

**SHEET INDEX**

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# SITE DEVELOPMENT PLAN

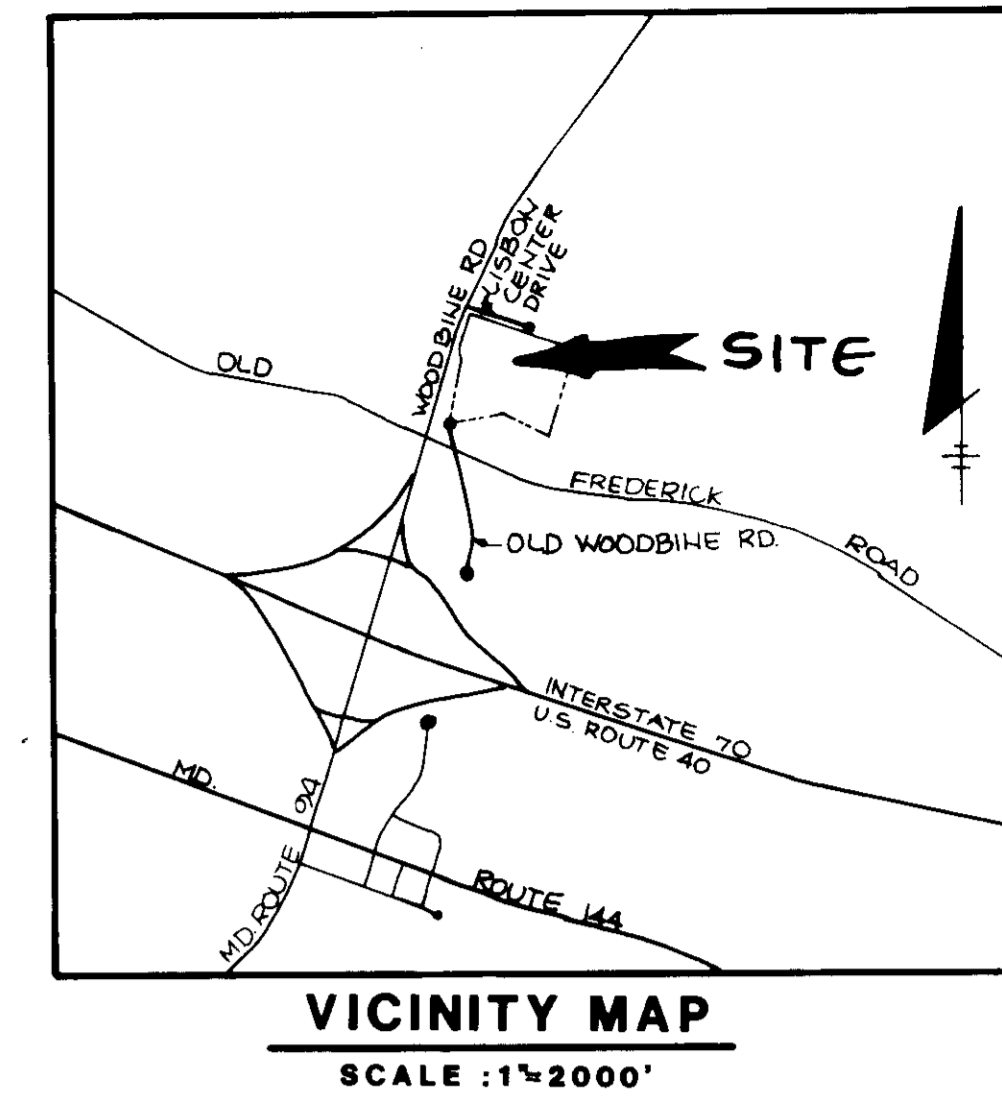
# LISBON CENTER

## (RETAIL SHOPPING CENTER)

## ROUTE 94 BUSINESS CENTER – PARCEL F

## 4TH ELECTION DISTRICT

## HOWARD COUNTY, MARYLAND



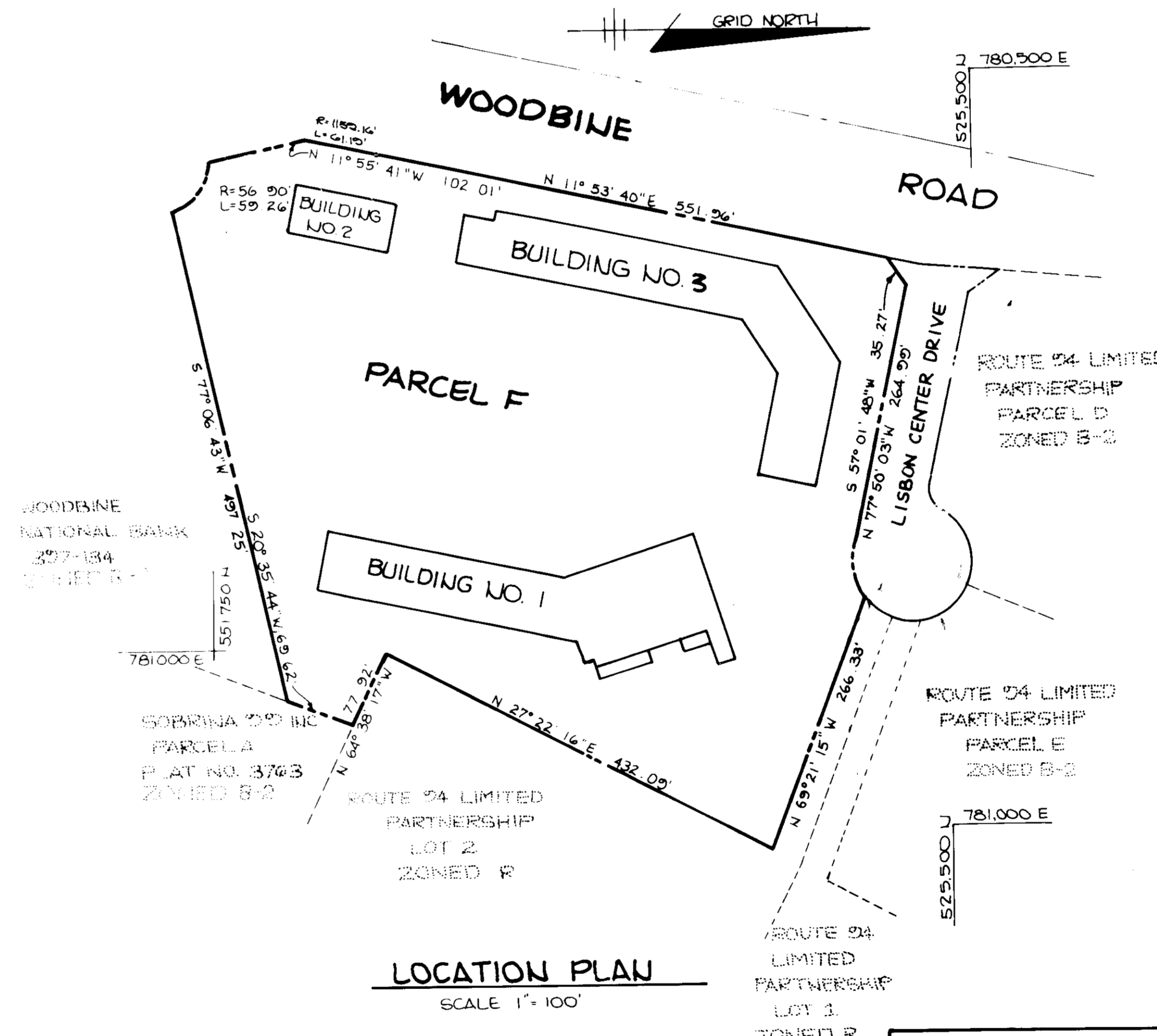
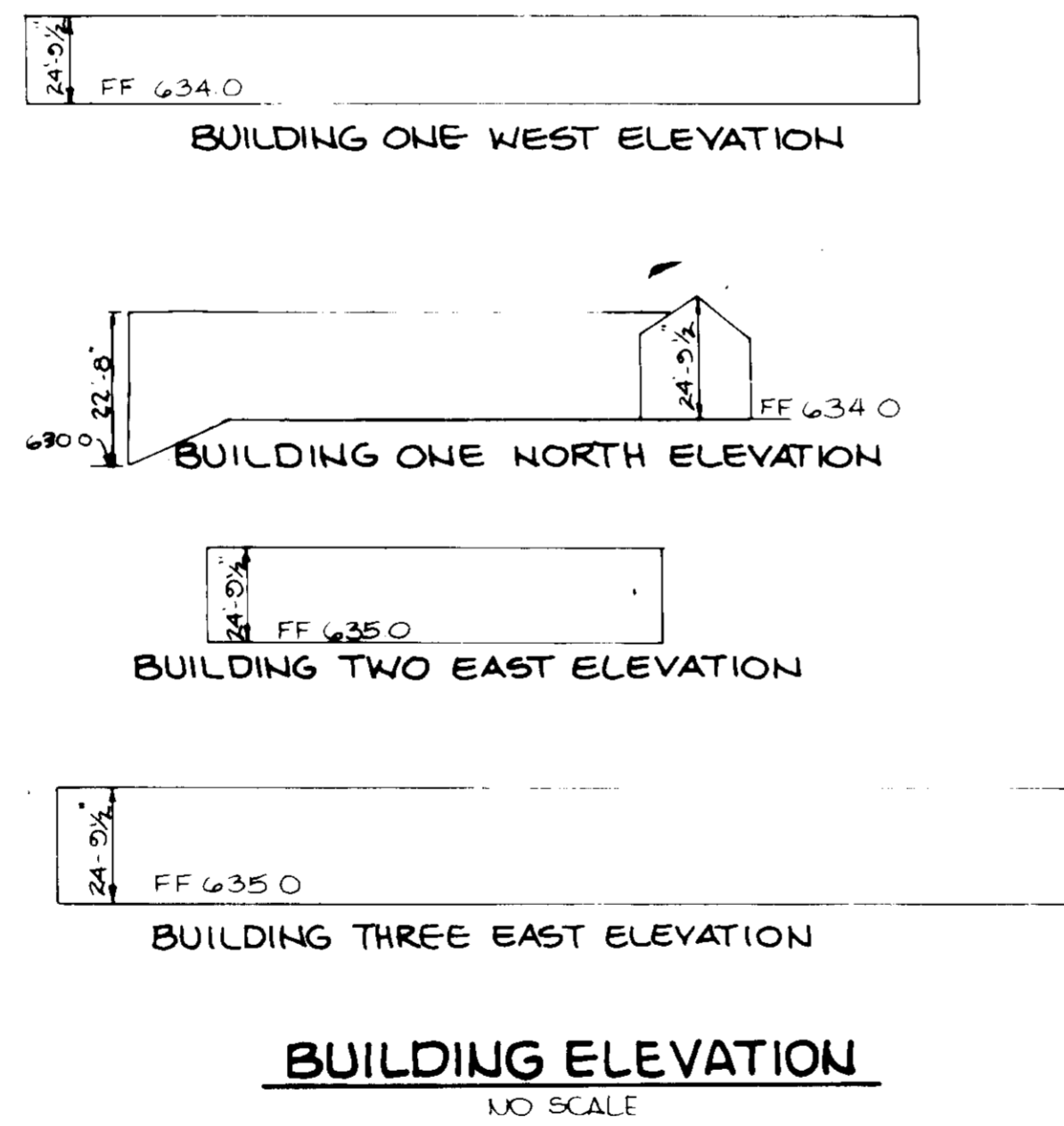
**GENERAL NOTES**

- ALL WATER LINES SHALL BE CONSTRUCTED A MINIMUM OF 42" COVER BELOW FINISHED GRADE.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, I.E., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. FROM BEST AVAILABLE INFORMATION THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS TO VERIFY THEIR LOCATION AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
- CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS:
 

MISS UTILITY	1-800-257-7777
C & P TELEPHONE COMPANY	725-9976
HOWARD COUNTY BUREAU OF UTILITIES	992-2366
AT&T CABLE LOCATION DIVISION	393-3553
BALTIMORE GAS & ELECTRIC COMPANY	685-0123
STATE HIGHWAY ADMINISTRATION	531-5533
HOWARD COUNTY CONSTRUCTION/INSPECTION SURVEY DIVISION (24 HOURS NOTICE PRIOR TO COMMENCEMENT OF WORK)	792-7272
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT  $\bigcirc$  ELEVATIONS.
- THE CONTRACTOR SHALL PROVIDE A JOINT IN ALL SEWER MAINS WITHIN 2'-0" OF EXTERIOR MANHOLE WALLS.
- PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT TO SUBGRADE.
- TOPO TAKEN FROM FIELD RUN SURVEY DATED DECEMBER, 1986 BY HUDKINS ASSOCIATES, INC.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL STORM DRAIN PIPE BEDDING SHALL BE AS SHOWN IN DETAIL G2.01 (TRENCH IN ROCK OR TRENCH IN EARTH AS DETERMINED BY FIELD CONDITIONS) IN VOL. IV OF HOWARD COUNTY DESIGN MANUAL UNLESS OTHERWISE DIRECTED BY THE ENGINEER OR AS SHOWN ON THE DRAWINGS.
- THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND /OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND /OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND /OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR GRADING AND/OR WORK ON ADJACENT PROPERTIES INCLUDED IN THIS PLAN.

**SITE TABULATION**

TOTAL AREA THIS SUBMISSION	7.99 AC. (348,044 S.F.)
EXISTING ZONING	B-2
PROPOSED USES: ONE STORY BUILDINGS	
FOOD STORE	14,580 S.F.
GENERAL RETAIL SALES	47,428 S.F.
RESTAURANT	2,000 S.F.
TOTAL COMMERCIAL USE	64,008 S.F.
PERMITTED LOT COVERAGE (STRUCTURE)	174,022 S.F. (50%)
PROPOSED LOT COVERAGE (STRUCTURE)	64,008 S.F. (18%)
BUILDING #1	10,205 S.F.
BUILDING #2	4,896 S.F.
BUILDING #3	29,107 S.F.
OPEN SPACE REQUIRED	69,609 S.F. (20%)
OPEN SPACE PROPOSED	73,612 S.F. (21.15%)
PARKING REQUIRED	
1. FOOD STORE: 11,500 S.F. AVAILABLE TO THE PUBLIC @ 1 Sp./150 S.F.	77 SPACES
2. RETAIL SALES: 47,428 S.F. @ 1 Sp./200 S.F.	237 SPACES
3. RESTAURANT: 48 SEATS; 12 EMPLOYEES @ 1 Sp./4 SEATS; 1 Sp./2 EMPLOYEES	18 SPACES
TOTAL REQUIRED	334 SPACES
PARKING PROPOSED	368 SPACES
INCLUDES 10 HANDICAPPED SPACES	
TOTAL PARKING AREA	143,720 S.F.
LANDSCAPED ISLANDS REQUIRED	7,186 S.F. (5%)
LANDSCAPED ISLANDS PROPOSED	7,972 S.F. (5.5%)



BUILDING NO	STREET ADDRESS
1	708 LISBON CENTER DRIVE
2	704 LISBON CENTER DRIVE
3	700 LISBON CENTER DRIVE

SUBDIVISION NAME	SECT./AREA	PARCEL #
ROUTE 94 BUSINESS CENTER		F
PLAT # 7170	BLOCK # 24	ZONE B-2
TAX/ZONE MAP 2	ELEC. DIST. 4	CENSUS TR. 6000
WATER CODE N.A.	SEWER CODE N.A.	

**APPROVED**  
**DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION**  
**HOWARD COUNTY, MARYLAND**  
 DATE 5-6-87  
*[Signature]*

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.  
*[Signature]* 7-9-87 DATE  
 COUNTY HEALTH OFFICER

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.  
*[Signature]* 7-14-87 DATE  
 PLANNING DIRECTOR

*[Signature]* 7-13-87 DATE  
 CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION

APPROVED: FOR DRAINAGE SYSTEMS AND PUBLIC ROADS. STORM  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*[Signature]* 7-6-87 DATE  
 DIRECTOR

*[Signature]* 7-6-87 DATE  
 CHIEF, BUREAU OF ENGINEERING

DATE	NO	REVISION

OWNER/DEVELOPER  
 ROUTE 94 LIMITED PARTNERSHIP  
 1000 EQUITABLE BANK CENTER  
 COLUMBIA, MARYLAND 21044

PROJECT:  
**LISBON CENTER**

AREA ROUTE 94 BUSINESS CENTER PARCEL F  
 TAX MAP 2  
 4TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

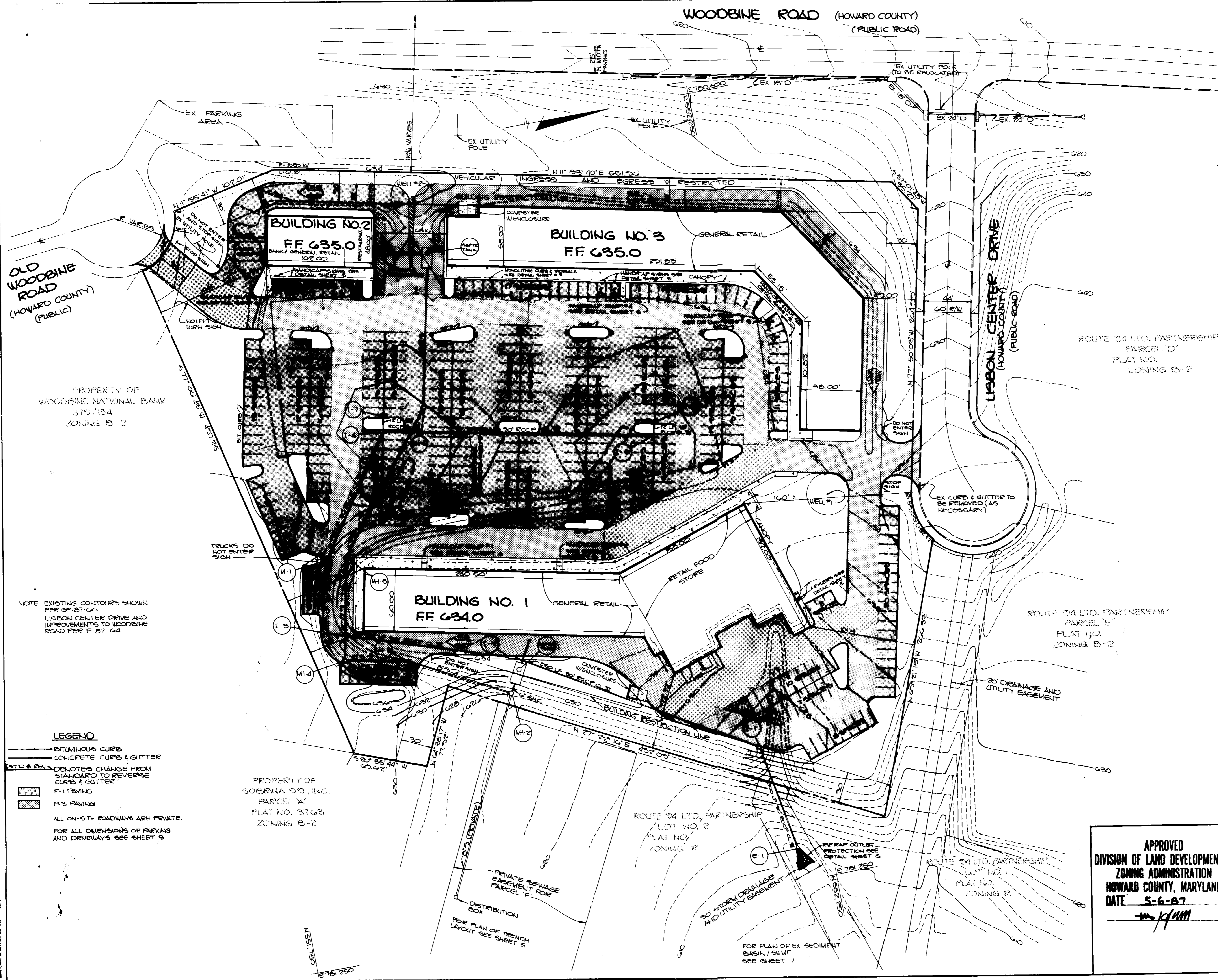
TITLE:  
**TITLE SHEET**

**THE RIEMER GROUP, INC.**  
 The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
 3105 Health Park Drive, Ellicott City, Maryland 21043 (801) 461-2600

