

ADDRESS CHART		SUBDIVISION NAME		SECT./AREA		LOT/PARCEL	
LOT NUMBER	STREET ADDRESS	DORSEY BUSINESS CENTER		SECTION I		K	
"K"	6835 DEERPATH ROAD	PLAT NO. OR L/F/BLOCK NO.	ZONE	TAX/ZONE MAP	ELEC. DIST.	CENSUS TR.	
		6917	6	M-2	43	1	6012
		WATER CODE		SEWER CODE			
		801		228-0000			

APPROVED  
DIVISION OF LAND DEVELOPMENT &  
ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE 3-24-87  
ms / JTD

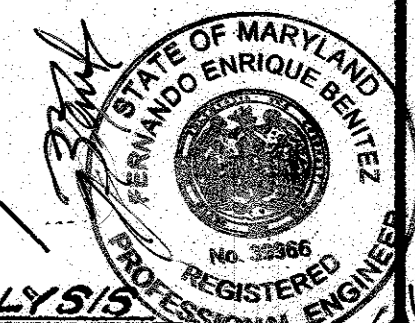
**NOTE:**  
THE OWNER SHALL PROVIDE A SEPARATE AND INDEPENDENT SEWER CONNECTION FOR EACH TENANT OR OCCUPANT OF ANY BUILDING SHOWN ON THIS SITE DEVELOPMENT PLAN WHO WILL DISCHARGE NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM IF THIS WASTE IS REGULATED UNDER SECT. 18.122A OF THE HOWARD CO. CODE. EACH SEPARATE AND INDEPENDENT SEWER CONNECTION SHALL INCLUDE A STANDARD MANHOLE AND OTHER WASTE PRETREATMENT DEVICES AS REQ'D. AND APPROVED BY HOWARD COUNTY. WASTE LINES ON THE INTERIOR OF THE BUILDING SHALL BE DESIGNED, CONSTRUCTED OR MODIFIED SUCH THAT NON-DOMESTIC WASTE WILL BE DISCHARGED TO THE SEPARATE AND INDEPENDENT SEWER CONNECTION. NO TENANT OR OCCUPANT OF ANY BUILDING SHOWN ON THIS SITE DEVELOPMENT PLAN SHALL DISCHARGE REGULATED NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM PRIOR TO INSTALLATION OF THE SEPARATE AND INDEPENDENT SEWER CONNECTION AND RELATED INTERIOR WASTE LINES. THE ABOVE REQUIREMENTS SHALL APPLY TO ALL INITIAL AND FUTURE OCCUPANTS OR TENANTS.

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS & PUBLIC ROADS  
HOWARD COUNTY DEPT. OF PUBLIC WORKS  
5-18-87  
DATE  
5-18-87  
DATE  
5-18-87  
DATE  
5-18-87  
DATE

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT  
5/11/87  
DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING  
5-28-87  
DATE  
5-28-87  
DATE

REV. 3 BY STATEC, 20440 CENTURY BLVD  
GERMANTOWN MD 301.444.8282  
SEAL ONLY APPLIES TO REV 3  
ON THIS SHEET



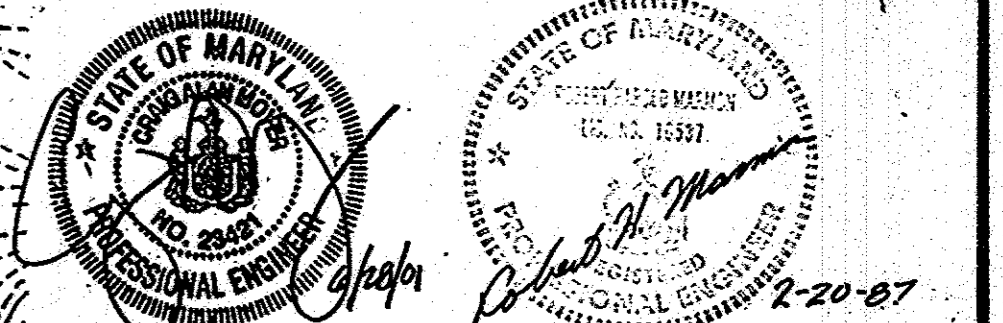
**SITE ANALYSIS**

AREA OF PARCEL: 7.11069 AC.  
ZONING: M-2  
FLOOR SPACE OFFICE: 62,000 S.F.  
MAXIMUM NUMBER OF EMPLOYEES: 287  
PHASE I: 194  
PHASE II: 93  
PARKING REQ'D: 201  
(7/10 EMPLOYEES, INCLUDING HANDICAP)  
PARKING PROVIDED: 257  
STANDARD: 250  
HANDICAP: 7  
PARKING LOT AREA: 69,750 (29%)  
LANDSCAPED ISLAND AREA: 16,364 (52%)  
OPEN SPACE: 14,170 (45.8%)  
BUILDING COVERAGE: 93,630 (19.9%)

**LEGEND:**

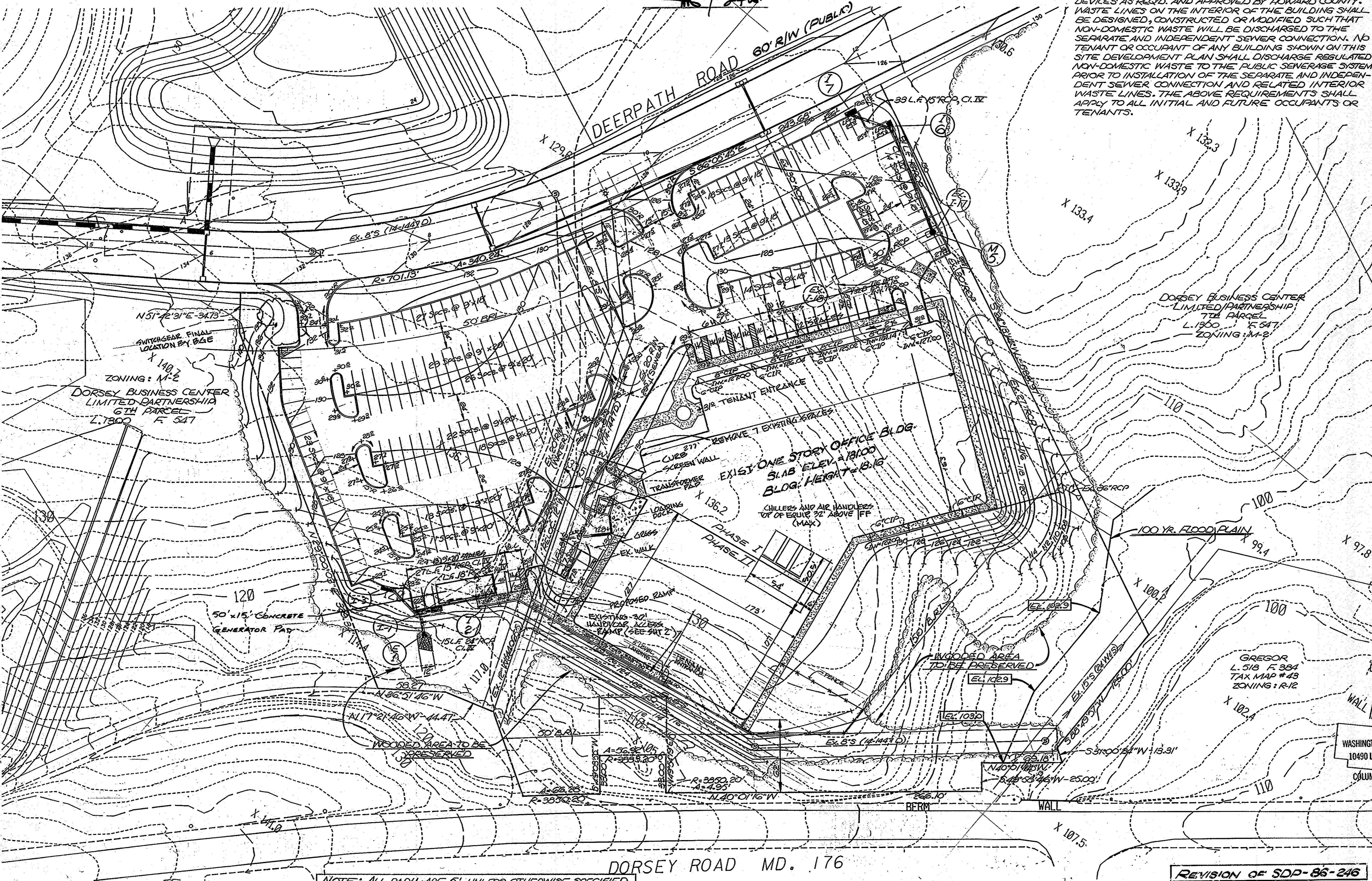
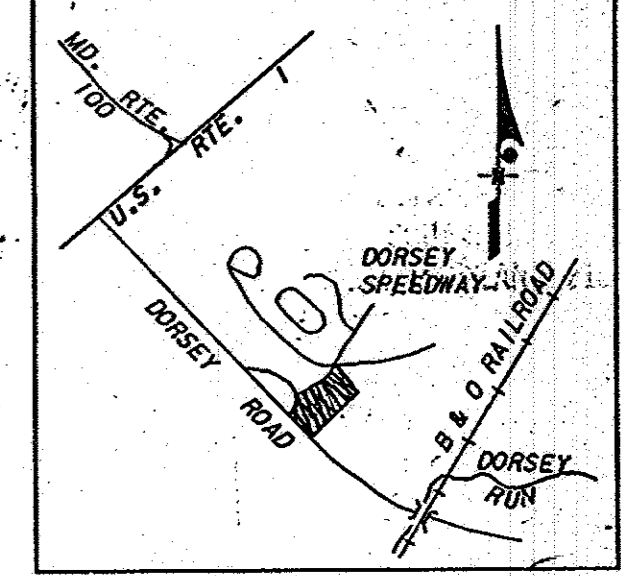
100 YR. FLOOD PLAIN  
100 YR. FLOOD PLAIN ELEV.

**NOTE:** 1. ALL ROADS & PARKING ARE PRIVATE  
2. BUILDING AREA, COVERAGE PERCENTAGE AND MAXIMUM NUMBER OF EMPLOYEES PER PHASE I AND PHASE II.



GREGOR L. 518 F. 384  
TAX MAP #43  
ZONING: R-12

WASHINGTON GROUP INTERNATIONAL  
10490 LITTLE PATUXENT PARKWAY  
SUITE 300  
COLUMBIA, MARYLAND 21044



NOTE: ALL RADII ARE 5', UNLESS OTHERWISE SPECIFIED.

REVISION OF SDP-86-246

DORSEY BUSINESS CENTER LIMITED PARTNERSHIP  
7223 PARKWAY DRIVE  
HANOVER, MARYLAND 21076

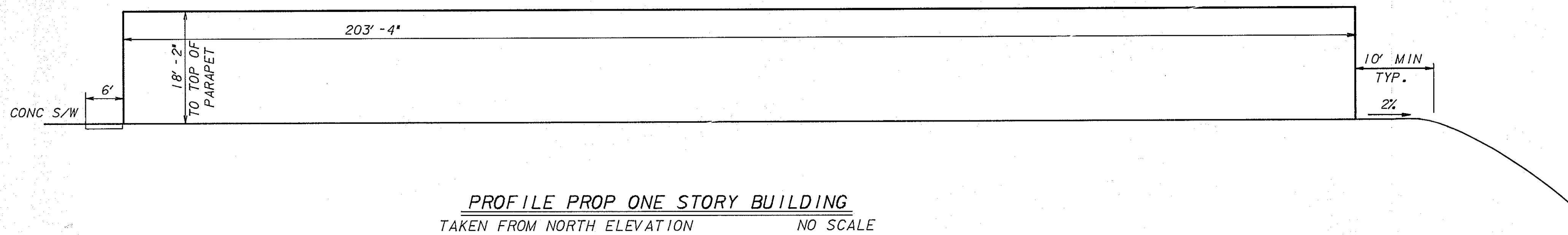
No.	REVISION	DATE	BY
1.	ADDED PROPOSED LANDSCAPE DRY OFF AREA, OUTDOOR PARK AREA & REVISED GRADES & DRIVEWAY DIMENSIONS	2/19/80	LLH
2.	ADDED MECHANICAL EQUIPMENT, TRANSFORMERS, LOADING DOCK RAMP, HANDSILS	2/19/81	CSM
3.	ADDED CONCRETE GENERATOR PAD	5/1/87	KAL



