

PUBLIC SEWERAGE SYSTEMS DEPARTMENT
 COUNTY HEALTH OFFICER: *John G. Gaylor* 5-19-87
 DATE: 5-19-87
 APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 PLANNING DIRECTOR: *John W. Hamrick* 5-20-87
 DATE: 5-20-87
 CHIEF DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC ROADS
 DIRECTOR: *John G. Gaylor* 5-10-87
 DATE: 5-10-87
 CHIEF BUREAU OF ENGINEERING: *John W. Hamrick* 5-15-87
 DATE: 5-15-87

4-13-87

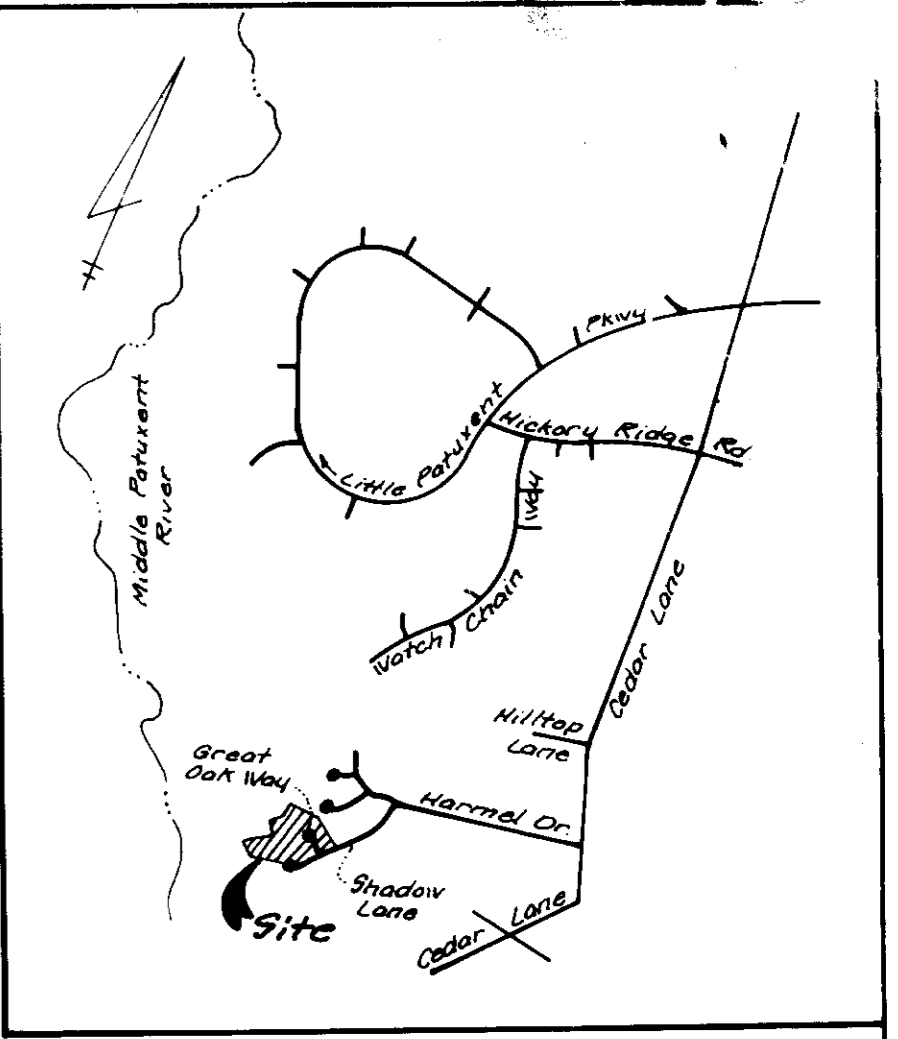
LEGEND

1. Contour Interval 2ft
2. Existing Contour 4.0'
3. Proposed Contour 4.10'
4. Spot Elevation 10.3'
5. Direction of Drainage
6. Walk Out Basement
7. Earth Dike

GENERAL NOTES:

1. The land included is zoned: New Town S.F.L.O.
2. Coordinates are based upon traverse controls for Columbia established by Maps, Inc. in 1965 and Purdum and Jeschke in 1968 which controls were tied to the Maryland Bureau of Control Surveys Monuments and to U.S. Coast and Geodetic Survey Monuments, Ho Co Chl. Pts. 2637002 & 2637003
3. All roads are public and existing
4. Any damage to county owned rights-of-way to be corrected at the Developer's expense
5. Total area included: 34,338 Acres
6. Total number of lots: 10
7. Existing contours are taken from Proposed Sediment Control Plan prepared by Ridge Consultants, Inc. Sheet 8 of 10.
8. Reference Final Development Plan Phase I, Part II
9. The Contractor or Developer shall contact the Construction Inspection Survey Division 30 days in advance of commencement of work at 992 2417 or 992 2318
10. Maximum Building Coverage is 30% Per lot

LOT #	STREET ADDRESS
68	10974 Shadow Lane
69	10904 Steel Rock Way
70	10908 " " "
71	10913 " " "
72	10909 " " "
73	10905 Steel Rock Way
74	10918 Shadow Lane
75	10922 " " "
76	10926 " " "
77	10930 Shadow Lane