DATE 6-15-87

DESIGNED BY: CJR  
 DRAWN BY: ODB  
 PROJECT NO: 35200  
 DATE: 6-15-87  
 SCALE: AS SHOWN  
 DRAWING NO. 1 OF 8

SDP-87-15A



NOTE EXISTING CONTOURS SHOWN PER GP-27-06 LISBON CENTER DRIVE AND IMPROVEMENTS TO WOODBINE ROAD PER F-27-04

**LEGEND**  
 BITUMINOUS CURB  
 CONCRETE CURB & GUTTER  
 DENOTES CHANGE FROM STANDARD TO REVERSE CURB & GUTTER  
 P-1 PAVING  
 P-3 PAVING  
 ALL ON-SITE ROADWAYS ARE PRIVATE.  
 FOR ALL DIMENSIONS OF PARKING AND DRIVEWAYS SEE SHEET 3

PROPERTY OF SOBRINA CO., INC.  
 PARCEL A  
 PLAT NO. 3763  
 ZONING B-2

APPROVED  
 DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
 HOWARD COUNTY, MARYLAND  
 DATE 5-6-87  
 [Signature]

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.  
 [Signature] 7-9-87  
 COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.  
 [Signature] 7-14-87  
 PLANNING DIRECTOR DATE

[Signature] 7-13-87  
 CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

APPROVED: FOR DRAINAGE SYSTEMS AND PUBLIC ROADS. STORM  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 [Signature] 7-6-87  
 DIRECTOR DATE

[Signature] 7-6-87  
 CHIEF, BUREAU OF ENGINEERING DATE

DATE	NO.	REVISION

OWNER/DEVELOPER  
 ROUTE 24 LIMITED PARTNERSHIP  
 1000 EQUITABLE BANK CENTER  
 COLUMBIA, MARYLAND 21044

PROJECT:  
**LISBON CENTER**

AREA ROUTE 24 BUSINESS CENTER  
 TAX MAP NO. 2 PARCEL F  
 4TH ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

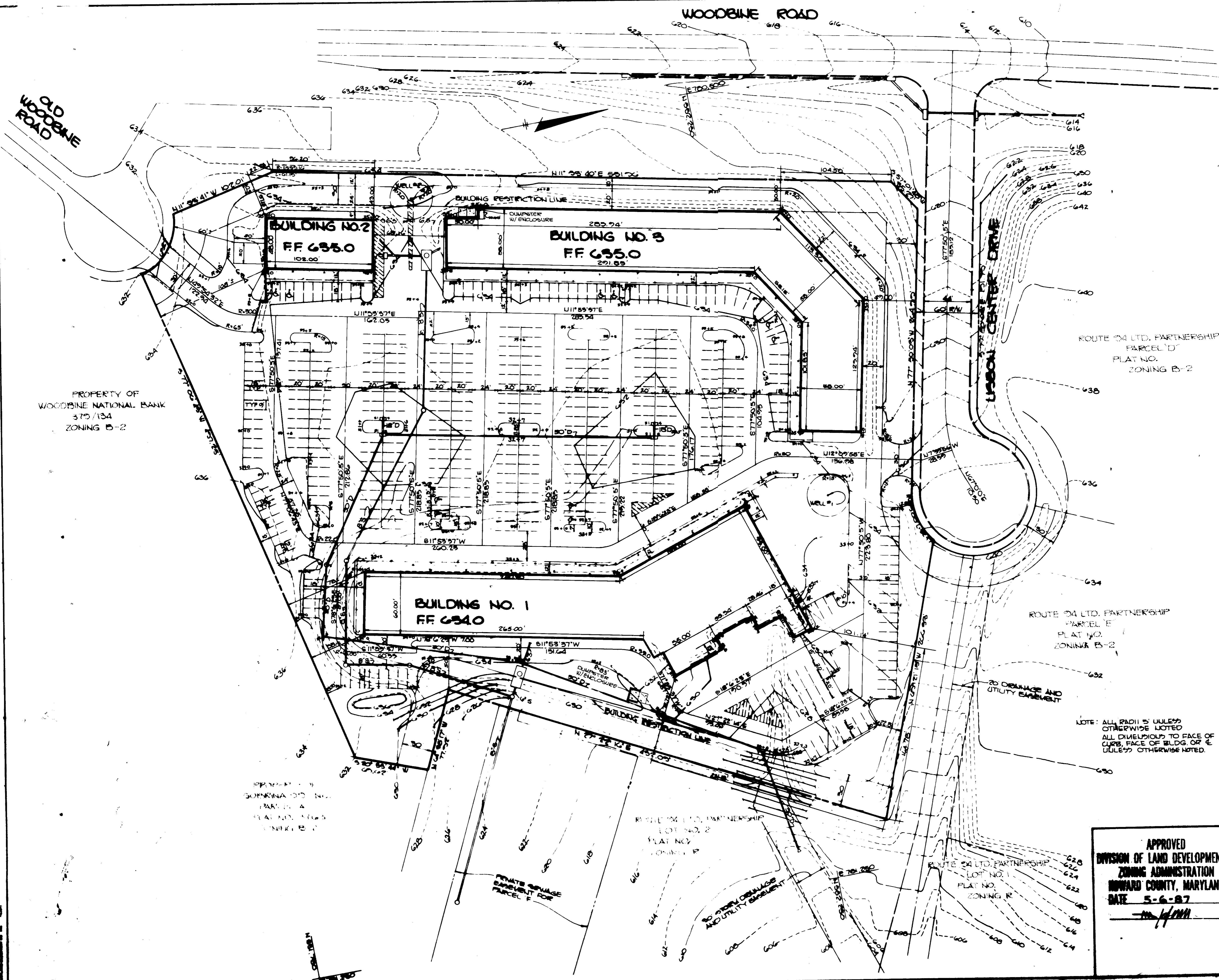
TITLE:  
**SITE DEVELOPMENT PLAN**

**THE RIEMER GROUP, INC.**  
 The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
 3106 Heath Park Drive, Ellicott City, Maryland 21043 (301) 461-2880

DATE 5-15-87

DESIGNED BY: JKB  
 DRAWN BY: M.A.O.  
 PROJECT NO: 35200  
 DATE: 6-15-87  
 SCALE: 1" = 40'  
 DRAWING NO.: 2 OF 3

STATE OF MARYLAND  
 PROFESSIONAL ENGINEER  
 [Signature]  
 ARTHUR E. WUEGGEL



PROPERTY OF  
WOODBINE NATIONAL BANK  
375/134  
ZONING B-2

PROPERTY OF  
SOPHINA D.D. INC.  
375/134  
ZONING B-2

ROUTE 94 LTD. PARTNERSHIP  
PARCEL 'D'  
PLAT NO.  
ZONING B-2

ROUTE 94 LTD. PARTNERSHIP  
PARCEL 'E'  
PLAT NO.  
ZONING B-2

NOTE: ALL RADII & UULLES  
OTHERWISE NOTED  
ALL DIMENSIONS TO FACE OF  
CURB, FACE OF BLDG. OR E.  
UULLES OTHERWISE NOTED.

APPROVED  
DIVISION OF LAND DEVELOPMENT &  
ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE 5-6-87

APPROVED: FOR SEWER/WATER AND STORM DRAINAGE SYSTEMS  
HOWARD COUNTY SEWER DEPARTMENT.  
*Joyce B. Baker* 7-9-87  
SEWER ENGINEER

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING  
*W. H. ...* 7-14-87  
PLANNING DIRECTOR

*John W. ...* 7-12-87  
CHIEF, DIVISION OF LAND  
DEVELOPMENT AND ZONING  
ADMINISTRATION

APPROVED: FOR  
DRAINAGE SYSTEMS AND PUBLIC WORKS  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*James ...*

*W. ...* 7-6-87  
CHIEF, BUREAU OF ENGINEERING

DATE	NO.	REVISION

OWNER/DEVELOPER  
ROUTE 94 LIMITED PARTNERSHIP  
1000 EQUITABLE BANK CENTER  
COLUMBIA MARYLAND 21044

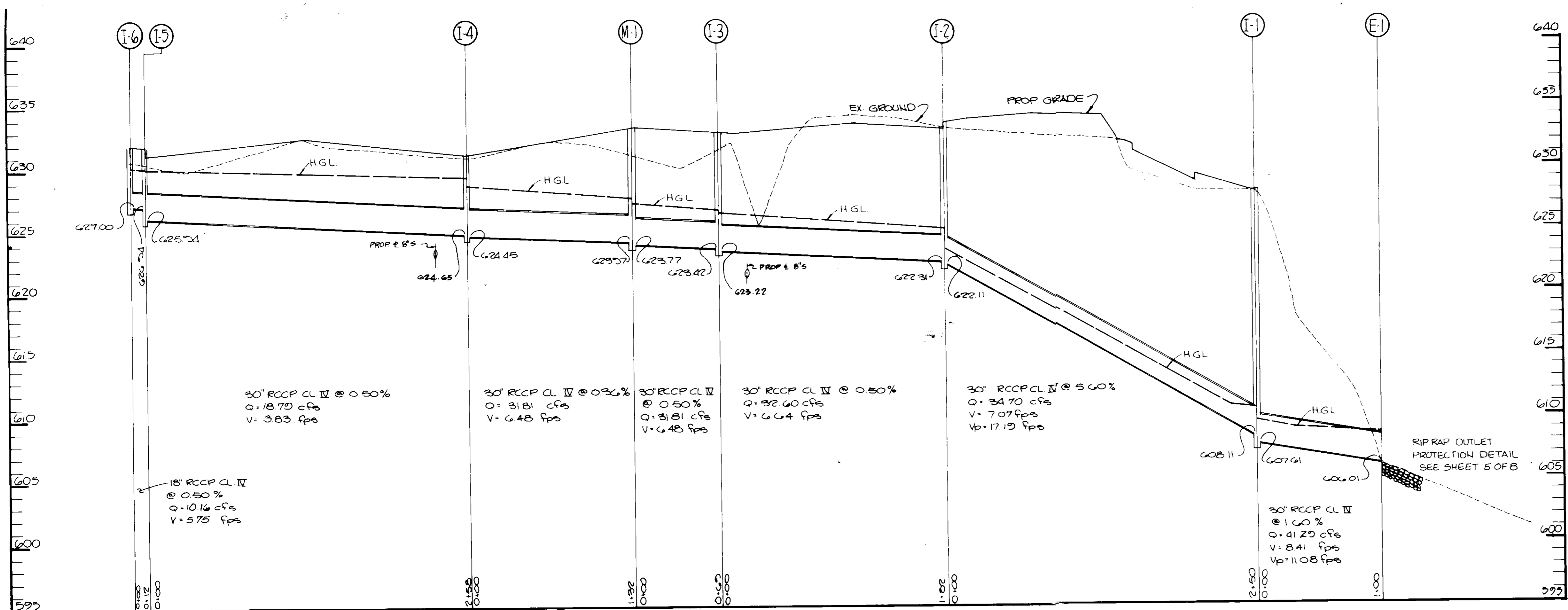
PROJECT: **ULYSSES CENTER**

AREA: ROUTE 94 BUSINESS CENTER PARCELS  
TAX MAP 2  
4 ELECTION DISTRICT HOWARD COUNTY MD

TITLE: **LAYOUT AND FINE GRADING**

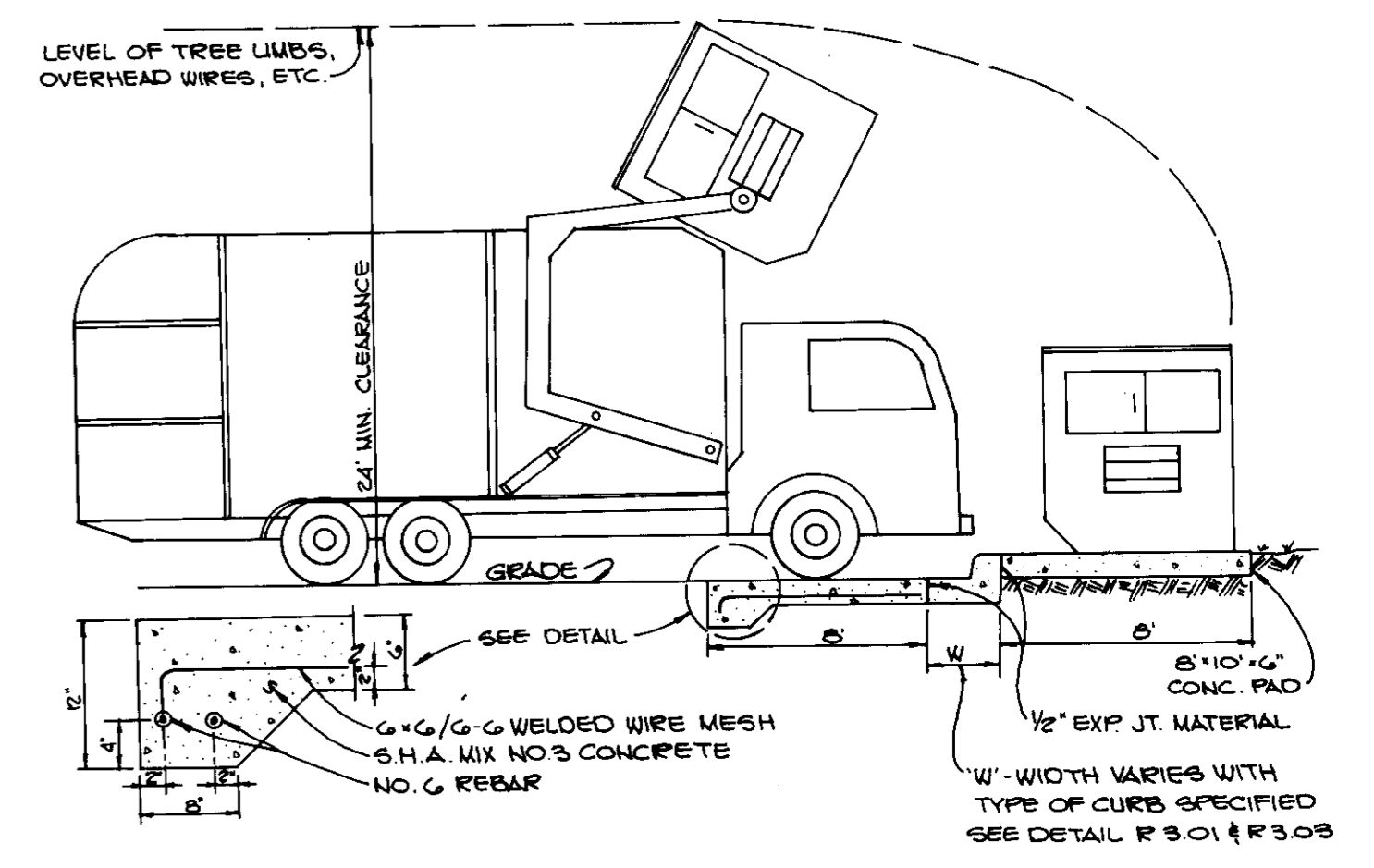
**THE REMER GROUP, INC.**  
The Remer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
2100 Health Park Drive, Ellicott City, Maryland 21040 (301) 401-4000

DATE: 4-15-87  
DESIGNED BY: JKB  
DRAWN BY: DDB  
PROJECT NO.: 96200  
DATE: 4-15-87  
SCALE: 1"=40'  
SHEET NO.: 3 OF 3



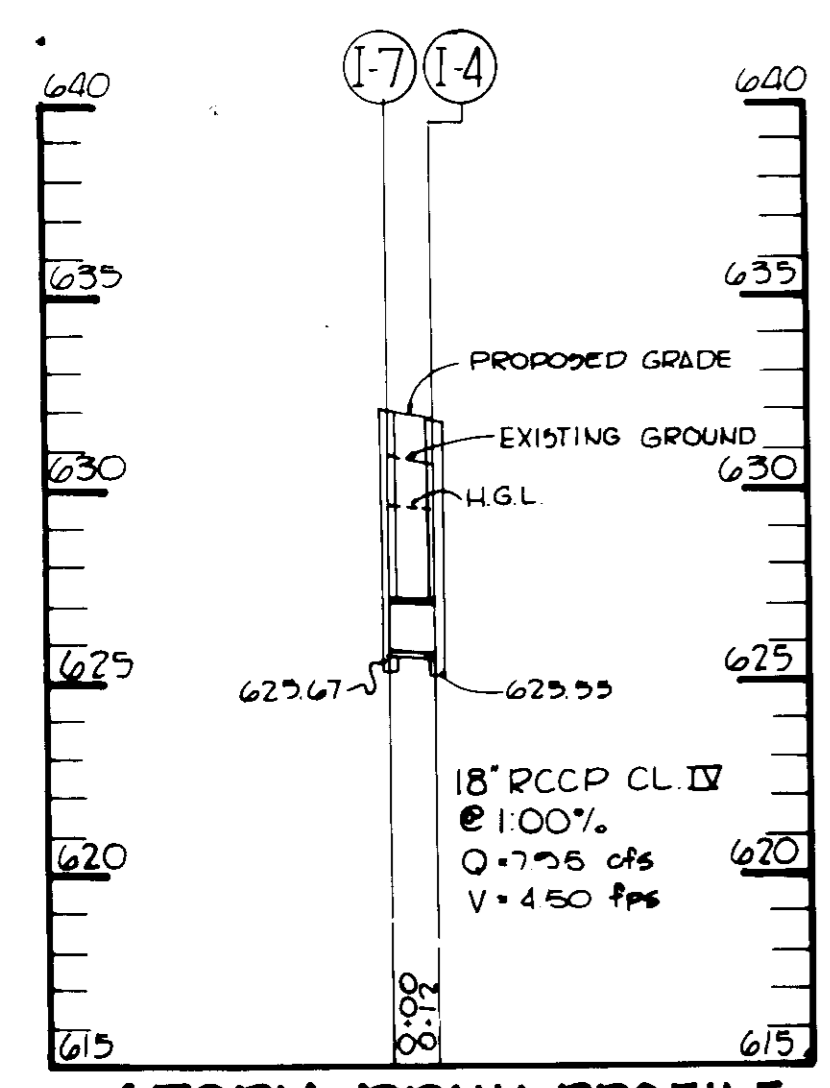
**STORM DRAIN PROFILE**

SCALE: HOR. 1" = 50'  
VERT. 1" = 5'



