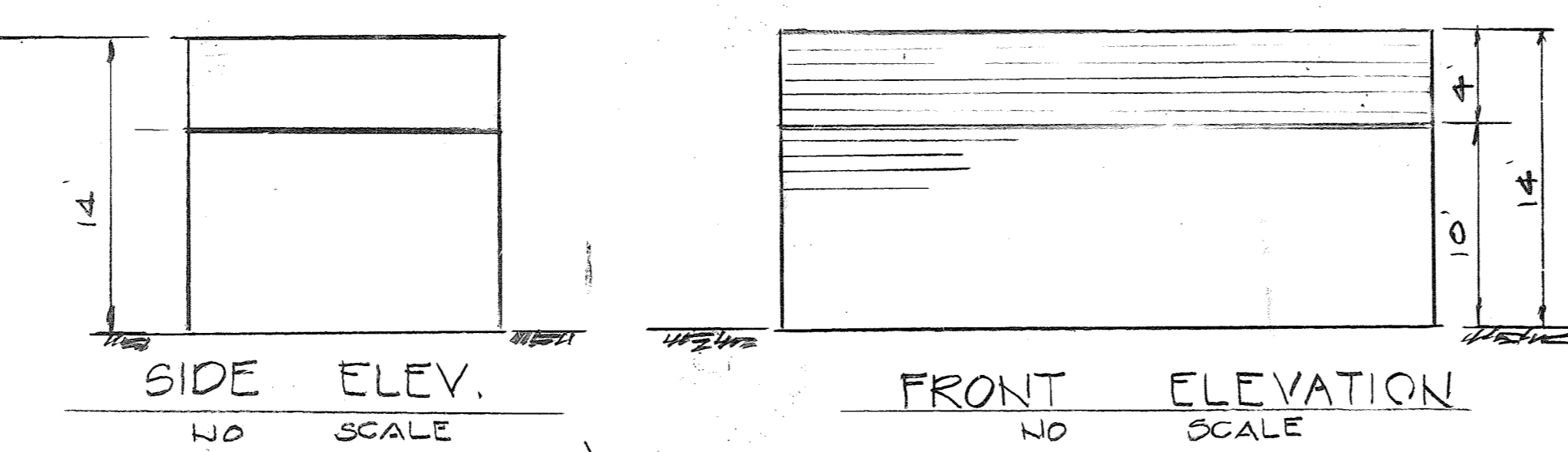
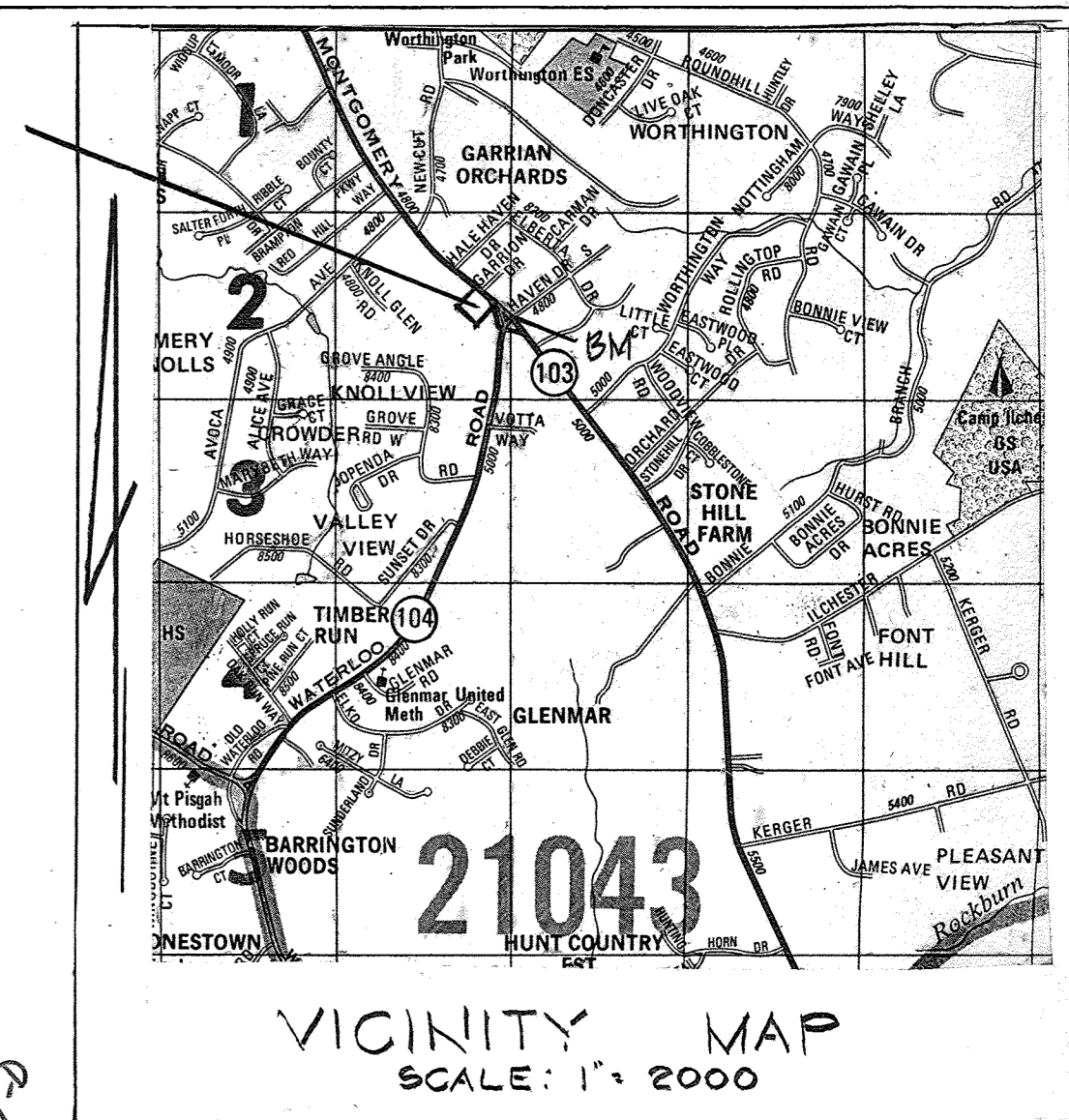


Revisions		
No.	Description	Date
6	Add Sheets 6-8 For New Retaining Wall	11/16/19
1	Revised Material for Retaining Wall and Replace sheets 6-7	11/8/19

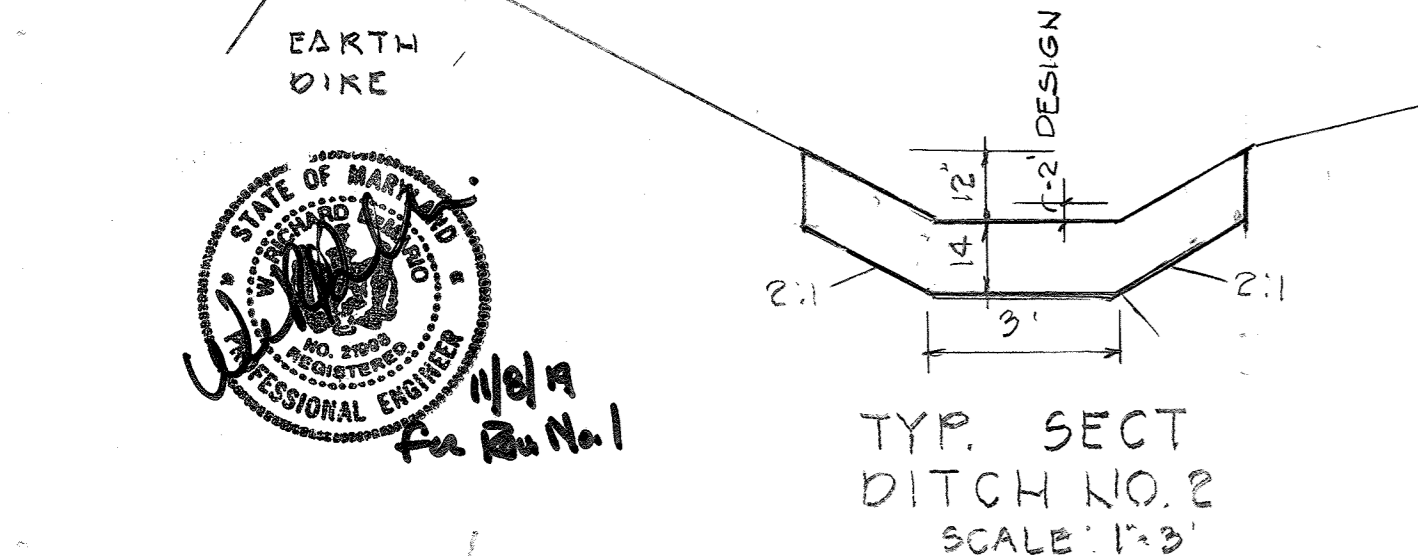


NOTE A
LANDSCAPE PLANTING ADJACENT TO R. MUIRHEAD PROPERTY SHALL BE:

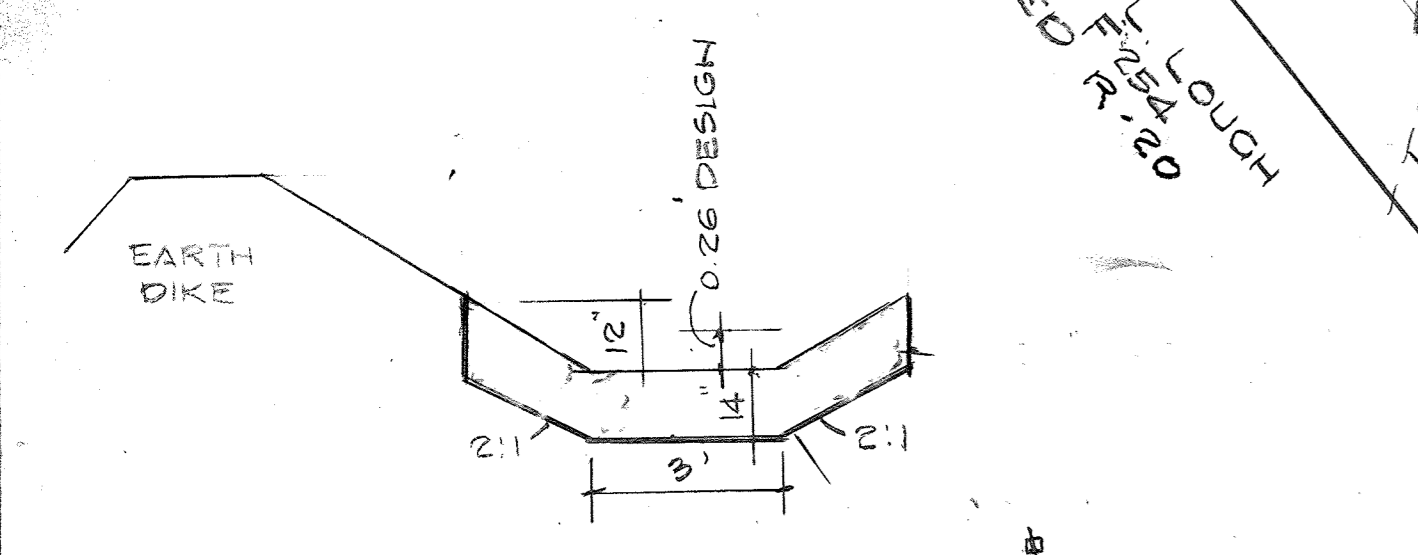
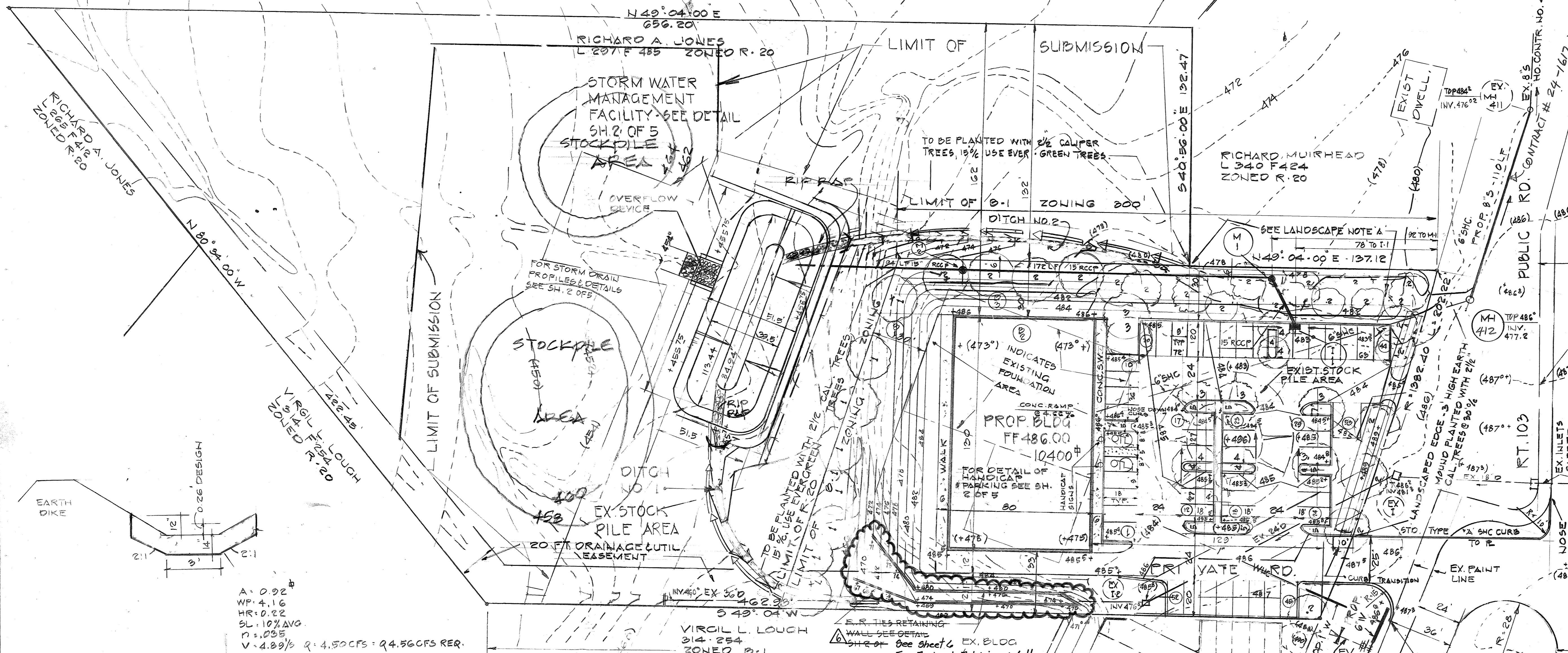
2. PLANT TWO STAGGERED ROWS OF EVERGREEN TREES, MIN. HEIGHT 5 FT. ON 12' CENTERS. SEE LANDSCAPE SCHEDULE SH. 2 OF 5.



BENCH MARK
BENCH MARK T.7 ELEV. 498.383
DESCRIPTION: FIRE HYDRANT BONNET 20 FT. S. CORNER OF SOUTH HAVEN DRIVE.



A = 0.68 ft
WP = 3.0
HR = 1.17
SL = 15%
n = 0.035
V = 5.04 ft
R_{req} = 3.42 CFS / 2.04 CFS REQ.



A = 0.92 ft
WP = 4.16
HR = 0.22
SL = 10% AVG.
n = 0.035
V = 4.89 ft
R_{req} = 4.50 CFS / 9.45 CFS REQ.

