

SITE DATA

TOTAL AREA OF SITE = 9.80 AC
 PARTIAL ZONING = M-1 See AA-86-22
 EXISTING USE = VACANT
 PROPOSED USE = OFFICE/WAREHOUSE
 TOTAL FLOOR AREA = 41,155 SQ FT
 PARKING SPACES PROVIDED = 92 SPACES
 PARKING SPACES PROVIDED = 101 SPACES
 (INCLUDING 6 HANDICAPPED)

BUILDING 'A' - 20,300 SF
 OFFICE - 2,045 SF @ 33 SF/1000 SF = 7 SF
 WAREHOUSE - 18,255 SF @ 2 SF/1000 SF = 37 SF
 REQUIRED = 44 SF

BUILDING 'B' - 24,855 SF
 OFFICE - 1,817 SF @ 33 SF/1000 SF = 6 SF
 WAREHOUSE - 23,038 SF @ 2 SF/1000 SF = 46 SF
 BODY SHOP -
 3 BAYS @ 3 SF + 3/BAY = 12 SF
 6 BAYS @ 3 SF + 3/BAY = 21 SF
 REQUIRED = 57 SF

TOTAL REQUIRED = 101 SF
 TOTAL PROVIDED = 120 SF

PARKING TABULATION

PARKING REQUIRED
 BUILDING 'A' - 20,300 SQ FT
 OFFICE - 50% @ 10/100 SF = 1 EMP/250 SF = 4 EMP
 WAREHOUSE - 90% @ 10/100 SF = 1 EMP/1000 SF = 11 EMP
 BUILDING 'B' - 24,855 SQ FT
 OFFICE - 50% @ 13,428 SF EMP/1000 SF = 5 EMP
 WAREHOUSE - 50% @ 13,428 SF = 14 EMP

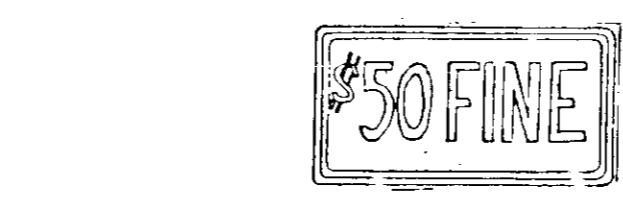
TOTAL PARKING PROVIDED = 101 SPACES (INCLUDING 6 HANDICAPPED)
 TOTAL PARKING REQUIRED = 92 SPACES

GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, OR AS SHOWN ON THESE PLANS.
- ALL AREAS NOT BEING COVERED OR RECOVERING BUILDING COVERAGE SHALL BE STABILIZED IN ACCORDANCE WITH THE PLANS APPROVED BY THE HOWARD SOIL CONSERVATION DISTRICT.
- ANY DAMAGE TO PUBLIC RIGHTS-OF-WAY ADJACENT PROPERTIES SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL MAINTAIN AT LEAST A 2' LEVEL BENCH BEHIND ALL CURBS AND GUTTERS AND THE EDGE OF ALL DRIVE WAYS AREAS.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES TO HIS OWN SATISFACTION BEFORE STARTING CONSTRUCTION.
- ALL GUTTERS SHALL BE 2" OR PLASTER.
- THE CONTRACTOR SHALL NOTIFY THE CITY TELEPHONE CO AND THE GAS AND ELECTRIC COMPANY FIVE DAYS PRIOR TO STARTING WORK SHOWN ON THESE PLANS BY CALLING "MISS UTILITY" CALL CENTER 1-994-0100.
- FOR REPAIRS AND REPAIRS AND GUTTERS FOR THE HANDICAPPED SEE THE LANDLORD BUILDING CODE FOR THE HANDICAPPED ALSO SHOWN HEREIN.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4" COVER OVER ALL EXPOSED WATER LINES.
- THE CONTRACTOR OR DEVELOPER SHALL CONTACT THE CONSTRUCTION INSPECTION DIVISION, 24 HOURS IN ADVANCE OF COMMENCEMENT OF WORK AT 792-2830.
- THE CONTRACTOR SHALL REMOVE ALL EXISTING PAVING, CURB AND GUTTER, ETC THAT MAY INTERFERE WITH PROPOSED CONSTRUCTION.
- ALL UTILITIES INSTALLED UNDER PAVING SHALL RECEIVE FULL TRENCH COMPLETION.
- ALL WATER MAINS, REES, BENCHES, ETC SHALL BE BUTTERESSED IN ACCORDANCE WITH HOWARD COUNTY DESIGN REQUIREMENTS.
- ALL WATER MAINS SHALL HAVE A MIN 36" COVER UNLESS NOTED OTHERWISE ON THE PLAN.
- CONTRACTOR TO PROVIDE "AS-BUILT" LOCATION OF WATER MAINS IF THERE IS ANY DEVIATION FROM THE PLAN LOCATION.

LEGEND

- EXISTING GROUND
- PROPOSED GRADE
- TRACT AND LINE
- R/W LINE
- MINIMUM BUILDING SETBACK LINE
- EASEMENTS
- LANDSCAPING
- HANDICAPPED PARKING SPACE
- AS-BUILT SECTION - P-2
- PAVING SECTION - P-2



\$50 FINE SIGN
 Sign to utilize an aluminum blank 6" x 12" x 0.080 inch thick with two single post mounting holes.
 The text and border shall be standard 8-point sans serif characters.
 Sign shall be mounted directly below the standard 8' x 4' Reserved Parking for Handicapped sign. Its bottom edge shall be no less than 7 feet above ground. If the sign is placed against a building, structure or other location where vehicle or pedestrian traffic is not obstructed the bottom edge of sign shall be at least 4 feet but not more than 10 feet above ground.

GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 303 ALLEGHENY AVENUE
 TOWSON, MARYLAND 21204
 (301)825-8120



ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR THE G.N.M. FACILITY CONSTRUCTION, STORMWATER POND AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE. CONSTRUCTION OF THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RES-LINED "AS-BUILT" OF THIS G.N.M. FACILITY WITHIN 30 DAYS OF COMPLETION.
 ENGINEER: *George William Stephens, Jr.*
 DATE: 3/19/87

OWNER
 ALBERT G. PARROTT & WIFE
 3101 WASHINGTON BLVD
 21230

OWNER'S CERTIFICATE
 I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RES-LINED "AS-BUILT" OF THIS G.N.M. FACILITY WITHIN 30 DAYS OF COMPLETION.
 OWNER: *Albert G. Parrott*
 DATE: 1-23-87

DESIGNED BY
 G.W.S. & A. (Checked by G.W.S.)

REVISIONS
 4-21-84 REVISED PARKING TABULATION & ADDED PARKING SPACES AT BUILDING 'A'
 10-10-84 BY GWS ADDED FENCE, REVISED PARKING SPACES

APPROVED
 DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE 7-29-87

SITE PLAN
 A.G. PARROTT INDUSTRIAL PARK
 SECTION 2 PARCEL 'D-1'
 HOWARD CO. MD
 SCALE 1"=50'
 ELECTION DISTRICT 1
 DECEMBER 15, 1980
 SHEET 1 OF 4 PN 5925

These plans have been reviewed for the Howard Soil Conservation District meet the technical requirements for small pond construction, soil erosion and sediment control.

James Mitchell 11-30-87
 Soil Conservation Service Date

These plans for small pond construction, soil erosion and sediment control meet the requirements of Howard Soil Conservation District.

Approved: *Stephen A. Ashby* 4/30/87
 Howard Soil Conservation District Date

Plan Number

APPROVED: For public water and public sewerage systems
 Howard County Health Department.

James E. Zylman 12-15-87
 Health Officer Date

APPROVED: Howard County Office of Planning & Zoning.

John A. ... 12-22-87
 Director Date

James ... 12-22-87
 Chief Division of Land Development & Zoning Administration Date

APPROVED: For public water and public sewerage storm drainage systems and public roads Howard County Department of Public Works.

James ... 12/18/87
 Director Date

James G. Ryan 12-7-87
 Chief Bureau of Engineering Date

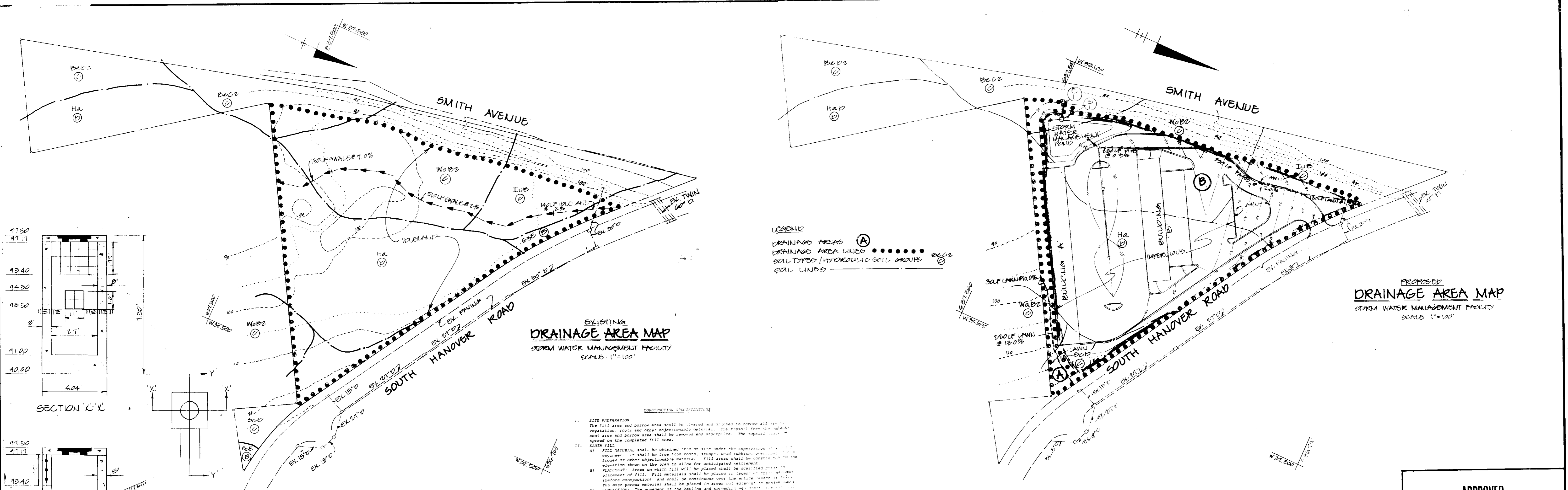
ADDRESS CHART

BUILDING #	STREET ADDRESS
A	6360 S HANOVER ROAD
B	6360 S HANOVER ROAD

SUBDIVISION NAME A.G. PARROTT INDUSTRIAL PARK SECT./AREA TOP/PARCEL #

PLAT # 44-147 BLOCK # ZONE TAX/ZONE MAP ELECT. DIST. GEN. DISTRICT

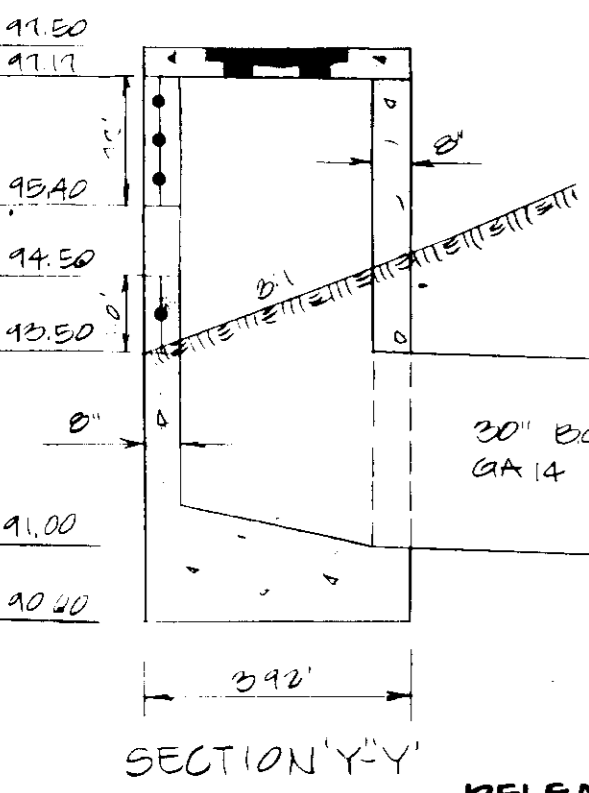
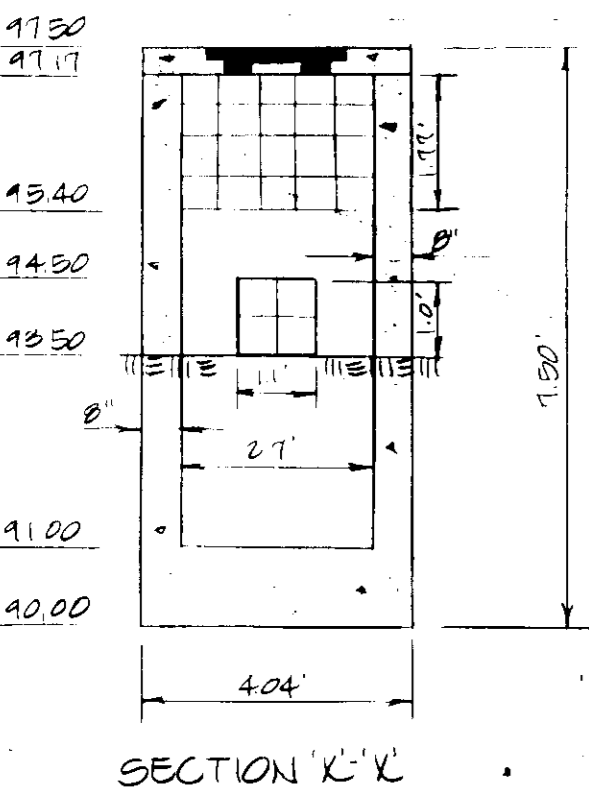
WATER CODE A01 SEWER CODE 2192911



PROPOSED DRAINAGE AREA MAP
STORM WATER MANAGEMENT FACILITY
SCALE: 1"=100'

EXISTING DRAINAGE AREA MAP
STORM WATER MANAGEMENT FACILITY
SCALE: 1"=100'

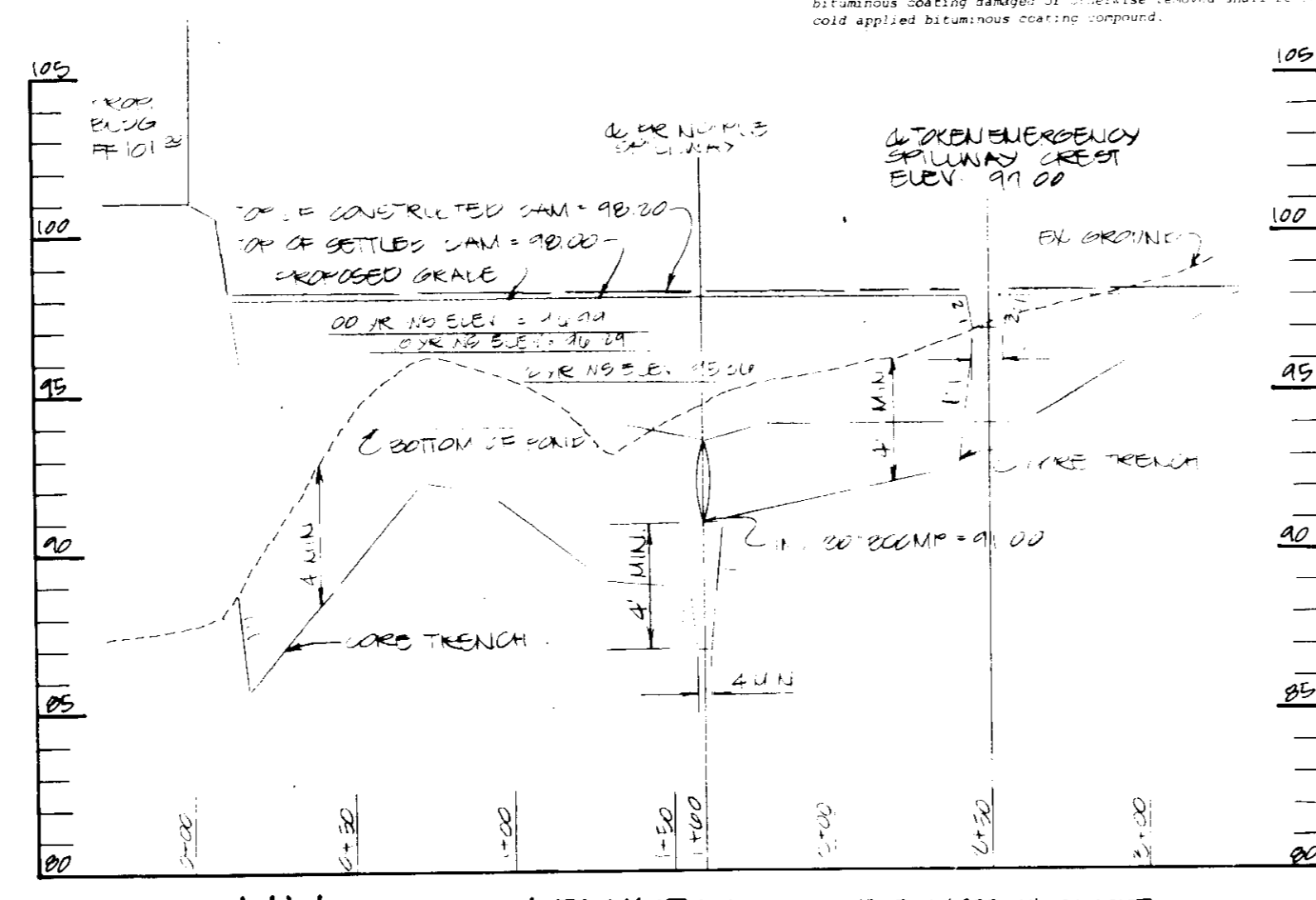
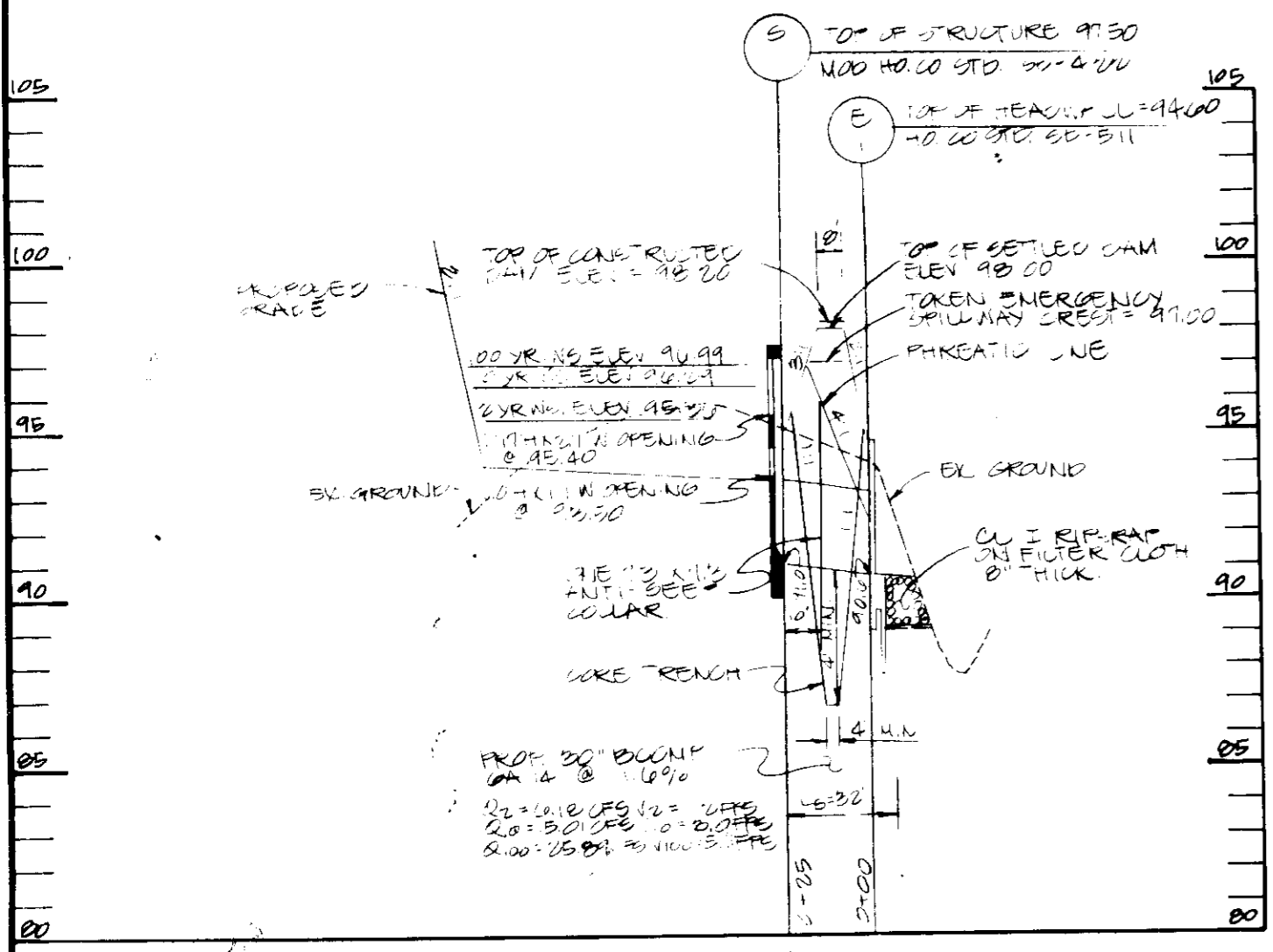
LEGEND
DRAINAGE AREAS (A)
DRAINAGE AREA LINES (B)
SOIL TYPES / HYDROLOGIC SOIL GROUPS (C)
SOIL LINES (D)