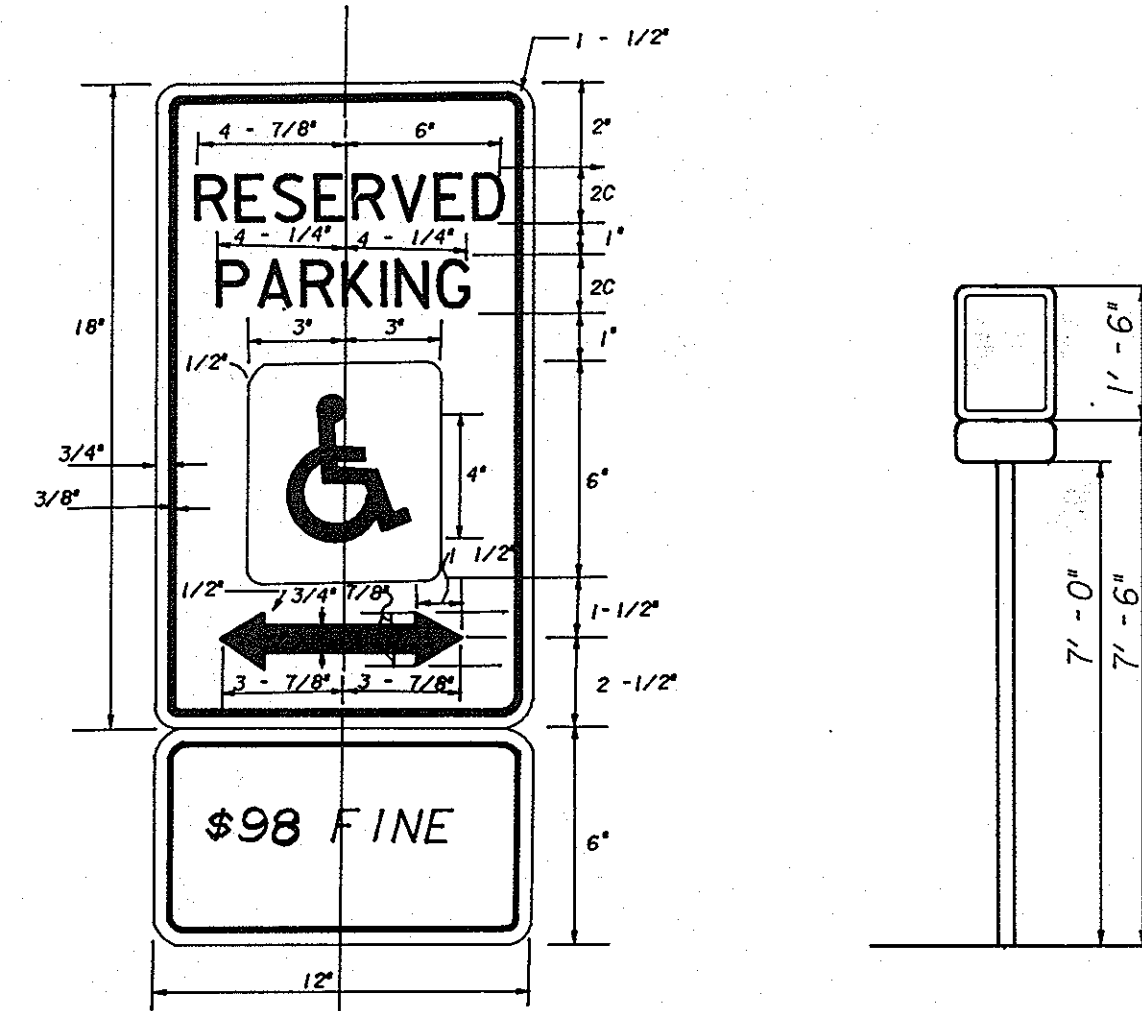
ENGINEERS • ARCHITECTS • PLANNERS • SCIENTISTS • SURVEYORS • PHOTOGRAMMETRISTS  
**GREENHORNE & O'MARA, INC.**  
2 RESEARCH PLACE, ROCKVILLE, MARYLAND 20850  
(301) 948-0900  
ANNAPOLIS, MD • ATLANTA, GA • BECKLEY, WV • CULPEPER, VA • DENVER, CO • EXPORT, PA • FAIRFAX, VA  
GREENBELT, MD • MONROE, MI • RALEIGH, NC • TAMPA, FL • WILLISTON PARK, NY

**SITE DEVELOPMENT PLAN**  
**DORSEY BUSINESS CENTER**  
SECTION ONE  
PARCEL "K"  
L.1300 F.547  
FIRST ELECTION DISTRICT  
- HOWARD CO., MARYLAND

KK DESIGN	SCALE	1" = 40'
JDD/CDD DRAWN		1 OF 8
RHM CHECKED	SHEET	
FEB., '87 DATE	JOB No.	K-327-X
	FILE No.	SDP-87-161



PROFILE PROP ONE STORY BUILDING  
TAKEN FROM NORTH ELEVATION NO SCALE



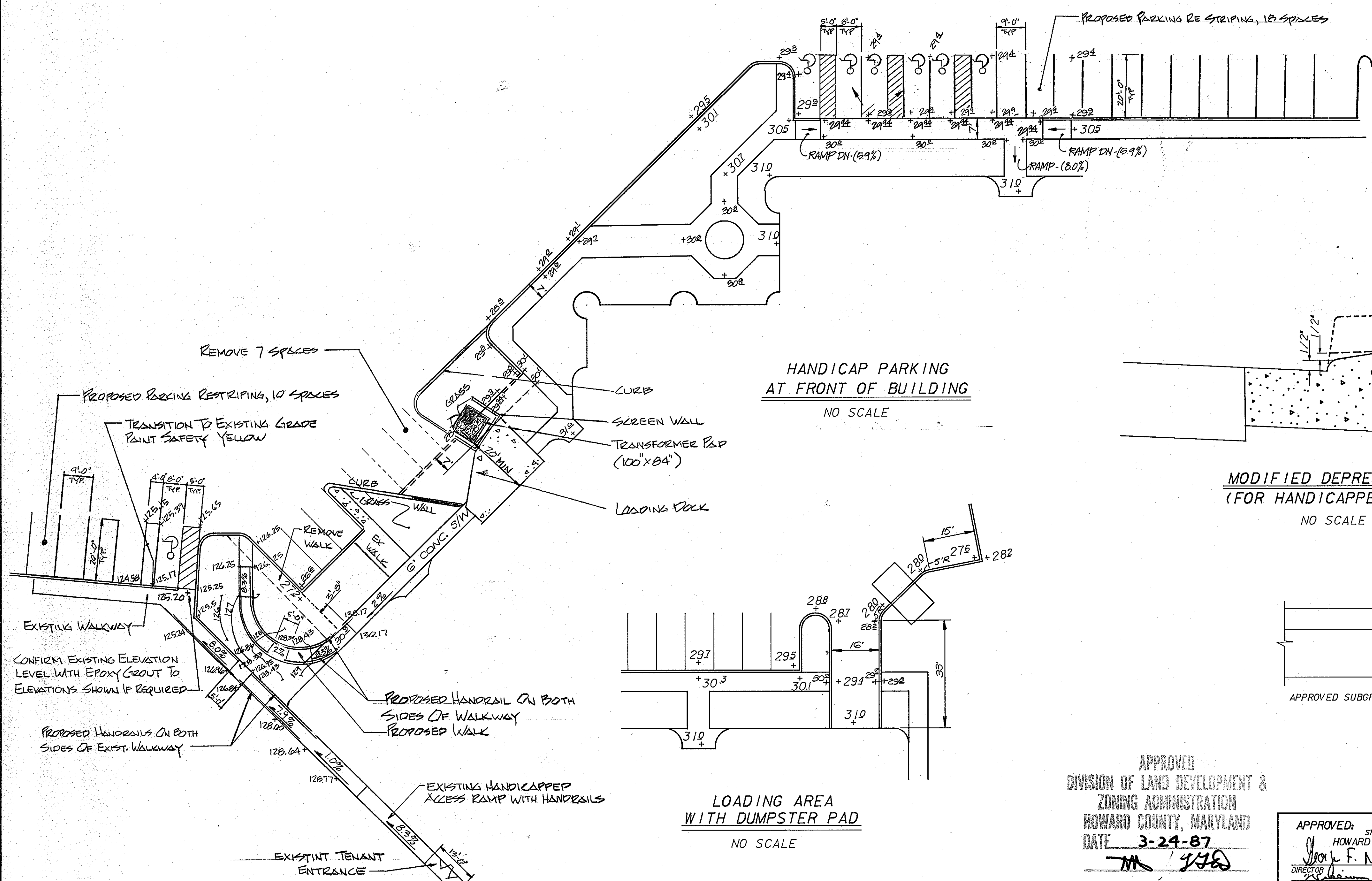
HANDICAPPED PARKING SIGN

- ALL REFERENCED MATERIAL WAS TAKEN FROM STATE OF MARYLAND STANDARD HIGHWAY SIGNS BOOKLET P.O. BOX 717 707 NORTH CALVERT ST. BALTIMORE, MD. 21203
- STANDARD COLORS  
LEGEND & BORDER - GREEN  
WHITE SYMBOL ON BLUE BACKGROUND  
BACKGROUND WHITE
- ONE SIGN IS REQUIRED FOR EACH PARKING SPACE.
- \*RESERVED PARKING\* SIGN SETS INCLUDE A 12" X 18" RESERVED PARKING SIGN WITH A 12" X 6" SUPPLEMENTAL SIGN DESIGNATING THE FINE BELOW IT. THE ADDITIONAL SIGN INTENDED TO RESERVE THE PARKING SPACE ONLY FOR PERSONS WITH AN OFFICIAL PERMIT OR HANDICAP PLATE SHOULD BE NO LOWER THAN 7'-0".
- NORMAL MOUNTING OF SIGN(S) OR SET(S) OF SIGNS SHALL BE ON A STEEL POST PLACED IN THE GROUND ADJACENT TO THE PARKING SPACE. THE BOTTOM OF THE SIGN OR SET SHALL BE SEVEN FEET SIX INCHES ABOVE THE GRADE IN THE PARKING SPACE. THE SUPPLEMENTAL SIGN SHOULD BE NO LOWER THAN 7'-0".
- NORMAL MOUNTING OF SIGN(S) OR SET(S) OF SIGNS SHALL BE ON A STEEL POST PLACED IN THE GROUND ADJACENT TO THE PARKING SPACE.

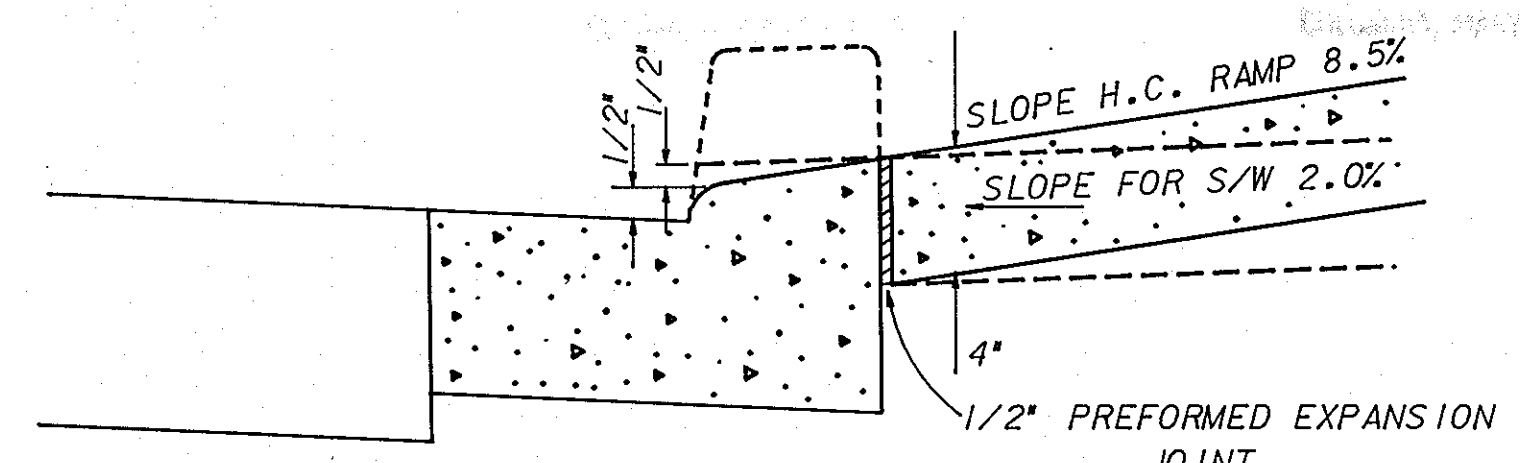


CRAG A. MOORE'S SEAL ONLY  
APPROVED WORK SHOWN FOR  
REVISION 1 ON THIS SHEET

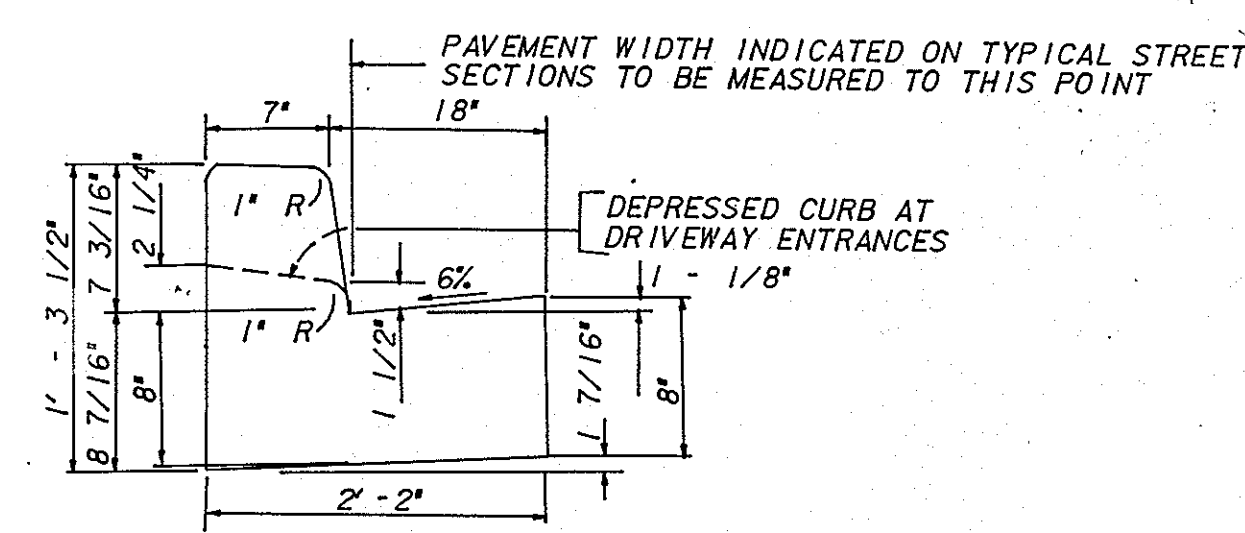
WASHINGTON GROUP INTERNATIONAL  
13400 LITTLE PATENT PARKWAY  
SUITE 300  
COLUMBIA, MARYLAND 21044