GENERAL NOTES:

- AREA OF SITE: 4.37 AC.
- AREA OF SUBMISSION: 1.6 AC.
- PARCEL OR PLAT REF.: 1 D.R. L297 F 485
- OWNER/DEVELOPER: RICHARD A. JONES, 8440 GROVE ANGLE RD, ELLICOTT CITY, MD. 21043, 301-465-0647
- ZONING CLASSIFICATION: B-1
- TAX MAP: 31 ZONING MAP: 31
- SITE USE PROPOSED: RETAIL STORES
- PUBLIC WATER AND SEWER: ~~SEE DETAIL~~
- DENSITY CALCULATIONS:

	S.F.	AC.	PERCT.
A. AREA OF SITE	69,896	1.6 AC.	15%
B. BUILDING COVERAGE	10,400	0.24	34%
C. PAVING	29,264	0.67	51%
D. OPEN SPACE	35,832	0.82	51%
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES.
- DEVELOPER SHALL REPAIR ANY DAMAGE TO COUNTY RAW OR PAVING CAUSED BY WORK ON THIS PROJECT. COST OF REPAIR SHALL BE AT DEVELOPER'S EXPENSE.
- NOTIFY HO. CO. DEPT. OF PERMITS & INSPECTIONS PRIOR TO BEGINNING WORK.
- PARKING ANALYSIS:

	REQUIREMENT	PROVIDED
A. PARKING SPACES REQUIRED	RETAIL 1 P.S. PER 200'	52 P.S.
B. PARKING SPACES SHOWN	200 S.F. PER SPACE	52 P.S.
- PARKING AREA LANDSCAPING REQ.: PARKING AREA: 20,800 sq ft @ 5%: 1040 sq ft 122' x 86' SHOWN

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS. HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER: *James M. Boyd* DATE: 5/22/87
 APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
 DIRECTOR: *John M. Williams* DATE: 5/25/87
 ACTING: *John F. Dwyer* DATE: 5/25/87
 CHIEF DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS. HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR: *John F. Dwyer* DATE: 5/22/87
 CHIEF BUREAU OF ENGINEERING: *Richard A. Jones* DATE: 5/22/87

APPROVED
 DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE: 5-12-87
Richard A. Jones

LEGEND

- EXIST. GRADE: (470) ---
 - FIN. GRADE: 474 - - -
 - EX. STOCK PILE: [Symbol]
 - PROP. TREES: [Symbol] SEE LANDSCAPE SCHEDULE SH. 2 OF 5
- NOTE: EXIST. STOCK PILES SHOWN ON PLAN SHALL BE USED TO BRING THIS PROJECT TO FINISHED GRADE.
 NOTE: CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 BORING LOCATION: [Symbol]

ADDRESS CHART

PARCEL NUMBER	STREET ADDRESS
36	4882 MONTGOMERY RD. (RT. 103)

SUBDIVISION NAME: RICHARD A. JONES PROP.

PARCEL NUMBER	STREET ADDRESS	SECT./AREA	TAX/PARCEL
36	4882 MONTGOMERY RD. (RT. 103)	21.0	21.0

WATER CODE: 601 SEWER CODE: 5750671

REVISION BOX - 1-3-91

NO.	DESCRIPTION	DATE	BY
1	ELIMINATE LANDSCAPE BERTS	1-3-91	
2	PROVIDE STAIRS TO EX. STOCK PILE	1-3-91	
3	ELIMINATE RIPRAP OUTSIDE SWM FACILITY		

SITE DEVELOPMENT PLAN REVISED

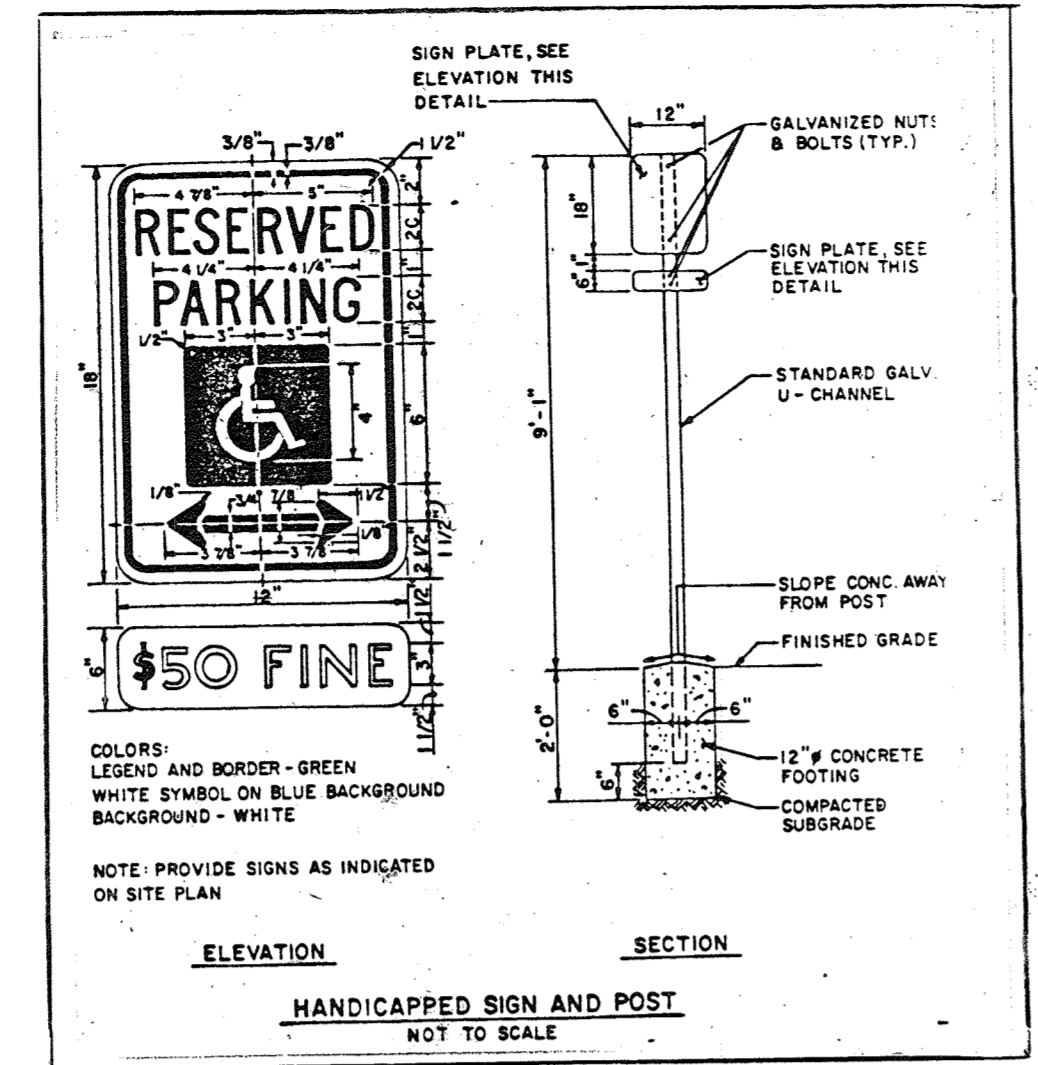
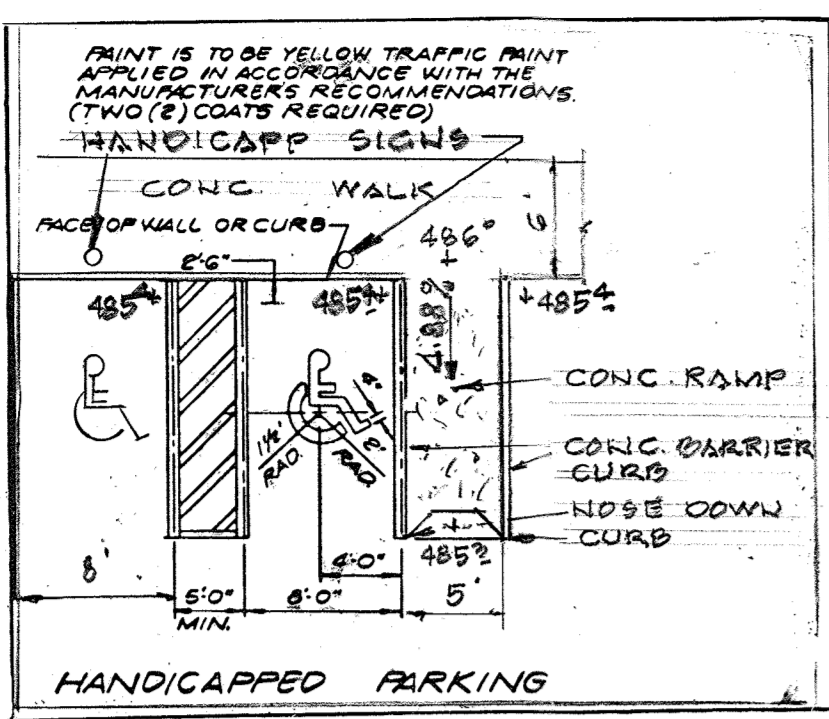
RICHARD A. JONES PROPERTY
 DEED REF. LIBER 297 FOLIO 485
 PROP. 130' X 80' BUILDING
 FOR
 RETAIL SALES-10,400 S.F.
 4882 MONTGOMERY RD. (RT. 103)
 TAX MAP 31 BLOCK 7 PARCEL 36
 2ND. DISTRICT HO. COUNTY MD.
 SCALE: 1" = 30' FEB. 1987
 OWNER: RICHARD A. JONES
 8440 GROVE ANGLE RD.
 ELLICOTT CITY, MD. 21043
 301-465-0647
 ENGINEERS:
 LAND DEVELOPMENT CONSULTANTS
 37 MT. GREEN CIRCLE
 BALTO. MD. 21207
 301-265-6543

Reviewed for HOWARD S.C.D. and meets Technical Requirements

U.S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

HOWARD S.C.D. DATE



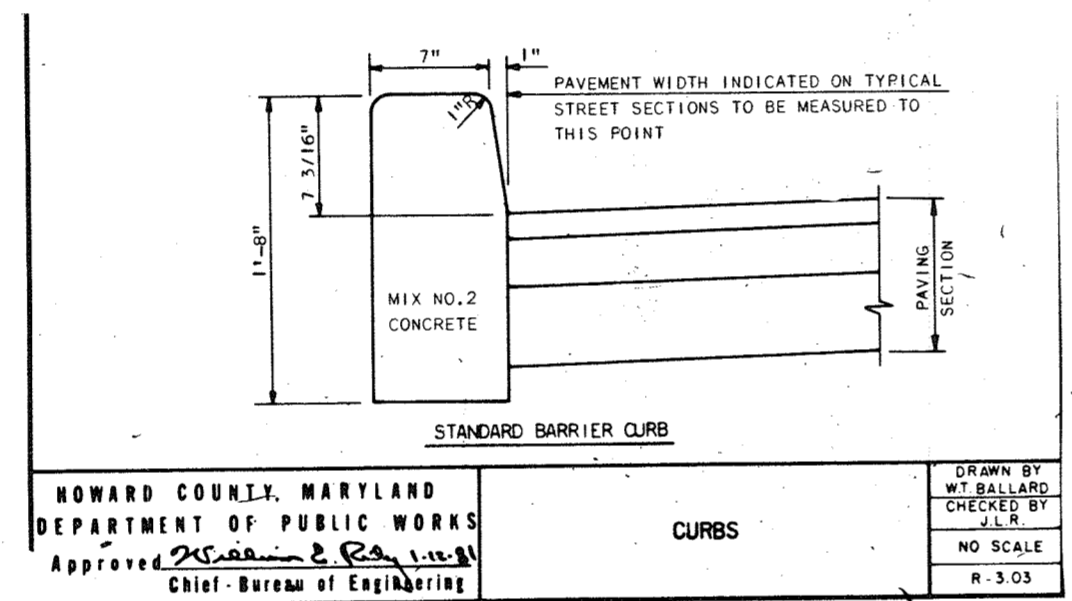
Mounting
Above sign shall be mounted directly below the standard R7-8 Reserved Parking for Handicapped sign. Its bottom edge shall be no less than 7 feet above ground. If the sign is placed against a building, structure, or other location where vehicle or pedestrian traffic is not obstructed the bottom edge of sign shall be at least 6 feet but not more than 10 feet above ground. Because this is an addition to existing sign installations, some adjustment in height will be necessary.

SPECIFICATION
Handicapped Parking Space Violation Fine Notation
Pursuant to Howard County Council Bill 58-84 which established a Fifty-Dollar (\$50.00) fine for violating provisions for Handicapped Parking and provided for posting notifications of that fine, this specification describes the sign authorized for posting and the associated mounting detail.

HANDICAPPED PARKING DETAILS
NO SCALE

SECTION NUMBER	ROAD AND STREET CLASSIFICATION	PAVEMENT MATERIALS	
		FULL DEPTH BIT. CONC. ALTERNATE	GRAVEL BASE ALTERNATES
P-1	PARKING AREAS AND TRAVELWAYS APARTMENTS AND COMMERCIAL INDUSTRIAL ZONES WITH NO HEAVY TRUCKS	1" BIT. CONC. SURFACE 4" BIT. CONC. BASE	1" BIT. CONC. SURFACE PRIME 2" ENGRAINED SAND WITH LEAKAGE OR 4" DEEP GRAVEL STABILIZED AGGREGATE BASE COURSE

ON-SITE PAVING SECTION
NO SCALE



ON-SITE CURB
NO SCALE

LANDSCAPE SCHEDULE						
SYMBOL	NAME	COMMON NAME	EVERGREEN	HEIGHT	CALIPER	SPACING
1	PINUS STROBUS	WHITE PINE	E	5-6'	2 1/2"	MIN. 30 C70C
2	PINUS SYLVESTRIS	SCOTCH PINE	E	5-6'	2 1/2"	AS NOTED ON PLAN
3	PYRUS GULLERYANA BRADFORD	BRADFORD PEAR	D	4-5'	2 1/2"	AS SHOWN
4	PRUNUS YEDO	YOSHINO CHERRY	D	4-5'	2"	"
5	CORNUS RACMOsa	GRAY DOGWOOD	D	4-5'	2"	"

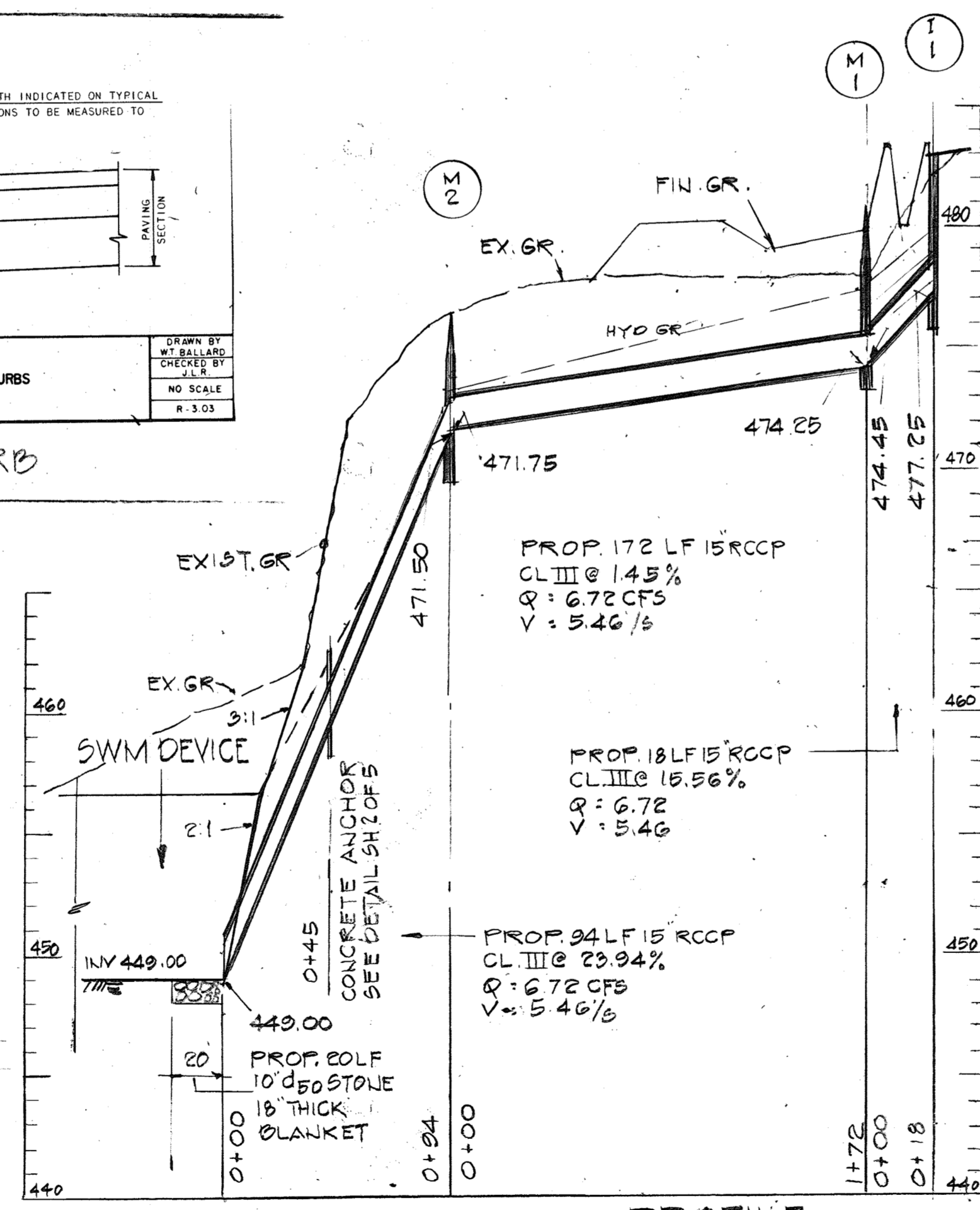
REVISION BOX
1. ADDED CONC. RAMP TO HANDICAPPED DETAIL
4-1-87

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,
HOWARD COUNTY HEALTH DEPARTMENT
Janet Boyd 5/22/87
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
John W. M... 5-25-87
DIRECTOR DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE,
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
John C. N... 5-21-87
DIRECTOR DATE

