISCHARGE PIPE

Scale { 1"= 20'-Horz. 1"= 4'-Vert.



(F / C-10) STORM DRAIN PROFILE

Scale { 1"= 20'-Horz. 1"= 4'-Vert.



(G / C-10) SANITARY PROFILE

SCALE: { 1"= 20' HORZ. 1"= 4' VERT.

Reviewed for Howard Soil Conservation District and meets technical requirements.

U.S. Soil Conservation Service — Date 9-2-87

This Development Plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.

Howard Soil Conservation District — Date 9/2/87

PE# 27729 EXP. 7-15-2010

REVISED 4-26-10 SEE 'PURPOSE STATEMENT' DATED 4-26-10

REVISION: 10-23-09; REVISION TO SHEET INDEX. ADDED 2 NEW SHEETS

APPROVED
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 7-22-87

PLAN APPROVAL STAMP

PURDUM & JESCHKE
CONSULTING ENGINEERS
LAND SURVEYORS
1029 North Calvert Street
Baltimore, Maryland 21202 301/837-0194

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER — DATE 9-8-87

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING

DIRECTOR — DATE 9-15-87

CHIEF DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION — DATE 9-15-87

APPROVED: STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

DIRECTOR — DATE 9/14/87

CHIEF BUREAU OF ENGINEERING — DATE 9-14-87

Gaudreau, Inc.
Architects Planners Engineers
Baltimore

810 Light Street Baltimore Maryland 21230

Faisant Associates, Inc.
Structural Engineers
Kibart, Inc.
Mechanical/Electrical Engineers
Purdum & Jeschke
Civil Engineers

DEVELOPER'S CERTIFICATION

I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATION OF ATTENDANCE AT THE DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF ANY SEDIMENT EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY HOWARD SOIL CONSERVATION DISTRICT.

ENGINEER'S CERTIFICATION

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Richard H. Gerish 9/26/87

DEED: 393/29
ELECTION DISTRICT: 3
TAX MAP: 10 — PARCEL 35

G8606

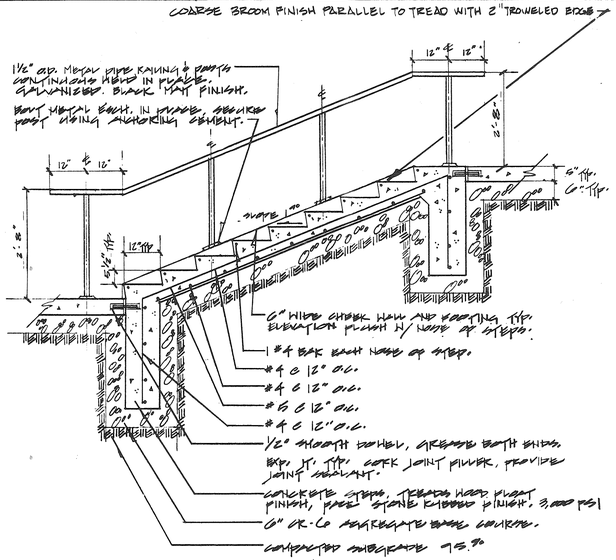
SISTERS OF BON SECOURS, U.S.A.
1525 MARRIOTTSVILLE ROAD
MARRIOTTSVILLE, MD. 21104
HOWARD CO. MD.

UTILITY PROFILES

PROJ NO SDP-87-252
SCALE
DATE AUG. 17, 1987
DWG NO C-10

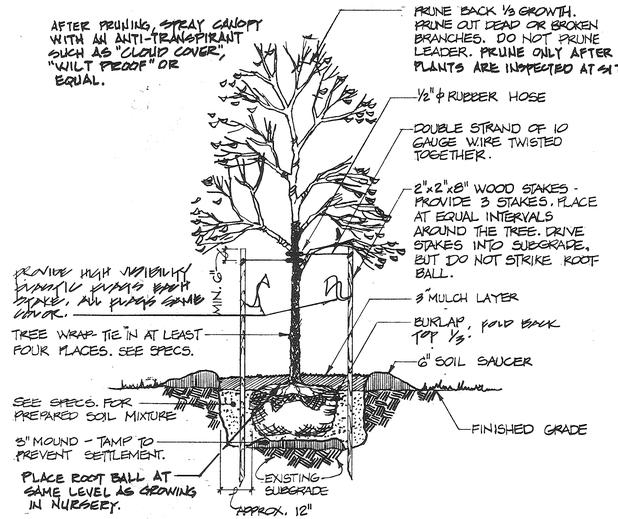
SDP-87-252

SITE DETAILS



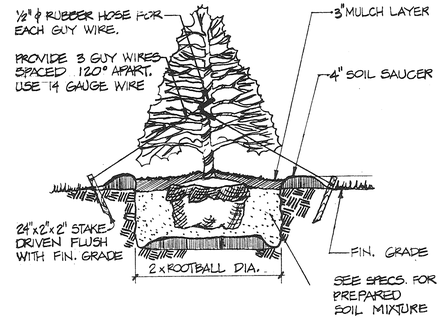
1 C-11 **CONCRETE STEP DETAIL**

N.T.S.



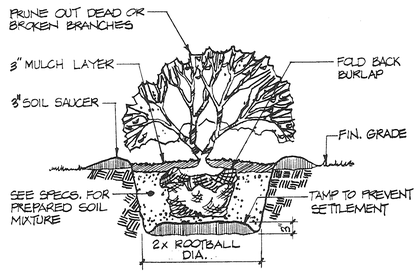
2 C-11 **TREE PLANTING DETAIL**

N.T.S.



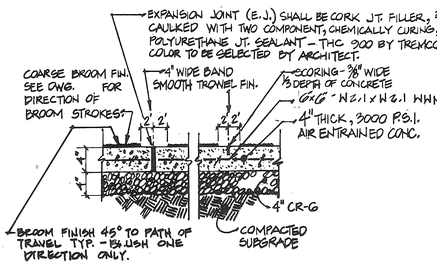
3 C-11 **CONIFER PLANTING DETAIL**

N.T.S.



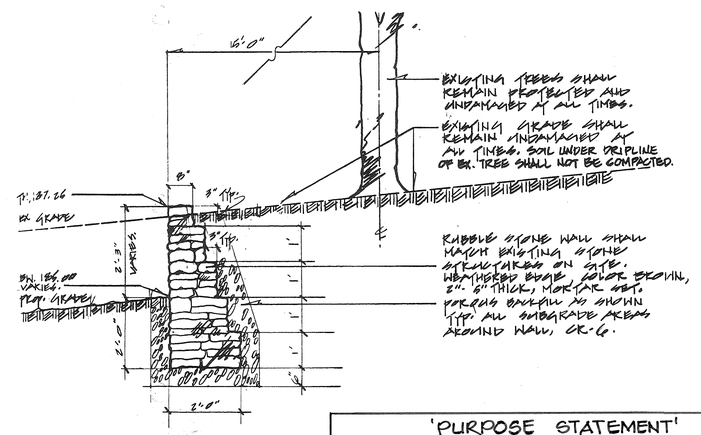
6 C-11 **SHRUB PLANTING DETAIL**

N.T.S.



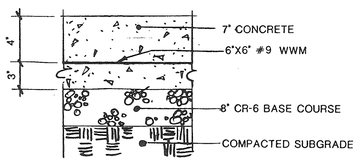
4 C-11 **CONCRETE SIDEWALK DETAIL**

N.T.S.



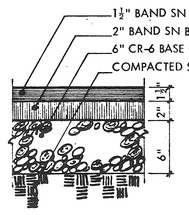
5 C-11 **DRY STONE WALL DETAIL**

N.T.S.



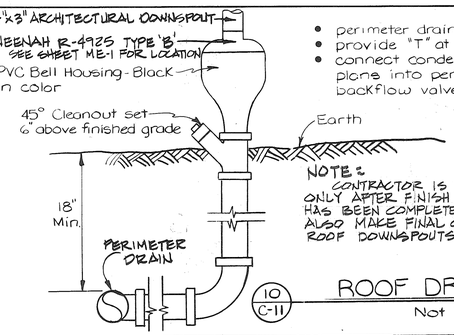
7 C-11 **DUMPSTER PAD DETAIL**

N.T.S.



8 C-11 **BITUMINOUS CONCRETE PAVING**

N.T.S.



- perimeter drains set 5' off face of bldg.
- provide "T" at all roof drain locations.
- connect condensate lines from mechanical plans into perimeter drain lines, w/anti-backflow valve.

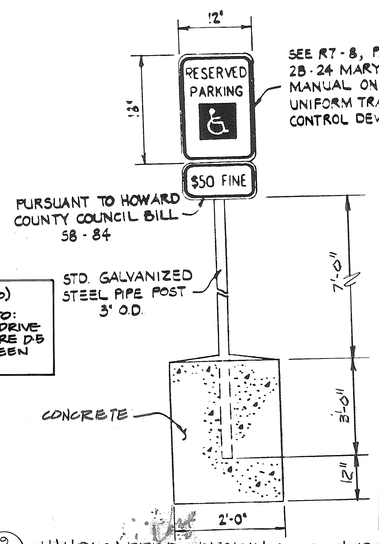
NOTE: CONTRACTOR IS TO INSTALL PERIMETER DRAIN ONLY AFTER FINISH GRADING AROUND BUILDING HAS BEEN COMPLETED - CONTRACTOR IS TO ALSO MAKE FINAL CONNECTION TO ALL ROOF DOWNSPOUTS AND CONDENSATE LINES.

10 C-11 **ROOF DRAIN DETAIL**

Not To Scale

'PURPOSE STATEMENT' (4-26-10)

THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO: ADD A KEYSTONE RETAINING WALL ALONG THE REAR DRIVE ISLE AND LOWER STORM DRAIN OUTFALL FROM STRUCTURE D5 TO D-6 TO ACCOMODATE SAME. ONE (1) NEW SHEET HAS BEEN ADDED - 18 OF 18



9 C-11 **HANDICAPPED PARKING SIGN DETAIL**

N.T.S.

REVISED 4-26-10 - SEE 'PURPOSE STATEMENT' DATED 4-26-10
REVISED: 10-23-09; REVISION TO SHEET INDEX. ADDED 2 NEW SHEETS.

APPROVED: For Storm Drainage Systems and Roads.
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DIRECTOR — DATE 9/14/87
CHIEF, BUREAU OF ENGINEERING — DATE 9-14-87

APPROVED: For Private Water and Private Sewerage Systems
HOWARD COUNTY HEALTH DEPARTMENT
COUNTY HEALTH OFFICER — DATE 9-8-87

APPROVED: Howard County Office of Planning and Zoning
PLANNING DIRECTOR — DATE 9-17-87
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION — DATE 9-15-87

PE# 27729 EXP. 7-15-2010

APPROVED
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 7-22-87

Gaudreau, Inc.
Architects Planners Engineers
Baltimore
810 Light Street Baltimore Maryland 21230

Faisant Associates, Inc.
Structural Engineers

Kibart, Inc.
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Victor Quintino Cgr 8/24/87

ENGINEER'S CERTIFICATION

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Richard H. Berich 8/24/87

DEED · 393/29
ELECTION DISTRICT · 3
TAX MAP · 10 | PARCEL 35

Richard H. Berich
REGISTERED PROFESSIONAL ENGINEER

GB6006

SISTERS OF BON SECOURS, U.S.A.
1525 MARRIOTTSVILLE ROAD
MARRIOTTSVILLE, MD. 21104
HOWARD CO., MD.

SITE DETAILS

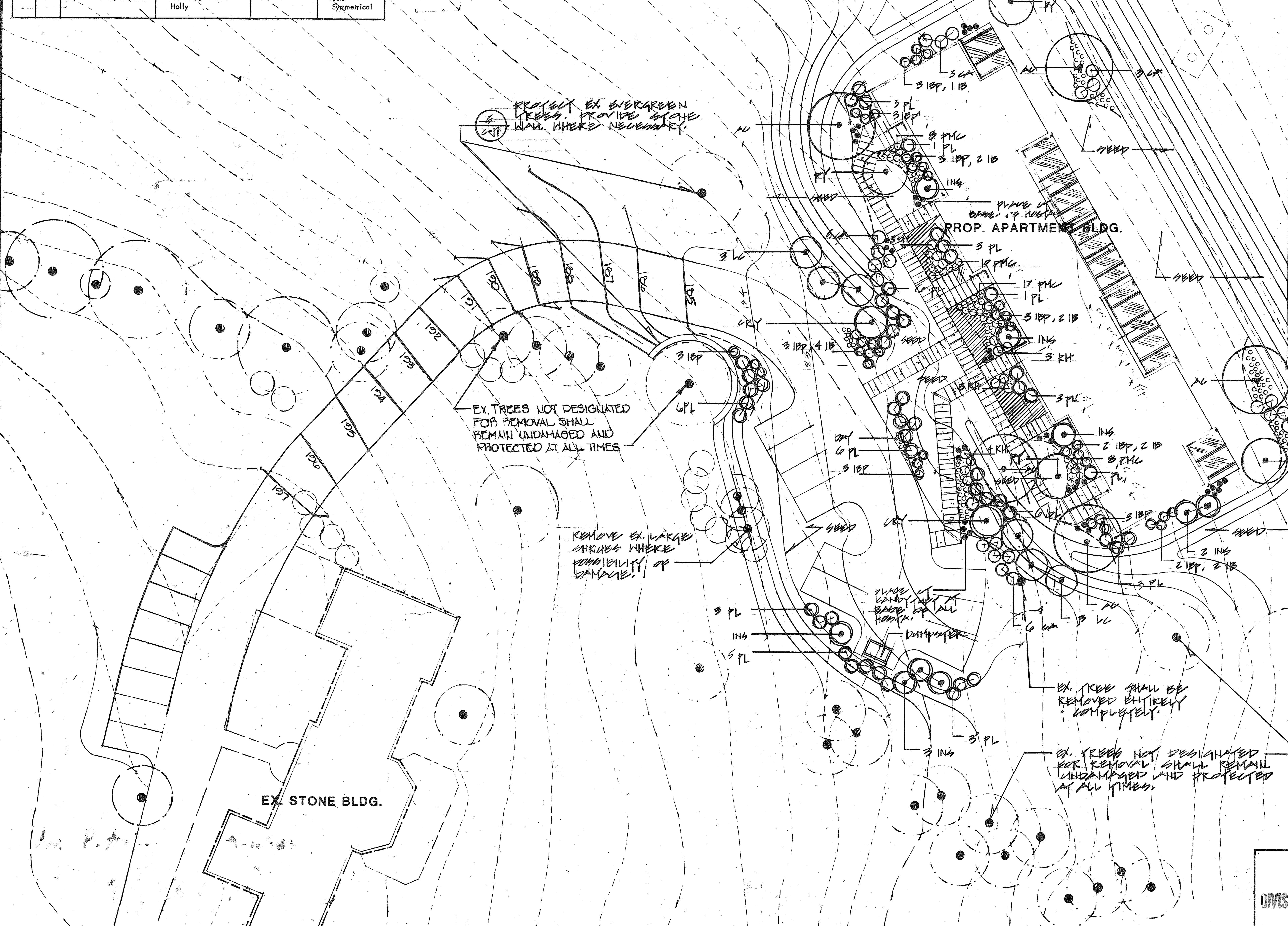
PROJ NO	DWG NO
SDP-87-252	C-11
SCALE	
DATE	SHEET 11 OF 21
AUG. 17, 1987	

SDP-87-252

SYM.	QUA.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
TREES: AC	5	Acer platanoides 'Royal Red'	Royal Red Maple	3"-3½" cal. 13'-15' H	B&B Full Head
CRY	2	Cryptomeria japonica 'Lobbii'	Lobb Japanese Cryptomeria	7'-8' H	B&B Symmetrical
LC	6	Cupressocyparis leylandii	Leyland Cypress	6'-7' H	B&B Unsheared Symmetrical
PY	4	Pyrus calleryana 'Bradford'	Bradford Pear	2"-2½" cal. 10'-12' H	B&B Full Head
SHRUBS: CA	22	Clethra alnifolia	Summersweet Clethra	30"-36" H	Cont. Plant 4' O.C.
IB	13	Ilex meserveae 'Blue Prince'	Blue Prince Holly	24"-30" H	Cont. Plant 3' O.C.
IBP	28	Ilex meserveae 'Blue Princess'	Blue Princess Holly	24"- 30" H	Cont. Plant 3' O.C.
INS	9	Ilex 'Nellie R. Stevens'	Nellie R. Stevens Holly	3'-4' H	B&B Symmetrical

PMC	43	Pinus mugo 'Compacta'	Compact Mugo Pine	15"-20" H	Cont. Plant 24" O.C.
PL	50	Prunus laurocerasus 'Schipkaensis'	Cherry Laurel	30"-36" H	Cont. Plant 4' O.C.
RH	10	Rhododendron P.J.M.	P.J.M. Rhododendron	18"-24" H	Cont. Plant 30" O.C.
GROUNDCOVERS: Day	50	Hemerocallis 'Bonanza'	Bonanza Daylily	2 qt pot.	Plant 12" O.C. Alternate varieties
Day	50	Hemerocallis 'King Alfred'	King Alfred Daylily	2 qt pot.	Plant 12" O.C. Alternate varieties
	20	Hosta sieboldiana 'Elegans'	Plantain Lily	1 qt pot.	Plant 15" O.C.
	20	Hosta 'Blue Skies'	Blue Skies Plantain Lily	1 qt pot	Plant 12" O.C.

CT	50	Iberis sempervirens 'Bluemount Snow'	Bluemount Snow Candytuft	1 qt pot.	Plant 8" O.C.
	350	Ophiopogon japonicus	Mondo Grass	1 qt pot.	Plant 12" O.C.
	50	Narcissus pseudonarcissus 'Duke of Windsor'	Daffodil	Top size	Plant 12" O.C. Plant throughout Groundcover
	50	Narcissus pseudonarcissus 'Pheasants Eye'	Daffodil	Top size	" "



PLANTING NOTES

- THE CONTRACTOR SHALL NOTIFY THE CONTRACTING OFFICER AT LEAST 24 HOURS PRIOR TO STARTING PLANTING PROCEDURES.
- The contractor shall maintain a qualified supervisor on the site at all times during construction through completion of pick up work.
- The contractor shall verify all plant material quantities prior to installation. Plant masterial quantities listed for convenience of contractor. Actual number of symbols shall have priority over quantity designated.
- All plant material shall be subject to approval by the landscape architect and/or owner prior to installaion.
- The contractor shall advise landscape architect of any substitutes of plant material required due to availability and such substitutions shall be subject to approval by the landscape architect and/or owner prior to installation per specification.
- Ground cover planting shall be continuous under shrubs and beneath exterior balcony overhangs: In all other areas plant as shown on plan.
- Fine prune all specimen trees after planting.
- Upon completion remove all extraneous material and debris, broom and wash the area clean.
- All transitions between the turf and shrub areas shall be unheadered.
- All landscape areas to be free of debris, building materials, and unsuitable soils to a depth of 18" below finished grade. All landscape areas to have 4-6" of topsoil and are to be crowned a minimum of 6" higher than adjacent crubs or walks, after earth settlement.
- See detail 2 sheet C-11 for tree planting, staking and guying.
- See details 3&6 sheet C-11 for shrub planting.
- Remove all twine and wire from tree and shrub earth balls and from tree trunks.
- Lawn trees to be mulched with a 2' wide by a minimum of 4" deep shredded hardwood bark or approved alternate design for trunk protection.
- Shrub beds to be mulched with 3" of shredded hardwood and hardwood bark.
- Trees to be placed a minimum of 30" from parking stalls and walkways.
- Installation of plant material shall be in accordance with the American Association of Nurserymen Landscape Standards and with the general planting specifications as set forth by City.
- Limb deciduous, high-canopy (shade trees) to 6'-0" above grade.
- Trees to be saved shall be protected during construction as follows:
  - a. Line off trees with bright color ribbon to warn contractors.
  - b. Do not nail boards to trees.
  - c. Do not cut feeder roots within drip line of trees.
  - d. Damaged trunks or roots to be painted with quality tree paint.
  - e. Cut damaged limbs at tree trunk and paint cut surface with quality tree paint.
  - f. Trees which border construction shall be protected using tree fencing as per detail.
- Tree preservation areas and measures to be used during site-work are outlined, see detail. Grade to be preserved at dripline of trees by use of tree wall and/or tree well construction per details.
- Contractor shall note the location of light standards and verify in the field. Tree shall be planted no closer than fifteen (15) feet from light standards. Contact the contracting officer prior to making changes in plant locations.
- Contractor shall note underground utilities shown on drawing (utility plan). All minor trees shall be planted a minimum of (5) feet from utilities, all major trees minimum of ten (10) feet, and all shrubs shall be planted a minimum of two (2) feet from utilities.
- Stake all trees the same day of planting. Provide high visibility plastic flags each stake.
- All plant material to be planted within the following schedule:
- MAJOR AND MINOR TREES (DECIDUOUS)
  - -March 1st to June 15th
  - -September 15th to December 15th
- CONIFERS (EVERGREEN)
  - -March 15th to June 15th
  - -September 1st to November 30th
- GROUND COVER
  - -March 15th to June 15th
  - -September 1st to November 30th
- Pruning, as described in specifications, shall be done by an individual having pruning experience in accordance with good horticultural practice.
- All plant pits, rootballs, and beds shall be soaked thoroughly immediately following planting.

Warranty:

1. The Landscaping Contractor will conduct a final inspection with the Architect at the end of the one year period. It will be the Landscape Contractor's responsibility to notify the Architect within ten days of the anticipated meeting.
2. Any material that is 25% dead or more shall be considered dead and must be replaced at no charge, providing the Landscape Contractor has received at least 90% of the Contract Price. A tree shall be considered dead when the main leader has died back, or there is 25% of the crown dead.
3. Deciduous material will be guaranteed to break dormacy if planted in dormant season.