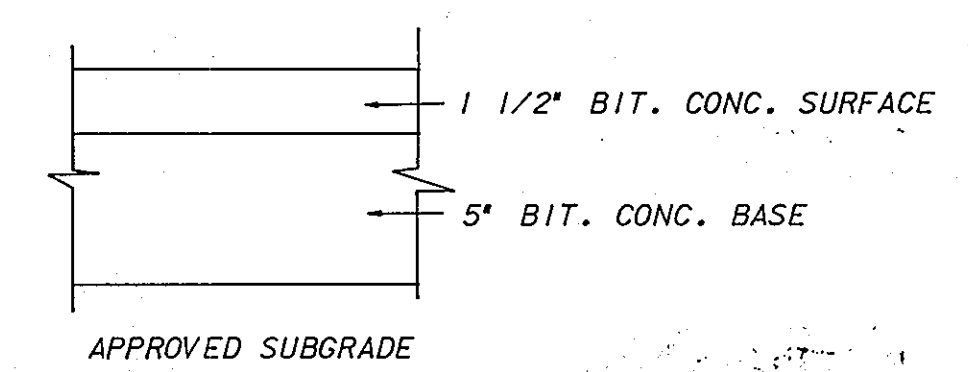
HANDICAP PARKING  
AT FRONT OF BUILDING  
NO SCALE



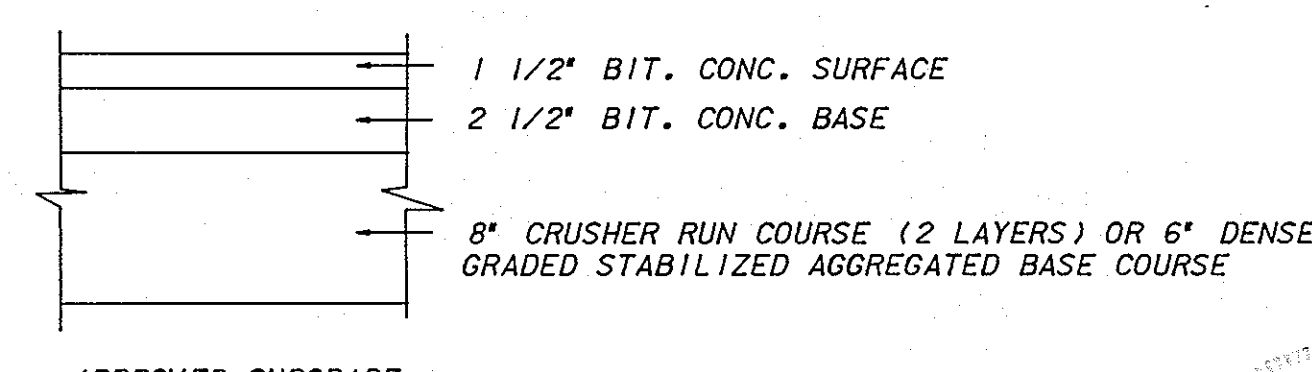
MODIFIED DEPRESSED CURB  
(FOR HANDICAPPED ACCESS)  
NO SCALE



STD. 7" COMB CONC. CURB & GUTTER  
HO. CO. STD. SPECS. R. 3.01 (NOT TO SCALE)



APPROVED SUBGRADE



APPROVED SUBGRADE

PAVING SECTION - P-2  
NOT TO SCALE

REVISION OF SDP-86-246

APPROVED  
DIVISION OF LAND DEVELOPMENT &  
ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE 3-24-87

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS & PUBLIC ROADS  
HOWARD COUNTY DEPT. OF PUBLIC WORKS  
DIRECTOR: J. F. NEUMAN  
CHIEF, BUREAU OF ENGINEERING: [Signature]

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT  
[Signature]  
COUNTY HEALTH OFFICER: [Signature]

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING  
PLANNING DIRECTOR: [Signature]  
ACTING CHIEF, DIV. OF LAND DEVELOPMENT & ZONING ADMIN.: [Signature]

OWNER:  
DORSEY BUSINESS CENTER LTD. PARTNERSHIP  
7228 PARKWAY DRIVE  
HANOVER, MARYLAND  
PH: (301)796-4446

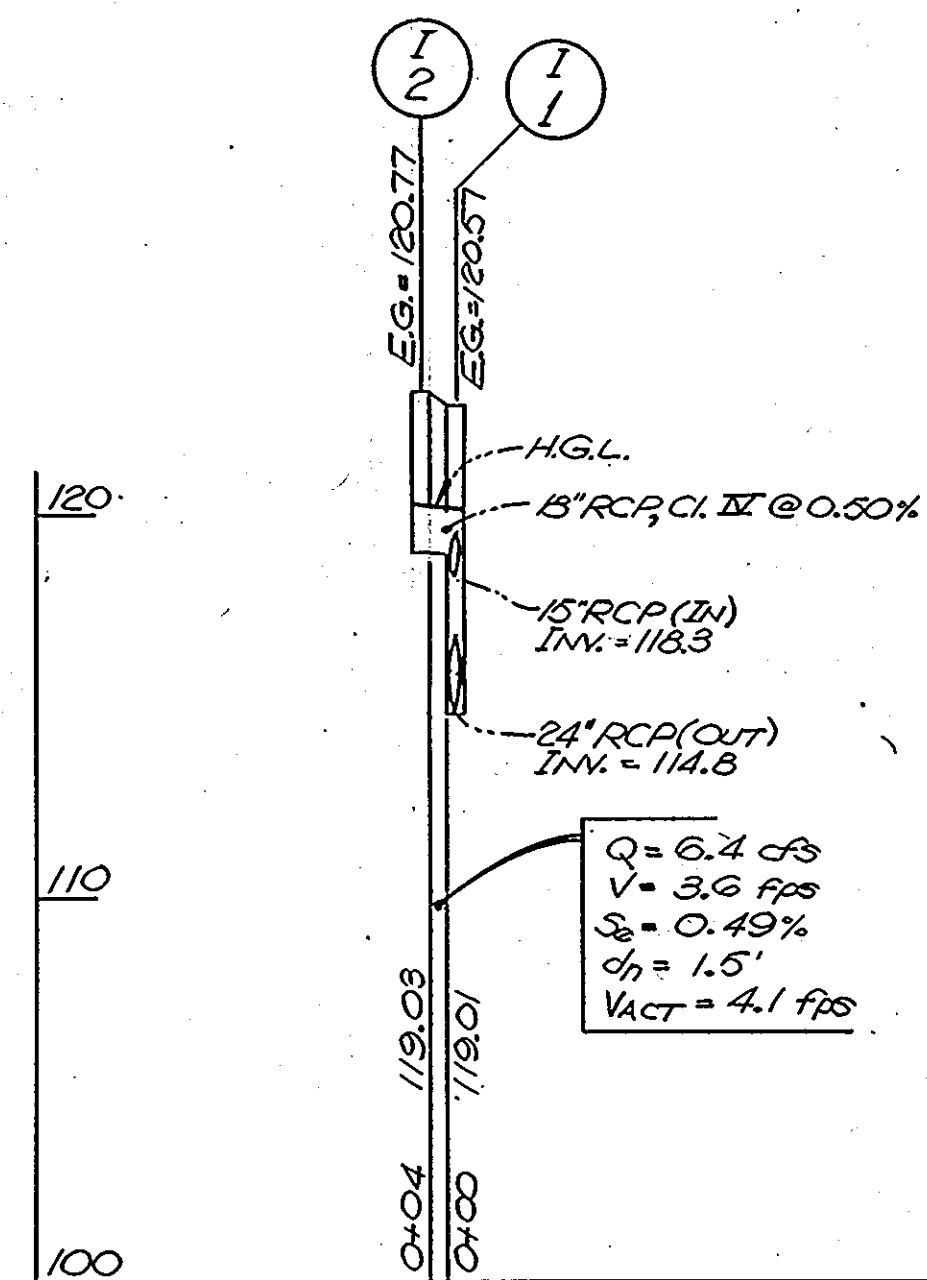
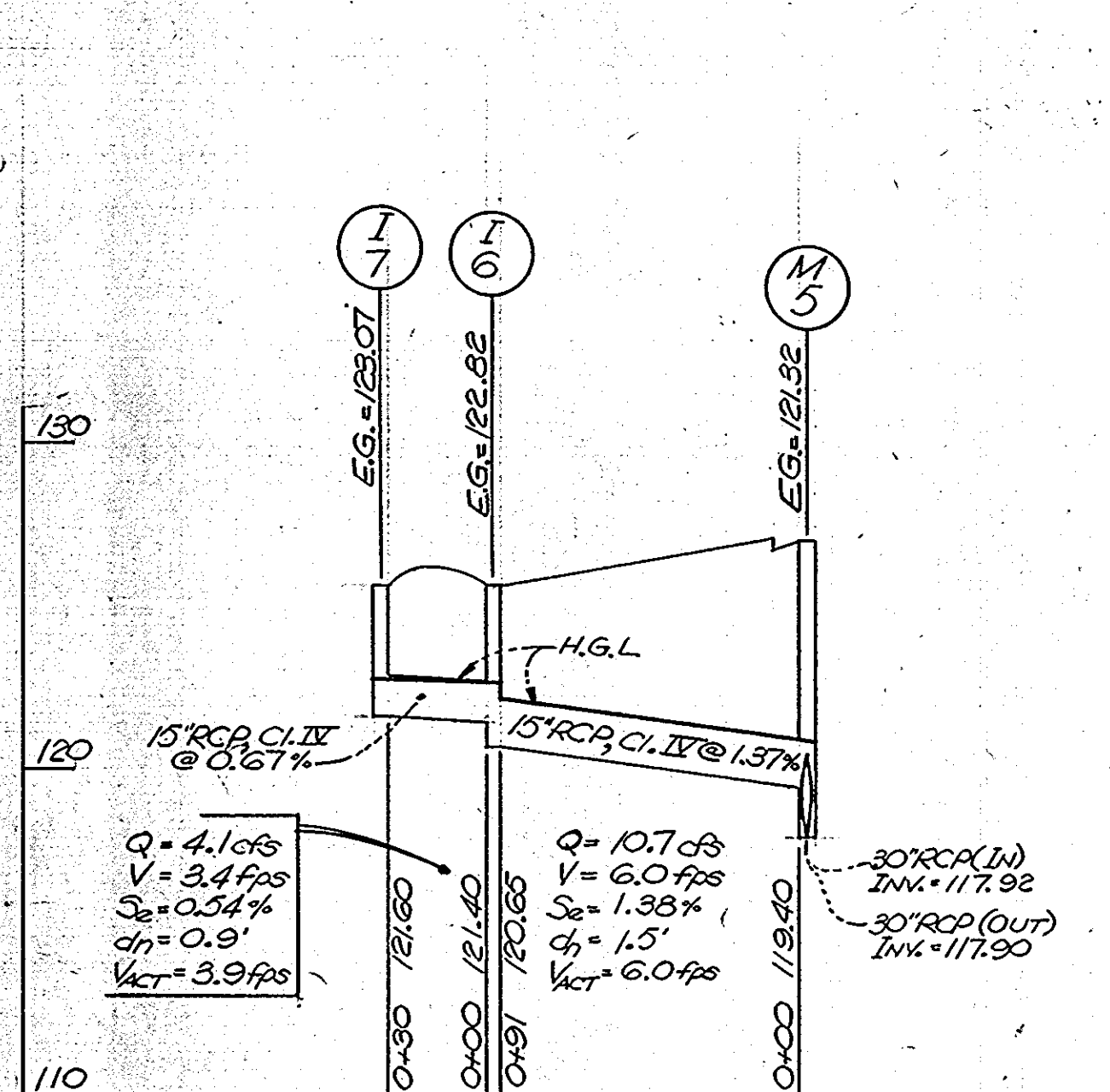
No.	REVISION	DATE	BY
1	ADD TRANSFORMER PAD, LOADING DOCK, RAMP HANDRAILS	6/13/01	CAM



ENGINEERS • ARCHITECTS • PLANNERS • SCIENTISTS • SURVEYORS • PHOTOGRAMMETRISTS  
**GREENHORNE & O'MARA, INC.**  
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GREENBELT, MD • MANASSAS, VA • MONROE, MI • RALEIGH, NC • TAMPA, FL

SITE DEVELOPMENT PLAN  
**DORSEY BUSINESS CENTER**  
SECTION ONE  
PARCEL "K"  
L.1300 F.547  
FIRST ELECTION DISTRICT  
HOWARD CO., MARYLAND

DESIGN: KK	SCALE: AS SHOWN
GAW/ADJ DRAWN	2 OF 8
RHM CHECKED	SHEET
FEB. 87 DATE	R-1327-X FILE No.



