

SHEET INDEX	
No.	DESCRIPTION
1	TITLE SHEET
2	SITE DEVELOPMENT PLAN
3	PROFILES AND DETAILS
4	SEDIMENT CONTROL/SWM DETAILS, NOTES & DRAINAGE AREA MAP
5	PLANTING PLAN

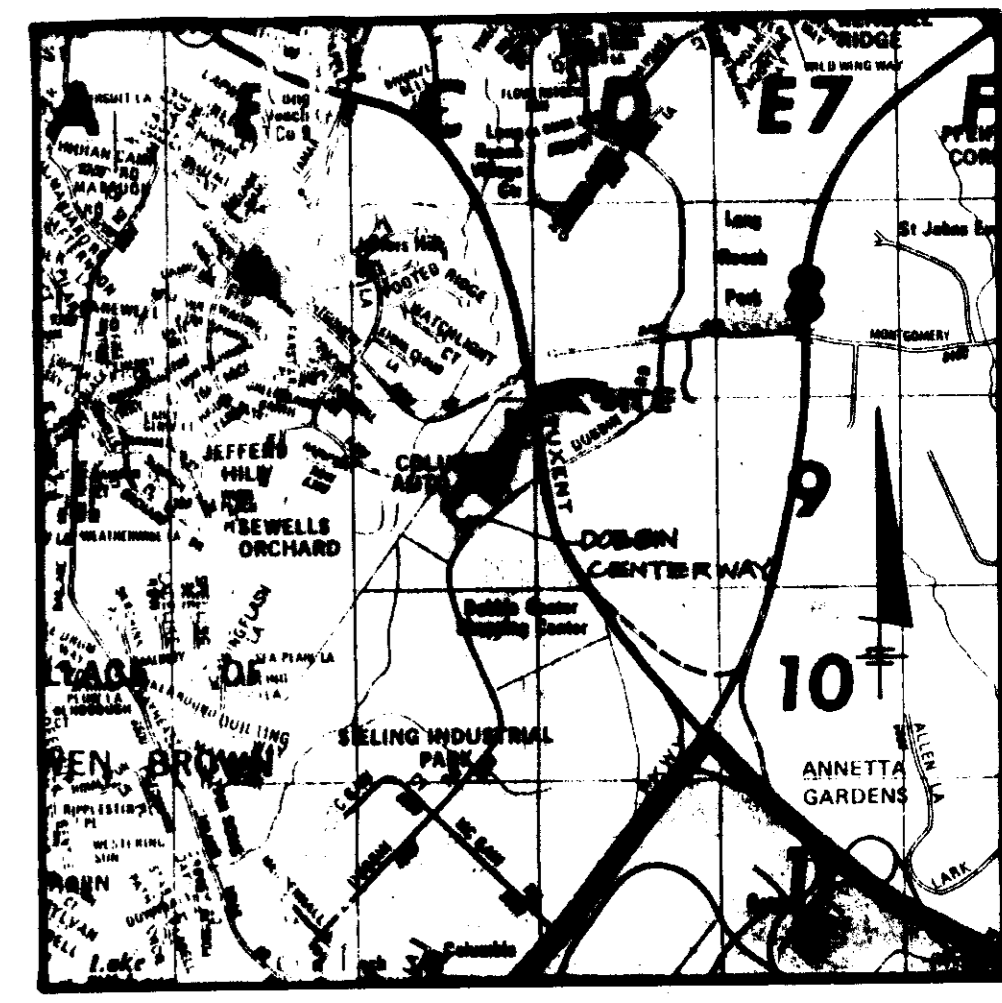
SITE DEVELOPMENT PLAN

DOBBIN SQUARE

COLUMBIA AUTO PARK PARCEL L-2

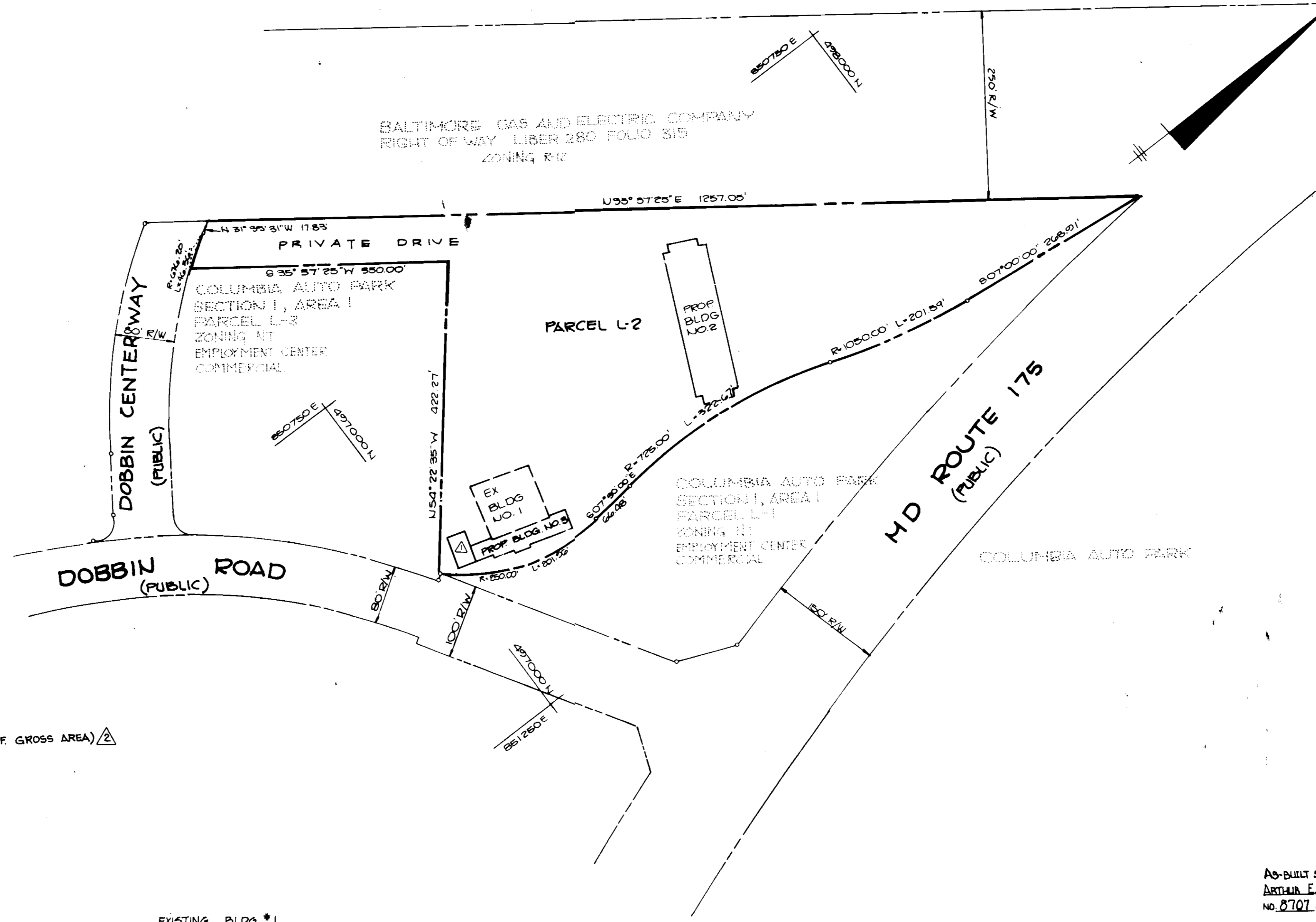
6TH ELECTION DISTRICT

HOWARD COUNTY, MARYLAND



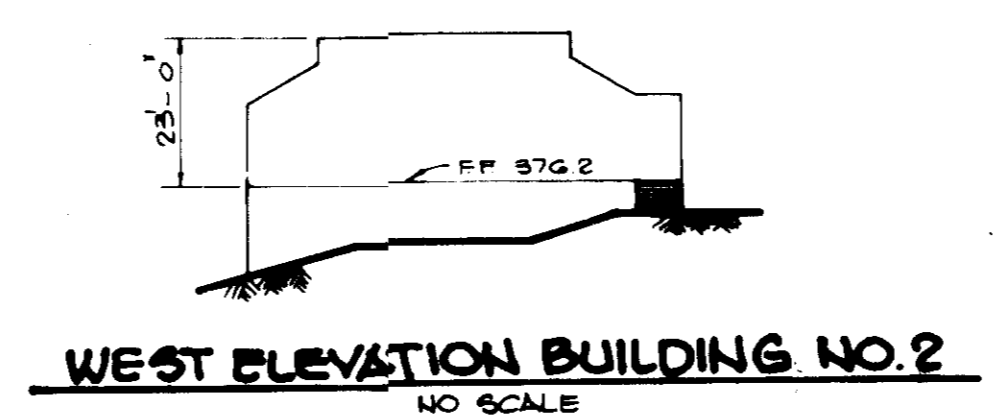
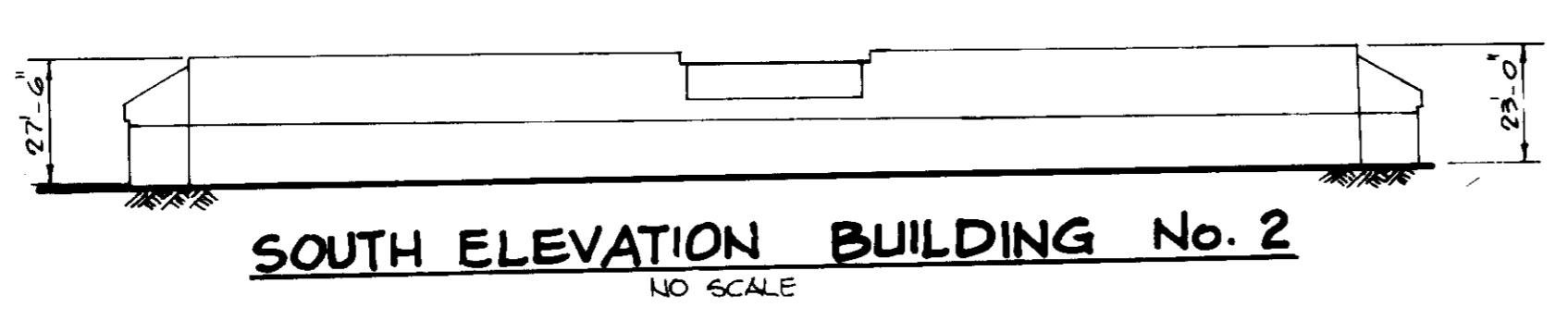
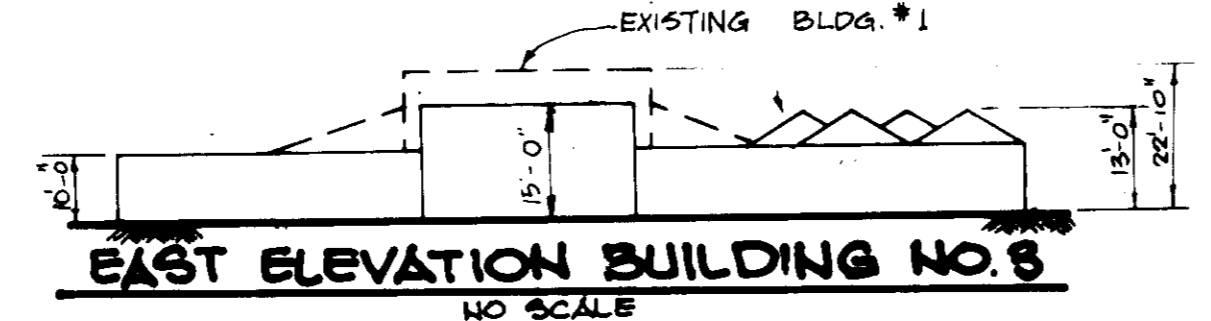
- GENERAL NOTES**
- ALL WATER LINES SHALL BE CONSTRUCTED A MINIMUM OF 42" COVER BELOW FINISHED GRADE.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, I.E., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION.
 - APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FROM BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS TO VERIFY THEIR LOCATION AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
 - CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS:

MISS UTILITY	1-800-257-7777
C & P TELEPHONE COMPANY	725-9976
HOWARD COUNTY BUREAU OF UTILITIES	992-2366
AT&T CABLE LOCATION DIVISION	393-3551
BALTIMORE GAS & ELECTRIC COMPANY	685-0123
STATE HIGHWAY ADMINISTRATION	531-5533
HOWARD COUNTY CONSTRUCTION/INSPECTION SURVEY DIVISION (24 HOURS NOTICE PRIOR TO COMMENCEMENT OF WORK)	792-7272
 - ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
 - ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
 - THE CONTRACTOR SHALL PROVIDE A JOINT IN ALL SEWER MAINS WITHIN 2'-0" OF EXTERIOR MANHOLE WALLS.
 - PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
 - NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT TO SURFACE.
 - TOPO TAKEN FROM FIELD RUN SURVEY DATED JULY 86 BY THE RIEMER GROUP INC.
 - ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL STORM DRAIN PIPE BEDDING SHALL BE AS SHOWN IN DETAIL 02.01 (TRENCH IN ROCK OR TRENCH IN EARTH AS DETERMINED BY FIELD CONDITIONS) IN VOL. IV OF HOWARD COUNTY DESIGN MANUAL UNLESS OTHERWISE DIRECTED BY THE ENGINEER OR AS SHOWN ON THE DRAWINGS.
 - THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND / OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR THE SEDIMENT AND EROSION CONTROL PRACTICES, STORM WATER MANAGEMENT PRACTICES AND THE DISCHARGE OF STORM WATER ONTO OR ACROSS ADJACENT OR DOWNSTREAM PROPERTIES INCLUDED IN THIS PLAN. HE IS ALSO RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR WORK ON ADJACENT PROPERTIES INCLUDED IN THIS PLAN.
 - THE OWNER SHALL PROVIDE A SEPARATE AND INDEPENDENT SEWER CONNECTION FOR EACH TENANT OR OCCUPANT OF ANY BUILDING, SHOWN ON THIS SITE DEVELOPMENT PLAN, WHO WILL DISCHARGE NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM IF THIS WASTE IS REGULATED UNDER SECTION 19.122A OF THE HOWARD COUNTY CODE. EACH SEPARATE AND INDEPENDENT SEWER CONNECTION SHALL INCLUDE A STANDARD MANHOLE AND OTHER WASTE PRETREATMENT DEVICES AS REQUIRED AND APPROVED BY HOWARD COUNTY. WASTE LINES ON THE INTERIOR OF THE BUILDING SHALL BE DESIGNED, CONSTRUCTED OR MODIFIED SUCH THAT NON-DOMESTIC WASTE WILL BE DISCHARGED TO THE SEPARATE AND INDEPENDENT SEWER CONNECTION. NO TENANT OR OCCUPANT OF ANY BUILDING SHOWN ON THIS SITE DEVELOPMENT PLAN SHALL DISCHARGE REGULATED NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM PRIOR TO INSTALLATION OF THE SEPARATE AND INDEPENDENT SEWER CONNECTION AND RELATED INTERIOR WASTE LINES. THE ABOVE REQUIREMENTS SHALL APPLY TO ALL INITIAL AND FUTURE OCCUPANTS OR TENANTS.