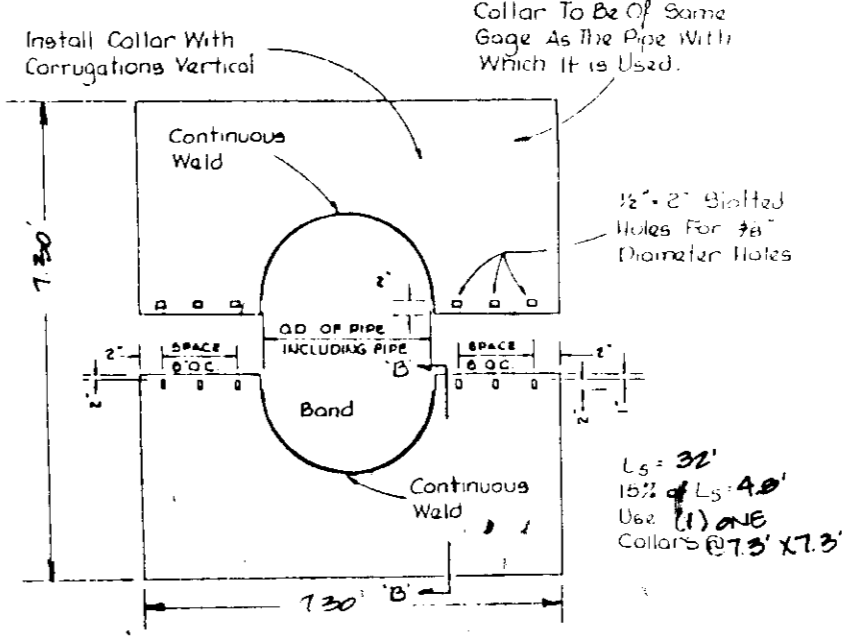
RELEASE STRUCTURE NOTES

1. MIN. THICKNESS SHALL BE 4" U REBAR @ 6" O.C. OR AS SHOWN
2. SLAB THICKNESS SHOWN IS 4" (TOP OF SLAB) & A MINIMUM OF 2" FOR THE BOTTOM SLAB.
3. SLAB REINFORCEMENT IN STRUCTURE SHALL BE AS PER HOWARD COUNTY STANDARD SPECIFICATION & DETAILS FOR CONSTRUCTION P.L. 87-111
4. THIS STRUCTURE TO BE CONSTRUCTED OF REINFORCED CONCRETE

RELEASE STRUCTURE DETAIL
NO. 10 CO. STD. 30" x 42" (NO SCALE)



- CONSTRUCTION SPECIFICATIONS**
1. **SITE PREPARATION**
The fill area and borrow area shall be cleared and graded to remove all trees, vegetation, roots and other objectionable material. The topsoil from the removal area and borrow area shall be removed and stockpiled. The topsoil shall be spread on the completed fill area.
 2. **SOIL FILL**
a) Fill material shall be obtained from on-site under the supervision of a geotechnical engineer. It shall be free from rocks, stumps, and other objectionable material. Fill areas shall be constructed to the elevation shown on the plan to allow for anticipated settlement.
b) Placement: Areas on which fill will be placed shall be notified prior to placement of fill. Fill materials shall be placed in layers of 12" maximum uniform compaction, and shall be continuous over the entire width of the area. The most porous material shall be placed in areas not adjacent to existing structures. The movement of the hauling and spreading equipment shall be controlled so that the entire surface of each lift shall be uniform to the specified density. Fill material shall contain sufficient moisture so that the required degree of compaction can be obtained with the equipment used.
c) Core trench shall be made of 30 or 40 material compacted to 95% of A.A.S.T.M. 99 density.
 3. **STRUCTURAL BACKFILL**
Backfill material shall be the type and quality specified for the retaining wall. The fill shall be placed in horizontal layers of 12" maximum and compacted by hand tamping or manually directed shovel compactors in place. At no time during backfilling operations shall shoring equipment be used. Under no circumstances shall the contractor drive equipment over the face of a concrete structure or pipe unless there is a completed fill of 12" or greater over the structure or pipe. Materials shall fill completely all spaces about the structure to evenly installed pipe.
 4. **CONCRETE**
Concrete shall meet the minimum requirements set forth in the Maryland State Department of Transportation Specifications for Construction and Materials, January, 1987, Section 402.06 - "Portland Cement Concrete Structures", and 402.07 - "Restrictive Wall", and be A.A.S.T.M. A 638, Grade 40.
 5. **STABILIZATION**
The stormwater management facility will be stabilized with "Formonite" (Trade Name) as follows:
After spreading of "Formonite" seed with a mixture of 10% undisturbed topsoil and 90% Formonite. If Fall Person applied at a rate of 40 lbs. per 1000 sq. ft. shall be applied at a rate of 120 lbs. per 1000 square feet. If a rate of 120 lbs. per 1000 square feet, which area with undisturbed soil grain shall be at a rate of 120 lbs. per 1000 square feet with rapid curing asphalt emulsion, 100-250 or 250-500 lbs. per 1000 sq. ft.
 6. **PIPE COLLARS**
a) **CONCRETE COLLAR PIPE**
1) **MANHOLE COLLAR PIPE** - This pipe and its appurtenances shall be installed in accordance with the specifications for manhole collars and shall conform to the requirements of Section 402.06 of the Maryland State Department of Transportation Specifications for Construction and Materials, January, 1987, and shall be installed in accordance with the specifications for manhole collars and shall conform to the requirements of Section 402.06 of the Maryland State Department of Transportation Specifications for Construction and Materials, January, 1987, and shall be installed in accordance with the specifications for manhole collars and shall conform to the requirements of Section 402.06 of the Maryland State Department of Transportation Specifications for Construction and Materials, January, 1987.
 7. **ANTI-SEEP COLLARS**
a) **ANTI-SEEP COLLARS** shall be used for the manhole collars and shall conform to the requirements of Section 402.06 of the Maryland State Department of Transportation Specifications for Construction and Materials, January, 1987, and shall be installed in accordance with the specifications for manhole collars and shall conform to the requirements of Section 402.06 of the Maryland State Department of Transportation Specifications for Construction and Materials, January, 1987.



NOTES: ANTI-SEEP COLLARS

- 1) All collars to be in accordance with Construction Material Specifications.
- 2) When specified on the Plans, Collars of Collars shall be in accordance with Construction Material Specifications.
- 3) Unassembled Collars shall be Marked by Painting or Tagging to Identify Matching Flange.
- 4) The Gap Between the Two Flange Sections and Between the Pipe and Connecting Band shall be Caulked with Asphalt Mastic at time of Installation.
- 5) Each Collar shall be Furnished With Two 1/2" Diameter Rods With Standard Tank Lugs For Connecting Collars to Pipes.
- 6) Collars shall be Located 2" Min. From All Pipe Joints.
- 7) COLLARS SHALL BE GALVANIZED AND FULLY INSTANTANEOUSLY COATED.

STORMWATER MAINTENANCE SCHEDULE

MAINTENANCE ITEM	1	2	3	4	5
MAINTENANCE FREQUENCY	1	2	3	4	5
REPAIR DURATION	1	2	3	4	5

1. CLEAN OUT SUI
 2. CLEAN OUT TRASH
 3. CHECK WEIR CLOSINGS
 4. CHECK GATE STRUTTING
 5. CUT GRASS
 6. CHECK STRUCTURAL INTEGRITY
 7. EVERY TWO WEEKS
 8. EVERY THREE MONTHS
 9. ONE WEEK MAXIMUM
 10. TWO DAYS
- * ALL MAINTENANCE, INSPECTIONS AND REPAIR SHALL BE THE RESPONSIBILITY OF THE OWNER.
* INSPECT ALL ABOVE ITEMS AFTER EACH MAJOR RAINFALL AND REPAIR IF NECESSARY.

APPROVED
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 7-29-87
MS

These plans have been reviewed for the Howard Soil Conservation District meet the technical requirements for small pond construction, soil erosion and sediment control.

Jonathan Valan 11-30-87
U.S. Soil Conservation Service Date

These plans for small pond construction, soil erosion and sediment control meet the requirements of Howard Soil Conservation District.

Approved: *Stephen R. Hahn* 4/20/87
Howard Soil Conservation District Date

Plan Number

APPROVED: For public water and public sewerage systems Howard County Health Department.

John R. Taylor 12-15-87
County Health Officer Date

APPROVED: Howard County Office of Planning & Zoning.

Unlabeled 12-22-87
Date

James R. Smith 12/22/87
Chief Division of Land Development & Zoning Administration Date

APPROVED: For public water and public sewerage storm drainage systems and public roads Howard County Department of Public Works.

James R. Smith 12/18/87
Director Date

William E. Ray 12-7-87
Chief Bureau of Engineering Date

GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS
303 ALLEGHENY AVENUE
TOWSON, MARYLAND 21284
(301) 825-8120

ENGINEER'S CERTIFICATE:
I CERTIFY THAT THIS PLAN FOR SWM FACILITY CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN WHICH AS IN MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE CERTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A REG-ULATED "AS-BUILT" OF THE SWM FACILITY WITHIN 30 DAYS OF COMPLETION.

Albert G. Parrott
ENGINEER
REG. NO. 8822 DATE: 3/19/87

OWNER
ALBERT G. PARROTT & WIFE
1400 LAMAR AVE
BALDWIN, MD 21221
301-460-2400
CONTRACTORS
SOUTH HANOVER LTD PARTNERSHIP
C/O BLUMER DEV. CO.
3101 WASHINGTON BLVD.
21230

DRAWN: CERTIFICATE:
I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE PERFORMED ACCORDING TO THESE PLANS AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AS A RESULT OF UNDERGOING A COURSE APPROVED SPECIFICALLY FOR THE COLLAR OF COLLARS AND EROSION CONTROL REGARDING THE PROJECT. I ALSO AUTHORIZED PERSONNEL ALL-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OF THESE AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEFINITION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A REG-ULATED "AS-BUILT" OF THE SWM FACILITY WITHIN 30 DAYS OF COMPLETION.

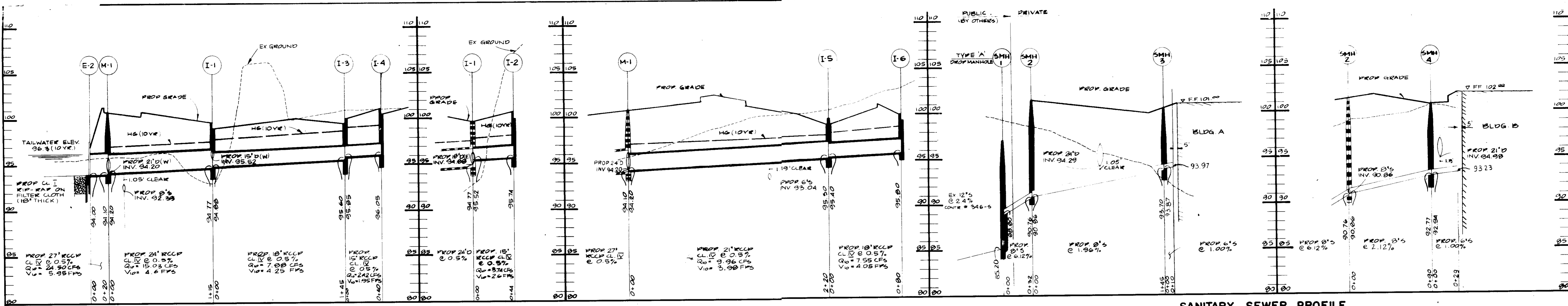
Albert G. Parrott
DATE: 1-24-87

DESIGNED: CVM
DRAWN: CVM
CHECKED: CVM
REVISIONS

A.G. PARROTT INDUSTRIAL PARK
SECTION 2 PARCEL 'D-1'

HOWARD CO. MD
SCALE: AS SHOWN

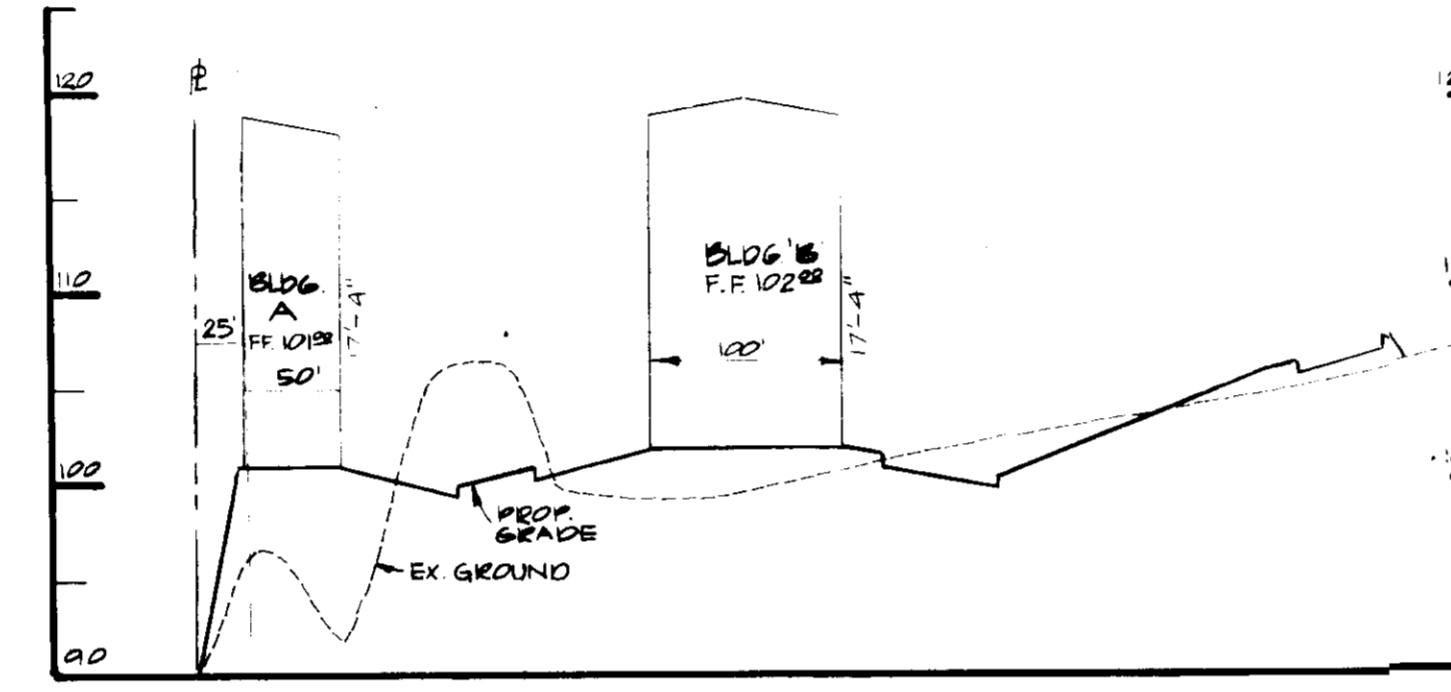
ELECTION DISTRICT 1
DECEMBER 15, 1980
SHEET 2070 PN: B925
SDP-87-181



STORM DRAIN PROFILE

SCALE: HORIZ 1"=50'
VERT 1"=5'

D.A.	ACREAGE	C'
A	1.54	0.65
B	0.41	0.82
C	0.37	0.87
D	1.02	0.73
E	0.46	0.95
F	0.73	0.81



SECTION C-C

SCALE: HORIZ 1"=100'
VERT. 1"=10'