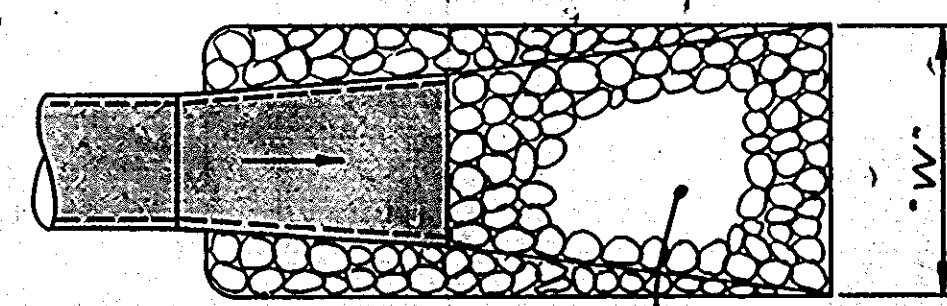
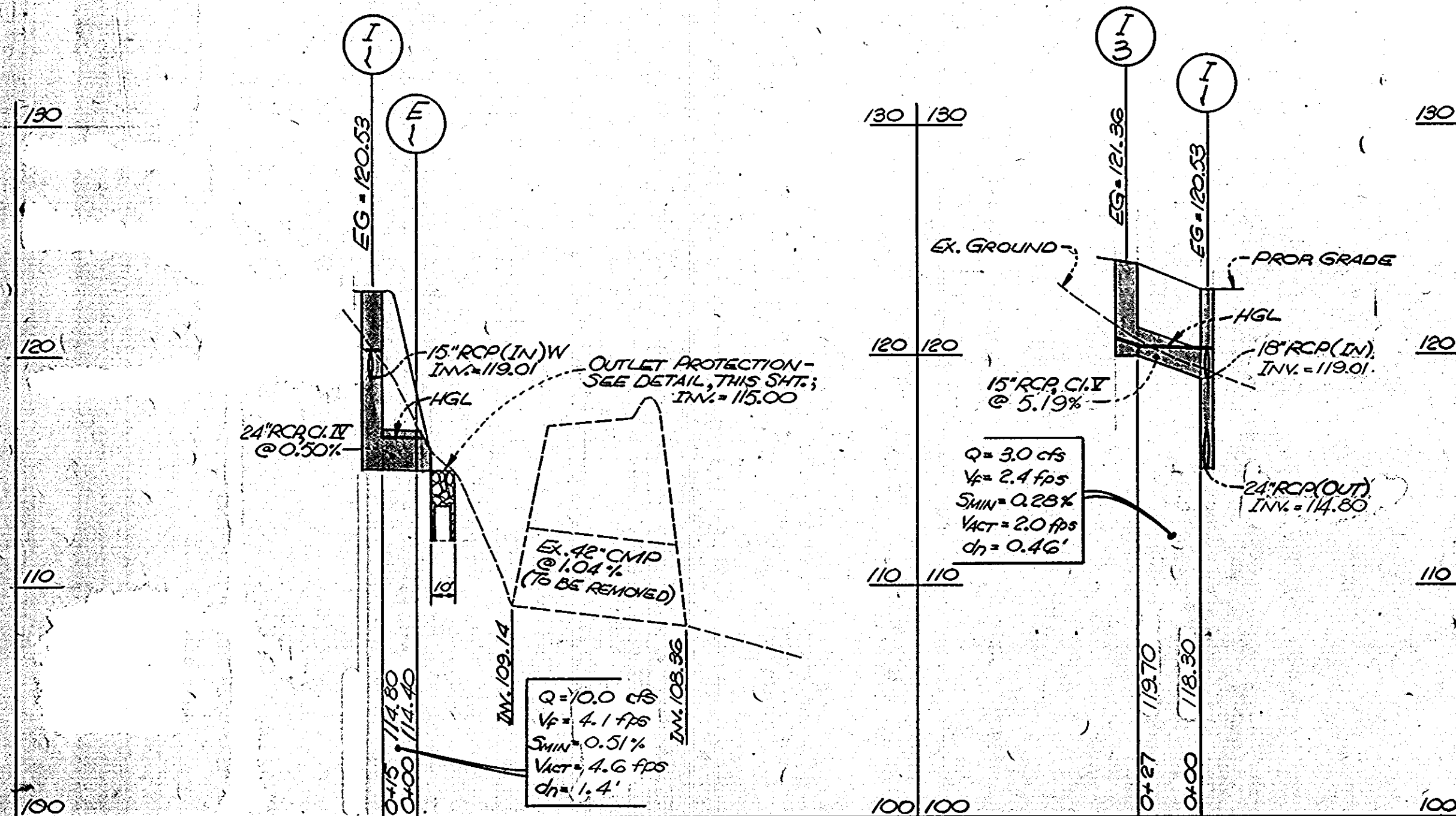
No.	STRUCTURE TYPE	INVERT		TOP ELEV.		STANDARD NUMBER
		IN	OUT	UPPER	LOWER	
E-1	21" CONCRETE END SECTION	115.04	115.00			HOWARD CO. STD. SD 5.51
I-1	A-10 INLET INSIDE WIDTH = 3'-6"	119.01	115.11	122.90	122.90	HOWARD CO. STD. SD 4.02
I-2	A-10 INLET INSIDE WIDTH = 3'-6"		119.03	123.20	123.10	HOWARD CO. STD. SD 4.02
I-3	A-10 INLET INSIDE WIDTH = 3'-6"		120.00	124.20	124.06	HOWARD CO. STD. SD 4.02
I-7	A-10 INLET INSIDE WIDTH = 2'-6"		121.60	125.60	125.60	HOWARD CO. STD. SD 4.02
I-6	A-10 INLET INSIDE WIDTH = 2'-6"	121.40	120.65	125.60	125.60	HOWARD CO. STD. SD 4.02
M-5	5' PRECAST MH *	119.40	117.90	127.00	127.00	HOWARD CO. STD. G 5.13
EX. I-18	EX. DOUBLE 5" INLET **	EX.	EX.	128.00		HOWARD CO. STD. SD 4.28

\* STRUCTURE M-5 IS TO REPLACE EX. I-17 (A-10 INLET)  
 \*\* TOP OF STRUCTURE I-18 TO BE RAISED TO MEET NEW GRADE.

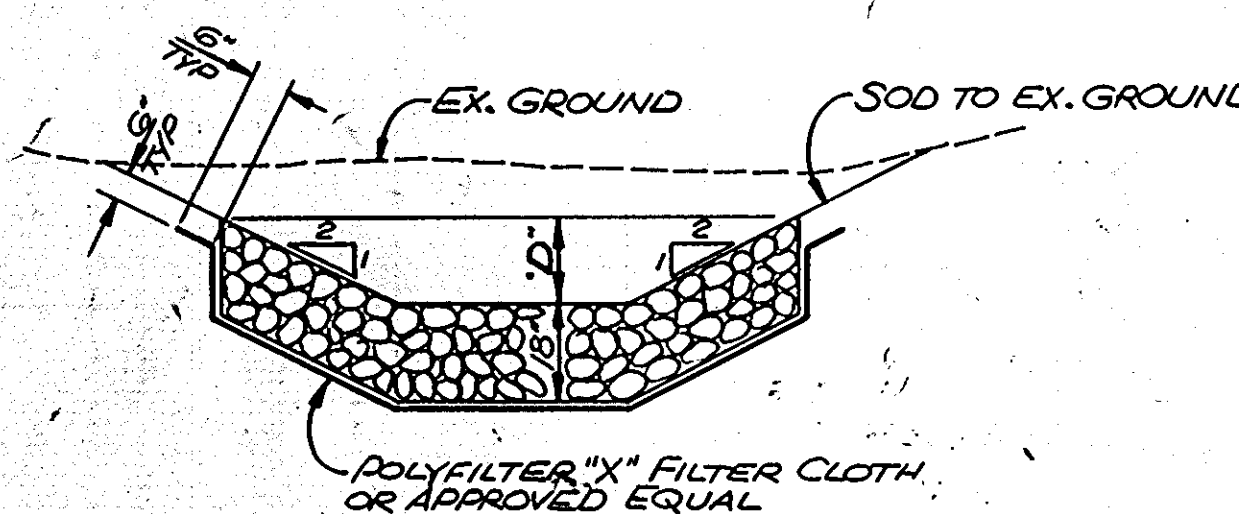
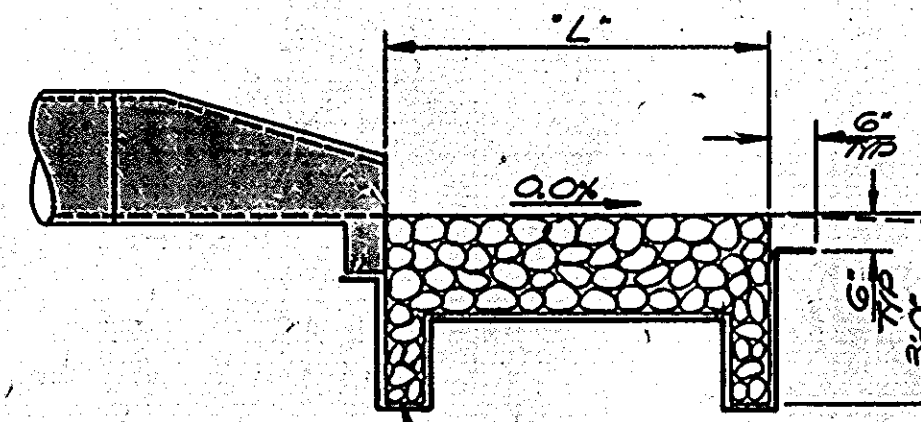
GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH HOWARD COUNTY DESIGN MANUAL VOL. IV, DETAILS AND SPECIFICATIONS FOR CONSTRUCTION.
- ALL UTILITY COMPANIES SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF CONSTRUCTION.
- ALL INLETS SHALL BE HOWARD COUNTY STANDARDS UNLESS OTHERWISE SHOWN.
- ALL STREET CURB RETURNS SHALL HAVE A 30.0' RADIUS UNLESS OTHERWISE NOTED.
- STORM DRAIN TRENCHES WITHIN ROAD RIGHTS-OF-WAY SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH HOWARD COUNTY STANDARD SPECIFICATIONS.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATIONS SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES WHERE DIRECTED BY THE ENGINEER A MINIMUM OF TWO WEEKS IN ADVANCE OF ANY CONSTRUCTION.
- TEMPORARY COMPACTED 18" HIGH EARTH FILL DIVERSION DIKES SHALL BE CONSTRUCTED ABOUT THE LIPS OF FILL SLOPES ON THE R.O.W. CONCURRENTLY WITH THE INITIAL GRADING AND DIRECTED TO UNDISTURBED SOO AREAS AT THE END OF EACH DAY.
- CONTRACTOR TO NOTIFY THE HOWARD COUNTY DEPT. OF INSPECTIONS AND PERMITS AT LEAST 5 DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS. TELEPHONE NO. 992-2436.
- ALL DISTURBED SLOPE AREAS TO BE STABILIZED AS SOON AS GRADING IS COMPLETED.
- ALL REINFORCED CONCRETE FOR STORM DRAIN STRUCTURES SHALL HAVE A MINIMUM OF 28 DAYS STRENGTH OF 3500 P.S.I.
- ALL SWALES AND SLOPES SHALL BE PERMANENTLY SEEDED. SEE THE SEED SPECIFICATIONS ON SHEET 12.
- TRAFFIC CONTROL DEVICES AND THEIR INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, 1991 REVISED EDITION.
- POLY-FILTER-X OR EQUAL SHALL BE PLACED UNDER ALL STONE RIP RAP (FULL WIDTH AND LENGTH OF STONE).
- STONE FOR RIP RAP SHALL BE AS SPECIFIED ON THE DRAWINGS. ALL RIP RAP SHALL BE UNPAVED UNLESS OTHERWISE NOTED.
- STUBS FOR 6" P.V.C. UNDERDRAIN PIPE TO BE INSTALLED AT CENTER OF EACH WALL OF EVERY INLET.
- Contractor shall notify the following utilities or agencies at least five (5) working days before starting work shown on these plans:  
 State Highway Administration - 531-5533  
 Baltimore Gas & Electric Company - Underground Electric Distribution Customer Service - 685-0123  
 Baltimore Gas & Electric Company - Underground Gas Distribution Customer Service - 685-0123  
 Chesapeake & Potomac Telephone Company - 725-9976  
 American Telephone & Telegraph - Cable Location Division - 393-3553
- WHEREVER DRAINAGE IS AWAY FROM CURB LINE, REVERSE SLOPED GUTTER CONFORMING TO THE PAVEMENT CROSS SLOPE SHALL BE PROVIDED, CURBS HAVING REVERSE SLOPED GUTTERS HAVE BEEN SHOWN THIS.

PROFILE SCALES:  
 HORIZ.: 1"=50'  
 VERT.: 1"=5'



STRUCTURE No.	"L" (FT)	"W" (FT)	"D" (FT)
E-2	10	12	2.0



OUTLET PROTECTION DETAIL  
 SCALE: NONE

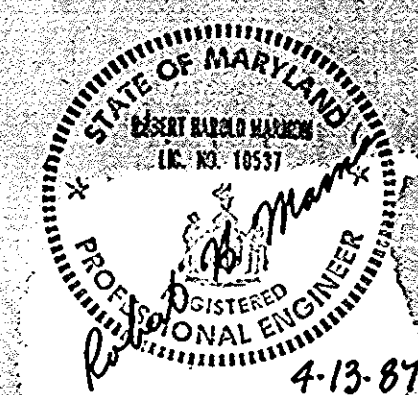
APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS & PUBLIC ROADS  
 HOWARD COUNTY DEPT. OF PUBLIC WORKS  
 DIRECTOR: *[Signature]* DATE: 5-18-87  
 CHIEF, BUREAU OF ENGINEERING: *[Signature]* DATE: 5-18-87

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING  
 PLANNING DIRECTOR: *[Signature]* DATE: 5-23-87  
 CHIEF, DIV. OF LAND DEVELOPMENT & ZONING ADMIN.: *[Signature]* DATE: 5-23-87

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT  
 COUNTY HEALTH OFFICER: *[Signature]* DATE: 5/24/87

APPROVED  
 DIVISION OF LAND DEVELOPMENT &  
 ZONING ADMINISTRATION  
 HOWARD COUNTY, MARYLAND  
 DATE: 3-24-87  
*[Signature]*

SIZE (IN.)	TYPE	LENGTH (FT)
15"	RCP, CI, II	57
21"	RCP, CI, II	15
18"	RCP, CI, II	95



DORSEY BUSINESS CENTER LIMITED PARTNERSHIP  
 7223 PARKWAY DRIVE  
 HANOVER, MARYLAND 21076

No.	REVISION	DATE	BY



ENGINEERS • ARCHITECTS • PLANNERS • SCIENTISTS • SURVEYORS • PHOTOGRAMMETRISTS  
**GREENHORNE & O'MARA, INC.**  
 2 RESEARCH PLACE, ROCKVILLE, MARYLAND 20850  
 (301) 948-0900  
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 GREENBELT, MD • MONROE, MI • RALEIGH, NC • TAMPA, FL • WILLISTON PARK, NY

STORM DRAIN PROFILES & DETAILS  
**DORSEY BUSINESS CENTER**  
 SECTION ONE, PARCEL 'K'  
 L. 1300 F. 547  
 FIRST ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

LD DESIGN	SCALE AS SHOWN
JDP DRAWN	3 OF 8
RHM CHECKED	SHEET
FEB. 87 DATE	JOB No. FILE No.