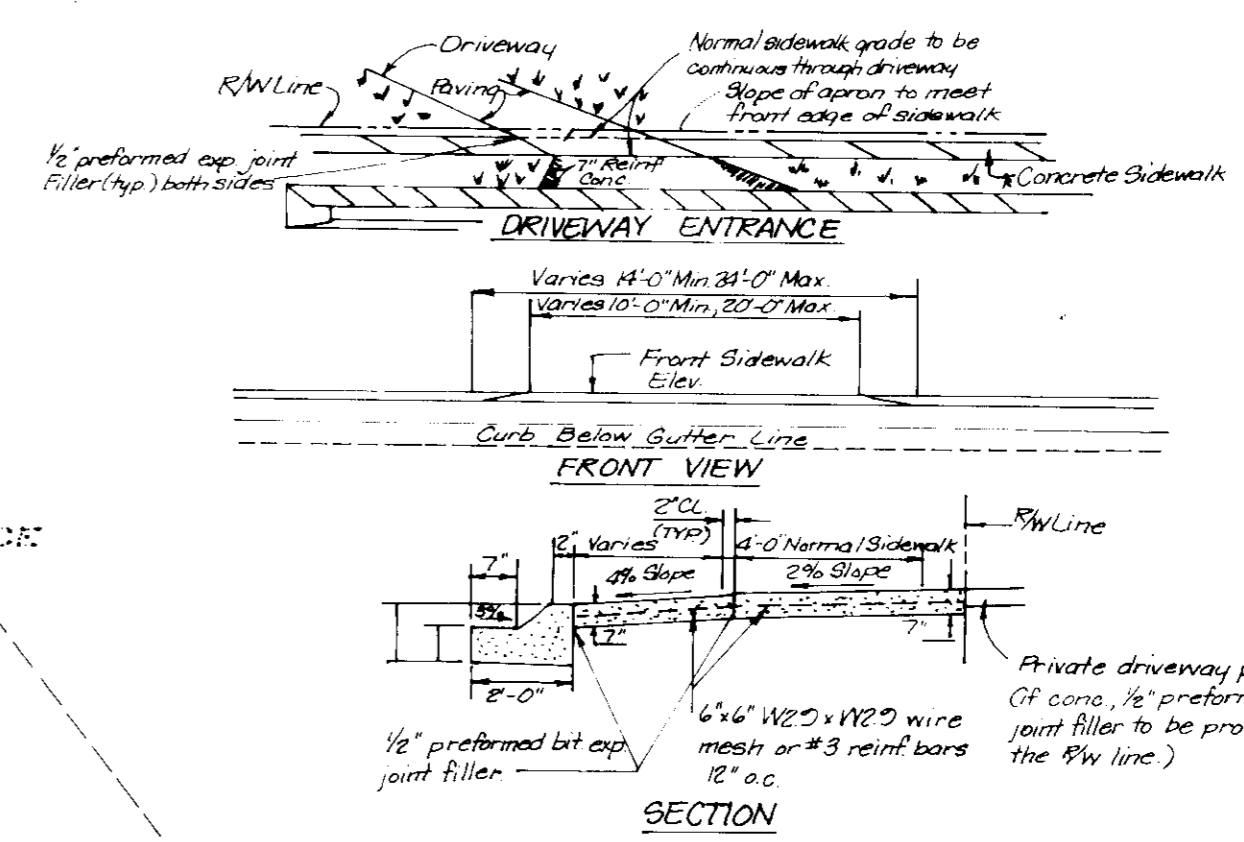


SPECIAL NOTES

1. Approved Road Construction Plans shall be used for all Public Utilities
2. Public Water & Sewer shown for reference only. For more detailed information - See water & sewer plans Contract No. 30-1565-D
3. The water & sewer house connections not included in a "Developer's Agreement" shall conform to Howard Co. Plumbing Code. The on-site WHC shall be copper and the SHC shall be 4" iron
4. Stormwater Management provided for in central facility located in Village of Hickory Ridge F-83-120