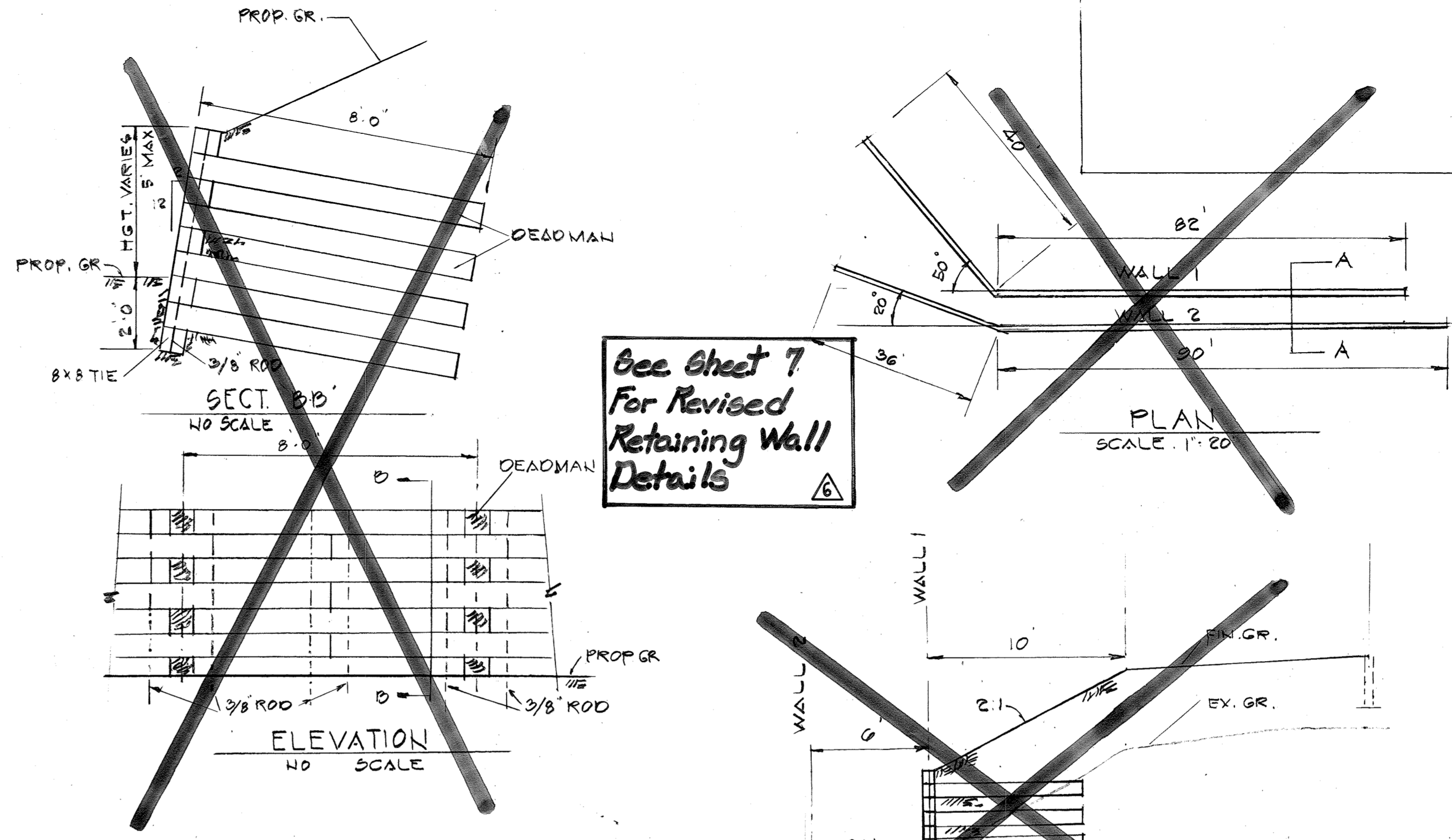
APPROVED
DIVISION OF LAND DEVELOPMENT &
ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 5-12-87
10/87



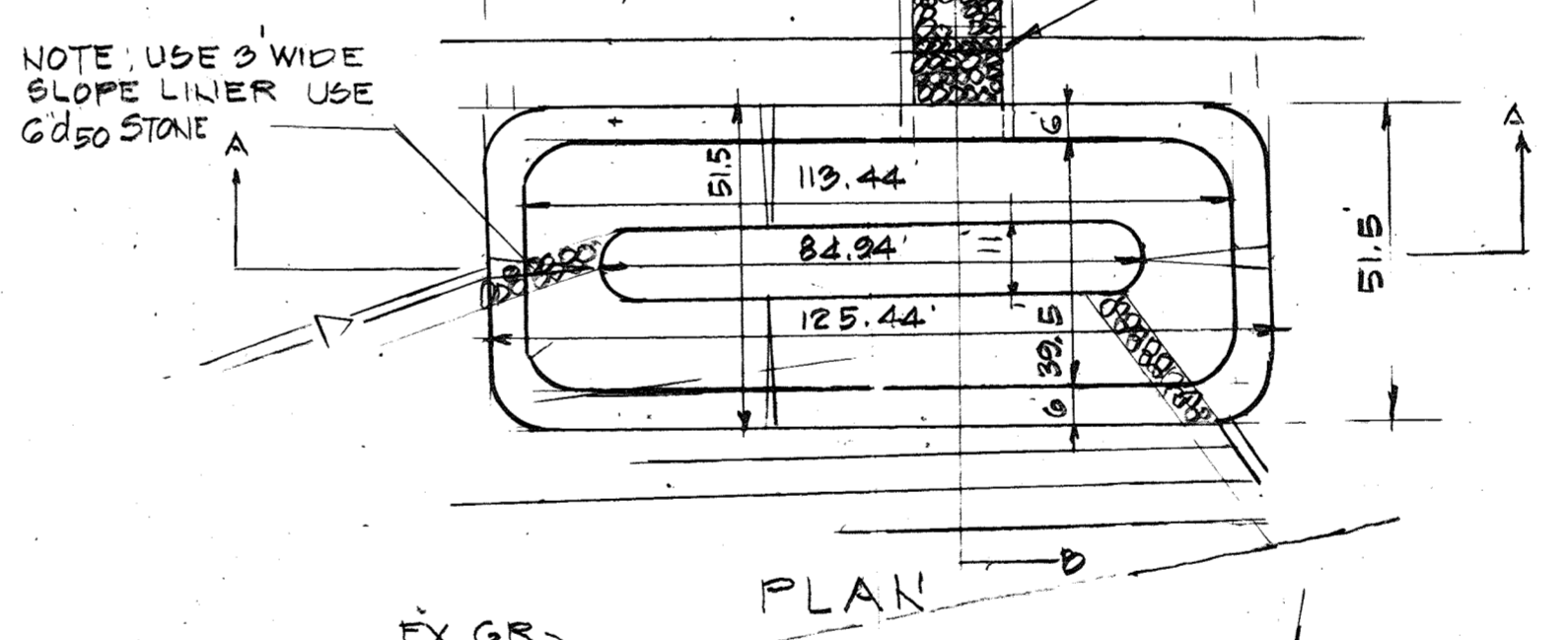
PROFILE
SCALE HOR 1" = 50'
VERT 1" = 5'

STRUCTURE SCHEDULE				
NO.	TYPE	INVIN	INV. OUT	TOP EL.
T-1	OLD TYPE'S INLET SEE HO. CO. DETAIL S.D. 4.23	-	477.25	483.00
M-1	TYPE A-1 MANHOLE	S.D. 3.01	474.45	474.25
M-2	TYPE A-1 MH	S.D. 3.01	471.75	471.50

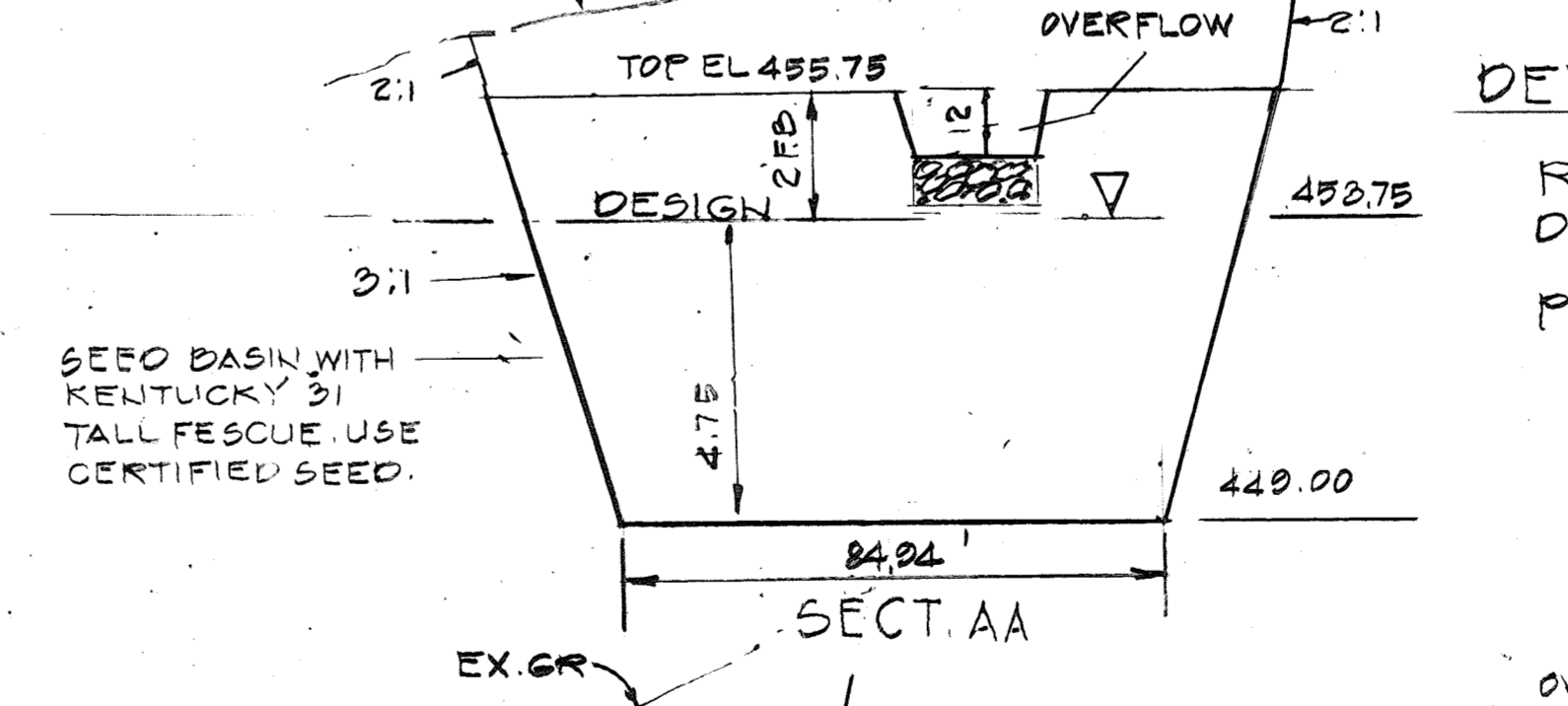
NOTE: ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH HOWARD COUNTY DETAILS & SPECIFICATIONS, LATEST EDITION.



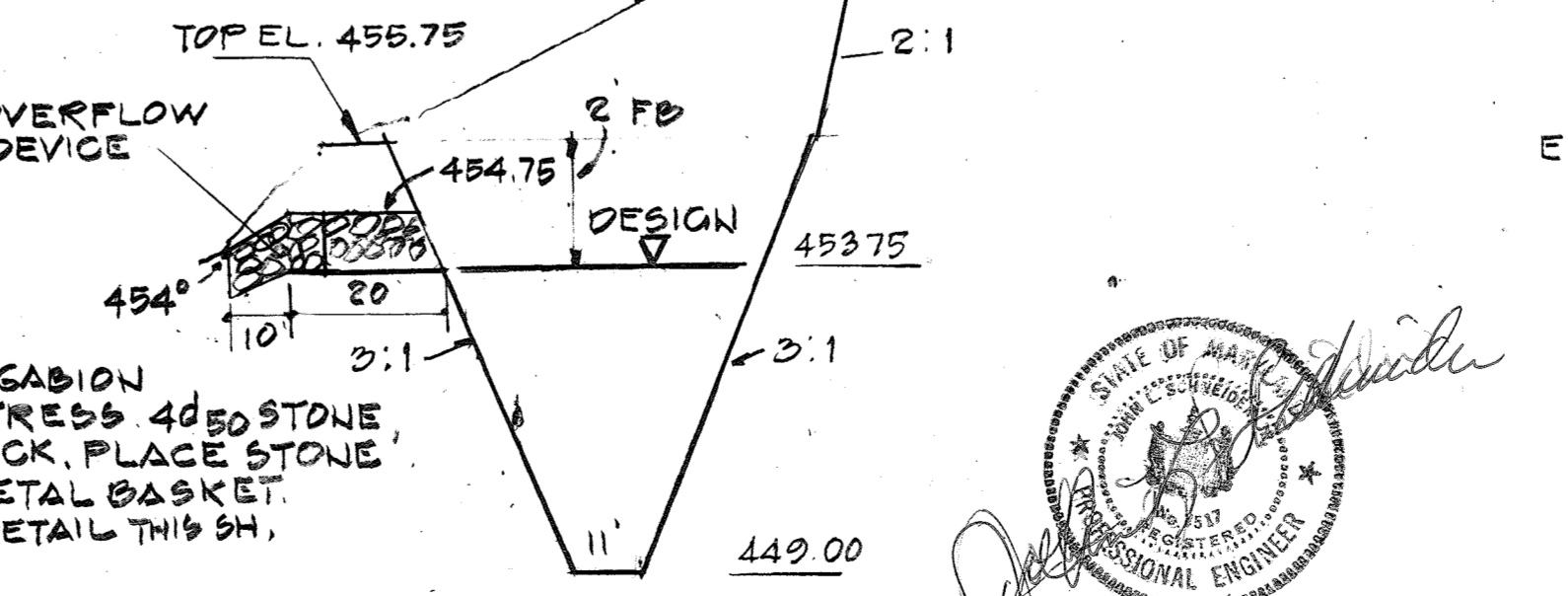
RAILROAD TIE RETAINING WALL
SCALE AS SHOWN