Replacements and Conditions:

1. Replacements will be made during the next plating period, unless the Landscape Contractor agrees to an earlier date.
2. There will be a one-time replacement policy. The cost will be borne by the Contractor at no additional cost to the Owner.
3. A replacement will be of the same size and species as the original with no additional soil additives to be used.
4. The Landscape Contractor will not be responsible for plant material that has been damaged to vandalism, fire, removal, relocation or other activities beyond the Landscape Contractor's control.
5. Plant losses due to abnormal weather conditions such as floods, excessive wind damage, drought, severe freezing or abnormal rains will in no way be the responsibility of the Landscape Contractor.
6. Ground covers, broadleaf evergreens, bradford pears, red, willow and scarlet oaks and all conifers, except white pines, will not be guaranteed if planted between November 15th and March 15th. An exception to this would be if the Landscape Contractor states in writing that he or she will guarantee plants planted at this time.

EXPANSION JOINT
CONTROL JOINT

- SEE SITE DETAIL SHEET FOR ALL PLANTING AND PAVING DETAILS. SEE SHEET C-11.
- SEE ARCH. DRAWINGS FOR SCORING PATTERNS AND BROOM FINISH DETAILS ON ALL CONCRETE SURFACES.
- SITE CONTRACTOR IS TO INSTALL ALL SIDEWALKS (SEE ARCH. PLANS FOR LAYOUT).

'PURPOSE STATEMENT' (4-26-10)

THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO: ADD A KEYSTONE RETAINING WALL ALONG THE REAR DRIVE ISLE AND LOWER STORM DRAIN OUTFALL FROM STRUCTURE D-5 TO D-6 TO ACCOMODATE SAME. ONE (1) NEW SHEET HAS BEEN ADDED 18 of 18

SCALE: 1"-20'-0"

PE# 27729 EXP. 7-15-2010

APPROVED
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 7-22-87

REVISED 4-26-10 SEE 'PURPOSE STATEMENT DATED 4-26-10
REVISED: 10-23-09; REVISION TO SHEET INDEX. ADDED 2 NEW SHEETS.

APPROVED: For Storm Drainage Systems and Roads.
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DIRECTOR — DATE 9/14/87
CHIEF, BUREAU OF ENGINEERING — DATE 9-14-87

APPROVED: For private Water and Private Sewerage Systems.
HOWARD COUNTY HEALTH DEPARTMENT
COUNTY HEALTH OFFICER — DATE 9-8-87

APPROVED: Howard County Office of Planning and Zoning
PLANNING DIRECTOR — DATE 9-15-87
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION — DATE 9-15-87

PURDUM & JESCHKE
CONSULTING ENGINEERS
LAND SURVEYORS
1029 North Calvert Street
Baltimore, Maryland 21202 301/837-0194

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DATE 8/26/87

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Richard H. Benich — DATE 8/26/87

DEED: 393/29
ELECTION DISTRICT: 3
TAX MAP: 10 PARCEL 35

STATE OF MARYLAND — RICHARD HENRY BENICH — No. 10950 — REGISTERED PROFESSIONAL ENGINEER
G-8606

SISTERS OF BON SECOURS, U.S.A.

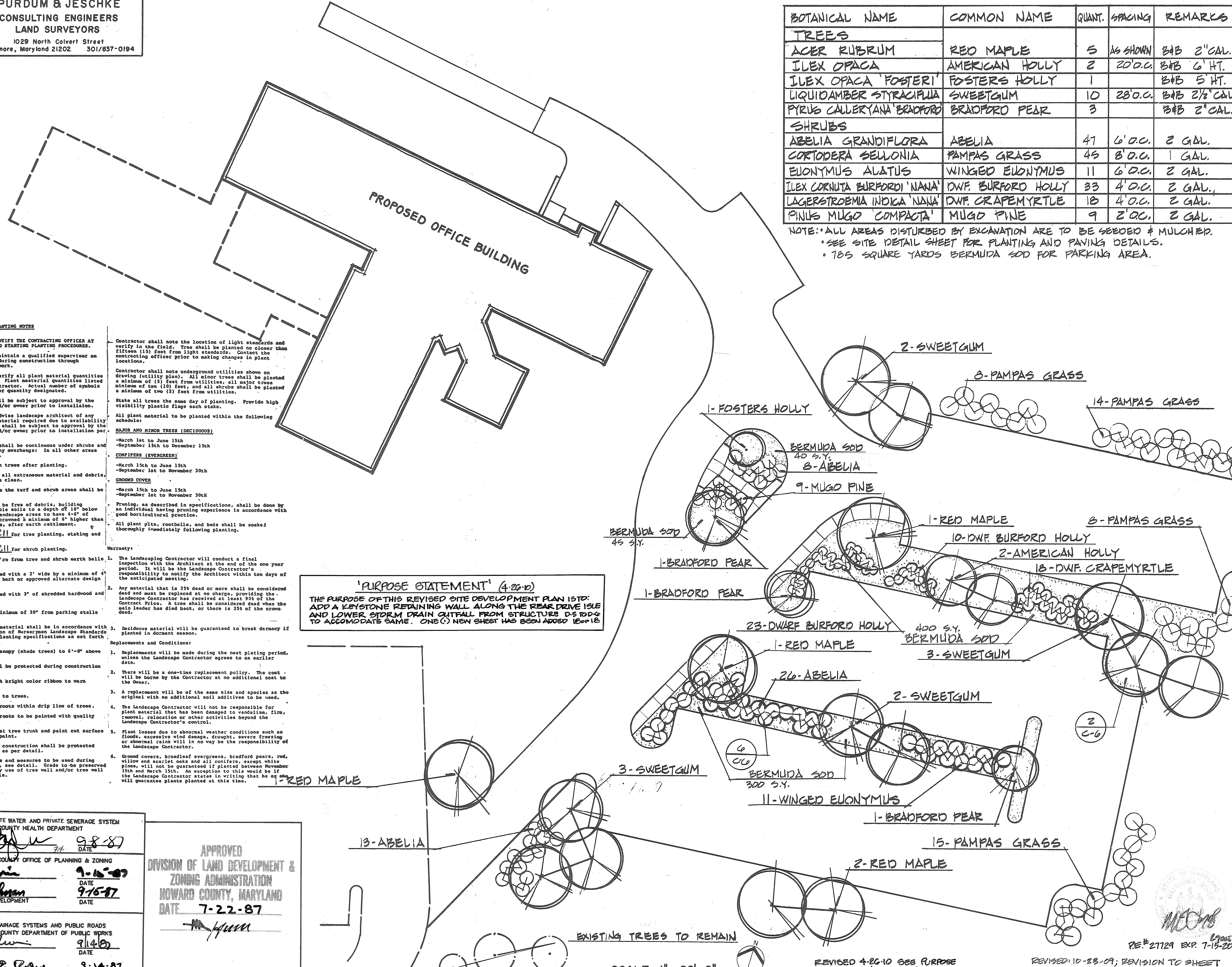
MARRIOTTSVILLE ROAD
MARRIOTTSVILLE, MARYLAND
HOWARD CO. MD.
APARTMENT BUILDING
LANDSCAPING PLAN

PROJ NO	DWG NO
SDP-87-252	L-1
SCALE 1" = 20'	
DATE AUG. 17, 1987	SHEET 12 OF 21

PURDUM & JESCHKE
CONSULTING ENGINEERS
LAND SURVEYORS
1029 North Calvert Street
Baltimore, Maryland 21202 301/837-0194

BOTANICAL NAME	COMMON NAME	QUANT.	SPACING	REMARKS
TREES				
ACER RUBRUM	RED MAPLE	5	AS SHOWN	B&B 2" CAL.
ILEX OPACA	AMERICAN HOLLY	2	20' O.C.	B&B 6' HT.
ILEX OPACA 'FOSTERI'	FOSTERS HOLLY	1		B&B 5' HT.
LIQUIDAMBER STYRACIFLUA	SWEETGUM	10	28' O.C.	B&B 2 1/2" CAL.
PYRUS CALLERYANA 'BRADFORD'	BRADFORD PEAR	3		B&B 2" CAL.
SHRUBS				
ABELIA GRANDIFLORA	ABELIA	41	6' O.C.	2 GAL.
CORTODERA SELLONIA	PAMPAS GRASS	45	8' O.C.	1 GAL.
EUONYMUS ALATUS	WINGED EUONYMUS	11	6' O.C.	2 GAL.
ILEX CORNUTA BURFORDI 'NANA'	DWF. BURFORD HOLLY	33	4' O.C.	2 GAL.
LAGERSTROEMIA INDICA 'NANA'	DWF. CRAPEMYRTLE	18	4' O.C.	2 GAL.
PINUS MUGO 'COMPACTA'	MUGO PINE	9	2' O.C.	2 GAL.

NOTE: • ALL AREAS DISTURBED BY EXCAVATION ARE TO BE SEEDED & MULCHED.
• SEE SITE DETAIL SHEET FOR PLANTING AND PAVING DETAILS.
• 785 SQUARE YARDS BERMUDA SOD FOR PARKING AREA.



PLANTING NOTES

THE CONTRACTOR SHALL NOTIFY THE CONTRACTING OFFICER AT LEAST 24 HOURS PRIOR TO STARTING PLANTING PROCEDURES.

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All plant material shall be subject to approval by the landscape architect and/or owner prior to installaion.

The contractor shall advise landscape architect of any substitutes of plant material required due to availability and such substitutions shall be subject to approval by the landscape architect and/or owner prior to installation per specification.

Ground cover planting shall be continuous under shrubs and beneath exterior balcony overhangs: In all other areas plant as shown on plan.

Fine prune all specimen trees after planting.

Upon completion remove all extraneous material and debris, broom and wash the area clean.

All transitions between the turf and shrub areas shall be unheadered.

All landscape areas to be free of debris, building materials, and unsuitable soils to a depth of 18" below finished grade. All landscape areas to have 4-6" of topsoil and are to be crowned a minimum of 6" higher than adjacent crubs or walks, after earth settlement.

See details 2 sheet C11 for tree planting, staking and guying.

See details 3,6 sheet C11 for shrub planting.

Remove all twine and wire from tree and shrub earth balls and from tree trunks.

Lawn trees to be mulched with a 2' wide by a minimum of 4" deep shredded hardwood bark or approved alternate design for trunk protection.

Shrub beds to be mulched with 3" of shredded hardwood and hardwood bark.

Trees to be placed a minimum of 30" from parking stalls and walkways.

Installation of plant material shall be in accordance with the American Association of Nurserymen Landscape Standards and with the general planting specifications as set forth by City.

Limb deciduous, high-canopy (shade trees) to 6'-8" above grade.

Trees to be saved shall be protected during construction as follows:

a. Line off trees with bright color ribbon to warn contractors.

b. Do not nail boards to trees.

c. Do not cut feeder roots within drip line of trees.

d. Damaged trunks or roots to be painted with quality tree paint.

e. Cut damaged limbs at tree trunk and paint cut surface with quality tree paint.

f. Trees which border construction shall be protected using tree fencing as per detail.

Tree preservation areas and measures to be used during site work are outlined, see detail. Grade to be preserved at dripline of trees by use of tree wall and/or tree well construction per details.

• Contractor shall note the location of light standards and verify in the field. Tree shall be planted no closer than fifteen (15) feet from light standards. Contact the contracting officer prior to making changes in plant locations.

Contractor shall note underground utilities shown on drawing (utility plan). All minor trees shall be planted a minimum of (5) feet from utilities, all major trees minimum of ten (10) feet, and all shrubs shall be planted a minimum of two (2) feet from utilities.

• Stake all trees the same day of planting. Provide high visibility plastic flags each stake.

• All plant material to be planted within the following schedule:

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-September 15th to December 15th

• CONFIFERS (EVERGREEN)

-March 15th to June 15th
-September 1st to November 30th

• GROUND COVER

-March 15th to June 15th
-September 1st to November 30th

• Pruning, as described in specifications, shall be done by an individual having pruning experience in accordance with good horticultural practice.

• All plant pits, rootballs, and beds shall be soaked thoroughly immediately following planting.

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3. A replacement will be of the same size and species as the original with no additional soil additives to be used.
4. The Landscape Contractor will not be responsible for plant material that has been damaged to vandalism, fire, removal, relocation or other activities beyond the Landscape Contractor's control.
5. Plant losses due to abnormal weather conditions such as floods, excessive wind damage, drought, severe freezing or abnormal rains will in no way be the responsibility of the Landscape Contractor.
6. Ground covers, broadleaf evergreens, bradford pears, red, willow and scarlet oaks and all conifers, except white pines, will not be guaranteed if planted between November 15th and March 15th. An exception to this would be if the Landscape Contractor states in writing that he or she will guarantee plants planted at this time.

'PURPOSE STATEMENT' (4-26-10)

THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO: ADD A KEYSTONE RETAINING WALL ALONG THE REAR DRIVE ISLE AND LOWER STORM DRAIN OUTFALL FROM STRUCTURE D-5 TO D-6 TO ACCOMODATE SAME. ONE (1) NEW SHEET HAS BEEN ADDED 18 OF 18

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEM
HOWARD COUNTY HEALTH DEPARTMENT
COUNTY HEALTH OFFICER — DATE 9-8-87

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
DIRECTOR — DATE 9-16-87
CHIEF DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION — DATE 9-16-87

APPROVED: STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DIRECTOR — DATE 9/14/87
CHIEF BUREAU OF ENGINEERING — DATE 9-14-87

APPROVED
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 7-22-87

SCALE: 1" = 20'-0"

REVISED 4-26-10 SEE PURPOSE STATEMENT DATED 4-26-10

REVISED: 10-28-09; REVISION TO SHEET INDEX. ADDED 2 NEW SHEETS.

P.E.# 27729 EXP. 7-15-2010

Gaudreau, Inc.
Architects Planners Engineers
Baltimore
810 Light Street Baltimore Maryland 21230

Faisant Associates, Inc.
Structural Engineers
Kibart, Inc.
Mechanical/Electrical Engineers
Purdum & Jeschke
Civil Engineers

DEVELOPER'S CERTIFICATION

I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATION OF ATTENDANCE AT THE DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF ANY SEDIMENT EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY HOWARD SOIL CONSERVATION DISTRICT.

ENGINEER'S CERTIFICATION

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DEED: 393/29
ELECTION DISTRICT: 3
TAX MAP: 10 PARCEL 35

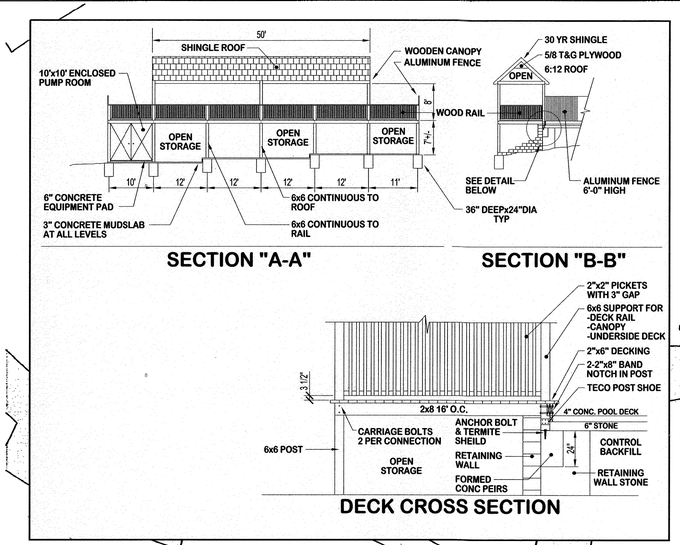
G8606

SISTERS OF BON SECOURS, U.S.A.
1525 MARRIOTTSVILLE ROAD
MARRIOTTSVILLE, MD. 21104
HOWARD CO., MD.

LANDSCAPING PLAN

PROJ NO	DWG NO
SDP-87-252	L-2
SCALE	
DATE AUG. 17, 1987	SHEET 13 OF 21

SDP-87-252



'PURPOSE STATEMENT' (4-26-10)

THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO: ADD A KEYSTONE RETAINING WALL ALONG THE REAR DRIVE ISLE AND LOWER STORM DRAIN OUTFALL FROM STRUCTURE D-5 TO D-6 TO ACCOMODATE SAME. ONE (1) NEW SHEET HAS BEEN ADDED 18 of 18

'PURPOSE STATEMENT' MAY 18, 2009

THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO EXPAND THE EXISTING WELL HOUSE 40 SQUARE FEET TO ADDRESS ELECTRICAL TRANSFORMER AND ELECTRICAL PANEL CLEARANCES.

'PURPOSE STATEMENT'

ITHE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO ADD A NEW 1" HDPE WATER SUPPLY TO THE NEW POOL, ABANDON THE EXISTING 1" WATER TO THE ABANDONED (AND NOW REMOVED POOL), TO ADD A NEW WATER VAULT NEAR THE EXISTING PUMP HOUSE, AND RE-DIRECT THE FOUR (4) WELL WATER MAINS INTO THE NEW WATER VAULT, AND TO ADD A 10' BY 70' COVERED DECK ALONG THE EAST SIDE OF THE NEW POOL.

REVISIONS MADE AFTER 01-23-08 BY JOYCE ENGINEERING CORP.

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland

JUNE 2, 2009

William A. Joyce, Date

Professional Engr. No. 12243

Exp. Date: 12-17-10

JOYCE ENGINEERING CORPORATION
CIVIL ENGINEERING LAND SURVEYING LAND PLANNING CONSTRUCTION MANAGEMENT
10766 BALTIMORE AVENUE - BELTSVILLE, MARYLAND 20705
TEL: (301) 595-4333 FAX: (301) 595-4600 WEB: www.joyceeng.com

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS

B Nelson for Peter Beilenson 3/28/08
County Health Officer, Howard County Health Department — Date

SUPPLEMENTAL SHEET ADDED APRIL 30, 2007.
REVISED

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
(410) 461 - 2855

DATE	DESCRIPTION
4-26-10	REVISED 4-26-10 - SEE 'PURPOSE STATEMENT' DATED 4-26-10
10/23/08	REVISED SHEET INDEX. ADDED 2 NEW SHEETS
6/2/08	REVISED TO EXPAND ORIGINAL WELL HOUSE FOR TRANSFORMER & ELECTRICAL PURPOSES. (5/18)
01/23/08	ADD NEW 1" HDPE WATER SUPPLY TO THE NEW POOL, ABANDON THE EXISTING 1" WATER TO THE ABANDONED (AND NOW REMOVED POOL), TO ADD A NEW WATER VAULT NEAR THE EXISTING PUMP HOUSE, AND RE-DIRECT THE FOUR (4) WELL WATER MAINS INTO THE NEW WATER VAULT, AND TO ADD A 10' BY 70' COVERED DECK ALONG THE EAST SIDE OF THE NEW POOL.

REVISION BLOCK

STATE OF MARYLAND — No. 10771 — REGISTERED PROFESSIONAL ENGINEER — 4-18-07

ENGINEER'S CERTIFICATE

"I certify that this development and sediment and erosion control represents a practical and workable plan based on my knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Signature — 4-18-07 Date

DEVELOPER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Signature of Developer — 04/26/07 Date

Reviewed for HOWARD SCD and meets Technical Requirements.

Date

U.S.D.A. Natural Resources Conservation Service

This development plan is approved for soil erosion and sediment control by the HOWARD COUNTY CONSERVATION DISTRICT.

Howard SCD — 3/13/08 Date

OWNER

SISTERS OF BON SECOURS, U.S.A.
1525 MARRIOTTSVILLE ROAD
MARRIOTSVILLE, MARYLAND 21104

DEVELOPER

THE WHITING TURNER CONTRACTING COMPANY
300 EAST JOPPA ROAD
TOWSON, MARYLAND 21286

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Director - Department of Planning and Zoning — 8/30/08 Date

Chief, Division of Land Development — 3/21/08 Date

Chief, Development Engineering Division — 3/21/08 Date

SUBDIVISION	SECTION/AREA	PARCEL NO.
SISTERS OF BON SECOURS, U.S.A.	N/A	35

PLAT NO.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
393/29	10, 11, 16, 17	RC-DEO	10	THIRD	6030

WATER CODE: N/A - WELL
SEWER CODE: N/A - SEPTIC

IN-GROUND POOL PLAN

SISTERS OF BON SECOURS, U.S.A.

ZONED: RC-DEO
TAX MAP No. 10 PARCEL No. 35 GRID No. 10,11,16,17
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 30'
DATE: FEBRUARY 12, 2007
SHEET 14 OF 21

SDP 87-252

Drawing name: R:\Land Projects\007042 - Bon Secours\dwg\SP-014_REDLINE.dwg
Plotted: Mar 11, 2008 - 9:58am

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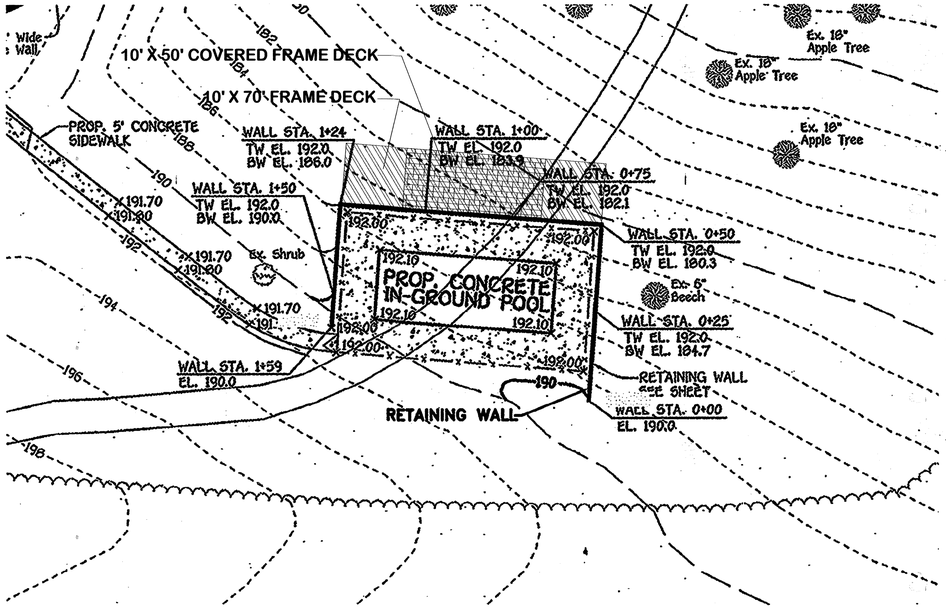

WALL LOCATION PLAN
1"=20'

NOTES:
1.) No trees shall be planted within 10 feet of the top of the retaining wall.
2.) Retaining walls shall only be constructed under the observation of a registered professional engineer and a (NICET, WACEL, or equiv.) certified soils technician.
3.) The required bearing pressure beneath the wall system shall be verified in the field by a certified soils technician. Testing documentation must be provided to the Howard County Inspector prior to start of construction. The required bearing test shall be the Dynamic Cone Penetrometer test ASTM STP-399.
4.) The suitability of fill material shall be confirmed by the on-site soils technician. Each 8" lift must be compacted to a minimum 95% standard proctor density and the testing report shall be made available to the Howard County Inspector upon completion of construction.