ADDRESS CHART		SUBDIVISION NAME		SECT./AREA		LOT/PARCEL	
LOT NUMBER	STREET ADDRESS	DORSEY BUSINESS CENTER		P. 289/LOT 11			
		PLAT NO. OR L/F BLOCK NO. ZONE	TAX/ZONE MAP	ELEC. DIST.	CENSUS TR.		
		1300/548	23 M-2	37	1	6012	
		WATER CODE		SEWER CODE			

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS & PUBLIC ROADS

*John F. Neuma* 5-18-87  
DIRECTOR DATE

*E. K. ...* 5-19-87  
CHIEF, BUREAU OF ENGINEERING DATE

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT

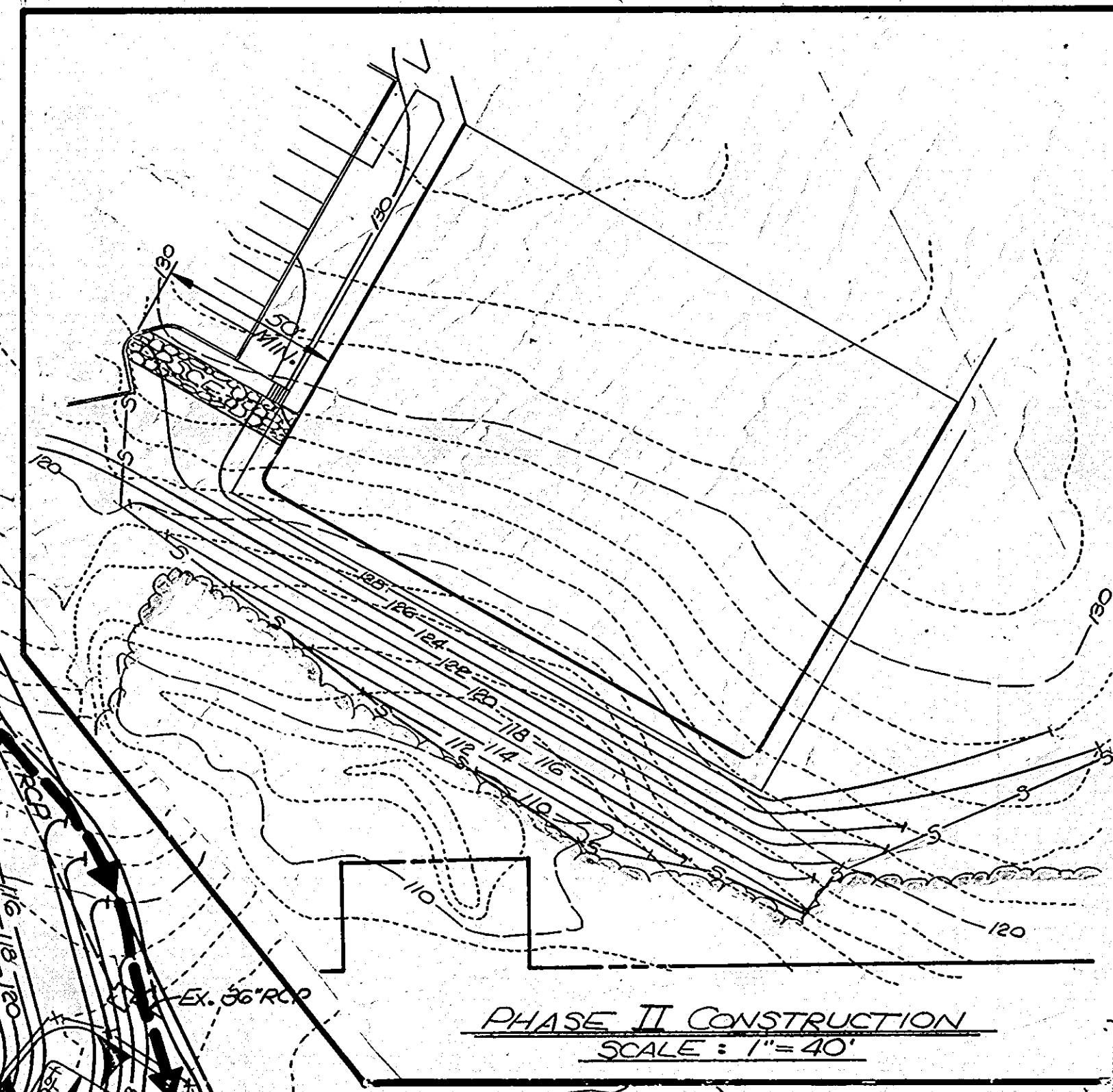
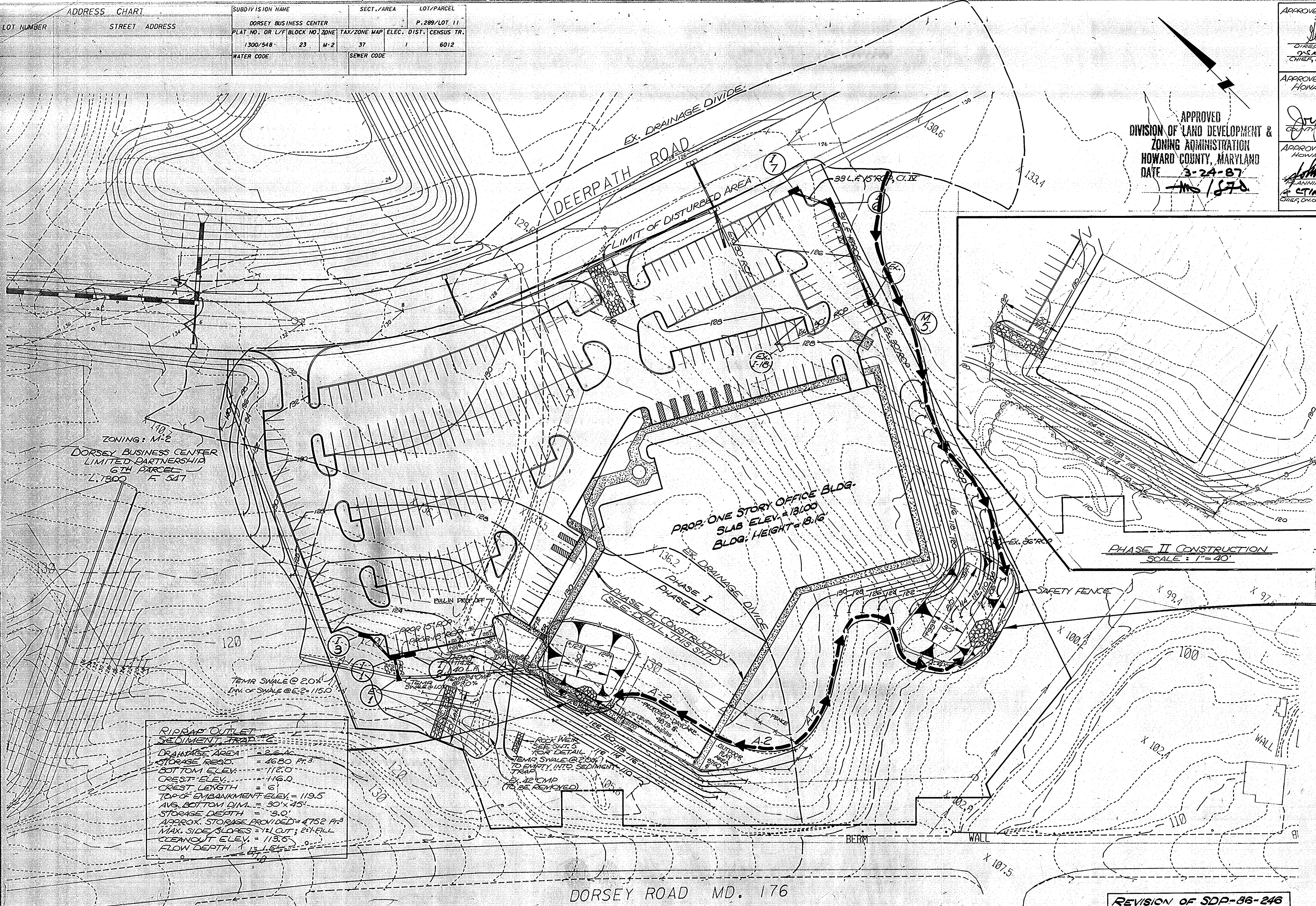
*Joseph ...* 5/21/87  
COUNTY HEALTH OFFICER DATE

APPROVED:  
HOWARD COUNTY OFFICE OF PLANNING & ZONING

*John W. ...* 5-22-87  
PLANNING DIRECTOR DATE

*John ...* 5-22-87  
CHIEF, DIV. OF LAND DEVELOPMENT & ZONING ADMIN. DATE

APPROVED  
DIVISION OF LAND DEVELOPMENT &  
ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE 3-24-87  
HMS/STG



"I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.

I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

*Steven Legum* 4/14/87  
STEVEN LEGUM

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*Robert H. Marmor* 4-15-87  
ROBERT H. MARMOR, RE.

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS.

U.S. SOIL CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

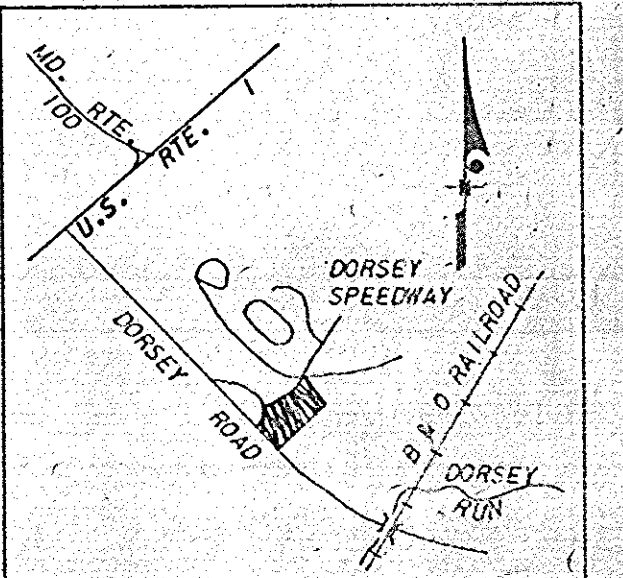
HOWARD S.C.D. DATE

**RIPPRAP OUTLET SEDIMENT TRAP #1**

DRAINAGE AREA = 6.2 AC.  
STORAGE REQ'D = 11,160 FT.<sup>3</sup>  
BOTTOM ELEV. = 99.0  
CREST ELEV. = 104.0  
CREST LENGTH = 14 FT.  
TOP OF EMBANKMENT ELEV. = 107.5  
AVG. BOTTOM DIA. = 30" x 40"  
STORAGE DEPTH = 4.0 FT.  
APPROX. STORAGE PROVIDED = 11,424 FT.<sup>3</sup>  
MAX. SIDE SLOPES = 1:1 OUT; 2:1 FILL  
CLEAN OUT ELEV. = 101.0  
FLOW DEPTH = 1.5 FT.

**RIPPRAP OUTLET SEDIMENT TRAP #2**

DRAINAGE AREA = 2.6 AC.  
STORAGE REQ'D = 4680 FT.<sup>3</sup>  
BOTTOM ELEV. = 112.0  
CREST ELEV. = 116.0  
CREST LENGTH = 6'  
TOP OF EMBANKMENT ELEV. = 119.5  
AVG. BOTTOM DIA. = 30" x 45"  
STORAGE DEPTH = 3.0'  
APPROX. STORAGE PROVIDED = 4752 FT.<sup>3</sup>  
MAX. SIDE SLOPES = 1:1 OUT; 2:1 FILL  
CLEAN OUT ELEV. = 113.5  
FLOW DEPTH = 1.5 FT.



DORSEY BUSINESS CENTER LIMITED PARTNERSHIP  
7223 PARKWAY DRIVE  
HANOVER, MARYLAND 21076

No.	REVISION	DATE	BY
1	ADDED PROPOSED PARKING, PROP OFF AREA, OUTDOOR PLAY AREA	2/19/90	LH



ENGINEERS • ARCHITECTS • PLANNERS • SCIENTISTS • SURVEYORS • PHOTOGRAMMETRISTS

**GREENHORNE & O'MARA, INC.**  
2 RESEARCH PLACE, ROCKVILLE, MARYLAND 20850  
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GREENBELT, MD • MONROE, MI • RALEIGH, NC • TAMPA, FL • WILLISTON PARK, NY

**SEDIMENT CONTROL PLAN**  
**DORSEY BUSINESS CENTER**  
SECTION ONE  
PARCEL "K"  
L. 1300 F. 547  
FIRST ELECTION DISTRICT  
HOWARD CO., MARYLAND

DESIGN	SCALE 1" = 40'
JDP DRAWN	4 OF 8
RHM CHECKED	SHEET
FEB. '87 DATE	JOB No. R-1327-X FILE No.