SANITARY SEWER — MANHOLE SCHEDULE

NO	TYPE	INV. OUT	INV. IN	TOP ELEV.	REMARKS
SMH1	TYPE 'A' PROP MANHOLE	85.20	88.80	97.00	SEE HOWARD CO. STD DETAIL S-1.24 (PUBLIC BY OTHERS)
SMH2	4'-00" BRICK	90.76	90.86	101.40	SEE HOWARD CO. STD DETAIL G-5.01
SMH3	4'-00" BRICK	93.70	93.87	100.40	SEE HOWARD CO. STD DETAIL G-5.01
SMH4	4'-00" BRICK	92.77	92.94	100.60	SEE HOWARD CO. STD DETAIL G-5.01

STRUCTURE SCHEDULE

NO	TYPE	INV. IN	INV. OUT	TOP ELEV.	REMARKS
M-1	5' BRICK MANHOLE	94.20	94.10	100.75	SEE HOWARD CO. STD DETAIL G-5.02
E-2	'A' HEADWALL	94.00		97.75	SEE HOWARD CO. STD DETAIL SD-5.11

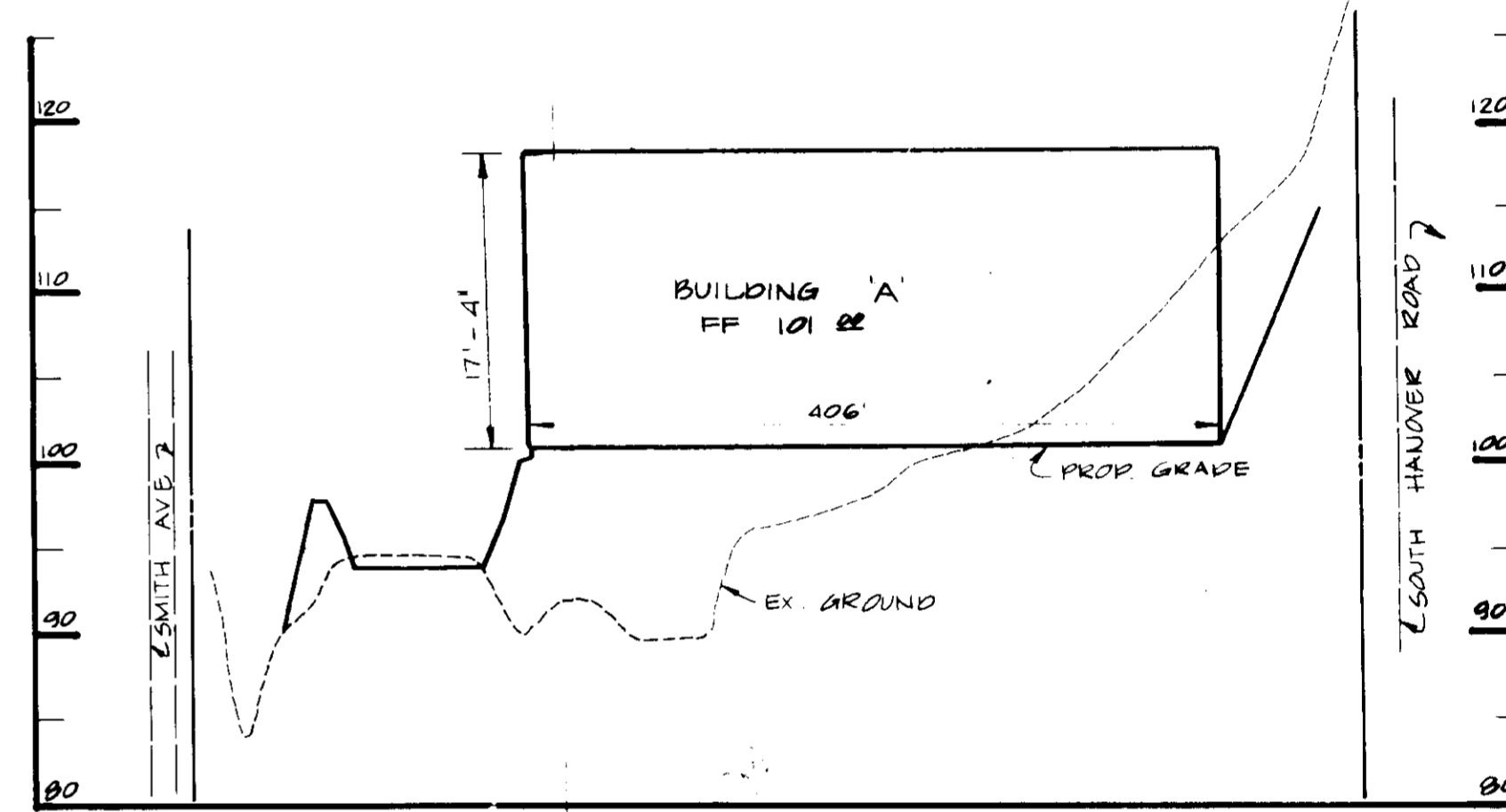
INLET SCHEDULE

NO	TYPE	INV. IN	INV. OUT	Q (CFS)	TOP ELEV.	REMARKS
I-1	DOUBLE 'S' COMB	94.88	94.77	4.45	99.60 *	SEE HOW CO. STD DETAIL SD-4-33
I-2	DOUBLE 'S' COMB	95.74	93.74	3.74	100.00 *	SEE HOW CO. STD DETAIL SD-4-33
I-3	DOUBLE 'S' COMB	95.85	95.60	5.59	100.00 *	SEE HOW CO. STD DETAIL SD-4-33
I-4	DOUBLE 'S' COMB		96.05	2.42	101.00 *	SEE HOW CO. STD DETAIL SD-4-33
I-5	DOUBLE 'S' COMB	95.40	95.30	7.55	99.60 *	SEE HOW CO. STD DETAIL SD-4-33
I-6	DOUBLE 'S' COMB		95.80	2.57	99.95 *	SEE HOW CO. STD DETAIL SD-4-33

* TOP OF CURB.

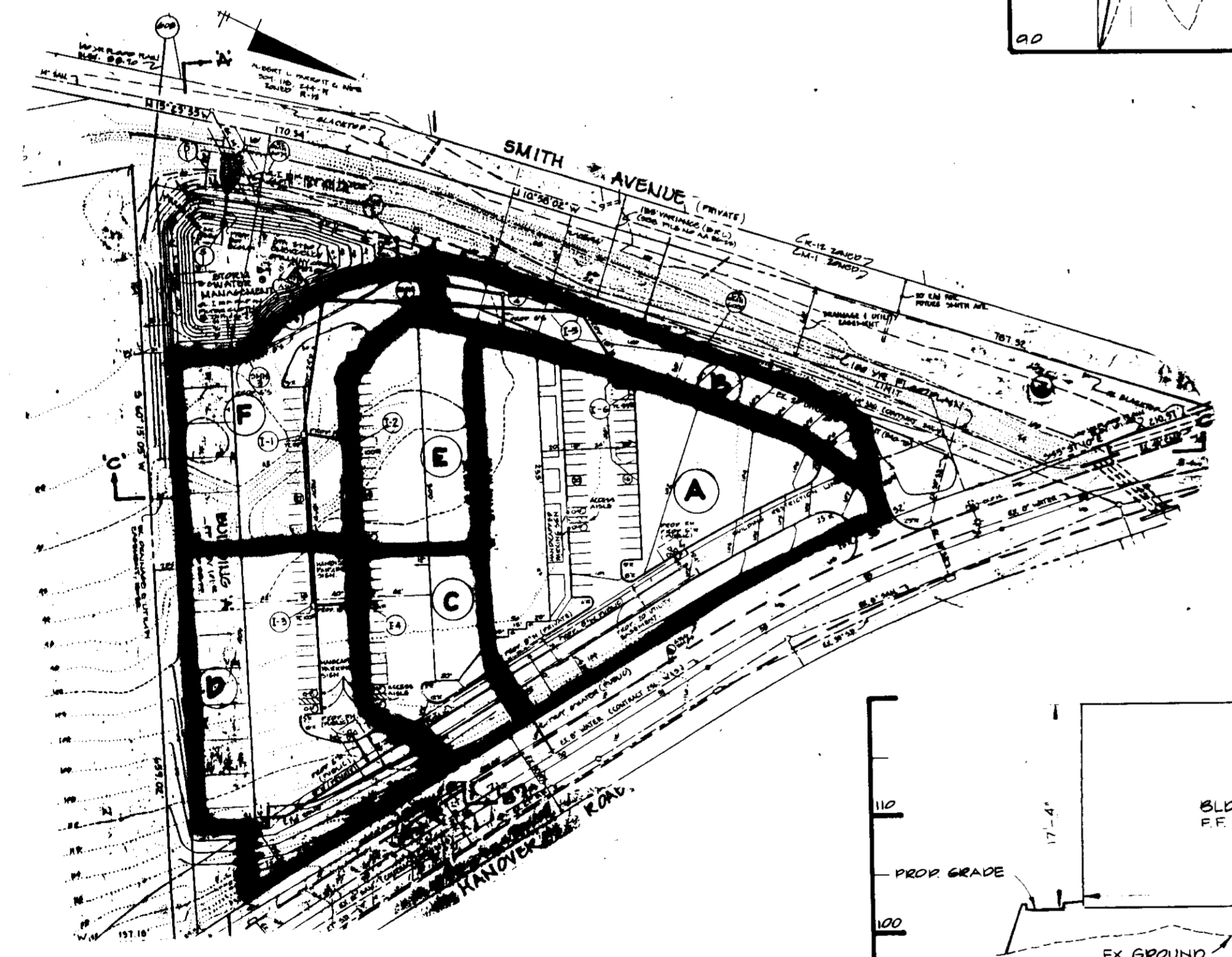
SANITARY SEWER PROFILE

SCALE: HORIZ 1"=50'
VERT. 1"=5'



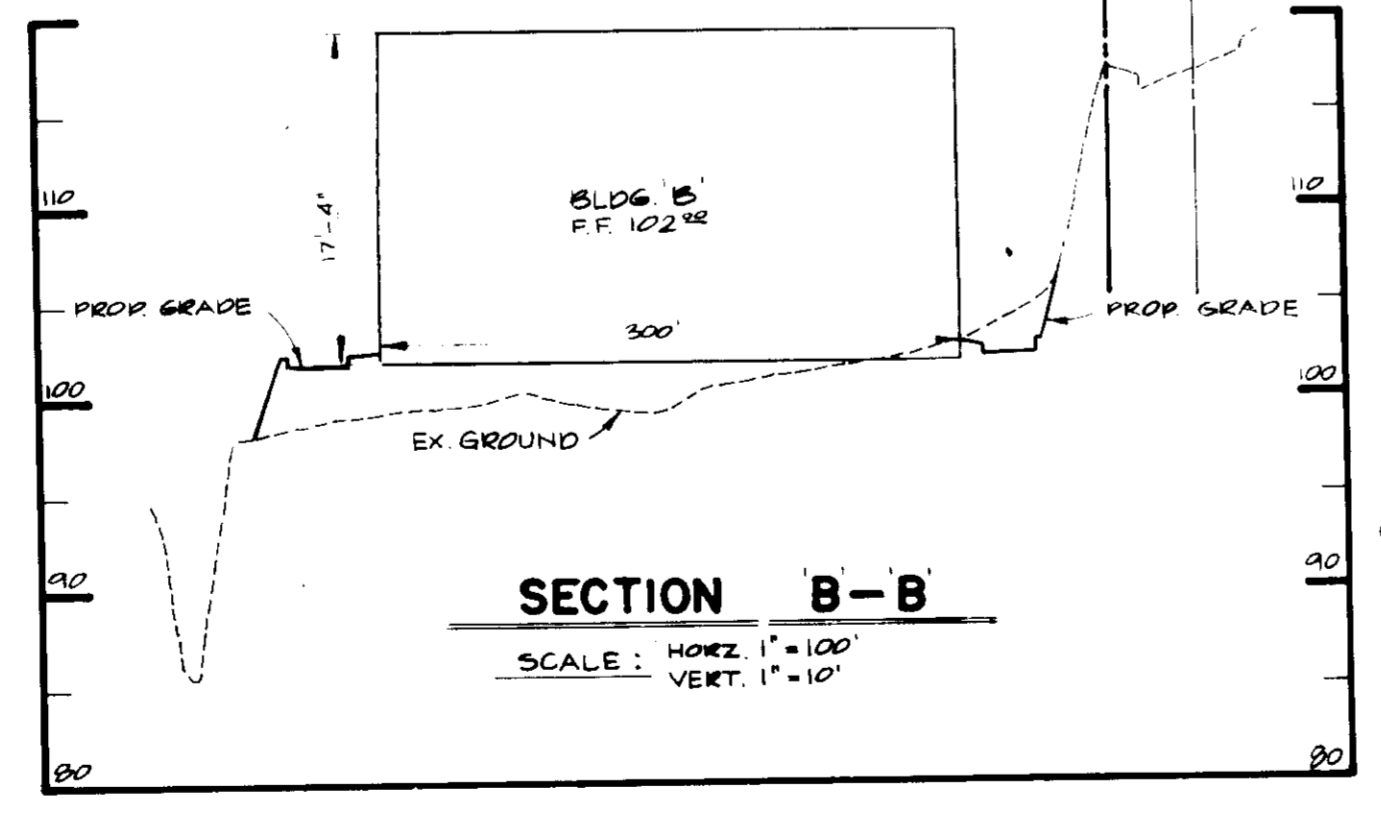
SECTION A-A

SCALE: HORIZ 1"=100'
VERT. 1"=10'



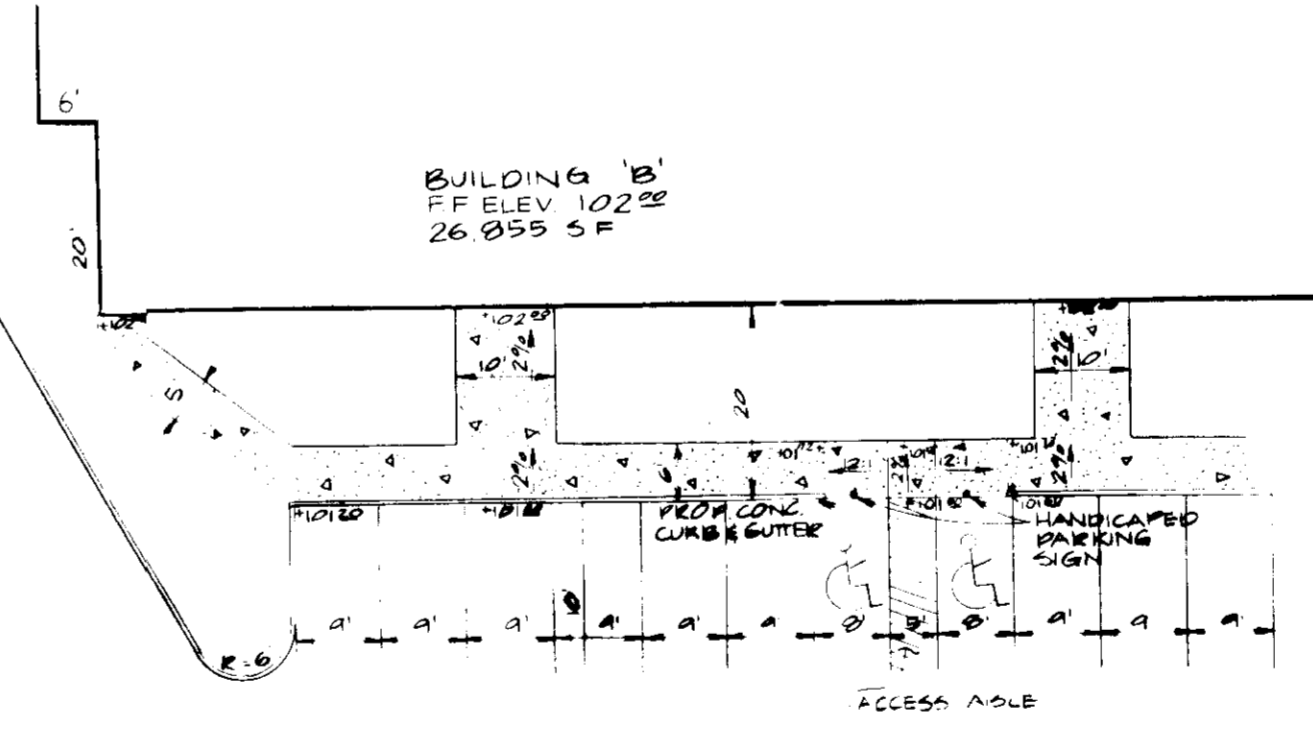
DRAINAGE AREA MAP

SCALE: 1"=100'



SECTION B-B

SCALE: HORIZ 1"=100'
VERT. 1"=10'



HANDICAPPED PARKING DETAIL

SCALE: 1"=20'

These plans have been reviewed for the Howard Soil Conservation District meet the technical requirements for small pond construction, soil erosion and sediment control.