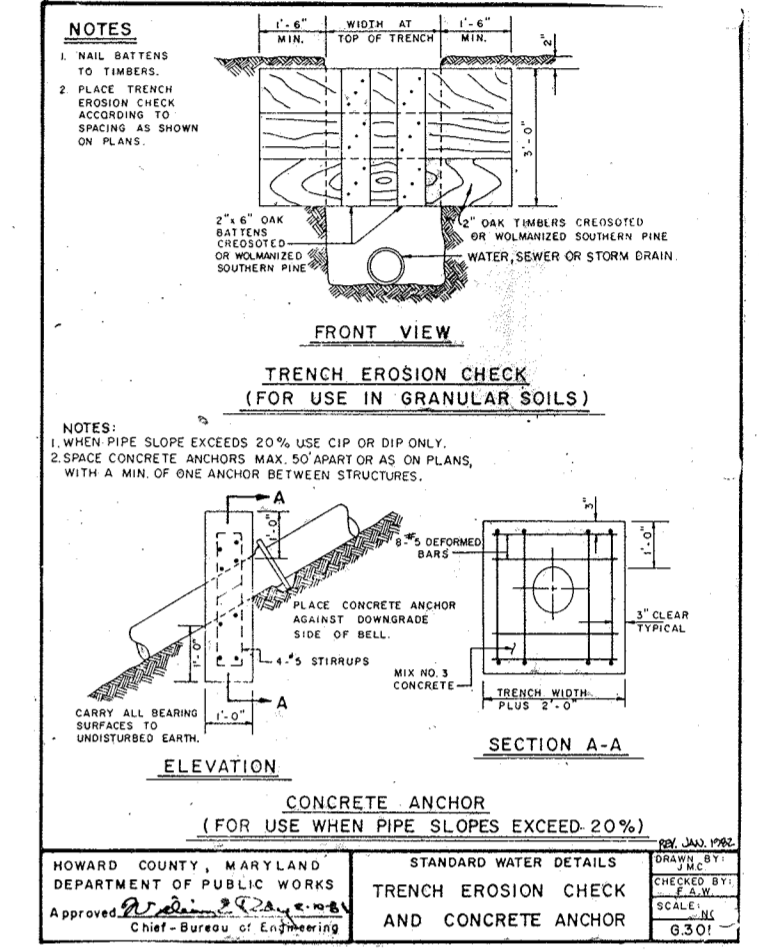
PLAN



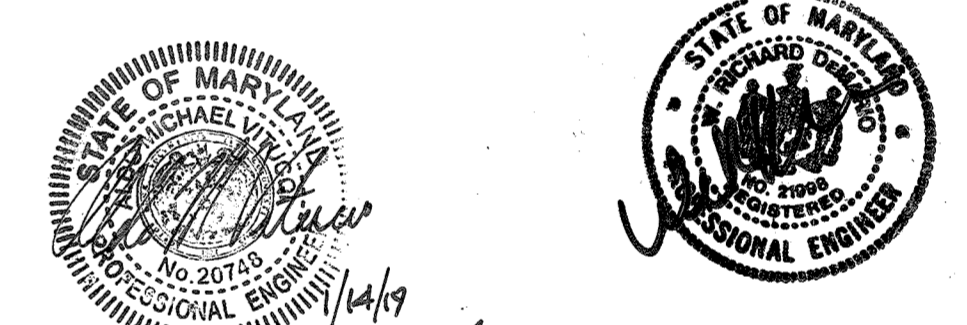
SECT. AA



SECT. BB
STORM WATER MANAGEMENT DETAILS
SCALE HOR 1" = 30' VERT 1" = 5'



TRENCH EROSION CHECK
(FOR USE IN GRANULAR SOILS)



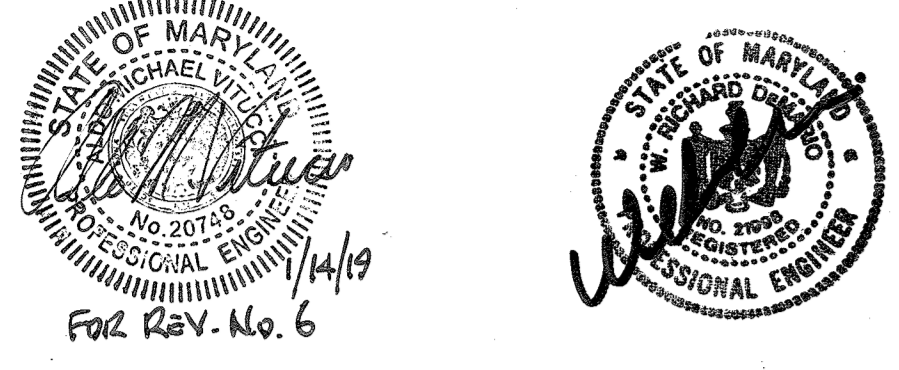
No.	Revisions Description	Date
6	Add Sheets 6-8 For New Retaining Wall	1/16/19

DETAILS & SPECIFICATIONS FOR THE (REVISED)

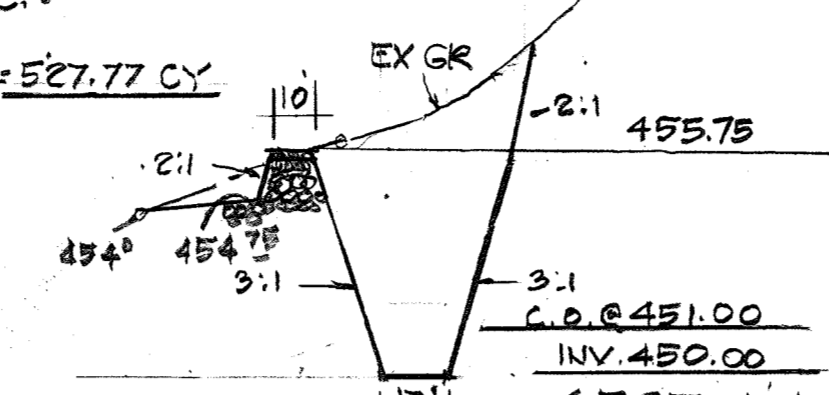
RICHARD A. JONES PROPERTY
DEED REF. L 297 F 485
PROPOSED 130' x 80' BUILDING
FOR
RETAIL SALES - 10,400 SF.
4882 MONTGOMERY RD. (RT 103)
TAX MAP 31 BLOCK 7 PARCEL 36
END. DISTR. HO. CO. MD.
SCALE AS SHOWN FEB. 1987
OWNER: RICHARD A. JONES
8440 GROVE ANGLE RD
ELLICOTT CITY MD 21043
301-466-0647
ENGINEERS:
LAND DEVELOPMENT CONSULTANTS
37 MT. GREEN CIRCLE
BALTO. MD. 21207
301-265-6543

S.D.P. 87-159

Revisions		
No.	Description	Date
6	Add sheets 6-8 For New Retaining Wall	1/16/19



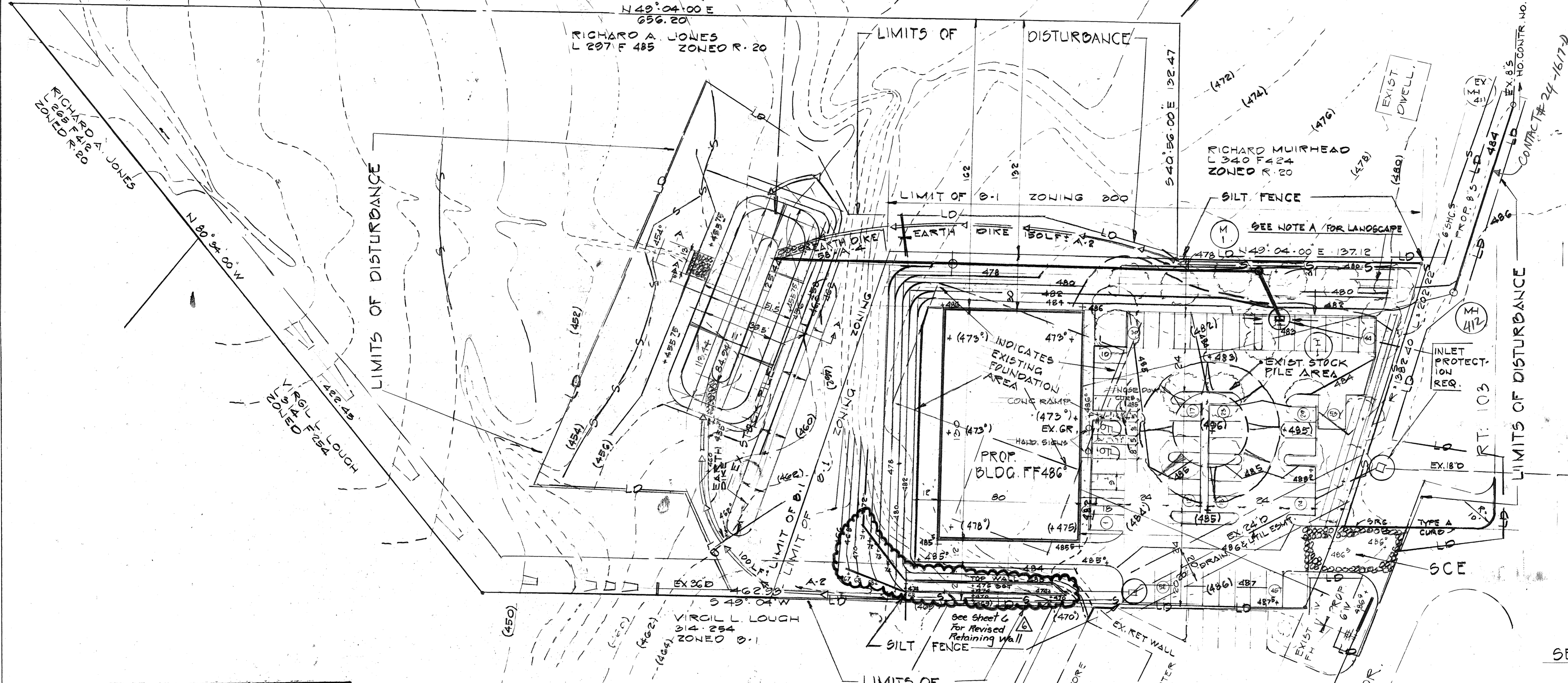
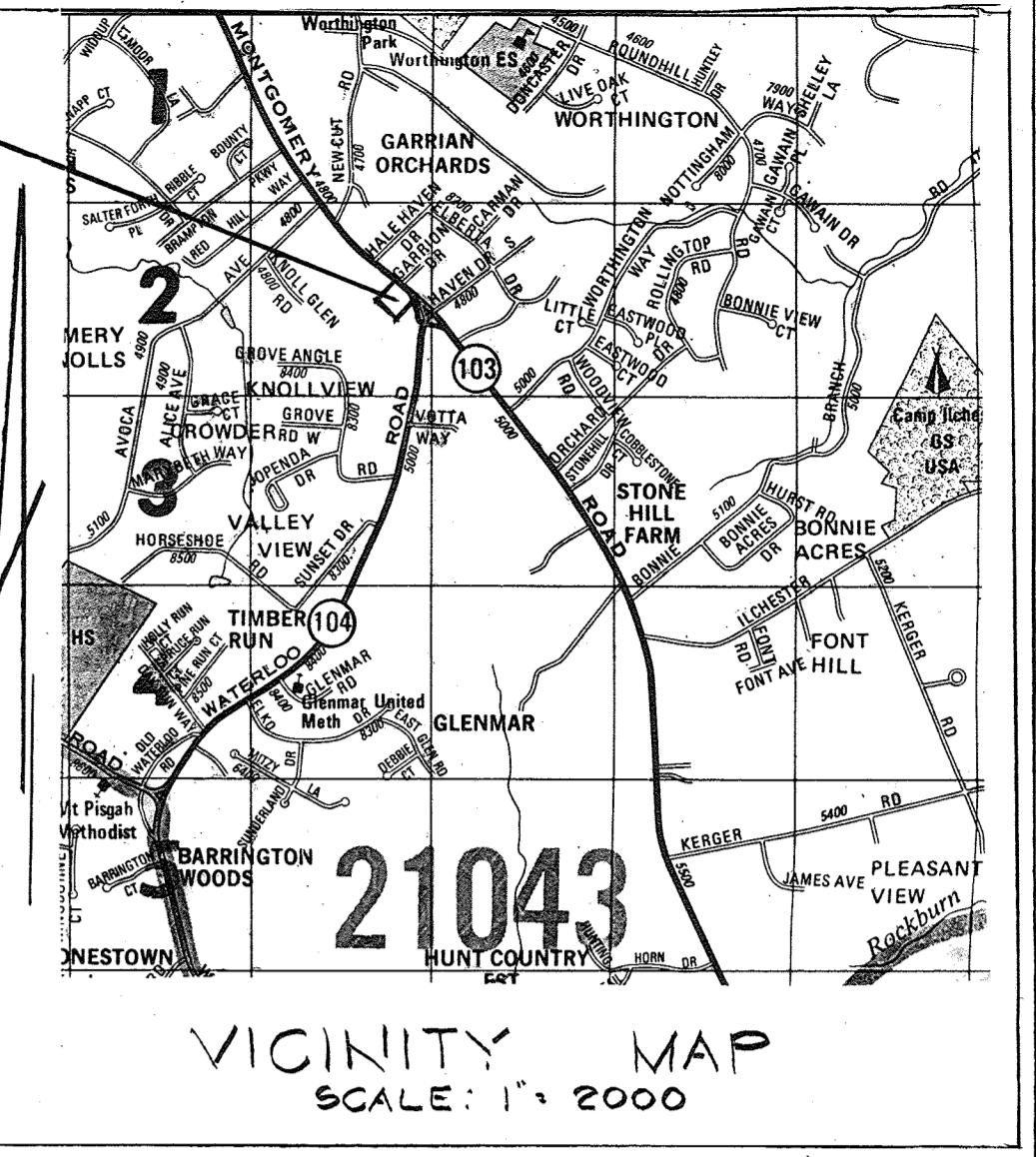
TRAP NO 1
 TYPE AS SHOWN
 DRAINAGE AREA - 2.22 AC.
 STO. REQ. 149 CY
 STO. PROVIDED 14250 CF = 527.77 CY
 OUTLET WIDTH 12"
 CLEANOUT EL 451.00



SECT A A
 STONE OUTLET SEDIMENT TRAP NO. 1
 SCALE: HOR: 1" = 50'
 VERT: 1" = 5'

NOTE: STONE OUTLET SED. TRAP TO BE CONVERTED TO SWM INFILTRATION BASIN AFTER STABILIZATION OF SITE.

NOTE A.
 LANDSCAPE PLANTING ADJACENT TO R. MUIRHEAD PROPERTY SHALL BE:
 1. 3' HIGH EARTHEN BERM, PROVIDE OPENING IN BERM FOR DRAINAGE.
 2. PLANT TWO STAGGERED ROWS OF EVERGREEN TREES MIN. HEIGHT 5 FT. ON 12' CENTERS



() Reviewed for HOWARD S.C.D. and meets Technical Requirements
James M. Nelson 5-20-87
 U.S. Soil Conservation Service Date
 () THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT
Stephen L. Huber 5/20/87
 Howard S.C.D. Date

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
 HOWARD COUNTY HEALTH DEPARTMENT
James M. Nelson 5/22/87
 COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
John W. M... .. 5-25-87
 DIRECTOR DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE.
 STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
John W. M... .. 5-25-87
 CHIEF DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE.
 STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
John W. M... .. 5-22-87
 DIRECTOR DATE

Stephen L. Huber 5-22-87
 CHIEF BUREAU OF ENGINEERING DATE

APPROVED
 DIVISION OF LAND DEVELOPMENT &
 ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE 5-12-87
M. J. L...

LEGEND
 EXIST. GRADE --- (478)
 FIN. GRADE --- 480
 LIMITS OF DISTURBANCE --- LD --- LD
 EARTH DIKE --- A-2 --- A-2
 SILT FENCE --- S --- S
 STABILIZED CONSTRUCTION ENTRANCE --- SCE --- SCE
 EXIST. STOCK PILE --- [Symbol] --- [Symbol]
 INLET PROTECTION REQ. --- [Symbol] --- [Symbol]

NOTE: EXISTING STOCK PILES SHOWN ON PLAN SHALL BE USED TO BRING THIS PROJECT TO FINISHED GRADE.

NOTE: ENTIRE SITE = Cmb₂ CHILLUM SILT LOAM BORINGS BY NATIONAL FOUNDATION ENGR INC

ADDRESS CHART	
PARCEL LOT NUMBER	STREET ADDRESS
36	4882 MONTGOMERY RD. (RT.103)

SUBDIVISION NAME		SECT./AREA	LOT/PARCEL
RICHARD A. JONES PROP.			36
BL 4546 L/F BLOCK 2088 TAX/ZONE MAP/ELEC. DIST./CENSUS TR.			
L 297 F 485	7 B. 10	21	2ND 202 302
WATER CODE 601		SEWER CODE 5750671	

SEDIMENT CONTROL PLAN (REVISED)

RICHARD A. JONES PROPERTY
 DEED REF. LIBER 297 FOLIO 485
 PROP. 130' X 80' BUILDING
 FOR
 RETAIL SALES 10,400 S.F.
 4882 MONTGOMERY RD. (RT.103)
 TAX MAP 31: BLOCK 7 PARCEL 36
 2ND. DISTRICT. HO. COUNTY MD
 SCALE: 1" = 30' FEB. 1987

OWNER: RICHARD A. JONES
 2440 GROVE ANGLE RD.
 ELLICOTT CITY MD. 21043
 301-465-0647

ENGINEERS
 LAND DEVELOPMENT CONSULTANTS
 37 MT. GREEN CIRCLE
 BALTO. MD. 21207
 301-265-6543

S.D.P. 87-159 SH3 OF 8

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding.