SDP-87-161

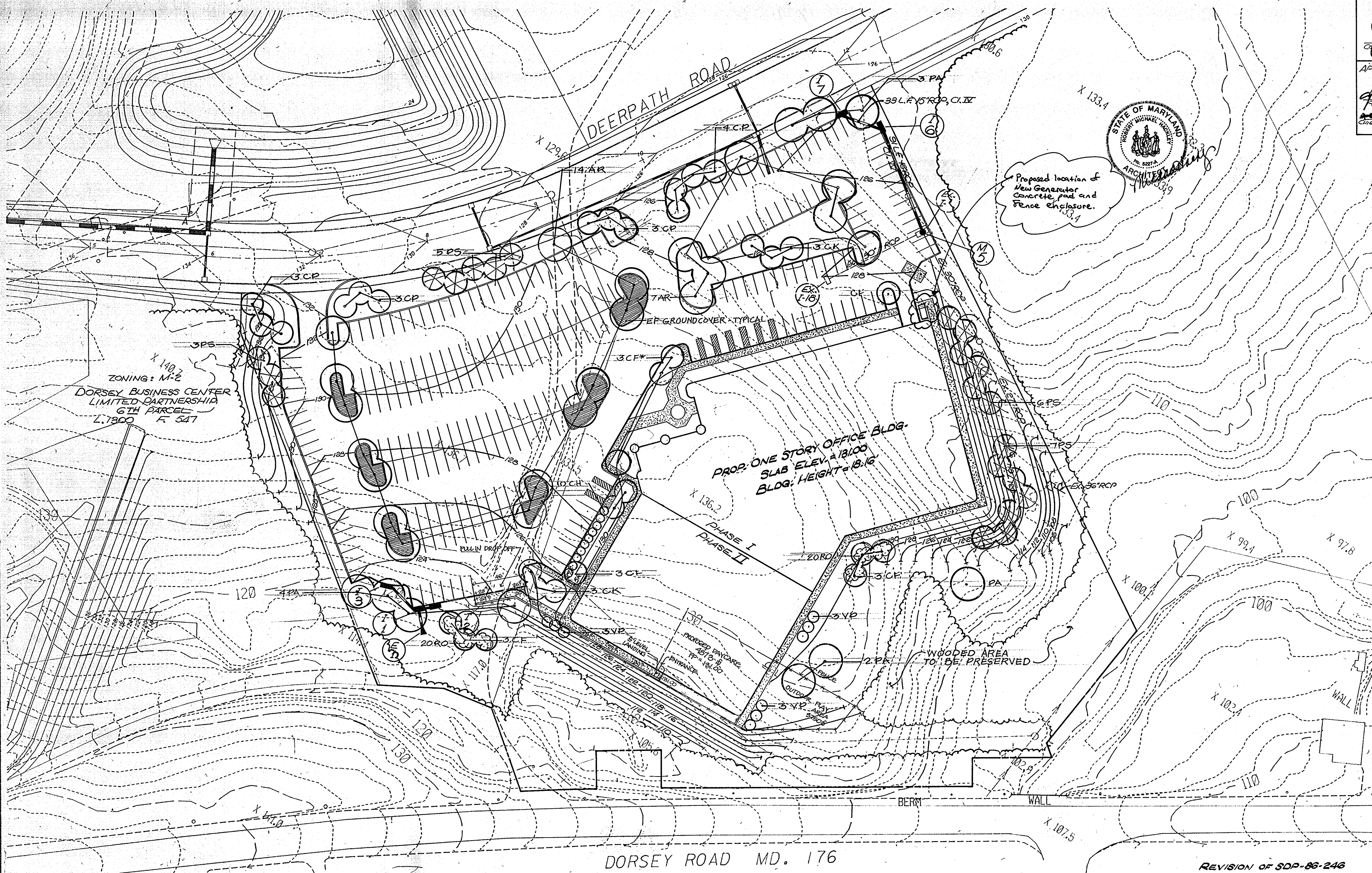


ADDRESS CHART		SUBDIVISION NAME		SECT./AREA		LOT/PARCEL	
LOT NUMBER	STREET ADDRESS	DORSEY BUSINESS CENTER		P. 209/LOT 11			
		PLAT NO. OR L/F BLOCK NO. ZONE	TAX/ZONE MAP	ELEC. DIST.	CENSUS TR.		
		1300/548	23 M-2	37	1	6012	
WATER CODE				SEWER CODE			

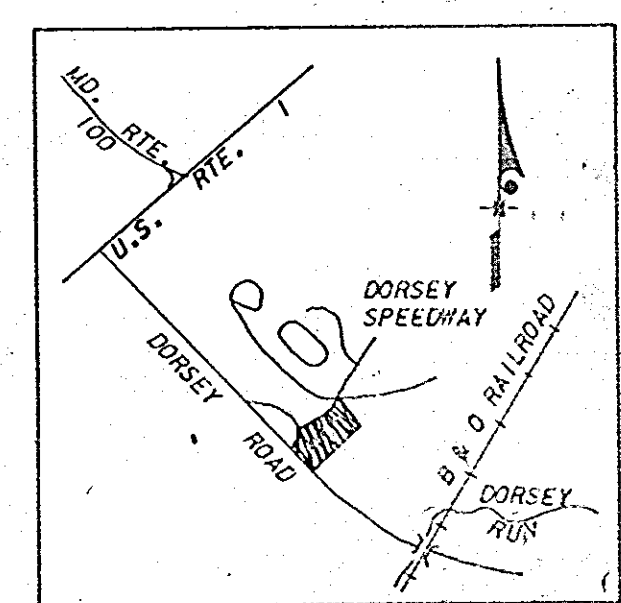
APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS & PUBLIC ROADS  
**HOWARD COUNTY DEPT. OF PUBLIC WORKS**  
 Director: *[Signature]* DATE: 5-18-87  
 Chief, Bureau of Engineering: *[Signature]* DATE: 5-18-87

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS  
**HOWARD COUNTY HEALTH DEPARTMENT**  
 County Health Officer: *[Signature]* DATE: 5/21/87

APPROVED: **HOWARD COUNTY OFFICE OF PLANNING & ZONING**  
 Planning Director: *[Signature]* DATE: 5-22-87  
 Chief, Div. of Land Development & Zoning Admin.: *[Signature]* DATE: 5-22-87



APPROVED  
 DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
 HOWARD COUNTY, MARYLAND  
 DATE: 3-24-87  
*[Signature]*



VICINITY MAP  
 SCALE: 1" = 200'

**DORSEY BUSINESS CENTER LIMITED PARTNERSHIP**  
 7223 PARKWAY DRIVE  
 HANOVER, MARYLAND 21076

No.	REVISION	DATE	BY
1.	REV. PROPOSED PARKING (ADDED), DROP OFF AREA, OUTDOOR PLAY AREA	2/13/90	LH
2.	Proposed Generator Location	4-8-87	MH



ENGINEERS • ARCHITECTS • PLANNERS • SCIENTISTS • SURVEYORS • PHOTOGRAMMETRISTS  
**GREENHORNE & O'MARA, INC.**  
 2 RESEARCH PLACE, ROCKVILLE, MARYLAND 20850  
 (301) 948-0900  
 ANNAPOLIS, MD • ATLANTA, GA • BECKLEY, WV • CULPEPER, VA • DENVER, CO • EXPORT, PA • FAIRFAX, VA  
 GREENBELT, MD • MONROE, MI • RALEIGH, NC • TAMPA, FL • WILLISTON PARK, NY

LANDSCAPE PLAN  
 DORSEY BUSINESS CENTER  
 SECTION I, PARCEL "K"  
 L. 1300 F. 547  
 FIRST ELECTION DISTRICT  
 HOWARD CO., MARYLAND

EH DESIGN	SCALE	1" = 40'
EH DRAWN		
JEC CHECKED	SHEET	6 OF 8
2-11-86 DATE	JOB No.	R-1327-X
	FILE No.	SDP-87-161

# SPECIFICATIONS

Plant Identification: All plants shall be properly marked for identification.

## List of Plant Material

The Contractor will verify the plant quantities prior to bidding and any discrepancies shall be brought to the attention of the Landscape Architect. The Contractor shall furnish and plant all plants required to complete the work shown on the drawings. Substitution shall not be made without the written approval of the Landscape Architect. This Contract will be based on the bidder having verified prior to bidding, the availability of the required plant material as specified on the Plant Materials List.

## Plant Quality

All shrubs shall be dense, heavy to the ground, and well grown, showing evidence of having been sheared regularly, and shall be sound, free of plant disease or insect eggs and shall have a healthy normal root system. Plants shall be freshly dug and not heeled-in stock from cold storage. All plants shall be nursery grown (except as noted below). Plants shall not be pruned prior to delivery. The shape of the plant shall in general conform to its natural growth proportions unless otherwise specified. Trees shall conform to the branching, caliber, and height specifications of the American Association of Nurserymen, and shall have a well-shaped, heavy branch structure for the species. Evergreen trees are to have an internode no greater than 18" and shall be uniformly well shaped. All plant sizes shall average at least the middle of the range given in the plant list.

## Plant Spacing

Plant spacing is to scale on plan. No plants except espaliered material shall be closer than 30" to buildings.

## Soil Mix

Soil mix will be 2/3 existing soil, 1/3 leafmold or equal organic material, thoroughly mixed and homogenized.

## Excavation

Holes for all plants shall be 18" larger in diameter than size of ball or container and shall have vertical sides. Holes shall be planted in a trench 12" wide; beds for mass planting shall be entirely rototilled to a depth of 6" and shall be 18" beyond the average outside edge of plant balls.

## Planting

Backfilling shall be done with soil mix, reasonably free of stones, subsoil, clay lumps, stumps, roots, weeds, bermuda grass, litter, toxic substances, or any other material which may be harmful to plant growth, or hinder grading, planting, or maintenance operations. Should any unforeseen or unsuitable planting conditions arise, such as faulty soil drainage or chemical residues, they should be called to the attention of the Landscape Architect and Owner for adjustment before planting. The plant shall be set plumb and straight, and shall be staked at the time of planting. Backfill shall be well worked about the roots and settled by watering. Plants will be planted higher than surrounding grade. Shrubs will be 1/2" higher and trees will be 3" higher.

## Transplanting Trees by Tree Machines

Trees shall be moved by machines that provide a minimum ball diameter of 5" per 1" of tree caliper. Holes are to be dug by the same size machine as the one transporting the plant. The plant material shall be transported in appropriately the same growing conditions as it is presently growing, in items of soil type and moisture content. Fertilize and guy as described in these plans and specifications.

## Cultivation

All trunks and shrub beds shall be cultivated, edged and mulched to a depth of 3" with fine shredded hardwood bark. The area around isolated plants shall be mulched to at least a 6" greater diameter than that of the hole. Plant beds adjacent to buildings shall be mulched to the building wall.

## Maintenance

The Contractor shall be responsible during the contract and up to the time of acceptance, for keeping the planting and work incidental thereto in good condition, by replanting, plant replacement, watering, weeding, cultivating, pruning and spraying, restaking and cleaning up and by performing all other necessary operations of care for promotion of good plant growth so that all work is in satisfactory condition at time of acceptance, at no additional cost to the Owner.

## Fertilizer

Fertilizer shall be a slow release type contained in polyethylene perforated bags with micro-pore holes for controlled feeding such as Easy Grow as manufactured by Specialty Fertilizer, Inc., Box 255, Suffern, New York 10991 or approved equal. The bags shall contain 1 ounce of soluble fertilizer analysis 16-18-16 per units to last for three years and shall be applied during planting as recommended by the manufacturer. If fertilizer pickets are not used the Contractor shall apply granular fertilizer to the soil mix with 10-6-4 analysis at the following rates: Tree Pits, 2-3 lbs. per caliper inch; Shrub Beds, 3-5 lbs. per 100 square feet; Ground cover, 2-3 lbs. per 100 square foot.

## Ground Cover

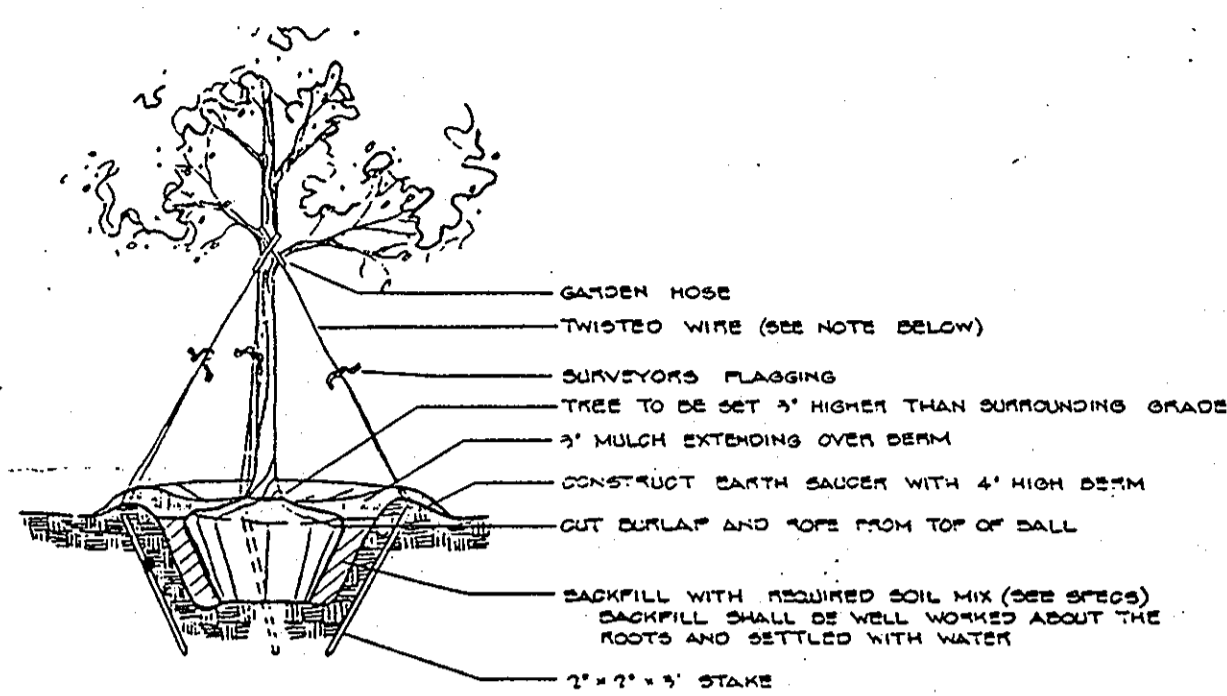
All areas of ground cover shall be rototilled to a depth of 6". Apply 2" of organic material and rototill until thoroughly mixed. Apply fertilizer as stated above.

## Guarantee and Replacement

All materials shall be unconditionally guaranteed for one year. The Contractor is not responsible for losses or damages caused by mechanical injury or vandalism.