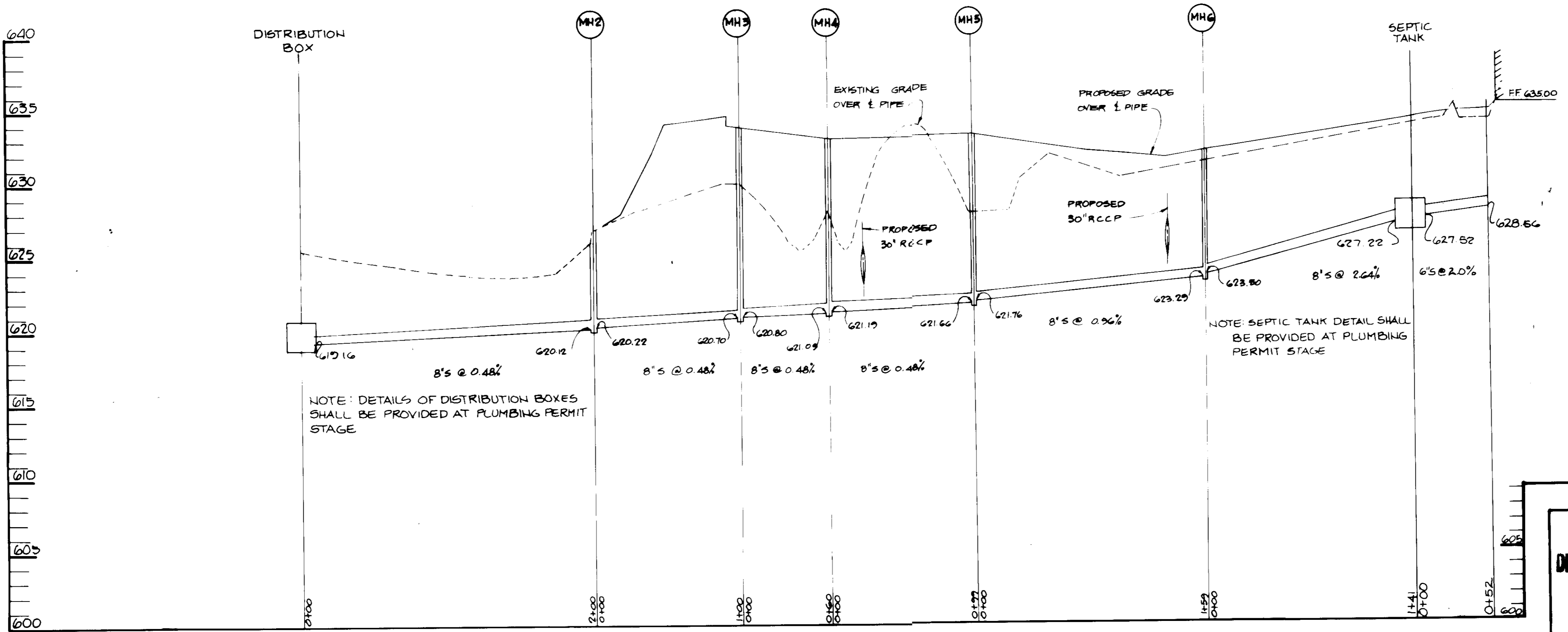
**DUMPSTER PAD DETAIL**

NO SCALE



**STORM DRAIN PROFILE**

SCALE: HOR. 1" = 50'  
VERT. 1" = 5'



**SEWER PROFILE**

SCALE: HOR. 1" = 50'  
VERT. 1" = 5'

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS,  
HOWARD COUNTY HEALTH DEPARTMENT.  
*Joyce Blyum* 7-9-87  
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.  
*William* 7-14-87  
PLANNING DIRECTOR DATE  
*John W. Hueschman* 7-13-87  
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

APPROVED: FOR DRAINAGE SYSTEMS AND PUBLIC ROADS, STORM  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*James G. Blum* 7-6-87  
DIRECTOR DATE  
*James E. Kelly* 7-6-87  
CHIEF, BUREAU OF ENGINEERING DATE

DATE NO REVISION  
OWNER/DEVELOPER  
ROUTE 94 LIMITED PARTNERSHIP  
1000 EQUITABLE BANK CENTER  
COLUMBIA, MARYLAND 21044

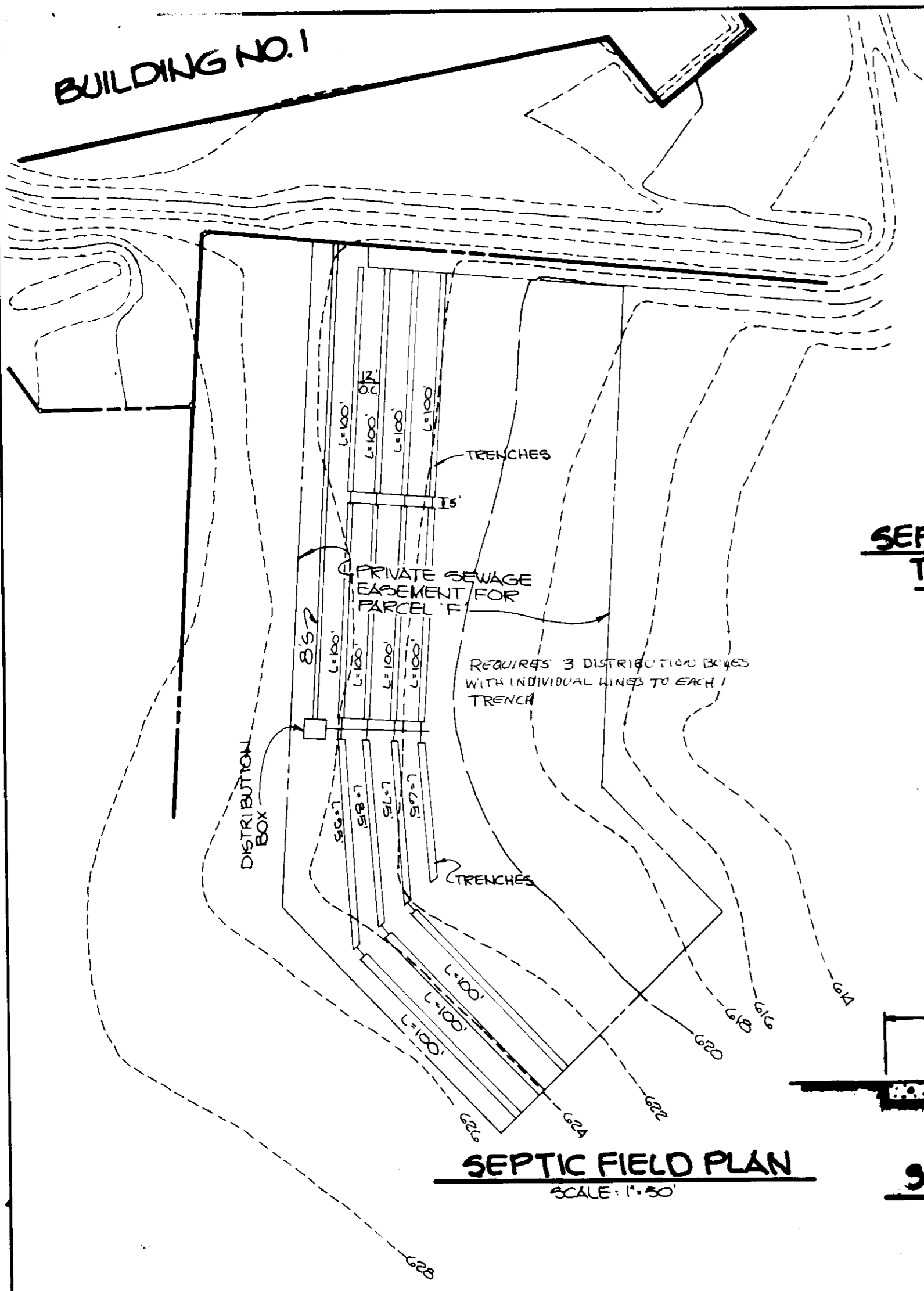
PROJECT  
**LISBON CENTER**  
AREA ROUTE 94 BUSINESS CENTER PARCEL F  
TAX MAP 2  
4TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
TITLE  
**PROFILES AND DETAILS**

APPROVED  
DIVISION OF LAND DEVELOPMENT &  
ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE 5-6-87  
*M. J. Blum*

**THE RIEMER GROUP, INC.**  
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
3106 Health Park Drive, Ellicott City, Maryland 21043 (301) 481-2880

DATE 6-15-87  
DESIGNED BY: CJR  
DRAWN BY: MAD  
PROJECT NO: 56200  
DATE: 6-15-87  
SCALE: AS SHOWN  
DRAWING NO. 4 OF 8  
*Arthur E. Muegge*  
ARTHUR E. MUEGGE, P.E.

SDP-87-10A

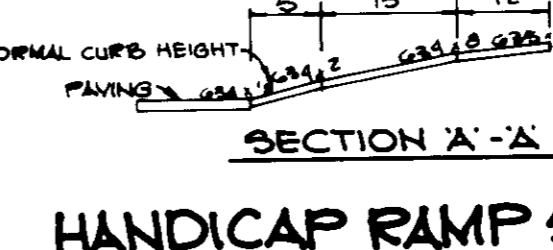
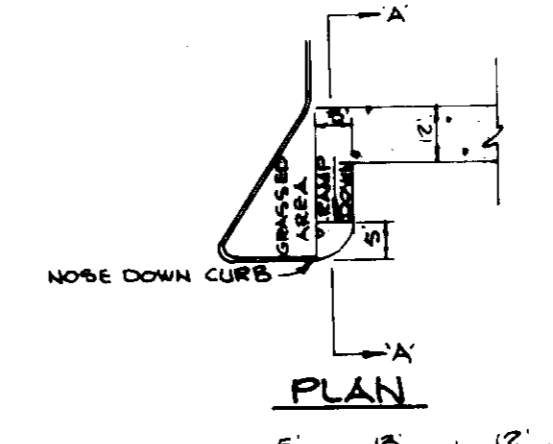
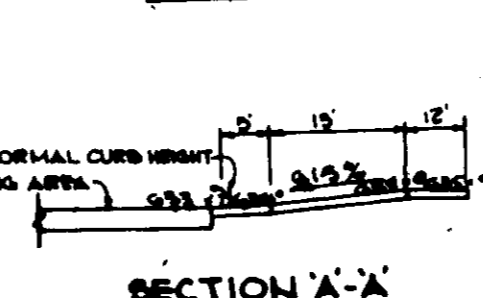
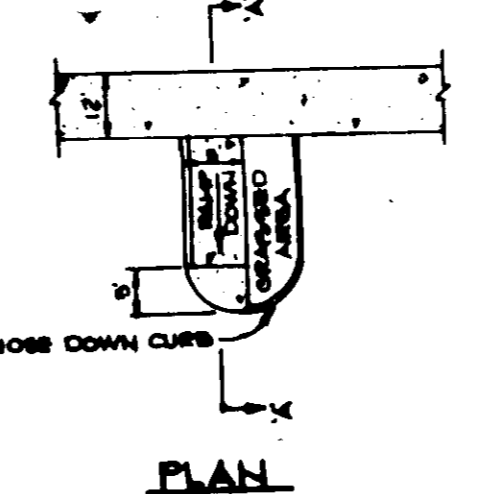
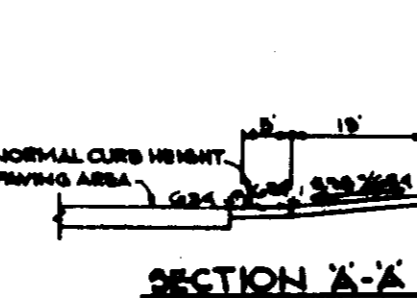
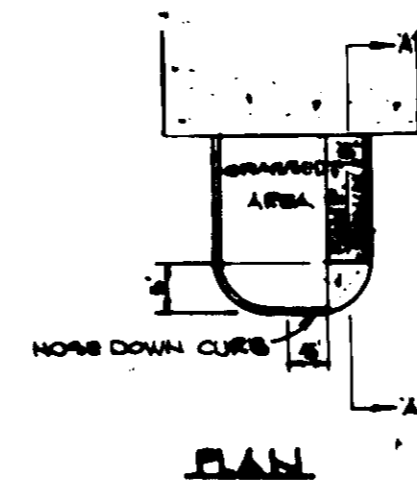
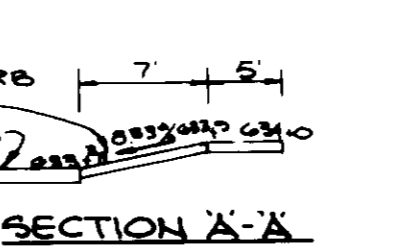
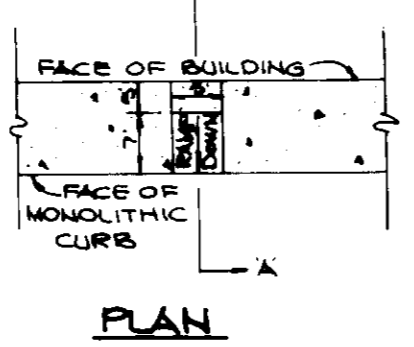
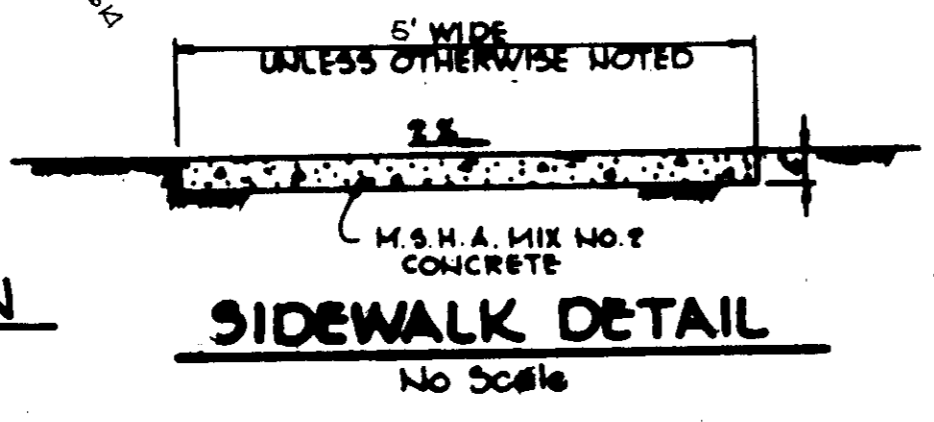


**HANDICAP RAMPS 1 AND 2**

**DETAIL**  
NO SCALE

**SEPTIC DRAINAGE FIELD TRENCH INFORMATION**

DEPTH	=	5'
DEPTH INLET	=	4'
DEPTH STONE	=	5'
LENGTH	=	100'
TOTAL TRENCH LENGTH	=	1405 LF



**HANDICAP RAMP 5**

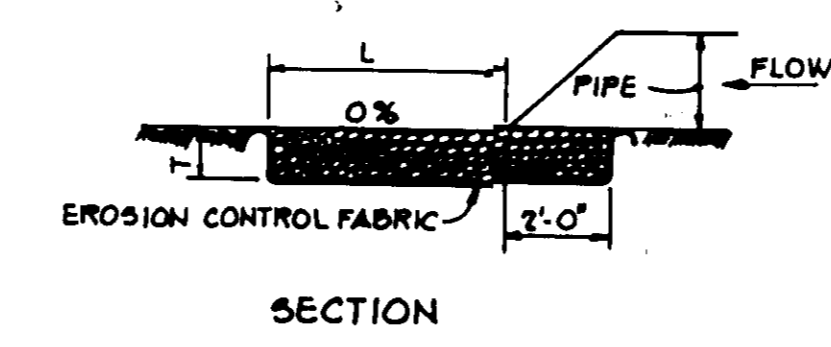
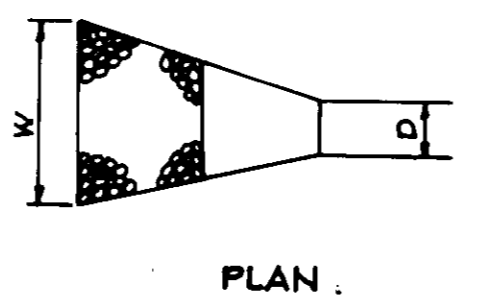
**DETAIL**  
NO SCALE