Soil Amendments: In lieu of soil test recommendations, use one of the following schedule

- 1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 square ft) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft).
- 2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.

Seeding - For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching - Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

Maintenance - Inspect all seeded areas and make needed repairs, replacements and reseeding.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding.

Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft)

Seeding: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2 1/2 bushel per acre of annual rye (3.2 lbs/1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (.07 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

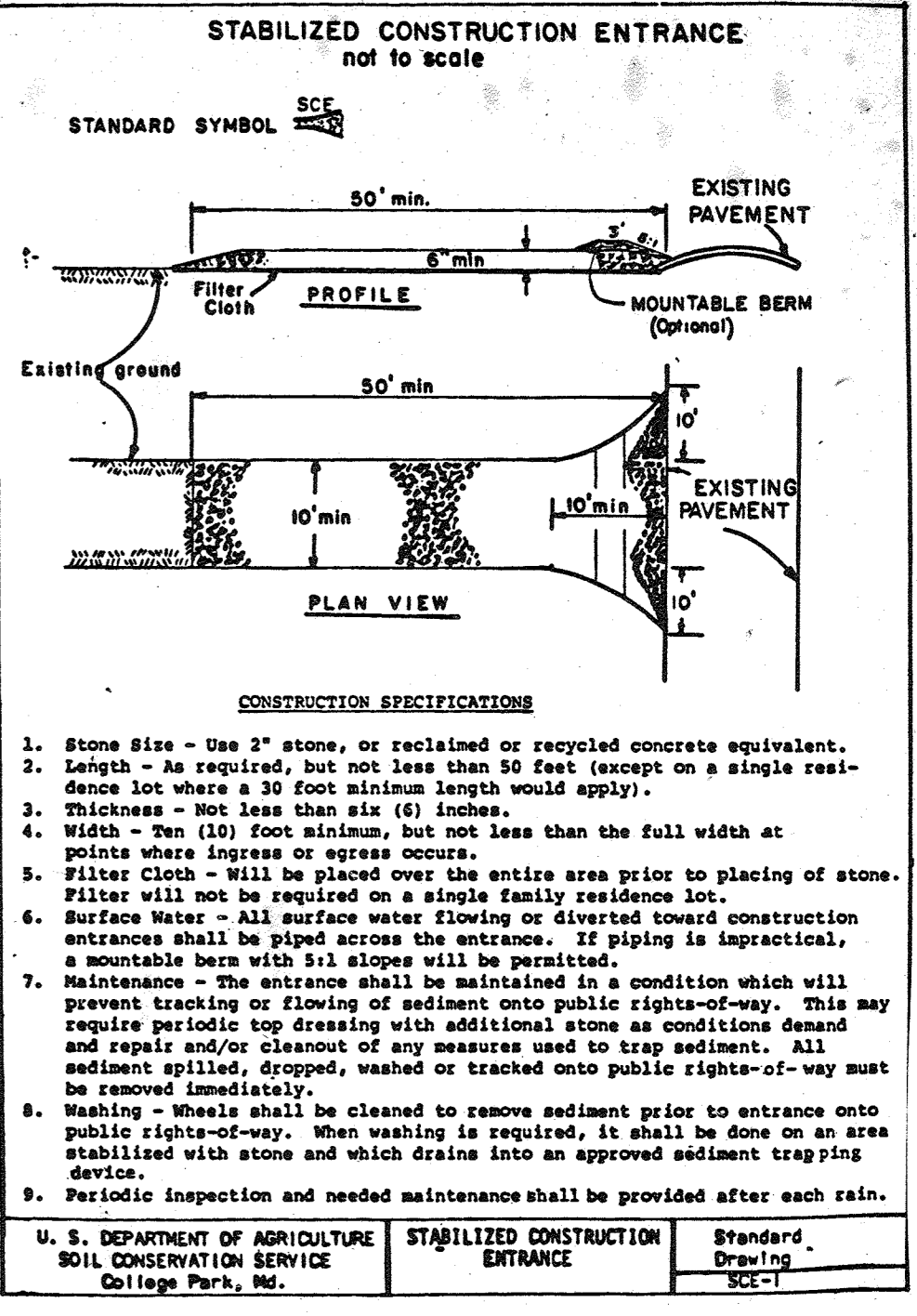
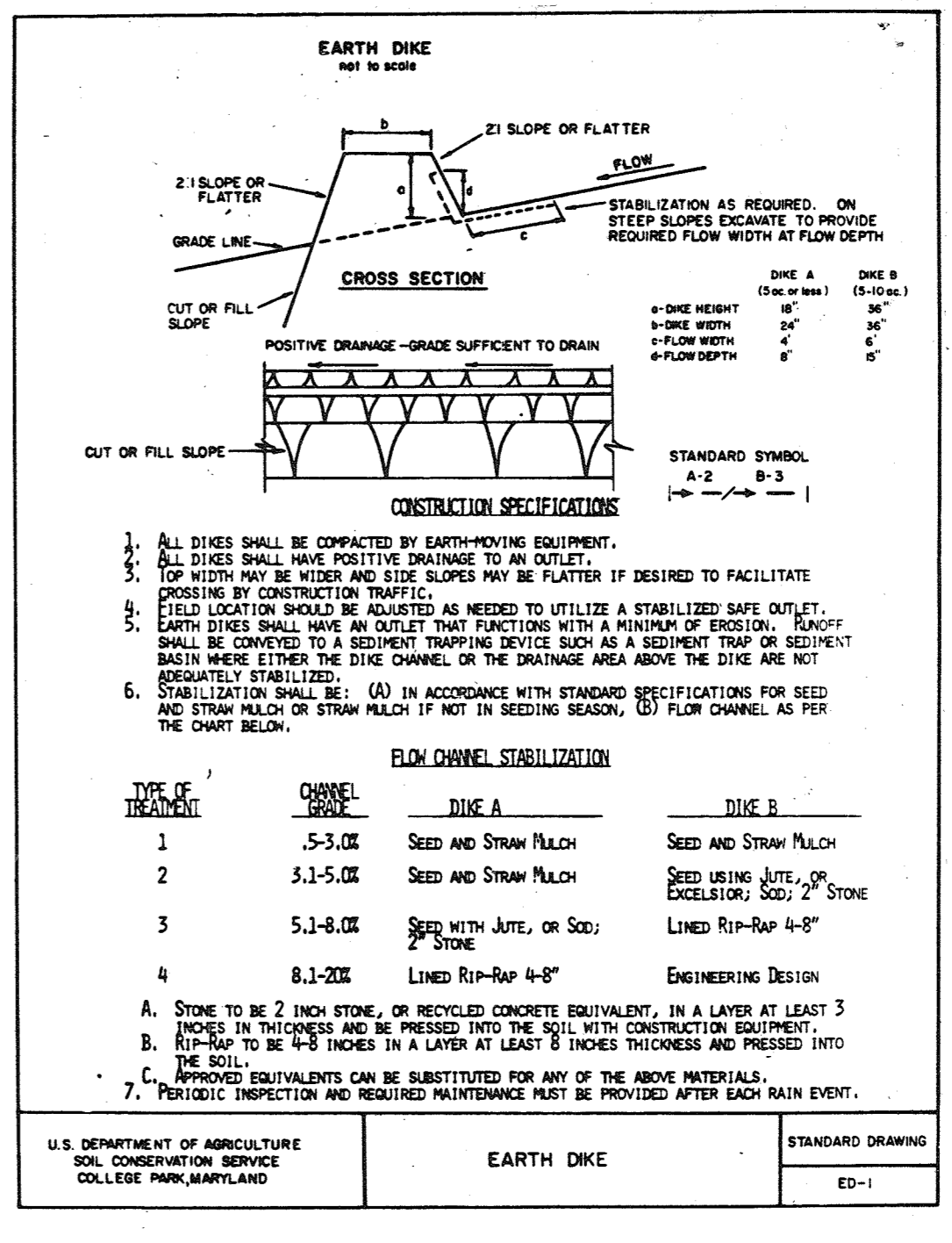
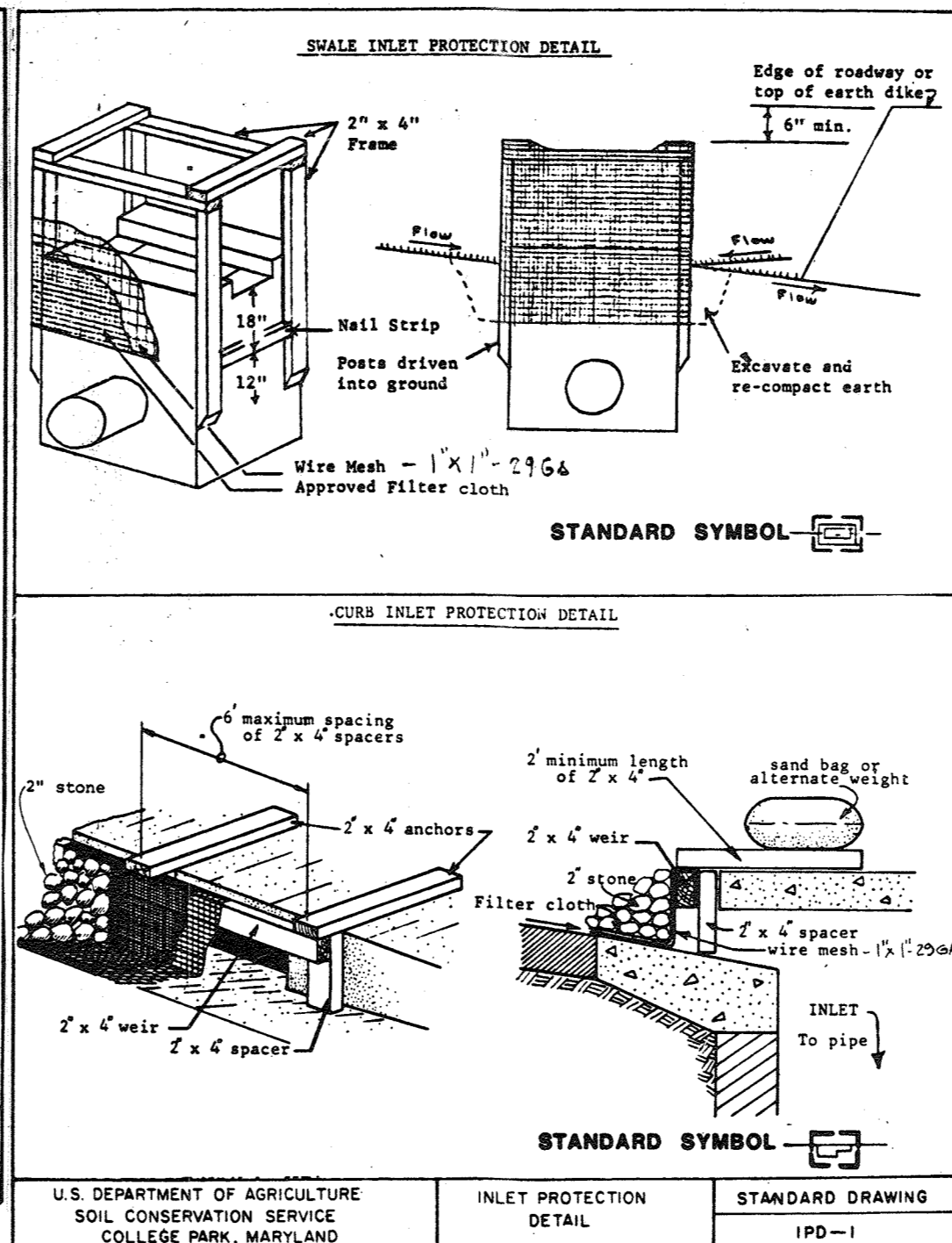
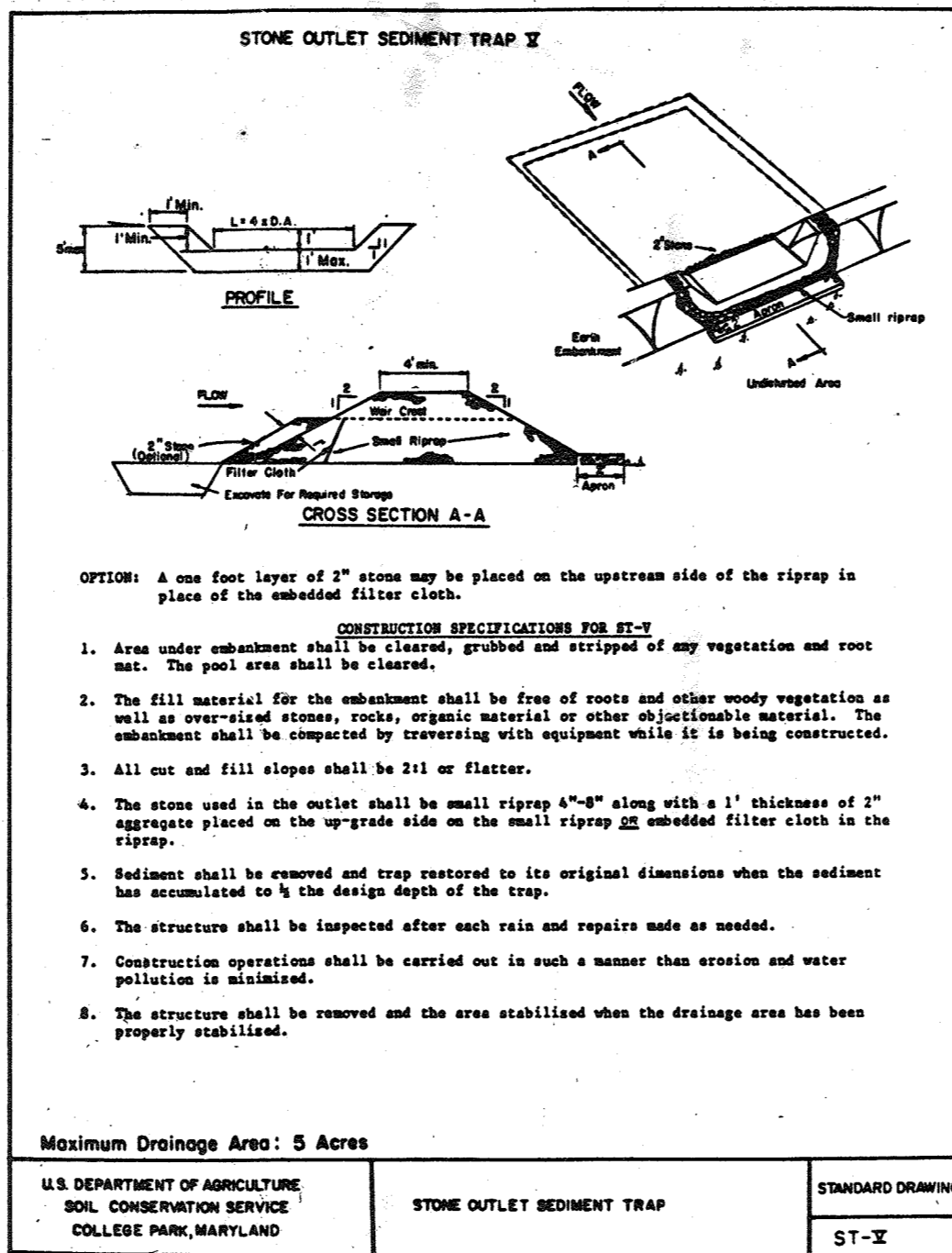
Mulching: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes, 8 ft or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.

Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

SEDIMENT CONTROL NOTES

- 1) A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (992-2437)
- 2) All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- 3) Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
- 4) All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- 5) All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 51) sod (Sec. 54), temporary seeding (Sec. 50) and mulching (Sec. 52.) Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- 6) All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- 7) Site Analysis:
Total Area of Site: 4.37 Acres
Area Disturbed: 2.2 Acres
Area to be roofed or paved: 0.78 Acres
Area to be vegetatively stabilized: 1.42 Acres
Total Cut: 9000 Cu. yds
Total Fill: 9000 Cu. yds
Offsite waste/borrow area location
- 8) Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- 9) Additional sediment controls must be provided, if deemed necessary by the Howard County DPM sediment control inspector.
- 10) On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.