Approved: *James M. Steiner* 11-30-87
Date

Approved: *Stephen L. Huber* 11/30/87
Date

Approved: *James M. Steiner* 12-15-87
Date

Approved: *James M. Steiner* 12-15-87
Date

Approved: *James M. Steiner* 12-15-87
Date

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Approved: *James M. Steiner* 12-15-87
Date

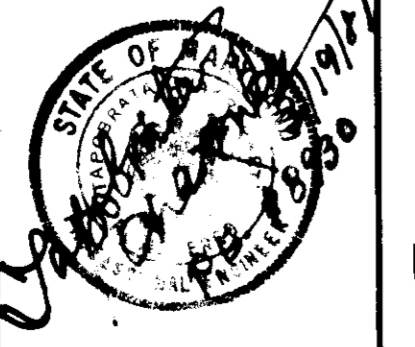
Approved: *James M. Steiner* 12-15-87
Date

APPROVED
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 7-29-87

PROFILE & DETAILS
A.G. PARROTT INDUSTRIAL PARK
SECTION 2 PARCEL 'D-1'

HOWARD CO. MD
SCALE: AS SHOWN
SECTION DISTRICT 1
DECEMBER 15, 1980
SHEET 3 OF 4 AN: 5925

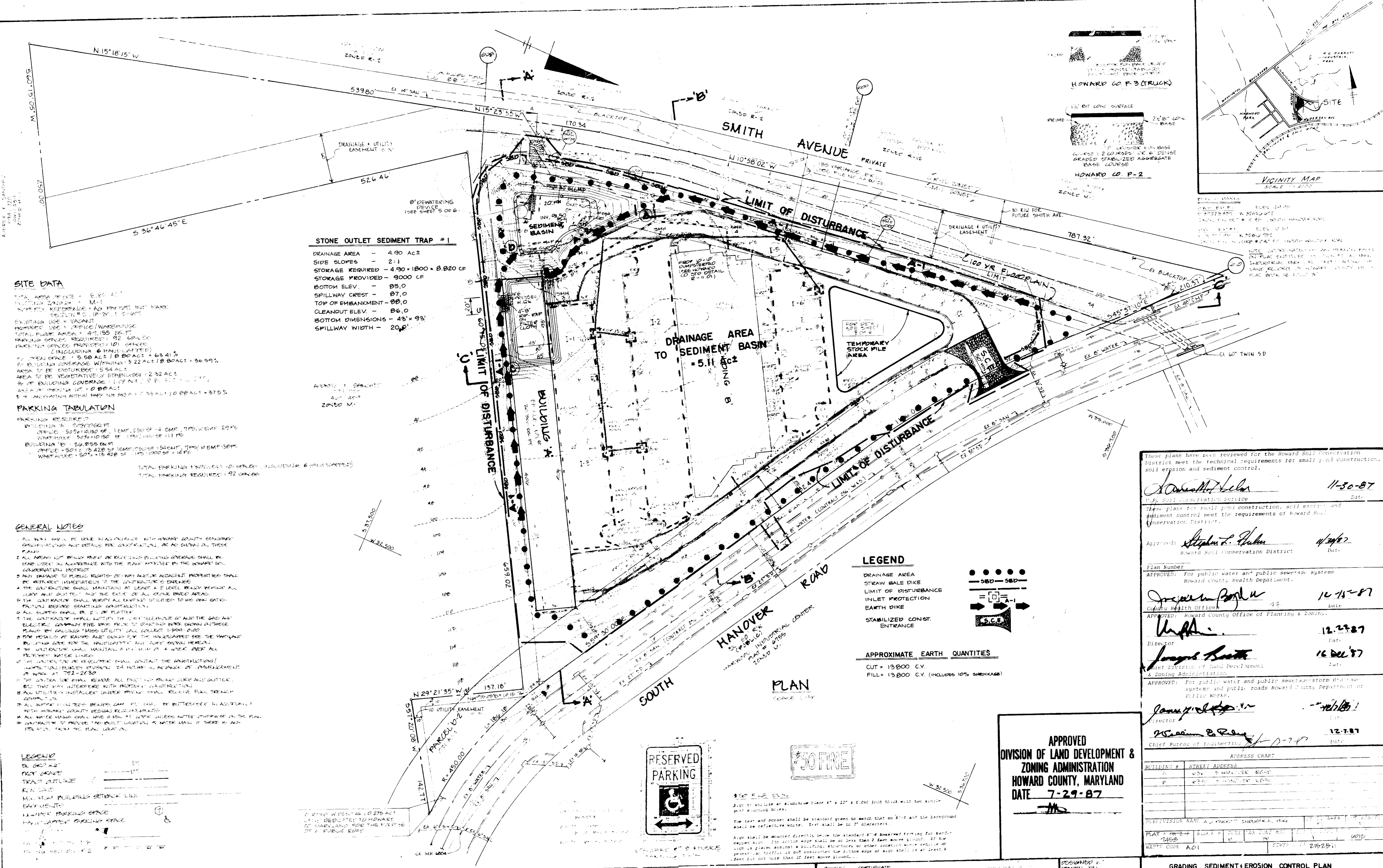
GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS
303 ALLEGHENY AVENUE
TOWSON, MARYLAND 21204
(301) 825-8120



ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE POND WITHIN 30 DAYS OF COMPLETION.
ENGINEER: *Albert G. Parrott* 8930 3/19/87
DATE

OWNER'S CERTIFICATE
I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THIS CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR OTHER AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE POND WITHIN 30 DAYS OF COMPLETION.
OWNER: *Albert G. Parrott* OWNER DATE: 1-21-87
OWNER: *Albert G. Parrott* 21230

DESIGNED: W.Z.
DRAWN: J.W.
CHECKED: W.Z.
REVISIONS:



SITE DATA

TOTAL AREA OF SITE = 6.00 AC±
 EXISTING ZONING = M-1
 EXISTING USE = VACANT
 PROPOSED USE = OFFICE/WAREHOUSE
 TOTAL FLOOR AREA = 471,155 SQ. FT.
 PARKING SPACES REQUIRED = 92 SPACES
 (INCLUDING 6 HANDICAPPED)
 TOTAL GREEN SPACE = 5.58 AC± (93.00 AC±) = 63.41%
 AREA TO BE DISTURBED = 5.54 AC±
 AREA TO BE VEGETATIVELY STABILIZED = 2.92 AC±
 % OF BUILDING COVERAGE (TOTAL) = 2.17%
 AREA OF PARKING LOT = 0.88 AC±
 % OF LANDSCAPING WITHIN PARKING LOT AREA = 0.36 AC± (10.00 AC±) = 37.5%

PARKING TABULATION

PARKING REQUIREMENTS:
 BUILDING A - 200000 SQ. FT.
 OFFICE - 50% = 100000 SQ. FT. (PROVIDE 20%
 WAREHOUSE - 50% = 100000 SQ. FT. (PROVIDE 10%
 BUILDING B - 500000 SQ. FT.
 OFFICE - 50% = 125000 SQ. FT. (PROVIDE 10%
 WAREHOUSE - 50% = 125000 SQ. FT. (PROVIDE 10%)

TOTAL PARKING SPACES REQUIRED (INCLUDING 6 HANDICAPPED)
 TOTAL PARKING REQUIRED = 92 SPACES

GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH HOWARD COUNTY STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, AS SHOWN ON THESE PLANS.
- ALL AREAS NOT BEING MARKED OR DESIGNATED OTHERWISE SHALL BE CONSIDERED TO BE AVAILABLE WITH THE PLANS AND SHALL BE THE PROPERTY OF THE HOWARD COUNTY CONSERVATION DISTRICT.
- ANY DAMAGE TO PUBLIC RIGHTS OF WAY AND/OR ADJACENT PROPERTIES SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL MAINTAIN AT LEAST A 2' LEVEL BEHIND ALL CURBS AND GUTTERS AND THE EDGE OF ALL DRIVE PAVED AREAS.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES TO HIS OWN SATISFACTION BEFORE STARTING CONSTRUCTION.
- ALL EXISTING CURBS OR 2" OR FLATTER.
- THE CONTRACTOR SHALL NOTIFY THE UTILITY SERVICE OF ANY AND ALL ELECTRICAL WORK FIVE DAYS PRIOR TO STARTING WORK ON ANY OUTSIDE PLANS BY CALLING "MISS UTILITY CALL CENTER" 1-800-210-0100.
- FOR RESULTS OF TESTING AND CHECKS FOR THE UNDESIGNED SIDE THE VARIANCE BY THE HOWARD COUNTY CONSERVATION DISTRICT SHALL BE KEPT ON RECORD.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4" COVER OVER ALL EXPOSED WATER LINES.
- THE CONTRACTOR OF DEVELOPER SHALL CONTACT THE CONSTRUCTION/INSPECTION DIVISION 24 HOURS IN ADVANCE OF COMMENCEMENT OF WORK AT 410-2630.
- IF THE CONTRACTOR SHALL REMOVE ALL EXISTING CURBS AND GUTTERS, BEG THAT MAY INTERFERE WITH PROPOSED CONSTRUCTION.
- IF ANY UTILITIES ARE INSTALLED UNDER PAVING SHALL BE KEPT THROUGH CONSTRUCTION.
- ALL WATER MAINS SHALL BE 24" DIA. AND SHALL BE INSTALLED IN ACCORDANCE WITH HOWARD COUNTY DESIGN REQUIREMENTS.
- ALL WATER MAINS SHALL HAVE A MIN. 18" COVER UNLESS NOTED OTHERWISE ON THE PLAN.
- CONTRACTOR TO PROVIDE 100% PROTECTION OF WATER MAINS IF THERE IS ANY INTERFERENCE FROM THE PLAN, LOCATION.

LEGEND

- EX. GRADE
- PROT. GRADE
- TRAIL OUTLINE
- RAIN GUTTER
- MIN. CLEAR DISTANCE BETWEEN UTILITIES
- EXISTING UTILITIES
- NEW/EXISTING PARKING SPACE
- HANDICAPPED PARKING SPACE

STONE OUTLET SEDIMENT TRAP #1

DRAINAGE AREA - 4.90 AC±
 SIDE SLOPES - 2:1
 STORAGE REQUIRED - 4,90 x 1800 = 8,820 CF
 STORAGE PROVIDED - 9000 CF
 BOTTOM ELEV. - 85.0
 SPILLWAY CREST - 87.0
 TOP OF EMBANKMENT - 88.0
 CLEANOUT ELEV. - 86.0
 BOTTOM DIMENSIONS - 43' x 93'
 SPILLWAY WIDTH - 20.0'

LEGEND

- DRAINAGE AREA
- STREAM BALE DIKE
- LIMIT OF DISTURBANCE
- INLET PROTECTION
- EARTH DIKE
- STABILIZED CONST. ENTRANCE

APPROXIMATE EARTH QUANTITIES

CUT = 13,800 C.Y.
 FILL = 19,800 C.Y. (INCLUDES 10% SHRINKAGE)

These plans have been reviewed for the Howard Soil Conservation District meet the technical requirements for small pond construction, soil erosion and sediment control.

Howard G. Parrott 11-30-87
 Date

Approved: *Stephen L. Hahn* 11/30/87
 Howard Soil Conservation District Date

Plan Number
 APPROVED: For public water and public sewerage systems
 Howard County Health Department.

James W. Boyle 12-15-87
 County Health Officer Date

APPROVED: Howard County Office of Planning & Zoning.

W. H. Hahn 12-22-87
 Director Date

James R. Smith 16 Dec '87
 Chief Division of Land Development & Zoning Administration Date

APPROVED: For public water and public sewerage storm drainage systems and public roads Howard County Department of Public Works.

James W. Boyle 12-22-87
 Director Date

William E. Reed 12-22-87
 Chief Bureau of Engineering Date

APPROVED
 DIVISION OF LAND DEVELOPMENT &
 ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE 7-29-87

BUILDING #	STREET ADDRESS
A	500 S. HANOVER ROAD
B	630 S. HANOVER ROAD

ADDRESS CHART

SUBDIVISION NAME: A.G. PARROTT INDUSTRIAL PARK
 PLAT # 1987-14 Block # 1000 Lot # 1000
 MAP CODE A-01

GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 171 ALLESTREE AVENUE
 TOWSON, MARYLAND 21284
 (301) 615-8120

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR CONSTRUCTION, EROSION AND SEDIMENT CONTROL, REPRESENTS A PRACTICAL AND WORKABLE PLAN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SITE. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT AND I HAVE CERTIFIED THE REQUIREMENTS THAT HE HAS REVIEWED THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE SOIL FACILITY WITHIN 30 DAYS OF COMPLETION.

ENGINEER: *Albert G. Parrott*
 REGISTERED PROFESSIONAL ENGINEER
 DATE: 3/19/87

OWNER

ALBERT G. PARROTT & WIFE
 SOUTH HANOVER LTD PARTNERSHIP
 600 BLUMBER DEV. CO.
 3102 WASHINGTON BLVD
 21230

DESIGNER

Albert G. Parrott
 DATE: 1-21-87
 ALBERT G. PARROTT

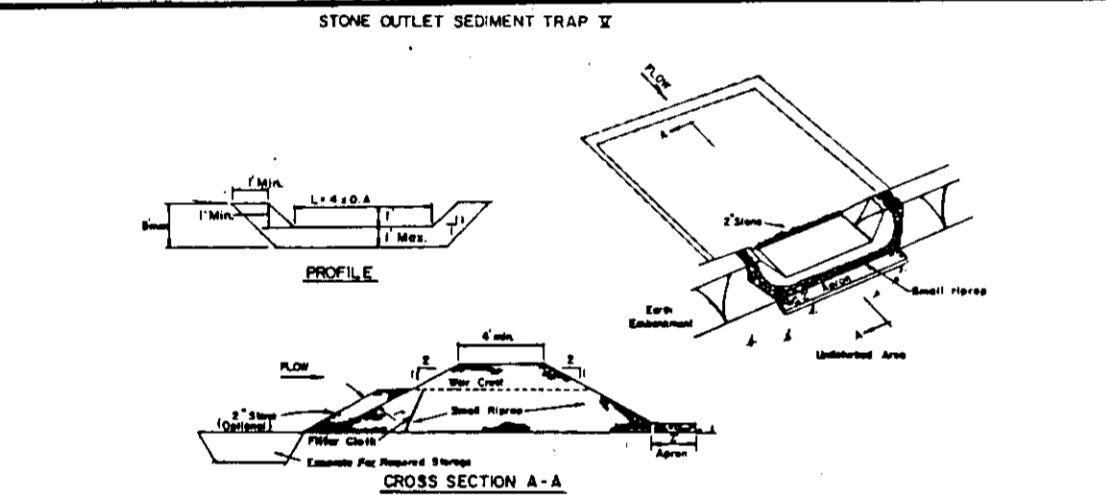
GRADING, SEDIMENT & EROSION CONTROL PLAN
A.G. PARROTT INDUSTRIAL PARK
 SECTION 2 PARCEL D-1

HOWARD CO., MD SCALE 1"=50'
 ELECTION DISTRICT 1
 DECEMBER 15, 1986
 SHEET 4 OF 6
 815925

SDP-87-187

CONSTRUCTION SPECIFICATIONS

- 1. SITE PREPARATION
The fill area and borrow area shall be cleared and grubbed to remove all trees, vegetation, roots and other objectionable material. The topsoil from the embankment area and borrow area shall be removed and stockpiled. The topsoil shall be spread on the completed fill area.
2. FILL MATERIAL
a) FILL MATERIAL shall be obtained from on-site under the supervision of a soils engineer. It shall be free from roots, stumps, wood rubbish, oversized stones, frozen or other objectionable material. Fill areas shall be constructed to the elevation shown on the plan to allow for settlement.
b) PLACEMENT: Areas on which fill will be placed shall be scarified prior to placement of fill. Fill materials shall be placed in layers of 6" thick maximum (before compaction) and shall be compacted over the entire length of fill. The most porous material shall be placed in areas not adjacent to ponds or water. Compaction shall be to the satisfaction of the soils engineer.
c) FILL shall be controlled so that the entire surface of each lift shall be compacted to the specified density. Fill material shall contain sufficient moisture so that the required degree of compaction can be obtained with the equipment used.
d) CORE SPACING shall be made of 30' or 45' maximum depending to 95% of A.S.T.M. D-1557-79 density.
3. STRUCTURAL BACKFILL
Backfill material shall be the type and quality specified for the adjoining fill material. The fill shall be placed in horizontal layers 4" thick maximum and compacted by hand tamping or manually directed power tampers on plate vibrators. As no time during backfilling operations shall drivers equipment be allowed to operate any closer than four feet measured horizontally to any part of a structure. Under no circumstances shall the contractor drive equipment over any part of a concrete structure of pipe unless there is a compacted fill of 24" or greater over the structure or pipe. Materials shall fill completely all spaces under and adjacent to newly installed pipe.
4. CONCRETE
Concrete shall meet the minimum requirements set forth in the Maryland State Highway Administration Specifications for Construction and Materials January 1982 Section 911.06 - "Portland Cement Concrete Mixtures", Mix No. 3 Reinforcing steel shall be A.S.T.M. A 615 Grade 60.
5. STABILIZATION
The storm water management facility will be stabilized with "Permanent Slope Seedling" as follows:
After spreading 4" topsoil seed with a mixture of 30% inoculated crown vetch and 70% Kentucky 31 tall fescue applied at a rate of 60 lbs./1000 sq. ft. of seed.
6. SEEDING
Seeds shall be applied at a rate of 25 lbs./1000 square feet, at a rate of 30 lbs./1000 square feet, much area with unweeded small grain straw at a rate of 1.5 to 2.0 bushels per acre.
7. PIPE CONNECTIONS
a) Connections with pipe: This pipe and its appurtenances shall be maintained and fully functional and shall conform to the requirements of MARYLAND SPECIFICATION 9-10 with weathering coupling bands. Any disconnection causing damage or obstruction shall be repaired and cold applied bituminous coating compound.
b) Connections - All connections with pipes must be completely weathertight. The drain pipe or barrel connection to the riser shall be welded all around when the pipe and riser are metal. Weathering coupling bands or flanges shall be used at all joints. Anti-seep collars shall be connected to the pipe in such a manner as to be completely weathertight. Single bands are not considered to be weathertight.
c) Seeding - The pipe shall be firmly and uniformly bedded throughout its entire length. House rock or soil, gravel or other unstable soil is encountered all such material shall be removed and replaced with suitable earth compacted to provide adequate support.
d) Laying pipe - The pipe shall be placed with inside circumferential laps pointing downstream and with the longitudinal laps at 90 degree angles. Backfilling shall conform to structural backfill as shown above.
e) Other details (anti-seep collars, valves, etc.) shall be as shown up the drawings.
8. FILTER CLOTH
HERRI 1405 or equivalent shall be used.
9. SEDIMENT CONTROL
Construction to be in accordance with 1981 Maryland Standards and Specifications for Soil Erosion and Sediment Control. In release structure install downstream device by connecting 8" P. of 8" perforated underdrain to the low flow pipe. The 8" underdrain shall be wrapped in filter cloth and covered with minimum 12" thick 2 stone.
NOTE: (SPECIFIED DENSITY)
SUITABLE MATERIAL SHALL BE USED FOR THE EMBANKMENT AND ROULLED TO A MINIMUM DEGREE OF COMPACTION OF 95% OF THE DRY UNIT WEIGHT AS DETERMINED BY A.S.T.M. D-1557-79. CONSTRUCTION OF SOIL POND SHALL BE PERFORMED UNDER STRICT SUPERVISION OF A SOILS ENGINEER.