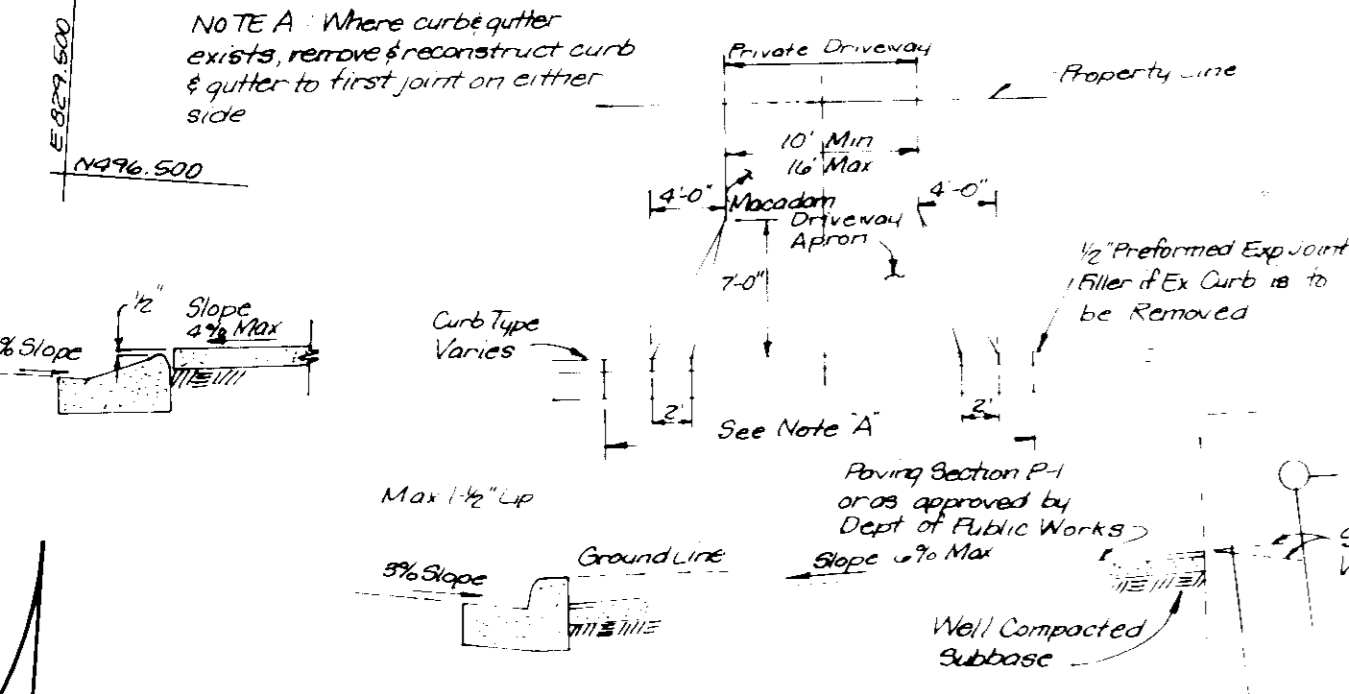
Building Restriction Lines

- Front 20' min
- Rear 7 1/2' min
- Side 7 1/2' min

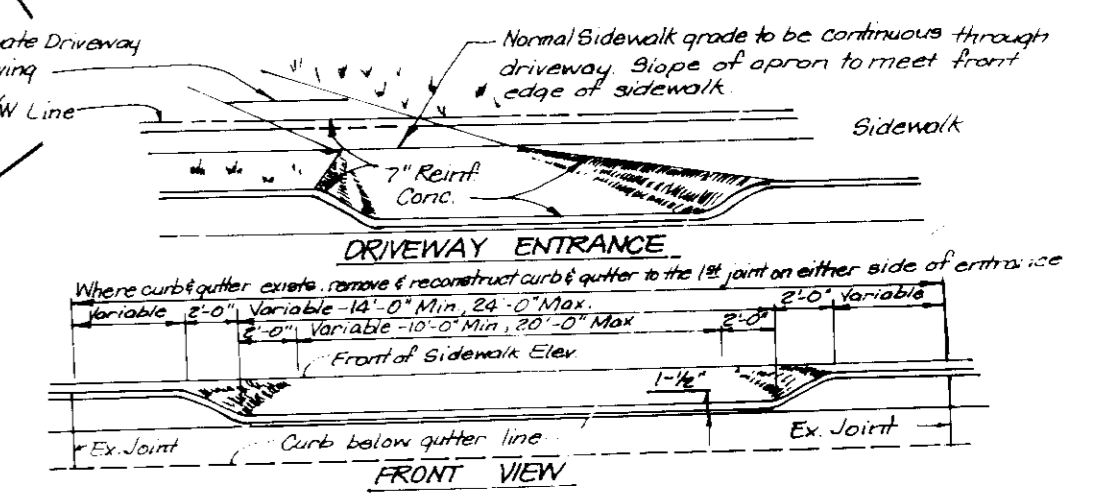


DRIVEWAY ABUTTING CLOSED SECTION WITH MODIFIED COMB. CURB & GUTTER & SIDEWALK

DRIVEWAY ABUTTING CLOSED SECTION WITHOUT CONCRETE SIDEWALK

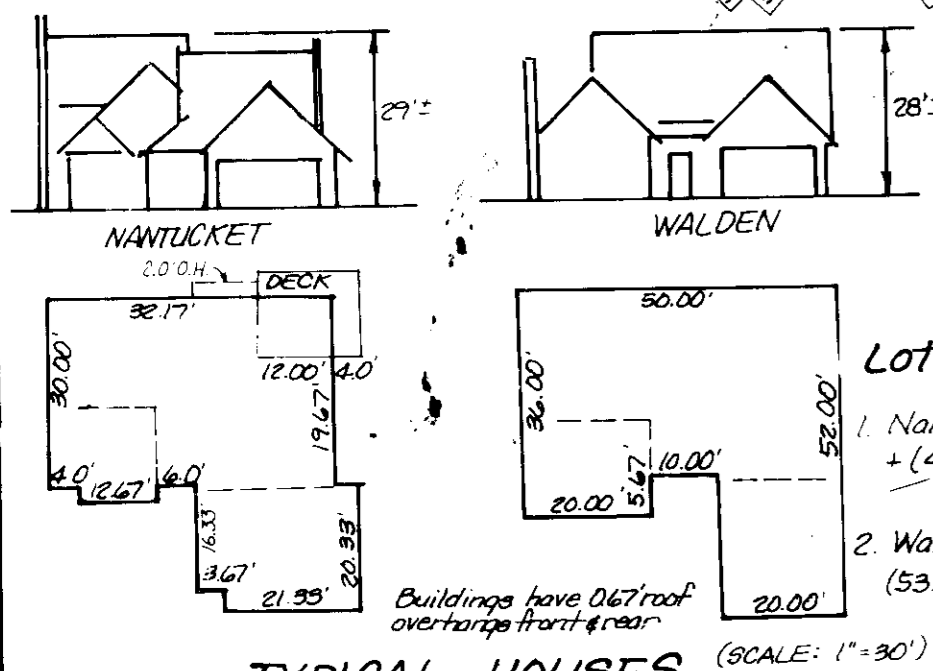


VILLAGE OF HICKORY RIDGE
SECT. 4 - AREA I
PLAT 7068
ZONED NEW TOWN S.F.L.O.



DRIVEWAY ABUTTING CLOSED SECTION WITH STD. 7" COMB. CURB & GUTTER & SIDEWALK SET BACK FROM CURB

Exist. 100 Year Flood Plain, Sewer, Water, Utility, Drainage, & SW Management Access Easmt. Plat 6364



Lot Coverage:

1. Nantucket: $(21.53 \times 44.17) + (25 \times 22) + (43.22 \times 16.33 \times 16) = 2044.6 = 6815\%$
0.3 Min Lot Size
2. Walden: $(37.34 \times 20) + (31.67 \times 10) + (53.34 \times 20) + (56.7 \times 10) = 2187 = 7290\%$
0.3 Min Lot Size

Buildings have 0.67 roof overhang front & rear

Subdivision Name: Columbia Village of Hickory Ridge	Sheet/Area: 4 / 1	Lots: 68-77
Plot #: 7068	Block #: 16/17	Zone: NT S.F.L.O.
Water Code: E-27	Sever Code: 6390000	

CLARK · FINEFROCK & SACKETT
ENGINEERS · PLANNERS · SURVEYORS
7155 MINSTREL WAY · COLUMBIA, MARYLAND 21045

SITE DEVELOPMENT PLAN
LOTS 68 - 77
COLUMBIA VILLAGE OF HICKORY RIDGE
SECT. 4 - AREA I
5TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

OWNER/DEVELOPER: Howard Research & Development Land Co. 10275 Little Patuxent Parkway Columbia, Maryland 21044

DATE: March 11 1987

FILE NO. 86-187-X

SDP-87-174.

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

APPROVED: *John W. Donohue* 5-19-87
 COUNTY HEALTH OFFICER DATE

APPROVED: *Howard County Office of Planning and Zoning*
 PLANNING DIRECTOR DATE 5-20-87

APPROVED: *John W. Donohue* 5-20-87
 CHIEF DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

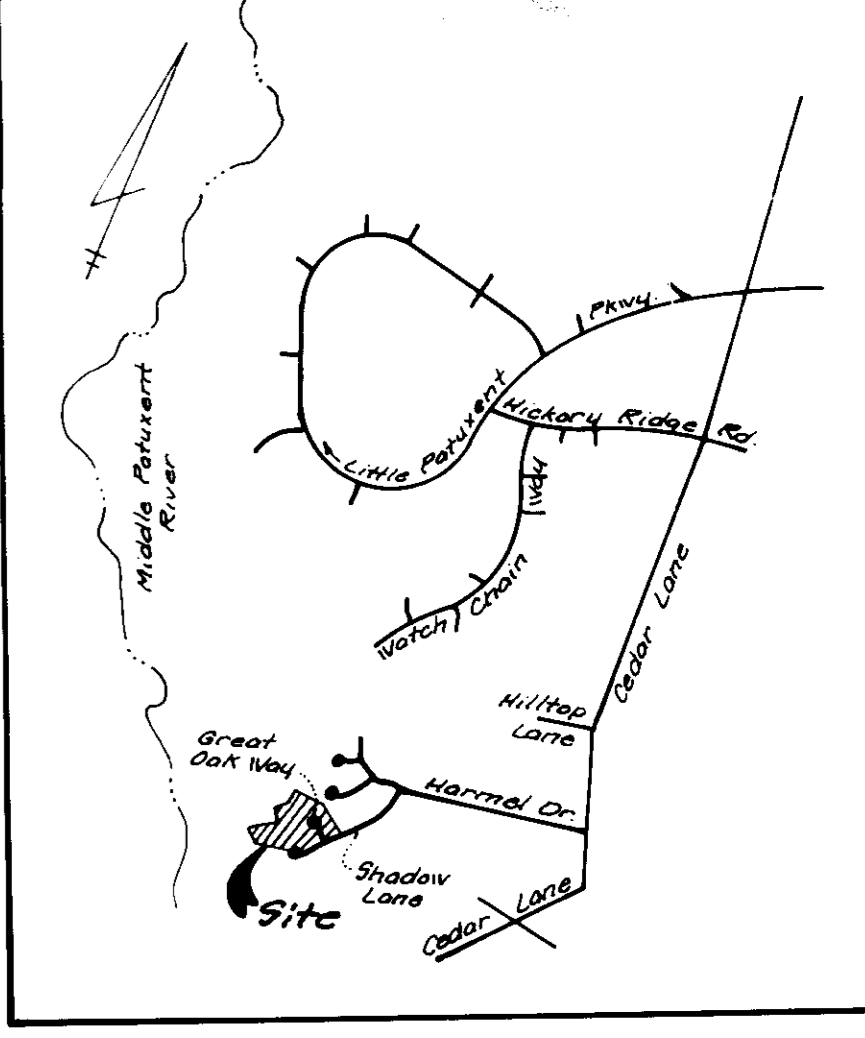
APPROVED: *John W. Donohue* 5-15-87
 DIRECTOR DATE

APPROVED: *John W. Donohue* 5-15-87
 CHIEF BUREAU OF ENGINEERING DATE

- LEGEND**
- 1. Contour Interval 2ft
 - 2. Existing Contour 4.0'
 - 3. Proposed Contour 4.0'
 - 4. Spot Elevation 10.3'
 - 5. Direction of Drainage
 - 6. Walk Out Basement
 - 7. Earth Dike

- GENERAL NOTES:**
- The land included is zoned: New Town S.F.L.D.
 - Coordinates are based upon traverse controls for Columbia established by M&S, Inc. in 1965 and Purdum and Jeschke in 1968 which controls were tied to the Maryland Bureau of Control Survey Monuments and to U.S. Coast and Geodetic Survey Monuments No. C-101 Pts. 2639002 & 2639003
 - All roads are public and existing
 - Any damage to county owned rights-of-way to be corrected at the Developer's expense
 - Total area included: 1.3 Ac.
 - Existing contours are taken from Proposed Sediment Control Plan prepared by Wade Consultants, Inc. Sheet 8 of 10.
 - Reference Final Development Plan Phase I, Part III
 - The Contractor or Developer shall contract the Construction Inspection by Survey Division and have in evidence of commencement of work at 992 2417 or 992 2418
 - Maximum Building Coverage is 30% per lot.