Revisions		
No.	Description	Date
6	Add sheets G-8 For New Retaining Wall	1/16/19



SEQUENCE OF CONSTRUCTION

1. OBTAIN GRADING PERMIT 2WKS.
 2. CLEAR AND GRUBB FOR THE INSTALLATION OF PERIMETER CONTROLS 1WK.
 3. INSTALL SEDIMENT CONTROL MEASURES 2WKS.
 4. CLEAR & GRUBB REMAINDER OF SITE, 2WKS.
 5. ROUGH GRADE SITE, STABILIZE AS REQ. 3WKS.
 6. INSTALL UTILITIES, PROTECT INLETS. 1WK.
 7. CONSTRUCT BUILDING 6 MONTHS
 8. INSTALL SUB BASE PAVING 2 WKS
 9. INSTALL PAVING SURF COURSE & CURB. 2 WKS
 10. FINE GRADE & STABILIZE AS REQ. 3 WKS.
 11. CONVERT STONE OUTLET TRAP TO BECOME PART OF SWM BASIN. 3 WKS.
 12. MODIFY EARTH DIKE TO CHANNEL DRAINAGE TO THE SWM BASIN. 1WK.
13. AFTER FINAL INSPECTION - STAB. SITE AS REQ. REMOVE SED. MEASURES AFTER PERMISSION FROM THE HO. CO. SEDIMENT CONTROL INSPECTOR.

APPROVED
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 5-12-87

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT.

JOYCE B. BRYAN
COUNTY HEALTH OFFICER
DATE 5/22/87

JOHN W. MULLIN
DIRECTOR
DATE 5-12-87

JOHN F. DUNN
CHIEF DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION
DATE 5-12-87

STEVE F. NUNN
DIRECTOR
DATE 5-22-87

CHIEF BUREAU OF ENGINEERING
DATE 5-22-87

SEDIMENT CONTROL DETAILS (REVISED)

RICHARD A. JONES PROPERTY
DEED REF. L297 F488
PROP. 130 x 80' BLDG.

FOR
RETAIL SALES - 10,400 S.F.
4882 MONTGOMERY RD. (RT 102)
TAX MAP 31 BLOCK 7 PAR. 86
2ND. DISTR. HO. CO. MD.
SCALE: AS SHOWN FEB. 23, 1987

OWNER: RICHARD A. JONES
8440 GROVE ANGLE RD.
ELLCOTT CITY, MD. 21043
301-463-0647

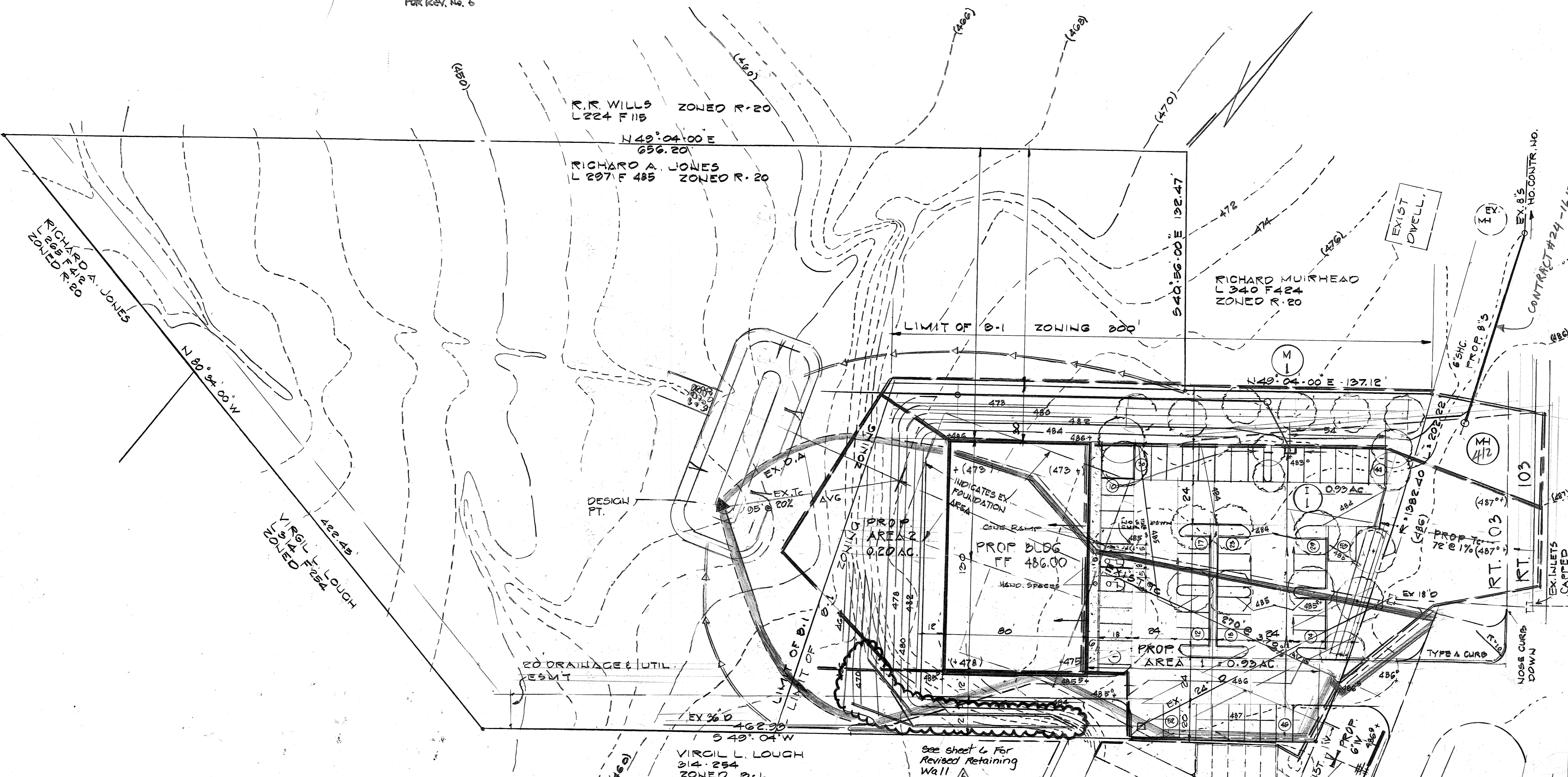
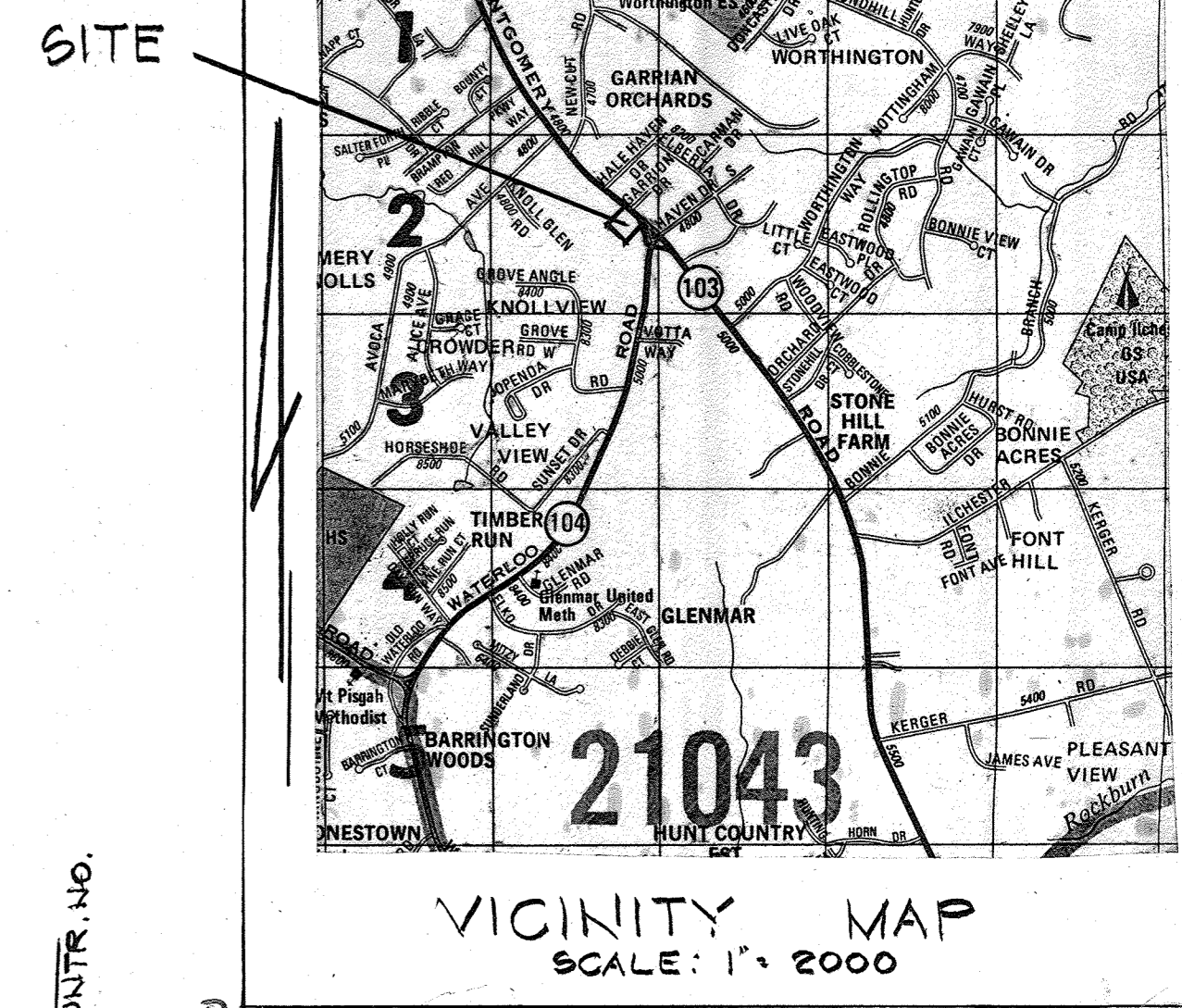
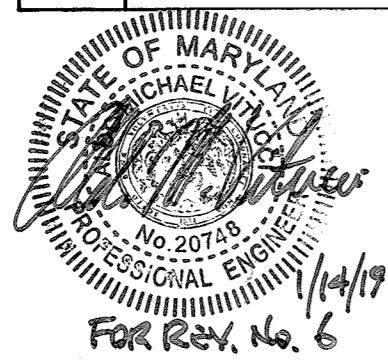
ENGINEERS:
LAND DEVELOPMENT CONSULTANTS
37 MT. GREEN CIRCLE
BALTO. MD 21207
301-265-6543

SDP 87-159

SH. 4 OF 8

SDP-87-159

No.	Revisions Description	Date
6	Add Sheets C-B For New Retaining Wall	7/16/79



APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER: *[Signature]* DATE: 5/22/87

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
 DIRECTOR: *[Signature]* DATE: 5-25-87

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR: *[Signature]* DATE: 5-22-87

APPROVED
 DIVISION OF LAND DEVELOPMENT &
 ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE: 5-12-87
[Signature]

LEGEND
 EX. GRADE --- (460) ---
 FIN. GRADE 485
 EXIST. DRAINAGE AREA: --- D.A. ---
 PROP. " " " " " "

ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
	4882 MONTGOMERY RD. (RT.103)

SUBDIVISION NAME		SECT./AREA	LOT/PARCEL
PLAT/L/F BLOCK #	TAX/ZONE MAP/ELEC. DIST.	36	36
WATER CODE	SEWER CODE		

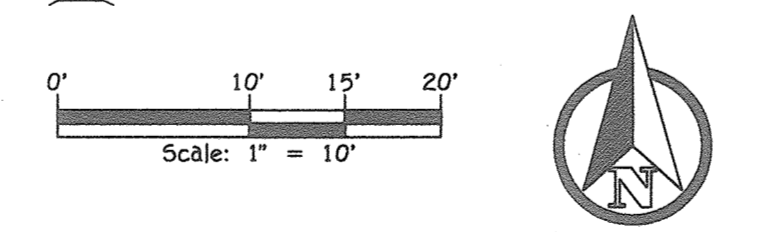
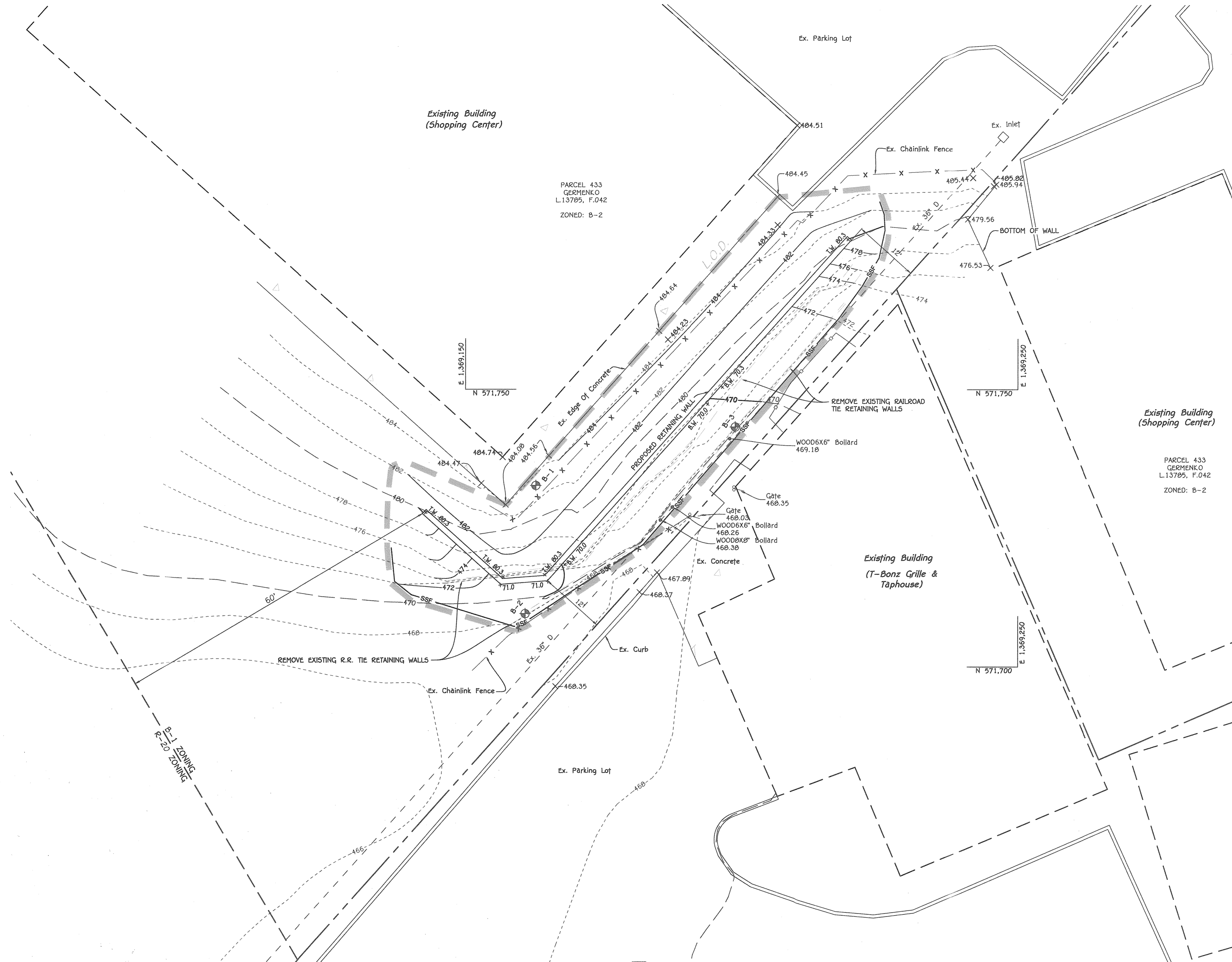
DRAINAGE AREA MAP REVISED
 RICHARD A. JONES PROPERTY-
 DEED REF. LIBER 297 FOLIO 485
 PROP. 130' X 80' BUILDING
 FOR
 RETAIL SALES 10,400 S.F.
 4882 MONTGOMERY RD. (RT. 103)
 TAX MAP 31, BLOCK 7, PARCEL 36
 2ND. DISTRICT, HO. COUNTY, MD.
 SCALE: 1" = 30' FEB. 1987