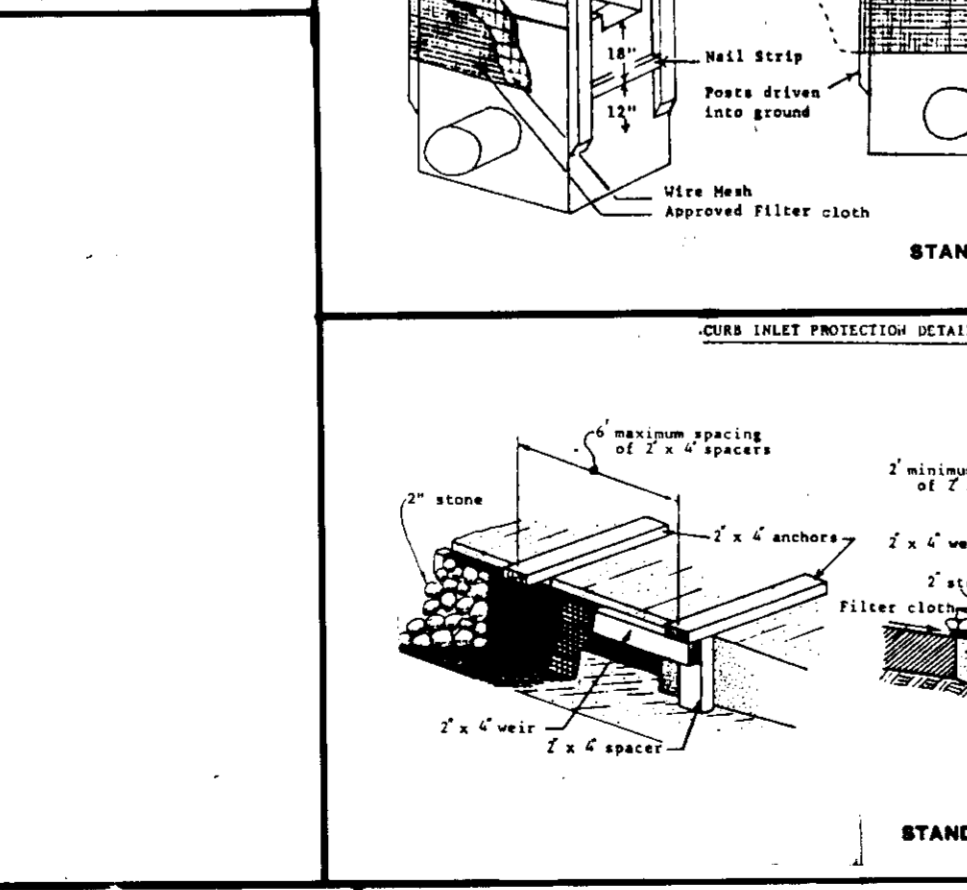
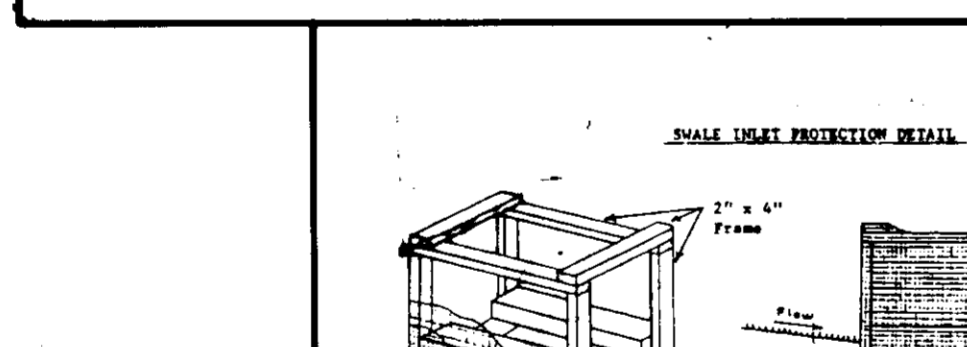
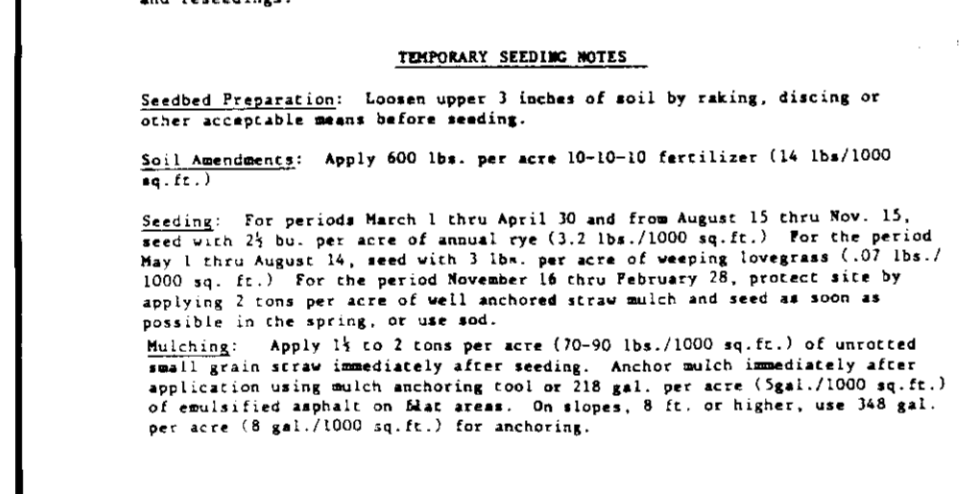
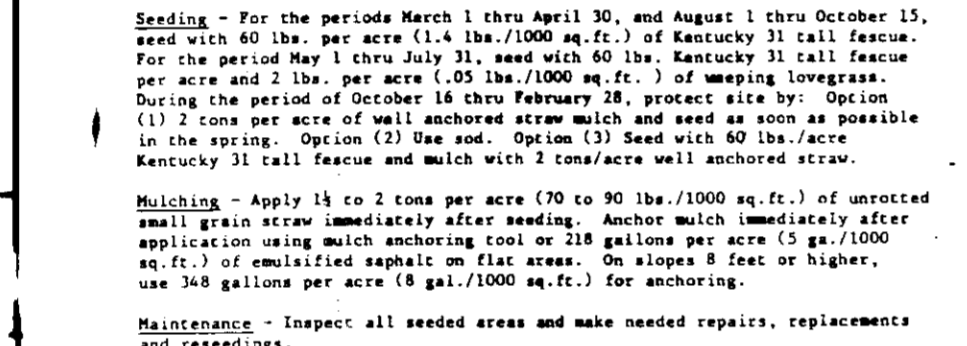
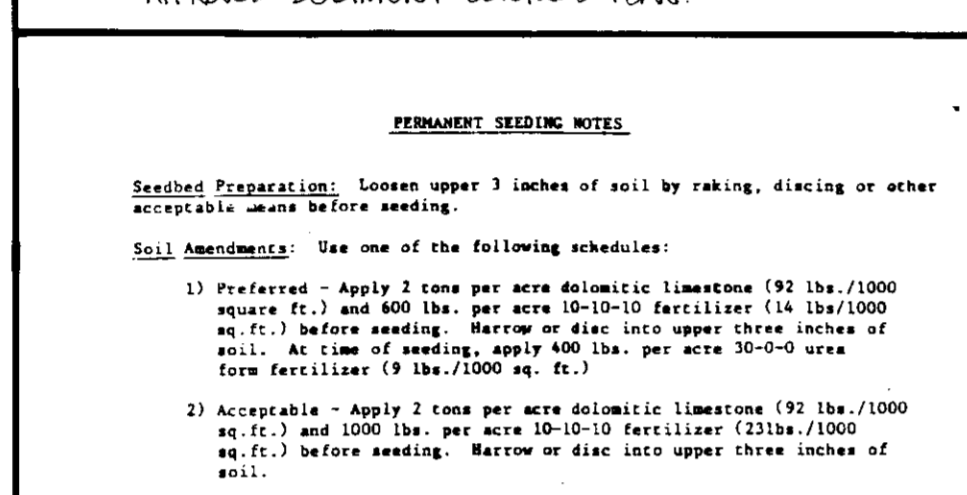
- 1. Area under embankment shall be cleared, grubbed and stripped of any vegetation and top soil. The soil shall be leveled.
2. The fill material for the embankment shall be free of roots and other objectionable material. The embankment shall be compacted by tamping with equipment while it is being constructed.
3. All soil and fill slopes shall be 3:1 or flatter.
4. The area used in the outlet shall be small riprap 4" to 6" with a 1/2" thickness of 1/2" aggregate placed on the surface side on the outlet.
5. The structure shall be impacted after each rain and repairs made as needed.
6. Construction operations shall be carried out in such a manner that erosion and water pollution is minimized.
7. The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.

SEQUENCE OF OPERATIONS table with 2 columns: Activity and Duration. Includes items like 'NOTIFY THE HOWARD COUNTY DEPARTMENT OF PERMITS & LICENSES INSPECTOR', 'INSTALL STABILIZED CONSTRUCTION ENTRANCE', 'INSTALL SEDIMENT TRAP AND REMAINING SEDIMENT CONTROL MEASURES', etc.

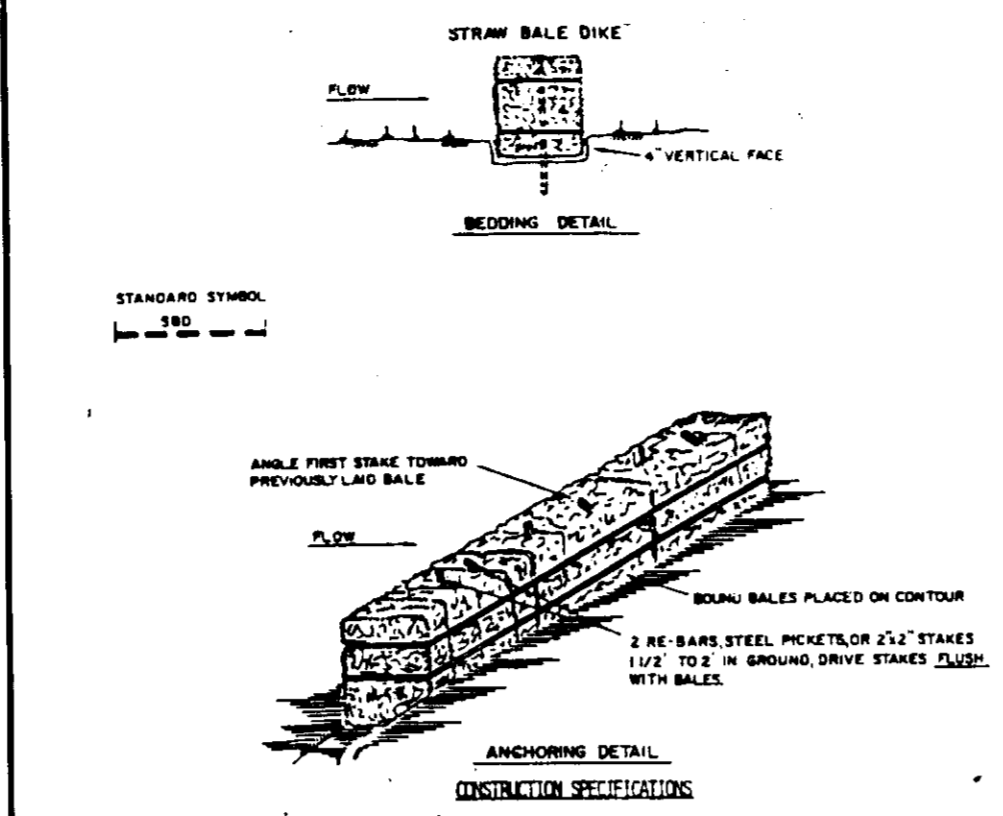
GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC. CIVIL ENGINEERS & LAND SURVEYORS. 303 ALLEGHENY AVENUE TOWSON, MARYLAND 21204 (301)825-8120. Includes logo and contact info.

SEDIMENT CONTROL NOTES

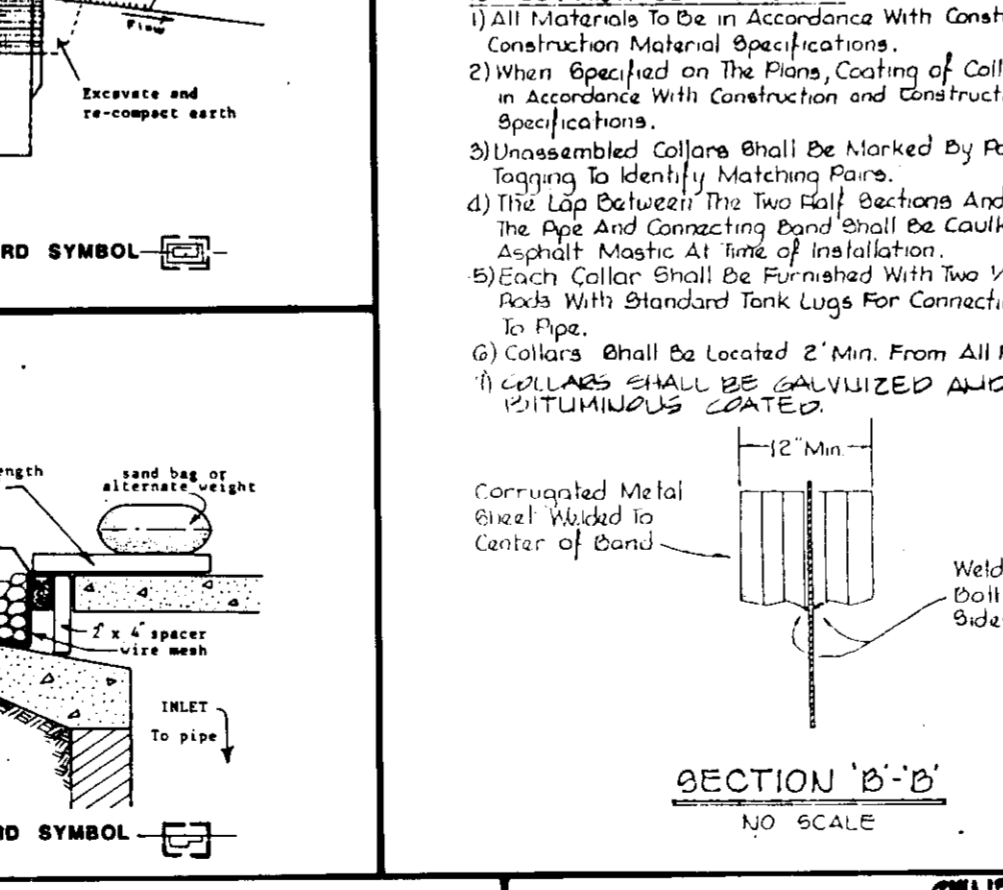
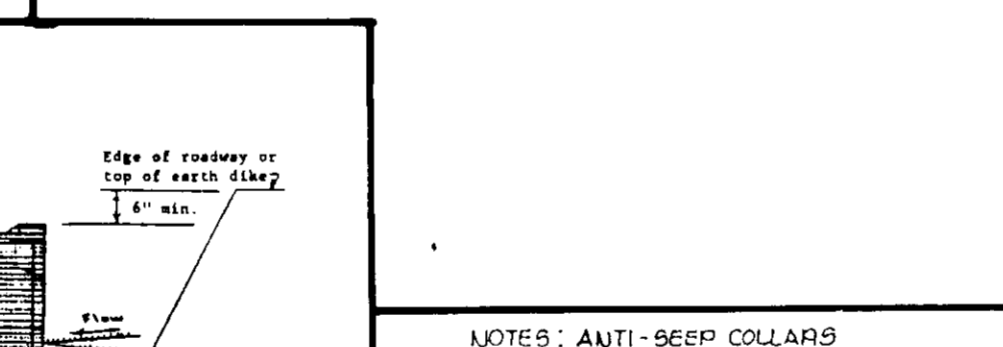
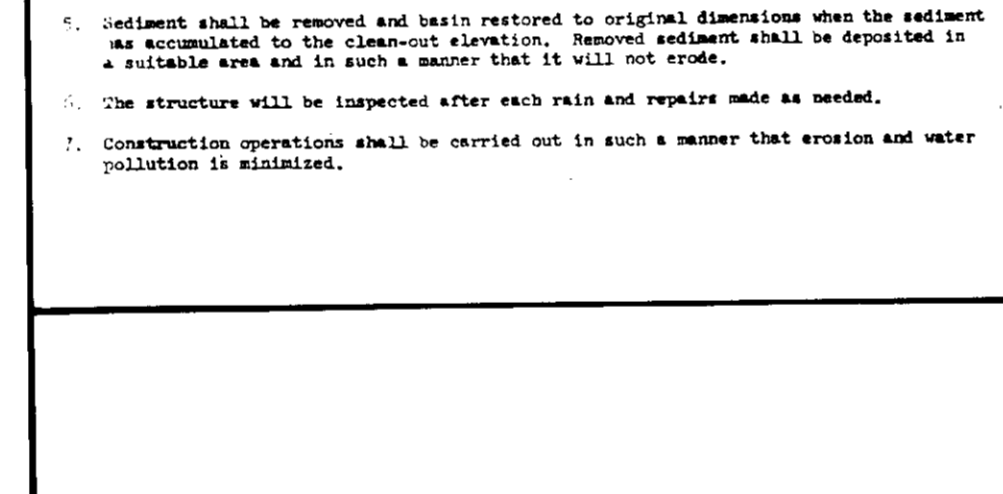
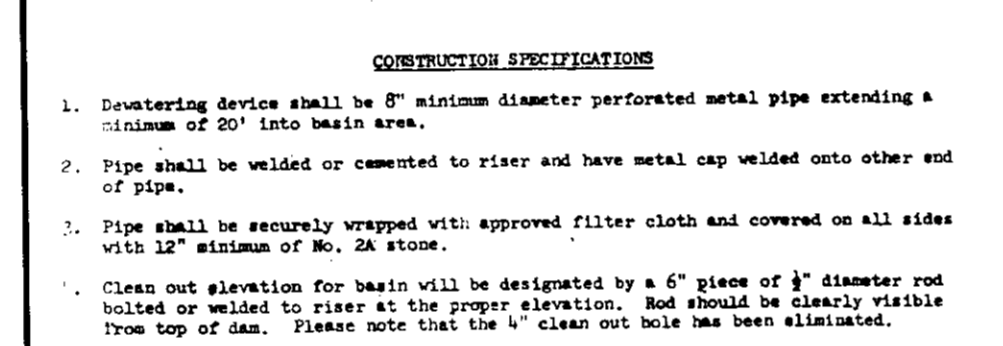
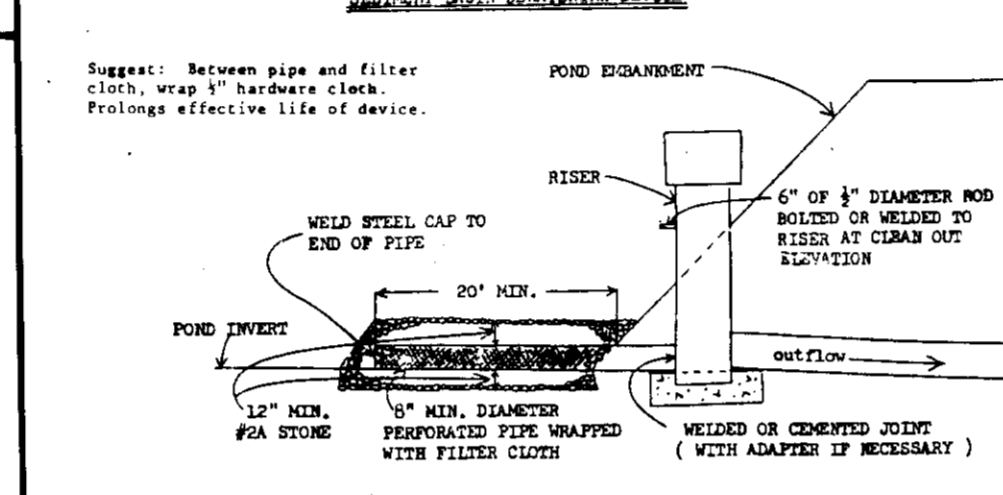
- 1. A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (992-2437)
2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1981 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
3. Following initial soil disturbance or re-disturbance, permanent or temporary stabilization shall be completed within 7 calendar days for all permanent sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, by 14 days as to all other disturbed or graded areas on the project site.
4. All sediment traps/basins shall be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY ZONING MANUAL, Storm Drainage.
5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1981 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 32) and (Sec. 54), temporary seedings (Sec. 50) and mulching (Sec. 52). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
6. All sediment control structures are to remain in place and are to be maintained in operative condition until notification for their removal has been obtained from the Howard County Sediment Control Inspector.
7. Site Analysis:
a) Total Area of Site: 9.0 Acres
b) Area Disturbed: 8.0 Acres
c) Area to be roofed or paved: 0.5 Acres
d) Area to be vegetatively stabilized: 1.5 Acres
e) Total C: 10,000 Cu. Yds
f) Total FILL: 10,000 Cu. Yds
g) Offsite waste/borrow area location:
8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
9. Additional sediment controls must be provided, if deemed necessary by the Howard County SDC sediment control inspector.
10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of permanent erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency has been obtained.
11. MATERIALS WILL BE HAULED TO A SITE WITH AN APPROVED SEDIMENT CONTROL PLAN.