**HANDICAP RAMP 3**

**DETAIL**  
NO SCALE

**HANDICAP RAMP 4**

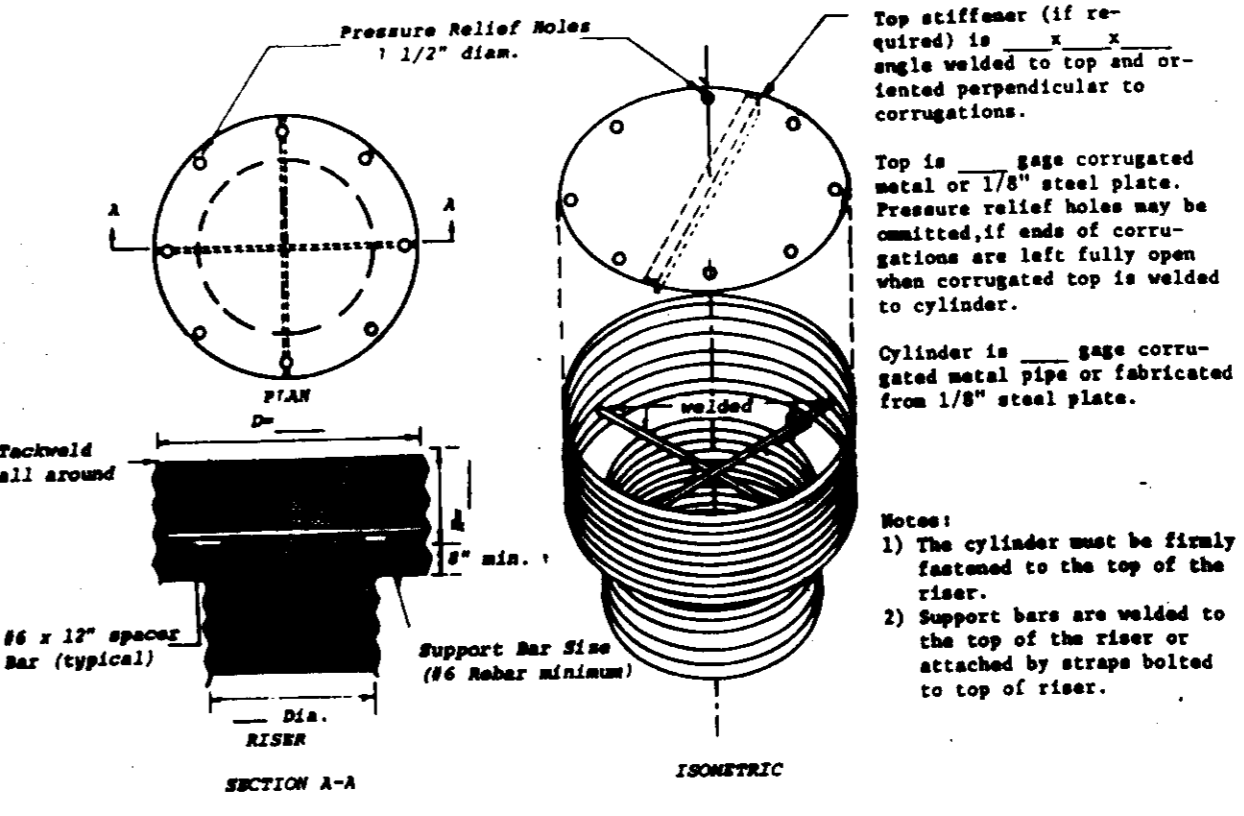
**DETAIL**  
NO SCALE



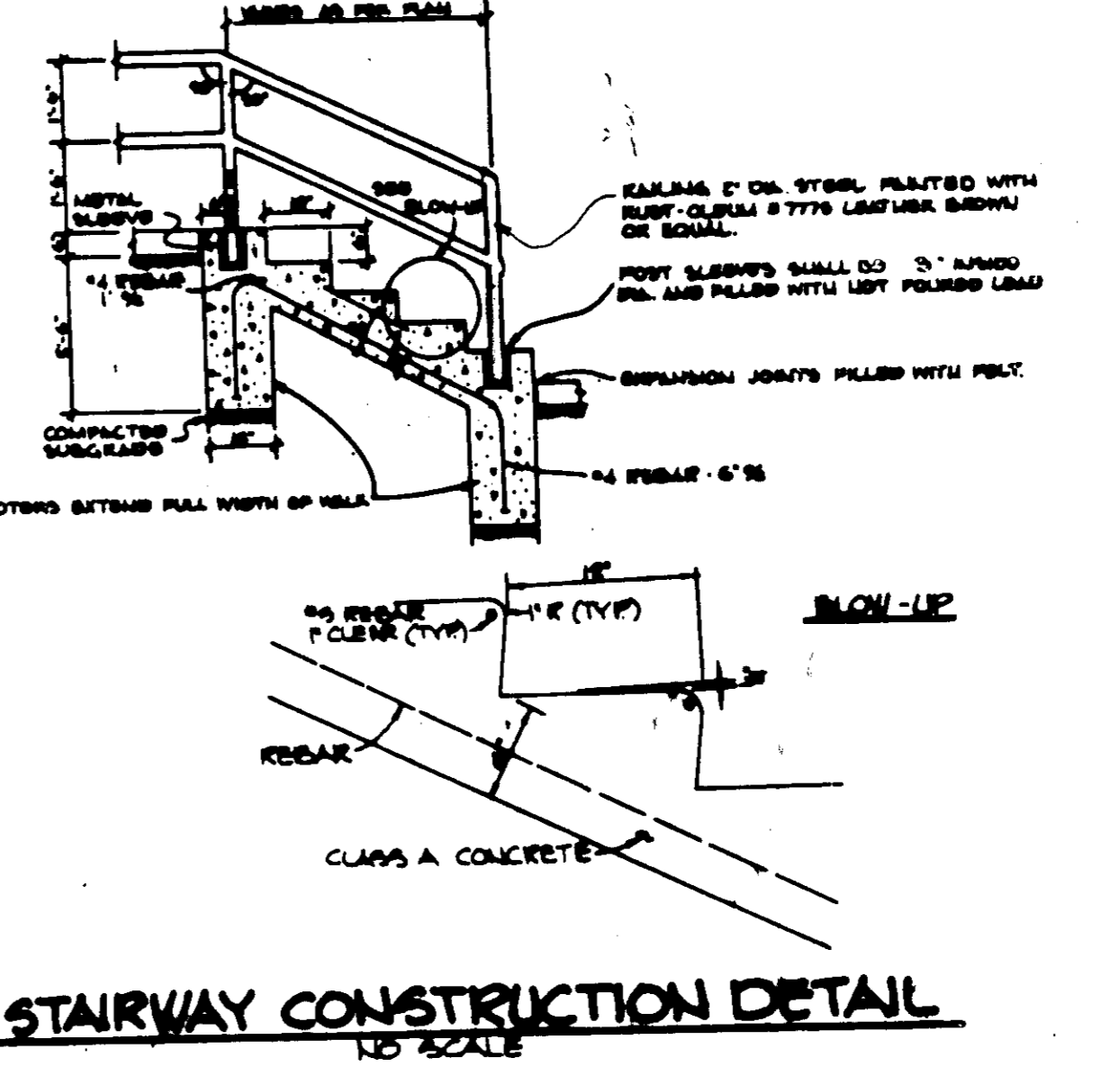
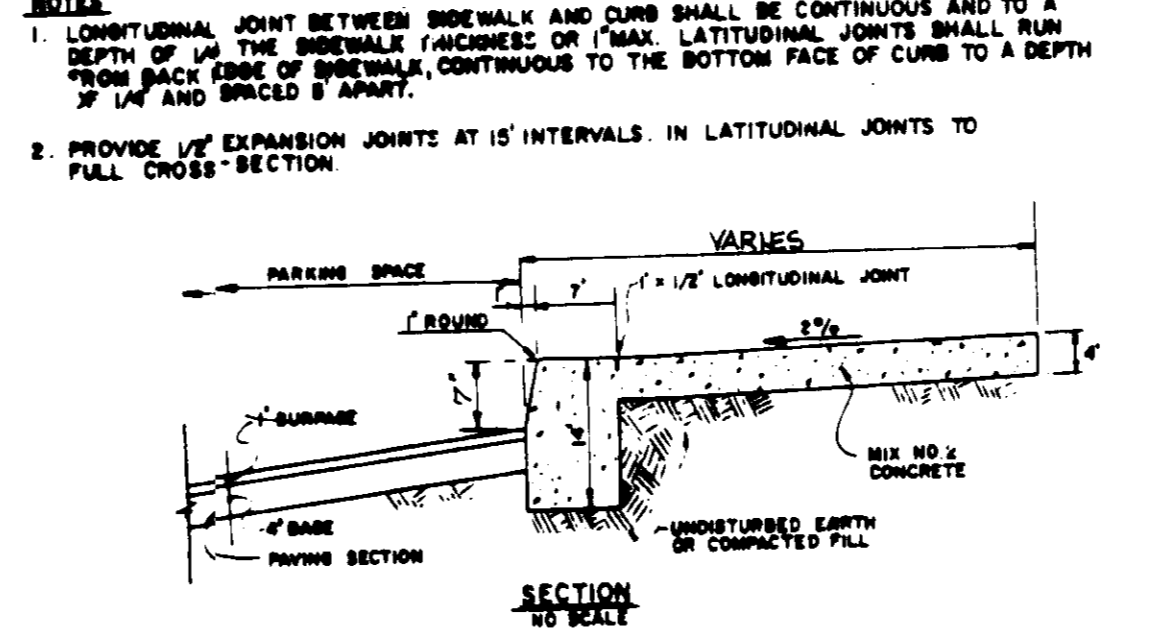
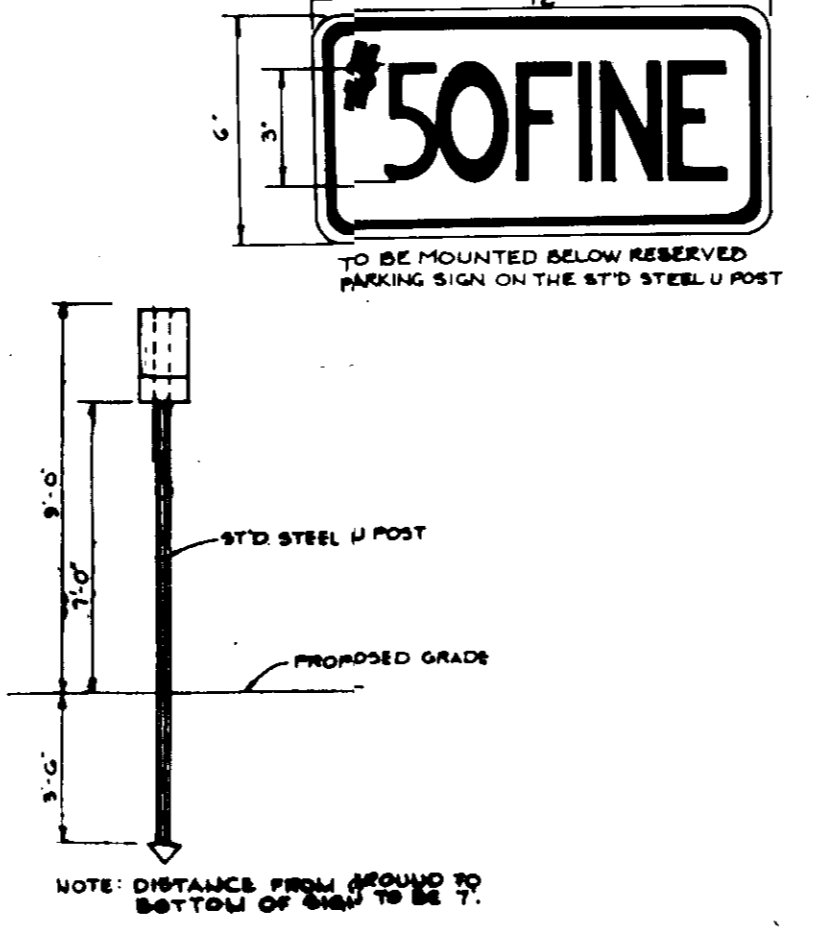
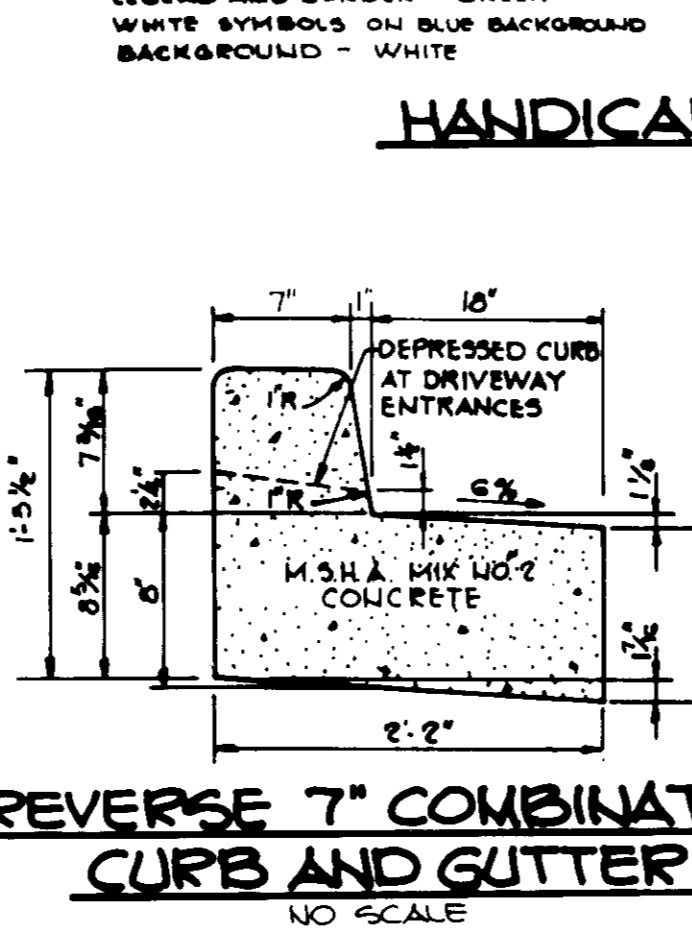
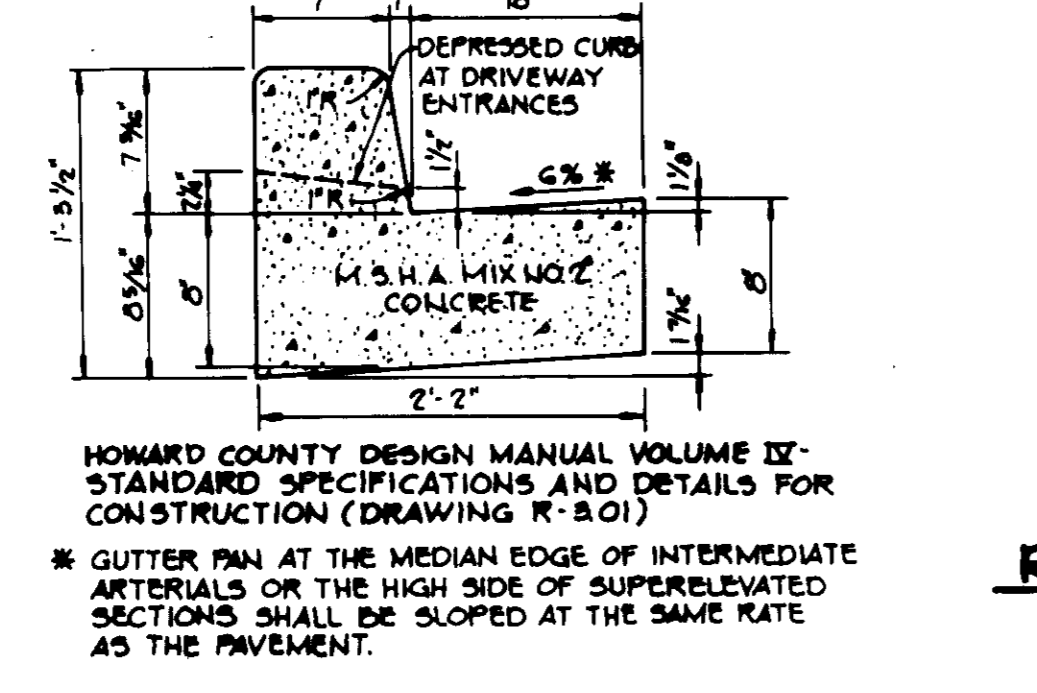
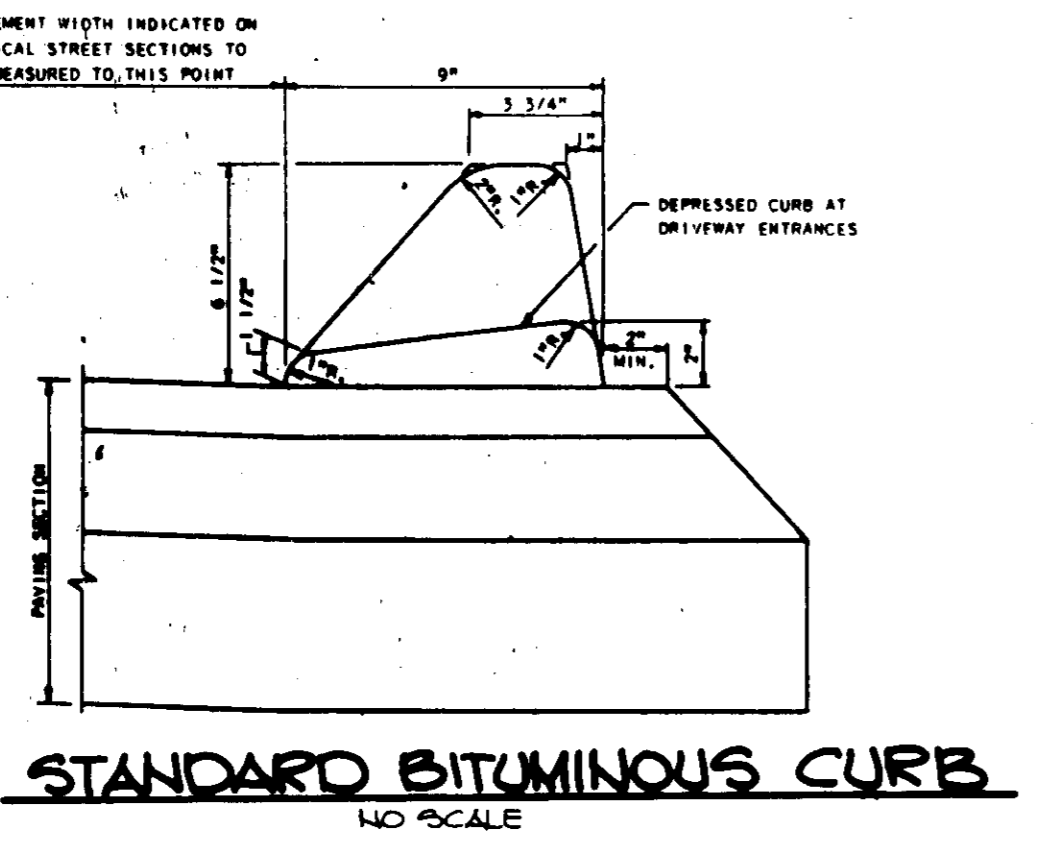
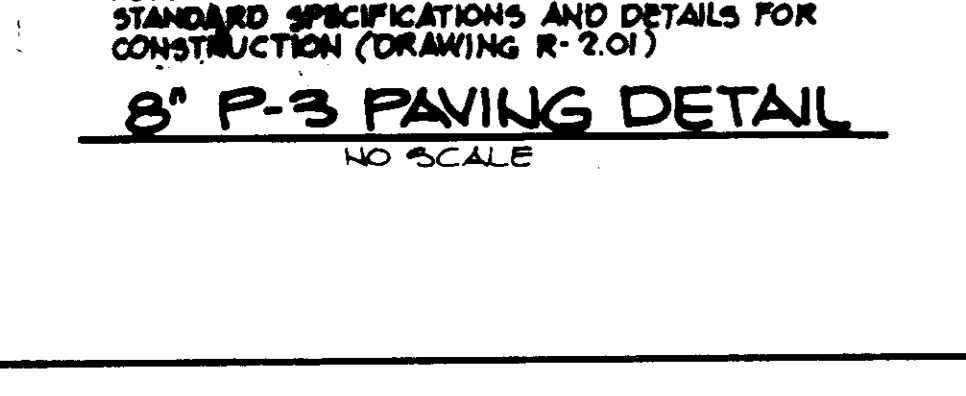
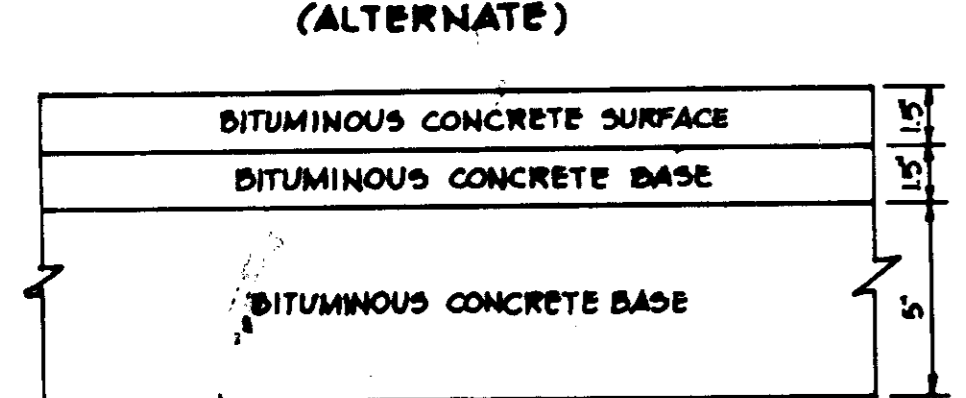
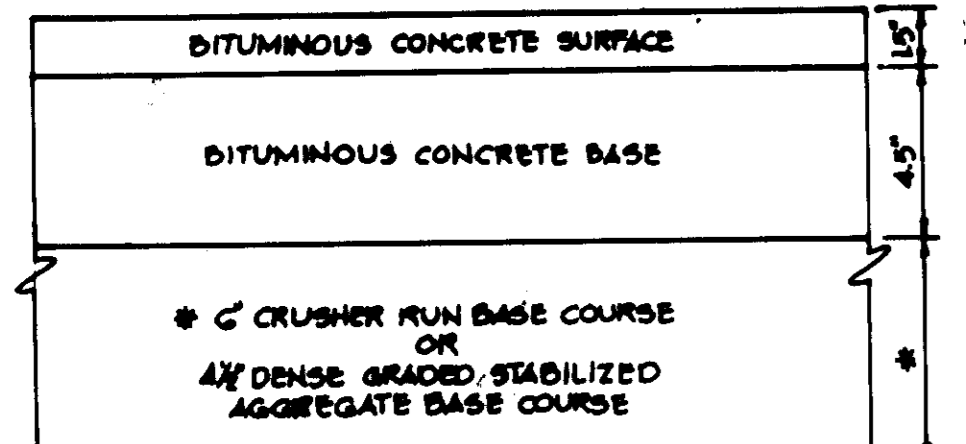
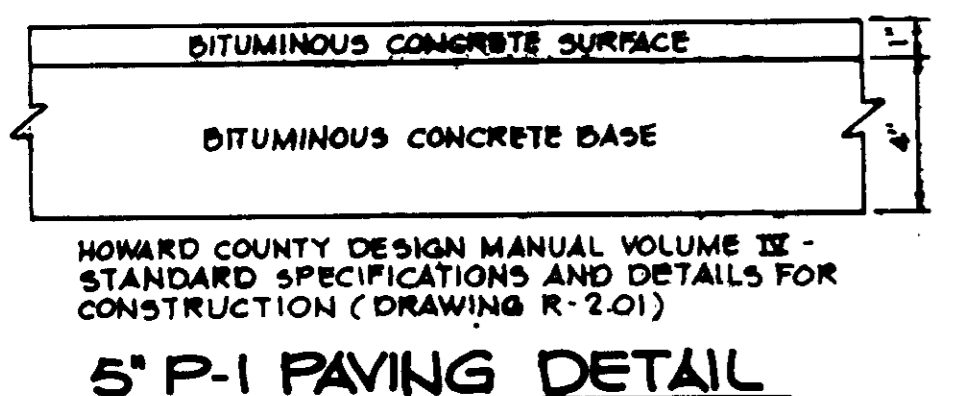
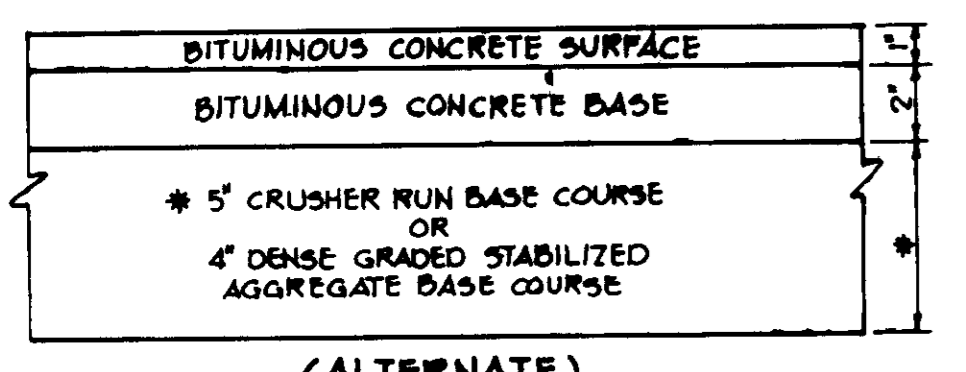
STRUCTURE	MEDIUM STONE DIA.	LENGTH (L)	WIDTH (W)	THICKNESS (T)
E-1	0.67'	20'	20'	1.5'
EX E-1	0.67'	28'	30'	1.5'