OWNER: RICHARD A. JONES
 2440 GROVE ANGLE RD.
 ELLICOTT CITY, MD. 21043
 301-465-0647

ENGINEERS:
 LAND DEVELOPMENT CONSULTANTS
 37 MT. GREEN CIRCLE
 BALTO. MD. 21207
 301-265-6543

S.D.P. SH 3 OF 8

REVISION BOX
 1-CHANGED LOCATION OF HANDICAPPED PARKING SPACES 9-1-87



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLESMERE CITY, MARYLAND 21142
 (410) 461-2995

NO.	REVISION	DATE

ENGINEER'S CERTIFICATE
 "I certify that the plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
 Signature of Engineer: *[Signature]* Date: 1/14/19
 Signature of Developer: *[Signature]* Date: 1-21-19

BUILDER/DEVELOPER'S CERTIFICATE
 "I/We certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."
 Signature of Developer: *[Signature]* Date: 1-21-19

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
 Signature: *[Signature]* Date:
 Signature: *[Signature]* Date:
OWNER
 ALEXANDER E. ADAMS & BETTY ADAMS SMITH (TRUSTEES)
 P.O. BOX 358
 GLENELG, MARYLAND 21737

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Signature: <i>[Signature]</i>	Date: 2-6-19
Chief, Division of Land Development	
Signature: <i>[Signature]</i>	Date: 2-1-19
Chief, Development Engineering Division	
Signature: <i>[Signature]</i>	Date: 2-7-19
Director - Department of Planning and Zoning	

PROJECT	SECTION	PARCEL NO.
RICHARD A. JONES PROPERTY	N/A	36

LIBER/FOLIO BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
L. 297/F. 405	7	B-1 & R-20	31	2ND.
				6023.02

REVISED RETAINING WALL PLAN VIEW
 RICHARD A. JONES PROPERTY
 DEED REF. LIBER 297 FOLIO 405
 FOR
 RETAIL SALES - 10,400 S.F.
 4082 MONTGOMERY RD. (RT. 103)
 TAX MAP 31 BLOCK 7 PARCEL 36
 2ND. DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN
 DATE: JANUARY 16, 2019
 SHEET 6 OF 8

SPECIFICATIONS MODULAR CONCRETE BLOCK RETAINING WALL

1.01 GENERAL

1.01 DESCRIPTION

- A. WORK SHALL CONSIST OF FURNISHING AND CONSTRUCTION OF A MODULAR RETAINING WALL SYSTEM IN ACCORDANCE WITH THESE SPECIFICATIONS AND IN REASONABLY CLOSE CONFORMITY WITH THE LINES, GRADES, DESIGN, AND DIMENSIONS SHOWN ON THE PLANS.
- B. WORK INCLUDES PREPARING FOUNDATION SOIL, FURNISHING AND INSTALLING LEVELING PAD, UNIT DRAINAGE FILL AND BACKFILL TO THE LINES AND GRADES SHOWN ON THE CONSTRUCTION DRAWINGS.
- C. WORK INCLUDES FURNISHING AND INSTALLING GEOGRID SOIL REINFORCEMENT OF THE TYPE, SIZE, LOCATION, AND LENGTHS DESIGNATED ON THE CONSTRUCTION DRAWINGS.

1.02 DELIVERY, STORAGE AND HANDLING

- A. CONTRACTOR SHALL CHECK ALL MATERIALS UPON DELIVERY TO ASSURE THAT THE PROPER TYPE, GRADE, COLOR, AND CERTIFICATION HAS BEEN RECEIVED.
- B. CONTRACTOR SHALL PROTECT ALL MATERIALS FROM DAMAGE DUE TO JOB SITE CONDITIONS AND IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. DAMAGED MATERIALS SHALL NOT BE INCORPORATED INTO THE WORK.

2.01 PRODUCTS

2.01 MODULAR CONCRETE RETAINING WALL UNITS

- A. MODULAR CONCRETE UNITS SHALL CONFORM TO THE FOLLOWING ARCHITECTURAL REQUIREMENTS:
FACE COLOR - COLOR MAY BE SPECIFIED BY THE OWNER.
FACE FINISH - SCULPTURED ROCK FACE IN ANGULAR TRI-PLANE OR FLAT CONFIGURATION. OTHER FACE FINISHES WILL NOT BE ALLOWED WITHOUT WRITTEN APPROVAL OF OWNER.
BOND CONFIGURATION - RUNNING WITH BONDS NOMINALLY LOCATED AT MIDPOINT VERTICALLY ADJACENT UNITS, IN BOTH STRAIGHT AND CURVED ALIGNMENTS.
EXPOSED SURFACES OF UNITS SHALL BE FREE OF CHIPS, CRACKS OR OTHER IMPERFECTIONS WHEN VIEWED FROM A DISTANCE OF 10 FEET UNDER DIFFUSED LIGHTING.
- B. MODULAR CONCRETE MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C1372 - STANDARD SPECIFICATIONS FOR SEGMENTAL RETAINING WALL UNITS.
- C. MODULAR CONCRETE UNITS SHALL CONFORM TO THE FOLLOWING STRUCTURAL AND GEOMETRIC REQUIREMENTS MEASURED IN ACCORDANCE WITH APPROPRIATE REFERENCES:
COMPRESSIVE STRENGTH = 3000 PSI MINIMUM;
ABSORPTION = 8% MAXIMUM (6% IN NORTHERN STATES) FOR STANDARD WEIGHT AGGREGATES;
DIMENSIONAL TOLERANCES = ±1/8" FROM NOMINAL UNIT DIMENSIONS NOT INCLUDING ROUGH SPLIT FACE, ±1/16"
UNIT HEIGHT - TOP AND BOTTOM PLANES; UNIT SIZE - 8" (H) X 18" (W) X 12" (D) MINIMUM;

UNIT WEIGHT - 75 LBS/UNIT MINIMUM FOR STANDARD WEIGHT AGGREGATES;
INTER-UNIT SHEAR STRENGTH - 1000 PLF MINIMUM AT 2 PSI NORMAL PRESSURE; AT 2 PSI NORMAL FORCE;
GEOGRID/UNIT PEAK CONNECTION STRENGTH - 1000 PLF MINIMUM

D. MODULAR CONCRETE UNITS SHALL CONFORM TO THE FOLLOWING CONSTRUCTION REQUIREMENTS: (IF APPLICABLE)
VERTICAL SETBACK = 1/8" PER COURSE (NEAR VERTICAL) OR 1" PER COURSE PER THE DESIGN, ALIGNMENT AND GRID POSITIONING MECHANISM - FIBERGLASS PINS, TWO PER UNIT MINIMUM;
MAXIMUM HORIZONTAL GAP BETWEEN ERECTED UNITS SHALL BE - 1/2 INCH.

2.02 SHEAR CONNECTORS (IF APPLICABLE)

A. SHEAR CONNECTORS SHALL BE 1/2 INCH DIAMETER THERMOSET ISOPHTHALIC POLYESTER RESIN-PROTRUDED FIBERGLASS REINFORCEMENT RODS OR EQUIVALENT TO PROVIDE CONNECTION BETWEEN VERTICAL AND HORIZONTALLY ADJACENT UNITS. STRENGTH OF SHEAR CONNECTORS BETWEEN VERTICAL ADJACENT UNITS SHALL BE APPLICABLE OVER A DESIGN TEMPERATURE OF 10 DEGREES F TO +100 DEGREES F. B. SHEAR CONNECTORS SHALL BE CAPABLE OF HOLDING THE GEOGRID IN THE PROPER DESIGN POSITION DURING GRID PRE-TENSIONING AND BACKFILLING.

2.03 BASE LEVELING PAD MATERIAL

A. MATERIAL SHALL CONSIST OF A COMPACTED #57 CRUSHED STONE BASE AS SHOWN ON THE CONSTRUCTION DRAWINGS.

2.04 UNIT DRAINAGE FILL

A. UNIT DRAINAGE FILL SHALL CONSIST OF #57 CRUSHED STONE

2.05 REINFORCED BACKFILL

A. REINFORCED BACKFILL SHALL BE TYPE SM, FREE OF DEBRIS AND MEET THE FOLLOWING GRADATION TESTED IN ACCORDANCE WITH ASTM D-422 AND MEET OTHER PROPERTIES SHOWN ON THE PLAN.

SILO SIZE	PERCENT PASSING
2 INCH	100-75
3/4 INCH	100-75
NO. 40	0-60
NO. 200	0-35

PLASTICITY INDEX (PI) <10 AND LIQUID LIMIT <35 PER ASTM D-4318.

B. MATERIAL CAN BE SITE EXCAVATED SOILS WHERE THE ABOVE REQUIREMENTS CAN BE MET. UNSUITABLE SOILS FOR BACKFILL (HIGH PLASTIC CLAYS OR ORGANIC SOILS) SHALL NOT BE USED IN THE REINFORCED SOIL MASS.

2.06 GEOGRID SOIL REINFORCEMENT

A. GEO SYNTHETIC REINFORCEMENT SHALL CONSIST OF GEOGRIDS MANUFACTURED SPECIFICALLY FOR SOIL

REINFORCEMENT APPLICATIONS AND SHALL BE MANUFACTURED FROM HIGH TENACITY POLYESTER YARN.

2.07 DRAINAGE PIPE

A. THE DRAINAGE PIPE SHALL BE PERFORATED CORRUGATED HDPE PIPE MANUFACTURED IN ACCORDANCE WITH ASTM D-1248.

3.02 EXECUTION

3.01 EXCAVATION

A. CONTRACTOR SHALL EXCAVATE TO THE LINES AND GRADES SHOWN ON THE CONSTRUCTION DRAWINGS. OWNER'S REPRESENTATIVE SHALL BE RESPONSIBLE FOR INSPECTING AND APPROVING THE EXCAVATION PRIOR TO PLACEMENT OF LEVELING MATERIAL OR FILL SOILS.

3.02 BASE LEVELING PAD

A. LEVELING PAD MATERIAL SHALL BE PLACED TO THE LINES AND GRADES SHOWN ON THE CONSTRUCTION DRAWINGS. TO A MINIMUM THICKNESS OF 6 INCHES AND EXTEND LATERALLY A MINIMUM OF 6" IN FRONT AND BEHIND THE MODULAR WALL UNIT.

B. LEVELING PAD SHALL BE PREPARED TO INSURE FULL CONTACT TO THE BASE SURFACE OF THE CONCRETE UNITS.

3.03 MODULAR UNIT INSTALLATION

A. FIRST COURSE OF UNITS SHALL BE PLACED ON THE LEVELING PAD AT THE APPROPRIATE LINE AND GRADE. ALIGNMENT AND LEVEL SHALL BE CHECKED IN ALL DIRECTIONS AND INSURE THAT ALL UNITS ARE IN FULL CONTACT WITH THE BASE AND PROPERLY SEATED.

B. PLACE THE FRONT OF UNITS SIDE-BY-SIDE. DO NOT LEAVE GAPS BETWEEN ADJACENT UNITS. LAYOUT OF CORNERS AND CURVES SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

C. INSTALL SHEAR/CONNECTING DEVICES PER MANUFACTURER'S RECOMMENDATIONS.

D. PLACE AND COMPACT DRAINAGE FILL WITHIN AND BEHIND WALL UNITS. PLACE AND COMPACT BACKFILL SOIL BEHIND DRAINAGE FILL. FOLLOW WALL ERECTION AND DRAINAGE FILL CLOSELY WITH STRUCTURE BACKFILL.

E. MAXIMUM STACKED VERTICAL HEIGHT OF WALL UNITS, PRIOR TO UNIT DRAINAGE FILL AND BACKFILL PLACEMENT AND COMPACTION, SHALL NOT EXCEED THREE COURSES.

3.04 STRUCTURAL GEOGRID INSTALLATION

A. GEOGRID SHALL BE ORIENTED WITH THE HIGHEST STRENGTH AXIS PERPENDICULAR TO THE WALL ALIGNMENT.

B. GEOGRID REINFORCEMENT SHALL BE PLACED AT THE STRENGTHS, LENGTHS, AND ELEVATIONS SHOWN ON THE CONSTRUCTION DESIGN DRAWINGS OR AS DIRECTED BY THE ENGINEER.

C. THE GEOGRID SHALL BE LAID HORIZONTALLY ON COMPACTED BACKFILL AND ATTACHED TO THE MODULAR WALL UNITS. PLACE THE NEXT COURSE OF MODULAR CONCRETE UNITS OVER THE GEOGRID. THE GEOGRID SHALL BE PULLED TAUT, AND ANCHORED PRIOR TO BACKFILL PLACEMENT ON THE GEOGRID.

D. GEOGRID REINFORCEMENTS SHALL BE CONTINUOUS THROUGHOUT THEIR EMBEDMENT LENGTHS AND EACH SIDE-BY-SIDE TO PROVIDE 100% COVERAGE AT PLACED LEVEL. SPLICED CONNECTIONS BETWEEN SHORTER PIECES OF GEOGRID OR GAPS BETWEEN ADJACENT PIECES OF GEOGRID ARE NOT PERMITTED.

3.05 REINFORCED BACKFILL PLACEMENT

A. REINFORCED BACKFILL SHALL BE PLACED, SPREAD, AND COMPACTED IN SUCH A MANNER THAT MINIMIZES THE DEVELOPMENT OF SLACK IN THE GEOGRID AND INSTALLATION DAMAGE.

B. REINFORCED BACKFILL SHALL BE PLACED AND COMPACTED IN LIFTS NOT TO EXCEED 6 INCHES WHERE HAND COMPACTION IS USED, OR 8 - 10 INCHES WHERE HEAVY COMPACTION EQUIPMENT IS USED. LIFT THICKNESS SHALL BE DECREASED TO ACHIEVE THE REQUIRED DENSITY AS REQUIRED.

C. REINFORCED BACKFILL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS DETERMINED BY ASTM D698. THE MOISTURE CONTENT OF THE BACKFILL MATERIAL PRIOR TO AND DURING COMPACTION SHALL BE UNIFORMLY DISTRIBUTED THROUGHOUT EACH LAYER AND SHALL BE ±3% TO ±3% OF OPTIMUM.

D. ONLY LIGHTWEIGHT HAND-OPERATED EQUIPMENT SHALL BE ALLOWED WITHIN 3 FEET FROM THE TAIL OF THE MODULAR CONCRETE UNIT.

E. TRACKED CONSTRUCTION EQUIPMENT SHALL NOT BE OPERATED DIRECTLY UPON THE GEOGRID REINFORCEMENT. A MINIMUM FILL THICKNESS OF 6 INCHES IS REQUIRED PRIOR TO OPERATION OF TRACKED VEHICLES OVER THE GEOGRID. TRACKED VEHICLE TURNING SHOULD BE KEPT TO A MINIMUM TO PREVENT TRACKS FROM DISPLACING THE FILL AND DAMAGING THE GEOGRID.

F. RUBBER Tired EQUIPMENT MAY PASS OVER GEOGRID REINFORCEMENT AT SLOW SPEEDS, LESS THAN 10 MPH. SUDDEN BRAKING AND SHARP TURNING SHALL BE AVOIDED.

G. AT THE END OF EACH DAY'S OPERATION, THE CONTRACTOR SHALL SLOPE THE LAST LIFT OF REINFORCED BACKFILL AWAY FROM THE WALL UNITS TO DIRECT RUNOFF AWAY FROM WALL FACE. THE CONTRACTOR SHALL NOT ALLOW SURFACE RUNOFF FROM ADJACENT AREAS TO ENTER THE WALL CONSTRUCTION SITE.