'PURPOSE STATEMENT'
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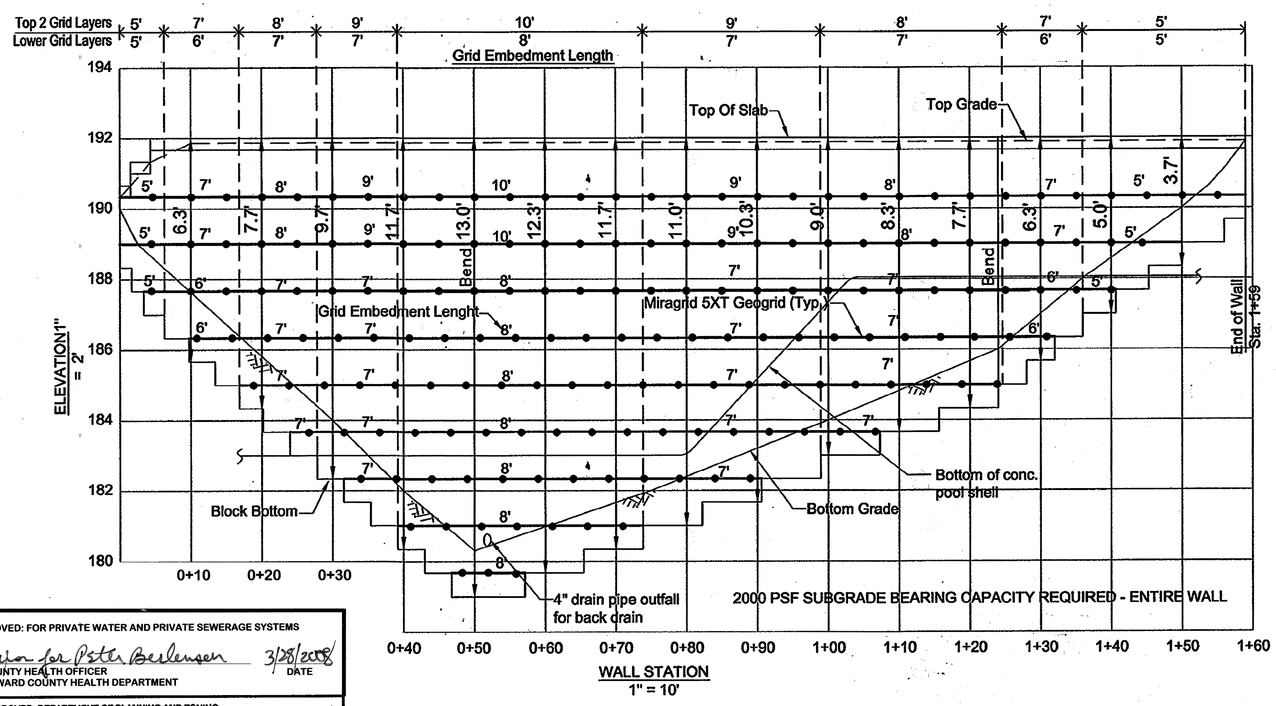


WALL ELEVATION

SPECIFICATIONS
KEYSTONE MODULAR CONCRETE BLOCK RETAINING WALL

PART 1: GENERAL

1.01 Description
A. Work shall consist of furnishing and construction of a KEYSTONE Retaining Wall System in accordance with these specifications and in reasonably close conformity with the lines, grades, design, and dimensions shown on the plans.
B. Work includes preparing foundation soil, furnishing and installing leveling pad, unit drainage fill and backfill to the lines and grades shown on the construction drawings.
C. Work includes furnishing and installing geogrid soil reinforcement of the type, size, location, and lengths designated on the construction drawings.

1.02 Delivery, Storage and Handling
A. Contractor shall check all materials upon delivery to assure that the proper type, grade, color, and certification has been received.
B. Contractor shall protect all materials from damage due to job site conditions and in accordance with manufacturer's recommendations. Damaged materials shall not be incorporated into the work.

PART 2: PRODUCTS

2.01 Modular Concrete Retaining Wall Units
A. Modular concrete units shall conform to the following architectural requirements:
face color - concrete gray - standard manufacturers' color may be specified by the Owner.
face finish - sculptured rock face in angular tri-planer configuration. Other face finishes will not be allowed without written approval of Owner.
bond configuration - running with bonds nominally located at midpoint vertically adjacent units, in both straight and curved alignments.
exposed surfaces of units shall be free of chips, cracks or other imperfections when viewed from a distance of 10 feet under diffused lighting.
B. Modular concrete materials shall conform to the requirements of ASTM C1372 - Standard Specifications for Segmental Retaining Wall Units.
C. Modular concrete units shall conform to the following structural and geometric requirements measured in accordance with appropriate references:
compressive strength = 3000 psi minimum;
absorption = 8 % maximum (6% in northern states) for standard weight aggregates;
dimensional tolerances = ± 1/8" from nominal unit dimensions not including rough split face, ±1/16" unit height - top and bottom planes;
unit size - 8" (H) x 18" (W) x 22" (D) minimum;
unit weight - 100 lbs/unit minimum for standard weight aggregates;
inter-unit shear strength = 1000 plf minimum at 2 psi normal pressure;
geogrid/unit peak connection strength - 1000 plf minimum at 2 psi normal force.
D. Modular concrete units shall conform to the following constructability requirements:
vertical setback = 1/8"± per course (near vertical) or 1"+ per course per the design;
alignment and grid positioning mechanism - fiberglass pins, two per unit minimum;
maximum horizontal gap between erected units shall be - 1/2 inch.

2.02 Shear Connectors
A. Shear connectors shall be 1/2 inch diameter thermoset isophthalic polyester resin-protruded fiberglass reinforcement rods or equivalent to provide connection between vertically and horizontally adjacent units. Strength of shear connectors between vertical adjacent units shall be applicable over a design temperature of 10 degrees F to + 100 degrees F.
B. Shear connectors shall be capable of holding the geogrid in the proper design position during grid pre-tensioning and backfilling.

2.03 Base Leveling Pad Material
A. Material shall consist of a compacted #57 crushed stone base as shown on the construction drawings.

2.04 Unit Drainage Fill
A. Unit drainage fill shall consist of #57crushed stone

2.05 Reinforced Backfill
A. Reinforced backfill shall be CR6/RC-6.

2.06 Geogrid Soil Reinforcement
A. Geosynthetic reinforcement shall consist of geogrids manufactured specifically for soil reinforcement applications and shall be manufactured from high tenacity polyester yarn.

2.07 Drainage Pipe
A. The drainage pipe shall be perforated corrugated HDPE pipe manufactured in accordance with ASTM D-1248.

PART 3 EXECUTION

3.01 Excavation
A. Contractor shall excavate to the lines and grades shown on the construction drawings. Owner's representative shall be responsible for inspecting and approving the excavation prior to placement of leveling material or fill soils.

3.02 Base Leveling Pad
A. Leveling pad material shall be placed to the lines and grades shown on the construction drawings, to a minimum thickness of 6 inches and extend laterally a minimum of 6" in front and behind the modular unit unit.
B. Leveling pad shall be prepared to insure full contact to the base surface of the concrete units.

3.03 Modular Unit Installation
A. First course of units shall be placed on the leveling pad at the appropriate line and grade. Alignment and level shall be checked in all directions and insure that all units are in full contact with the base and properly seated.
B. Place the front of units side-by-side. Do not leave gaps between adjacent units. Layout of corners and curves shall be in accordance with manufacturer's recommendations.
C. Install shear/connecting devices per manufacturer's recommendations.
D. Place and compact drainage fill within and behind wall units. Place and compact backfill soil behind drainage fill. Follow wall erection and drainage fill closely with structure backfill.
E. Maximum stacked vertical height of wall units, prior to unit drainage fill and backfill placement and compaction, shall not exceed three courses.

3.04 Structural Geogrid Installation
A. Geogrid shall be oriented with the highest strength axis perpendicular to the wall alignment.
B. Geogrid reinforcement shall be placed at the strengths, lengths, and elevations shown on the construction design drawings or as directed by the Engineer.
C. The geogrid shall be laid horizontally on compacted backfill and attached to the modular wall units. Place the next course of modular concrete units over the geogrid. The geogrid shall be pulled taut, and anchored prior to backfill placement on the geogrid.
D. Geogrid reinforcements shall be continuous throughout their embedment lengths and placed side-by-side to provide 100% coverage at each level. Spliced connections between shorter pieces of geogrid or gaps between adjacent pieces of geogrid are not permitted.

3.05 Reinforced Backfill Placement
A. Reinforced backfill shall be placed, spread, and compacted in such a manner that minimizes the development of slack in the geogrid and installation damage.
B. Reinforced backfill shall be placed and compacted in lifts not to exceed 8 inches where hand compaction is used, or 8 - 10 inches where heavy compaction equipment is used. Lift thickness shall be decreased to achieve the required density as required.
C. Reinforced backfill shall be compacted to 95% of the maximum density as determined by ASTM D698. The moisture content of the backfill material prior to and during compaction shall be uniformly distributed throughout each layer and shall be + 3% to - 3% of optimum.
D. Only lightweight hand-operated equipment shall be allowed within 3 feet from the fall of the modular concrete unit.
E. Tracked construction equipment shall not be operated directly upon the geogrid reinforcement. A minimum fill thickness of 6 inches is required prior to operation of tracked vehicles over the geogrid. Tracked vehicle turning should be kept to a minimum to prevent tracks from displacing the fill and damaging the geogrid.
F. Rubber tired equipment may pass over geogrid reinforcement at slow speeds, less than 10 MPH. Sudden braking and sharp turning shall be avoided.
G. At the end of each day's operation, the Contractor shall slope the last lift of reinforced backfill away from the wall units to direct runoff away from wall face. The Contractor shall not allow surface runoff from adjacent areas to enter the wall construction site.

3.06 Cap Installation
A. Cap units shall be glued to underlying units with an all-weather adhesive recommended by the manufacturer.

3.07 Field Quality Control
A. The Owner shall engage inspection and testing services, including independent laboratories, to provide quality assurance and testing services during construction.
B. As a minimum, quality assurance testing should include foundation soil inspection, soil and backfill testing, verification of design parameters, and observation of construction for general compliance with design drawings and specifications.

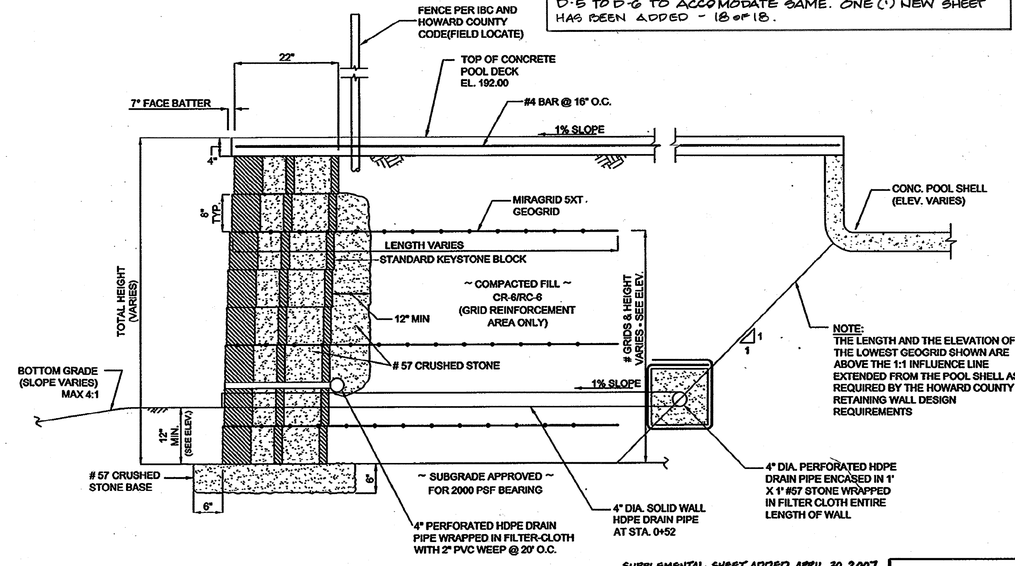
REVISIONS MADE AFTER 01-23-08 BY JOYCE ENGINEERING CORP.

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland

William A. Joyce, Date
Professional Engr. No. 12243
Exp. Date: April 30, 2009

JOYCE ENGINEERING CORPORATION
CIVIL ENGINEERING LAND SURVEYING LAND PLANNING CONSTRUCTION MANAGEMENT
10766 BALTIMORE AVENUE - BELTSVILLE, MARYLAND 20705
TEL: (301) 595-4333 FAX: (301) 595-4630 WEB: www.joyceeng.com

'PURPOSE STATEMENT' (4-26-10)
THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO: ADD A KEYSTONE RETAINING WALL ALONG THE REAR DRIVE ISLE AND LOWER STORM DRAIN OUTFALL FROM STRUCTURE D-5 TO D-6 TO ACCOMODATE SAME. ONE (1) NEW SHEET HAS BEEN ADDED - 18 of 18.



TYPICAL WALL SECTION
N.T.S.

SUPPLEMENTAL SHEET ADDED APRIL 30, 2007

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS
B. Wilson for Peter Berlenson — 3/28/2008
COUNTY HEALTH OFFICER HOWARD COUNTY HEALTH DEPARTMENT — DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
DIRECTOR - DEPARTMENT OF PLANNING AND ZONING — 3/30/08 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT — 3/31/08 DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION — 4/1/08 DATE

OWNER
SISTERS OF BON SECOURS, U.S.A.
1525 MARRIOTTSVILLE RD.
MARRIOTTSVILLE, MD. 21104.

DEVELOPER
THE WHITING TURNER CONTRACTING COMPANY
300 EAST JOPPA RD.
TOWSON, MD. 21286

SISTERS OF BON SECOURS, U.S.A.
ZONED: RC-DEO
TAX MAP No. 10 PARCEL No. 35 GRID No. 10, 11, 15, 17
THIRD ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN

SUBDIVISION			SECTION / AREA	PARCEL NO.
SISTERS OF BON SECOURS, U.S.A.			N/A	35
PLAT No.	BLOCK	ZONE	TAX MAP	ELECT DIST.	CENSUS TR.
393/29	10, 11, 16, 17	RC-DEO	10	THIRD	6030
WATER CODE: N/A - WELL			SEWER CODE: N/A - SEPTIC		

HILLIS-CARNES ENGINEERING ASSOCIATES
10975 Guilford Road, Suite A, Annapolis Junction, MD (410) 880-4788 Fax: (410)880-4098

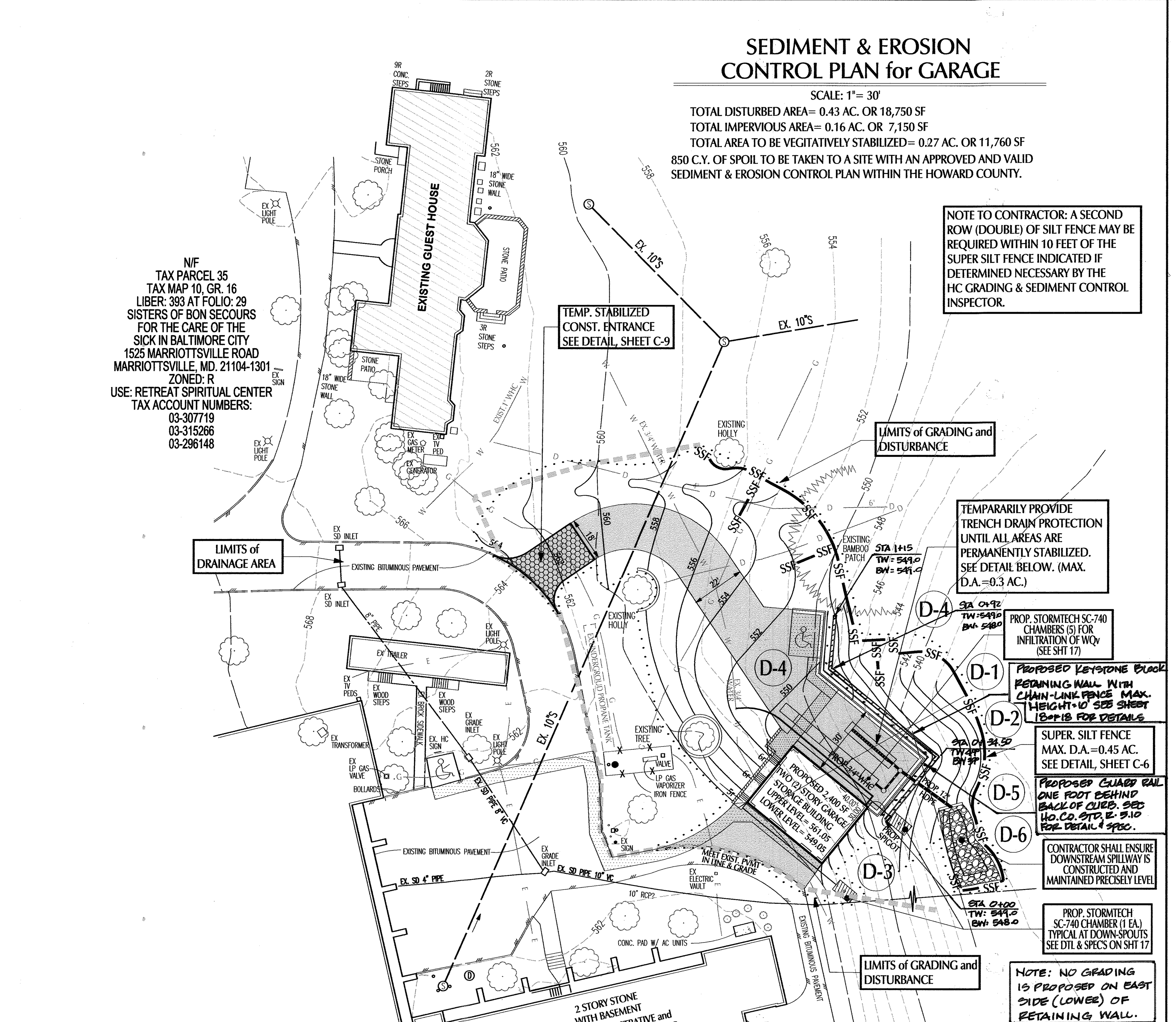
RETAINING WALL LOCATION PLAN & CONSTRUCTION DETAILS
BON SECOURS POOL WALL HOWARD COUNTY, MD

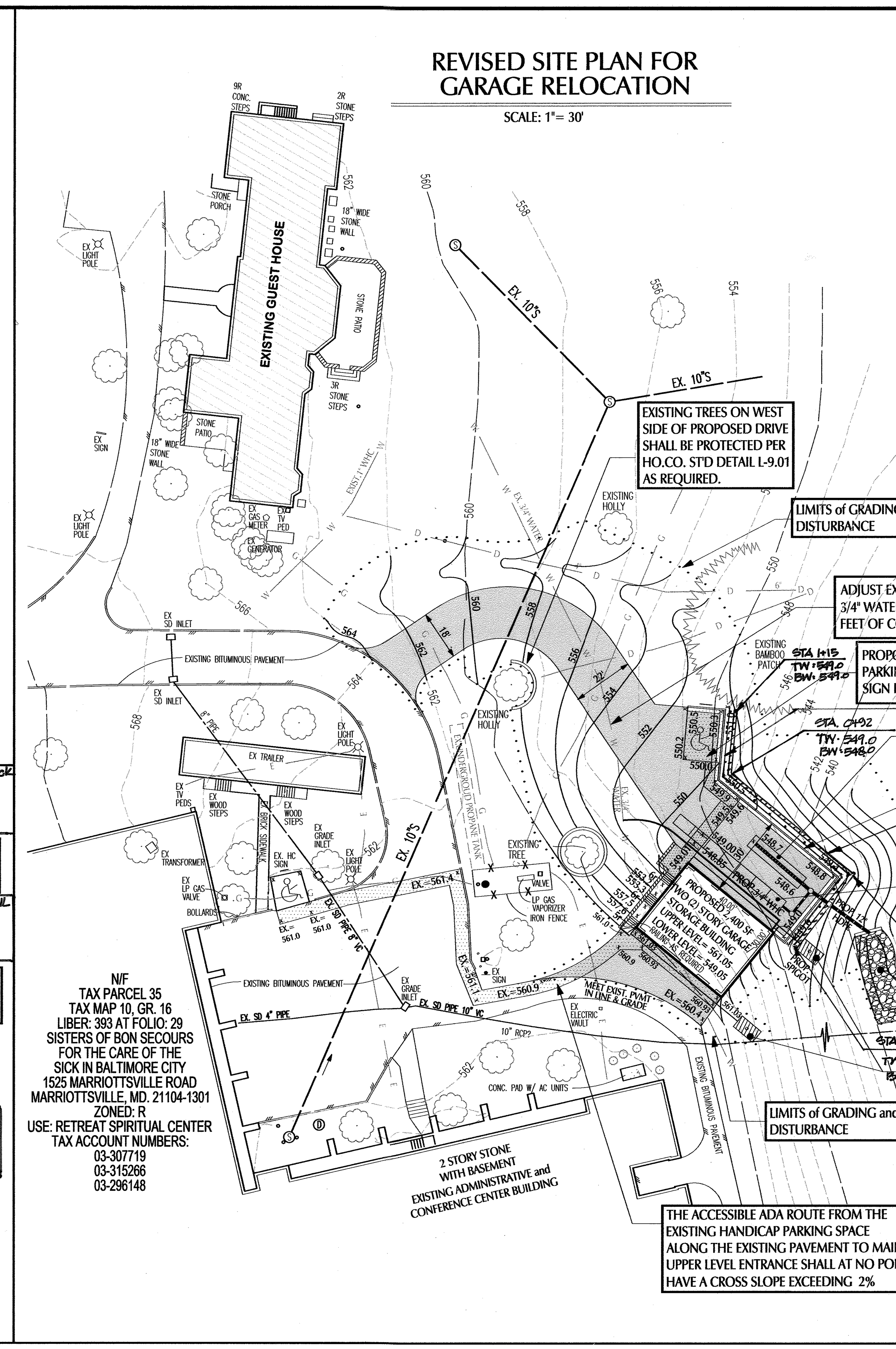
REVISIONS:	
01/23/08	ADD NEW 1" HDPE WATER SUPPLY TO THE NEW POOL, ABANDON THE EXISTING 1" WATER TO THE ABANDONED (AND NOW REMOVED POOL), TO ADD A NEW WATER VAULT NEAR THE EXISTING PUMP HOUSE, AND RE-DIRECT THE FOUR (4) WELL WATER MAINS INTO THE NEW WATER VAULT, AND TO ADD A 10' BY 70' COVERED DECK ALONG THE EAST SIDE OF THE NEW POOL.
10-23-09	REVISED INDEX TO ADD 2 NEW SHEETS.
4-26-10	SEE 'PURPOSE STATEMENT' DATED 4-26-10