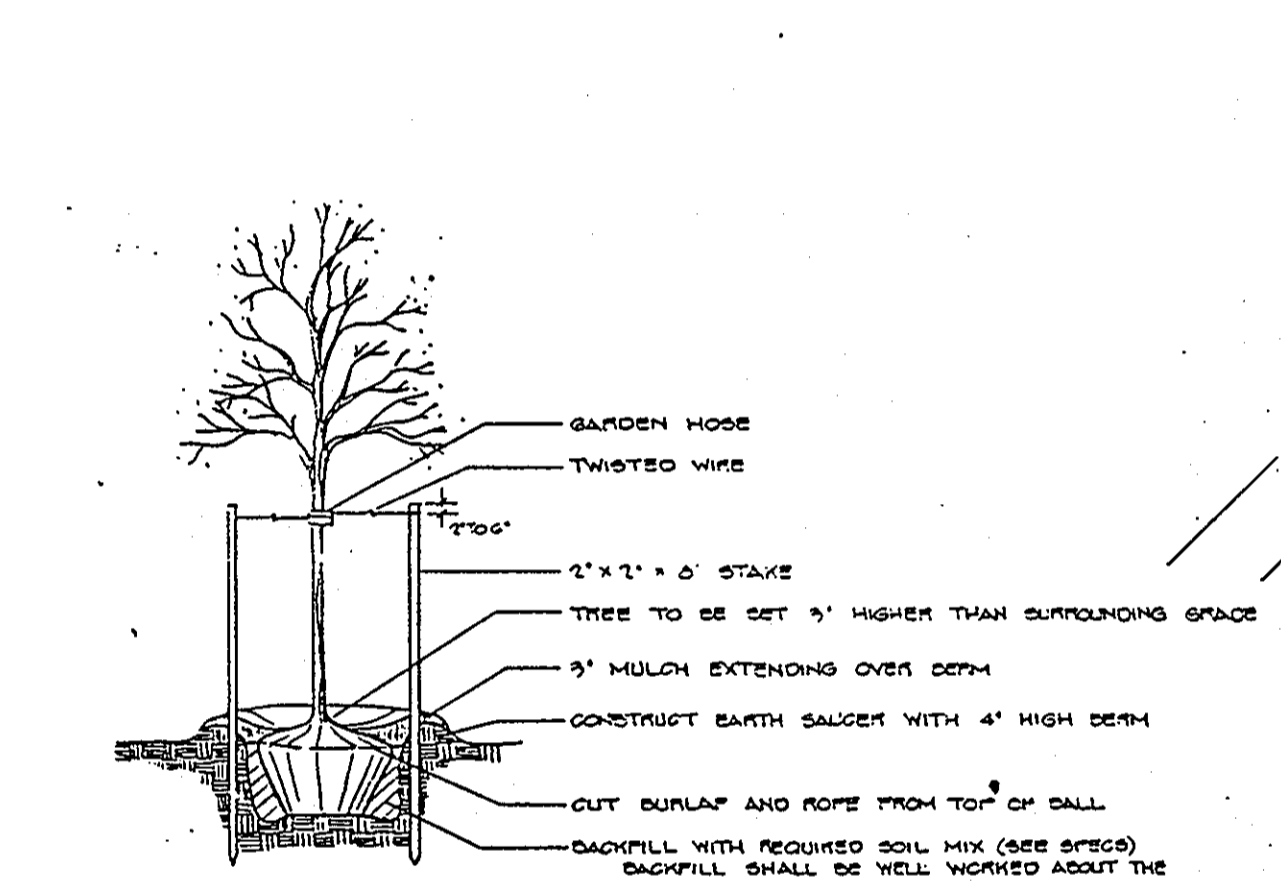
Note: Groundcover in parking lot islands to be planted between June 1 and September 15.

## PLANTING DETAILS



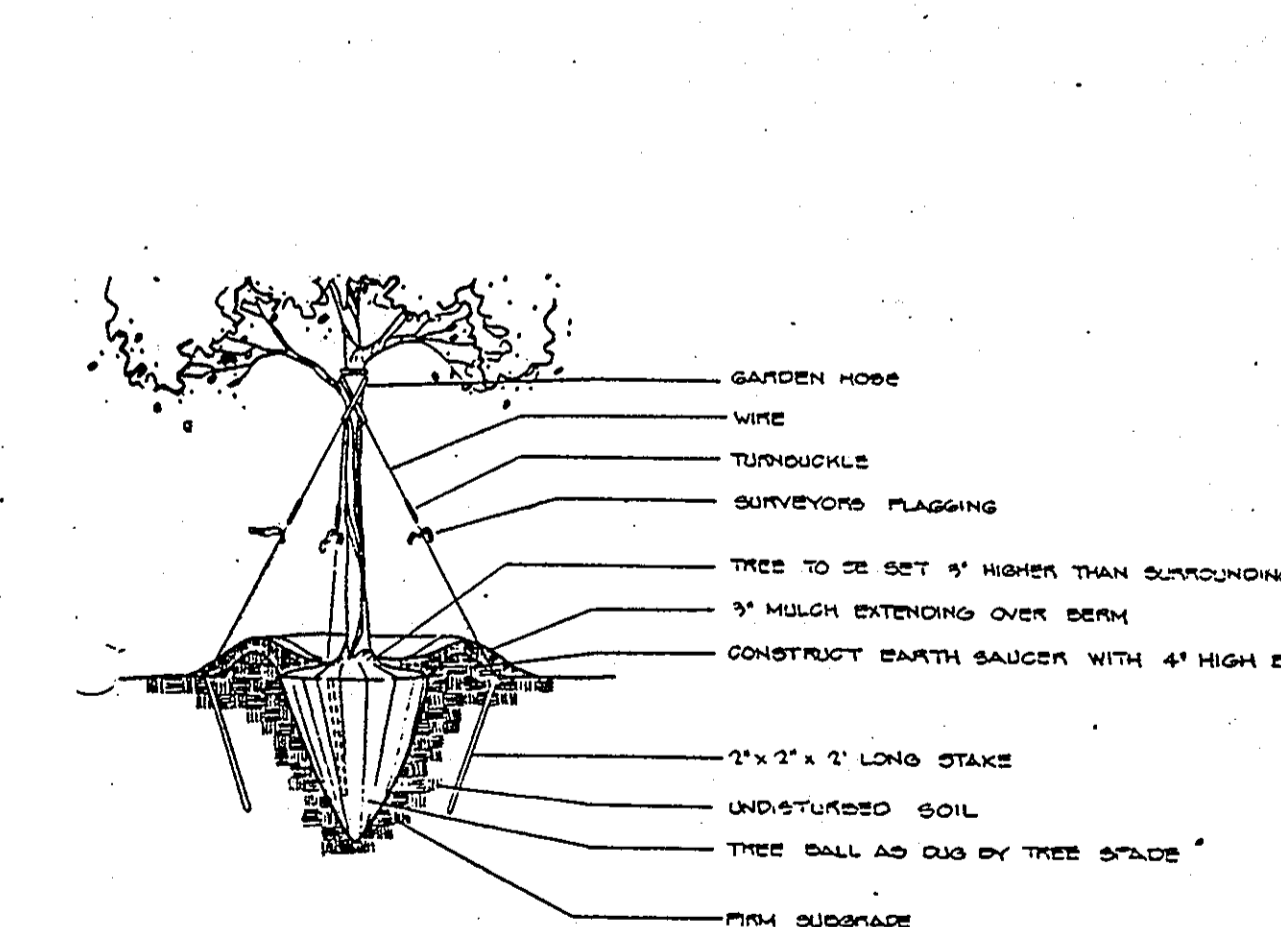
### PLANTING AND GUYING DETAIL EVERGREEN TREES AND DECIDUOUS TREES 10' AND LARGER

NO SCALE  
NOTE: TWISTED WIRE FOR DECIDUOUS TREES 1 1/2" - 4" CAL. EVERGREEN TREES UP TO 6" - 10" THROUGHOUT FOR DECIDUOUS TREES 4" AND ABOVE EVERGREEN TREES 10' AND TALLER.



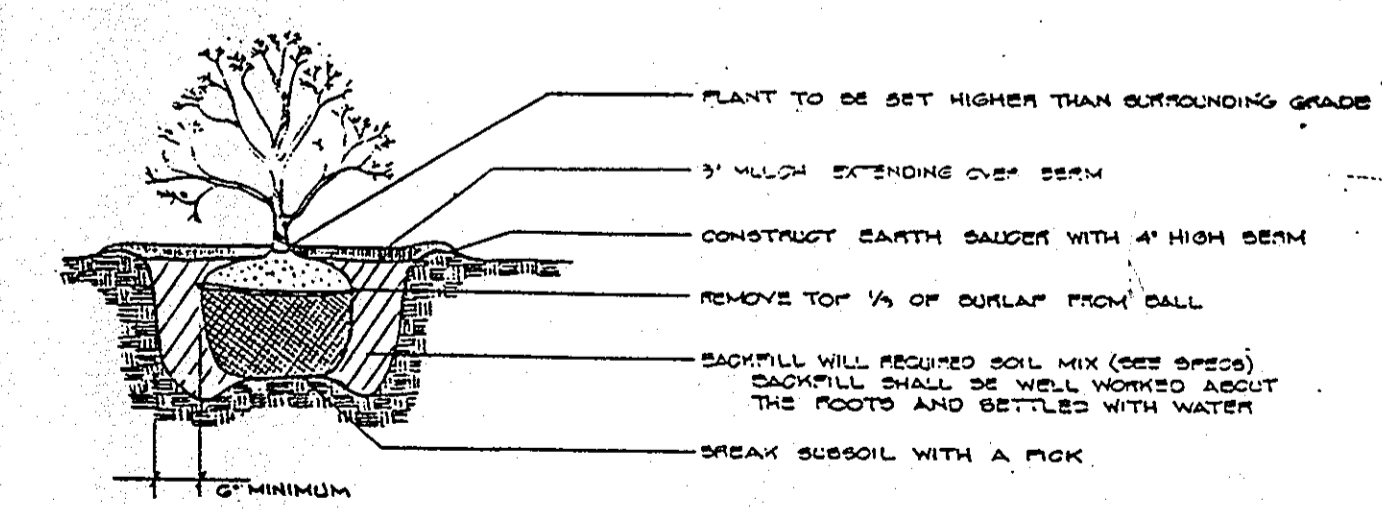
### PLANTING AND STAKING DETAIL DECIDUOUS TREES UP TO 10'

NO SCALE



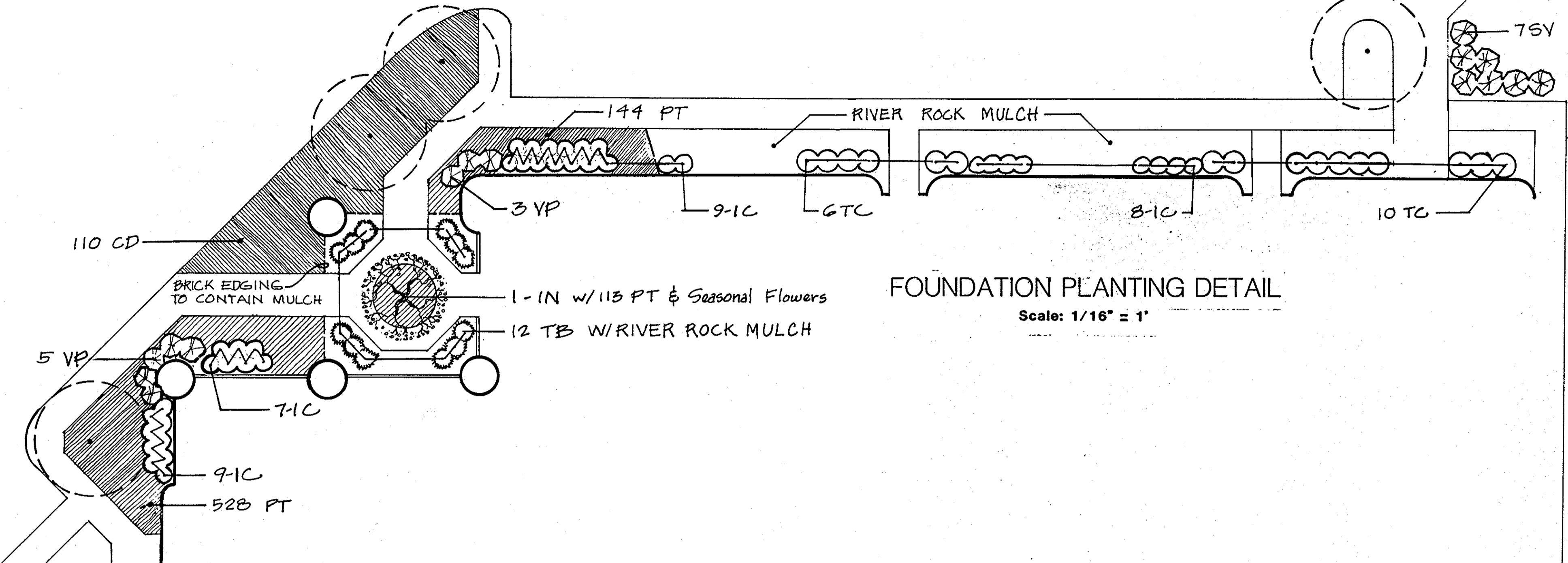
### PLANTING AND GUYING DETAIL MACHINE PLANTING

NO SCALE



### SHRUB PLANTING DETAIL

NO SCALE



## FOUNDATION PLANTING DETAIL

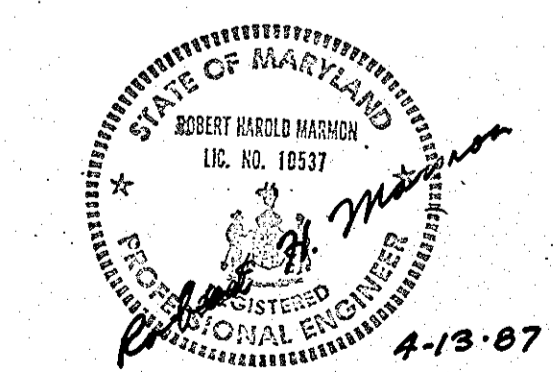
Scale: 1/16" = 1'

## PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
<b>TREES</b>					
AR	21	Acer rubrum	Red Maple	2 1/2" - 3" Cal.	B & B
CF	9	Cornus florida	White Flowering Dogwood	7 - 8' Ht.	B & B
CF*	3	Cornus florida	White Flowering Dogwood	7 - 8' (Heavy)	B & B
CK	6	Cornus kousa	Kousa Dogwood	6 - 7' (Heavy)	B & B
CP	13	Cataegus phaeonophryxus	Washington Thorn	8 - 10' Ht.	B & B
IN	1	Ilex x Nellie R. Stevens	Nellie Stevens Holly - Tree Form Specimen	9 - 10' Ht.	B & B
PA	10	Platanus acerifolia	London Plane Tree	3 - 3 1/2" Cal.	B & B
PS	21	Pinus strobus	Eastern White Pine	7 - 8' Ht.	B & B
<b>SHRUBS AND GROUND COVER</b>					
CD	110	Cotoneaster dammeri	Bearberry Cotoneaster	15 - 18" Spr.	Cont. - 3 1/2" O.C.
CH	10	Cotoneaster horizontalis	Rock Cotoneaster	18 - 24" Spr.	Cont. 5' O.C.
EF	4012	Eucygnon fortunei 'Coloratus'	Purpleleaf Wintercreeper	2 1/4" P.P.	12" O.C.
IC	30	Ilex cornuta rotunda	Dwarf Chinese Holly	15 - 18" Ht.	B & B
PT	672	Pachysandra terminalis 'Green Carpet'	Green Carpet Japanese Spurge	2 1/4" P.P.	12" O.C.
RO	40	Rhododendron obtusum	Kurume azalea (Red Flowering)	15 - 18" Ht.	Cont.
SV	7	Spiraea vanhouttei	Vanhoutte Spirea	2 - 3' Ht.	Cont.
TB	12	Taxus baccata 'Repandens'	Spreading English Yew	18 - 24" Ht.	B & B
TC	16	Taxus cuspidata 'Densiformis'	Dense Japanese Yew	24 - 30" Ht.	B & B
VP	17	Viburnum plicatum 'Mariesii'	Marie's Doublefile Viburnum	3 - 4' Ht.	B & B