LOT #	STREET ADDRESS
68	
69	
70	
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72	
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77	

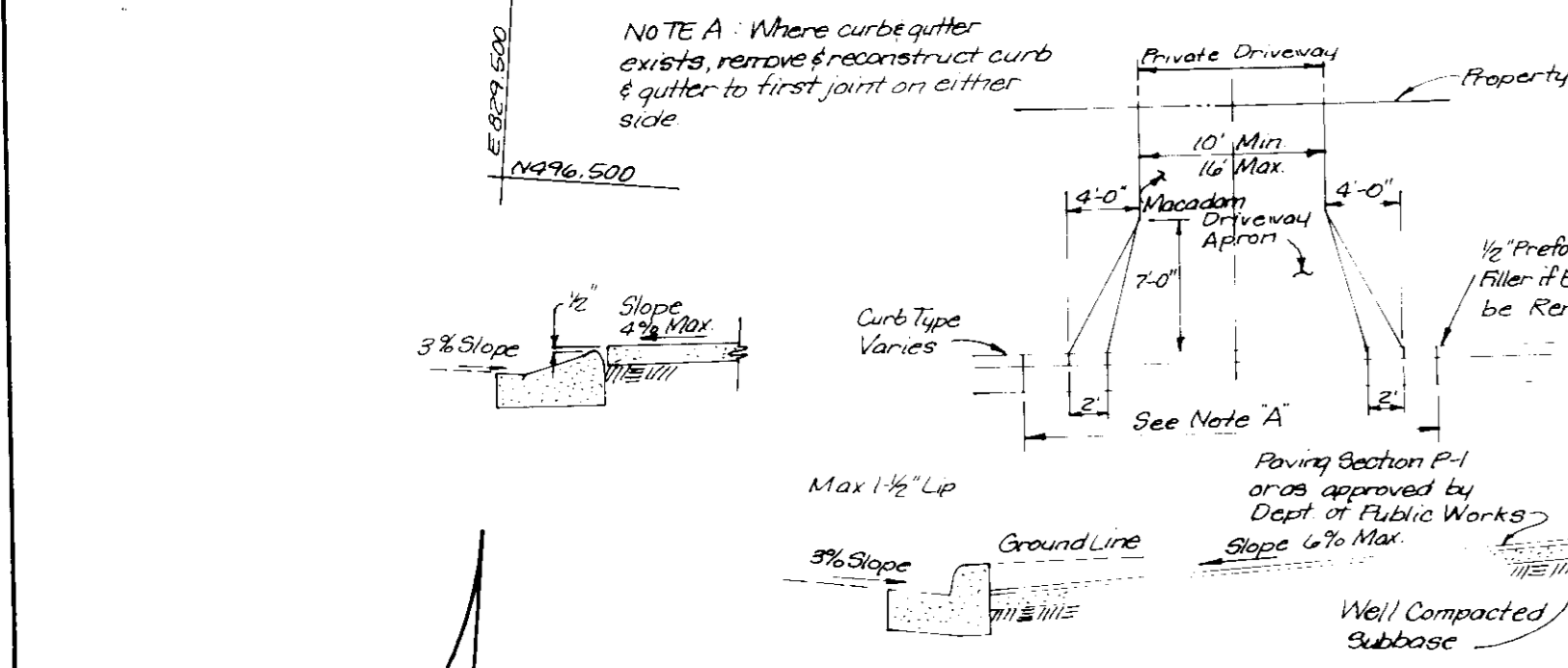


VICINITY MAP
 Scale: 1" = 2000'

Reviewed for: *Howard* S.C.D.
 Name
 and meets Technical Requirements
 Signature
 Date
 U.S. Soil Conservation Service

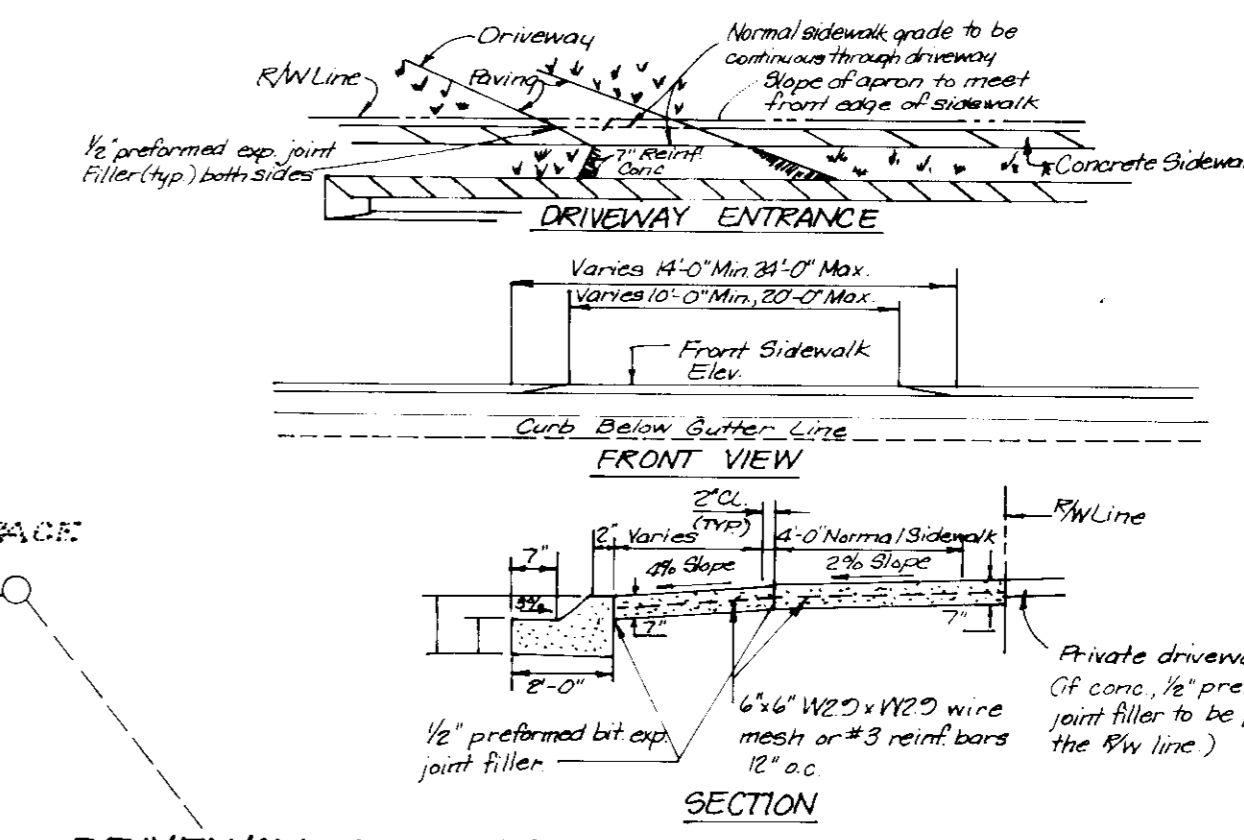
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John F. Donohue 5/13/87
 APPROVED DATE