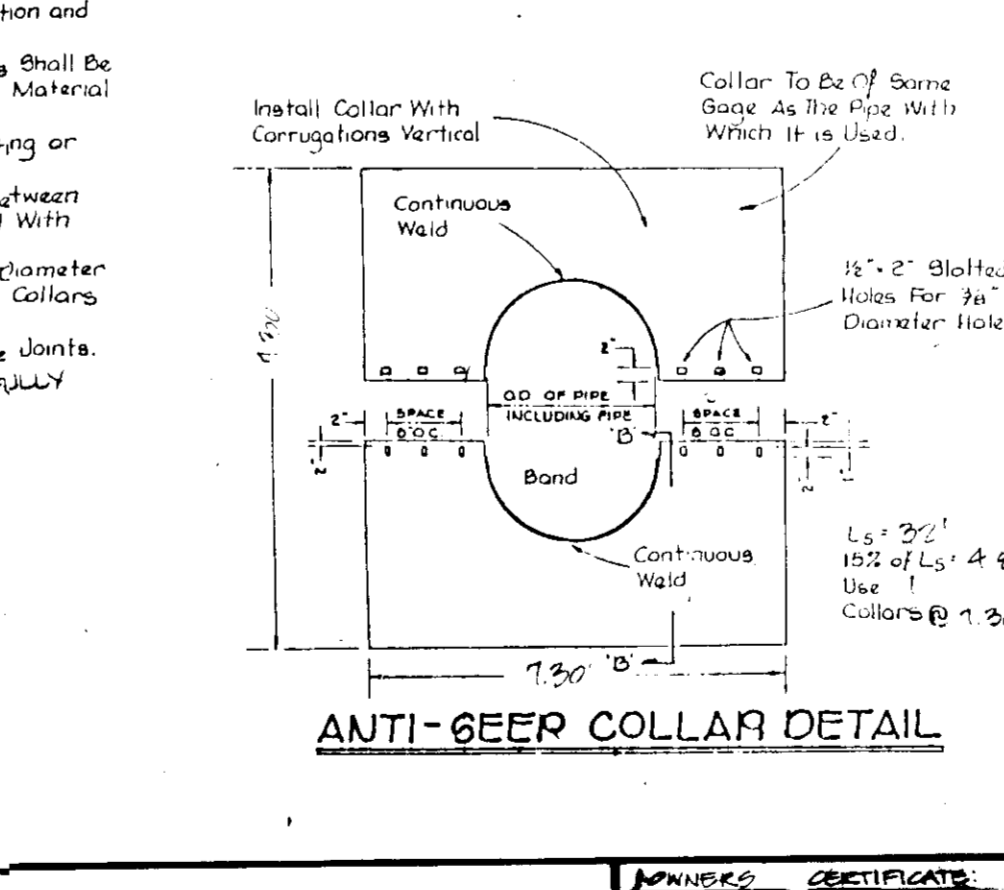
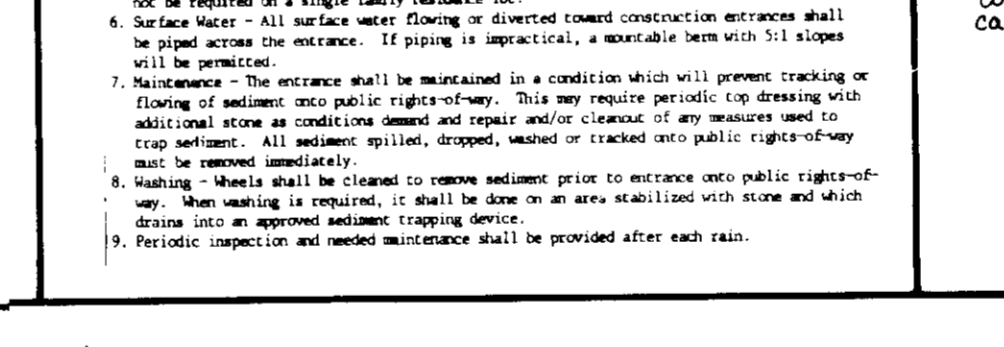
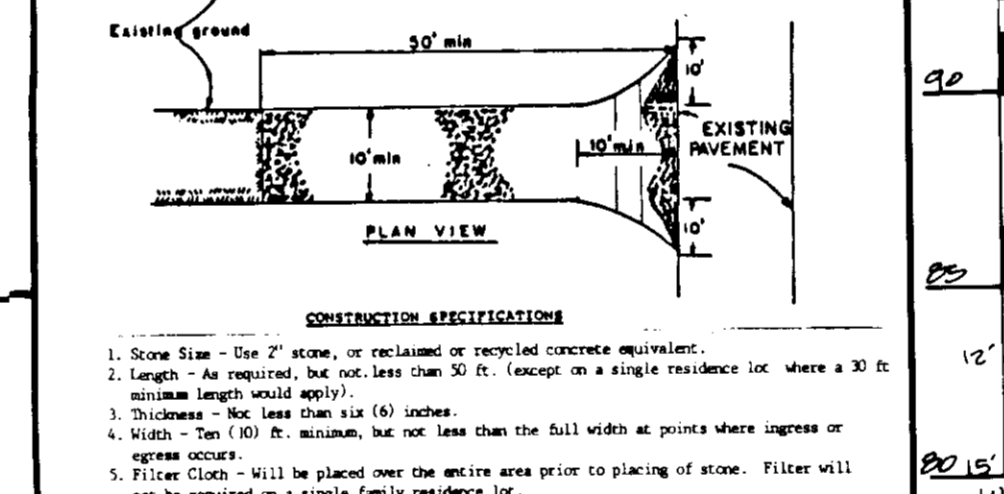
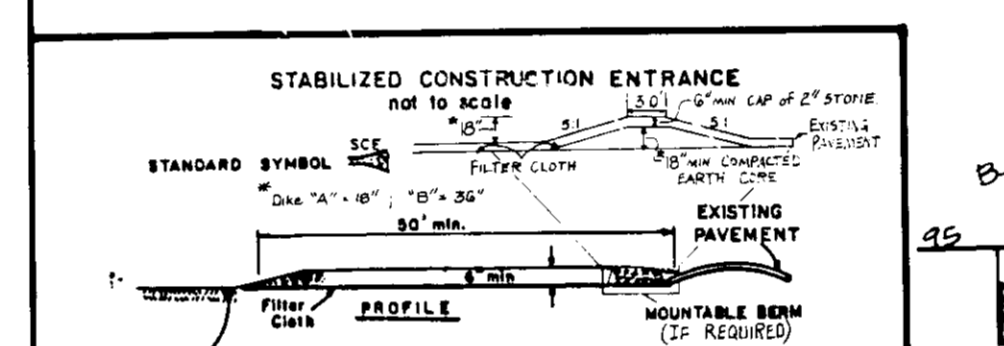
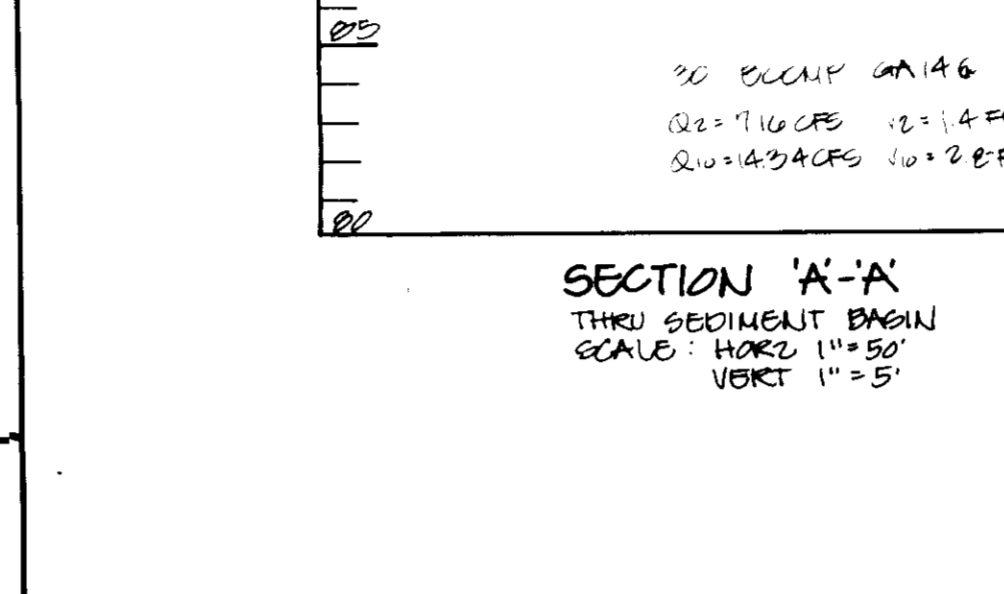
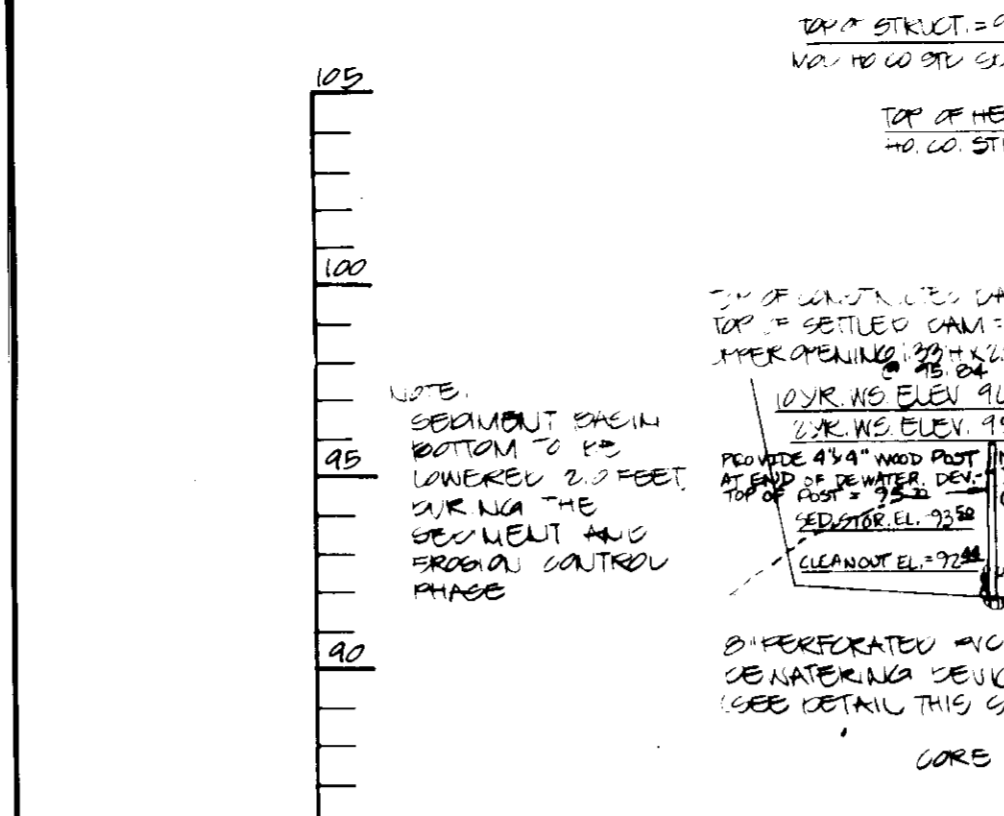
STATE OF MARYLAND seal and signature of Albert G. Parrott, dated 3/17/87.