SITE TABULATION

TOTAL AREA OF PARCEL ZONING	5.689 Ac. (247,813 S.F.) RT-EMPLOYMENT CENTER COMMERCIAL FDP-132-A-III
PROPOSED USES	RESTAURANT RETAIL
EXISTING USE	RESTAURANT
BUILDING NO. 1 (EXISTING)	6784 S.F. RESTAURANT + 1,095 S.F. PATIO AREA (8,019 ± S.F. GROSS AREA) Δ
BUILDING NO. 2 (PROPOSED)	12,572 S.F. NLA RETAIL (13,140 S.F. GROSS AREA)
BUILDING NO. 3 (PROPOSED)	4,345 S.F. RETAIL (4,440 S.F. GROSS AREA)
BUILDING COVERAGE:	BLDG NO. 1 28% (6,984 SF) BLDG NO. 2 53% (13,140 SF) BLDG NO. 3 1.8% (4,440 SF) TOTAL 0.9% (24,510 SF)
PARKING SPACES REQUIRED AS PER FDP 132-A-III	TOTAL 0.9% (24,510 SF)
Δ BUILDING NO. 1: @ 5 SP/1,000 SF = 41 PARKING SPACES	
BUILDING NO. 2: @ 5 SP/1,000 SF = 63	
BUILDING NO. 3: @ 5 SP/1,000 SF = 22	
TOTAL REQUIRED = 126 SPACES	
PARKING PROVIDED (INCL. HANDICAP SPACES)	= 177 SPACES
TOTAL HANDICAP SPACES PROVIDED	= 6 SPACES
51 EXTRA SPACES AFTER INCLUSION OF PATIO PER FDP PARKING REQUIREMENTS. Δ	



ADDRESS CHECK	
BLOCK NUMBER	STREET ADDRESS
1 & 3	6460 DOBBIN CENTERWAY
2	6476 DOBBIN CENTERWAY

SUBDIVISION NAME	SECT./AREA	PARCEL #
COLUMBIA AUTO PARK	1/1	L-2
PLAT # OR L/F	BLOCK #	ZONE
4176	17 & 18	COMM.
TAX/ZONE MAP	ELEC. DIST.	CENSUS TR.
36	6	6048.02
WATER CODE	SEWER CODE	
E-06	5485000	

AS-BUILT SURVEY CERTIFIED BY
ARTHUR E. MUEGGEL, III, M.D., P.E.
NO. 8707 ON 5-15-89.

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: 2-3-88

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,
HOWARD COUNTY HEALTH DEPARTMENT
[Signature] 3-9-88
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.
[Signature] 3-14-88
PLANNING DIRECTOR DATE

[Signature] 3/11/88
CHIEF, DIVISION OF
COMMUNITY PLANNING AND
LAND DEVELOPMENT DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM
DRAINAGE SYSTEMS AND PUBLIC ROADS.
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
[Signature] DATE
DIRECTOR

[Signature] 6-25-88
CHIEF, BUREAU OF ENGINEERING DATE

5-29-91 Δ MODIFIED SITE TABULATION TABLE
8-14-94 Δ ADD BLDG 3 ADDITION & REV. SITE TAB.
DATE NO REVISION

OWNER: DOBBIN SQUARE LTD PARTNERSHIP
1000 EQUITABLE BANK CENTER
COLUMBIA, MARYLAND 21044

DEVELOPER: MCCUAW DEVELOPMENT GROUP, INC.
1000 EQUITABLE BANK CENTER
COLUMBIA, MARYLAND 21044

PROJECT: DOBBIN SQUARE
RETAIL BUILDING ADDITION TO SGP 83 210C


AREA: COLUMBIA AUTO PARK SECTION I, AREA I
PARCEL L-2
TAX MAP NO. 36 PLO PARCEL 446
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE: TITLE SHEET

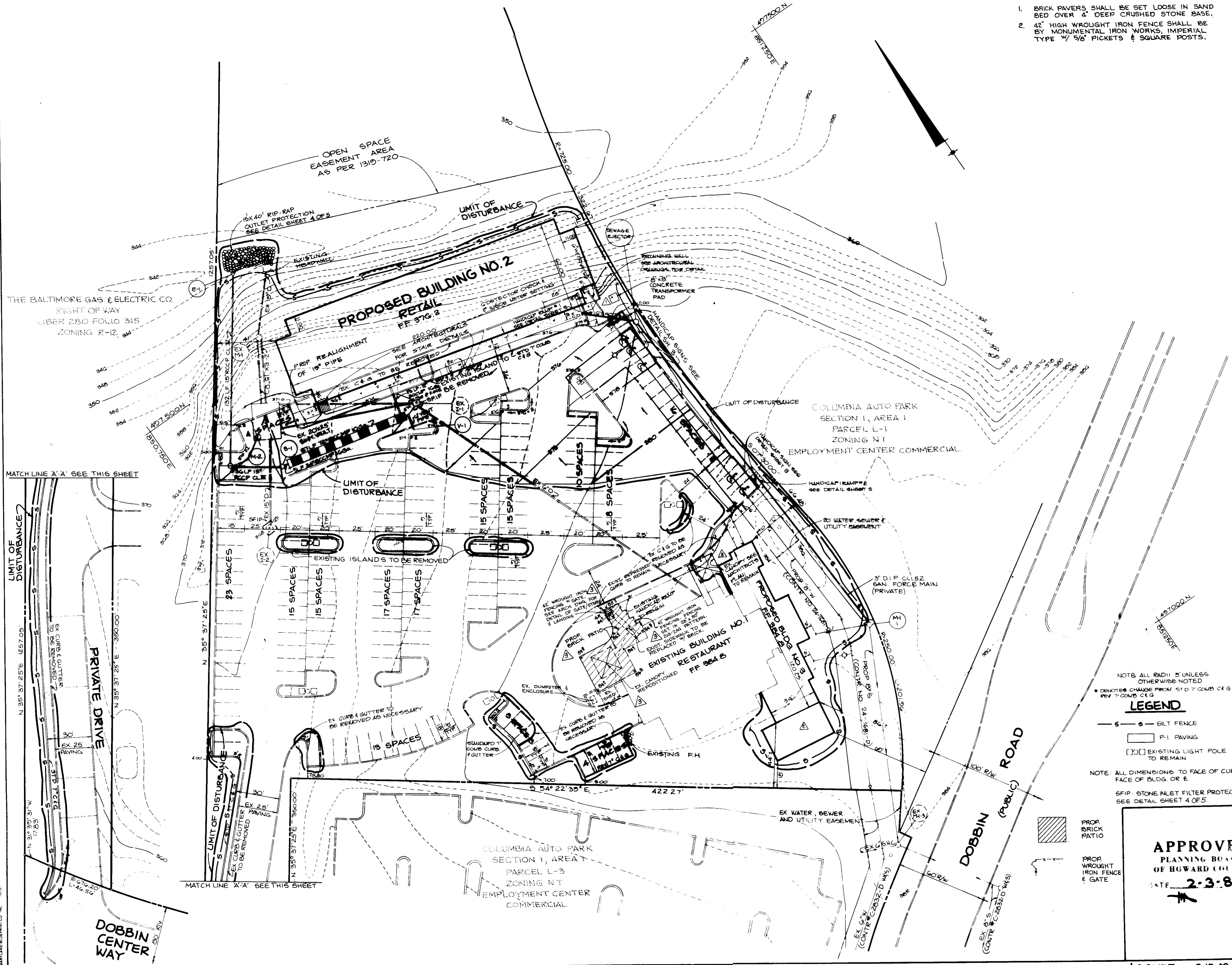
THE RIEMER GROUP, INC.
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm
3106 Health Park Drive, Ellicott City, Maryland 21043 (301) 461-2600

DATE: 2-3-88
DESIGNED BY: JKB
DRAWN BY: M.A.D.
PROJECT NO: 32204
DATE:
SCALE: AS SHOWN
DRAWING NO. 1 OF 5

AS-BUILT 5-15-89. SGP-87-28C

PATIO NOTES 

- BRICK PAVERS SHALL BE SET LOOSE IN SAND BED OVER 4" DEEP CRUSHED STONE BASE.
- 42" HIGH WROUGHT IRON FENCE SHALL BE BY MONUMENTAL IRON WORKS, IMPERIAL TYPE W/ 5/8" PICKETS & SQUARE POSTS.