**RIP-RAP OUTLET PROTECTION**

**DETAIL**  
NO SCALE



**TRASH RACK DETAIL**  
NO SCALE



BY THE DEVELOPER:  
"I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN 'AS-BUILT' PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."  
*Arthur E. Muegge* 6-15-87  
DEVELOPER DATE

BY THE ENGINEER:  
"I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN 'AS-BUILT' PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."  
*Arthur E. Muegge* 6-15-87  
ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.  
*John M. H. ...* 6/24/87  
U.S. SOIL CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
*Stephen L. ...* 6/24/87  
APPROVED HOWARD S.C.D. DATE

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.  
*James ...* 7-9-87  
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.  
*Uniphie ...* 7-14-87  
PLANNING DIRECTOR DATE  
*John ...* 7-13-87  
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

APPROVED: FOR DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.  
*James ...* 7-6-87  
DIRECTOR DATE  
*John ...* 7-6-87  
CHIEF, BUREAU OF ENGINEERING DATE

OWNER/DEVELOPER  
ROUTE 34 LIMITED PARTNERSHIP  
1000 EQUITABLE BANK CENTER  
COLUMBIA, MARYLAND 21044

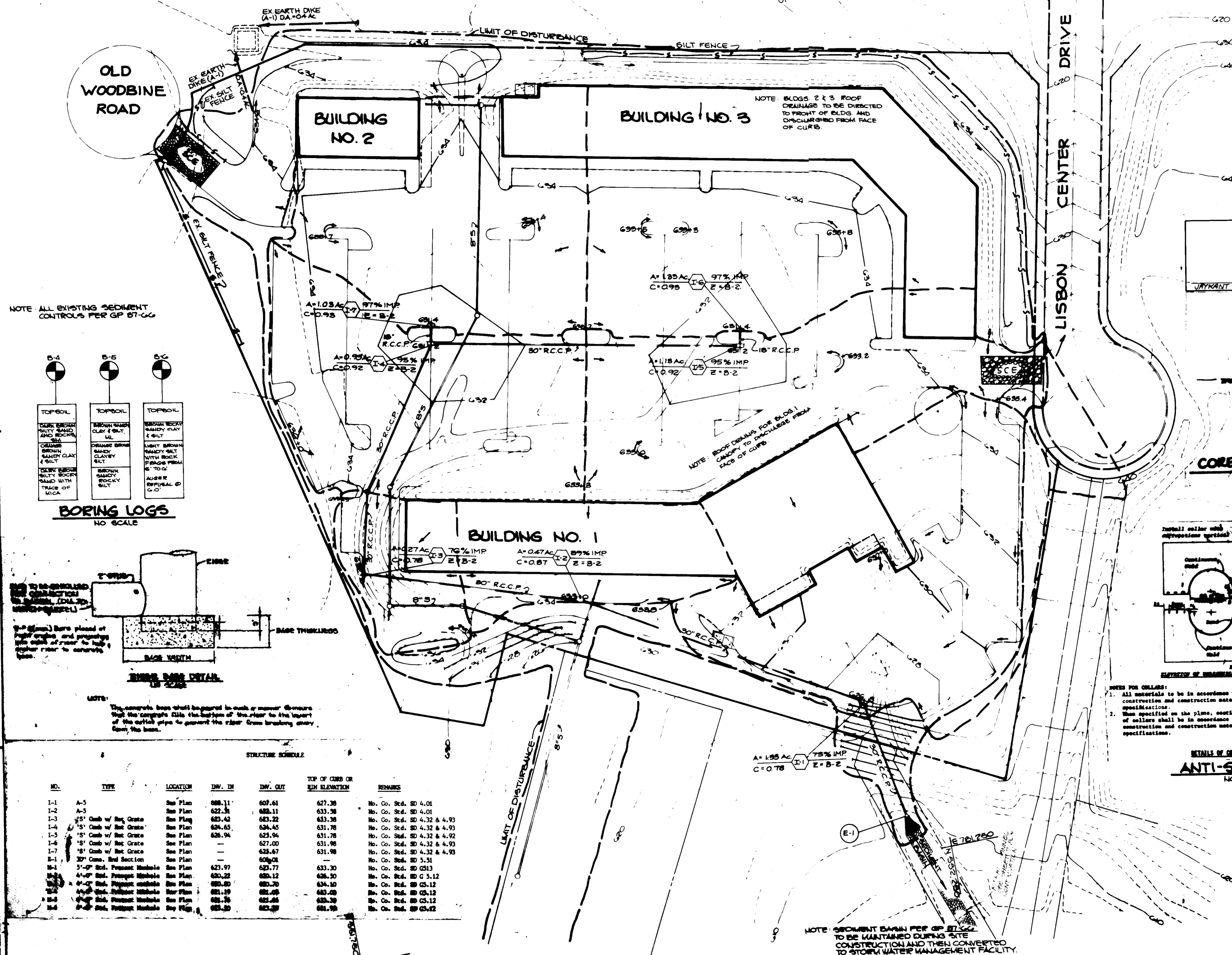
PROJECT: LISBON CENTER  
AREA: ROUTE 34 BUSINESS CENTER PARCEL F  
TAX MAP NO. 2  
4TH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND  
TITLE: CONSTRUCTION AND SWM DETAILS

THE RIEMER GROUP, INC.  
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
3105 Health Park Drive, Ellicott City, Maryland 21043 (301) 481-2880  
DATE: 6-15-87  
DESIGNED BY: JKB  
DRAWN BY: M.A.D.  
PROJECT NO: 35700  
DATE: 6-15-87  
SCALE: AS SHOWN  
DRAWING NO. 5 OF 8

APPROVED  
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE: 5-6-87  
*Arthur E. Muegge*

**GRASS OUTLET TRAP**  
 DA: 0.40 AC  
 VOL. PROVIDED: 720 CF  
 CREST ELEV.: 639.0  
 BOTTOM ELEV.: 630.0  
 CLEANOUT ELEV.: 631.5  
 BOTTOM DIMENSIONS: 15'x15'  
 CREST WIDTH: 4'

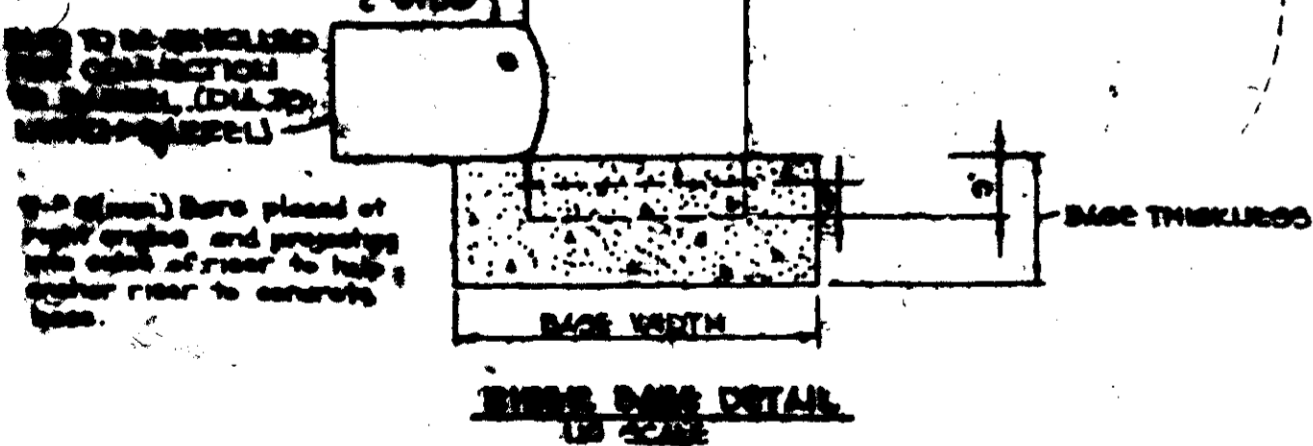
WOODBINE ROAD



NOTE: ALL EXISTING SEDIMENT CONTROLS PER GP 87-66

**BORING LOGS**  
NO SCALE

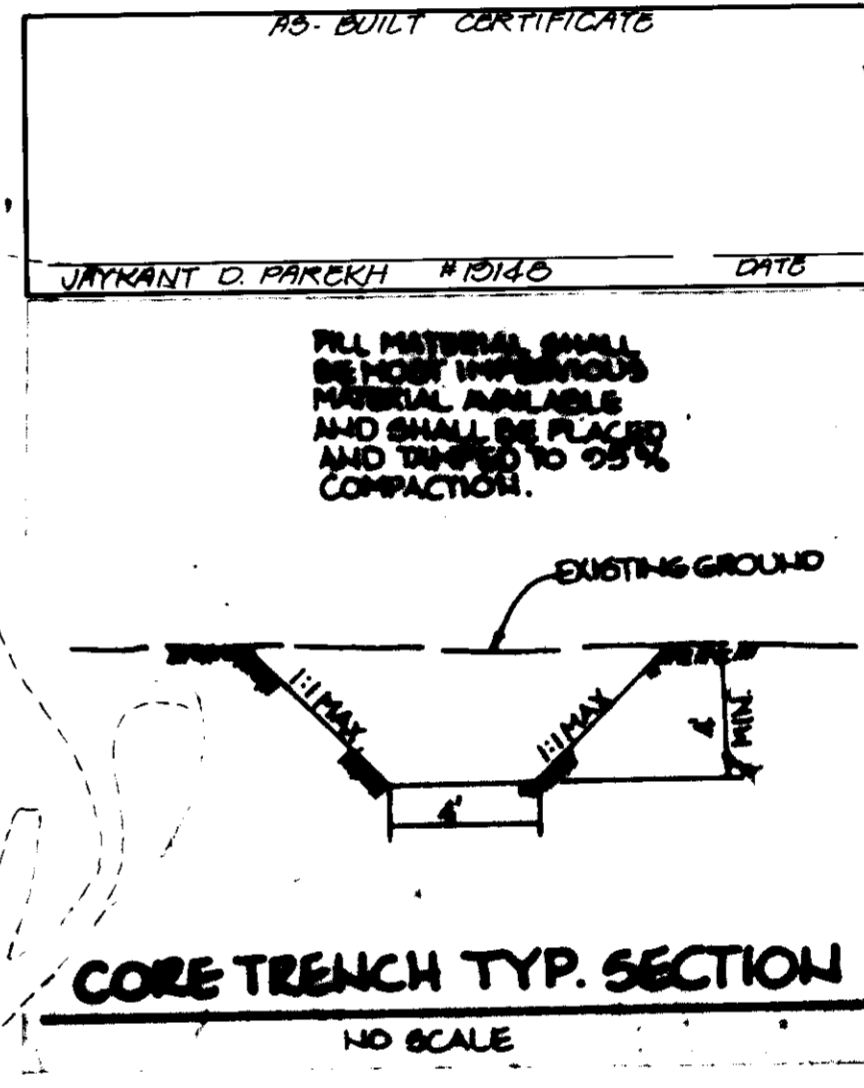
LOG NO.	DEPTH	DESCRIPTION
B-4	0-1'	TOPSOIL
B-4	1-2'	DRY SAND
B-4	2-3'	CLAY
B-4	3-4'	CLAY
B-4	4-5'	CLAY
B-4	5-6'	CLAY
B-4	6-7'	CLAY
B-4	7-8'	CLAY
B-4	8-9'	CLAY
B-4	9-10'	CLAY
B-4	10-11'	CLAY
B-4	11-12'	CLAY
B-4	12-13'	CLAY
B-4	13-14'	CLAY
B-4	14-15'	CLAY
B-4	15-16'	CLAY
B-4	16-17'	CLAY
B-4	17-18'	CLAY
B-4	18-19'	CLAY
B-4	19-20'	CLAY
B-4	20-21'	CLAY
B-4	21-22'	CLAY
B-4	22-23'	CLAY
B-4	23-24'	CLAY
B-4	24-25'	CLAY
B-4	25-26'	CLAY
B-4	26-27'	CLAY
B-4	27-28'	CLAY
B-4	28-29'	CLAY
B-4	29-30'	CLAY
B-4	30-31'	CLAY
B-4	31-32'	CLAY
B-4	32-33'	CLAY
B-4	33-34'	CLAY
B-4	34-35'	CLAY
B-4	35-36'	CLAY
B-4	36-37'	CLAY
B-4	37-38'	CLAY
B-4	38-39'	CLAY
B-4	39-40'	CLAY
B-4	40-41'	CLAY
B-4	41-42'	CLAY
B-4	42-43'	CLAY
B-4	43-44'	CLAY
B-4	44-45'	CLAY
B-4	45-46'	CLAY
B-4	46-47'	CLAY
B-4	47-48'	CLAY
B-4	48-49'	CLAY
B-4	49-50'	CLAY
B-4	50-51'	CLAY
B-4	51-52'	CLAY
B-4	52-53'	CLAY
B-4	53-54'	CLAY
B-4	54-55'	CLAY
B-4	55-56'	CLAY
B-4	56-57'	CLAY
B-4	57-58'	CLAY
B-4	58-59'	CLAY
B-4	59-60'	CLAY
B-4	60-61'	CLAY
B-4	61-62'	CLAY
B-4	62-63'	CLAY
B-4	63-64'	CLAY
B-4	64-65'	CLAY
B-4	65-66'	CLAY
B-4	66-67'	CLAY
B-4	67-68'	CLAY
B-4	68-69'	CLAY
B-4	69-70'	CLAY
B-4	70-71'	CLAY
B-4	71-72'	CLAY
B-4	72-73'	CLAY
B-4	73-74'	CLAY
B-4	74-75'	CLAY
B-4	75-76'	CLAY
B-4	76-77'	CLAY
B-4	77-78'	CLAY
B-4	78-79'	CLAY
B-4	79-80'	CLAY
B-4	80-81'	CLAY
B-4	81-82'	CLAY
B-4	82-83'	CLAY
B-4	83-84'	CLAY
B-4	84-85'	CLAY
B-4	85-86'	CLAY
B-4	86-87'	CLAY
B-4	87-88'	CLAY
B-4	88-89'	CLAY
B-4	89-90'	CLAY
B-4	90-91'	CLAY
B-4	91-92'	CLAY
B-4	92-93'	CLAY
B-4	93-94'	CLAY
B-4	94-95'	CLAY
B-4	95-96'	CLAY
B-4	96-97'	CLAY
B-4	97-98'	CLAY
B-4	98-99'	CLAY
B-4	99-100'	CLAY