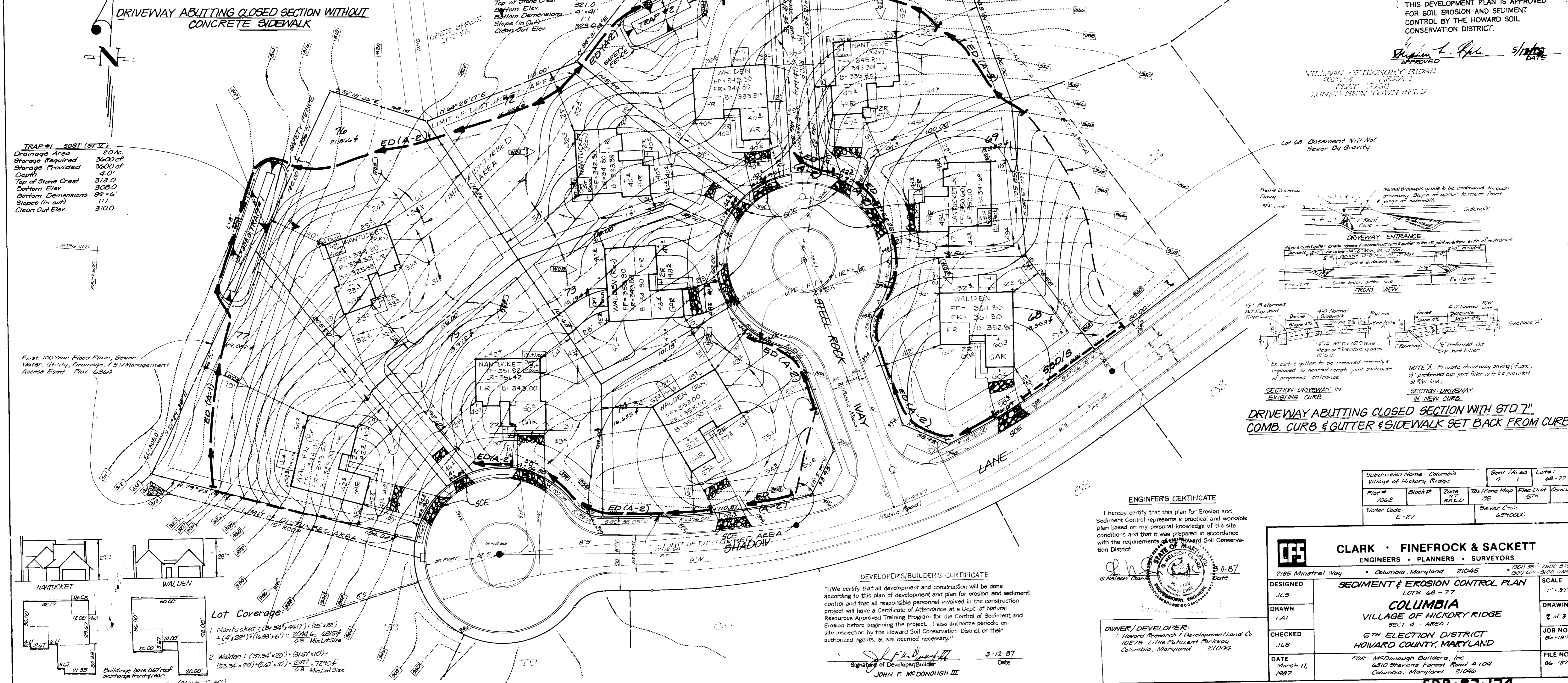


- SPECIAL NOTES**
- Approved Road Construction Plans shall be used for all Public Utilities.
 - Public Water & Sewer shown for reference only. For more detailed information - See water & sewer plans Contract No. 34-1565-D
 - The water & sewer house connections not included in a "Developer's Agreement" shall conform to Howard Co. Plumbing Code. The on-site WVC shall be 1" copper and the SHC shall be 4" iron.
 - Stormwater Management provided for in central facility located in Village of Hickory Ridge F-83-120

Building Restriction Lines
 Front 20' min
 Rear 7 1/2' min
 Side 7 1/2' min



DRIVEWAY ABUTTING CLOSED SECTION WITH MODIFIED COMB. CURB & GUTTER & SIDEWALK



DRIVEWAY ABUTTING CLOSED SECTION WITH STD. 7" COMB. CURB & GUTTER & SIDEWALK SET BACK FROM CURB

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

John F. Donohue 5-11-87
 Date

DEVELOPER'S/BUILDER'S CERTIFICATE

"I do certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Dept. of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

John F. Donohue 3-12-87
 Signature of Developer/Builder Date

Subdivision Name: Columbia Village of Hickory Ridge	Sheet / Area: 2 / 1	Lots: 68-77
Plot #: 7068	Block #: 35	Zone: SFLD
Water Code: E-27	Sewer Code: 6590000	

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 ENGINEERS • PLANNERS • SURVEYORS
 7135 Ministrel Way • Columbia, Maryland 21045

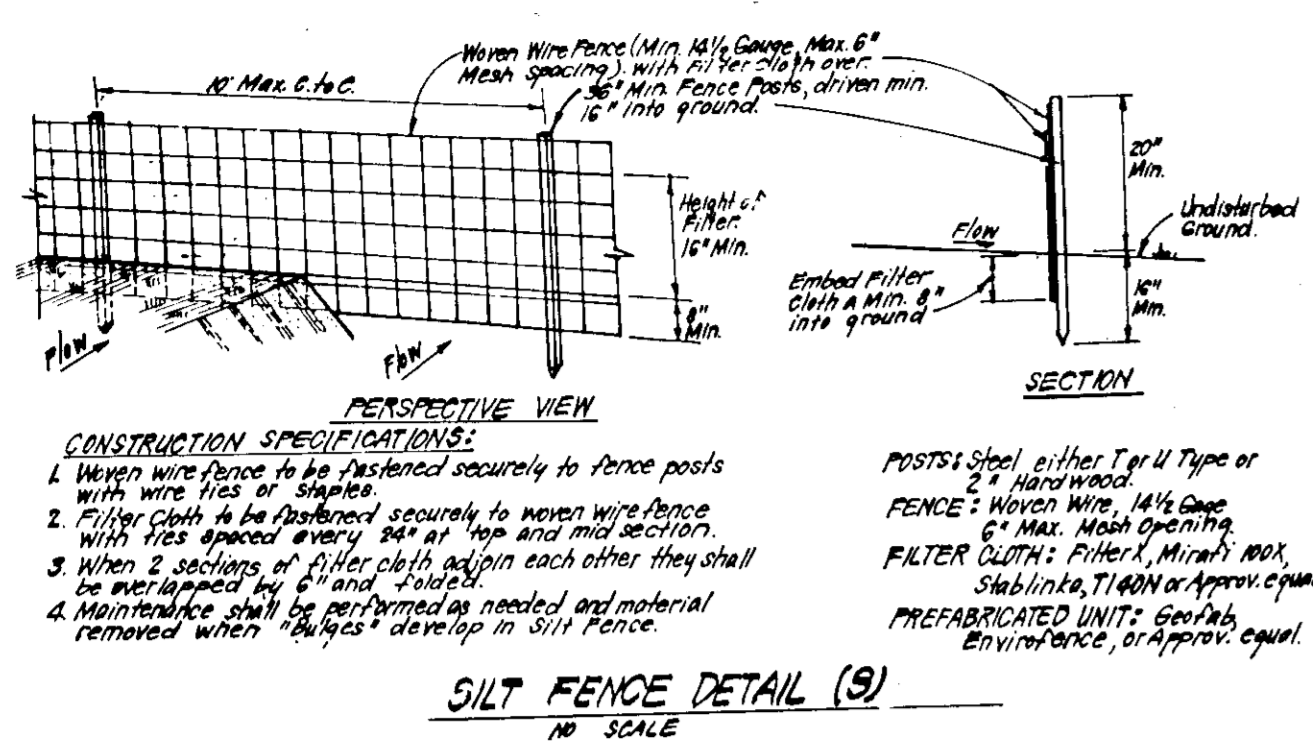
DESIGNED JLS
DRAWN LAI
CHECKED JLS
DATE March 11, 1987