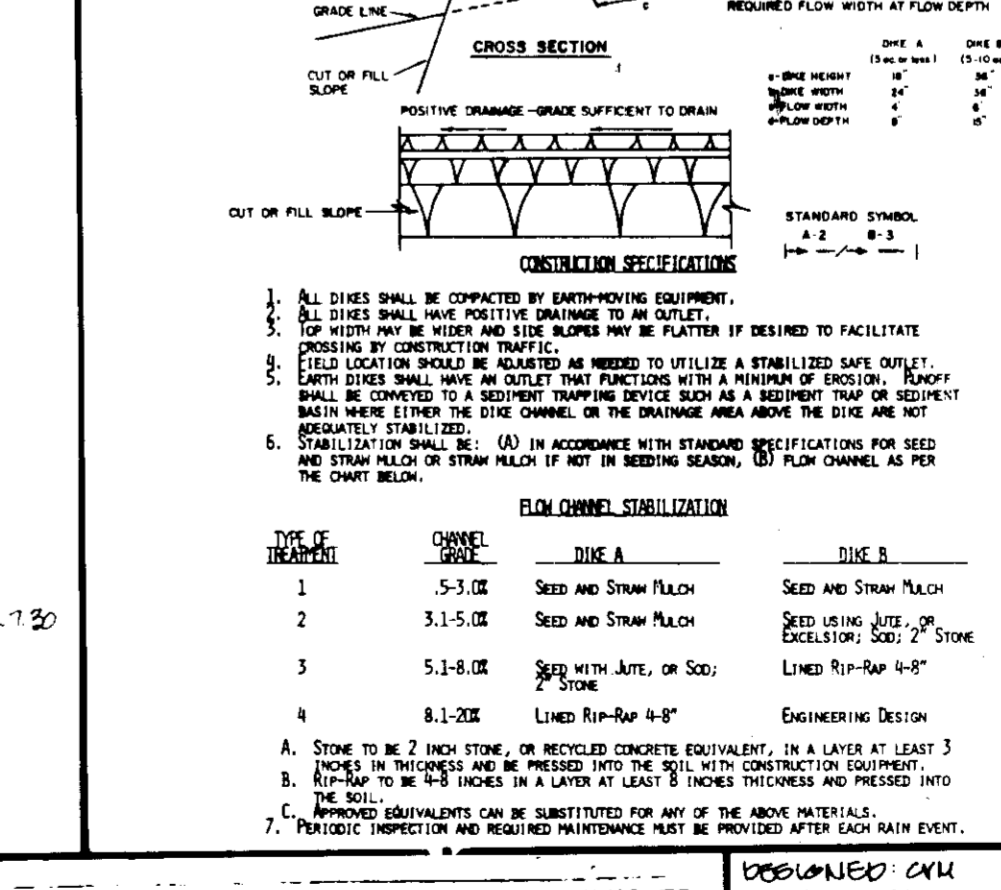
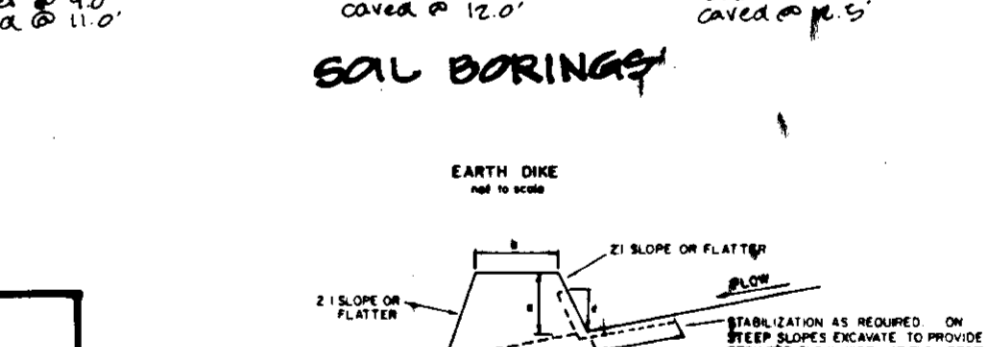
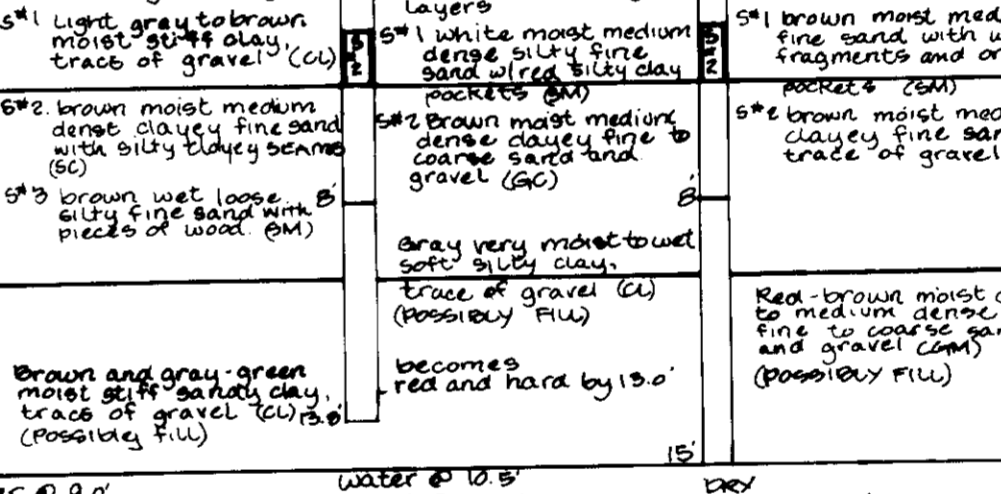
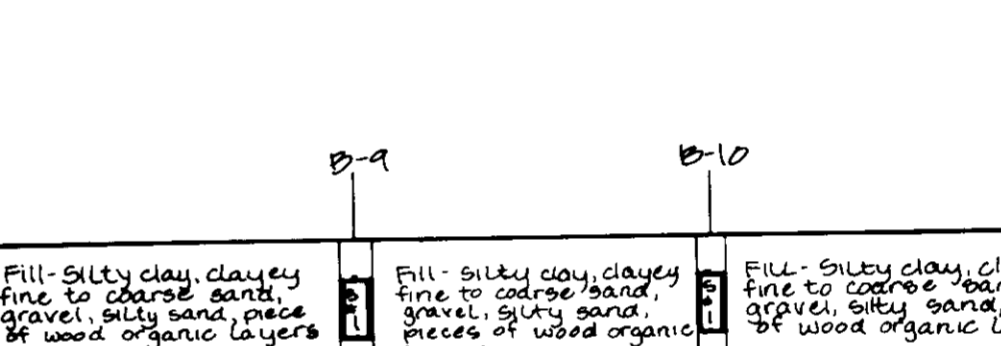
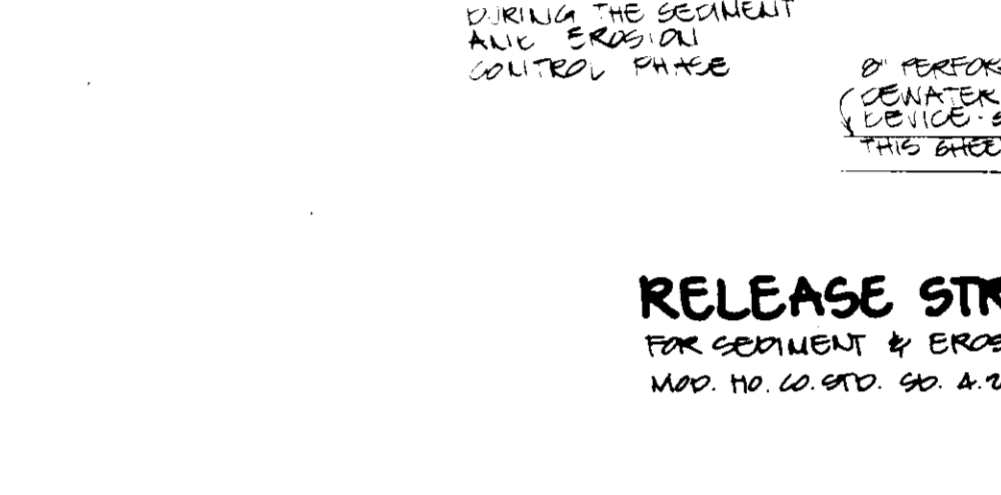
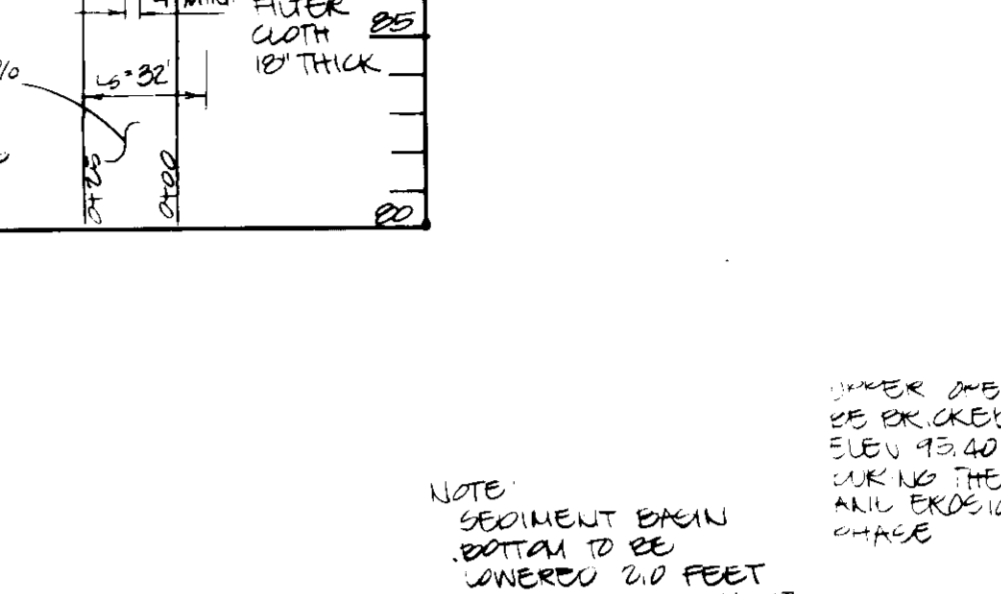
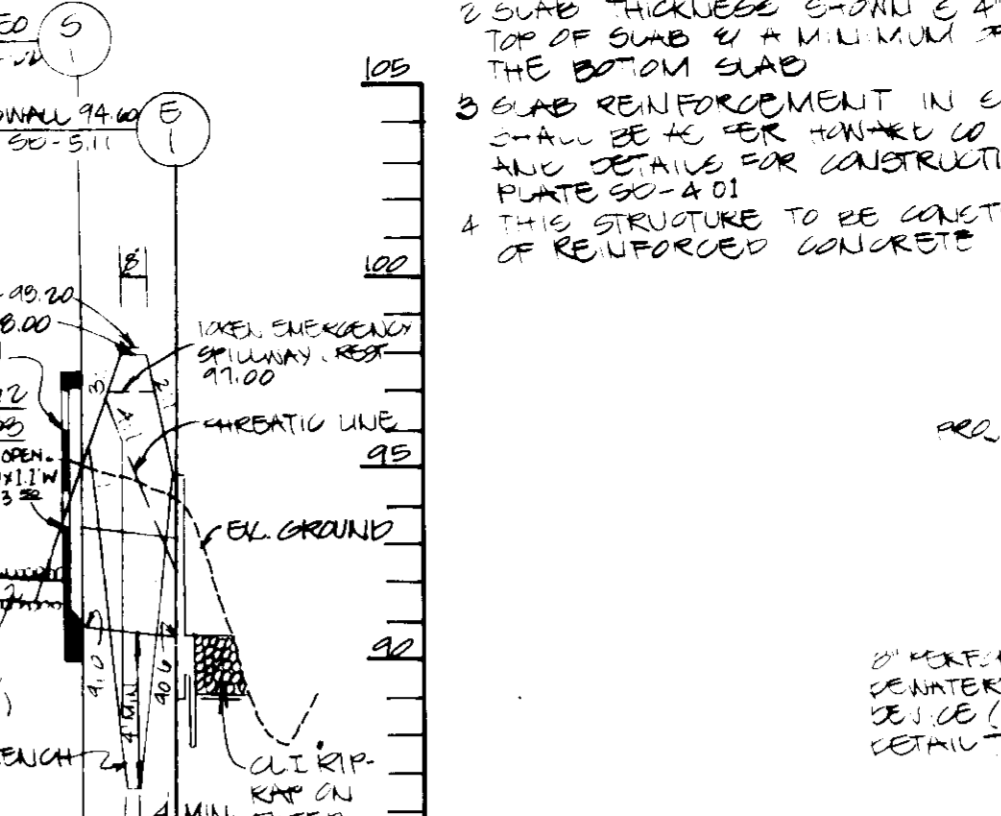
- 1. Bales shall be placed at the toe of a slope or on the contour and in a row with bales tightly abutting the adjacent bales.
2. Each bale shall be oriented in the soil a minimum of (4) inches, and placed so the baling wire protrudes.
3. Bales shall be securely anchored in place by either two stakes or re-bar driven through the bales. The first stake in each row shall be driven through the baling wire and the second stake shall be driven flush with the bale.
4. Installation shall be performed and repair replacement shall be made promptly as needed.
5. Bales shall be removed when they have served their usefulness so as not to block off these storm flow or drainage.
6. Additional sediment controls must be provided, if deemed necessary by the Howard County SDC sediment control inspector.
7. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of permanent erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency has been obtained.
8. MATERIALS WILL BE HAULED TO A SITE WITH AN APPROVED SEDIMENT CONTROL PLAN.



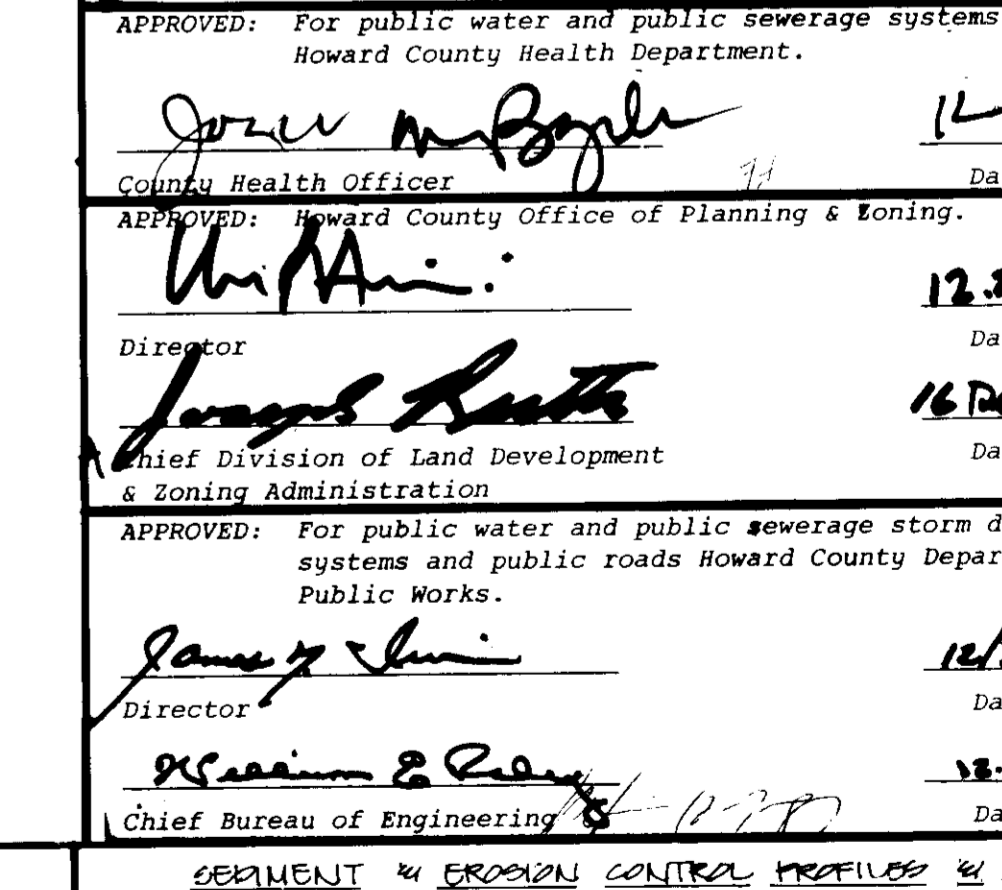
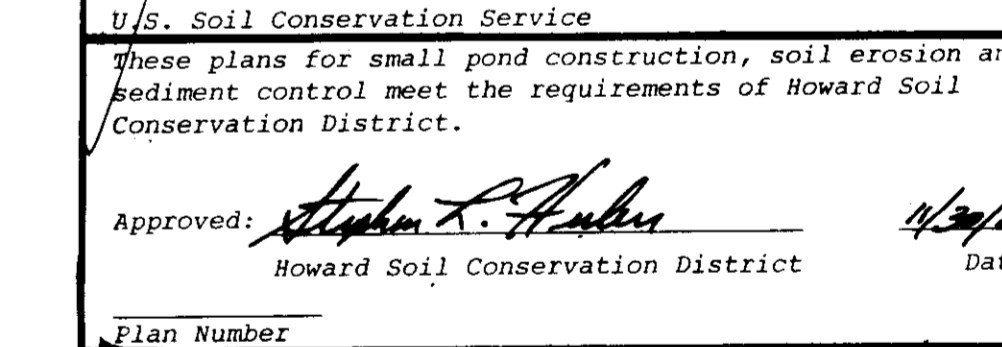
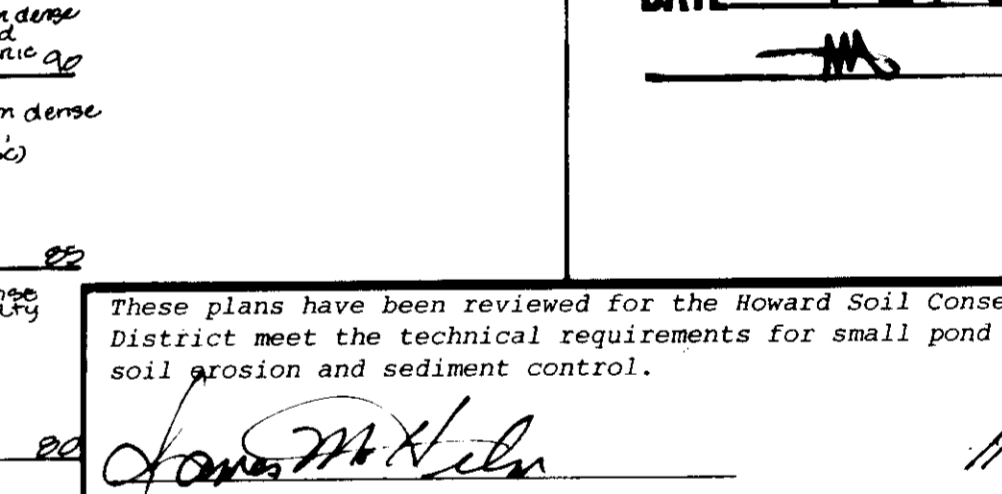
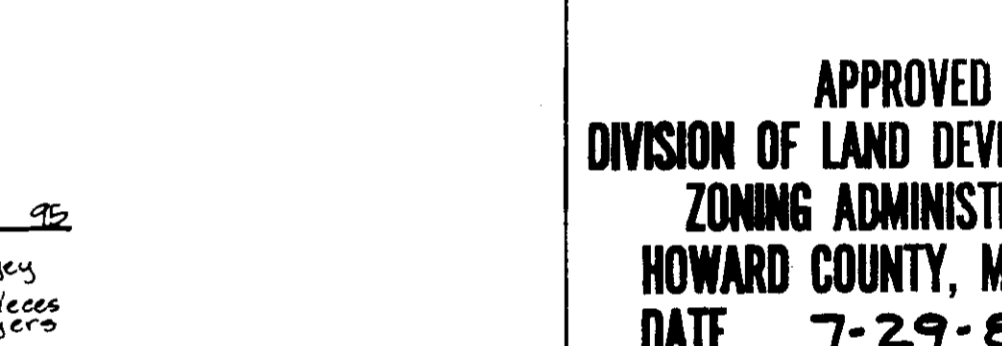
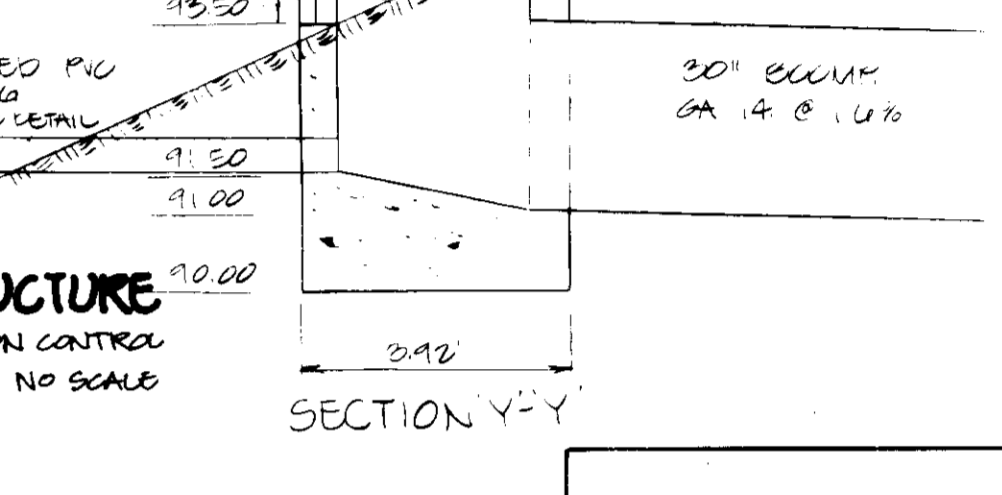
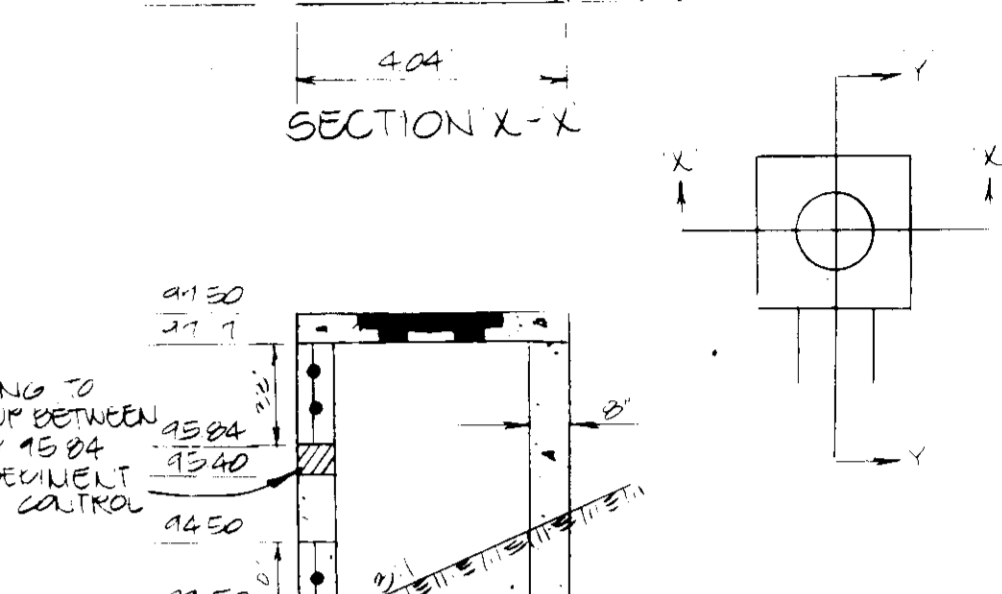
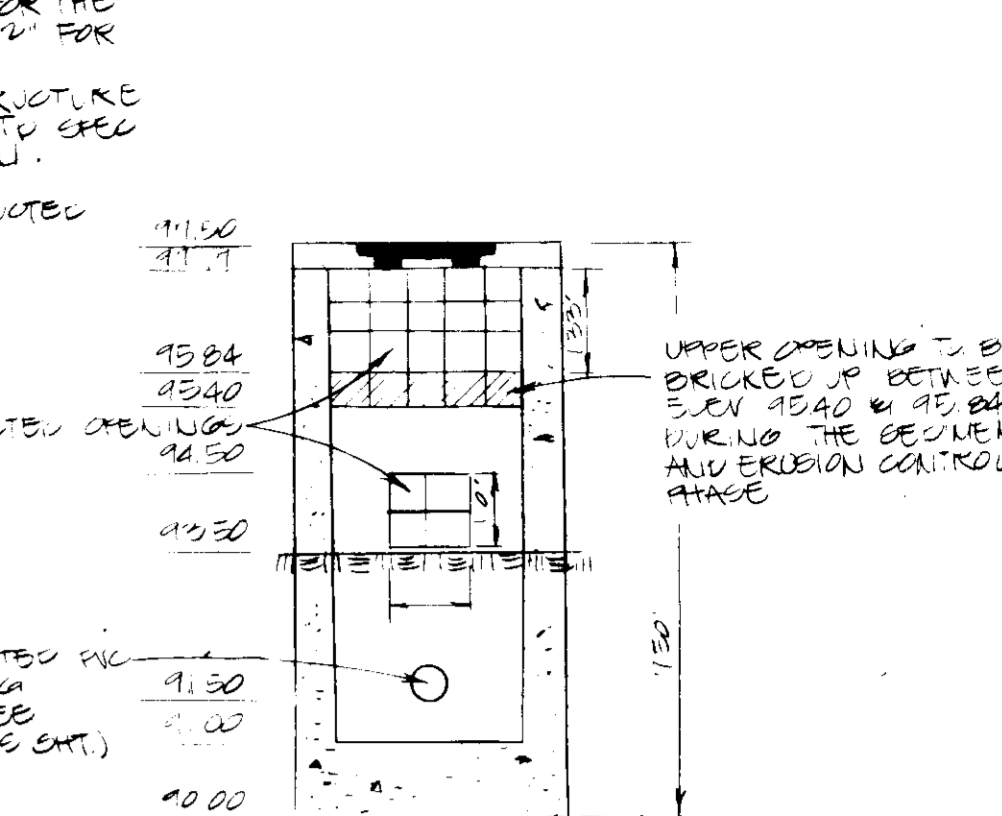
ALBERT G. PARROTT & WIFE. SOUTH MANORVIEW LTD PARTNERSHIP. 301 WASHINGTON BLVD. 21230. Includes signature and contact info.