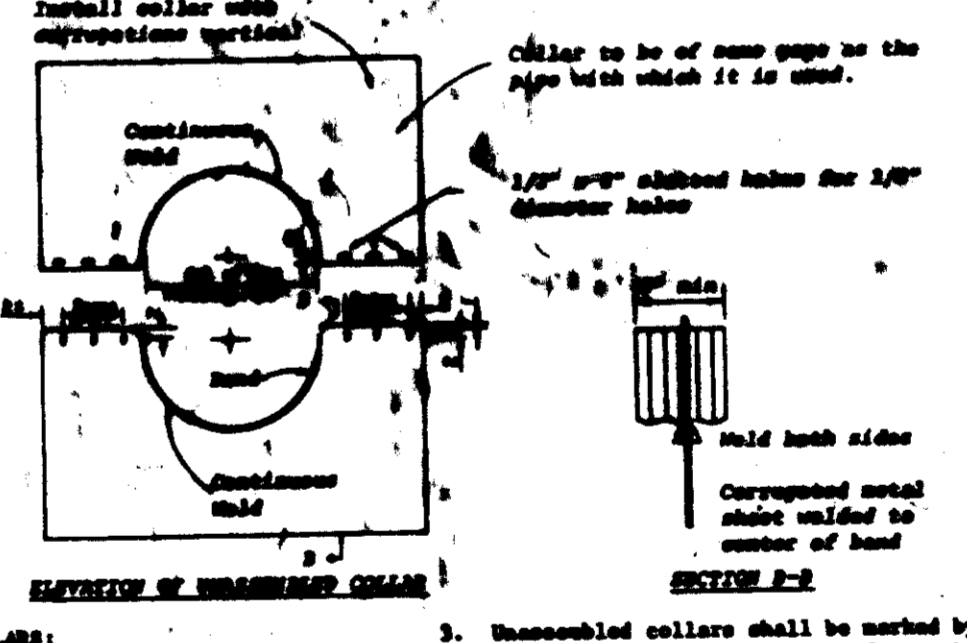
NOTE: The concrete base shall be poured in such a manner as to ensure that the concrete fills the bottom of the pipe to the bottom of the outlet pipe to prevent the pipe from breaking away from the base.

**STRUCTURE SCHEDULE**

ID.	TYPE	LOCATION	INV. IN	INV. OUT	TOP OF CURB OR RIM ELEVATION	REMARKS
1-1	A-5	See Plan	688.11	607.61	627.38	No. Co. Sed. SD 4.01
1-2	A-5	See Plan	622.38	688.11	633.38	No. Co. Sed. SD 4.01
1-3	18" Catch w/ Rat Grate	See Plan	623.42	623.22	633.38	No. Co. Sed. SD 4.32 & 4.93
1-4	18" Catch w/ Rat Grate	See Plan	624.65	624.45	631.78	No. Co. Sed. SD 4.32 & 4.93
1-5	18" Catch w/ Rat Grate	See Plan	626.94	623.94	631.78	No. Co. Sed. SD 4.32 & 4.93
1-6	18" Catch w/ Rat Grate	See Plan	627.00	627.00	631.98	No. Co. Sed. SD 4.32 & 4.93
1-7	18" Catch w/ Rat Grate	See Plan	628.67	628.67	631.98	No. Co. Sed. SD 4.32 & 4.93
1-8	30" Catch w/ Rat Grate	See Plan	609.01	609.01	631.98	No. Co. Sed. SD 5.31
1-9	30" Catch w/ Rat Grate	See Plan	623.97	623.77	633.30	No. Co. Sed. SD 4.93
1-10	30" Catch w/ Rat Grate	See Plan	623.22	623.22	636.30	No. Co. Sed. SD 5.12
1-11	30" Catch w/ Rat Grate	See Plan	623.20	623.20	634.10	No. Co. Sed. SD 5.12
1-12	30" Catch w/ Rat Grate	See Plan	623.19	623.19	643.00	No. Co. Sed. SD 5.12
1-13	30" Catch w/ Rat Grate	See Plan	623.16	623.16	643.30	No. Co. Sed. SD 5.12
1-14	30" Catch w/ Rat Grate	See Plan	623.10	623.10	643.30	No. Co. Sed. SD 5.12



CORE TRENCH TYP. SECTION  
NO SCALE



DETAILS OF CORRUGATED METAL ANTI-SEEP COLLAR  
NO SCALE

- NOTES FOR COLLARS:**
- All materials to be in accordance with construction and construction material specifications.
  - The lap between the two half sections and between the pipe and connecting band shall be caulked with asphalt mastic at time of installation.
  - Each collar shall be furnished with one 1/2" diameter rods with standard tank legs for connecting collars to pipe.

APPROVED  
 DIVISION OF LAND DEVELOPMENT &  
 ZONING ADMINISTRATION  
 HOWARD COUNTY, MARYLAND  
 DATE: 5-6-87  
 [Signature]

BY THE DEVELOPER:  
 "I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AS A REQUIREMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE GENERAL PUBLIC... I ALSO AUTHORIZE THE BOARD OF SUPERVISORS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."  
 [Signature] 6-15-87 DATE

BY THE ENGINEER:  
 "I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN 'AS-BUILT' PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."  
 [Signature] 6-15-87 DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.  
 [Signature] 6/24/87 DATE  
 U.S. SOIL CONSERVATION SERVICE

APPROVED: [Signature] 7-9-87 DATE  
 COUNTY HEALTH OFFICER

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.  
 [Signature] 7-14-87 DATE  
 PLANNING DIRECTOR

APPROVED: [Signature] 7-13-87 DATE  
 CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION

APPROVED: [Signature] 7-13-87 DATE  
 CHIEF, DIVISION OF PUBLIC WORKS

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 [Signature] 7-13-87 DATE  
 DIRECTOR

DATE NO REVISION

OWNER/DEVELOPER  
 ROUTE 94 LIMITED PARTNERSHIP  
 1000 EQUITABLE BANK CENTER  
 COLUMBIA, MARYLAND 21044

PROJECT  
**LISBON CENTER**

AREA ROUTE 94 BUSINESS CENTER PARCEL F  
 TAX MAP 2  
 4TH ELECTION DISTRICT HOWARD COUNTY, MD.

TITLE  
**DRAINAGE AREA MAP & SEDIMENT CONTROL PLAN**

THE REMER GROUP, INC.  
 The Remer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
 1100 Hinson Park Drive, Ellicott City, Maryland 21043 (301) 481-0000

6-15-87 DATE

DESIGNED BY: C.J.R.  
 DRAWN BY: D.V.R.  
 SHEET NO: 10000  
 DATE: 6-15-87  
 SCALE: 1" = 40'  
 DRAWING NO. 6-87-2  
 AS-BUILT 5-30-85

60P. 87-14  
 AS-BUILT 5-30-85

Apply to ground... not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

**Seeding Preparation:** Loosen upper three inches of soil by raking, disking or other acceptable means before seeding.

**Soil Amendments:** Apply 0-20-20 fertilizer at the rate of 600 lbs. per acre. Harrow or disc 1-2 times and 0-20-20 fertilizer into the soil to a minimum depth of 2". Loam or high maintenance areas will be dragged and leveled with a disk rake. At the time of seeding, apply 400 lbs. of 30-0-0 ureaform fertilizer and 500 lbs. of 10-20-20 or equivalent fertilizer per acre.

**Seeding:** For the periods March 1 thru April 30, and August 1 thru October 15, seed with 40 lbs. per acre (1 lb./1000 sq. ft.) of a mixture of certified 'Merion' Kentucky bluegrass; common Kentucky bluegrass @ 40 lbs. per acre (1 lb./1000 sq. ft.); and Red Fescue, Tallman or Jamestown @ 20 lbs. per acre (0.5 lb./1000 sq. ft.) for the period May 1 thru July 31, seed with 40-40-20 mix as specified above and 2 lbs. per acre (0.05 lb./1000 sq. ft.) of creeping lovegrass. During the period of October 1 thru February 28, protect site by (Option 1) 2 tons per acre of well-anchored straw mulch and seed as soon as possible in the spring. (Option 2) Use seed. (Option 3) Seed with 40-40-20 mix specified above and mulch with 2 tons/acre well-anchored straw.

**Mulching:** Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq. ft.) of unretted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallon per acre (5 gal./1000 sq. ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal./1000 sq. ft.) for anchoring.

**Maintenance:** Inspect all seeded areas and make needed repairs, replacements and reseedings.

**TEMPORARY SEEDING NOTES**

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

**Seeding Preparation:** Loosen upper three inches of soil by raking, disking or other acceptable means before seeding.

**Soil Amendments:** Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq. ft.) where soil is highly acidic, apply dolomitic limestone at the rate of 1 ton per acre.

**Seeding:** For periods March 1 thru April 30 and from August 15 thru November 15, seed with 140 lbs. per acre of annual type 2 lb./1000 sq. ft.). For the period May 1 thru August 14, seed with 3 lbs. per acre (0.7 lb./1000 sq. ft.). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well-anchored straw mulch and seed as soon as possible in the spring, or use seed.

**Mulching:** Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq. ft.) of unretted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal. per acre (5 gal./1000 sq. ft.) of emulsified asphalt on flat areas. On slopes 8 ft. or higher, use 348 gal. per acre (8 gal./1000 sq. ft.) for anchoring.

**SEDIMENT CONTROL NOTES**

1. A minimum of 24 hours notice must be given to the Howard County Office of Inspections and Permits prior to the start of any construction (992-2437)

2. All vegetative and structural practices are to be installed according to the provisions of the plan and are to be in accordance with the 1982 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

3. Following initial soil disturbance or redisturbances, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter control and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.

4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.

5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1982 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent stabilization and seeding (Sec. 24), temporary stabilization with mulch and seeding (Sec. 25). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.

6. All sediment control structures are to remain in place and are to be maintained in operating condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.

7. Site Analysis:

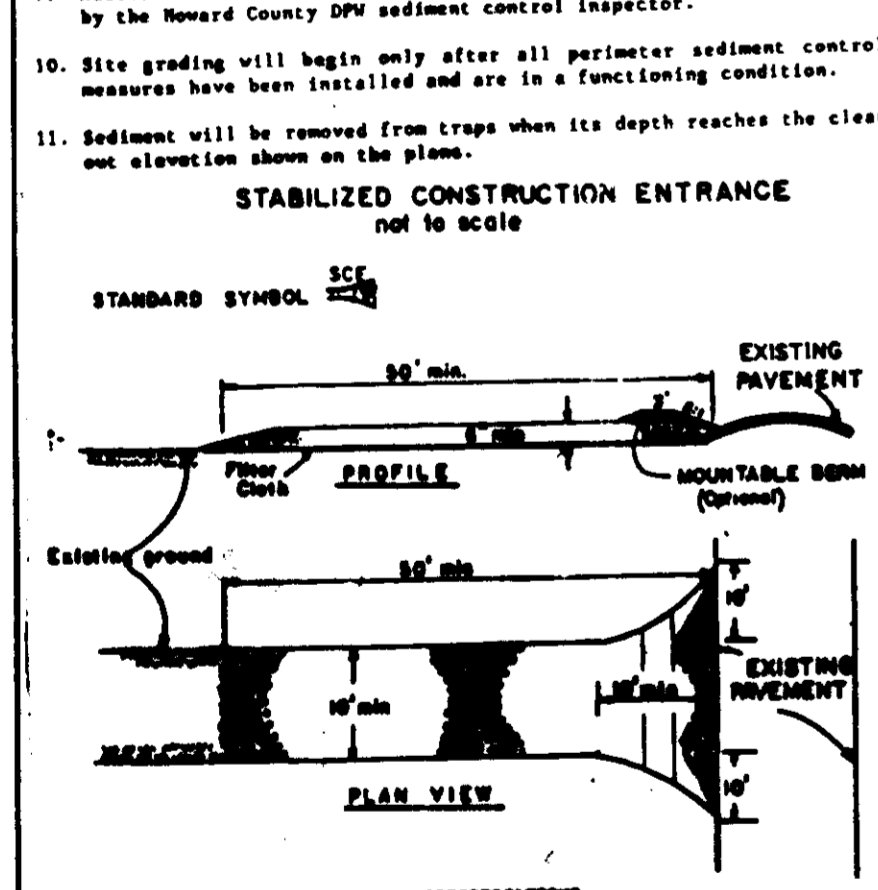
Total Area of Site	7,000 sq. ft.
Area Disturbed	1,000 sq. ft.
Area to be seeded or paved	1,000 sq. ft.
Area to be vegetatively stabilized	1,000 sq. ft.
Total Disturbed Area	3,000 sq. ft.
Total Area to be Seeded	2,000 sq. ft.

8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.

9. Additional sediment control structures must be provided, if deemed necessary by the Howard County Sediment Control Inspector.

10. Site grading will begin only after all perimeter sediment control measures have been installed and are in a functioning condition.

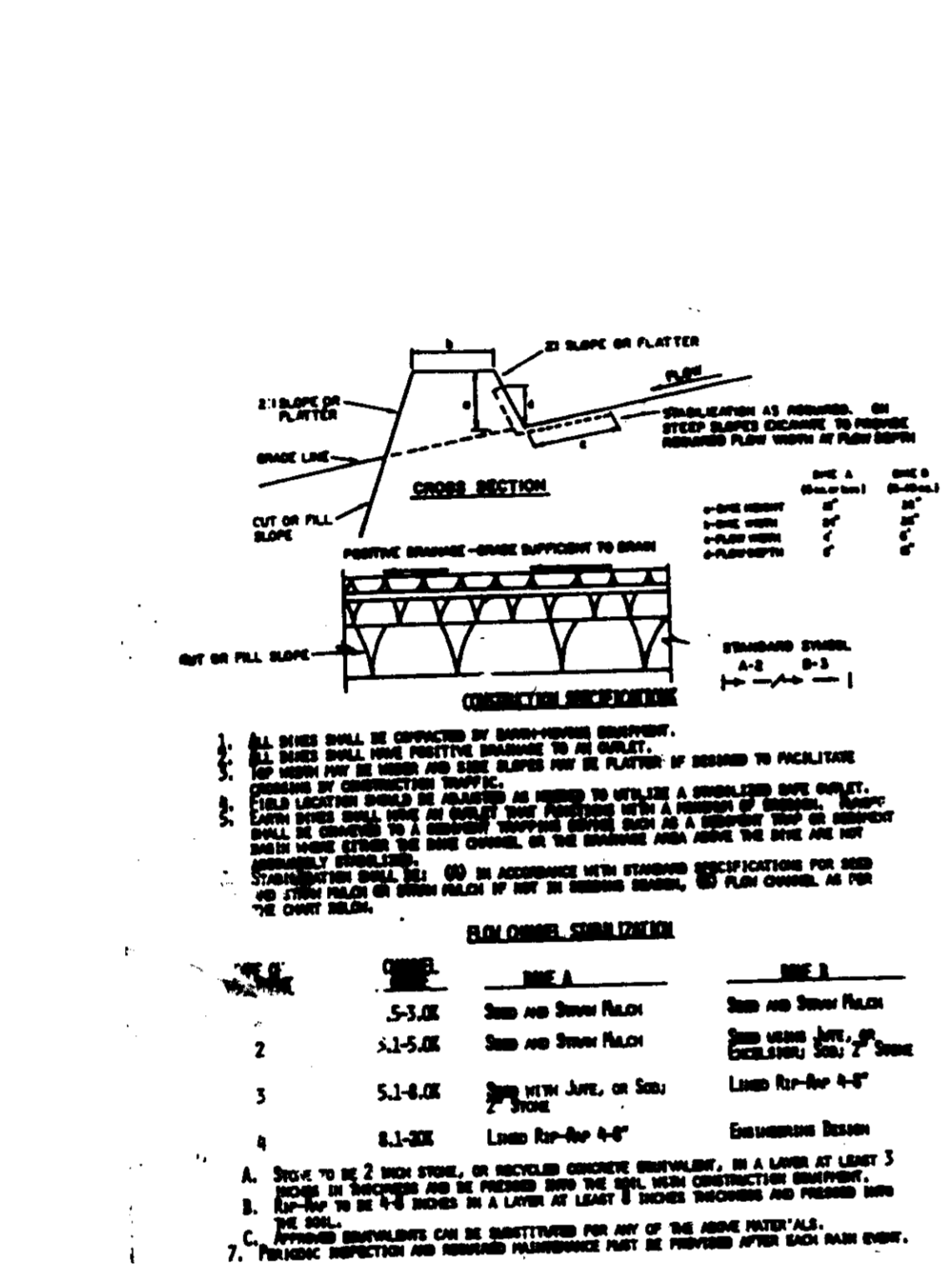
11. Sediment will be removed from traps when its depth reaches the clear out elevation.