SCALE 1" = 30'
DRAWING 2 of 3
JOB NO. 86-187
FILE NO. 86-187-35

OWNER / DEVELOPER:
 Howard Research & Development Land Co.
 10275 Little Patuxent Parkway
 Columbia, Maryland 21044

FOR: McDonough Builders, Inc.
 6310 Stevens Forest Road # 104
 Columbia, Maryland 21046

SDP-87-174



Reviewed for Howard S.C.D.
Name
and meets Technical Requirements
[Signature]
Signature Date
U.S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] DATE

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Dept. of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

[Signature] 3-12-87 Date
Signature of Developer/Builder
JOHN F. McDONOUGH III

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
DATE 5-19-87

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
DATE 3-20-87

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DATE 5-15-87

DATE 5-15-87

APPROVED: DIVISION OF LAND DEVELOPMENT AND ZONING, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DATE 4-13-87

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding.

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:

- Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disk into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft).
- Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disk into upper three inches of soil.

Seeding: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.

Maintenance: Inspect all seeded areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

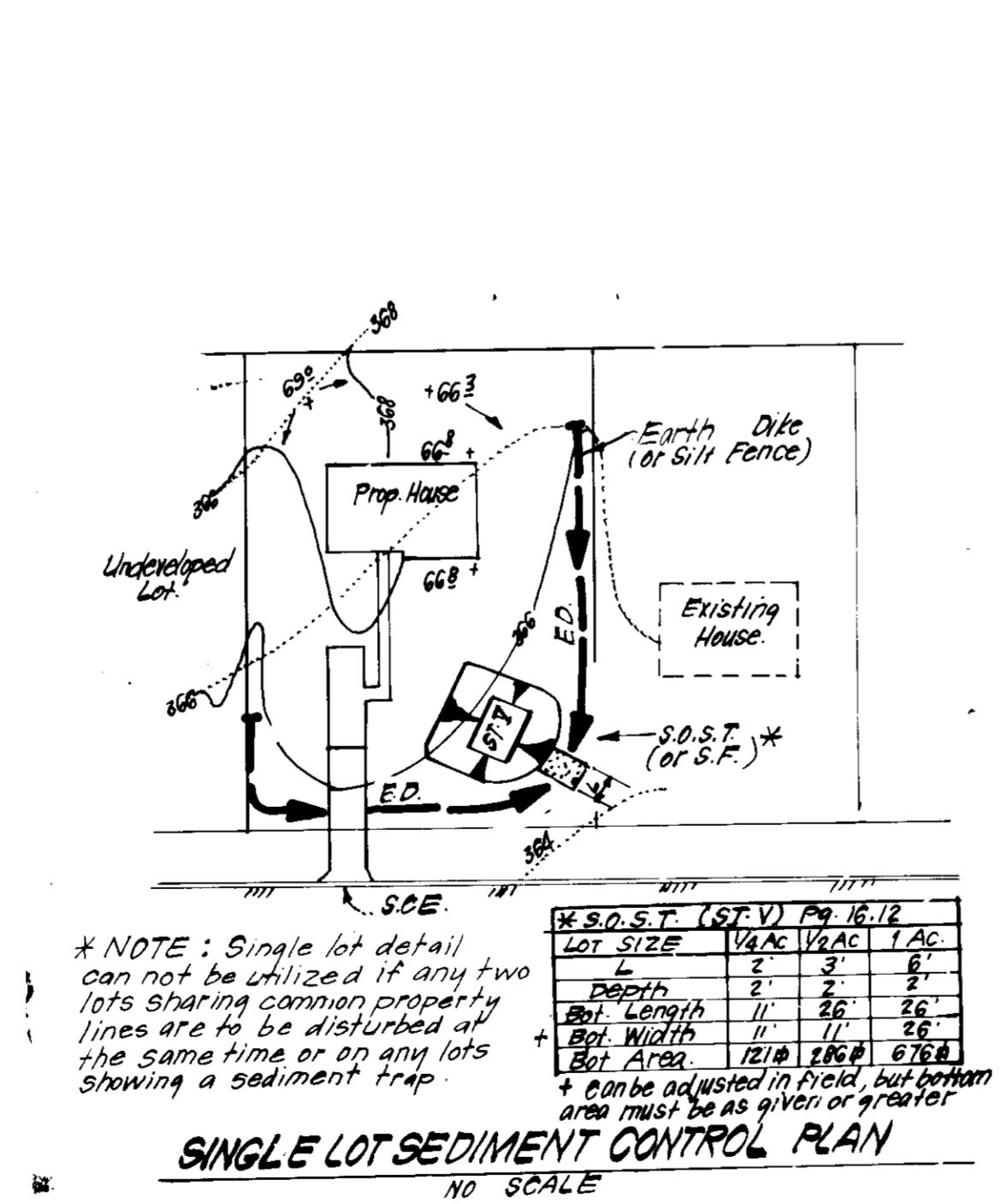
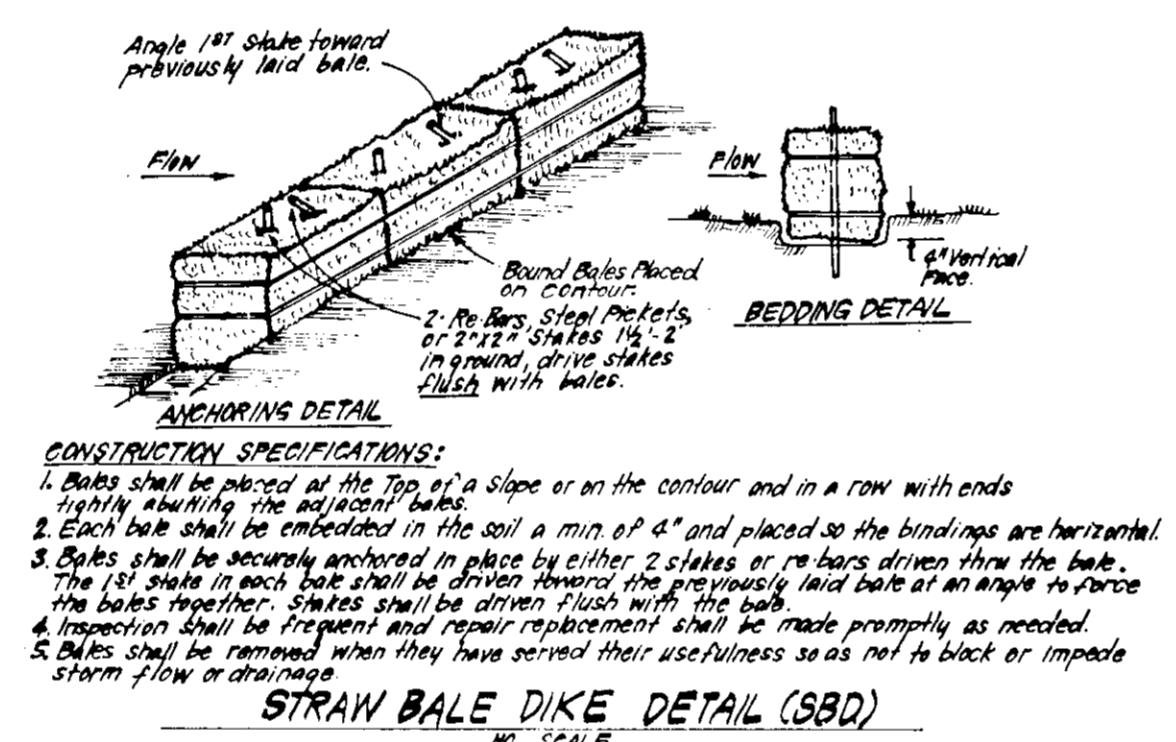
Seedbed Preparation: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding.

Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft)

Seeding: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 24 bushel per acre of annual ryegrass (3.2 lbs/1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (.07 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

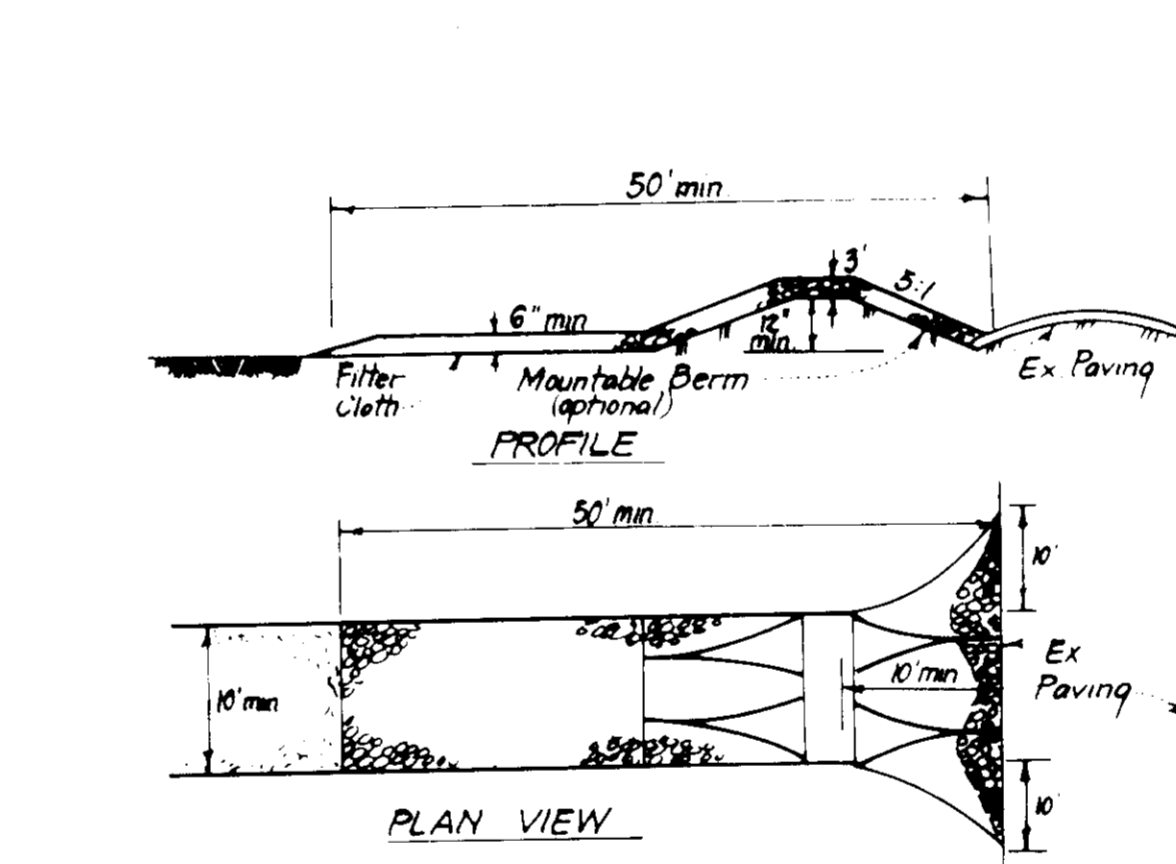
Mulching: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes, 8 ft or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.

Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.