APPROVED CERTIFICATE. I, ALBERT G. PARROTT, CIVIL ENGINEER, DO HEREBY CERTIFY THAT THE ABOVE DESCRIBED CONSTRUCTION WILL BE HELD ACCORDING TO THE PERMITS AND CONDITIONS THEREON. Includes signature and date.



APPROVED CERTIFICATE. I, ALBERT G. PARROTT, CIVIL ENGINEER, DO HEREBY CERTIFY THAT THE ABOVE DESCRIBED CONSTRUCTION WILL BE HELD ACCORDING TO THE PERMITS AND CONDITIONS THEREON. Includes signature and date.



APPROVED DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION. HOWARD COUNTY, MARYLAND. DATE 7-29-87. Includes signature and date.

APPROVED DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION. HOWARD COUNTY, MARYLAND. DATE 7-29-87. Includes signature and date.

PLANT LIST

KEY	QUAN	BOTANICAL NAME	SIZE	COND	SPACING
AR	26	ACER RUBRUM / RED SUNSET / RED MAPLE	2 1/2 - 3" CAL	D&B	30' O/C
PN	28	PINUS NIGRA / AUSTRIAN PINE	5 - 6"	D&B	12' O/C
PS	41	PINUS STROBUS / WHITE PINE	5 - 6"	D&B	12' O/C
ZS	15	ZELKOVA GERRATA VILLAGE GABEN / ZELKOVA	2 1/2 - 3" CAL	D&B	-
FZ	84	FORSYTHIA INTERMEDIA / FORSYTHIA	3 - 4"	D&B	5' O/C

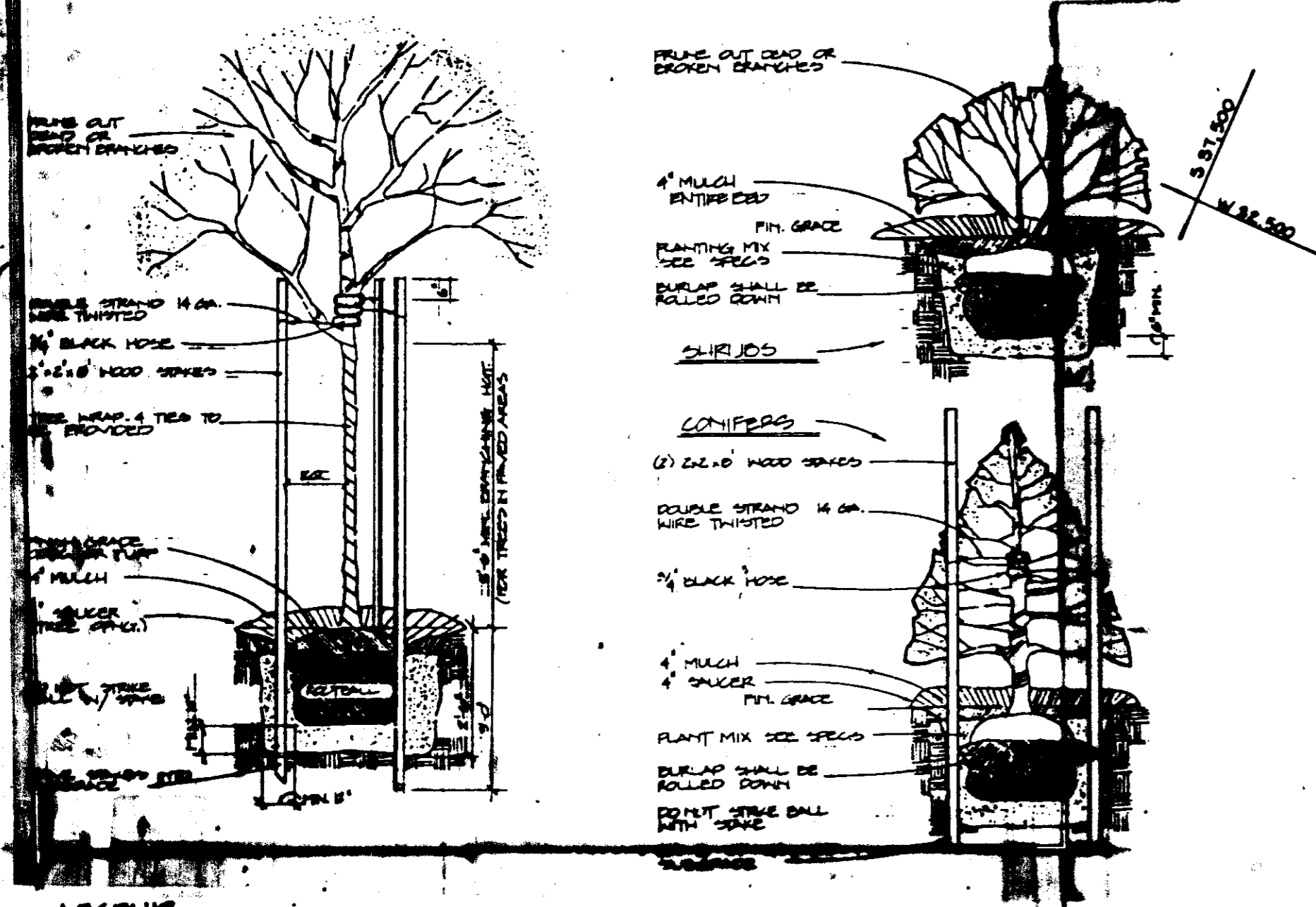
- NOTES**
- Plant locations may be field adjusted to avoid final utility placements.
 - All plants shall be mulched to a minimum of 18" beyond the edge of the root ball on all sides.
 - All shrub masses shall be planted in continuous mulch beds.
 - All wire and non-biodegradable plastic ball ties shall be removed.
 - Landscape Contractor should refer to site & utility drawings for final utility locations.

LANDSCAPE SPECIFICATIONS

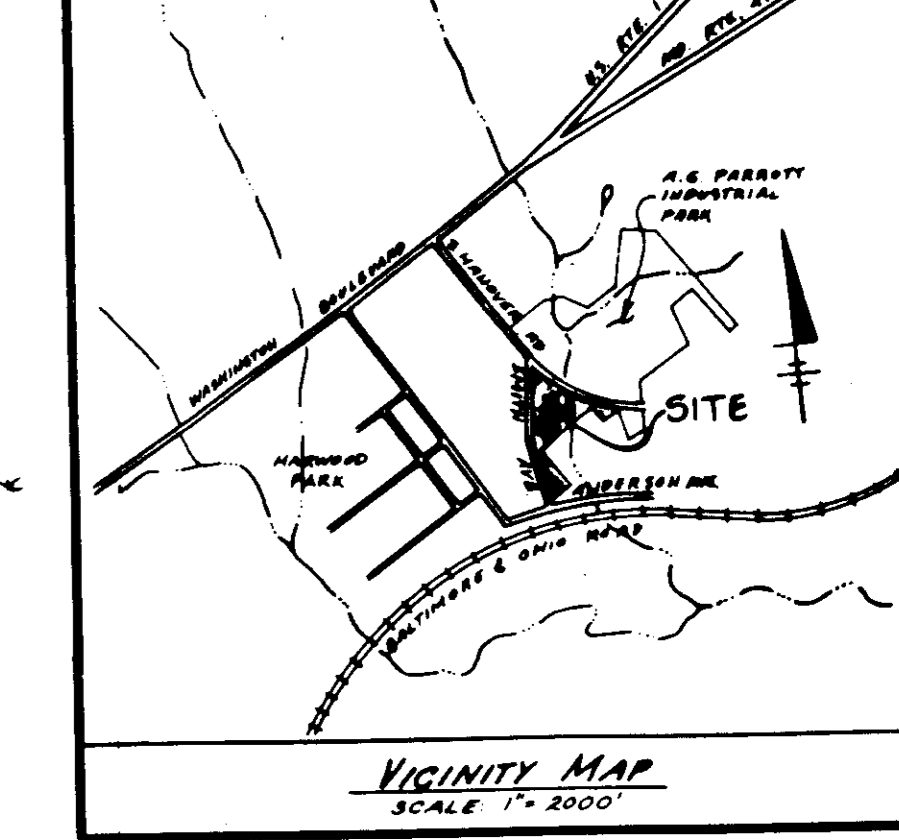
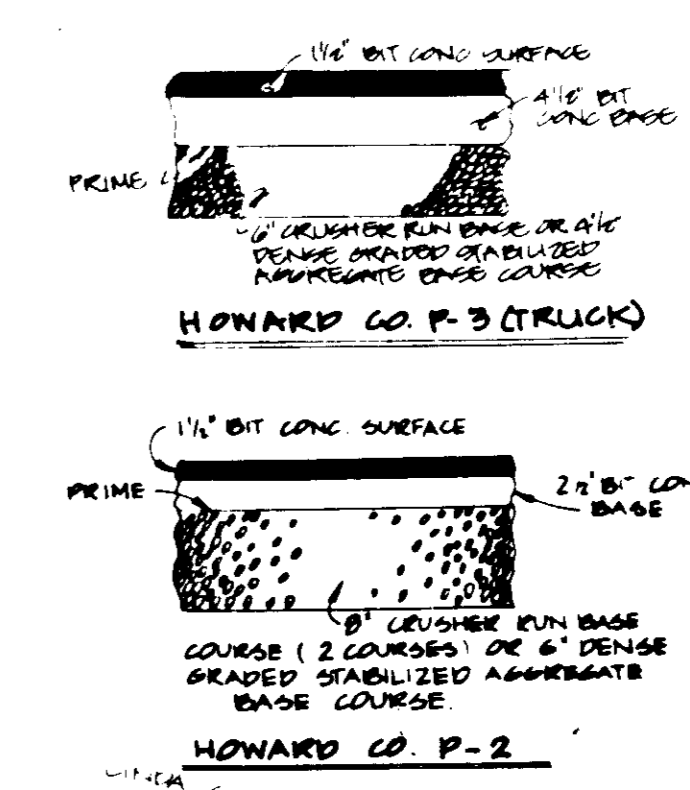
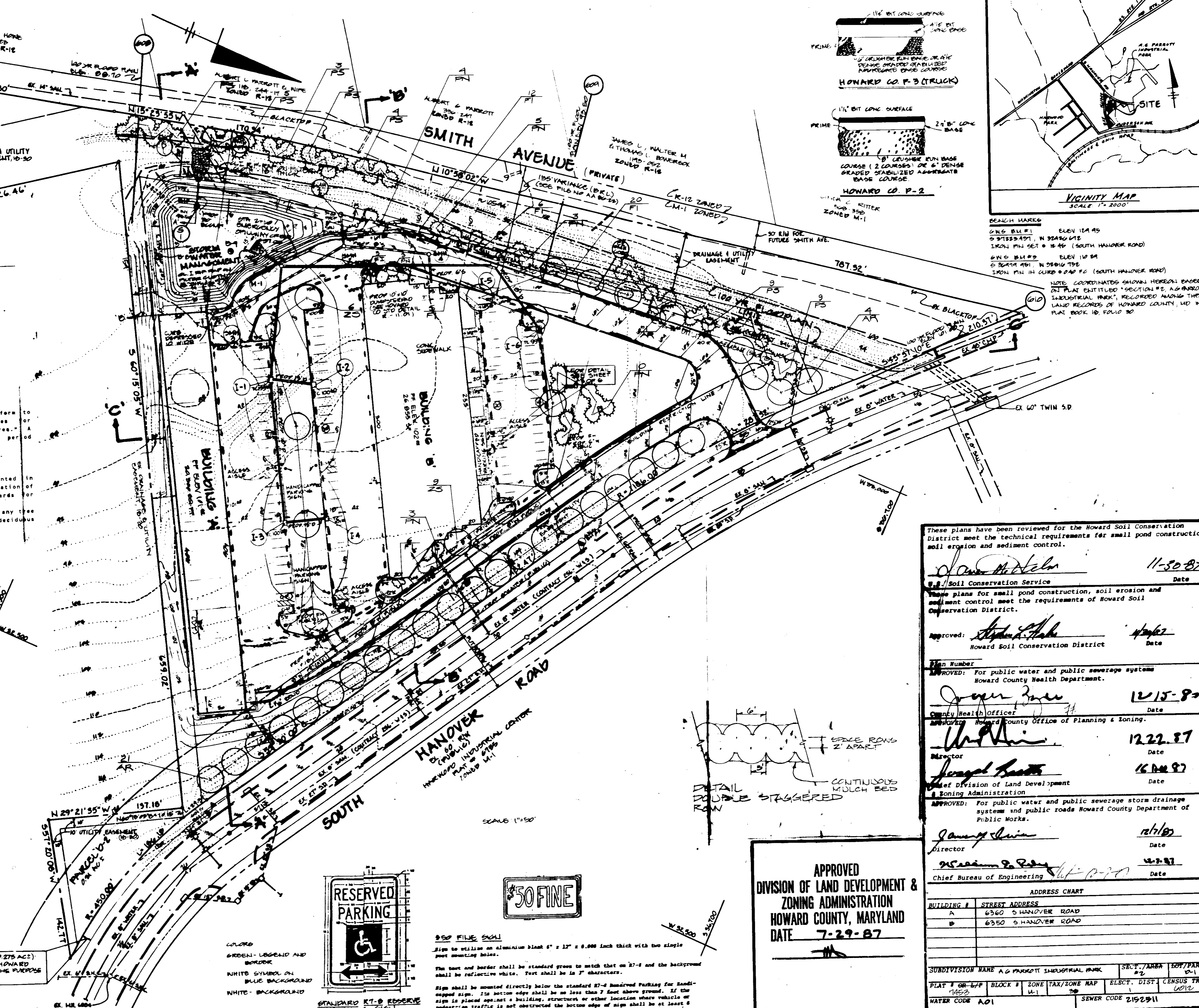
Landscape specifications shall conform to "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Area," a one-year maintenance and warranty period shall be required.

PLANTING STANDARDS

All nursery stock shall be planted in accordance with the American Association of Nurserymen, Inc., "American Standards for Nursery Stock," latest edition. Bare-root shall not be allowed for any tree defined as major deciduous, minor deciduous or evergreen.



- LEGEND**
- EL. GRAVEL
 - TRACT GRASS
 - TRACT OUTLINE
 - R/W LINE
 - MINIMUM BUILDING SETBACK LAND DIMENSIONS
 - LANDSCAPE TRUCK OFFICE
 - HANDICAPPED PARKING SPACE
 - BEACH MARK
 - PLANTING SECTION - P.B.
 - PLANTING SECTION - P.S.



BEACH MARKS

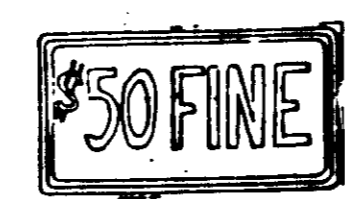
2" x 6" SIGN IN 15' x 15' AREA
 2" x 6" SIGN IN 15' x 15' AREA
 2" x 6" SIGN IN 15' x 15' AREA

NOTE: COORDINATES SHOWN HEREON BASED ON PLAT ENTITLED "SECTION 2, A.G. PARROTT INDUSTRIAL PARK," RECORDED ALONG THE LAND RECORDS OF HOWARD COUNTY, MD. IN PLAT BOOK 10, FOLIO 30.

These plans have been reviewed for the Howard Soil Conservation District meet the technical requirements for small pond construction, soil erosion and sediment control.

Approved: <i>John M. DeLo</i>	11-30-87
Soil Conservation Service	
Approved: <i>John M. DeLo</i>	12-15-89
Health Officer	
Approved: <i>John M. DeLo</i>	12-22-87
Director	
Approved: <i>John M. DeLo</i>	12-16-87
Chief Bureau of Engineering	
Approved: <i>John M. DeLo</i>	12-16-87
Director	
Approved: <i>John M. DeLo</i>	12-16-87
Chief Bureau of Engineering	

APPROVED
 DIVISION OF LAND DEVELOPMENT &
 ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE 7-29-87



OWNER
 ALBERT G. PARROTT & WIFE
 2421 LACON RD
 BLDG. MAP 21581
 301 WASHINGTON BLVD.
 21230

CONTRACTOR
 SOUTH HANOVER LTD PARTNERSHIP
 C/O BLUMBER DEV. CO.
 3101 WASHINGTON BLVD.
 21230

LANDSCAPE PLAN
 A.G. PARROTT INDUSTRIAL PARK
 SECTION 2 PARCEL 'D-1'
 HOWARD CO. MD
 SCALE 1"=50'
 ELECTION DISTRICT 1
 DECEMBER 19, 1980
 SHEET 0410 P1:5925
 SDP-87-187