NOTE: ALL RADII 5' UNLESS OTHERWISE NOTED
 * DENOTES CHANGE FROM STD T-COMB C&G TO REV T-COMB C&G




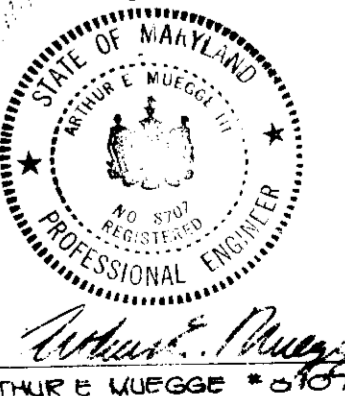
LEGEND

- S — S — GILT FENCE
- P-1 PAVING
- (□) EXISTING LIGHT POLE TO REMAIN

NOTE: ALL DIMENSIONS TO FACE OF CURB, FACE OF BLDG. OR E

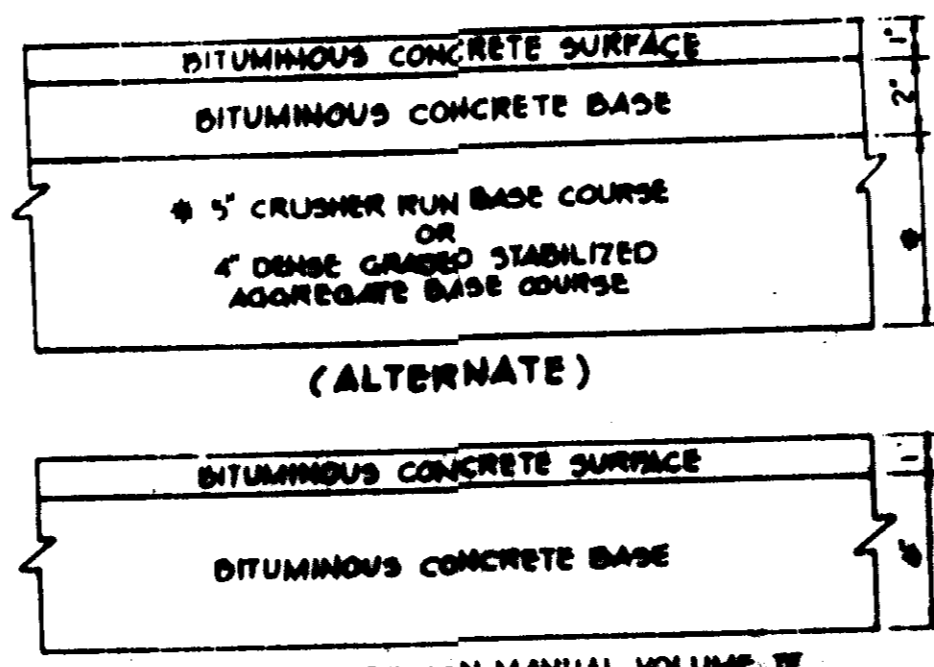
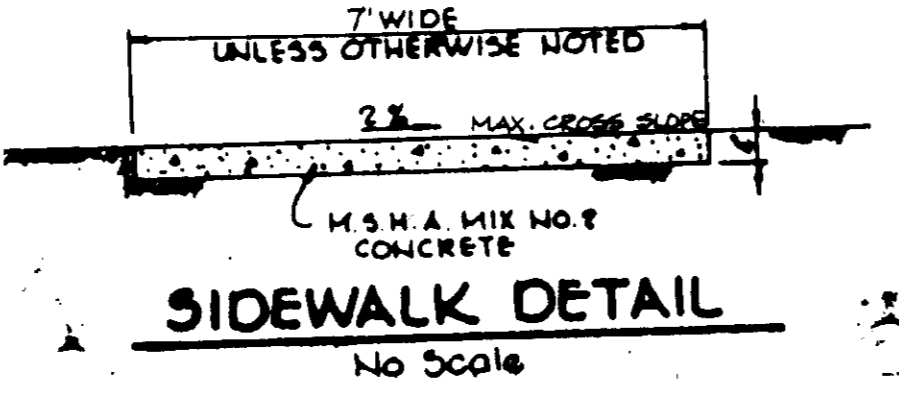
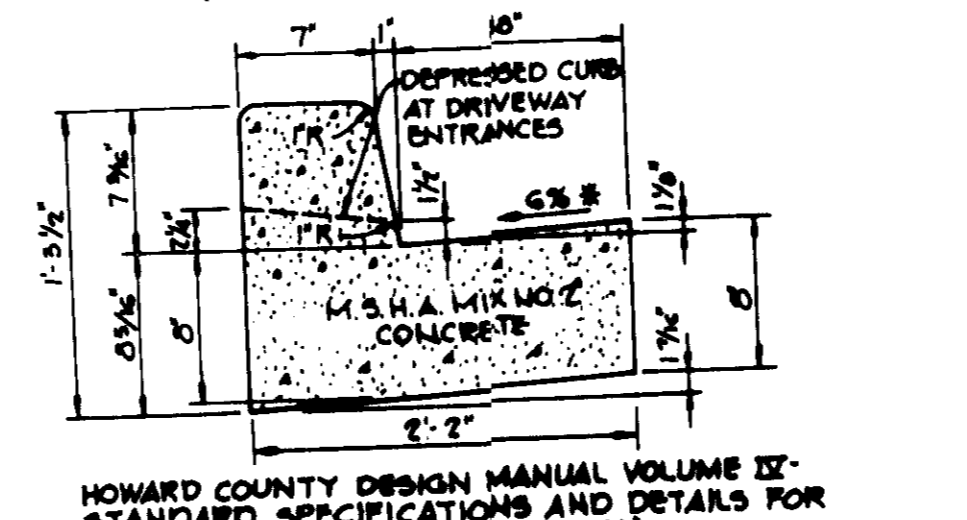
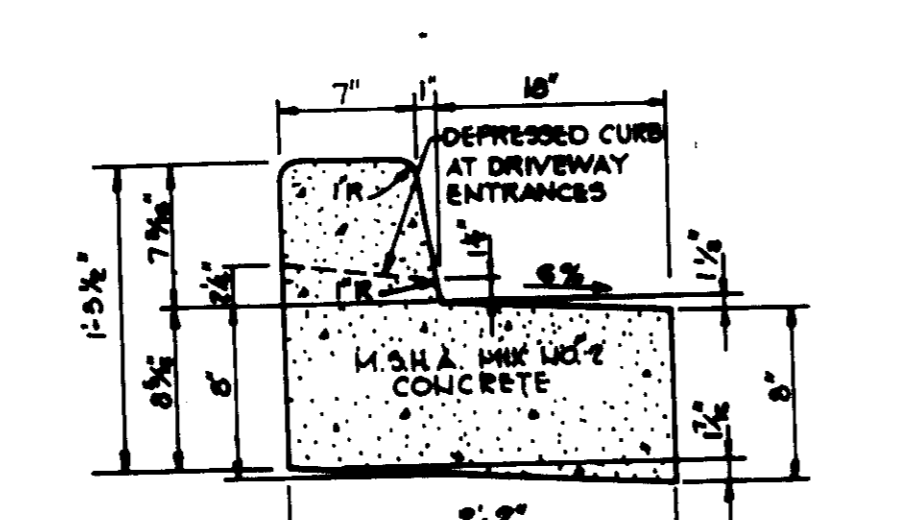
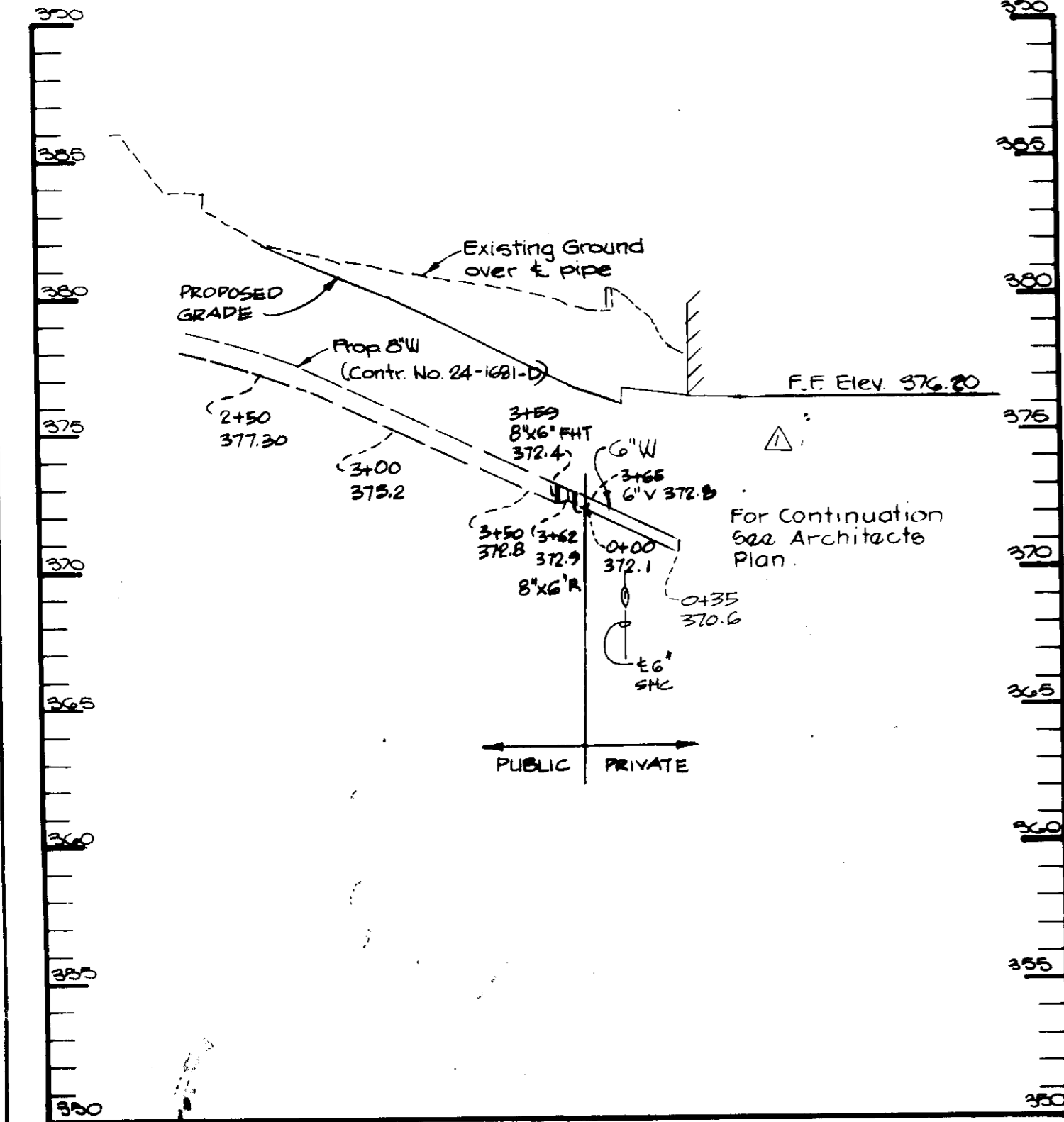
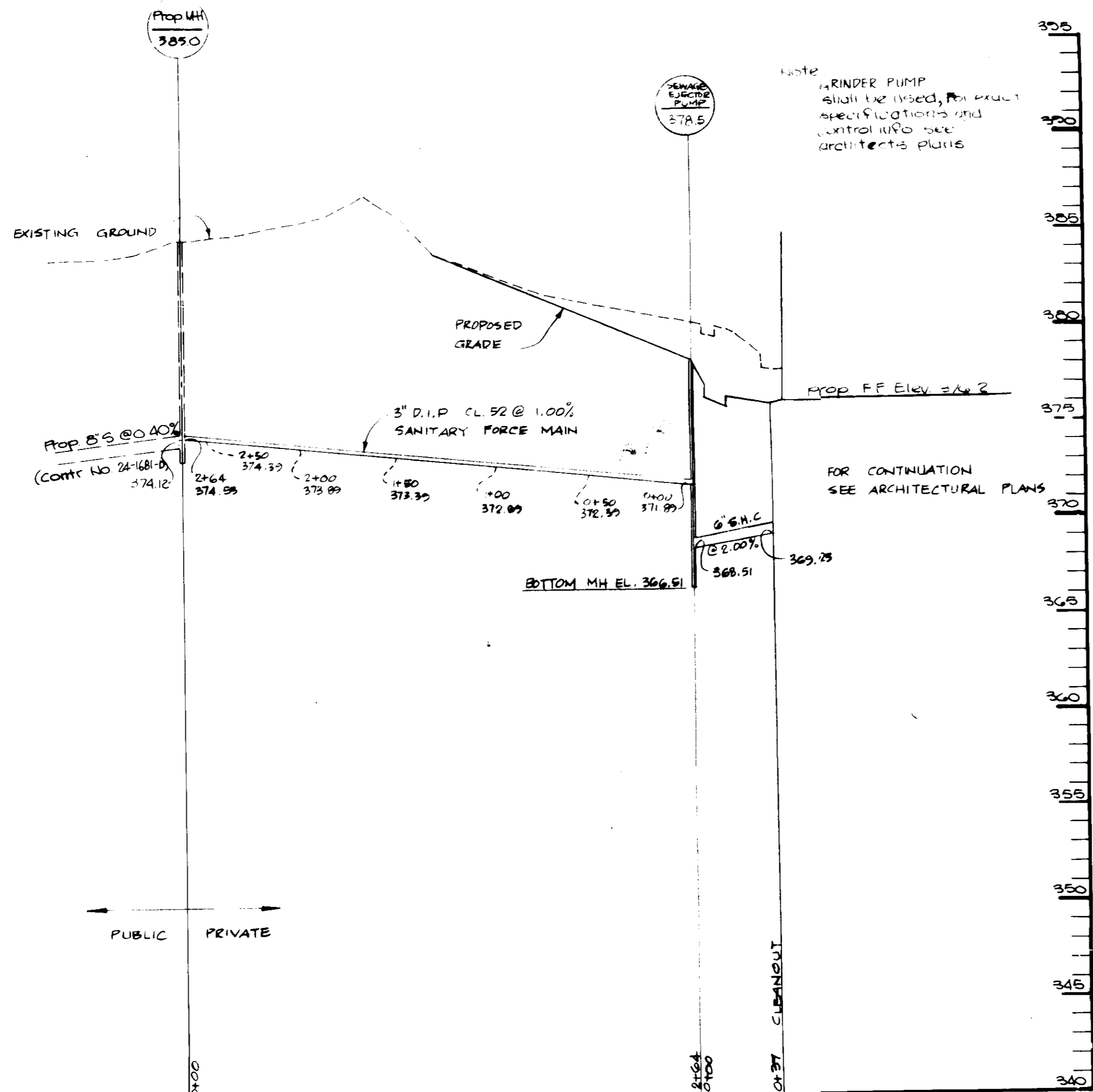
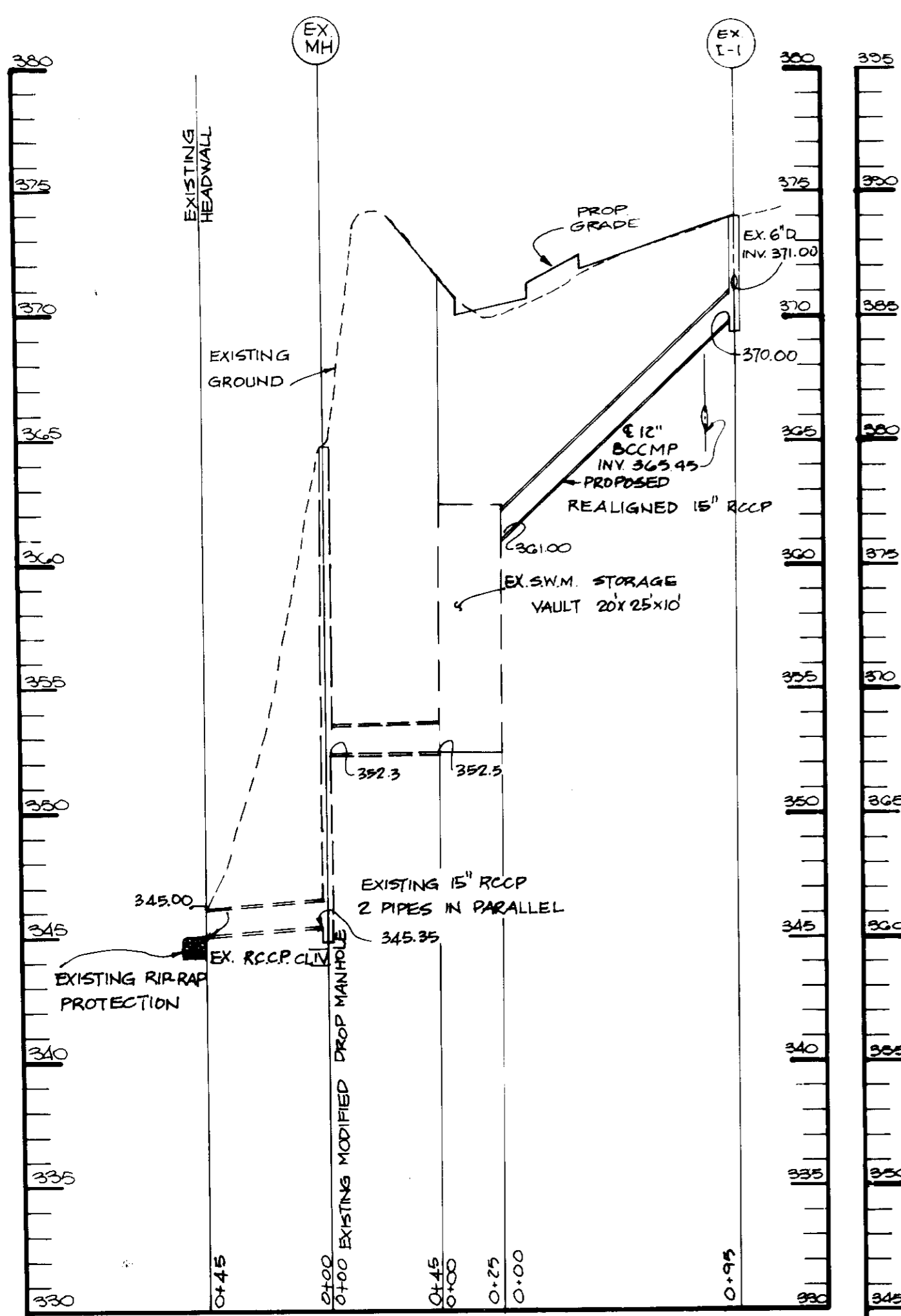
SP-IP - STONE INLET FILTER PROTECTION SEE DETAIL SHEET 4 OF 5

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE: 2-3-88

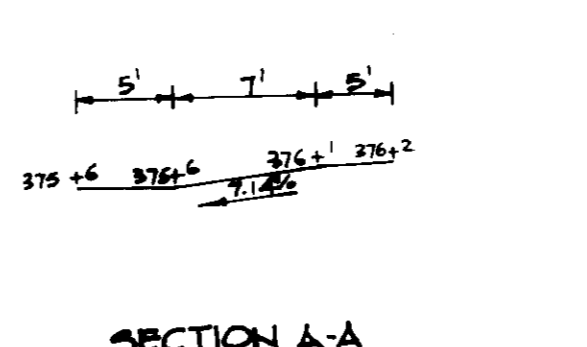
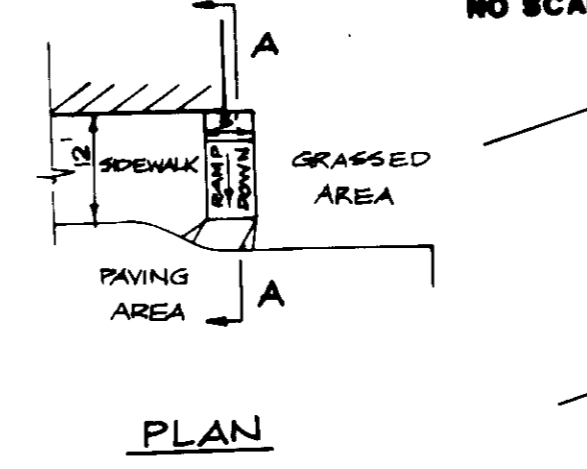
5-29-91  ADD'D PROPOSED BRICK PATIO 1 1/2" WROUGHT IRON FENCE. PATIO NOTES, REPOSITION EX. CANOYS.	
BY THE DEVELOPER: "I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT." DEVELOPER: <i>James M. Selby</i> DATE: 2-19-88	
BY THE ENGINEER: "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT." ENGINEER: <i>Arthur E. Muegge</i> DATE: 2-17-88	
REVIEWED FOR: <u>HOWARD</u> S.C.D. NAME	AND MEETS TECHNICAL REQUIREMENTS
REVIEWER: <i>James M. Selby</i> DATE: 2-24-88	U.S. SOIL CONSERVATION SERVICE
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT. APPROVED: <i>Stephen L. Shubert</i> DATE: 2/24/88 HOWARD S.C.D.	
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT. APPROVED: <i>James M. Selby</i> DATE: 3-7-88 COUNTY HEALTH OFFICER	
APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING. APPROVED: <i>William J. ...</i> DATE: 3-14-88 PLANNING DIRECTOR	
APPROVED: DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT. APPROVED: <i>James M. Selby</i> DATE: 3/11/88 DIRECTOR	
APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS. HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS APPROVED: <i>James M. Selby</i> DATE: 3/1/88 DIRECTOR	
APPROVED: <i>William J. ...</i> DATE: 2-29-88 CHIEF, BUREAU OF ENGINEERING	
8-14-04  ADD BLDG 3 ADDITION	
7-11-88  CHANGE PRIVATE WATER CONNECTION ALIGNMENT	
DATE	NO. REVISION
OWNER: DOBBIN SQUARE LTD PARTNERSHIP 1000 EQUITABLE BANK CENTER COLUMBIA, MARYLAND 21044	
DEVELOPER: M'CUAN DEVELOPMENT GROUP, INC. 1000 EQUITABLE BANK CENTER COLUMBIA, MARYLAND 21044	
PROJECT: DOBBIN SQUARE RETAIL BUILDING ADDITION(S) TO SDR-B3-216C	
AREA: COLUMBIA AUTO PARK SECTION 1, AREA 1 PARCEL L-2 TAX MAP NO. 36 P/S PARCEL 446 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND	
TITLE: SITE DEVELOPMENT PLAN	
THE RIEMER GROUP, INC. The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm 3105 North Ridge Road, Ellicott City, Maryland 21043 (301) 461-2690	
DATE: 2-19-88	DESIGNED BY: J.K.B.
	DRAWN BY: D.D.B.
	PROJECT NO: 32204
DATE:	SCALE: 1"=30'
DATE: 2-19-88	DRAWING NO: 2 OF 5