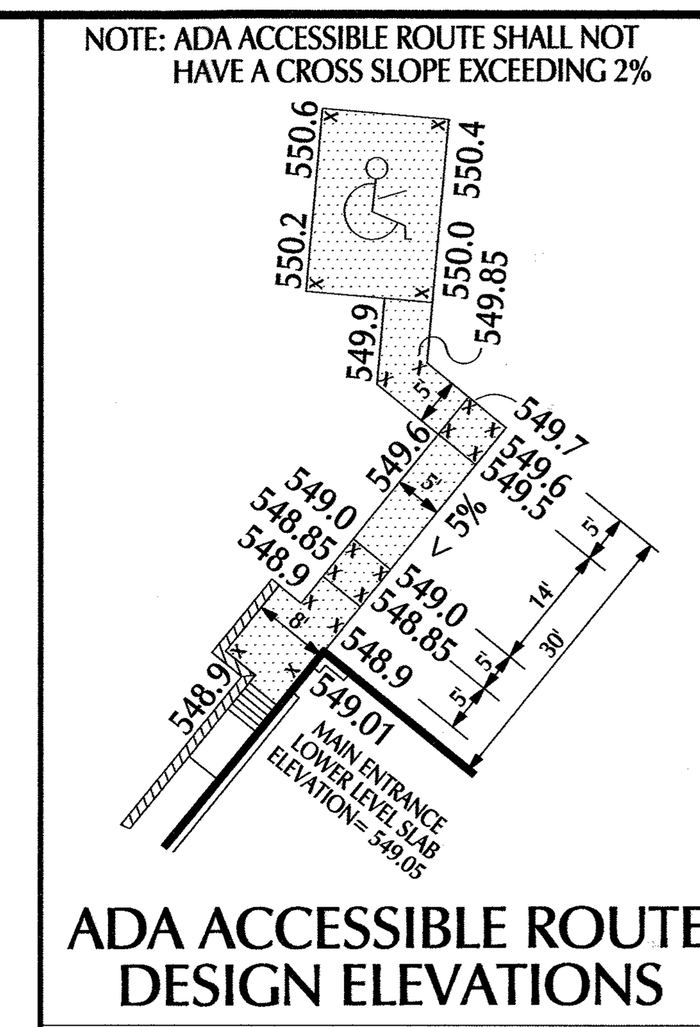
JOB NUMBER:	06358G	DESIGNED BY:	CX
SCALE:	AS SHOWN	DRAWN BY:	CX
DATE:	03/19/07	APPROVED BY:	RWS

15 OF 21 SHEET

SDP 87-252 Drawing name: R:\Land Projects\007042 - Bon Secour\dwg\SP-015_REDLINE.dwg Plotted: Mar 11, 2008 - 9:54am

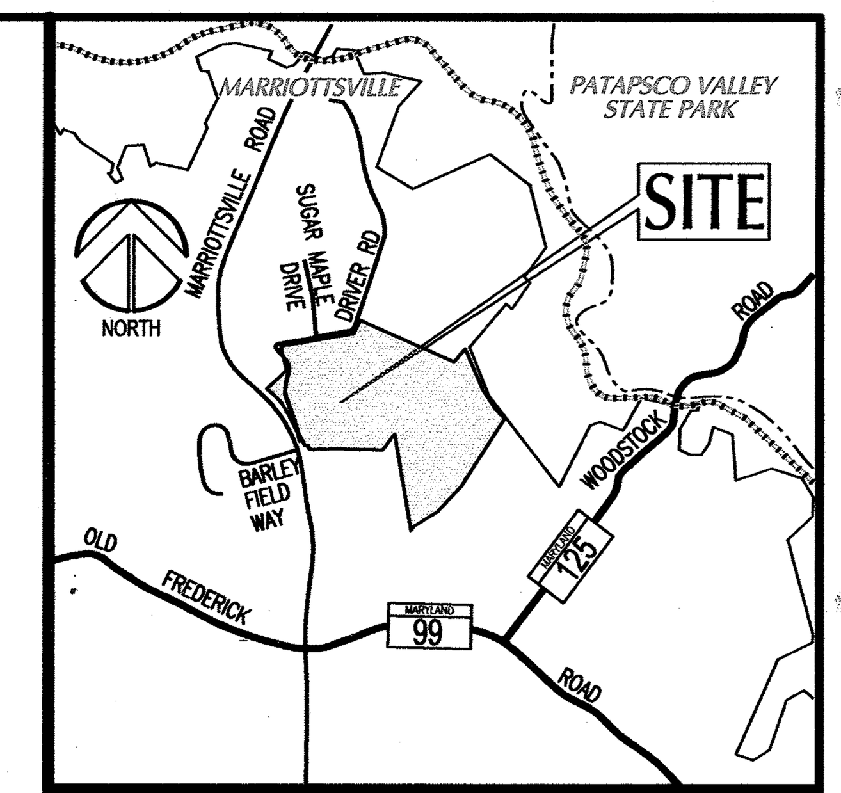






ADA ACCESSIBLE ROUTE DESIGN ELEVATIONS

SCALE: 1"= 20'

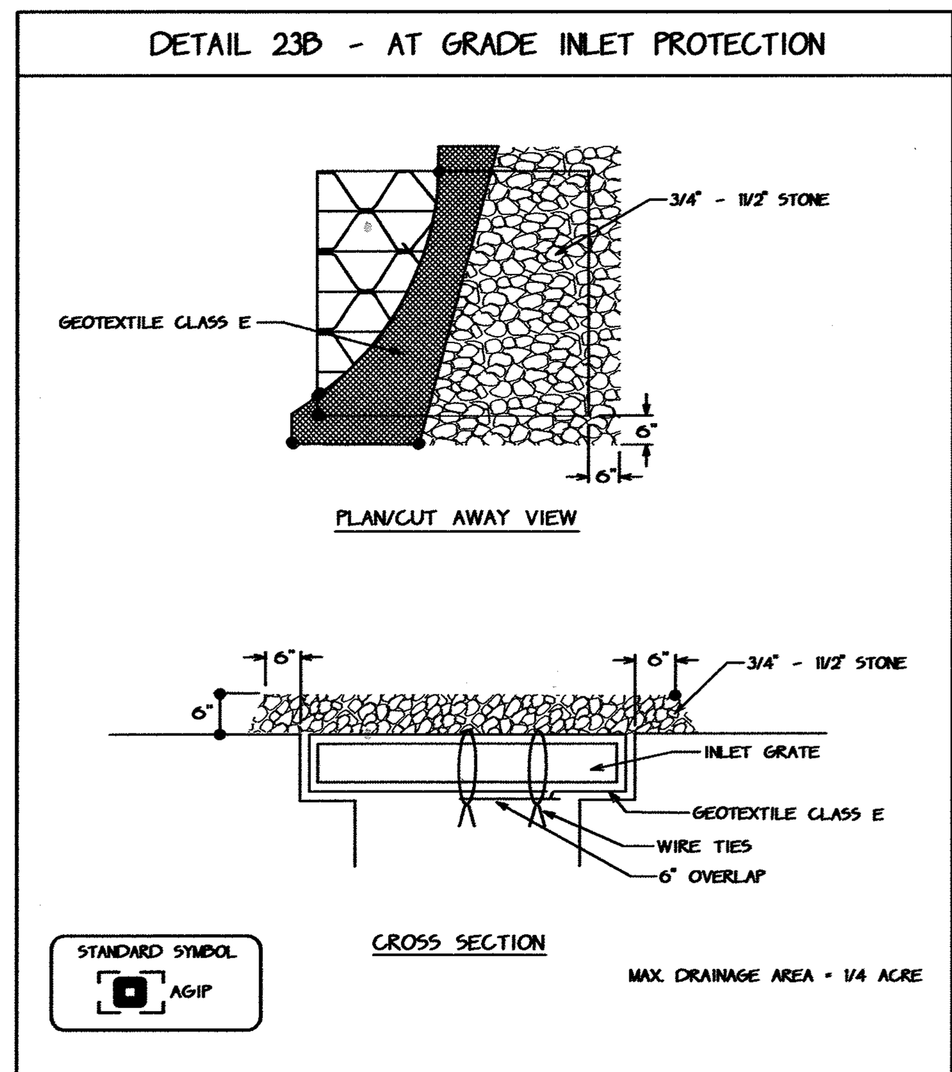


VICINITY MAP
NOT TO SCALE
TAX MAP: 10 ~ GRID: 16
HOWARD COUNTY, MARYLAND

LEGEND

EXISTING CONTOURS	
PROPOSED CONTOURS	
EXISTING TREELINE	
PROPOSED TREELINE	
LIMIT OF DISTURBANCE	
PROPOSED CONTOUR	448
TEMP. STABILIZED CONST. ENTRANCE	
SUPER SILT FENCE	SSF — SSF — SSF
DRAINAGE DIVIDE	

DETAIL 23B - AT GRADE INLET PROTECTION



CONSTRUCTION SPECIFICATIONS

1. LIFT GRATE AND WRAP WITH GEOTEXTILE CLASS E TO COMPLETELY COVER ALL OPENINGS, THEN SET GRATE BACK IN PLACE.
2. PLACE 3/4" TO 1 1/2" STONE, 4"-6" THICK ON THE GRATE TO SECURE THE FABRIC AND PROVIDE ADDITIONAL FILTRATION.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE E - 16 - 5A	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

⚠ ATTENTION:

THIS PLAN SHALL BE USED ONLY FOR ITS INTENDED PURPOSE AS NOTED IN THE TITLE BLOCK.

48 Hours
Before You Dig Call
"MISS UTILITY"
Service Protection Center
MEMBER ONE CALL SYSTEMS INTERNATIONAL
CALL TOLL FREE
1-800-257-7777
www.missutility.net/itics

NOTE: EXISTING UTILITY INFORMATION SHOWN HEREON IS BASED UPON INFORMATION WHICH WAS AVAILABLE AT TIME OF THE BASE PLAN PREPARATION. DUE TO CONFIDENTIAL INFORMATION DISCLOSURE RESTRICTIONS, JOYCE ENGINEERING CORP. SHALL NOT BE LIABLE OR RESPONSIBLE FOR THE COMPLETENESS OR ACCURACY OF THE INFORMATION SHOWN. IT SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY TO DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITY MAINS, LINES AND/OR SERVICES THAT MAY OR COULD BE AFFECTED BY THE ANTICIPATED CONSTRUCTION SHOWN HEREON. THE CONTRACTOR SHALL CONTACT "MISS UTILITY" PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY TO DETERMINE THE LOCATION OF ANY RECORD UTILITY MAINS, LINES, AND/OR SERVICES AND PERFORM TEST PIT EXCAVATIONS BY HAND AS REQUIRED.

⚠ ELECTRONIC FILE DISCLAIMER: THE INFORMATION CONTAINED HEREON WAS PREPARED AS AN ELECTRONIC "CAD" FILE BY JOYCE ENGINEERING CORPORATION (JEC). JEC HAS TAKEN REASONABLE STEPS TO ASSURE THE ACCURACY OF THE INFORMATION CONTAINED IN THE ELECTRONIC FILE, HOWEVER, JEC CANNOT GUARANTEE THAT CHANGES AND/OR ALTERATIONS HAVE NOT BEEN MADE TO THE FILE. NO RELIANCE ON THE INFORMATION CONTAINED HERON SHALL BE MADE UNLESS THE INFORMATION IS FIRST COMPARED TO THE SIGNED ORIGINAL DOCUMENT. JEC SHALL ASSUME NO LIABILITY OR RESPONSIBILITY, AND DOES NOT GRANT ANY WARRANTY, EXPRESSED OR IMPLIED, CONCERNING THE ACCURACY OF ANY INFORMATION THAT HAS BEEN TRANSMITTED OR RECEIVED VIA COMPUTER OR OTHER ELECTRONIC MEANS. IF VERIFICATION OF THE INFORMATION CONTAINED HEREON, OR IF THE ELECTRONIC FILE USED TO CREATE THIS DOCUMENT IS REQUIRED, PLEASE CONTACT JEC DIRECTLY. THIS DOCUMENT CONTAINS PROPRIETARY INFORMATION AND SHALL NOT BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM INCLUDING ELECTRONIC OR PHOTO REPRODUCTION WITHOUT THE EXPRESS WRITTEN PERMISSION OF JEC. BY ACCEPTANCE OF THIS DOCUMENT, THE RECIPIENT ACKNOWLEDGES ACCEPTANCE OF THE ABOVE TERMS AND CONDITIONS.

OWNER/DEVELOPER/APPLCANT:

SISTERS OF BON-SECOURS, USA
C/O BOB HUBBLE
1525 MARRIOTTSVILLE ROAD
MARRIOTTSVILLE, MARYLAND 21104
PHONE: 410-442-3215

CONTRACTOR:

WHITING-TURNER CONTRACTING
C/O LARRY GOSS
1525 MARRIOTTSVILLE ROAD
MARRIOTTSVILLE, MARYLAND 21104
PHONE: 410-821-8585

UTILITY LEGEND

PROPANE	— G — G — G
ELECTRIC	— E — E — E
DRAIN	— D — D — D
WHC	— W — W — W

NOTE: EXISTING UNDERGROUND UTILITIES LOCATIONS ARE PER 'ACCURATE INFRASTRUCTURE DATA, INC.' ADJUSTMENTS MAY BE REQUIRED HORIZONTALLY AND/OR VERTICALLY IN ACCORDANCE WITH THE GUIDELINES AND POLICY OF THE ASSOCIATED UTILITY SOURCE. SEE LEGEND ABOVE.

SEQUENCE OF CONSTRUCTION:

1.	OBTAIN FINE GRADING/BUILDING PERMIT	ISSUANCE
2.	NOTIFY HOWARD COUNTY BUREAU OF INSPECTIONS AND PERMITS (410-313-1880) AT LEAST 24 HOURS PRIOR TO THE START OF ANY CONSTRUCTION.	1 DAY
3.	WITH WRITTEN PERMISSION BY THE INSPECTOR, INSTALL ALL PERIMETER SEDIMENT CONTROL DEVICES AS INDICATED INCUDING S.C.E. SEE NOTE BY PLAN VIEW WHICH MAY REQUIRE DOULBE ROW OF SF AS DIRECTED BY INSPECTOR.	1 DAY
4.	WITH WRITTEN PERMISSION BY THE INSPECTOR, BEGIN GRADING OPERATIONS. RELOCATE HORIZONTALLY and/or VERTICALLY ANY and ALL EXISTING UTILITY SERVICE AS REQUIRED. NOTE, PERMANENTLY VEGETATIVELY STABILIZE ALL DISTURBED AREAS WITHIN 7 DAYS OF GRADING ACTIVITY.	2 WEEKS
5.	BEGIN BUILDING CONSTRUCTION. & RETAINING WALL CONSTRUCTION	26 WEEKS
6.	INSTALL PRIVATE NEW 3'4" WHC and DRYWELLS, STORM-TECH TRENCH AND ASSOCIATED STORM DRAIN DRAIN CONVEYANCE SYSTEM AS INDICATED. PROVIDE INLET PROTECTION DEVICES AS SHOWN.	1 WEEK
7.	PAVE NEW DRIVEWAY AS INDICATED.	1 DAY
10.	PERMANENTLY and VEGETATIVELY STABILIZE ALL DISTURBED AREAS. WITH WRITTEN PERMISSION OF THE INSPECTOR, REMOVE ALL SEDIMENT CONTROL DEVICES.	WRITTEN PERMISSION

NOTE: DURING GRADING AND AFTER EACH RAINFALL, THE CONTRACTOR SHALL INSPECT AND PROVIDE ALL NECESSARY MAINTENANCE ON THE SEDIMENT & EROSION CONTROL FACILITIES SHOWN HEREON.

FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, TEMPORARY OR PERMANENT STABILIZATION SHALL BE COMPLETED WITHIN:

A. 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, SWALES, DITCH PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1.
B. 14 CALENDAR DAYS FOR ALL OTHER DISTURBED AREAS.
C. ALL SPOIL / BORROW MATERIAL MUST BE IMPORTED OR DISPOSED OF AT A SITE WITH AN APPROVED AN ACTIVE SEDIMENT, EROSION CONTROL PLAN.

THIS PLAN SHALL BE USED FOR IT'S INTENDED PURPOSE AS STATED IN THE TITLE BLOCK. FOR BUILDING, AND ANY ADDITIONAL UTILITY INFORMATION, SEE THE APPROPRIATE PLAN FROM ACRHITECT.

Reviewed for Howard SCD and meets Technical Requirements
USDA - Natural Resources Conservation Service — Date

This development plan is approved for the soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT
Howard SCD — Date 11/12/09

ENGINEERS' CERTIFICATION

"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Signature of Engineer (print name below signature) — Date 27 OCT. 2009
Joyce, P.E. MATTHEW E. JOYCE

DEVELOPER'S CERTIFICATION

"I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at the Department of Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Sr. Alice M. Talone — 10/29/09
Signature of Developer (print name below signature) — Date
Sisters of Bon Secours, USA SR. ALICE TALONE

'PURPOSE STATEMENT' (4-26-10)

THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO: ADD A KEYSTONE RETAINING WALL ALONG THE REAR DRIVE ISLE AND LOWER STORM DRAIN OUTFALL FROM STRUCTURE D-5 TO D-6 TO ACCOMODATE SAME. ONE NEW SHEET HAS BEEN ADDED - 18 OF 18

'PURPOSE STATEMENT'

THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO RELOCATE THE PREVIOUSLY APPROVED GARAGE LOCATION (TO THE NORTH ALONG THE EXISTING DRIVEWAY). ADD THE GARAGE ELEVATIONS. PROVIDE DRYWELLS AT DOWN-SPOUT LOCATIONS FOR GARAGE FOR WATER QUALITY PURPOSES. ADD NEW SHEETS (16 & 17 of 17).