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, PUBLIC WATER, STORM DRAINAGE SYSTEMS & PUBLIC ROADS  
 HOWARD COUNTY DEPT. OF PUBLIC WORKS  
 JAMES F. NEWMAN 5-18-87  
 DIRECTOR DATE  
 APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING  
 JAMES F. NEWMAN 5-22-87  
 PLANNING DIRECTOR DATE  
 APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT  
 JAMES F. NEWMAN 5-24-87  
 COUNTY HEALTH OFFICER DATE

APPROVED  
 DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
 HOWARD COUNTY, MARYLAND  
 DATE 3-24-87  
 1/270



REVISION OF SDP-86-246

DORSEY BUSINESS CENTER LIMITED PARTNERSHIP  
 7223 PARKWAY DRIVE  
 HANOVER, MARYLAND 21076

No.	REVISION	DATE	BY
1	Parking Lot and Entrance	2-17-87	EH



ENGINEERS • ARCHITECTS • PLANNERS • SCIENTISTS • SURVEYORS • PHOTOGRAMMETRISTS  
**GREENHORNE & O'MARA, INC.**  
 2 RESEARCH PLACE, ROCKVILLE, MARYLAND 20850  
 (301) 948-0900  
 ANNAPOLIS, MD • ATLANTA, GA • BECKLEY, WV • CULPEPER, VA • DENVER, CO • EXPORT, PA • FAIRFAX, VA  
 GREENBELT, MD • MONROE, MI • RALEIGH, NC • TAMPA, FL • WILLISTON PARK, NY

**LANDSCAPE PLAN DETAILS**  
 DORSEY BUSINESS CENTER  
 SECTION ONE  
 PARCEL K  
 LIBER 1300 FOLIO 547  
 FIRST ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

EH DESIGN	SCALE AS NOTED
EH DRAWN	7 OF 8
JFC CHECKED	SHEET
FEB, '87 DATE	R-1327-X FILE No.

SDP-87-161

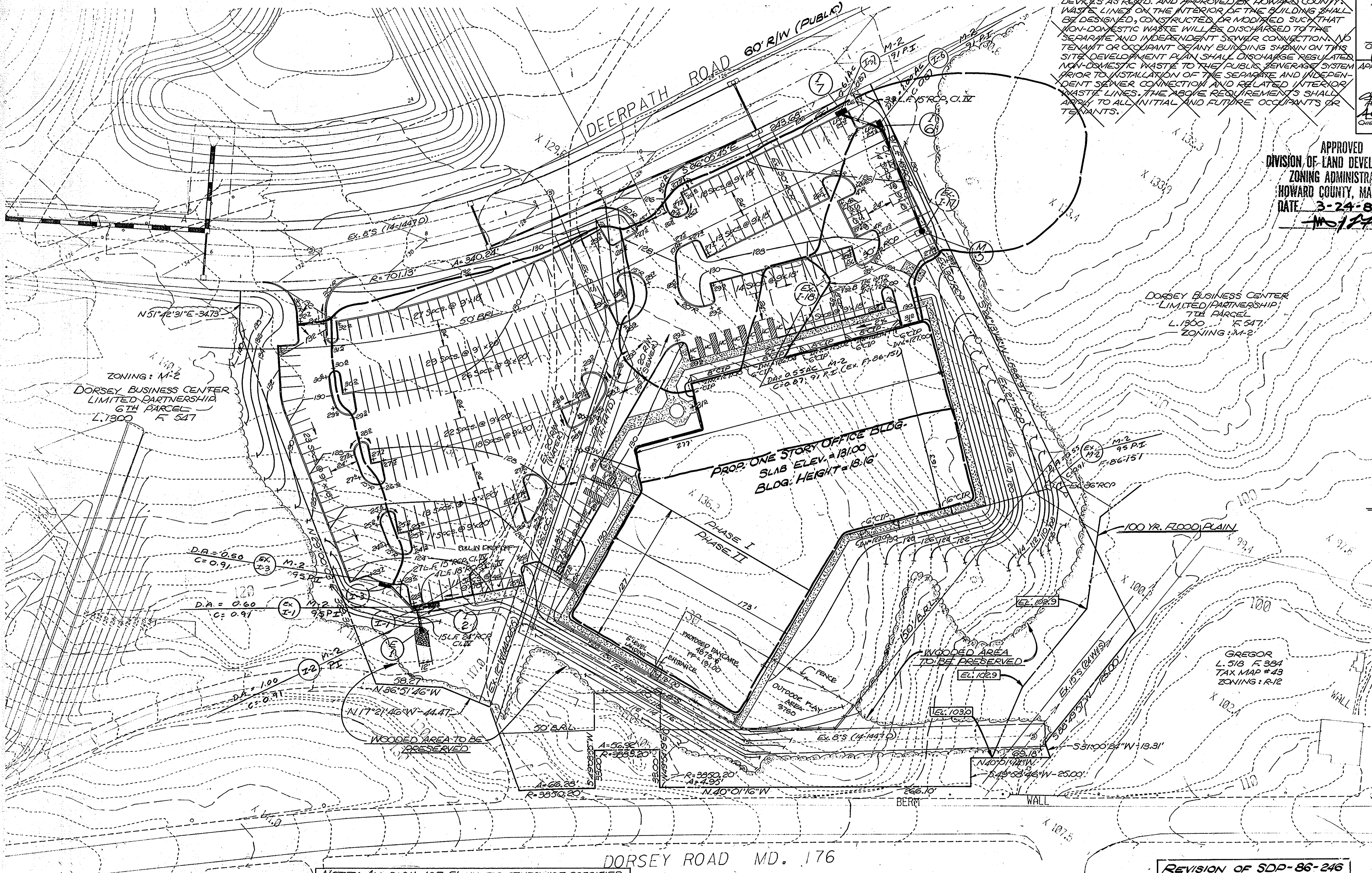
ADDRESS CHAR. SUBDIVISION NAME SECT./AREA LOT/PARCEL  
 STREET ADDRESS DORSEY BUSINESS CENTER SECTION I K  
 "K" 6835 DEERPATH ROAD 6917 6 M-2 43 1 6012  
 WATER CODE SEWER CODE  
 223-0000

**NOTE:**  
 THE OWNER SHALL PROVIDE A SEPARATE AND INDEPENDENT SEWER CONNECTION FOR EACH TENANT OR OCCUPANT OF ANY BUILDING SHOWN ON THIS SITE DEVELOPMENT PLAN WHO WILL DISCHARGE NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM IF THIS WASTE IS REGULATED UNDER SECT. 18.102A OF THE HOWARD CO. CODE. EACH SEPARATE AND INDEPENDENT SEWER CONNECTION SHALL INCLUDE A STANDARD MANHOLE AND OTHER WASTE PRE-TREATMENT DEVICES AS REQUIRED AND APPROVED BY HOWARD COUNTY. WASTE LINES ON THE INTERIOR OF THE BUILDING SHALL BE DESIGNED, CONSTRUCTED OR MODIFIED SUCH THAT NON-DOMESTIC WASTE WILL BE DISCHARGED TO THE SEPARATE AND INDEPENDENT SEWER CONNECTION. NO TENANT OR OCCUPANT OF ANY BUILDING SHOWN ON THIS SITE DEVELOPMENT PLAN SHALL DISCHARGE REGULATED NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM PRIOR TO INSTALLATION OF THE SEPARATE AND INDEPENDENT SEWER CONNECTION AND RELATED INTERIOR WASTE LINES. THE ABOVE REQUIREMENTS SHALL APPLY TO ALL INITIAL AND FUTURE OCCUPANTS OR TENANTS.

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS & PUBLIC ROADS  
 HOWARD COUNTY DEPT. OF PUBLIC WORKS  
 [Signature] 5/11/87  
 CHIEF, BUREAU OF ENGINEERING 5/11/87

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT  
 [Signature] 5/21/87  
 COUNTY HEALTH OFFICER 5/21/87

APPROVED:  
 HOWARD COUNTY OFFICE OF PLANNING & ZONING  
 [Signature] 5/22/87  
 PLANNING DIRECTOR 5/22/87  
 ACTING JOHN F. DUNN 5/22/87  
 CHIEF, DIV. OF LAND DEVELOPMENT & ZONING ADMIN. 5/22/87



APPROVED  
 DIVISION OF LAND DEVELOPMENT &  
 ZONING ADMINISTRATION  
 HOWARD COUNTY, MARYLAND  
 DATE 3-24-87  
 [Signature]

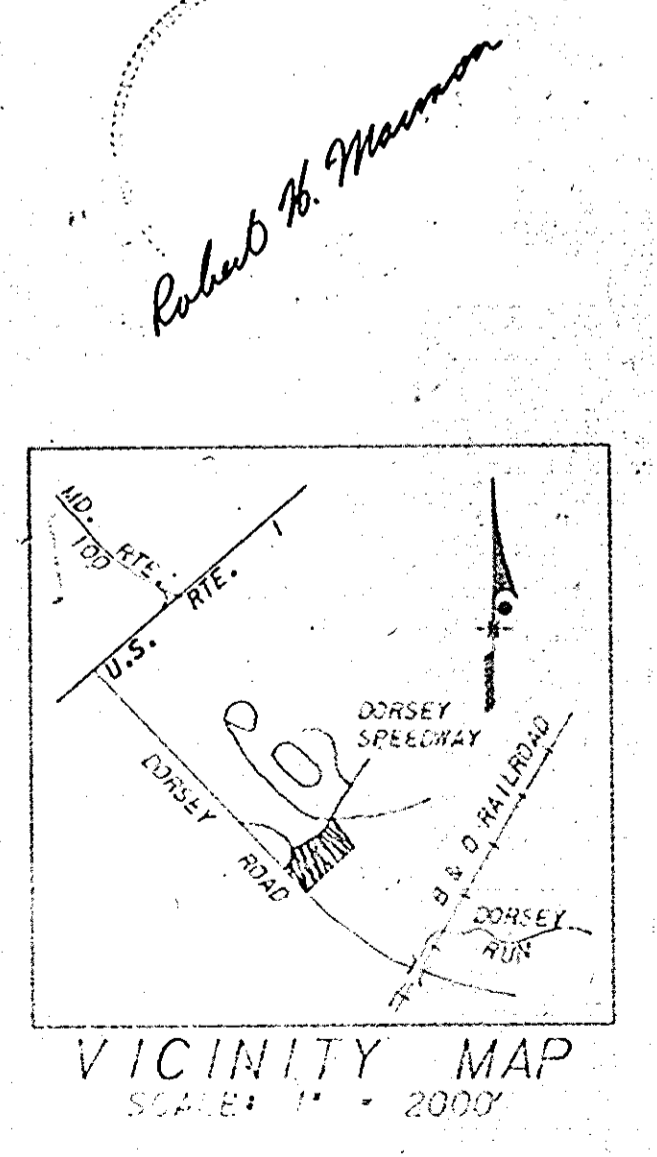
**SITE ANALYSIS**

AREA OF PARCEL:	7.11069 AC.
ZONING:	M-2
FLOOR SPACE OFFICE:	62,000
MAXIMUM NUMBER OF EMPLOYEES:	287
PARKING REQ'D (1/10 EMPLOYEES, INCLUDING HANDICAP):	291
PARKING PROVIDED:	270
STANDARD:	260
HANDICAP:	10
PARKING LOT AREA:	89,750 (29%)
LANDSCAPED ISLAND AREA:	16,364 (52%)
OPEN SPACE:	141,870 (45.8%)
BUILDING COVERAGE:	63,690 (19.9%)

**LEGEND**

- 100 YR. FLOOD PLAIN
- 100 YR. FLOOD PLAIN ELEV.

**NOTE:** 1. ALL ROADS & PARKING ARE PRIVATE  
 2. BUILDING AREA, COVERAGE PERCENTAGE AND MAXIMUM NUMBER OF EMPLOYEES PER PHASE I AND PHASE II



NOTE: ALL RADII ARE 5', UNLESS OTHERWISE SPECIFIED.

REVISION OF SDP-86-246

DORSEY BUSINESS CENTER LIMITED PARTNERSHIP  
 7223 PARKWAY DRIVE  
 HANOVER, MARYLAND 21076

No.	REVISION	DATE	BY
1.	ADDED PROPOSED PARKING, DROP OFF AREA, OUTDOOR PLAY AREA	2/13/90	LLH



ENGINEERS • ARCHITECTS • PLANNERS • SCIENTISTS • SURVEYORS • PHOTOGRAMMETRISTS

**GREENHORNE & O'MARA, INC.**  
 2 RESEARCH PLACE, ROCKVILLE, MARYLAND 20850  
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 GREENBELT, MD • MOORHEAD, MI • RALEIGH, NC • TAMPA, FL • WILLISTON PARK, NY

DRAINAGE AREA MAP  
**DORSEY BUSINESS CENTER**  
 SECTION ONE  
 PARCEL "K"  
 L.1300 F.547  
 FIRST ELECTION DISTRICT  
 HOWARD CO., MARYLAND

KK DESIGN	SCALE 1" = 40'
JDP/CDD DRAWN	8 OF 8
RHM CHECKED	SHEET
FEB. '87 DATE	JOB No. K-821-X FILE No. SDP-87-161