AS-BUILT 5-15-89

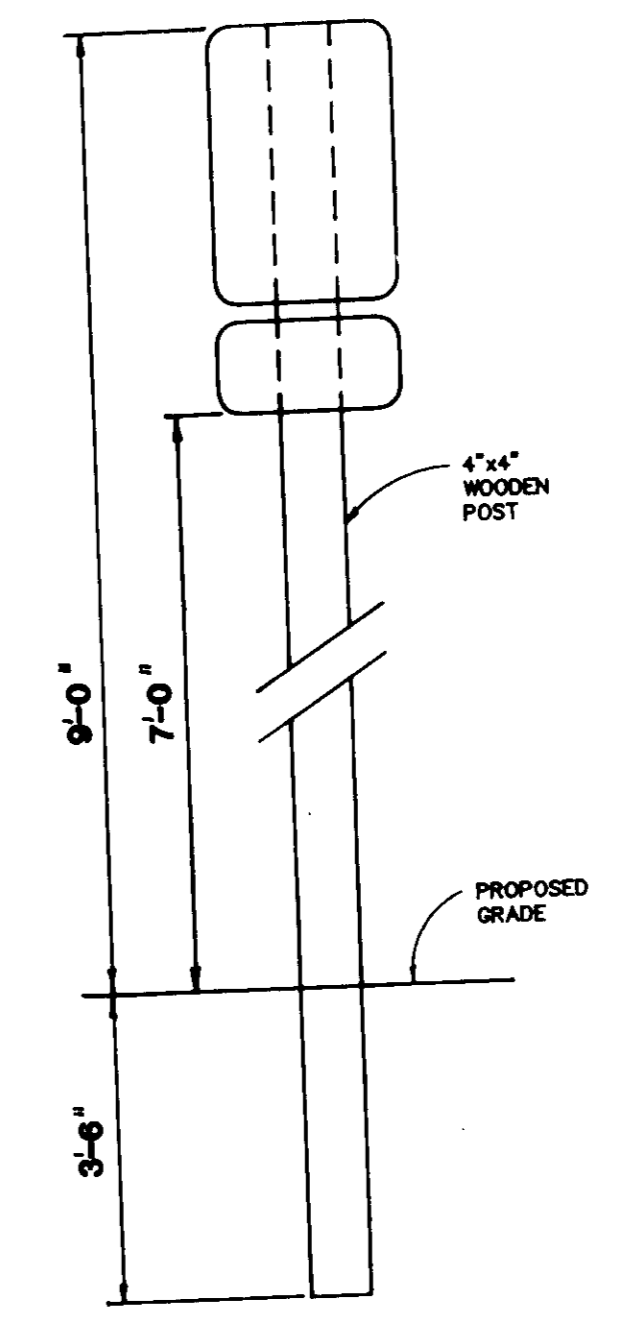
SDP-87-218 C



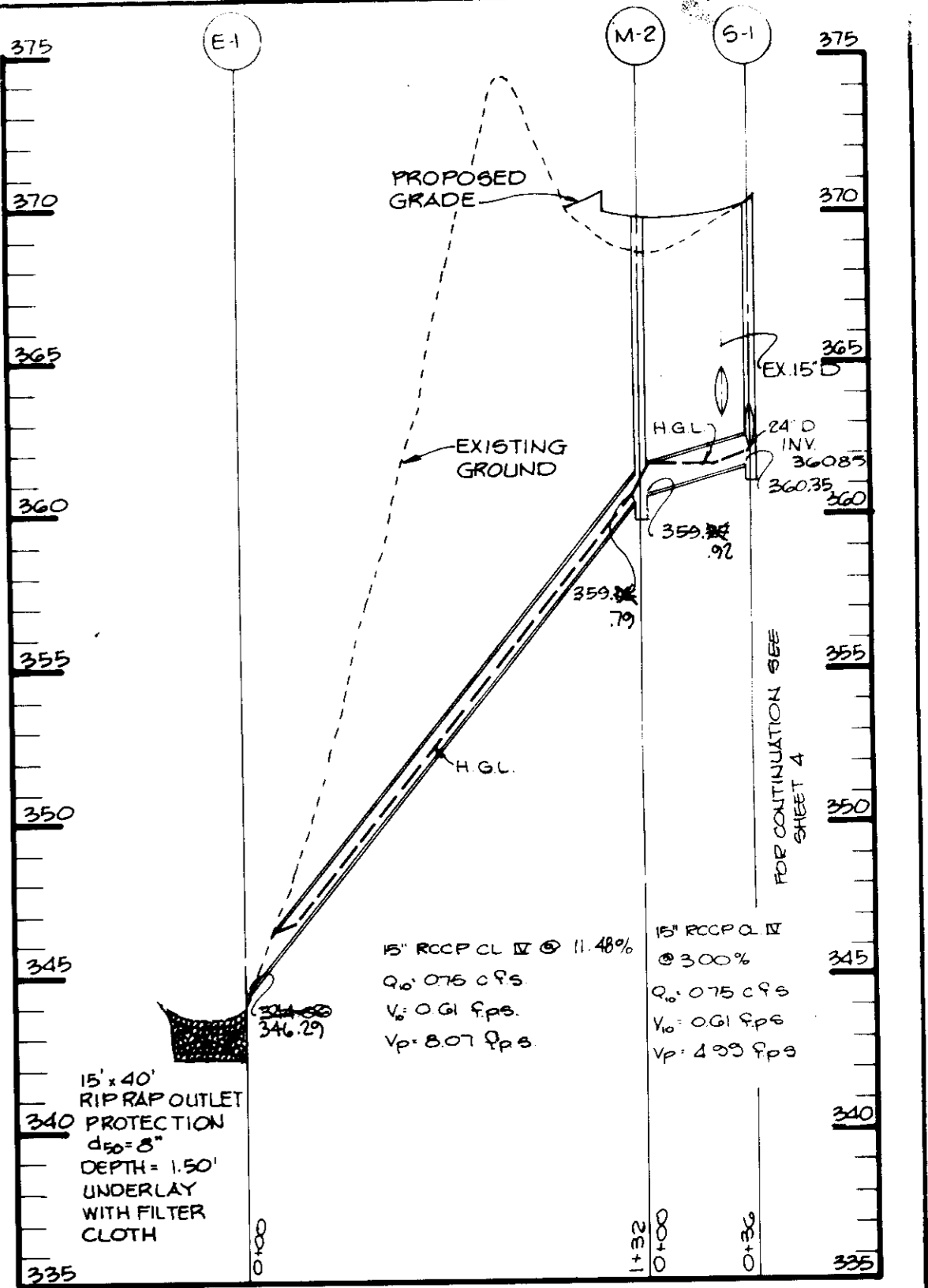
HANDICAP PARKING DETAIL



HANDICAP RAMP #1 DETAIL



HANDICAP RAMP #2 DETAIL



STORM DRAIN PROFILE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.
Josiah Boyle 3/7/88
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.
W. H. Smith 3/11/88
PLANNING DIRECTOR DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
James A. Smith 3/1/88
DIRECTOR DATE

William E. Ruppel 2-23-88
CHIEF, BUREAU OF ENGINEERING DATE

DATE	NO.	REVISION
7-11-88	1	CHANGE WATER PROFILE

OWNER: DOBBIN SQUARE LTD PARTNERSHIP
1000 EQUITABLE BANK CENTER
COLUMBIA, MARYLAND 21044

DEVELOPER: MFCUAI DEVELOPMENT GROUP, INC.
1000 EQUITABLE BANK CENTER
COLUMBIA, MARYLAND 21044

PROJECT: DOBBIN SQUARE
RETAIL BUILDING ADDITION(S) TO SDP-83-216-C

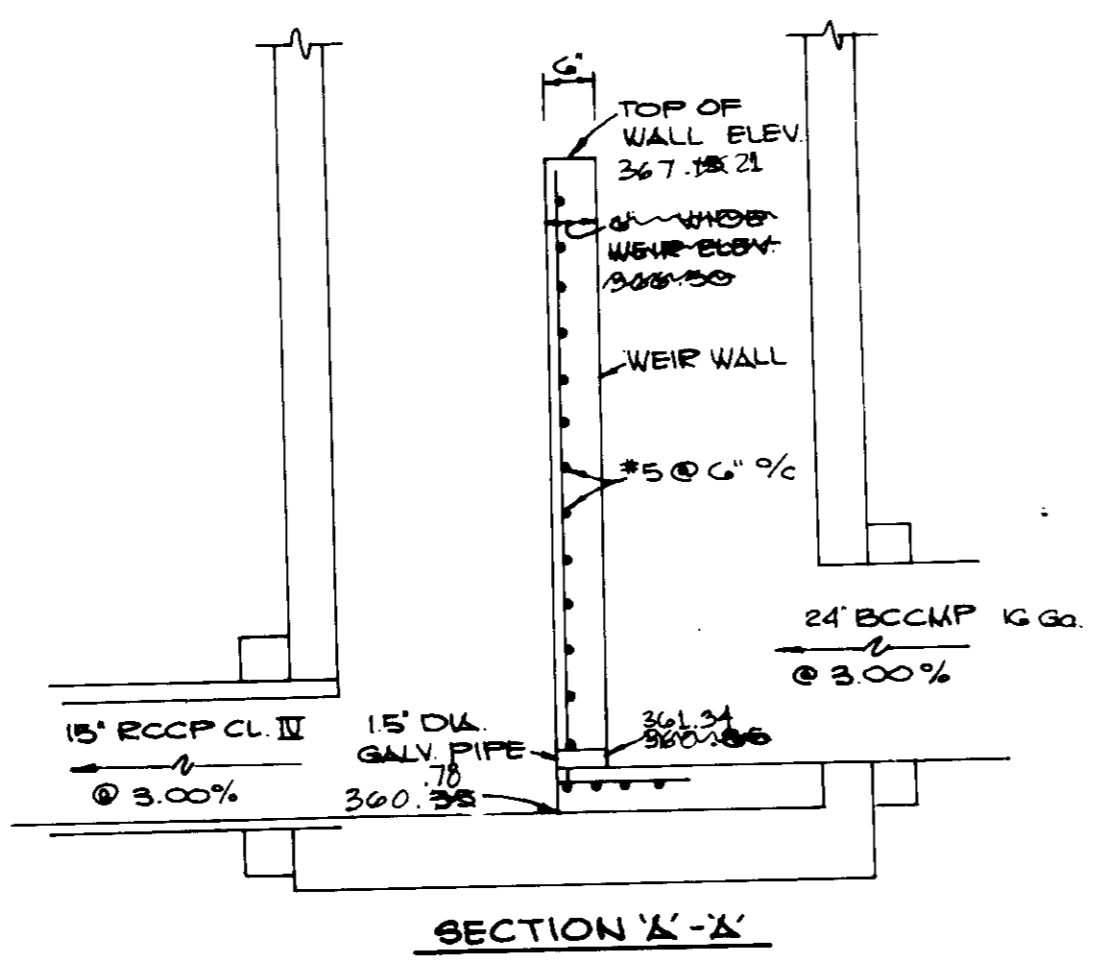
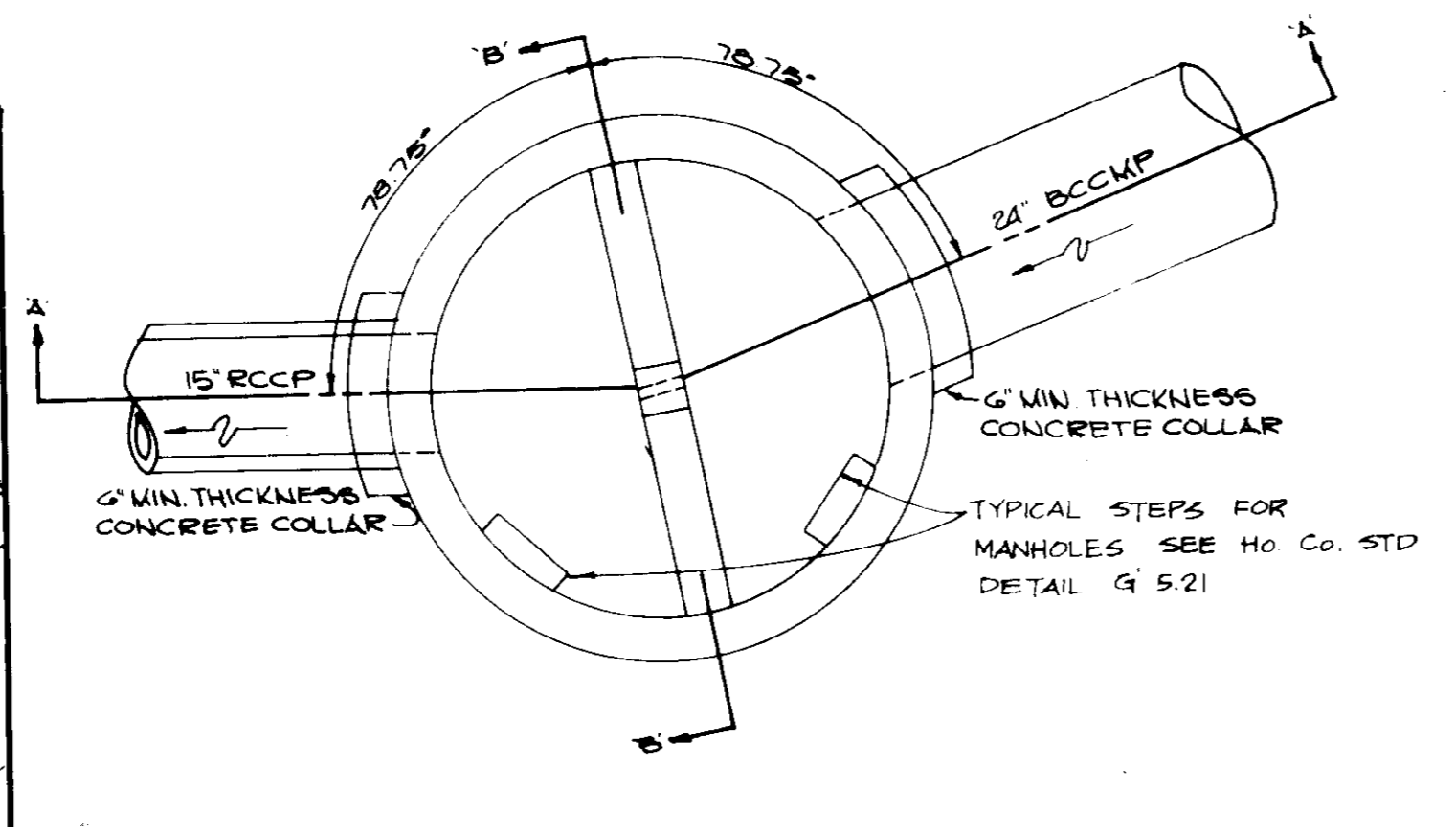
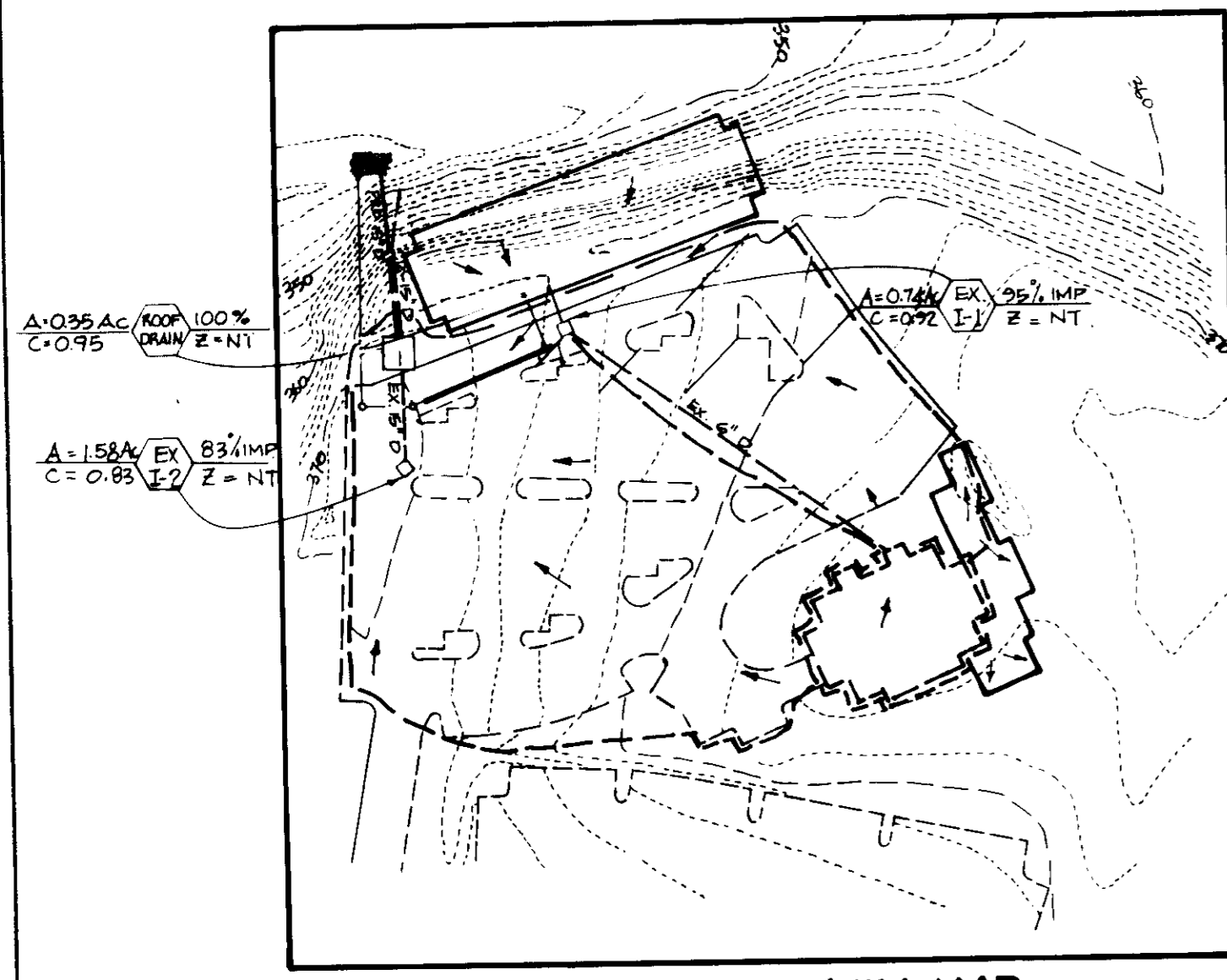
AREA: COLUMBIA AUTO PARK SECTION 1, AREA 1
PARCEL L-2
TAX MAP NO. 22 P10 PARCEL 44C
GTA ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE: PROFILES & DETAILS