APPROVED: FOR PRIVATE WATER AND SEWER SYSTEM HOWARD COUNTY HEALTH DEPARTMENT

B Nifon for Peter Beilenson — 11/24/2009
COUNTY HEALTH OFFICER — DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION — DATE 11/13/09

FOR KS — 11/25/09
CHIEF, DIVISION OF LAND DEVELOPMENT — DATE

11/30/09
DIRECTOR, [redacted] — DATE

DATE	NO.	REVISION DESCRIPTION
4-26-10	1	REVISED TO ADD NEW KEYSTONE WALL & ONE NEW SHEET FOR PROFILE, DETAILS & SPECIFICATIONS SHEET 18 OF 18

PROJECT

SISTERS OF BON-SECOURS, USA
TAX PARCEL 35
LIBER: 393 AT FOLIO: 29

OWNER/DEVELOPER:
SISTERS OF BON-SECOURS, USA
1525 MARRIOTTSVILLE ROAD
MARRIOTTSVILLE, MARYLAND 21104

JOYCE ENGINEERING CORPORATION
CIVIL ENGINEERING LAND SURVEYING LAND PLANNING CONSTRUCTION MANAGEMENT
10766 BALTIMORE AVENUE - BELTSVILLE, MARYLAND 20705
TEL: (301) 595-4353 FAX: (301) 595-4650 WEB: www.joyceeng.com

MD. STATE PLANE
NORTH
PLAN SCALE: 1"=30'

ADDRESS CHART

LOT/PARCEL	STREET ADDRESS
35	1525 MARRIOTTSVILLE ROAD, MARRIOTTSVILLE, MD. 21104

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

29 OCT. 2009
Signature
27729 — July 15, 2010
License No: — Exp Date

PERMIT INFORMATION CHART

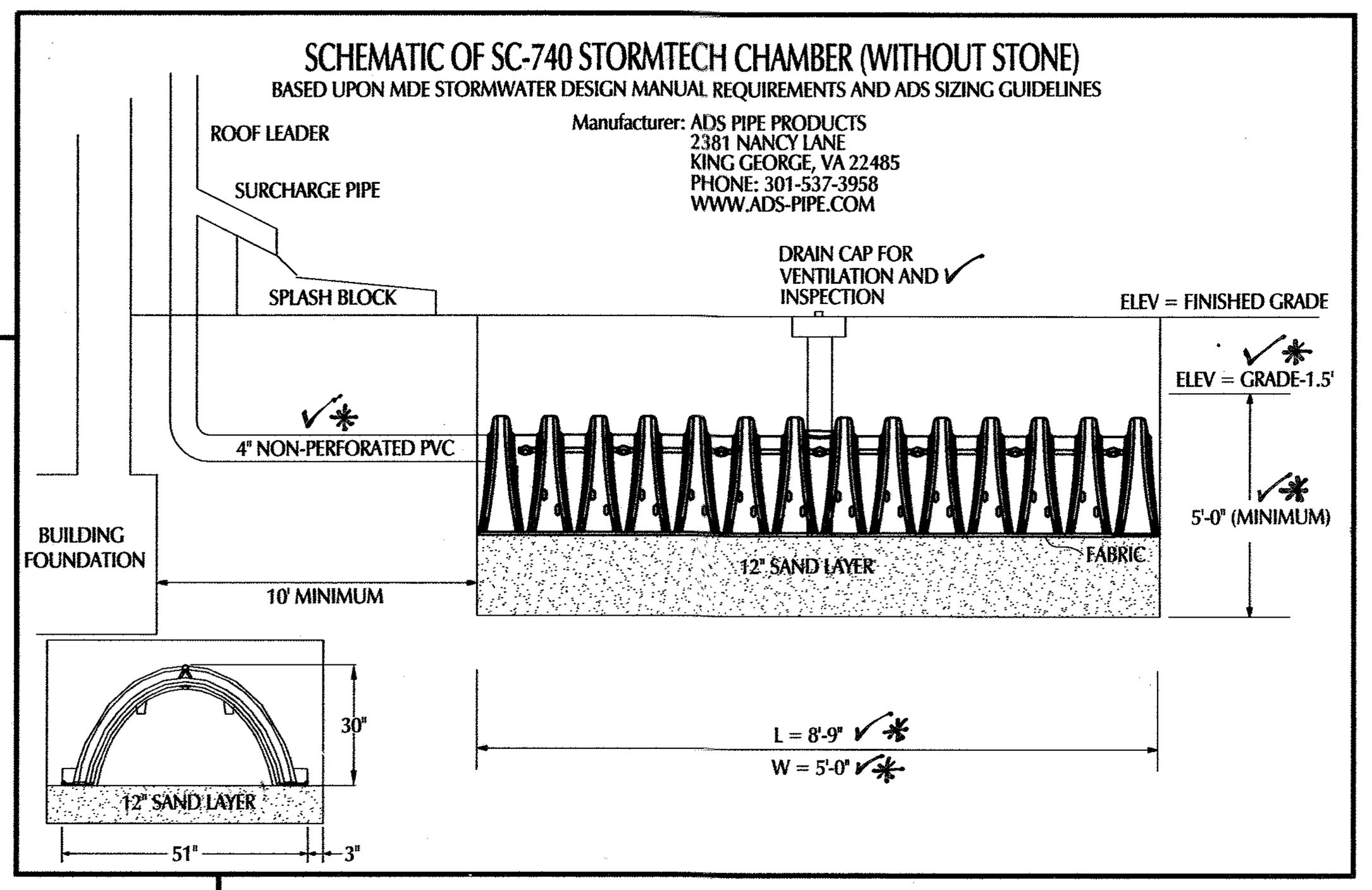
SUBDIVISION SISTERS OF BON-SECOURS, USA			SECTION/AREA N/A		LOT/PARCEL # 35
PLAT# OR L/F 393/29	BLOCK # 10,11,16 & 17	ZONE RC-DEO	TAX/ZONE MAP 10	ELECT. DISTRICT 3RD	CENSUS TRACT 6030
WATER CODE N/A - WELL			SEWER CODE N/A - SEPTIC		

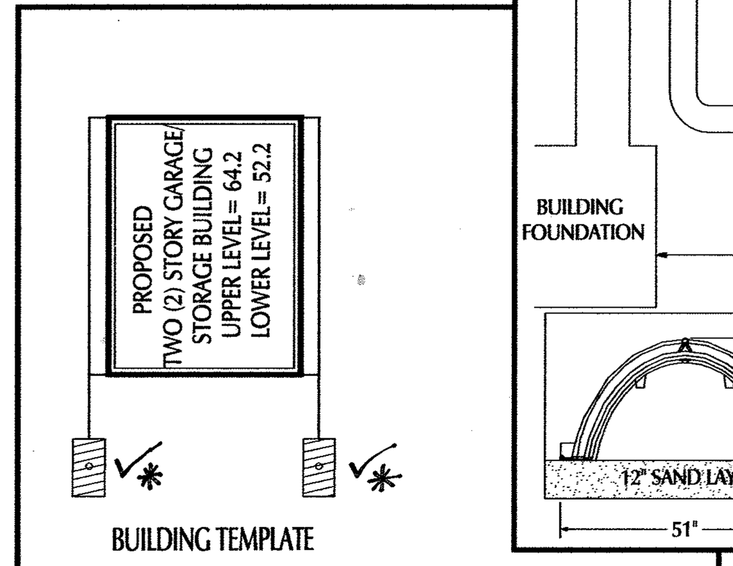
TITLE

REVISED SITE PLAN FOR GARAGE RELOCATION and SEDIMENT & EROSION CONTROL PLAN

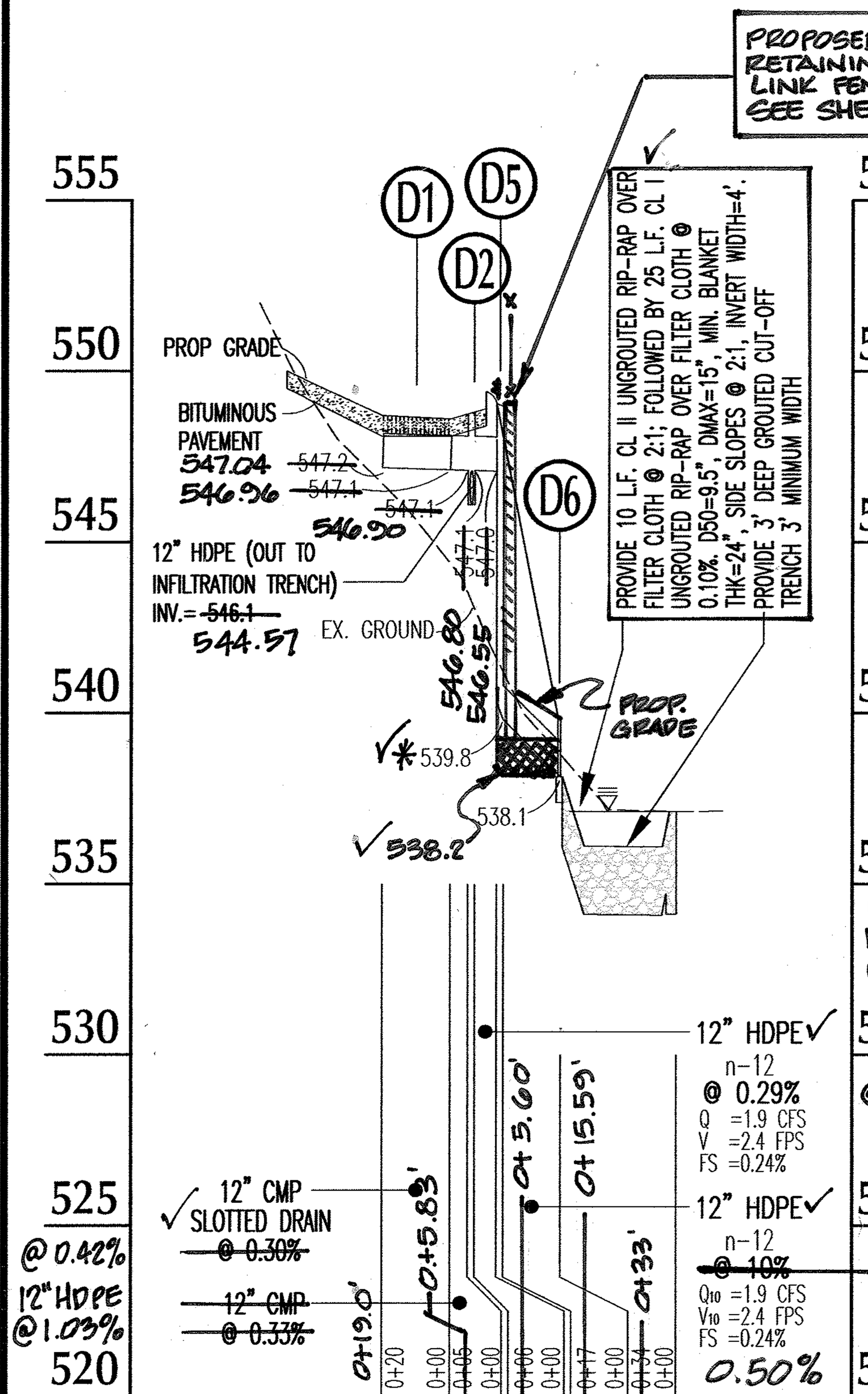
DES BY WAJ	SCALE 1" = 30'	PROJ. NO. DSP-87-252
DRN BY HAL	DATE JANUARY, 2009	16 OF 21
CHK BY JEC	APPROVED WAJ	

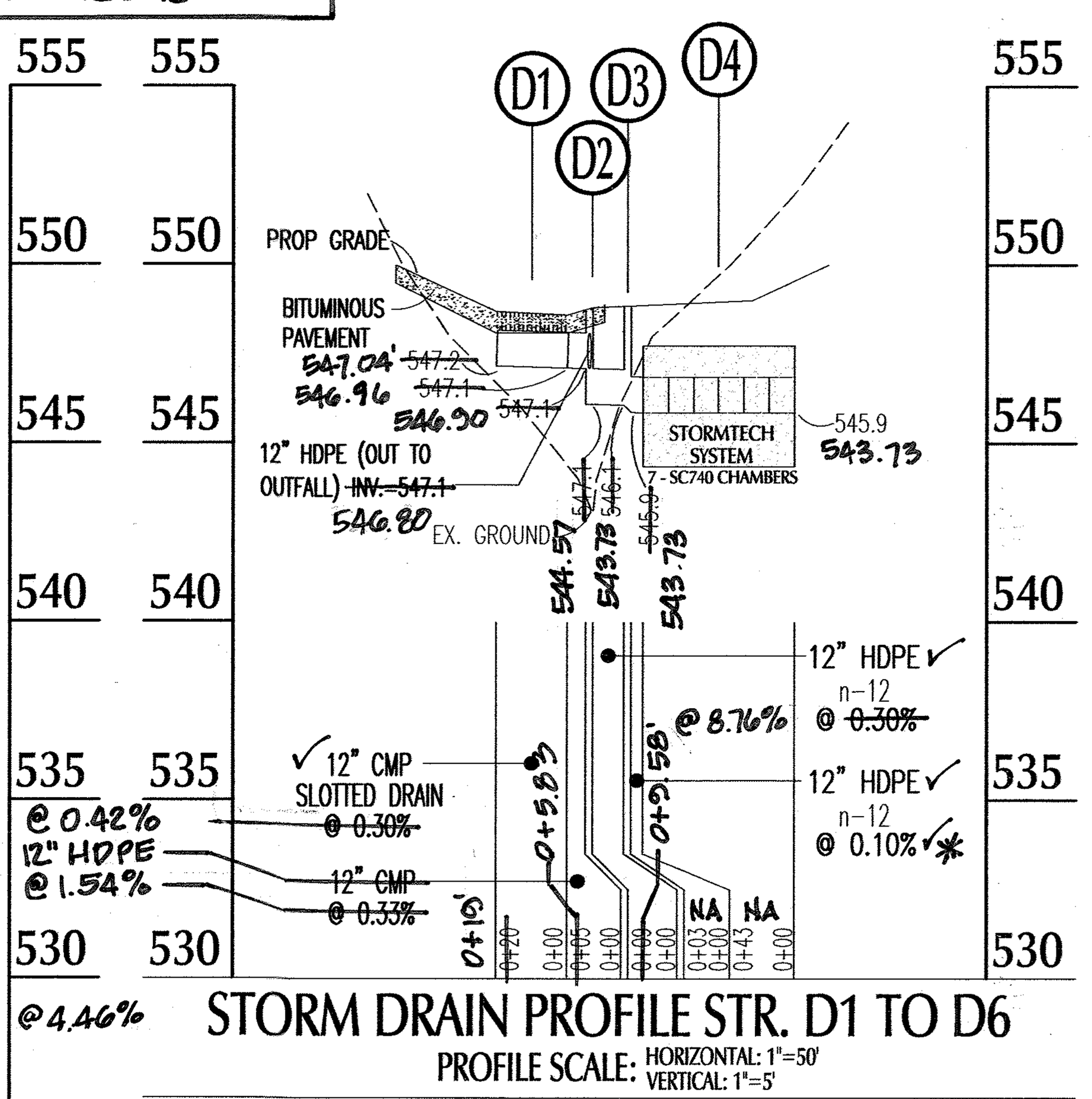
Drawing name: R:\Land Projects\007042 - Bon Secour\dwg\SP-016_Site Options - MNL.dwg
Plotted: Oct 29, 2009 - 8:56am





CONTRACTOR TO CONSTRUCT SC-740 STORMTECH CHAMBER PER DETAIL THIS SHEET. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE FOR ALL ROOF DRAINS TO CHAMBER SHOWN THUS:





STORM DRAIN PROFILE STR. D1 TO D6

PROFILE SCALE: HORIZONTAL: 1"=50' VERTICAL: 1"=5'

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED UNDERGROUND FACILITIES (I-1)

1. THE UNDERGROUND STORMWATER MANAGEMENT FACILITY IS PRIVATELY OWNED AND IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO PERIODICALLY INSPECT AND CLEAN THE FACILITY TO MAINTAIN ITS OPERATION AND FUNCTION.

2. THE UNDERGROUND STORMWATER MANAGEMENT FACILITY SHALL BE INSPECTED YEARLY AT A MINIMUM AND AFTER ESPECIALLY SEVERE STORM EVENTS.

3. WHEN SEDIMENT ACCUMULATION OF MORE THAN 2" IS OBSERVED OR ANY DEBRIS THAT MIGHT OBSTRUCT THE OUTFALL IS OBSERVED, THE FACILITY SHALL BE CLEANED.

4. THE FACILITY SHALL BE CLEANED IMMEDIATELY AFTER PETROLEUM SPILLS. THE OWNER SHALL CONTACT THE APPROPRIATE REGULATORY AGENCIES NOTIFYING THEM OF THE SPILL AND CLEANUP OPERATION.

5. THE SEDIMENT AND DEBRIS SHALL BE REMOVED FROM THE UNDERGROUND STORMWATER MANAGEMENT FACILITY BY VACUUM TRUCK OR OTHER MANUAL MEANS. THE OWNER SHALL FOLLOW PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIAL AND LIQUID.

6. THE INLET AND OUTLET PIPES SHALL BE CHECKED FOR ANY OBSTRUCTIONS AT LEAST ONCE EVERY SIX (6) MONTHS. IF OBSTRUCTIONS ARE FOUND, THE OWNER SHALL HAVE THEM REMOVED AND PROPERLY DISPOSED OF.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMWATER INFILTRATION TRENCHES (I-1, I-2, & I-3)

1. THE MONITORING WELLS AND STRUCTURES SHALL BE INSPECTED ON A QUARTERLY BASIS AND AFTER EVERY LARGE STORM EVENT.

2. WATER LEVELS AND SEDIMENT BUILD UP IN THE MONITORING WELLS SHALL BE RECORDED OVER A PERIOD OF SEVERAL DAYS TO ENSURE TRENCH DRAINAGE.

3. A LOGBOOK SHALL BE MAINTAINED TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS.

4. WHEN THE FACILITY BECOMES CLOGGED SO THAT IT DOES NOT DRAIN DOWN WITHIN THE 72 HOUR TIME PERIOD, CORRECTIVE ACTION SHALL BE TAKEN.

5. THE MAINTENANCE LOGBOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO ENSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.

6. ONCE THE PERFORMANCE CHARACTERISTICS OF THE INFILTRATION FACILITY HAVE BEEN VERIFIED, THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS UNLESS THE PERFORMANCE DATA INDICATES THAT A MORE FREQUENT SCHEDULE IS REQUIRED.

STORMTECH DOWNSPOUT SPECIFICATION AND NOTES

1.0 GENERAL

1.1 STORMTECH CHAMBERS ARE DESIGNED TO CONTROL STORMWATER RUNOFF. AS A SUBSURFACE RETENTION SYSTEM, STORMTECH CHAMBERS RETAIN AND ALLOW EFFECTIVE INFILTRATION OF WATER INTO THE SOIL. AS A SUBSURFACE DETENTION SYSTEM, STORMTECH CHAMBERS DETAIN AND ALLOW FOR THE METERED FLOW OF WATER TO AN OUTFALL.

2.0 CHAMBER PARAMETERS

2.1 THE CHAMBER SHALL BE INJECTION MOLDED OF POLYPROPYLENE RESIN TO BE INHERENTLY RESISTANT TO ENVIRONMENTAL STRESS CRACKING (ESCR), AND TO MAINTAIN ADEQUATE STIFFNESS THROUGH HIGHER TEMPERATURES EXPERIENCED DURING INSTALLATION AND SERVICE.

2.2 THE NOMINAL CHAMBER DIMENSIONS OF THE STORMTECH SC-740 SHALL BE 30.0 INCHES TALL, 51.0 INCHES WIDE AND 90.7 INCHES LONG. THE NOMINAL CHAMBER DIMENSIONS OF THE STORMTECH SC-310 SHALL BE 16.0 INCHES TALL, 34.0 INCHES WIDE AND 90.7 INCHES LONG. THE INSTALLED LENGTH OF A JOINED CHAMBER SHALL BE 85.4 INCHES.

2.3 THE CHAMBER SHALL HAVE A CONTINUOUSLY CURVED SECTION PROFILE.

2.4 THE CHAMBER SHALL BE OPEN-BOTTOMED.

2.5 THE CHAMBER SHALL INCORPORATE AN OVERLAPPING CORRUGATION JOINT SYSTEM TO ALLOW CHAMBER ROWS OF ALMOST ANY LENGTH TO BE CREATED. THE OVERLAPPING CORRUGATION JOINT SYSTEM SHALL BE EFFECTIVE WHILE ALLOWING A CHAMBER TO BE TRIMMED TO SHORTEN ITS OVERALL LENGTH.

2.6 THE NOMINAL STORAGE VOLUME OF A JOINED STORMTECH SC-740 CHAMBER SHALL BE 74.9 CUBIC FEET PER CHAMBER WHEN INSTALLED PER STORMTECH'S TYPICAL DETAILS (INCLUDES THE VOLUME OF CRUSHED ANGULAR STONE WITH AN ASSUMED 40% POROSITY). THIS EQUATES TO 2.2 CUBIC FEET OF STORAGE/SQUARE FOOT OF BED. THE NOMINAL STORAGE VOLUME OF AN INSTALLED STORMTECH SC-310 CHAMBER SHALL BE 31.0 CUBIC FEET PER CHAMBER WHEN INSTALLED PER STORMTECH'S TYPICAL DETAILS (INCLUDES THE VOLUME OF CRUSHED ANGULAR STONE WITH AN ASSUMED 40% POROSITY). THIS EQUATES TO 1.3 CUBIC FEET OF STORAGE/SQUARE FOOT OF BED.

2.7 THE CHAMBER SHALL HAVE FORTY-EIGHT ORIFICES PENETRATING THE SIDEWALLS TO ALLOW FOR LATERAL CONVEYANCE OF WATER.

2.8 THE CHAMBER SHALL HAVE TWO ORIFICES NEAR ITS TOP TO ALLOW FOR EQUALIZATION OF AIR PRESSURE BETWEEN ITS INTERIOR AND EXTERIOR.

2.9 THE CHAMBER SHALL HAVE BOTH OF ITS ENDS OPEN TO ALLOW FOR UNIMPEDED HYDRAULIC FLOWS AND VISUAL INSPECTIONS DOWN A ROW'S ENTIRE LENGTH.

2.10 THE CHAMBER SHALL HAVE 14 CORRUGATIONS.

2.11 THE CHAMBER SHALL HAVE A CIRCULAR, INDENTED, FLAT SURFACE ON THE TOP OF THE CHAMBER FOR AN OPTIONAL 4-INCH INSPECTION PORT OR CLEAN-OUT.

2.12 THE CHAMBER SHALL BE ANALYZED AND DESIGNED USING AASHTO METHODS FOR THERMOPLASTIC CULVERTS CONTAINED IN THE LRFD BRIDGE DESIGN SPECIFICATIONS, 2ND EDITION, INCLUDING INTERIM SPECIFICATIONS THROUGH 2001. DESIGN LIVE LOAD SHALL BE THE AASHTO HS20 TRUCK. DESIGN SHALL CONSIDER EARTH AND LIVE LOADS AS APPROPRIATE FOR THE MINIMUM TO MAXIMUM SPECIFIED DEPTH OF FILL.

2.13 THE CHAMBER SHALL BE MANUFACTURED IN AN ISO 9001:2000 CERTIFIED FACILITY.

3.0 END CAP PARAMETERS

3.1 THE END CAP SHALL BE INJECTION MOLDED OF POLYPROPYLENE RESIN TO BE INHERENTLY RESISTANT TO ENVIRONMENTAL STRESS CRACKING, AND TO MAINTAIN ADEQUATE STIFFNESS THROUGH HIGHER TEMPERATURES EXPERIENCED DURING INSTALLATION AND SERVICE.