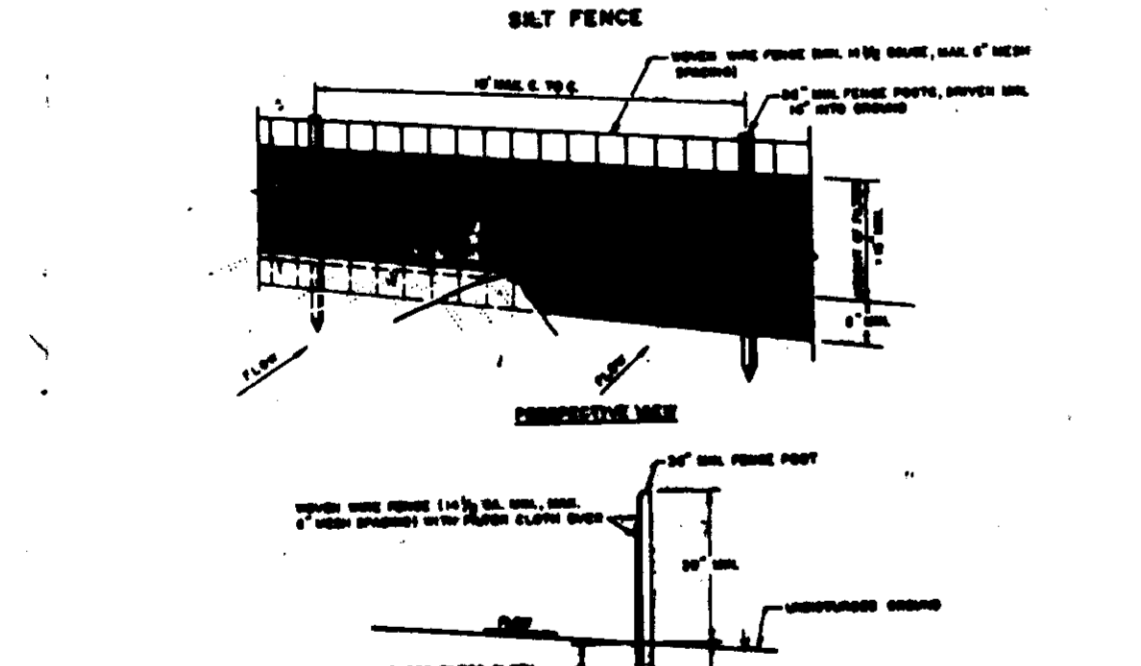
1. Stone Size - 3/4" stones, or equivalent or graded concrete equivalent.
2. Length - As required, but not less than 20' (10' if a single post-hole basin).
3. Minimum - Not less than 60" high.
4. Width - Not less than 36" wide, but not less than 48" wide.
5. Filter Cloth - Shall be placed over the entire area prior to placing of stones.
6. Filter Cloth - Shall be placed over the entire area prior to placing of stones.
7. Maintenance - The entrance shall be maintained in a condition which will prevent sediment from passing through the filter cloth. This may be accomplished by raking or blowing with additional stones or additional filter cloth and regular maintenance of any entrance used in any condition.
8. Warning Signs - Shall be placed on the entrance prior to entrance into the structure.
9. Maintenance - Shall be maintained in a condition which will prevent sediment from passing through the filter cloth.
10. Maintenance - Shall be maintained in a condition which will prevent sediment from passing through the filter cloth.

**STABILIZED CONSTRUCTION ENTRANCE**  
NO SCALE

- SEQUENCE OF CONSTRUCTION**
1. Obtain Grading Permit.
  2. Perform maintenance and repairs to existing sediment controls and sediment basin as shown on GP-87-66. All controls shown under the approved grading plan GP-87-66 must be in place and functional prior to start of work. (2 days)
  3. Install silt fence and stabilized construction entrance as shown. (1 day)
  4. Complete grading and construction activities. (16 weeks)
  5. Stabilize all disturbed area in accordance with the permanent seeding notes. (3 days)
  6. Upon permission of the sediment control inspector, remove all sediment control and stabilize all areas disturbed in their removal in accordance with the permanent seeding notes. (1 day)
  7. Upon permission of the sediment control inspector, convert the temporary sediment basin to permanent storm water management use in accordance with the following procedure - (3 days):
    - a. Pump all standing water thru principal spillway.
    - b. Remove all excess sediment and excavate basin to final bottom elevation of 588.0 and spread excess earth uphill of pond.
    - c. Remove low flow orifice blocking.
    - d. Stabilize all disturbed areas in accordance with the permanent seeding notes. (Silt fence may be required downgrad of excess disposal areas)

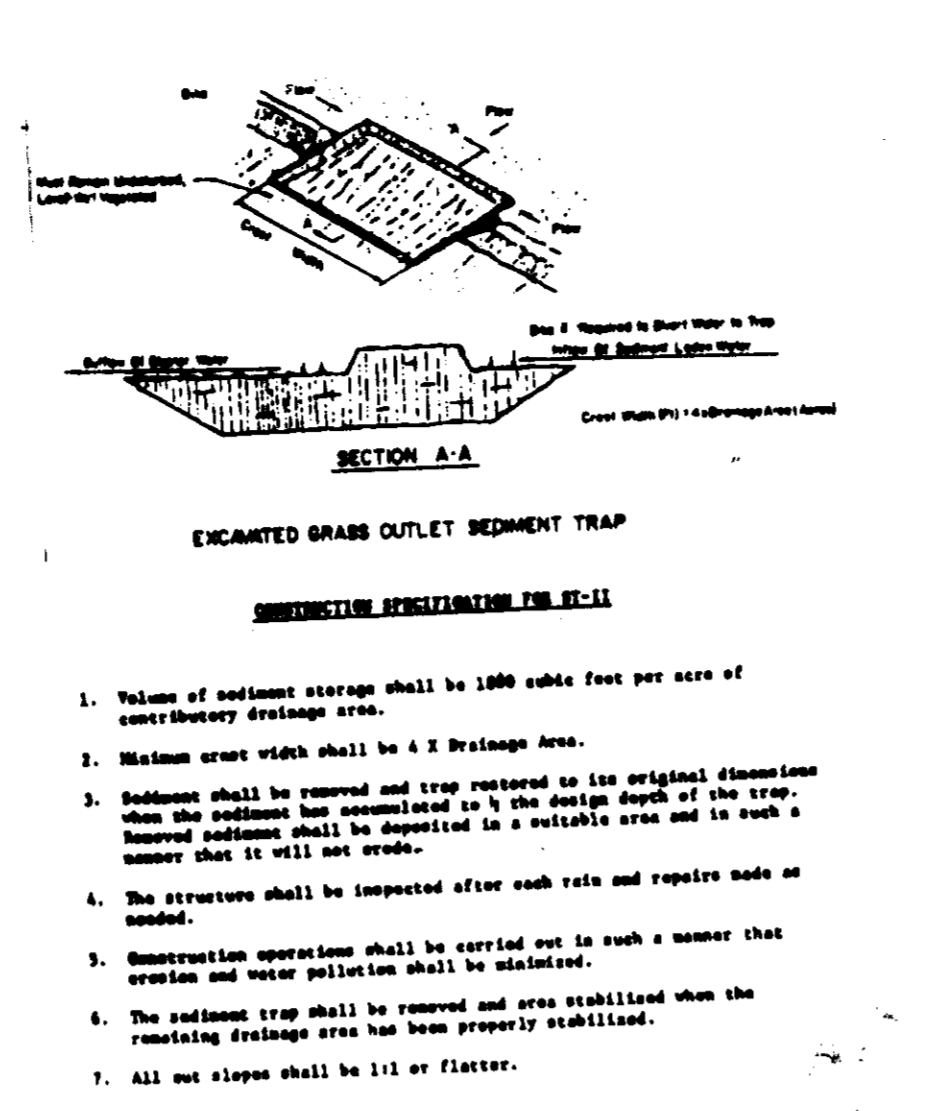


**EARTH DIKE**  
NO SCALE

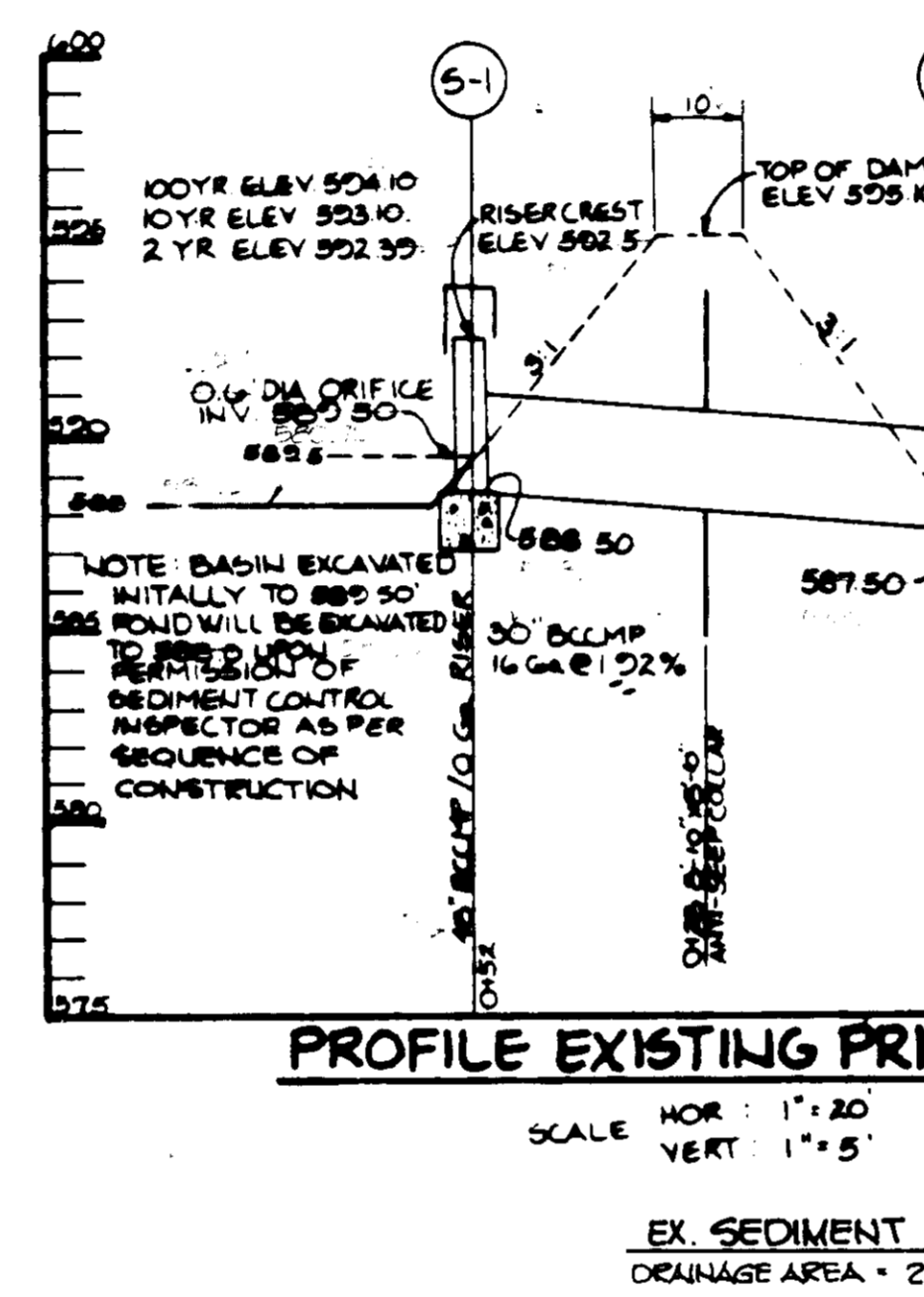


1. Stone size shall be 3/4" stones, or equivalent or graded concrete equivalent.
2. Length shall be as required, but not less than 20' (10' if a single post-hole basin).
3. Minimum height shall be 60" high.
4. Width shall be not less than 36" wide, but not less than 48" wide.
5. Filter cloth shall be placed over the entire area prior to placing of stones.
6. Filter cloth shall be placed over the entire area prior to placing of stones.
7. Maintenance - The entrance shall be maintained in a condition which will prevent sediment from passing through the filter cloth. This may be accomplished by raking or blowing with additional stones or additional filter cloth and regular maintenance of any entrance used in any condition.
8. Warning signs shall be placed on the entrance prior to entrance into the structure.
9. Maintenance shall be maintained in a condition which will prevent sediment from passing through the filter cloth.
10. Maintenance shall be maintained in a condition which will prevent sediment from passing through the filter cloth.