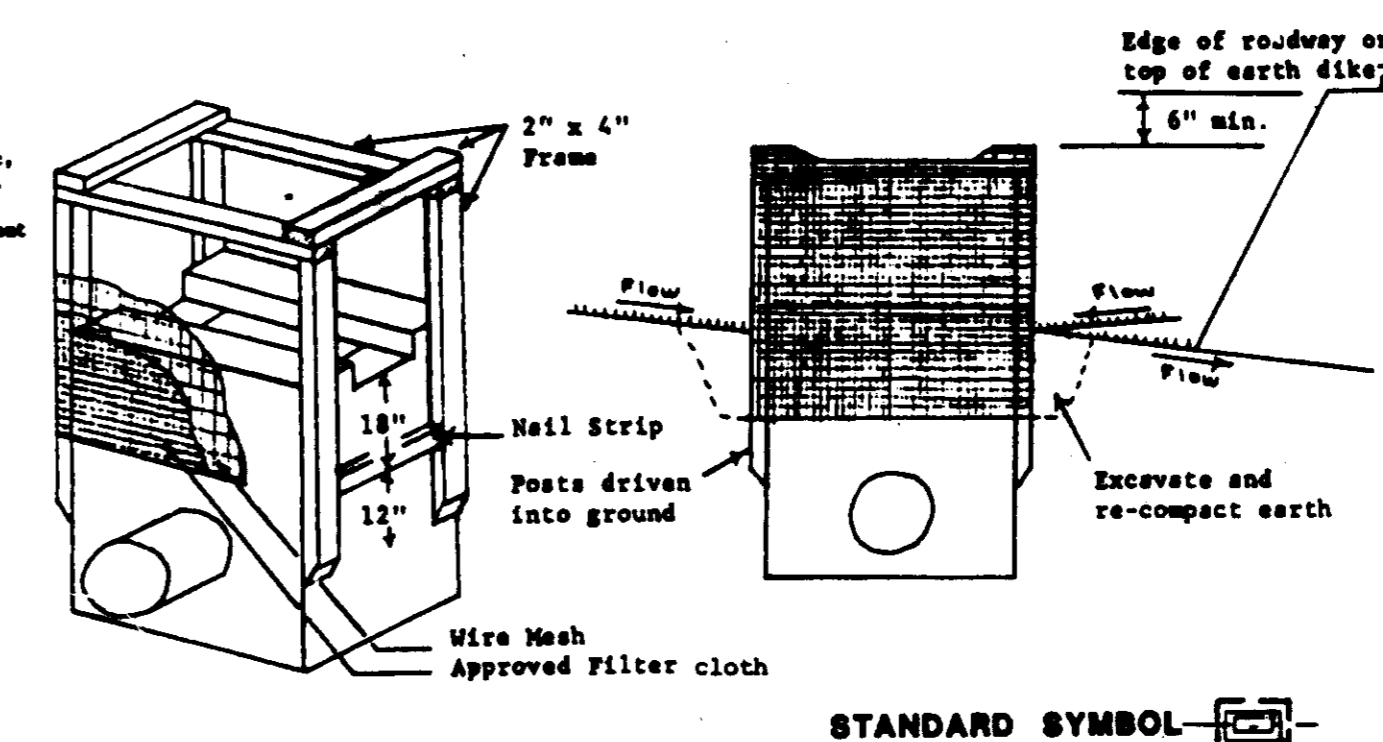
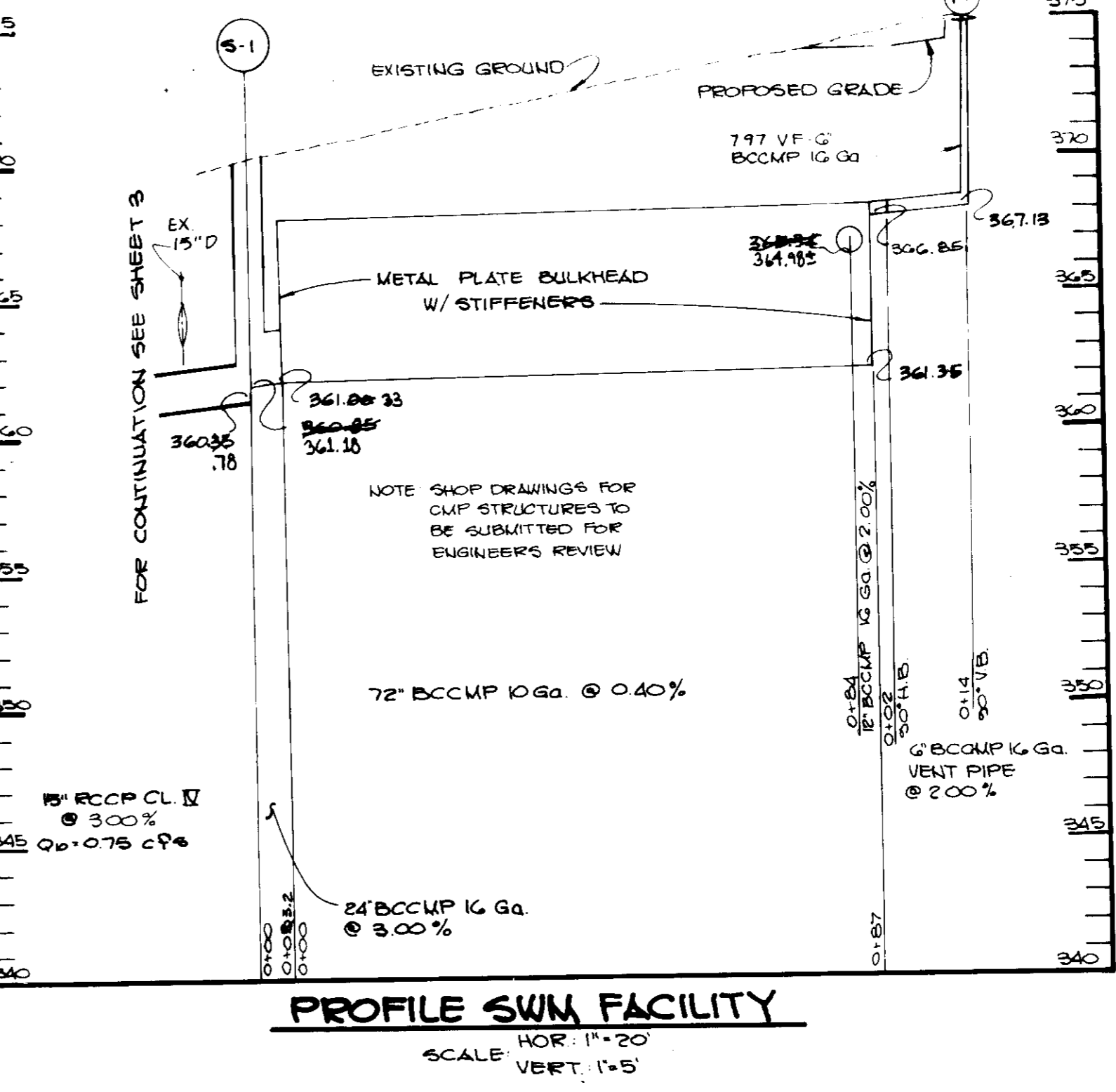
APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: 2-3-88
M

THE RIEMER GROUP, INC.
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm
3106 Health Park Drive, Ellicott City, Maryland 21043 (301) 481-2800

DATE: 2/3/88
DESIGNED BY: C.J.R.
DRAWN BY: M.A.D.
PROJECT NO: 82204
DATE:
SCALE: AS SHOWN
DRAWING NO. 3 OF 5



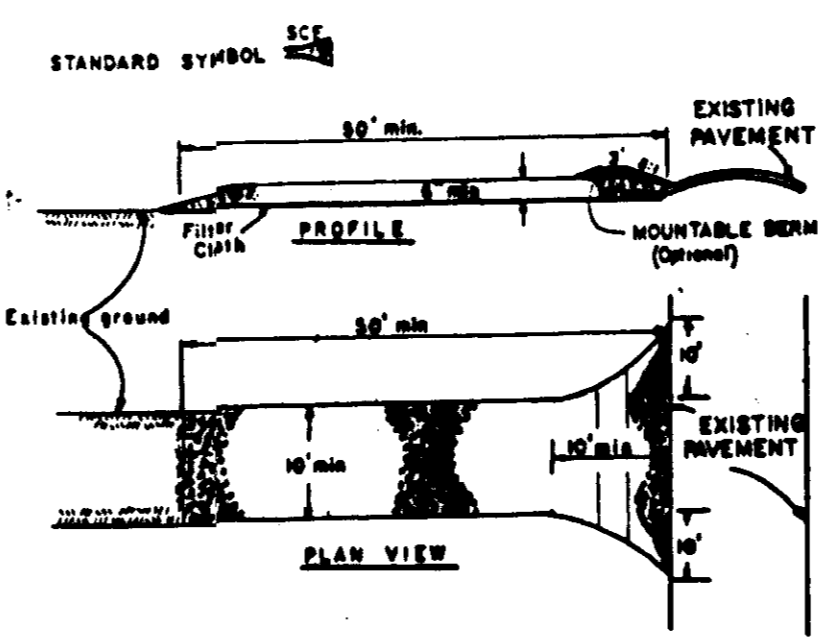
- Construction Specifications**
- Materials**
 - Wooden frame is to be constructed of 2" x 4" construction grade lumber.
 - Wire mesh must be of sufficient strength to support filter fabric, and stem for curb inlets, with water fully impounded against it.
 - Filter cloth must be of a type approved for this purpose; resistant to sunlight with stone size, 200, 40-85, to allow sufficient passage of water and removal of sediment.
 - Stone is to be 2" in size and clean, since fines would clog the cloth.
 - Procedure**
 - A sump, ditchline or yard inlet protection.
 - Excavate completely around inlet to a depth of 18" below notch elevation.
 - Drive 2 x 4 post 1' into ground at four corners of inlet. Place wall strip between posts on each of inlet. Assemble top portion of 2 x 4 frame using overlap joint shown. Top of frame (center) must be 6" below edge of roadway adjacent to inlet.
 - Stretch wire mesh tightly around frame and fasten securely. Make sure mesh is tight.
 - Stretch filter cloth tightly over wire mesh, the cloth must extend from top of frame to 18" below inlet notch also. Fasten securely to frame. Make sure mesh is tight, be overlapped and folded, then fastened down.
 - Backfill around inlet in compacted 4" layers until layer of earth is even with notch elevation on road and top elevation on sidewalk.
 - If the inlet is not in a low point, construct a compacted earth ditch in the ditchline below it. The top of this ditch is to be at least 6" higher than the top of frame (center).
 - This structure must be inspected frequently and the filter fabric replaced when clogged.



STONE FILTER INLET PROTECTION

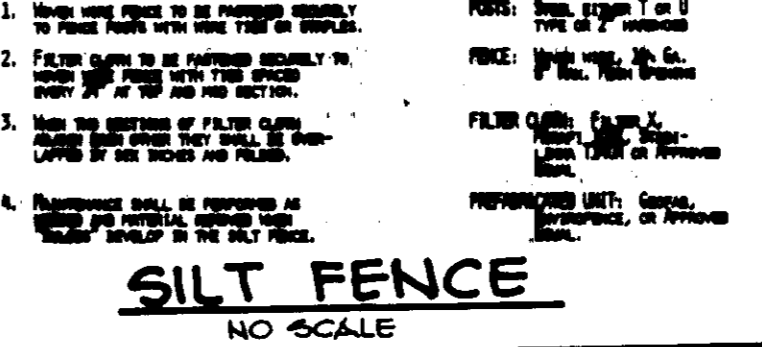
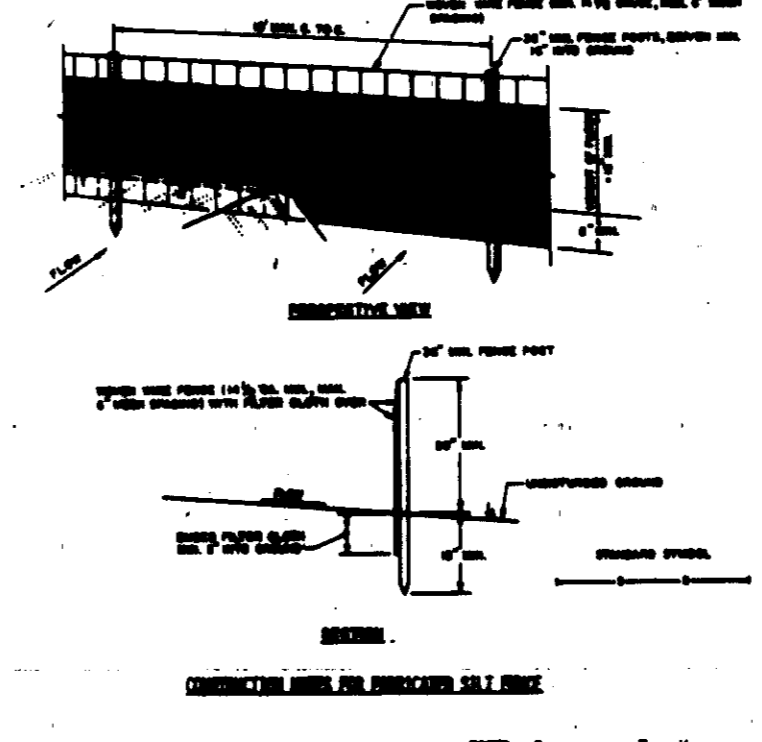
- SEQUENCE OF CONSTRUCTION**
- OBTAIN A GRADING PERMIT.
 - INSTALL SILT FENCE AS SHOWN ON PLANS. (1 day)
 - REMOVE SUFFICIENT PAVEMENT AROUND EXISTING INLET 1-1, LOWER GRATE TO SPECIFIED ELEVATION AND INSTALL INLET PROTECTION AS SHOWN. (2 days)
 - COMPLETE REMAINING CONSTRUCTION. *(12 weeks) (ANY DEWATERING REQUIRED DURING CONSTRUCTION WILL BE OBTAINED THROUGH USE OF PUMP PITS SEE DETAIL THIS SHEET.)
 - STABILIZED ALL AREAS IN ACCORDANCE WITH THE PERMANENT SEEDING NOTES. (3 days)
 - UPON PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL REMAINING SEDIMENT CONTROLS AND STABILIZE ALL AREAS DISTURBED IN THEIR REMOVAL IN ACCORDANCE WITH THE PERMANENT SEEDING NOTES. (1 day)
- *IF AT ANY TIME TRACKING OF MUD BECOMES SIGNIFICANT A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED.