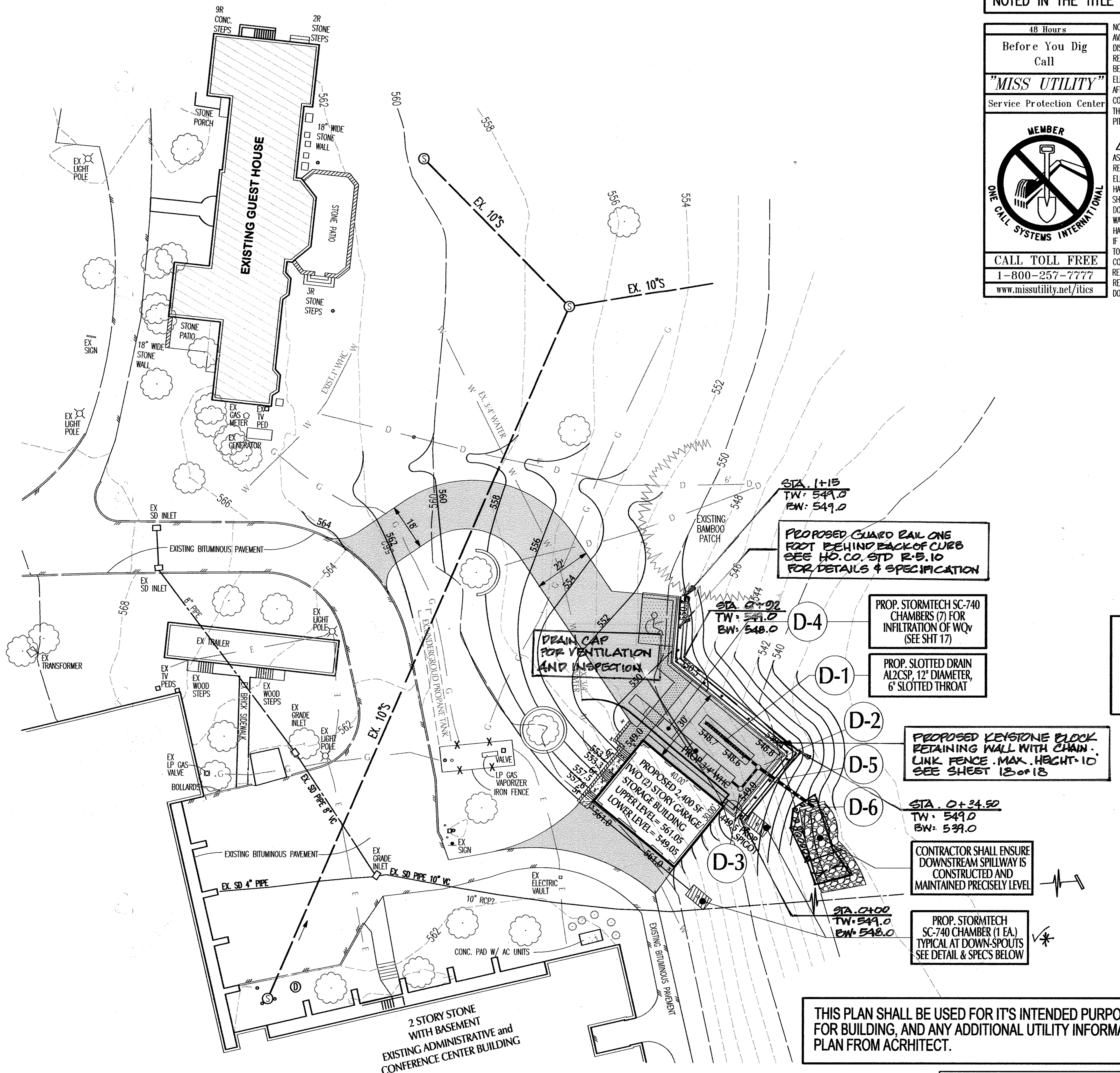
3.2 THE END CAP SHALL BE DESIGNED TO FIT INTO ANY CORRUGATION OF A CHAMBER, WHICH ALLOWS: CAPPING A CHAMBER THAT HAS ITS LENGTH TRIMMED; SEGMENTING ROWS INTO STORAGE BASINS OF VARIOUS LENGTHS.

3.3 THE END CAP SHALL HAVE SAW GUIDES TO ALLOW EASY CUTTING FOR VARIOUS DIAMETERS OF PIPE THAT MAY BE USED TO INLET THE SYSTEM.

3.4 THE END CAP SHALL HAVE EXCESS STRUCTURAL ADEQUACIES TO ALLOW CUTTING AN ORIFICE OF ANY SIZE AT ANY INVERT ELEVATION.

3.5 THE PRIMARY FACE OF AN END CAP SHALL BE CURVED OUTWARD TO RESIST HORIZONTAL LOADS GENERATED NEAR THE EDGES OF BEDS.

3.6 THE END CAP SHALL BE MANUFACTURED IN AN ISO 9001:2000 CERTIFIED FACILITY.



⚠ ATTENTION:

THIS PLAN SHALL BE USED ONLY FOR ITS INTENDED PURPOSE AS NOTED IN THE TITLE BLOCK.

48 Hours
Before You Dig Call
"MISS UTILITY"
Service Protection Center
MEMBER ONE CALL SYSTEMS INTERNATIONAL
CALL TOLL FREE
1-800-257-7777
www.missutility.net/itics

NOTE: EXISTING UTILITY INFORMATION SHOWN HEREON IS BASED UPON INFORMATION WHICH WAS AVAILABLE AT TIME OF THE BASE PLAN PREPARATION. DUE TO CONFIDENTIAL INFORMATION DISCLOSURE RESTRICTIONS, JOYCE ENGINEERING CORP. SHALL NOT BE LIABLE OR RESPONSIBLE FOR THE COMPLETENESS OR ACCURACY OF THE INFORMATION SHOWN. IT SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY TO DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITY MAINS, LINES AND/OR SERVICES THAT MAY OR COULD BE AFFECTED BY THE ANTICIPATED CONSTRUCTION SHOWN HEREON. THE CONTRACTOR SHALL CONTACT "MISS UTILITY" PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY TO DETERMINE THE LOCATION OF ANY RECORD UTILITY MAINS, LINES, AND/OR SERVICES AND PERFORM TEST PIT EXCAVATIONS BY HAND AS REQUIRED.

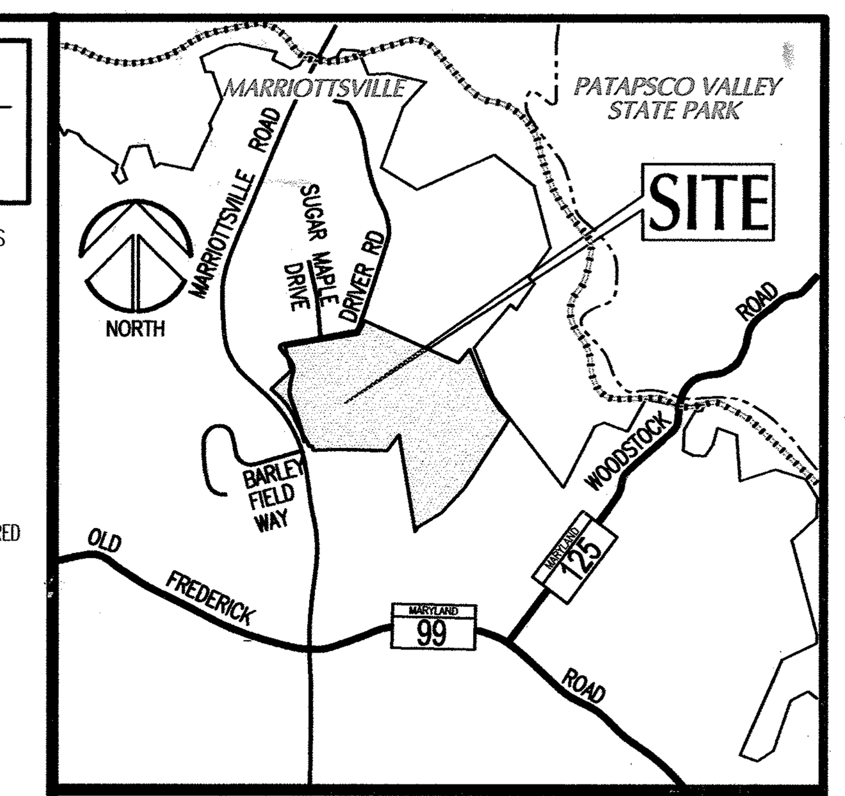
⚠ ELECTRONIC FILE DISCLAIMER: THE INFORMATION CONTAINED HEREON WAS PREPARED AS AN ELECTRONIC "CAD" FILE BY JOYCE ENGINEERING CORPORATION (JEC). JEC HAS TAKEN REASONABLE STEPS TO ASSURE THE ACCURACY OF THE INFORMATION CONTAINED IN THE ELECTRONIC FILE, HOWEVER, JEC CANNOT GUARANTEE THAT CHANGES AND/OR ALTERATIONS HAVE NOT BEEN MADE TO THE FILE. NO RELIANCE ON THE INFORMATION CONTAINED HERON SHALL BE MADE UNLESS THE INFORMATION IS FIRST COMPARED TO THE SIGNED ORIGINAL DOCUMENT. JEC SHALL ASSUME NO LIABILITY OR RESPONSIBILITY, AND DOES NOT GRANT ANY WARRANTY, EXPRESSED OR IMPLIED, CONCERNING THE ACCURACY OF ANY INFORMATION THAT HAS BEEN TRANSMITTED OR RECEIVED VIA COMPUTER OR OTHER ELECTRONIC MEANS. IF VERIFICATION OF THE INFORMATION CONTAINED HEREON, OR IF THE ELECTRONIC FILE USED TO CREATE THIS DOCUMENT IS REQUIRED, PLEASE CONTACT JEC DIRECTLY. THIS DOCUMENT CONTAINS PROPRIETARY INFORMATION AND SHALL NOT BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM INCLUDING ELECTRONIC OR PHOTO REPRODUCTION WITHOUT THE EXPRESS WRITTEN PERMISSION OF JEC. BY ACCEPTANCE OF THIS DOCUMENT, THE RECIPIENT ACKNOWLEDGES ACCEPTANCE OF THE ABOVE TERMS AND CONDITIONS.

OWNER/DEVELOPER/APPLCANT:

SISTERS OF BON-SECOURS, USA
C/O BOB HUBBLE
1525 MARRIOTTSVILLE ROAD
MARRIOTTSVILLE, MARYLAND 21104
PHONE: 410-442-3215

CONTRACTOR:

WHITING-TURNER CONTRACTING
C/O LARRY GOSS
1525 MARRIOTTSVILLE ROAD
MARRIOTTSVILLE, MARYLAND 21104
PHONE: 410-821-8585



VICINITY MAP
NOT TO SCALE
TAX MAP: 10 ~ GRID: 16
HOWARD COUNTY, MARYLAND

LEGEND	
EXISTING CONTOURS	
PROPOSED CONTOURS	
EXISTING TREELINE	
PROPOSED TREELINE	
LIMIT OF DISTURBANCE	
PROPOSED CONTOUR	448
TEMP. STABILIZED CONST. ENTRANCE	
SUPER SILT FENCE	SSF — SSF

UTILITY LEGEND	
PROPANE	G — G — G
ELECTRIC	E — E — E
DRAIN	D — D — D
WHC	W — W — W

APPROVED: FOR PRIVATE WATER AND SEWER SYSTEM HOWARD COUNTY HEALTH DEPARTMENT
BNifron for Peter Beilenson 11/24/2009
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
11/13/09
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
FOR KS 11/25/09
CHIEF, DIVISION OF LAND DEVELOPMENT DATE
11/30/09
DIRECTOR, [redacted] DATE

DATE	NO.	REVISION DESCRIPTION
4-26-10	1	REVISED TO ADD NEW KEYSTONE RETAINING WALL AND ONE NEW SHEET FOR PROFILE, DETAILS + SPEC. (18-18)

THIS PLAN SHALL BE USED FOR IT'S INTENDED PURPOSE AS STATED IN THE TITLE BLOCK. FOR BUILDING, AND ANY ADDITIONAL UTILITY INFORMATION, SEE THE APPROPRIATE PLAN FROM ACRHITECT.

'PURPOSE STATEMENT'

THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO RELOCATE THE PREVIOUSLY APPROVED GARAGE LOCATION (TO THE NORTH ALONG THE EXISTING DRIVEWAY). ADD THE GARAGE ELEVATIONS. PROVIDE DRYWELLS AT DOWN-SPOUT LOCATIONS FOR GARAGE FOR WATER QUALITY PURPOSES. ADD NEW SHEETS (16 & 17 of 17).

NOTE: EXISTING UNDERGROUND UTILITIES LOCATIONS ARE PER 'ACCURATE INFRASTRUCTURE DATA, INC.' ADJUSTMENTS MAY BE REQUIRED HORIZONTALLY AND/OR VERTICALLY IN ACCORDANCE WITH THE GUIDELINES AND POLICY OF THE ASSOCIATED UTILITY SOURCE. SEE LEGEND ABOVE.

STORM DRAIN AS-BUILT SHEET 1 of 1

ENGINEER'S AS-BUILT CERTIFICATION: 02-26-13

I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS STORMWATER MANAGEMENT FACILITY HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.

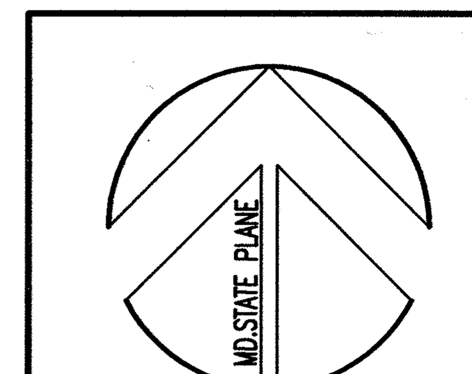
√✱ AS-BUILT DATA BASED ON PLAN INFORMATION ONLY. JOYCE ENGINEERING CORPORATION DID NOT PROVIDE INSPECTION SERVICE DURING CONSTRUCTION AS NECESSARY TO OBTAIN FIELD AS-BUILT INFORMATION.

STORM DRAIN AS-BUILT 02-26-2013
BY JOYCE ENGINEERING CORP.

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
03.7.2013
William A. Joyce, Date
Professional Eng. N° 12243
Exp. Date: Dec. 17, 2014

'PURPOSE STATEMENT'

THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO: ADD A KEYSTONE RETAINING WALL ALONG THE REAR DRIVE ISLE & LOWER STORM DRAIN OUTFALL FROM STRUCTURE D-5 TO D-6 TO ACCOMODATE SAME. ONE NEW SHEET HAS BEEN ADDED - 18 of 18 (4-26-10)



NORTH
PLAN SCALE: 1"=30'

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
29 OCT. 2009
Signature
27729 Jul.15, 2010
License No: Exp Date

PROJECT

SISTERS OF BON-SECOURS, USA

TAX PARCEL 35
LIBER: 393 AT FOLIO: 29

OWNER/DEVELOPER:
SISTERS OF BON-SECOURS, USA
1525 MARRIOTTSVILLE ROAD
MARRIOTTSVILLE, MARYLAND 21104

JOYCE ENGINEERING CORPORATION
CIVIL ENGINEERING LAND SURVEYING LAND PLANNING CONSTRUCTION MANAGEMENT
10766 BALTIMORE AVENUE - BELTSVILLE, MARYLAND 20705
TEL: (301) 595-4353 FAX: (301) 595-4650 WEB: www.joyceeng.com

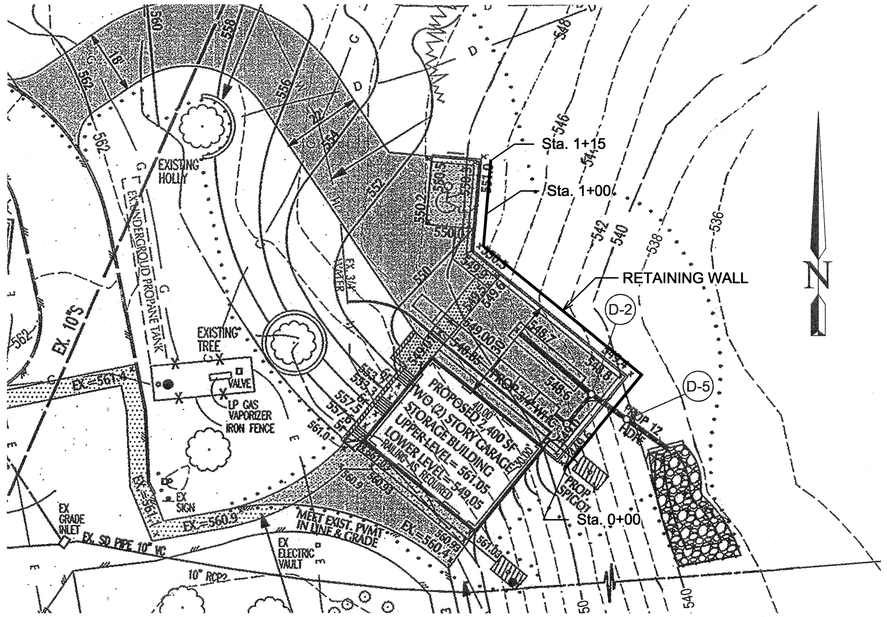
ADDRESS CHART	
LOT/PARCEL	STREET ADDRESS
35	1525 MARRIOTTSVILLE ROAD, MARRIOTTSVILLE, MD. 21104

PERMIT INFORMATION CHART					
SUBDIVISION: SISTERS OF BON-SECOURS, USA			SECTION/AREA: N/A		LOT/PARCEL #: 35
PLAT# OR L/F: 393/29	BLOCK #: 10,11,16 & 17	ZONE: RC-DEO	TAX/ZONE MAP: 10	ELECT. DISTRICT: 3RD	CENSUS TRACT: 6030
WATER CODE: N/A - WELL			SEWER CODE: N/A - SEPTIC		

TITLE
STORM DRAIN & STORMWATER MANAGEMENT PLAN, PROFILES, NOTES, AND DETAILS FOR PROPOSED GARAGE

DES BY WAJ	SCALE 1" = 30'	PROJ. NO. DSP-87-252
DRN BY HAL	DATE JANUARY, 2009	17 OF 21
CHK BY JEC	APPROVED WAJ	

Drawing name: R:\Land Projects\007042 - Bon Secour\dwg\SP-017_REDLINE.dwg
Plotted: Oct 29, 2009 - 8:31am



WALL LOCATION PLAN

1"=20'

NOTES:

1. No trees shall be planted within 10 feet of the top of the retaining wall.
2. Retaining walls shall only be constructed under the observation of a registered professional engineer and a (NICET, WACEL, or equiv.) certified soils technician.
3. One soil boring shall be required every one hundred feet along the entire length of the wall. Copies of all boring reports shall be provided to the Howard County Inspector Prior to the start of construction.
4. The required bearing pressure beneath the wall system shall be verified in the field by a certified soils technician. Testing documentation must be provided to the Howard County Inspector prior to start of construction. The required bearing test shall be the Dynamic Cone Penetrometer test ASTM STP-399.
5. The suitability of fill material shall be confirmed by the on-site soils technician. Each 8" lift must be compacted to a minimum 95% standard proctor density and the testing report shall be made available to the Howard County Inspector upon completion of construction.
6. Walls shall not be constructed on uncertified fill materials.
7. Walls shall not be constructed within a Howard Co. right-of-way or easement.

SPECIFICATIONS

MODULAR CONCRETE BLOCK RETAINING WALL

PART 1: GENERAL

1.01 Description
A. Work shall consist of furnishing and construction of a Modular Retaining Wall System in accordance with these specifications and in reasonably close conformity with the lines, grades, design, and dimensions shown on the plans. Work includes preparing foundation soil, furnishing and
B. installing leveling pad, unit drainage fill and backfill to the lines and grades shown on the construction drawings. Work includes furnishing and installing geogrid soil
C. reinforcement of the type, size, location, and lengths designated on the construction drawings.

1.02 Delivery, Storage and Handling
A. Contractor shall check all materials upon delivery to assure that the proper type, grade, color, and certification has been received.
B. Contractor shall protect all materials from damage due to job site conditions and in accordance with manufacturer's recommendations. Damaged materials shall not be incorporated into the work.

PART 2: PRODUCTS

2.01 Modular Concrete Retaining Wall Units
A. Modular concrete units shall conform to the following architectural requirements:
face color - concrete gray - standard manufacturers' color may be specified by the Owner.
face finish - sculptured rock face in angular tri-planer or flat configuration. Other face finishes will not be allowed without written approval of Owner.
bond configuration - running with bonds nominally located at midpoint vertically adjacent units, in both straight and curved alignments.
exposed surfaces of units shall be free of chips, cracks or other imperfections when viewed from a distance of 10 feet under diffused lighting.
B. Modular concrete materials shall conform to the requirements of ASTM C1372 - Standard Specifications for Segmental Retaining Wall Units.
C. Modular concrete units shall conform to the following structural and geometric requirements measured in accordance with appropriate references:
compressive strength = 3000 psi minimum;
absorption = 8 % maximum (6% in northern states) for standard weight aggregates;
dimensional tolerances = ± 1/8" from nominal unit dimensions not including rough split face, ±1/16" unit height - top and bottom planes;
unit size - 8" (H) x 18" (W) x 12" (D) minimum;
unit weight - 75 lbs/unit minimum for standard weight aggregates;
inter-unit shear strength - 1000 plf minimum at 2 psi normal pressure;
geogrid/unit peak connection strength - 1000 plf minimum at 2 psi normal force.
D. Modular concrete units shall conform to the following constructability requirements: (If applicable)
vertical setback = 1/8"± per course (near vertical) or 1"+ per course per the design;
alignment and grid positioning mechanism - fiberglass pins, two per unit minimum;
maximum horizontal gap between erected units shall be - 1/2 inch.

2.02 Shear Connectors (If applicable)
A. Shear connectors shall be 1/2 inch diameter thermoset isopthalic polyester resin-protruded fiberglass reinforcement rods or equivalent to provide connection between vertically and horizontally adjacent units. Strength of shear connectors between vertical adjacent units shall be applicable over a design temperature of 10 degrees F to + 100 degrees F.
B. Shear connectors shall be capable of holding the geogrid in the proper design position during grid pre-tensioning and backfilling.

2.03 Base Leveling Pad Material
A. Material shall consist of a compacted #57 crushed stone base as shown on the construction drawings.

2.04 Unit Drainage Fill
A. Unit drainage fill shall consist of #57crushed stone

2.05 Reinforced Backfill
A. Reinforced backfill shall type SM, be free of debris and meet the following gradation tested in accordance with ASTM D-422 and meet other properties shown on the plan:

Sieve Size	Percent Passing
2 inch	100-75
3/4 inch	100-75
No. 40	0-60
No. 200	0-40

Plasticity Index (PI) <10 and Liquid Limit <40 per ASTM D-4318.
B. Material can be site excavated soils where the above requirements can be met. Unsuitable soils for backfill (high plastic clays or organic soils) shall not be used in the reinforced soil mass.

2.06 Geogrid Soil Reinforcement
A. Geosynthetic reinforcement shall consist of geogrids manufactured specifically for soil reinforcement applications and shall be manufactured from high tenacity polyester yarn.

2.07 Drainage Pipe
A. The drainage pipe shall be perforated corrugated HDPE pipe manufactured in accordance with ASTM D-1248.

PART 3 EXECUTION

3.01 Excavation
A. Contractor shall excavate to the lines and grades shown on the construction drawings. Owner's representative shall be responsible for inspecting and approving the excavation prior to placement of leveling material or fill soils.

3.02 Base Leveling Pad
A. Leveling pad material shall be placed to the lines and grades shown on the construction drawings, to a minimum thickness of 6 inches and extend laterally a minimum of 6" in front and behind the modular wall unit.
B. Leveling pad shall be prepared to insure full contact to the base surface of the concrete units.