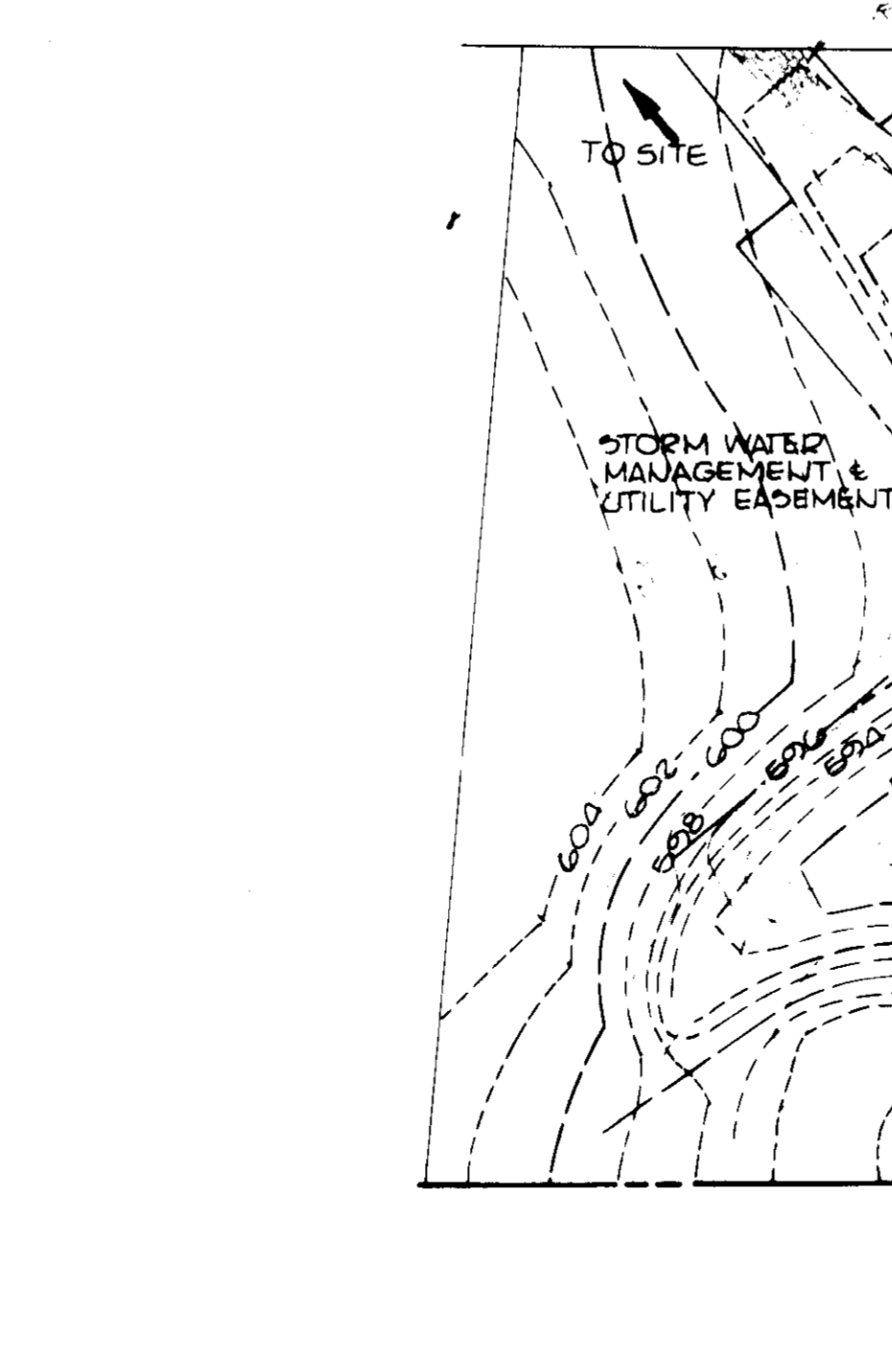
**SILT FENCE**  
NO SCALE



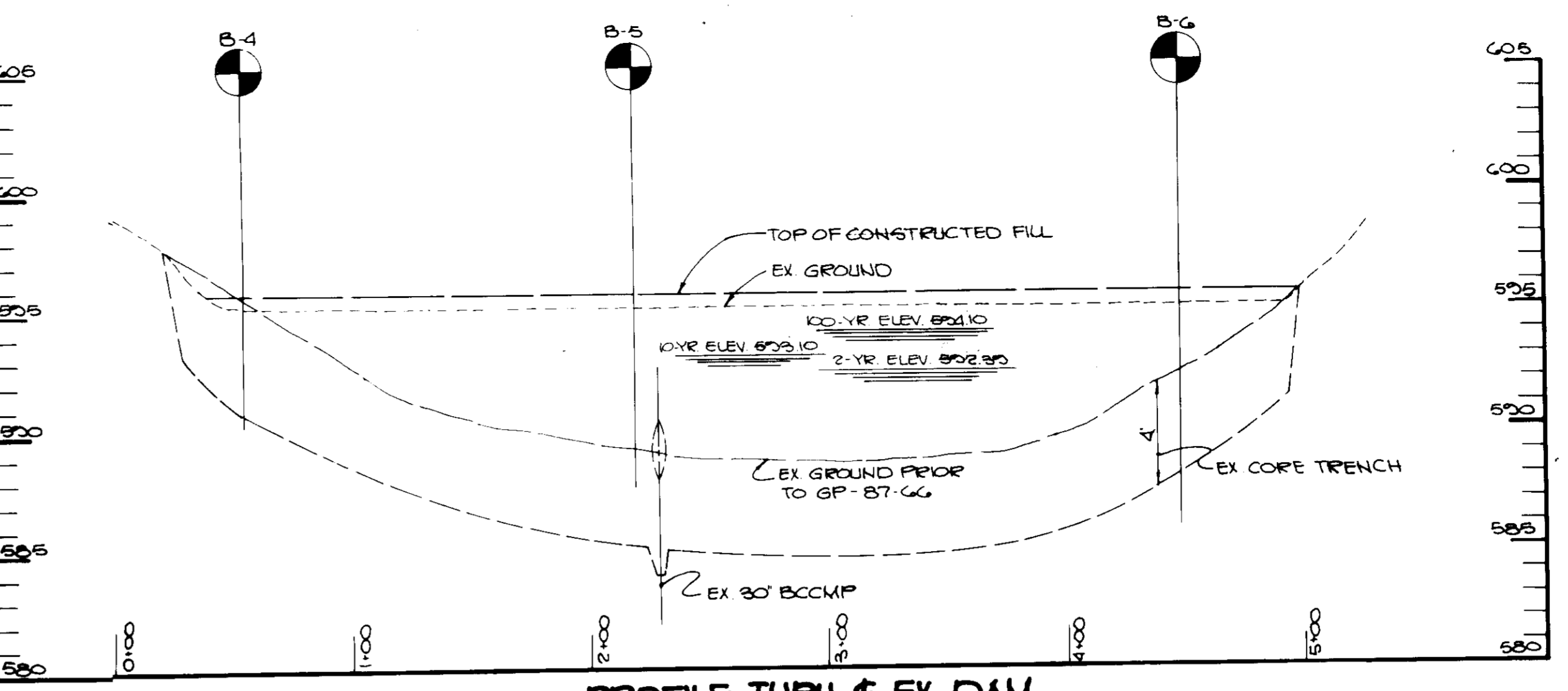
**GRASS OUTLET SEDIMENT TRAP**



**PROFILE EXISTING PRINCIPAL SPILLWAY**  
SCALE HOR: 1" = 20' VERT: 1" = 5'

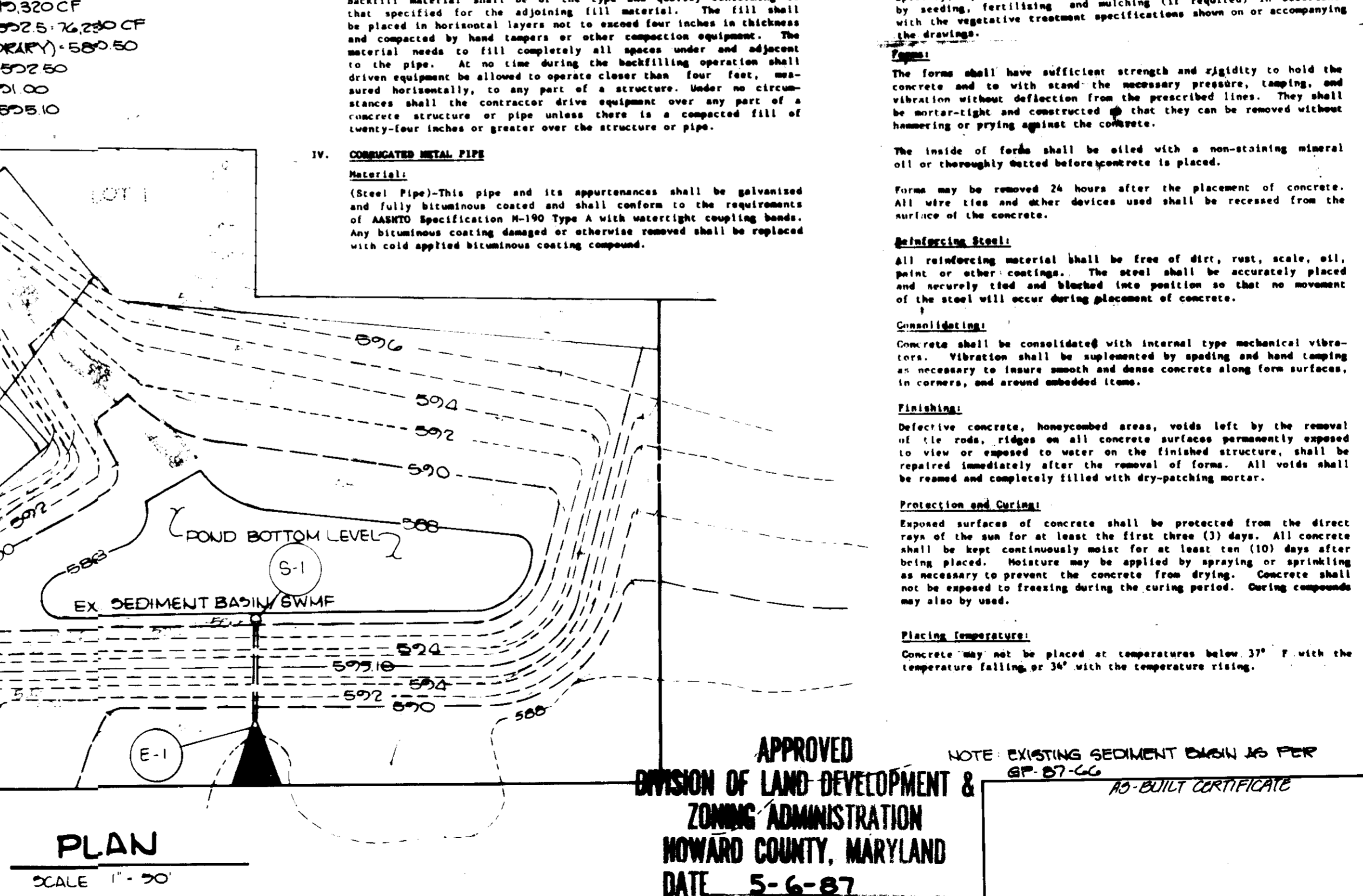


**EX SEDIMENT BASIN DATA**  
DRAINAGE AREA = 27.4 AC  
REQUIRED VOLUME = 40,320 CF  
VOLUME PROVIDED @ 592.5 = 16,230 CF  
BOTTOM ELEV. (TEMPORARY) = 589.50  
RISER CREST ELEV. = 592.50  
CLEAN OUT ELEV. = 591.00  
TOP OF DAM ELEV. = 595.10



**PROFILE THRU EX. DAM**  
SCALE HOR: 1" = 50' VERT: 1" = 5'

1. **SITE PREPARATION**  
Areas under the borrow areas, embankment, and structural works shall be cleared, grubbed and the topsoil stripped to remove all trees, vegetation, rocks or other objectionable material. Channel banks and sharp breaks shall be sloped to no steeper than 1:1.
2. **EMBANKMENT**  
Areas covered by the pond or reservoir will be cleared of all trees, brush, logs, fences, rubbish and other objectionable material unless otherwise designated on the plans. Trees, brush and stumps shall be cut approximately level with the ground surface.
3. **DISPOSAL**  
All cleared and grubbed material shall be disposed of outside the limits of the dam and reservoir as directed by the owner or his representative. When disposed, a sufficient quantity of topsoil will be stockpiled in a suitable location for use on the embankment and other designated areas.
4. **GRAVEL FILL**  
The fill material shall be taken from approved designated borrow areas or areas. It shall be free of roots, stumps, wood, rubbish, over-size stones, frozen or other objectionable materials. The embankment shall be constructed to an elevation which provides for anticipated settlement to the design elevation. The fill height will along the length of the embankment shall be increased above the design elevation (including freeboard) as shown on the plans.
5. **PLACEMENT**  
Areas on which fill is to be placed shall be scarified prior to placement of fill. Fill materials shall be placed in 8-inch maximum thickness (before compaction) layers which are to be continuous over the entire length of the fill. The most porous borrow material shall be placed in the downstream portions of the embankment.
6. **COMPACTION**  
The movement of the hauling and spreading equipment over the fill shall be controlled so that the entire surface of each lift shall be traversed by not less than one tread track of the equipment or compaction shall be achieved by a minimum of four complete passes of a sheepsfoot, rubber tired or vibratory roller. Fill material shall contain sufficient moisture such that the required degree of compaction can be obtained with the equipment used.
7. **CUTOFF TRENCH**  
Where specified, a cutoff trench shall be excavated along or parallel to the centerline of the embankment as shown on the plans. The bottom width of the trench shall be governed by the equipment used for excavation, with the minimum width being four feet. The depth for excavation shall be as shown on the plans. The side slopes of the trench shall be 1 to 1 or flatter. The backfill material for the cutoff trench shall be the most impervious material available and shall be compacted with equipment or rollers to ensure maximum density and minimum permeability.
8. **STRUCTURAL BACKFILL**  
Backfill material shall be of the type and quality conforming to that specified for the adjoining fill material. The fill shall be placed in horizontal layers not to exceed four inches in thickness and compacted by hand tampers or other compaction equipment. The material needs to fill completely all spaces under and adjacent to the pipe. At no time during the backfilling operation shall driven equipment be allowed to operate closer than four feet, measured horizontally, to any part of a structure. Under no circumstances shall the contractor drive equipment over any part of a concrete structure or pipe unless there is a compacted fill of twenty-four inches or greater over the structure or pipe.
9. **COMPACTED METAL PIPE**  
**Material:** (Steel Pipe) - This pipe and its appurtenances shall be galvanized and fully bituminous coated and shall conform to the requirements of AASHTO Specification M-190 Type A with watertight coupling bands. Any bituminous coating damaged or otherwise removed shall be replaced with cold applied bituminous coating compound.



**PLAN**  
SCALE 1" = 50'

BY THE DEVELOPER:

"I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN 'AS-BUILT' PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

*Christine A. Kellard*  
DEVELOPER  
6-15-87  
DATE

BY THE ENGINEER:

"I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN 'AS-BUILT' PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."

*Arthur E. Muegge*  
ENGINEER  
6-15-87  
DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

*James M. Selig*  
U.S. SOIL CONSERVATION SERVICE  
6/24/87  
DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*Stephen L. Palm*  
HOWARD S.C.D.  
6/24/87  
DATE

APPROVED: FOR PERMITS, WATER AND SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

*Joyce Bogdan*  
COUNTY HEALTH OFFICER  
7-9-87  
DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

*Jim Hain*  
PLANNING DIRECTOR  
7-14-87  
DATE

*William H. Hahn*  
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION  
7-13-87  
DATE

APPROVED: FOR DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

*Samuel J. ...*  
DIRECTOR  
7/16/87  
DATE

*John E. ...*  
CHIEF, BUREAU OF ENGINEERING  
7-6-87  
DATE

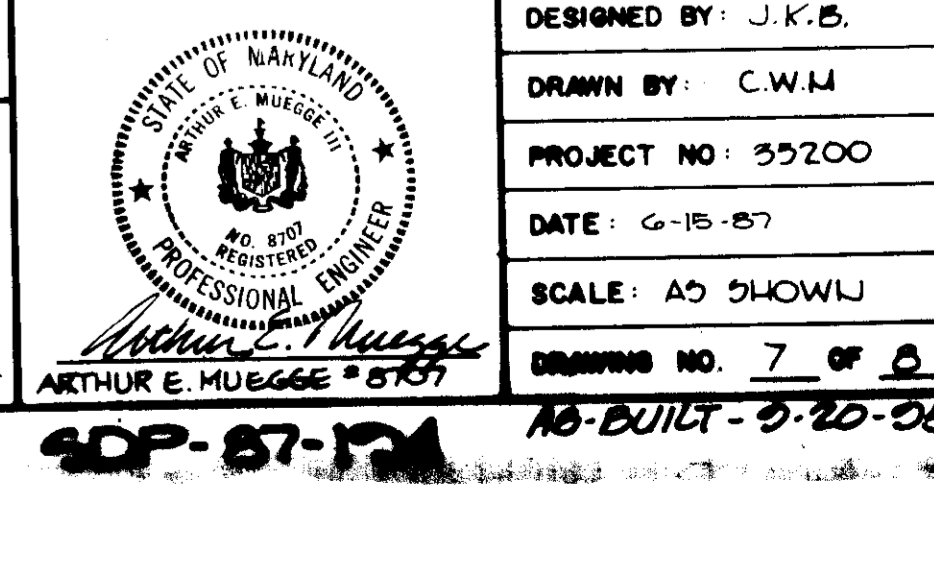
DATE	NO.	REVISION

OWNER/DEVELOPER  
ROUTE 24 LIMITED PARTNERSHIP  
1000 EQUITABLE BANK CENTER  
COLUMBIA, MARYLAND 21044

PROJECT: LISBON CENTER  
AREA: ROUTE 24 BUSINESS CENTER PARCEL F  
TAX MAP NO. 2  
4TH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

TITLE: SEDIMENT CONTROL NOTES AND DETAILS  
THE RIEMER GROUP, INC.  
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
3106 Health Park Drive, Ellicott City, Maryland 21043 (301) 481-2680

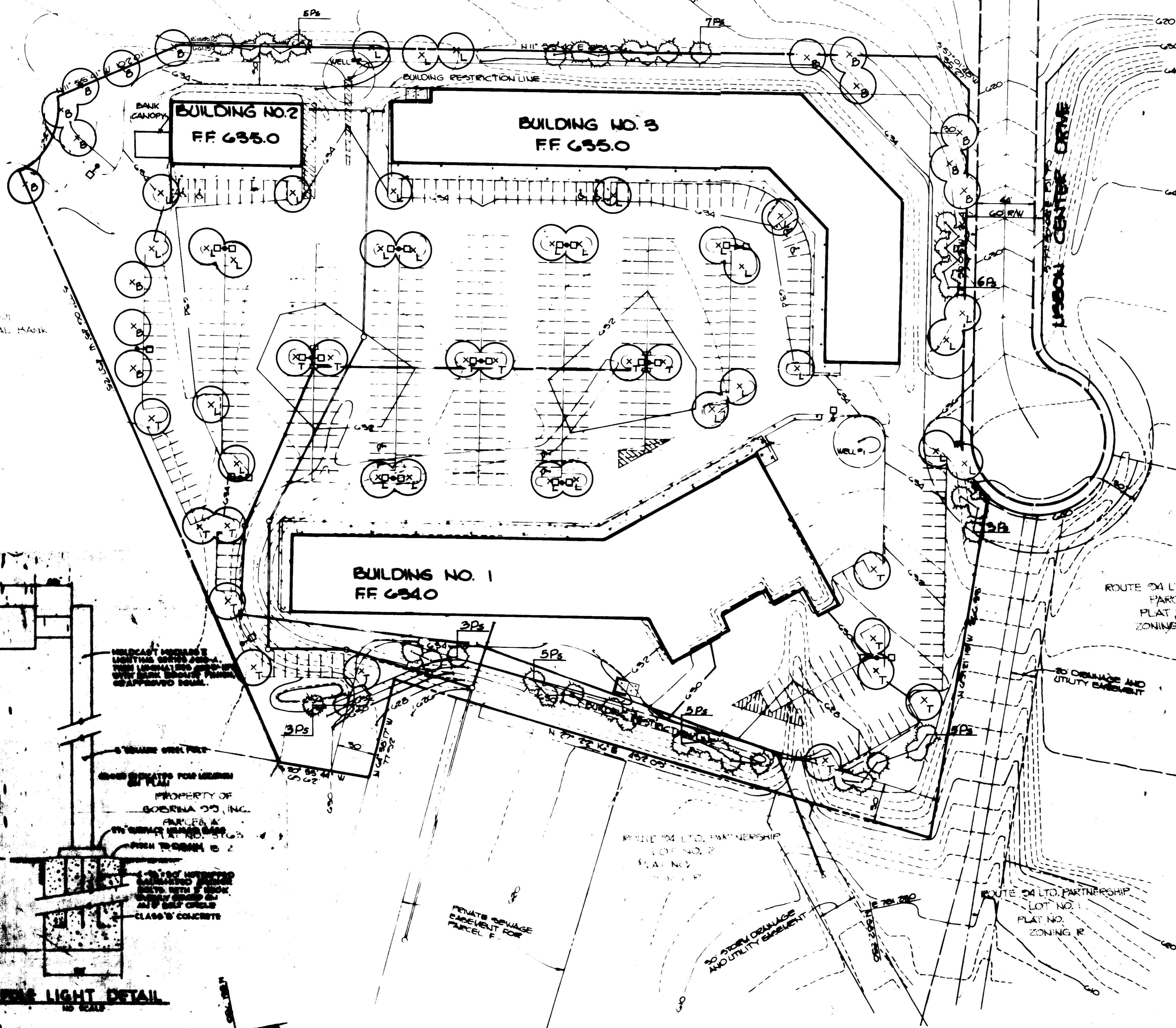
DESIGNED BY: J.K.B.  
DRAWN BY: C.W.M.  
PROJECT NO: 39200  
DATE: 6-15-87  
SCALE: AS SHOWN  
DRAWING NO. 7 OF 8  
AP-87-121  
NO-BUILT-3-20-88



APPROVED  
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE: 5-6-87  
NOTE: EXISTING SEDIMENT BASIN AS PER GP-87-66  
AS-BUILT CERTIFICATE  
JAYKANT D. PARGAKH #19145  
DATE

WOODBINE ROAD

OLD  
WOODBINE  
ROAD



PROPERTY OF  
WELLS FARGO NATIONAL BANK  
510 124  
ZONING B-2

INDICATED AREAS ARE  
LIMITED TO THE AREA  
OVER WHICH THE PERMIT  
IS APPROVED FOR.

6" SQUARE GRANITE  
CURB

CONCRETE CURB FOR  
CROSSING

PROPERTY OF  
BOERNA CO., INC.  
PARCELS A &  
B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z

CONCRETE CURB FOR  
CROSSING

CONCRETE CURB FOR  
CROSSING

CONCRETE CURB FOR  
CROSSING

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CROSSING

CONCRETE CURB FOR  
CROSSING

SEE LIGHT DETAIL  
10 612

TYPE PLANTING DETAIL  
NO 612


ROUTE 94 LTD. PARTNERSHIP  
PARCEL E  
PLAT NO.  
ZONING B-2

20 STORY DRAINAGE  
AND UTILITY EASEMENT

ROUTE 94 LTD. PARTNERSHIP  
LOT NO. 2  
PLAT NO.

ROUTE 94 LTD. PARTNERSHIP  
LOT NO. 1  
PLAT NO.  
ZONING R

APPROVED  
DIVISION OF LAND DEVELOPMENT &  
ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE 5-6-87  
*[Signature]*

DATE	NO.	REVISION
OWNER/DEVELOPER		
ROUTE 94 LIMITED PARTNERSHIP 1000 BELLEVILLE BANK CENTER COLUMBIA, MARYLAND 21044		
PROJECT		
LASON CENTER		
AREA		
TITLE		
PLANTING & LIGHTING PLAN		
THE REMER GROUP, INC.		
REGISTERED PROFESSIONAL ARCHITECTS		
		
REGISTERED PROFESSIONAL ARCHITECT STATE OF MARYLAND NO. 2881 EXPIRES 6-15-87 BOARD # 1-60		