STONE FILTER INLET PROTECTION NOTES



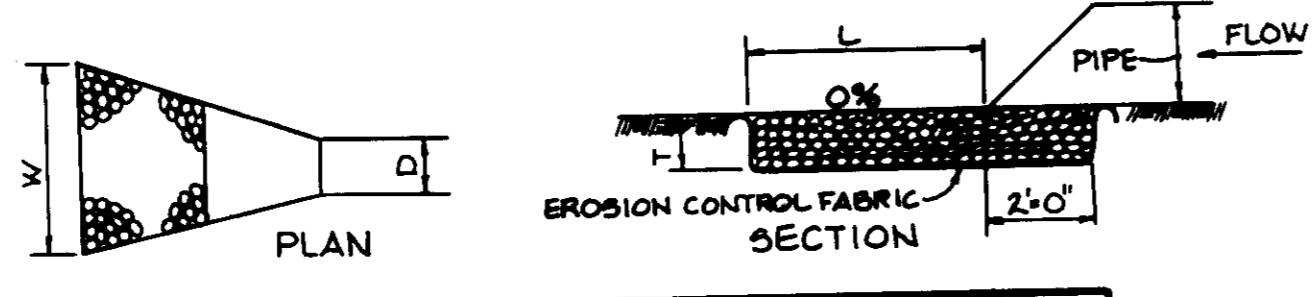
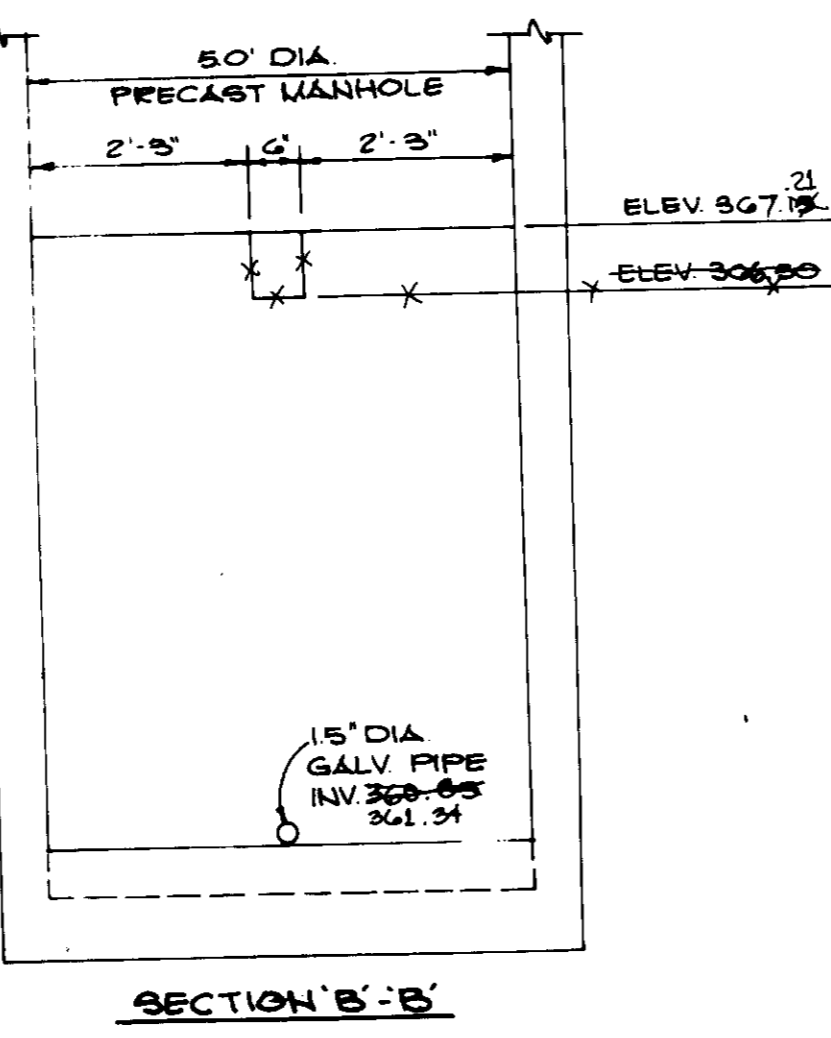
- CONSTRUCTION SPECIFICATION**
- Stone size - up to 3" stone, or plastic or recycled concrete equivalent.
 - Length - as required, but not less than 30 feet except on a single residential lot where a 20 foot minimum length would apply.
 - Thickness - Not less than 6" (6) inches.
 - Width - 50" (5) feet minimum, but not less than the full width of the inlet.
 - Filter cloth - Will be placed over the entire area prior to placing of stone. Filter will not be covered on a slope facing roadway.
 - Median barrier - All median barriers showing or approved tapered end-connection entrance shall be placed against the entrance. If slope is perpendicular to entrance, a minimum height with 2:1 slopes will be provided.
 - Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flinging of sediment onto public right-of-way. This may require periodic top dressing with additional stone or conditions demand routine application of any material used to top surface. All and repair and/or alteration of any entrance used to top surface. All and repair and/or alteration of any entrance used to top surface.
 - Tracking - Stone shall be placed on entrance surface prior to entrance into public right-of-way. When working is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trap. This shall be done immediately.
 - Periodic inspection and needed maintenance shall be provided after each rain-event.

STABILIZED CONSTRUCTION ENTRANCE



NOTES

- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH HO. CO. STANDARD DETAIL G 5.13 5' DIA. STANDARD PRECAST MANHOLE EXCEPT THAT THE FIRST 3 VERTICAL FEET MUST BE 5' DIA. SECTIONS
- ALL REBAR SHALL HAVE A 2" MIN CLEAR COVER
- MANHOLE OPENING SHALL BE A STANDARD HEAVY TRAFFIC FRAME AND COVER PER HO. CO. STANDARD DETAIL G 5.51
- DOUBLE EVERY OTHER HORIZONTAL REBAR IN WEIR WALL AT INTO MANHOLE WALLS. GROUT HOLES WITH NON-SHRINK GROUT PRIOR TO POURING WEIR WALL.



STRUCTURE	MEDIUM STONE DIA.	LENGTH (L)	WIDTH (W)	THICKNESS (T)
E-1	6"	15'	40'	1.5'

- SEDIMENT CONTROL NOTES**
- A minimum of 24 hours notice must be given to the Howard County Office of Inspections and Permits prior to the start of any construction (992-2437)
 - All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
 - Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
 - All sediment traps/basins shown must be fenced and warning signs posted around their perimeters in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
 - All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent stabilization (Sec. 51) and (Sec. 52), temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
 - All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
 - Site Analysis:
Total Area of Site: 5.7 acres
Area Disturbed: 1.1 acres
Area to be roofed or paved: 1.1 acres
Area to be vegetatively stabilized: 1.04 acres
Total Cut: 1.04 cu. yds.
Total Fill: 0 cu. yds.
 - Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
 - Additional sediment controls must be provided, if deemed necessary by the Howard County DPM sediment control inspector.
 - Site grading will begin only after all perimeter sediment control measures have been installed and are in a functioning condition.
 - Sediment will be removed from traps when its depth reaches the clean out elevation shown on the plans.

BY THE DEVELOPER:
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."
DEVELOPER: *Arthur E. Muegge* DATE: 2-19-88

BY THE ENGINEER:
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
ENGINEER: *Arthur E. Muegge* DATE: 2-19-88

REVIEWED FOR: HOWARD NAME: S.C.D.
AND MEETS TECHNICAL REQUIREMENTS
U.S. SOIL CONSERVATION SERVICE: *James M. Nelson* DATE: 2-24-88

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
HOWARD S.C.D.: *Stephen J. Fisher* DATE: 2/24/88

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.
DATE: 2-9-88

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.
PLANNING DIRECTOR: *William J. ...* DATE: 2-23-88
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT: *James S. ...* DATE: 3/1/88

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

DIRECTOR: *James M. Nelson* DATE: 3/1/88
CHIEF, BUREAU OF ENGINEERING: *Arthur E. Muegge* DATE: 2-23-88

REVISION

OWNER: DOBBIN SQUARE LTD PARTNERSHIP
1000 EQUITABLE BANK CENTER
COLUMBIA, MARYLAND 21044

DEVELOPER: HCCUJAL DEVELOPMENT GROUP, INC.
1000 EQUITABLE BANK CENTER
COLUMBIA, MARYLAND 21044

PROJECT: DOBBIN SQUARE
RETAIL BUILDING ADDITION(S) TO SPP-85-216C

AREA: COLUMBIA AUTO PARK SECTION 1, AREA 1
PARCEL L-2
TAX MAP NO. 36 P70 PARCEL 446
GTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE: SEDIMENT CONTROL / SWM DETAILS,
NOTES AND DRAINAGE AREA MAP

THE RIEMER GROUP, INC.
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm
3108 Health Park Drive, Ellicott City, Maryland 21043 (301) 481-2600

DATE: 2-19-88

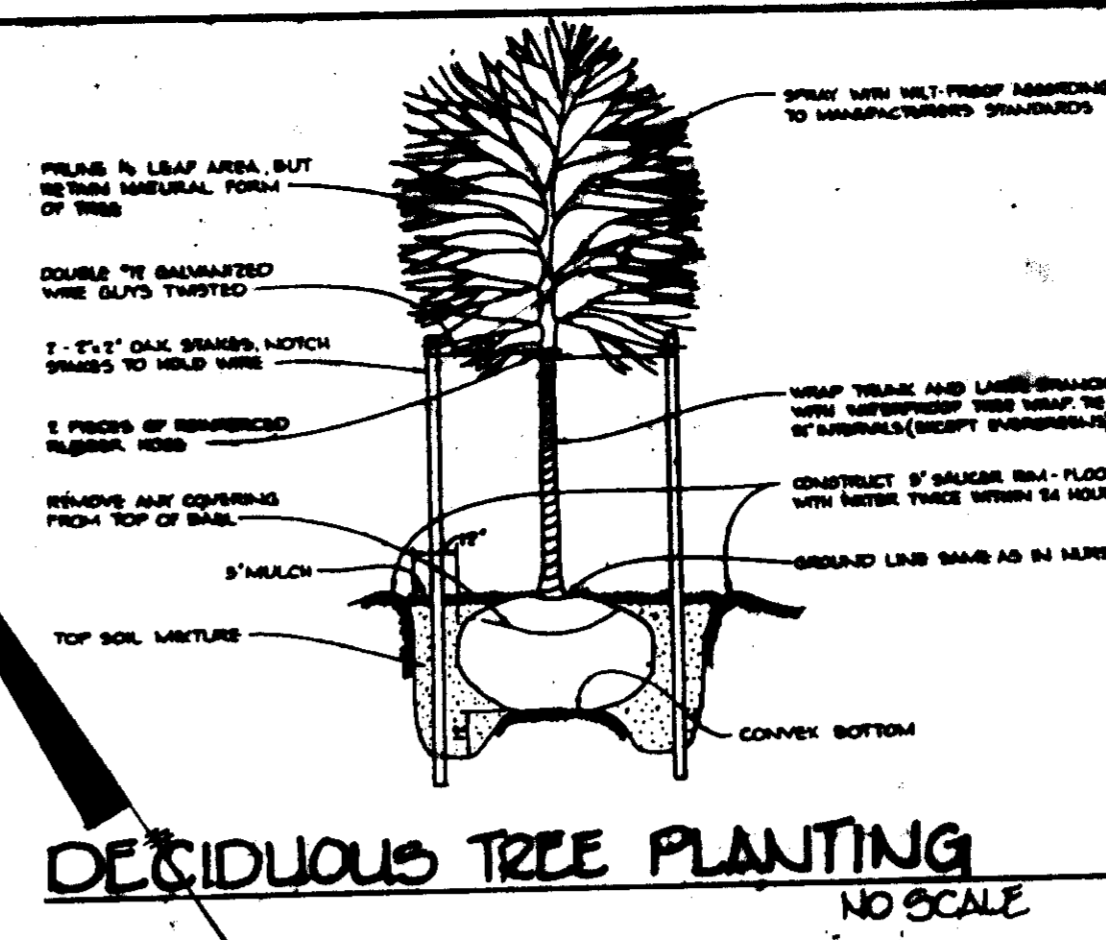
DESIGNED BY: J.K.E.
DRAWN BY: W.A.O.
PROJECT NO: 32204
DATE:
SCALE: AS SHOWN
DRAWING NO. 4 OF 5

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: 2-3-88

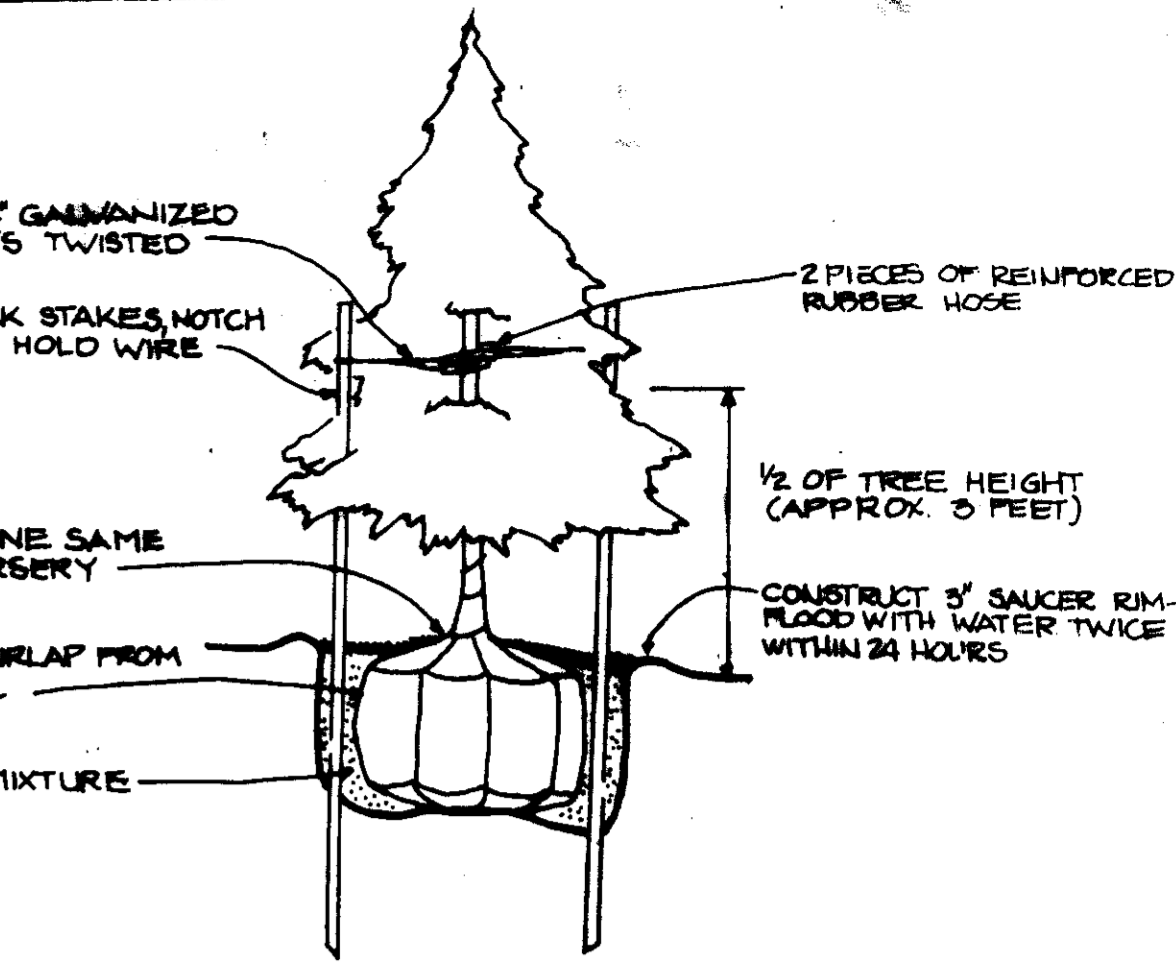
AS-BUILT 5-15-89

SDP-87-218 C

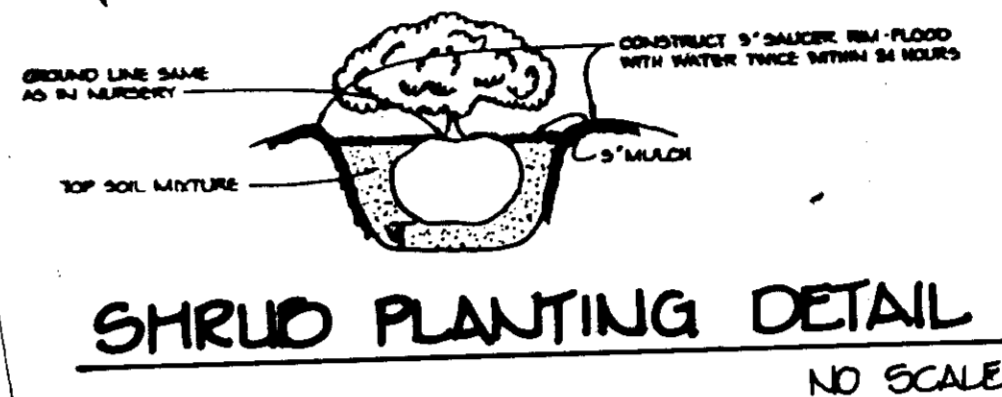
Qty	Symbol	Name	Size	Remarks
1	L	LEUCODENDRON STRIPICORNIA Sheet Oak	2 1/2" Cal., 12-24" Ht.	H&B, Full Head
12	Z	ZELKONA SERRATA 'VILLAGE GREEN' Village Green Zelkova	2 1/2" Cal., 12-24" Ht.	H&B, Full Head
5	P	FRAXINUS CORNICULATA 'ZIMMERMAN' Thunderhead Plane	6-8" Ht.	H&B, Full Head
84	Ps	PRUNUS SEROTINA White Pine	2 1/2" Cal., 6-8" Ht.	H&B, Unheaded
17	E	JUNIPERUS ALATA 'CONIFICA' Dwarf Burgundy Juniper	18-24" Spd.	Container
20	Ja	JUNIPERUS CHINENSIS 'SAN JOSE' San Jose Juniper	18-24" Spd.	Container
18	V	VIBURNUM PLICATUM 'MORRISON' Morris Viburnum	2 1/2" Ht.	H&B
120	J	JUNIPERUS CHINENSIS 'SARGENTI' SARGENT'S JUNIPER	10-24" Spd.	Container