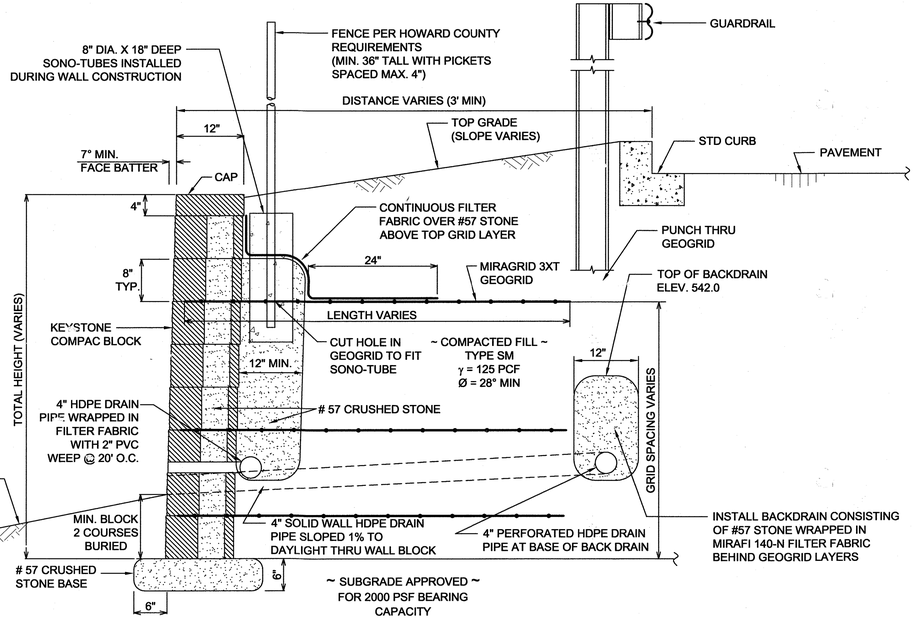
3.03 Modular Unit Installation
A. First course of units shall be placed on the leveling pad at the appropriate line and grade. Alignment and level shall be checked in all directions and insure that all units are in full contact with the base and properly seated.
B. Place the front of units side-by-side. Do not leave gaps between adjacent units. Layout of corners and curves shall be in accordance with manufacturer's recommendations.
C. Install shear/connecting devices per manufacturer's recommendations.
D. Place and compact drainage fill within and behind wall units. Place and compact backfill soil behind drainage fill. Follow wall erection and drainage fill closely with structure backfill.
E. Maximum stacked vertical height of wall units, prior to unit drainage fill and backfill placement and compaction, shall not exceed three courses.

3.04 Structural Geogrid Installation
A. Geogrid shall be oriented with the highest strength axis perpendicular to the wall alignment.
B. Geogrid reinforcement shall be placed at the strengths, lengths, and elevations shown on the construction design drawings or as directed by the Engineer.
C. The geogrid shall be laid horizontally on compacted backfill and attached to the modular wall units. Place the next course of modular concrete units over the geogrid. The geogrid shall be pulled taut, and anchored prior to backfill placement on the geogrid.
D. Geogrid reinforcements shall be continuous throughout their embedment lengths and placed side-by-side to provide 100% coverage at each level. Spliced connections between shorter pieces of geogrid or gaps between adjacent pieces of geogrid are not permitted.

3.05 Reinforced Backfill Placement
A. Reinforced backfill shall be placed, spread, and compacted in such a manner that minimizes the development of slack in the geogrid and installation damage.
B. Reinforced backfill shall be placed and compacted in lifts not to exceed 6 inches where hand compaction is used, or 8 - 10 inches where heavy compaction equipment is used. Lift thickness shall be decreased to achieve the required density as required.
C. Reinforced backfill shall be compacted to 95% of the maximum density as determined by ASTM D698. The moisture content of the backfill material prior to and during compaction shall be uniformly distributed throughout each layer and shall be + 3% to - 3% of optimum.
D. Only lightweight hand-operated equipment shall be allowed within 3 feet from the tail of the modular concrete unit.
E. Tracked construction equipment shall not be operated directly upon the geogrid reinforcement. A minimum fill thickness of 6 inches is required prior to operation of tracked vehicles over the geogrid. Tracked vehicle turning should be kept to a minimum to prevent tracks from displacing the fill and damaging the geogrid.
F. Rubber tired equipment may pass over geogrid reinforcement at slow speeds, less than 10 MPH. Sudden braking and sharp turning shall be avoided.
G. At the end of each day's operation, the Contractor shall slope the last lift of reinforced backfill away from the wall units to direct runoff away from wall face. The Contractor shall not allow surface runoff from adjacent areas to enter the wall construction site.

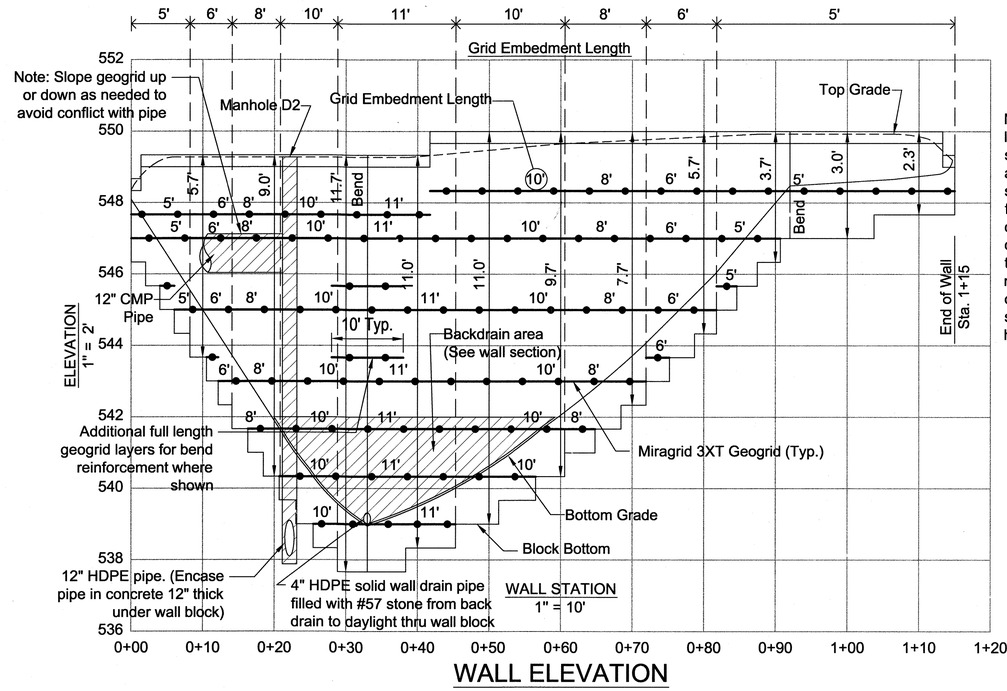
3.06 Cap Installation
A. Cap units shall be glued to underlying units with an all-weather adhesive recommended by the manufacturer.

3.07 Field Quality Control
A. The Owner shall engage inspection and testing services, including independent laboratories, to provide quality assurance and testing services during construction.
B. As a minimum, quality assurance testing should include foundation soil inspection, soil and backfill testing, verification of design parameters, and observation of construction for general compliance with design drawings and specifications.



TYPICAL WALL SECTION

N.T.S.



WALL ELEVATION

Note:
Install manhole structures and related pipe shown during wall construction. Backfill around entire perimeter of manhole structure D-2 for full wall height with a 3 foot thick wrap of compacted soil-cement consisting of a ratio of 180 lbs. Portland cement thoroughly mixed with 1 cu. yd. type SM soil at 3% over optimum moisture. Trim full length geogrids at face of manhole structure and embed in soil-cement. Place soil-cement within 2 hours after mixing

WALL DETAILS & SPEC'S FOR REVISED SITE DEVELOPMENT PLAN
SISTERS OF BON SECOURS, USA
1525 MARRIOTTSVILLE ROAD
MARRIOTTSVILLE, MD 21104
HOWARD COUNTY, MD
TAX MAP: 10 PARCEL: 35
ELECTION DISTRICT: 3
SDP 87-252
PLAT LIBER 393 FOLIO: 29
BLOCK: 10,11,16,17
ZONE: R CENSUS: 6030
OWNER/ADDRESS:
SAME AS ABOVE
ATTN: BOB HUBBLE, PM.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DIRECTOR - DEPARTMENT OF PLANNING AND ZONING — DATE 6/05/10

CHIEF, DIVISION OF LAND DEVELOPMENT — DATE 6/15/10

CHIEF, DEVELOPMENT ENGINEERING DIVISION — DATE 6/10/10

'PURPOSE STATEMENT'

THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO ADD A KEYSTONE RETAINING WALL ALONG THE REAR DRIVE ISLE AND LOWER STORM DRAIN OUTFALL FROM STRUCTURE D-5 TO D-6 TO ACCOMMODATE SAME. ONE (1) NEW SHEET HAS BEEN ADDED - 18 OF 18.

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14434, EXPIRATION DATE: 05/13/11.

STATE OF MARYLAND — RICHARD W. STOREY — No. 14434 — PROFESSIONAL ENGINEER

HILLIS-CARNES
ENGINEERING ASSOCIATES
10975 Guilford Road, Suite A Annapolis Junction, MD
(410) 880-4788 Fax: (410)880-4098

RETAINING WALL CONSTRUCTION DETAILS

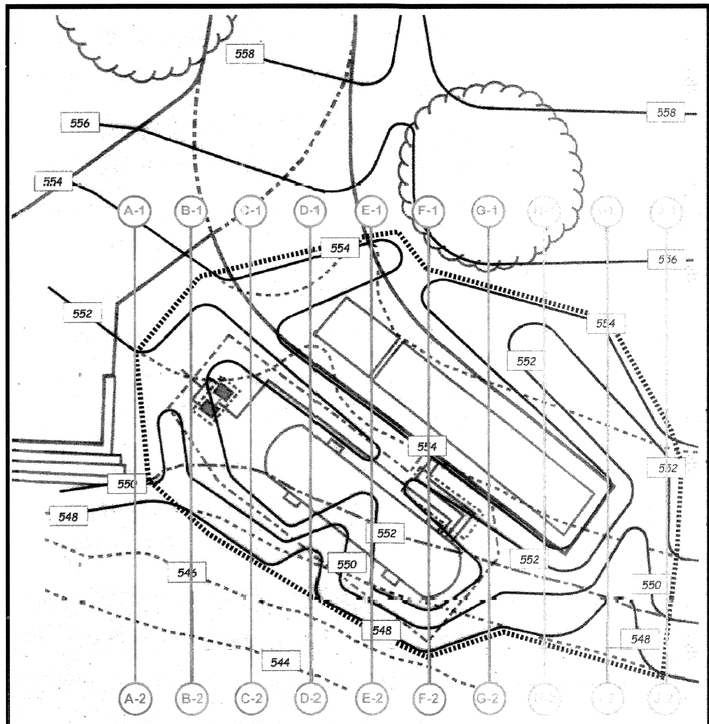
BON SECOURS GARAGE WALL HOWARD COUNTY, MD

REVISIONS: 04/26/2010 - REVISED TO ADD THIS SHEET FOR THE PURPOSE OF THE NEW KEYSTONE BLOCK RETAINING WALL

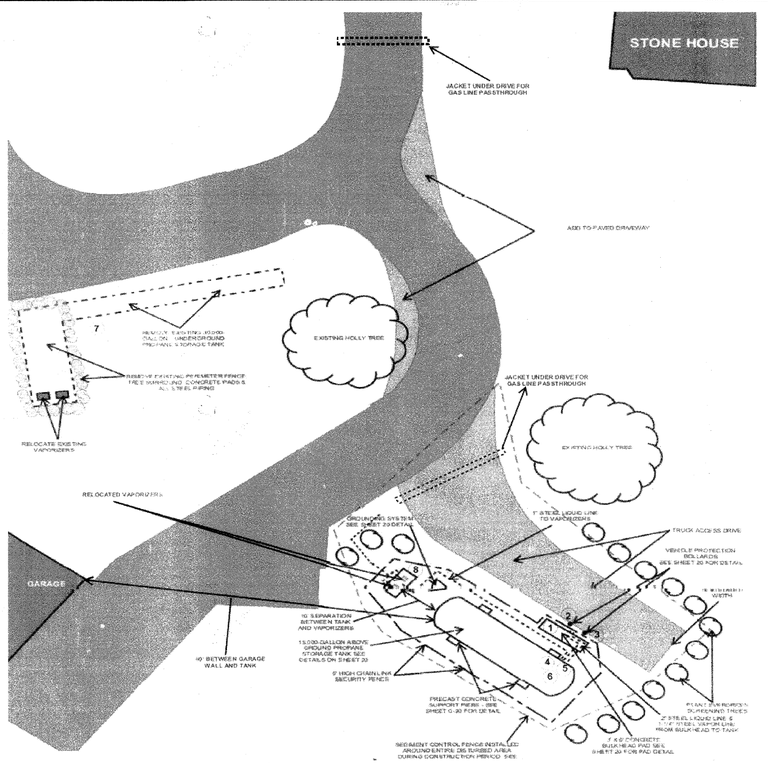
JOB NUMBER:	06358-G	DESIGNED BY:	RWS
SCALE:	AS SHOWN	DRAWN BY:	AM
DATE:	04/05/10	APPROVED BY:	RWS

18 of 21 SHEET

SDP 87-252

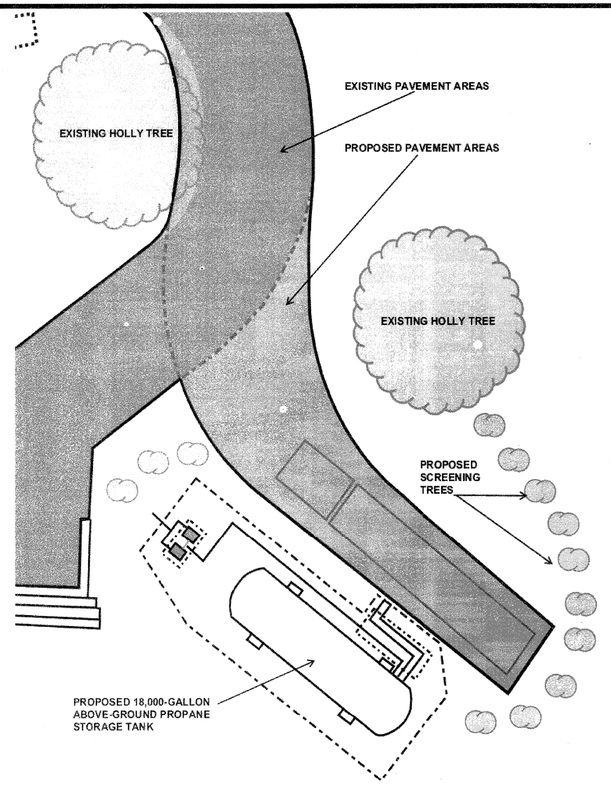


GRADING PLAN

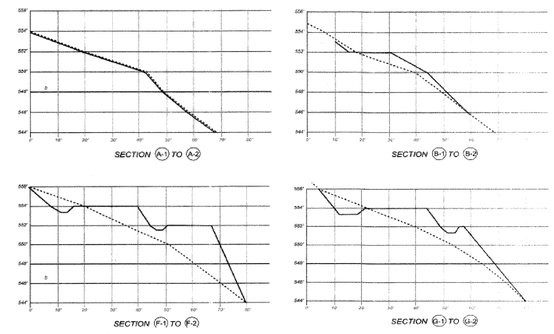


DEVELOPMENT DETAIL PLAN

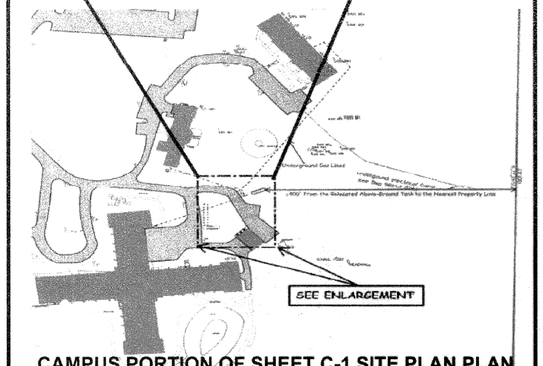
NOTE- ALL DIMENSIONS SHOWN ARE APPROXIMATE AND SUBJECT TO FIELD VERIFICATION



SITE PLAN ENLARGEMENT



GRADING PROFILES



CAMPUS PORTION OF SHEET C-1 SITE PLAN PLAN

KEYED NOTES

1. NEW 5'X 8'X 6"- CONCRETE PAD FOR TRUCK UNLOADING. PAD SHALL BE INSTALLED PER PAD DETAILS ON C-20. GROUNDING BAR SHALL BE INSTALLED PER NEC 2014 FOR TRUCK USE WHEN UNLOADING. GROUNDING BAR SHALL BE TIED INTO SITE GROUNDING SYSTEM USING #10 BARE COPPER WIRE.
2. 1¼" VAPOR LINE TO BE IRSTALLED 6"-12" ABOVE GROUND USING SCHEDULE 40 WELDED STEEL PIPE.
3. 2.0" LIQUID FILL LINE TO BE INSTALLED 6"-12" ABOVE GROUND USING SCHEDULE 40 WELDED STEEL PIPE
4. 2.0" VAPOR LINE CONNECTION ON UNDERSIDE OF TANK. SEE TANK SPECIFICATIONS ON C-20 FOR DETAILS.
5. 2.0"LIQUID LINE CONNECTION ON UNDERSIDE OF TANK SEE TANK SPECIFICATIONS ON CS-2 FOR DETAILS.
6. 2.0" LIQUID FILL LINE CONNECTION ON UNDERSIDE OF TANK. SEE TANK SPECIFICATIONS ON CS-2 FOR DETAILS.
7. EXCAVATED EXISTING 30,000-GALLON UNDERGROUND STORAGE TANK AND ASSOCIATED PIPING TO BE REMOVED FROM SITE. EXISTING VAPORIZERS TO BE RELOCATED TO LOCATION SHOWN ON THIS DRAWING c-19.
8. NEW 3'X 6'X 6" CONCRETE PAD FOR RELOCATED VAPORIZERS. PAD SHALL BE INSTALLED PER PAD DETAILS ON C-20. VAPORIZERS SHALL BE BONDED AND GROUNDED TO THE SITE GROUNDING SYSTEM USING #10 BARE COPPER WIRE

GENERAL NOTES:

1. ALL EQUIPMENT SHALL BE GROUNDED AND BONDED PER NEC 2014 AND ANWALL LOCAL AND STATE AMENDMENTS. THIS SHALL INCLUDE A 30,000 GALLON STORAGE TANK, VAPORIZERS AND TRUCK UNLOADING AREA ALL GROUNDING SHALL USE #10 BARE COPPER WIRE.
2. ALL DEMOLITION SHALL BE DORE PER LOCAL AND STATE REQUIREMENTS.

REVISIONS	
3-29-17	ADDED SHEETS 19 AND 20 TO REMOVE THE UNDERGROUND PROPANE TANK AND REPLACE IT WITH ONE ABOVE-GROUND
5-15-17	REPLACED ORIGINAL SHEET C-19 WITH THIS SHEET TO REFLECT THE CHANGE IN THE ABOVEGROUND TANK LOCATION PER THE HOWARD COUNTY FIRE ENGINEER'S COMMENTS
6-26-17	REPLACED THE 5-15-17 SHEET C-19 WITH THIS SHEET TO MODIFY THE GRADING PLAN AND THE GRADING PROFILES TO CORRECT SEVERAL DEFICIENCIES FOUND ON THE PRIOR SHEET C-19 SUBMITTALS

Note:
Improvements are exempt from stormwater management as the LOD is 4,430 sft. Any additional improvements where the total cumulative disturbance area exceeds 5,000 sft shall require that current stormwater management criteria be addressed

APPROVED: DEPARTMENT OF PLANNING AND ZONING:

DIRECTOR, DEPARTMENT OF PLANNING AND ZONING — DATE 7-17-17

CHIEF, DIVISION OF LAND DEVELOPMENT — DATE 7-17-17

CHIEF, DEVELOPMENT ENGINEERING DIVISION — DATE 7-11-17

"PURPOSE STATEMENT"

THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO REPLACE A 30,000-GALLON UNDERGROUND PROPANE STORAGE TANK WITH AN 18,000-GALLON ABOVE-GROUND PROPANE STORAGE TANK. TWO (2) NEW SHEETS HAVE BEEN ADDED - SHEETS 19 & 20 OF 20

REVISIONS	BY

THE SISTERS OF BON SECOURS OF THE US. - OWNER
CONSTRUCTION SITE AND MAILING ADDRESS
1525 MARRIOTTSVILLE ROAD, MARRIOTTSVILLE, MD 21104
TAX MAP 19, PARCEL 95 ~ ELECTION DISTRICT 3 ~ PLAT LIBER 389 FOLIO 39
THE H.J. POIST GAS COMPANY, INC.
CONTRACTOR AND APPLICANT
390 MAIN STREET, LAUREL, MD 20707 ~ 301-725-5232

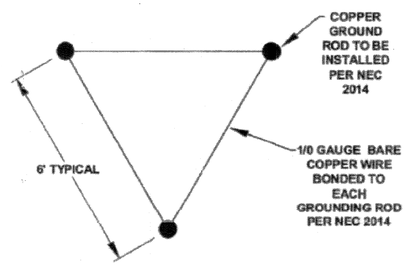
KBD ENGINEERING COMPANY
Process—Mechanical—Structural—Electrical & Environmental Consultants
ONE COUNTRY CLUB LANE PHOENIX, MARYLAND 21131
PHONE: 410-592-6003
FAX: 410-592-8659
MOBILE: 410-241-5830
E-MAIL: HBRIDGERIDGE II, P.E. hbridgeridge@kbdengineering.com
WEBSITE: kbdengineering.com

STATE OF MARYLAND — HOWARD BRIDGERIDGE II — No. 17738 — REGISTERED PROFESSIONAL ENGINEER

PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND
LICENSE NO. 17738
EXPIRATION DATE: 10/06/2017

DRAWN BY: DMH
DATE:
SCALE: AS NOTED
JOB NUMBER:
SHEET NO. C-19
DRAWING NUMBER 19 OF 21

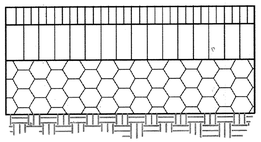
REVISED SDP 87-252



NOTE: 1/0 GAUGE BARE COPPER WIRE SHALL BE GROUNED AND BONDED USING GROUNDING SYSTEM. GROUNDING SHALL BE INSTALLED AT NEW TRUCK UNLOADING BULKHEAD, TANK AND EACH VAPORIZER PER NEC 2014 AND ANY/ALL STATE AND LOCAL AMMENDMENTS.