SEDIMENT CONTROL NOTES

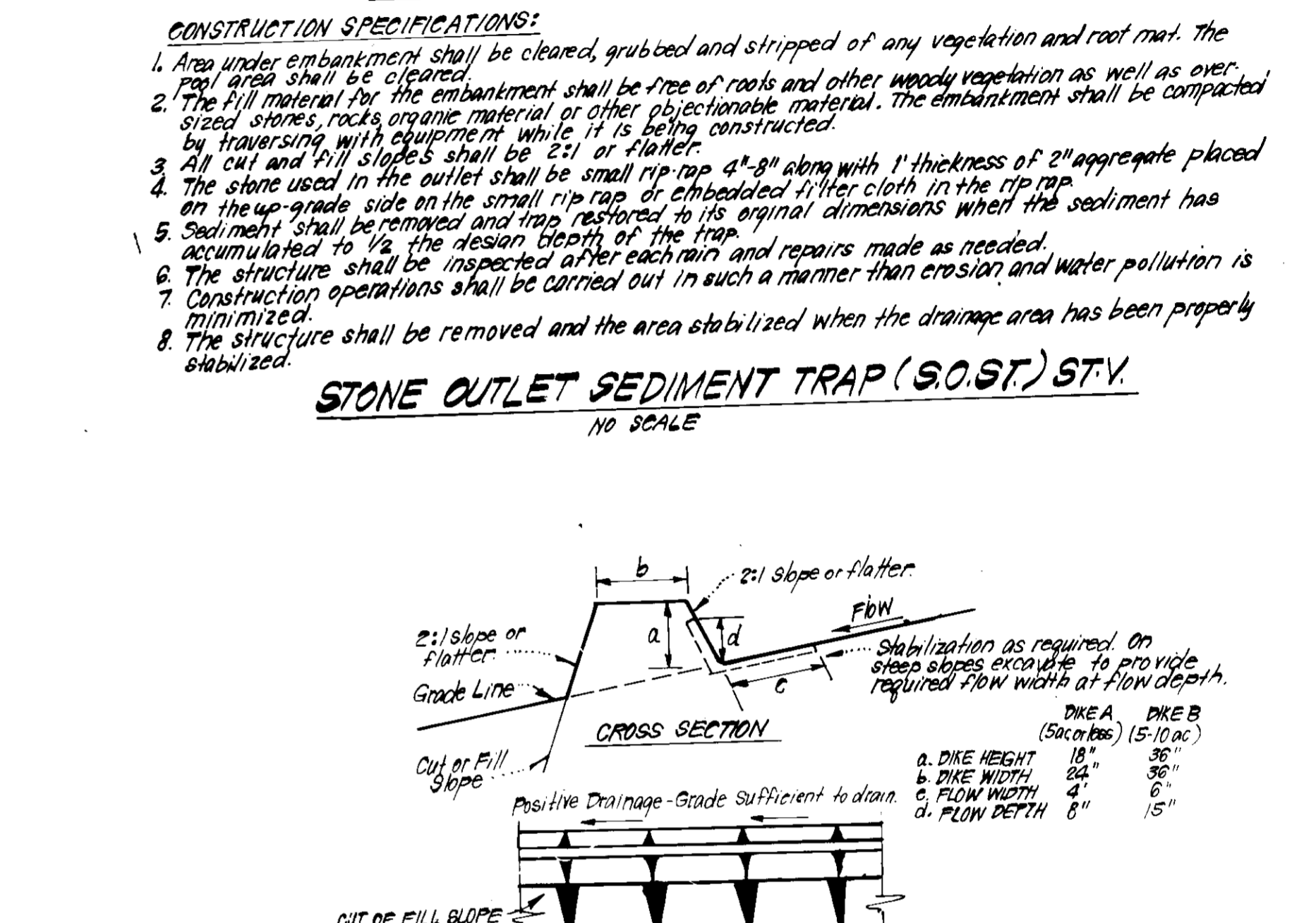
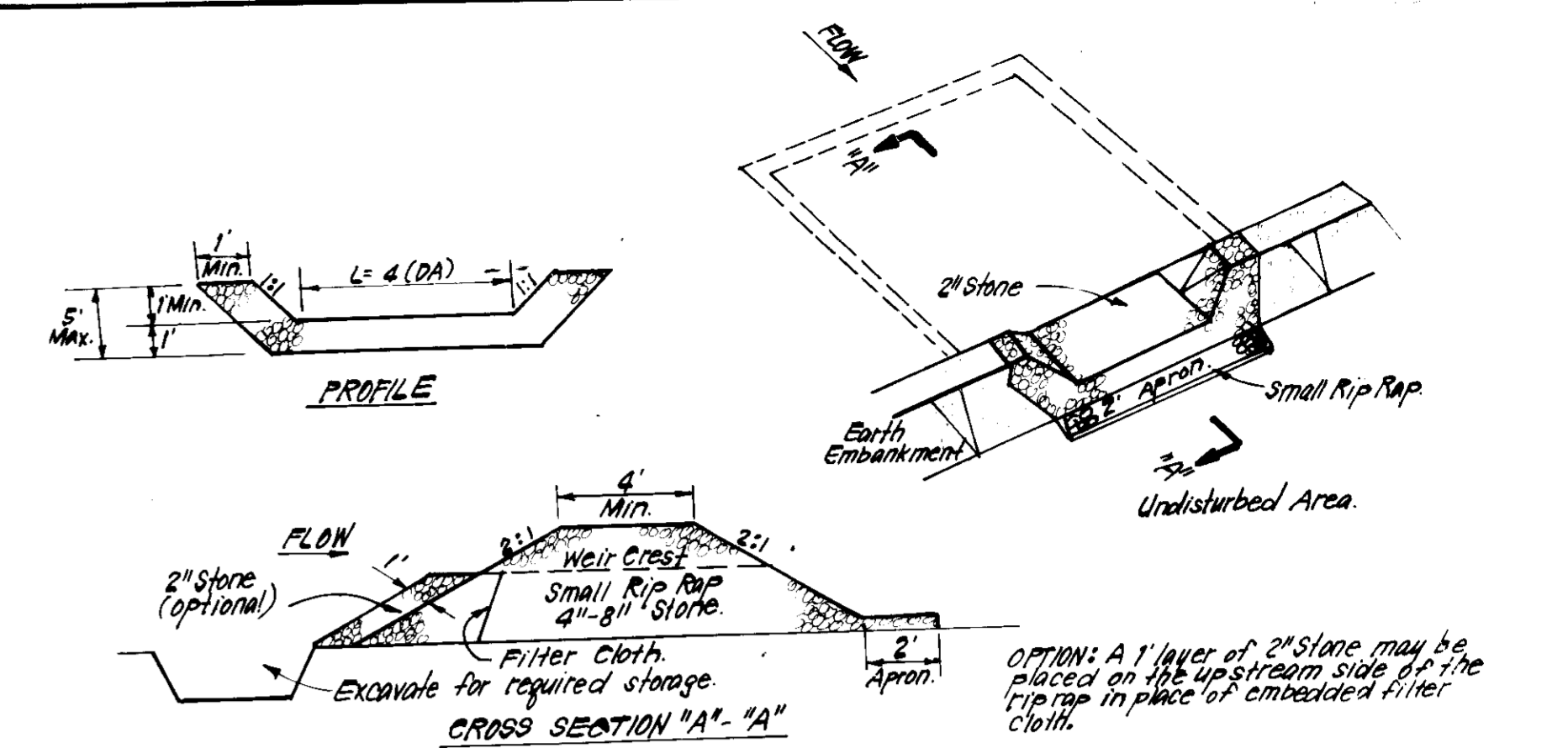
- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (992-2437)
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter slopes and all control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 51) sod (Sec. 54), temporary seeding (Sec. 50) and mulch (Sec. 52). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:
Total Area of Site 3.434 Acres
Area Disturbed 3.104 Acres
Area to be roofed or paved 0.742 Acres
Area to be vegetatively stabilized 2.362 Acres
Total Cut Cu. yds
Total Fill Cu. yds
Offsite waste/borrow area location N/A
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County DFW sediment control inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- If houses are to be constructed on an "As-Built" basis, at random, Single Lot Sediment Control as shown below shall be implemented.
- All pipes to be blocked at the end of each day (see detail below). N/A
- The total amount of straw bale dikes/silt fence equals 85 L.F.



ENGINEER'S CERTIFICATE

I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

[Signature] 3-11-87 Date
G. Nelson Clark



CONSTRUCTION SEQUENCE:

Activity	No. of Days
A. Obtain Grading Permit and Install Sediment and Erosion Control Devices and Stabilize.	5
B. Excavate for foundations and Rough Grade & temporarily stabilize.	30
C. Construct Structures, Sidewalks and Driveways.	180
D. Final Grade and stabilize in accordance with Stds. & Specs.	30
E. Upon approval of the sediment control inspector, remove sediment and erosion controls and stabilize.	14

CLARK • FINEFROCK & SACKETT
ENGINEERS • PLANNERS • SURVEYORS

7195 MINTZEL WAY • COLUMBIA MARYLAND 21046 (301) 581-7600 FAX (301) 581-8120 WASH.

DESIGNED: JLS
DRAWN: LAI
CHECKED: JLS
DATE: March 11, 1987

SEDIMENT & EROSION CONTROL PLAN
NOTES & DETAILS
COLUMBIA
VILLAGE OF HICKORY RIDGE
SECT. 4 AREA 1
5TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

SCALE: N/A
DRAWING: 3 of 3
JOB NO.: 86-157
FILE NO.: 36-175E

FOR: McDough Builders, Inc.
637 Stevens Forest Road #102
Columbia Maryland 21046

SDP-87-174.