DECIDUOUS TREE PLANTING
NO SCALE

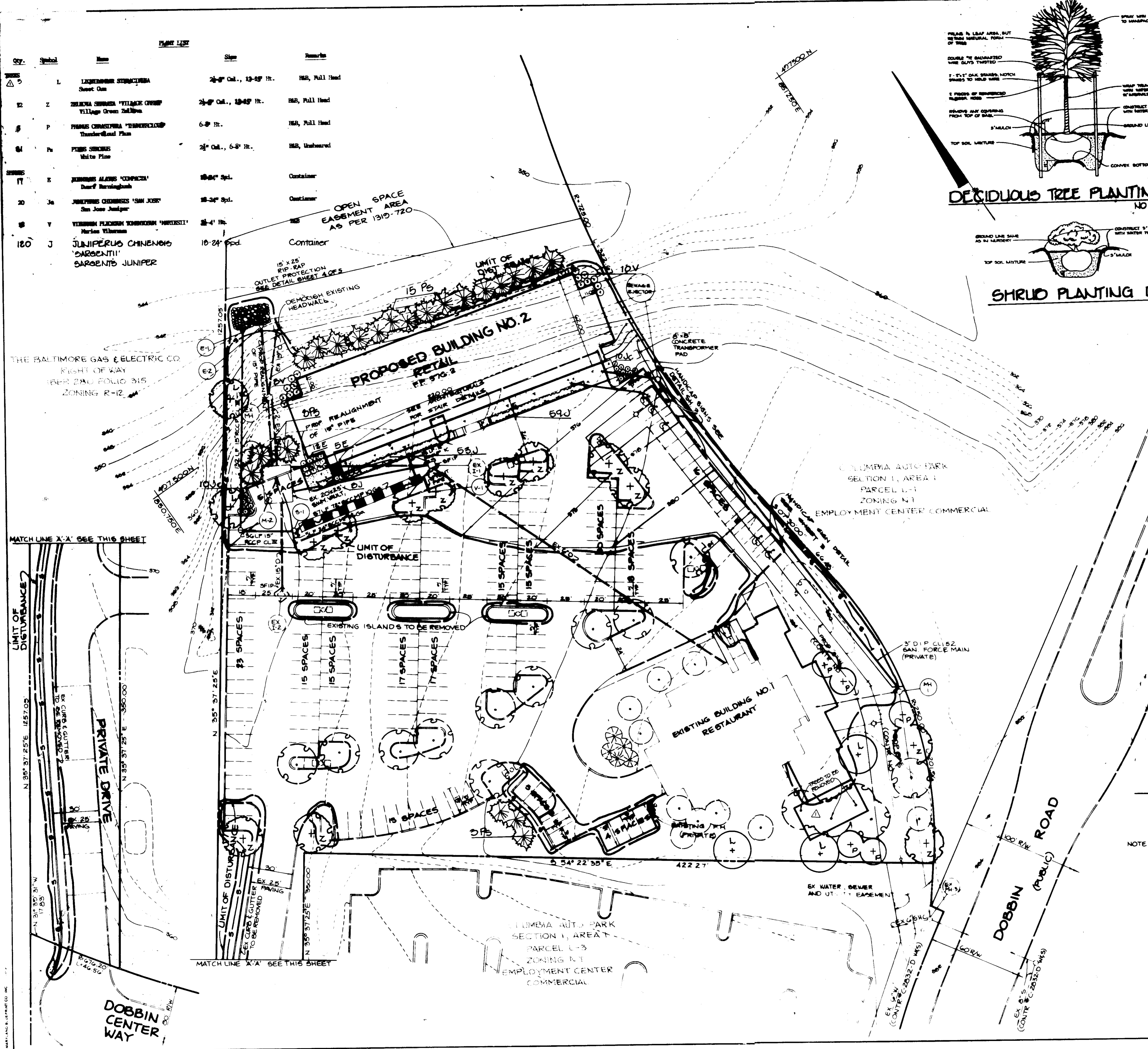


EVERGREEN PLANTING DETAIL
NO SCALE



SHRUB PLANTING DETAIL
NO SCALE

- LEGEND**
- EXISTING EVERGREEN
 - EXISTING DECIDUOUS TREES
 - PROPOSED EVERGREEN
 - PROPOSED DECIDUOUS TREES
 - PROPOSED SHRUBS



APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.	<i>J. J. [Signature]</i> 3-9-88 HEALTH OFFICER	DATE
APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.	<i>[Signature]</i> 3-14-88 PLANNING DIRECTOR	DATE
APPROVED: DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION.	<i>[Signature]</i> 3/16/88 DIRECTOR	DATE
APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS. HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS	<i>[Signature]</i> 3/1/88 DIRECTOR	DATE
	<i>[Signature]</i> 2-23-88 CHIEF, BUREAU OF ENGINEERING	DATE

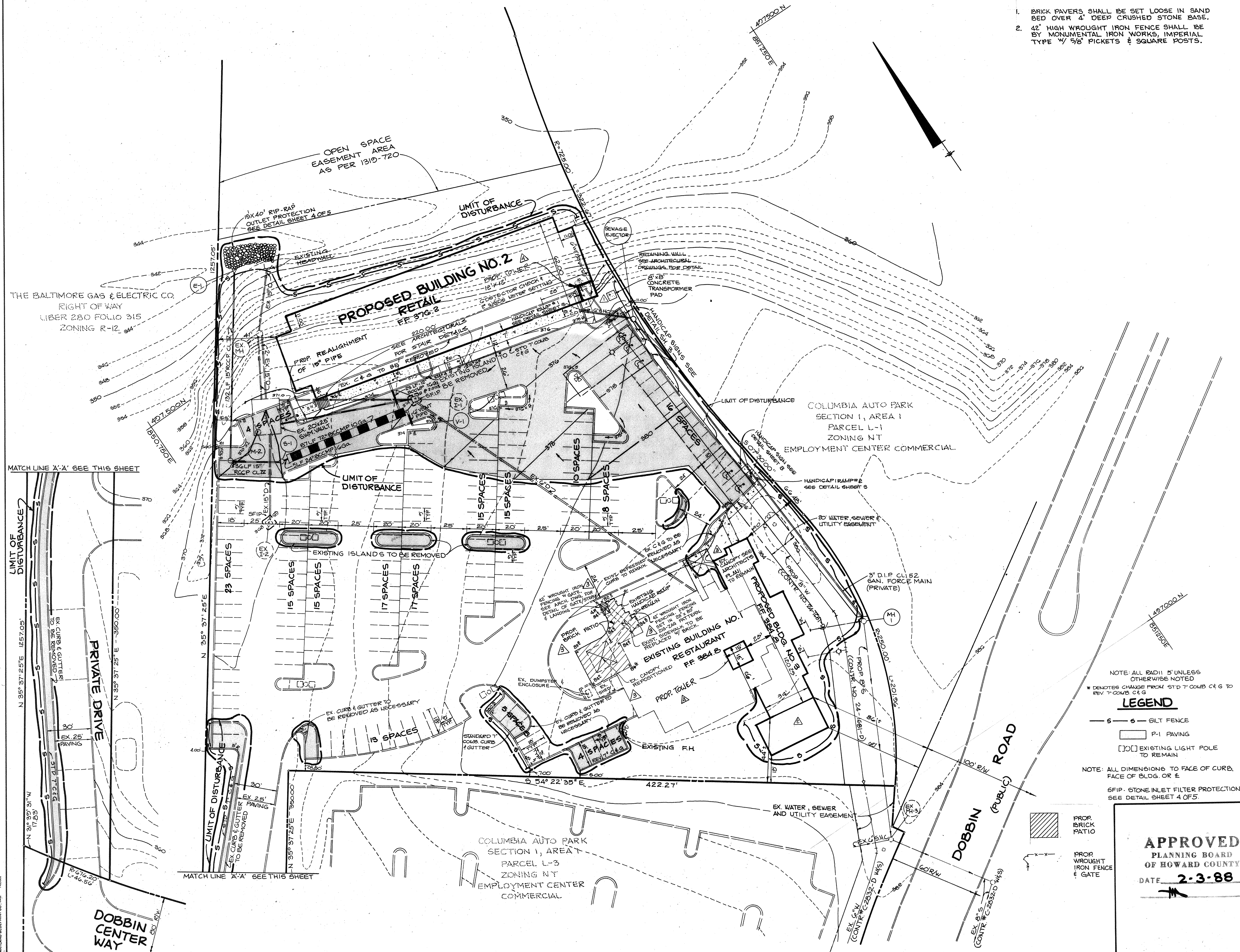
- NOTE ALL RADII 5' UNLESS OTHERWISE NOTED
- LEGEND**
- SALT FENCE
 - P-1 PAVING
 - EXISTING LIGHT POLE TO REMAIN
- NOTE ALL DIMENSIONS TO FACE OF CURB, FACE OF BLOG OR E
- 5' P. STONE INLET FILTER PROTECTION SEE DETAIL SHEET 4 OF 5

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE 2-3-88

2-14-88	ADD BLOG 3 ADDITION, REV. LANDSCAPING	REVISION
OWNER	DOBBI SQUARE LTD PARTNERSHIP 1000 EQUITABLE BANK CENTER COLUMBIA, MARYLAND 21044	
DEVELOPER	MCCUAN DEVELOPMENT GROUP, INC. 1000 EQUITABLE BANK CENTER COLUMBIA, MARYLAND 21044	
PROJECT	DOBBI SQUARE RETAIL BUILDING ADDITION TO SDP-87-2189	
AREA	COLUMBIA AUTO PARK SECTION 1, AREA 1 PARCEL L-2 TAX MAP NO. 36 P/D PARCEL 446 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND	
TITLE	PLANTING PLAN	
THE RIEMER GROUP, INC. The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm 3105 North Ridge Road, Ellicott City, Maryland 21043 (301) 461-1100		
DATE	2-12-88	DESIGNED BY M.C.S.
		DRAWN BY M.C.S.
		PROJECT NO. 2189
		DATE 2-22-88
		SCALE 1"=40'
		DRAWN BY 5
	<i>Melanie E. Moser</i> MELANIE E. MOSER	

PATIO NOTES

- BRICK PAVERS SHALL BE SET LOOSE IN SAND BED OVER 4" DEEP CRUSHED STONE BASE.
- 42" HIGH WROUGHT IRON FENCE SHALL BE BY MONUMENTAL IRON WORKS, IMPERIAL TYPE 1/2" PICKETS & SQUARE POSTS.



NOTE: ALL RADII 5' UNLESS OTHERWISE NOTED
 * DENOTES CHANGE FROM STD. T. COMB. C&G TO REV. T. COMB. C&G

LEGEND

— s — s — GILT FENCE
 [] P-1 PAVING
 [] EXISTING LIGHT POLE TO REMAIN

NOTE: ALL DIMENSIONS TO FACE OF CURB, FACE OF BLDG. OR E

6FIP - STONE INLET FILTER PROTECTION SEE DETAIL SHEET 4 OF 5

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE **2-3-88**

7-28-04	ADDED TOWERS TO BLDG#1 & #2
5-29-97	ADDED PROPOSED BRICK PATIO, 1 1/2" WROUGHT IRON FENCE, PATIO NOTES, REPOSITIONED EX. CANOPIES.
BY THE DEVELOPER:	
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."	
<i>James M. Helm</i>	2-19-88
DEVELOPER	DATE
BY THE ENGINEER:	
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."	
<i>Arthur E. Muegge</i>	2-19-88
ENGINEER	DATE
REVIEWED FOR HOWARD	S.C.D.
NAME	
AND MEETS TECHNICAL REQUIREMENTS	
<i>James M. Helm</i>	2-24-88
U.S. SOIL CONSERVATION SERVICE	DATE
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.	
<i>Stephen L. Fisher</i>	2/24/88
HOWARD S.C.D.	DATE
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.	
<i>James B. ...</i>	3-7-88
COUNTY HEALTH OFFICER	DATE
APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.	
<i>William ...</i>	3-14-88
PLANNING DIRECTOR	DATE
<i>James ...</i>	3/11/88
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT	DATE
APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.	
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS	
<i>James ...</i>	3/1/88
DIRECTOR	DATE
<i>William ...</i>	2-29-88
CHIEF, BUREAU OF ENGINEERING	DATE
2-14-84	ADD BLDG. 3 ADDITION
7-11-88	CHANGE PRIVATE WATER CONNECTION ALIGNMENT
DATE	NO. REVISION
OWNER DOBBIN SQUARE LTD. PARTNERSHIP 1000 EQUITABLE BANK CENTER COLUMBIA, MARYLAND 21044	
DEVELOPER M ^C CUAN DEVELOPMENT GROUP, INC. 1000 EQUITABLE BANK CENTER COLUMBIA, MARYLAND 21044	
PROJECT DOBBIN SQUARE RETAIL BUILDING ADDITION(S) TO SDP-87-216c	
AREA COLUMBIA AUTO PARK SECTION I AREA 1 PARCEL L-2 TAX MAP NO. 36 P/O PARCEL 446 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND	
TITLE SITE DEVELOPMENT PLAN	
THE RIEMER GROUP, INC. The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm 3105 North Ridge Road, Ellicott City, Maryland 21043 (301) 461-2690	
2-19-88	DATE
DESIGNED BY: J.K.B.	
DRAWN BY: D.D.B.	
PROJECT NO: 32204	
DATE:	
SCALE: 1"=30'	
DRAWING NO. 2 OF 5	

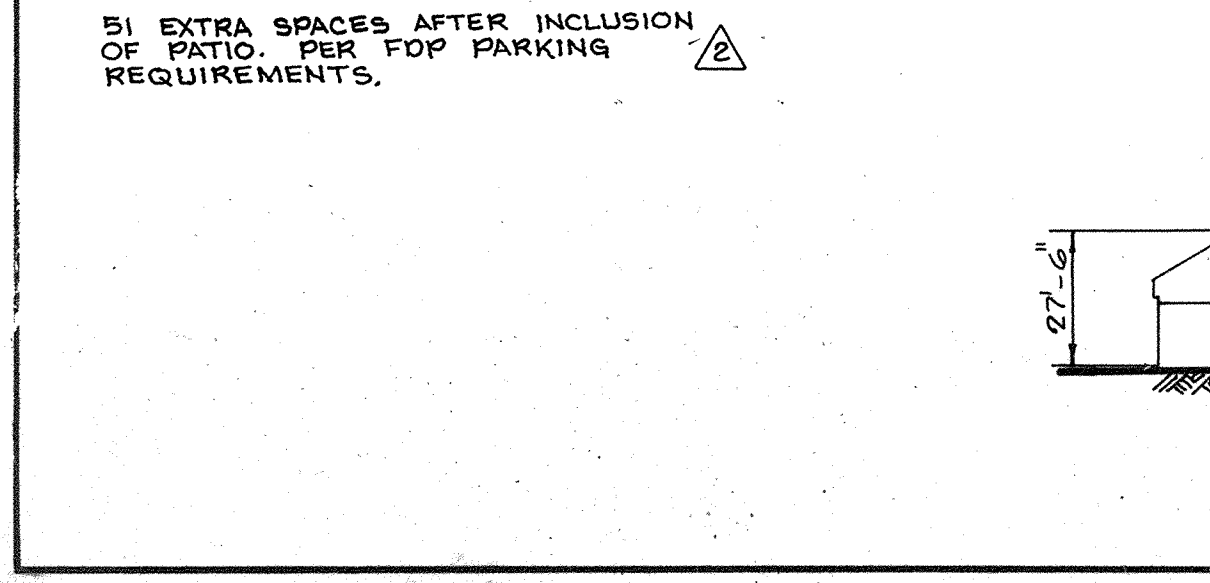
SHEET INDEX	
NO	DESCRIPTION
1	TITLE SHEET
2	SITE DEVELOPMENT PLAN
3	PROFILES AND DETAILS
4	SEEDIMENT CONTROL/SWM DETAILS, NOTES & DRAINAGE AREA MAP
5	PLANTING PLAN