GROUNDING SYSTEM DETAIL

SCALE:NTS



2" Minimum Bituminous Concrete Surface (SN)

5" Minimum Bituminus Concrete Base (BI)

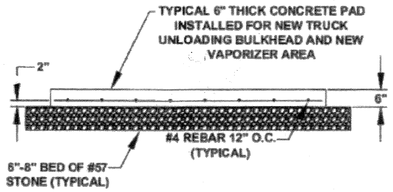
6" Minimum Gravel Sub-Base (Bank Run or Crusher Run as directed)

Approved Sub-Grade

Typical Heavy Duty Pavement Section

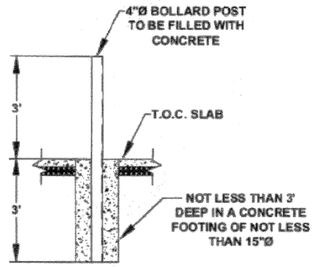
Not to Scale

Shown Thus:



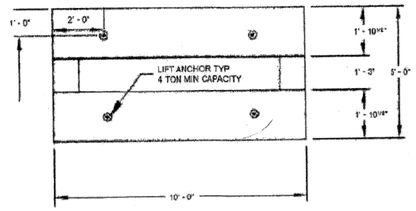
TYPICAL 6" CONCRETE PAD

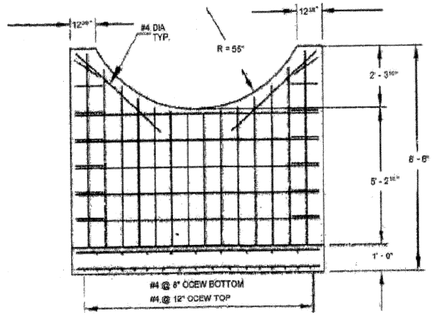
SCALE: NTS



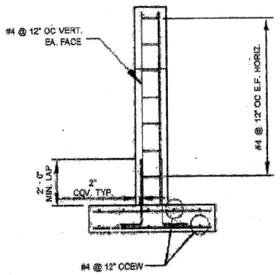
BOLLARD DETAIL

SCALE: NTS

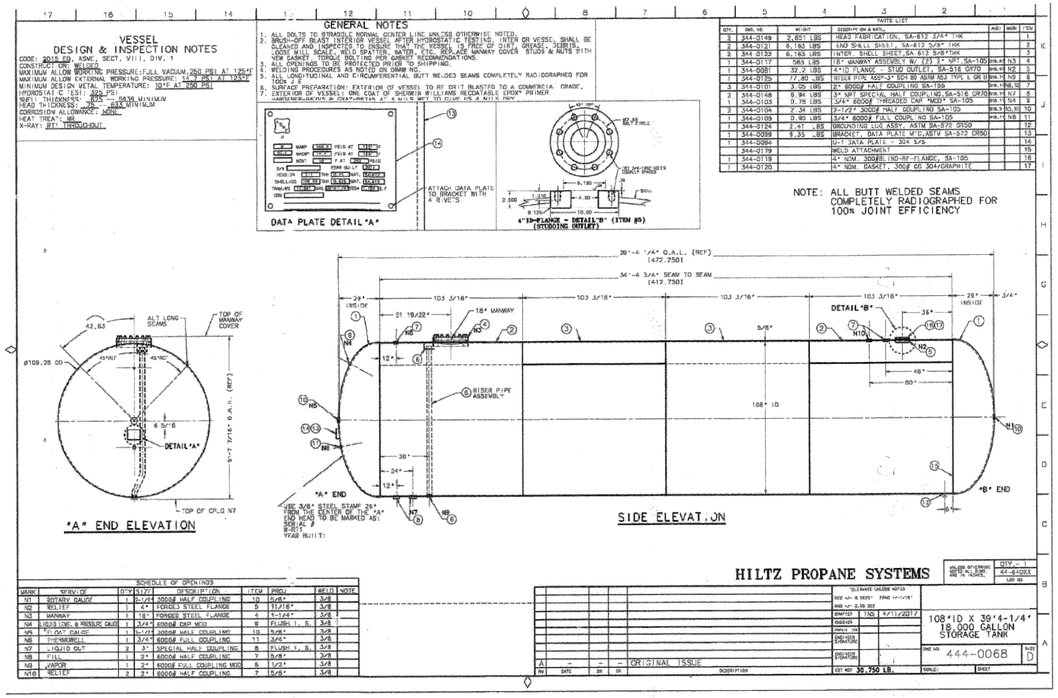




Pier Weight 18960 lbs			MINIMUM ALLOWABLE SOIL BEARING PRESSURE		
Concrete Volume 4.74 CY			TANK SIZE (gals)	WITH WATER (psf)	WITH PROPANE (psf)
Use this pier with tank size:			90000	8400	4300
Radius in Inches	Diameter in Inches	Circumfrance in Inches	60000	6200	3600
53 1/8 -54 1/2	107-109	336-342 1/4	30000	3200	2000

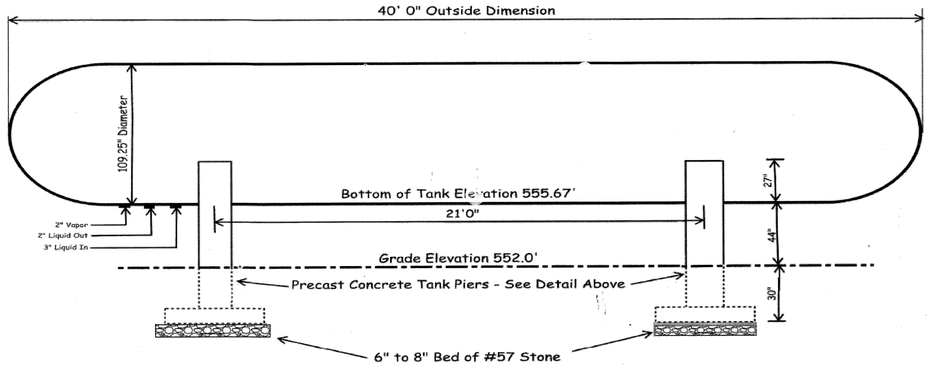


Notes:
Concrete: Min. 3500 PSI
All Reinforcement as shown
Not To Scale
Not an engineered drawing



MANUFACTURER'S TANK SPECIFICATIONS

SCALE:NTS



TANK ELEVATION

SCALE: NTS

APPROVED: DEPARTMENT OF PLANNING AND ZONING:

DIRECTOR - DEPARTMENT OF PLANNING AND ZONING — DATE 7-17-17

CHIEF, DIVISION OF LAND DEVELOPMENT — DATE 7-17-17

CHIEF, DEVELOPMENT ENGINEERING DIVISION — DATE 6.12.17

"PURPOSE STATEMENT"

THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO REPLACE A 30,000-GALLON UNDERGROUND PROPANE STORAGE TANK WITH AN 18,000-GALLON ABOVE-GROUND PROPANE STORAGE TANK. TWO (2) NEW SHEETS HAVE BEEN ADDED - SHEETS 19 & 20 OF 20

REVISIONS

3-29-17	ADDED SHEETS 19 AND 20 TO REMOVE THE UNDERGROUND PROPANE TANK AND REPLACE IT WITH ONE ABOVE-GROUND
5-15-17	REPLACED ORIGINALLY SUBMITTED SHEET C-20 WITH THIS SHEET TO REFLECT THE CHANGE IN THE ABOVEGROUND TANK LOCATION PER THE HOWARD COUNTY FIRE ENGINEER

REVISIONS	BY

THE SISTERS OF BON SECOURS OF THE US. - OWNER
CONSTRUCTION SITE AND MAILING ADDRESS
1525 MARRIOTTSVILLE ROAD, MARRIOTTSVILLE, MD 21104
TAX MAP 16, PARCEL 35 - ELECTION DISTRICT 3 - PLAT LIBER 393 FOLIO 36

THE H.J. POIST GAS COMPANY, INC.
CONTRACTOR AND APPLICANT
360 MAIN STREET, LAUREL, MD 20707 ~ 301-725-3232

KBD ENGINEERING COMPANY
Process, Mechanical, Civil, Electrical & Environmental Consultants
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PHONE: 410-592-8003
FAX: 410-592-8858
MOBILE: 410-241-5630
H.C. HARCLERODE II, P.E.
EMAIL: ahc@kbdengineering.com
WEBSITE: kbdengineering.com

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND

LICENSE NO. 11735
EXPIRATION DATE: 12/09/2017

DRAWN BY: DMH

DATE: 3/15/2017

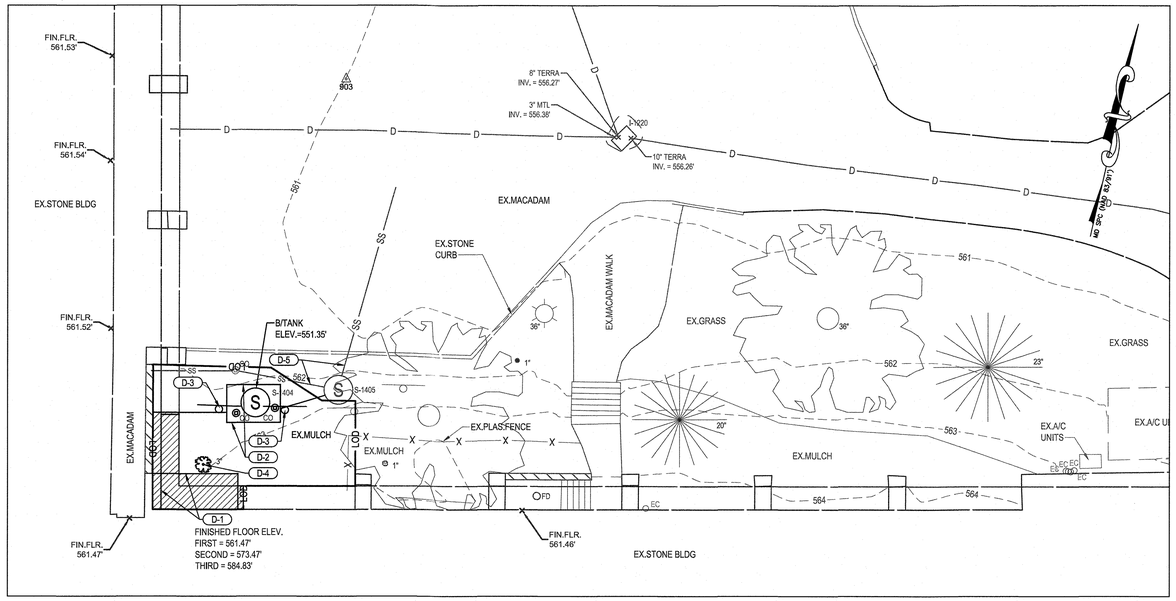
SCALE: AS NOTED

JOB NUMBER:

SHEET NO. C-20

DRAWING NUMBER 20 OF 21

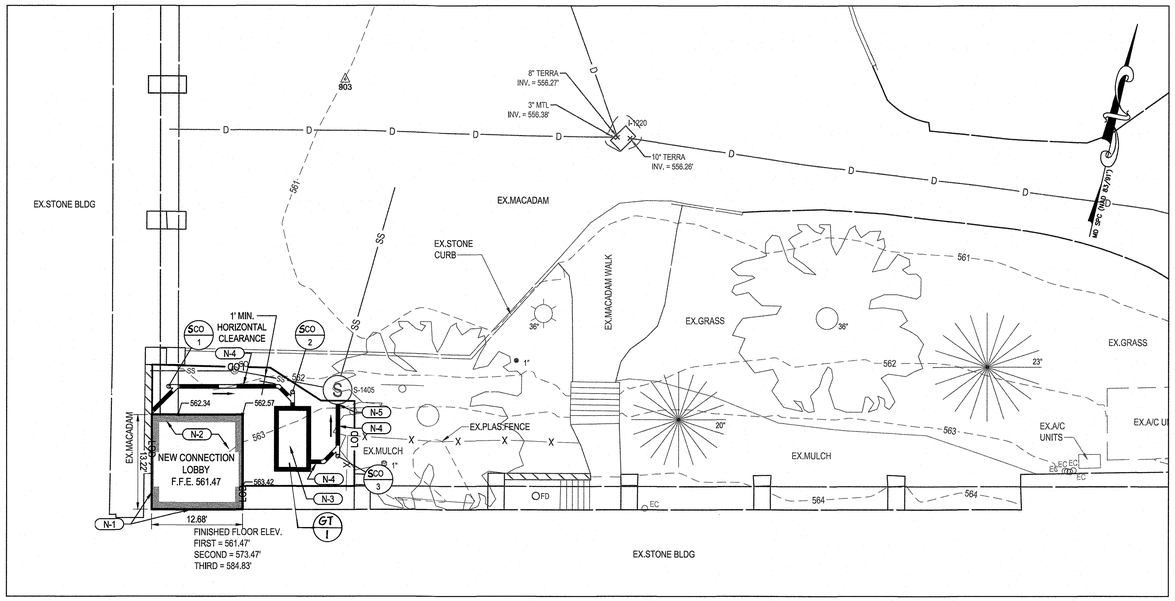
REVISED SDP 87-252



EXISTING CONDITIONS AND DEMOLITION PLAN
SCALE: 1" =10'

DEMOLITION NOTES

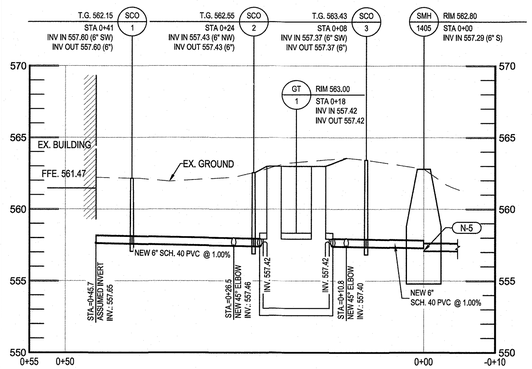
D-1 REMOVE PORTION OF BUILDING AND CANOPY AS NECESSARY FOR NEW CONSTRUCTION.
D-2 REMOVE SANITARY SEWER GREASE TRAP AND CONNECTING PIPES.
D-3 REMOVE AND SALVAGE SIGN TO BE RELOCATED.
D-4 REMOVE EXISTING TREE.
D-5 MAINTAIN AND PROTECT EXISTING SANITARY SEWER TO REMAIN.



SITE LAYOUT AND GRADING PLAN
SCALE: 1" =10'

CONSTRUCTION NOTES

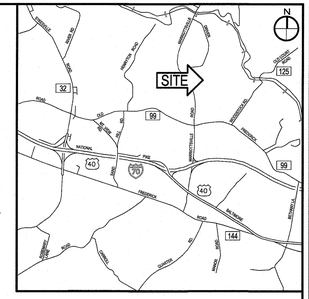
N-1 MEET EXISTING CONDITIONS.
N-2 NEW BUILDING ADDITION, SEE AGRICULTURAL PLANS FOR DETAILS.
N-3 NEW 750 GALLON GREASE TRAP INCEPTOR. SEE DETAIL ON SHEET C103.
N-4 NEW 6" SCH. 40 PVC SANITARY SEWER.
N-5 CONTRACTOR SHALL CONFIRM INVERT OUT OF EXISTING SANITARY SEWER AT EXISTING MANHOLE TO REMAIN. THE DESIGN SHOWN HEREIN IS BASED UPON AN ASSUMED INVERT OUT BELOW THE ELEVATION OF THE NEW 6" PIPE IN (557.29'). THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, AND PRIOR TO THE START OF CONSTRUCTION OF ANY DISCREPANCIES.



NEW SANITARY SEWER
SCALE: HORIZ. 1"=10' VERT. 1"=5'

W.B.C.M. SURVEY TRAVERSE CONTROL LISTING

PT#	NORTHING	EASTING	ELEV.	DESCRIPTION
900	605,831.65	1,341,680.09	561.18	MAGNAIL
901	605,912.58	1,341,762.46	553.37	MAGNAIL
902	605,909.30	1,341,846.26	563.61	MAGNAIL
903	605,776.50	1,341,623.84	560.99	MAGNAIL



VICINITY MAP
SCALE: 1"=8,333'

GENERAL NOTES

1. THIS PLAT IS BASED UPON A FIELD-RUN TOPOGRAPHIC SURVEY PERFORMED BY WBCM IN SEPTMEBER, 2018 AND REFLECTS SITE CONDITIONS AS OF THAT DATE.
2. COORDINATES AND DIRECTIONS SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE PLANE COORDINATE SYSTEM, NAD 83/2011 AS DETERMINED FROM REAL TIME KINEMATIC SURVEYING AS BROADCAST BY THE LEICA SMARTNET NETWORK.

   BASE STATION
   LATITUDE 39° 19' 05.90464" N
   LONGITUDE 77° 11' 45.52346" W
3. ELEVATIONS SHOWN HEREON ARE REFERRED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY R.T.K. G.P.S. OBSERVATONS AS BROADCASTED BY THE LEICA SMARTNET NETWORK(GEOID12A).

   BASE STATION
   ELEVATION = 203.02'
4. ADDITIONAL SPOT ELEVATIONS RESIDE IN THE ELECTRONIC VERSION OF THIS DRAWING BUT ARE NOT PLOTTED HEREON.
5. THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS SHOWN IN AN APPROXIMATE WAY ONLY. THE DESCRIPTION OF THE UNDERGROUND UTILITIES AS SHOWN HEREON WERE BASED SOLEY UPON FIELD OBSERVATIONS AND HAVE NOT BEEN COMPARED TO OR VERIFIED WITH RECORD UTILITY DRAWINGS OR FIELD TEST PITS. THE SIZE, TYPE AND LOCATION OF THE UTILITY LINES SHOULD BE VERIFIED BY THE USER OF THIS DRAWING.
6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ACTUAL SITE CONDITIONS PRIOR TO THE START OF ANY WORK. THERE IS NO WARRANTY OR GUARANTEE ON THE COMPLETENESS OR CORRECTNESS OF THE EXISTING CONDITION INFORMATION. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT/ENGINEER PRIOR TO THE START OF ANY WORK.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "MISS UTILITY" AT 1-800-257-7777 THREE DAYS PRIOR TO THE START OF ANY EXCAVATION WORK.
8. THE WORDS "CERTIFY" OR "CERTIFICATION" AS USED HEREON ARE UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL OPINION BY THE UNDERSIGNED SURVEYOR, BASED UPON HIS BEST KNOWLEDGE, INFORMATION, AND BELIEF. AS SUCH, IT DOES NOT CONSTITUTE A GUARANTEE NOR A WARRANTY, EXPRESSED OR IMPLIED.

LEGEND

DESCRIPTION	EXISTING	REMOVE	NEW
BUILDING	EX. BLDG		
BITUMINOUS CONCRETE PAVING	EX. MACADAM		
PORTLAND CEMENT CONCRETE	EX. CONC.		
CONCRETE UNIT PAVERS	PAVERS		
WOODED/BUSH AREA			
DECIDUOUS / EVERGREEN TREES	12" 6" 3"	6"	
CLEAN OUT	⊚ c.o.	●	◎
DRAIN INLET			
FIRE HYDRANT			
GAS VALVE			
HAND BOX	H.B.		
INLET MH	I		
POWER POLE			
PROPERTY MON.	600		
SANITARY MH	S		
SIGN (ONE-POST)			
SIGN (TWO POST)			
MANHOLE	M		
SANITARY MANHOLE	D	S	○
STREET LIGHT			
TELEPHONE MH	T		
TELEPHONE RISER	T.R.		
TRAVERSE STATION	900		
UNKNOWN MH	U		
WATER MH	W		
WATER VALVE			
SPOT ELEVATION	× 564.5		+ 564.5
MAJOR CONTOUR	565		
MINOR CONTOUR	564		
WALL			
CONC. CURB			
SURVEY LIMITS			
WOOD FENCE			
METAL FENCE	X X		
GUARDRAIL			
U/G SANITARY	SS		

CAUTION:
IF THIS DRAWING IS A REDUCTION, USE THE GRAPHIC SCALES.

10 0 5 10 20
1"=10'-0"

SDP-87-252

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineer Division — 9.6.19 — Date

Chief, Division of Land Development — 9/16/19 — Date

Director — 9-16-19 — Date

NO.	DATE	REVISION	BY
	9.6.19	NEW SHEET ADD ELEVATOR, REV. SIGNATURE	

WHITNEY BAILEY COX & MAGNANI, LLC
300 East Joppa Road, Suite 800
Baltimore, MD 21286
410.512.4600 www.wbcm.com

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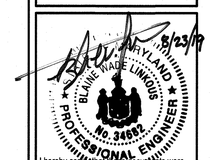
Designing Infrastructure for Tomorrow®



I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License #34682 Expiration Date: 07/08/21

DEMOLITION AND SITE LAYOUT PLAN

ELEVATOR ADDITION
BON SECOURS CONFERENCE CENTER
1525 MARRIOTTSVILLE ROAD
MARRIOTTSVILLE, MD. 21104
TAX AMP 10, PARCEL 35 - ELECTION DISTRICT 3 - PLAT LIBER 393 FOLIO 29

DESIGNED:	R.W.H.
DRAWN:	R.S.S.
CHECKED:	B.W.L.
SCALE:	1" = 10'
DATE:	07/26/2019
PROJECT:	2017.0087.02.0
DRAWING:	

C-21
SHEET 21 OF 21

Aug 23, 2019 - 11:25am User: emalek
P:\2017\17008701\Drawings\07-SITE\2017008701-C101-Site Layout Plan.dwg