- GENERAL NOTES**
- ALL WATER LINES SHALL BE CONSTRUCTED A MINIMUM OF 42" COVER BELOW FINISHED GRADE.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, I.E., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION.
 - APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FROM BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST FIVE (5) DITS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS TO VERIFY THEIR LOCATION AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
 - CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS:

MISS UTILITY	1-800-257-7777
C & P TELEPHONE COMPANY	725-9976
HOWARD COUNTY BUREAU OF UTILITIES	992-2366
AT&T CABLE LOCATION DIVISION	393-2553
BALTIMORE GAS & ELECTRIC COMPANY	685-0123
STATE HIGHWAY ADMINISTRATION	531-5533
HOWARD COUNTY CONSTRUCTION INSPECTION SURVEY DIVISION (24 HOURS NOTICE PRIOR TO COMMENCEMENT OF WORK)	792-7972
 - ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
 - ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
 - THE CONTRACTOR SHALL PROVIDE A JOINT IN ALL SEWER MAINS WITHIN 2'-0" OF EXTERIOR MANHOLE WALLS.
 - PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
 - NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT TO SUBGRADE.
 - TPO TAKEN FROM FIELD RUN SURVEY DATED JULY 86 BY THE RIEMER GROUP INC.
 - ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL STORM DRAIN PIPE BEDDING SHALL BE AS SHOWN IN DETAIL G2.01 (TRENCH IN ROCK OR TRENCH IN EARTH AS DETERMINED BY FIELD CONDITIONS) IN VOL. IV OF HOWARD COUNTY DESIGN MANUAL UNLESS OTHERWISE DIRECTED BY THE ENGINEER OR AS SHOWN ON THE DRAWINGS.
 - THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND / OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR THE SEDIMENT AND EROSION CONTROL PRACTICES, STORM WATER MANAGEMENT PRACTICES AND THE DISCHARGE OF STORM WATER ONTO OR ACROSS ADJACENT OR DOWNSTREAM PROPERTIES INCLUDED IN THIS PLAN. HE IS ALSO RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR WORK ON ADJACENT PROPERTIES INCLUDED IN THIS PLAN.
 - THE OWNER SHALL PROVIDE A SEPARATE AND INDEPENDENT SEWER CONNECTION FOR EACH TENANT OR OCCUPANT OF ANY BUILDING, SHOWN ON THIS SITE DEVELOPMENT PLAN, WHO WILL DISCHARGE NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM IF THIS WASTE IS REGULATED UNDER SECTION 18.122A OF THE HOWARD COUNTY CODE. EACH SEPARATE AND INDEPENDENT SEWER CONNECTION SHALL INCLUDE A STANDARD MANHOLE AND OTHER WASTE PRETREATMENT DEVICES AS REQUIRED AND APPROVED BY HOWARD COUNTY. WASTE LINES ON THE INTERIOR OF THE BUILDING SHALL BE DESIGNED, CONSTRUCTED OR MODIFIED SUCH THAT NON-DOMESTIC WASTE WILL BE DISCHARGED TO THE SEPARATE AND INDEPENDENT SEWER CONNECTION. NO TENANT OR OCCUPANT OF ANY BUILDING SHOWN ON THIS SITE DEVELOPMENT PLAN SHALL DISCHARGE REGULATED NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM PRIOR TO INSTALLATION OF THE SEPARATE AND INDEPENDENT SEWER CONNECTION AND RELATED INTERIOR WASTE LINES. THE ABOVE REQUIREMENTS SHALL APPLY TO ALL INITIAL AND FUTURE OCCUPANTS OR TENANTS.

SITE TABULATION

TOTAL AREA OF PARCEL ZONING	5.689 Ac. (247,813 S.F.) NT-EMPLOYMENT CENTER COMMERCIAL FDP-132-A-III
PROPOSED USES	RESTAURANT
EXISTING USE	6,984 S.F. RESTAURANT + 1,035 S.F. PATIO AREA (8,019 ± S.F. GROSS AREA) [△]
BUILDING NO. 1 (EXISTING)	12,572 S.F. M/A RETAIL (13,140 S.F. GROSS AREA)
BUILDING NO. 2 (PROPOSED)	4,440 S.F. RETAIL (4,440 S.F. GROSS AREA)
BUILDING NO. 3 (PROPOSED)	
BUILDING COVERAGE:	BLDG No. 1 2.8% (6,984 SF) BLDG No. 2 5.3% (13,140 SF) BLDG No. 3 1.8% (4,440 SF) TOTAL 9.9% (24,564 SF) [△]
PARKING SPACES REQUIRED AS PER FDP-132-A-III	BLDG No. 1 @ 5 SP/1,000 SF = 41 PARKING SPACES [△] BLDG No. 2 @ 5 SP/1,000 SF = 63 BLDG No. 3 @ 5 SP/1,000 SF = 22 TOTAL REQUIRED = 126 SPACES
PARKING PROVIDED (INCL. HANDICAP SPACES)	= 177 SPACES
TOTAL HANDICAP SPACES PROVIDED	= 6 SPACES
51 EXTRA SPACES AFTER INCLUSION OF PATIO, PER FDP PARKING REQUIREMENTS.	[△]



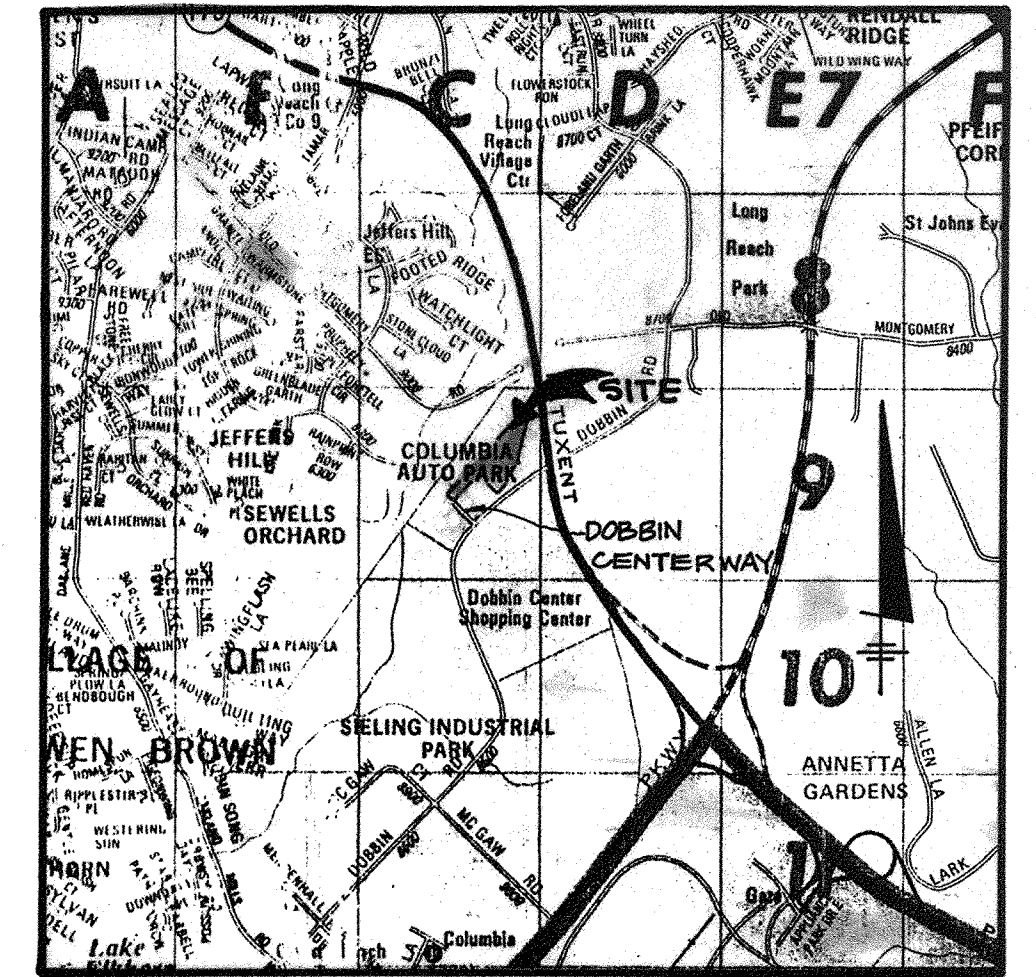
SITE DEVELOPMENT PLAN

DOBBIN SQUARE

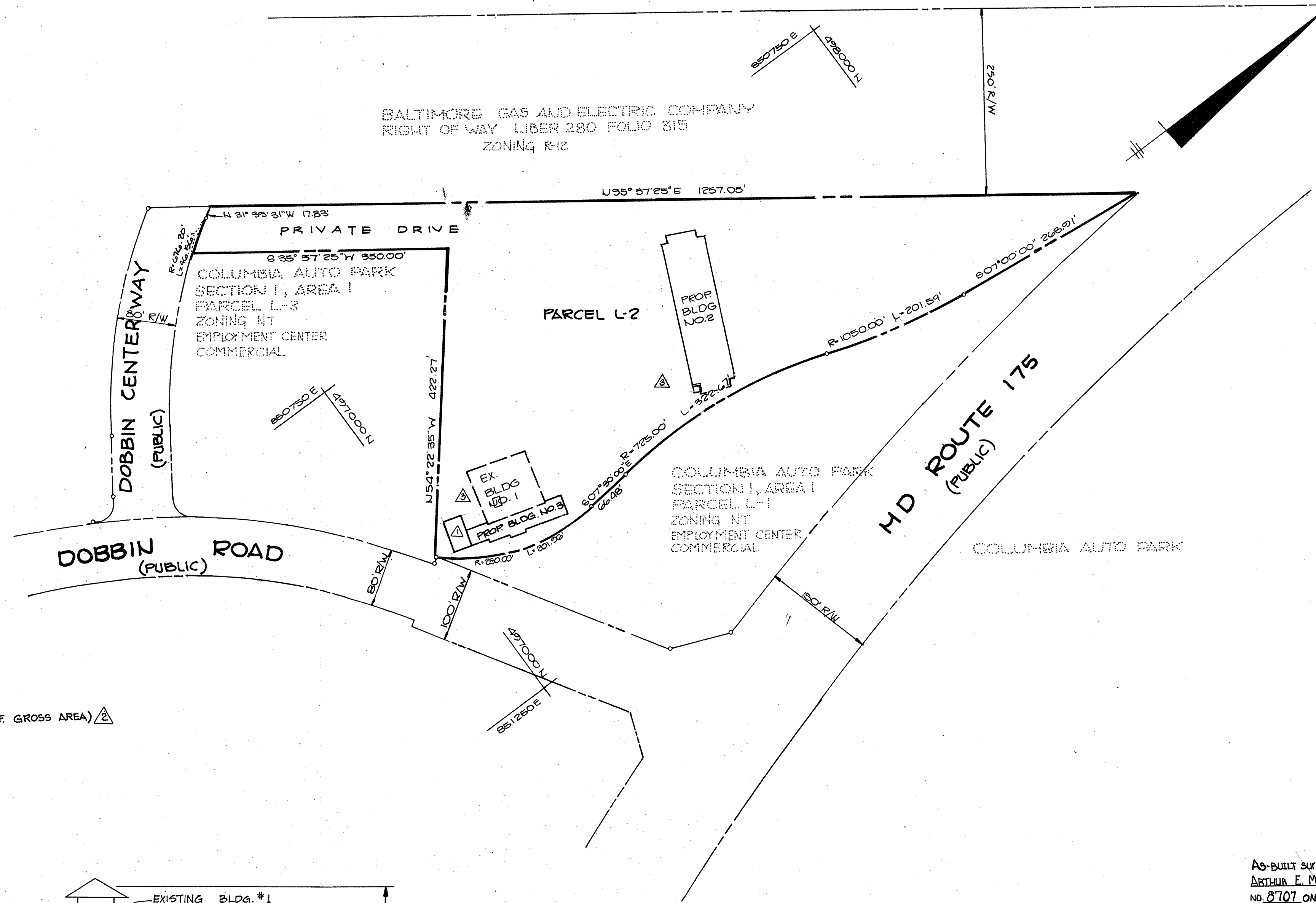
COLUMBIA AUTO PARK PARCEL L-2

6TH ELECTION DISTRICT

HOWARD COUNTY, MARYLAND



VICINITY MAP
SCALE: 1" = 2000'



BALTIMORE GAS AND ELECTRIC COMPANY
RIGHT OF WAY LIBER 280 FOLIO 315
ZONING R-12

7-28-04 [△] ADDED TOWERS TO BLDG ELEVATIONS	
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT	3.9.88 DATE
APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.	
PLANNING DIRECTOR	3.14.88 DATE
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT	3/11/88 DATE
APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.	
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS	
DIRECTOR	3/16/88 DATE
CHIEF, BUREAU OF ENGINEERING	2-25-88 DATE
5-29-97 [△] MODIFIED SITE TABULATION TABLE	
8-14-94 [△] ADD BLDG. 3 ADDITION & REV. SITE TAB.	
DATE	NO. REVISION
OWNER: DOBBIN SQUARE LTD PARTNERSHIP 1000 EQUITABLE BANK CENTER COLUMBIA, MARYLAND 21044	
DEVELOPER: MCCUAW DEVELOPMENT GROUP, INC. 1000 EQUITABLE BANK CENTER COLUMBIA, MARYLAND 21044	
PROJECT: DOBBIN SQUARE RETAIL BUILDING ADDITION(S) TO SDP-85-218C	
AREA COLUMBIA AUTO PARK SECTION I, AREA I PARCEL L-2 TAX MAP NO 36 P/O PARCEL 446 6TH ELECTION DISTRICT HOWARD COUNTY MARYLAND	
TITLE: TITLE SHEET	

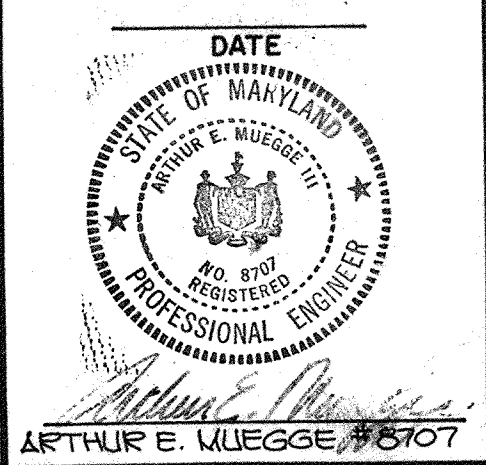
AS-BUILT SURVEY CERTIFIED BY
ARTHUR E. MUEGGE III, M.D. P.E.
NO. 8707 ON 5-15-89.

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE 2-3-88

BLDG NUMBER	STREET ADDRESS
1 & 3	6480 DOBBIN CENTER WAY
2	6476 DOBBIN CENTER WAY

SUBDIVISION NAME	SECT./AREA	PARCEL #
COLUMBIA AUTO PARK	1/1	
FLAT # OR L/F	BLOCK #	TAX/ZONE MAP
417C	17 & 18	3C
WATER CODE	ZONE	ELEC. DIST.
E-06	NT	6
	SEWER CODE	CENSUS TR
	5883000	606B.02

THE RIEMER GROUP, INC.
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm
3105 Health Park Drive, Ellicott City, Maryland 21043 (301) 461-2990



DESIGNED BY: J.K.B.
DRAWN BY: M.A.D.
PROJECT NO: 32204
DATE:
SCALE: AS SHOWN
DRAWING NO. 1 OF 5

AS-BUILT 5-15-89.

SDP-87-218C