3.06 CAP INSTALLATION

A. CAP UNITS SHALL BE GLUED TO UNDERLYING UNITS WITH AN ALL-WEATHER ADHESIVE RECOMMENDED BY THE MANUFACTURER.

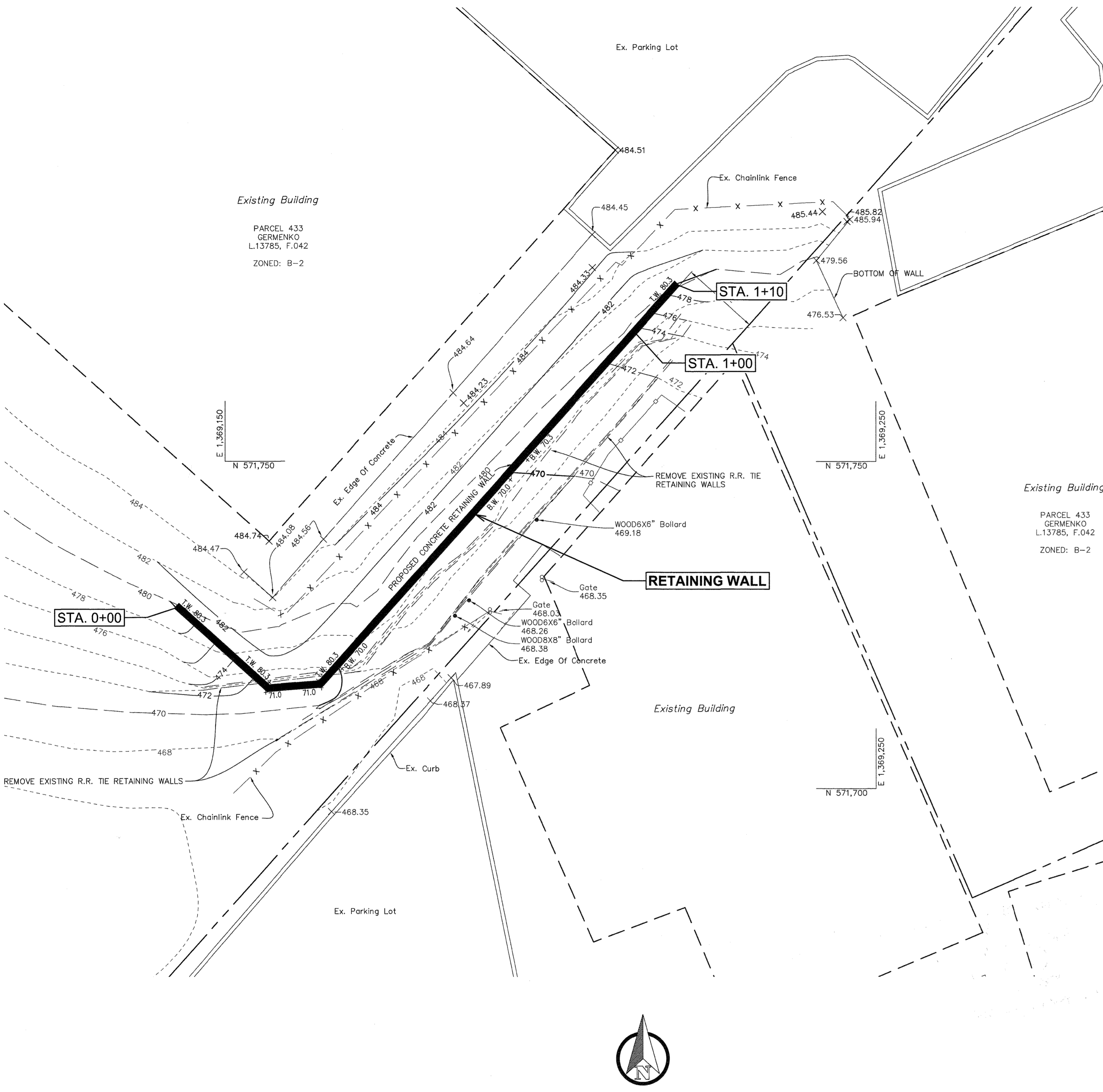
3.07 FIELD QUALITY CONTROL

A. THE OWNER SHALL ENGAGE INSPECTION AND TESTING SERVICES, INCLUDING INDEPENDENT LABORATORIES, TO PROVIDE QUALITY ASSURANCE AND TESTING SERVICES DURING CONSTRUCTION.

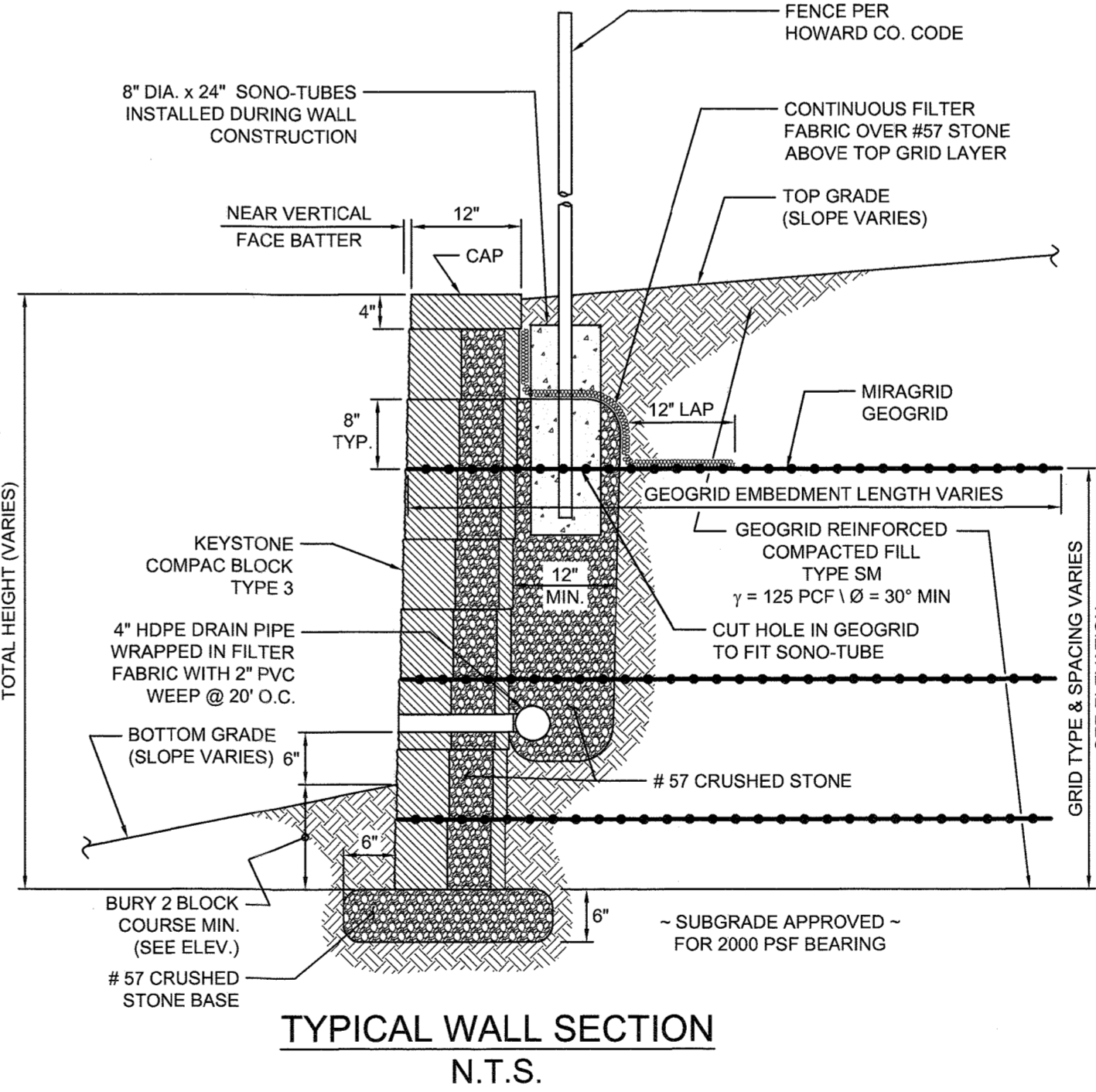
B. AS A MINIMUM, QUALITY ASSURANCE TESTING SHOULD INCLUDE FOUNDATION SOIL INSPECTION, SOIL AND BACKFILL TESTING, VERIFICATION OF DESIGN PARAMETERS, AND OBSERVATION OF CONSTRUCTION FOR GENERAL COMPLIANCE WITH DESIGN DRAWINGS AND SPECIFICATIONS.

HOWARD COUNTY NOTES:

1. NO TREES SHALL BE PLANTED WITHIN 10 FEET OF THE TOP OF THE RETAINING WALL.
2. RETAINING WALLS SHALL ONLY BE CONSTRUCTED UNDER THE OBSERVATION OF A REGISTERED PROFESSIONAL ENGINEER AND A (NICET, WACEL, OR EQUIVALENT) CERTIFIED SOILS TECHNICIAN.
3. ONE SOIL BORING SHALL BE REQUIRED EVERY ONE HUNDRED FEET ALONG THE ENTIRE LENGTH OF THE WALL. COPIES OF ALL BORING REPORTS SHALL BE PROVIDED TO THE HOWARD COUNTY INSPECTOR PRIOR TO THE START OF CONSTRUCTION.
4. THE REQUIRED BEARING PRESSURE BENEATH THE WALL SYSTEM SHALL BE VERIFIED IN THE FIELD BY A CERTIFIED SOILS TECHNICIAN. TESTING DOCUMENTATION MUST BE PROVIDED TO THE HOWARD COUNTY INSPECTOR PRIOR TO START OF CONSTRUCTION. THE REQUIRED BEARING TEST SHALL BE THE DYNAMIC CONE PENETROMETER TEST ASTM STP-399.
5. THE SUITABILITY OF FILL MATERIAL SHALL BE CONFIRMED BY THE ON-SITE SOILS TECHNICIAN. EACH 8' LIFT MUST BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY AND THE TESTING REPORT SHALL BE MADE AVAILABLE TO THE HOWARD COUNTY INSPECTOR UPON COMPLETION OF CONSTRUCTION.
6. WALLS SHALL NOT BE CONSTRUCTED ON UNCERTIFIED FILL MATERIALS.
7. WALLS SHALL NOT BE CONSTRUCTED WITHIN A HOWARD COUNTY RIGHT-OF-WAY OR EASEMENT.



WALL LOCATION PLAN
1" = 10'



TYPICAL WALL SECTION
N.T.S.

HILLS-CARNES
ENGINEERING ASSOCIATES
10975 Guilford Road, Suite A Annapolis Junction, Maryland
(410) 880-4788 WWW.HCEA.COM Fax: (410) 880-4098

NO.	REVISION	DATE

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14434, EXPIRATION DATE: 05/13/19.

ENGINEER'S CERTIFICATE
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

OWNER'S CERTIFICATE
We certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

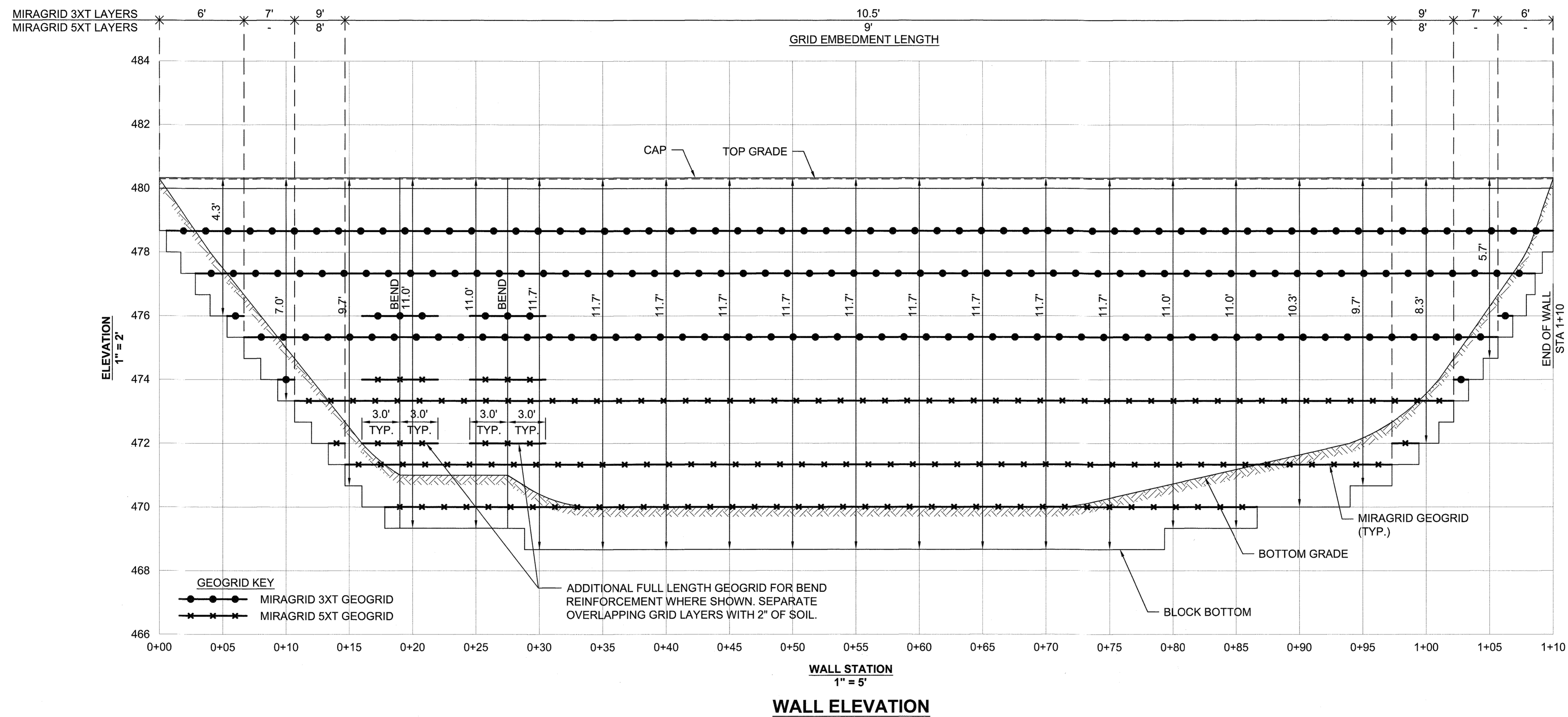
OWNER:
ALEXANDER B. ADAMS
BETTY ADAMS SMITH
P.O. BOX 350
GLENMORA, MARYLAND 21737

PROJECT	SECTION	PARCEL NO.
RICHARD A. JONES PROPERTY	N/A	36
LIBER/FOLIO	BLOCK NO.	ZONE
L 297/F. 485	7	B-1 & R-20
TAX/ZONE	ELEC. DIST.	CENSUS TR.
31	2ND.	6023.02

RETAINING WALL PLAN AND CONSTRUCTION DETAILS

RICHARD A. JONES PROPERTY
DEED REF. LIBER 297 FOLIO 485
FOR
RETAIL SALES - 10,400 S.F.
4882 MONTGOMERY RD. (RT. 103)

TAX MAP 31 BLOCK 7 PARCEL 36
2ND. DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
DATE: JANUARY, 2019
SHEET 7 OF 8



\\Terra\vol1\AJ Project Files\2018\18560A_4882 Montgomery Rd. Wall Repair\WALL DESIGN DRAWINGS\18560A - MONT. RD. WALL DESIGN.dwg - 1/09/2019 - 10:46am

HILLIS-CARNES
ENGINEERING ASSOCIATES
10975 Guilford Road, Suite A Annapolis Junction, Maryland
(410) 880-4788 WWW.HCEA.COM Fax: (410) 880-4098

NO.	REVISION	DATE

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14434, EXPIRATION DATE: 05/13/19.

ENGINEER'S CERTIFICATE
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Signature of Engineer: *[Signature]* Date: 1/14/19

OWNER/DEVELOPER'S CERTIFICATE
I/We certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Signature of Developer: *[Signature]* Date: 1-21-19

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Howard SCD Date

OWNER
ALEXANDER E. ADAMS
BETTY ADAMS SMITH (KILGORE)
P.O. BOX 960
WRENDA, MARYLAND 21791

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Signature: *[Signature]* Date: 2-6-19
Chief, Division of Land Development

Signature: *[Signature]* Date: 2-1-19
Chief, Development Engineering Division

Signature: *[Signature]* Date: 2-7-19
Director - Department of Planning and Zoning

PROJECT	SECTION	PARCEL NO.
RICHARD A. JONES PROPERTY	N/A	36
LIBER/FOLIO	BLOCK NO.	ZONE
L. 297/F. 485	7	B-1 & R-20
TAX/ZONE	ELEC. DIST.	CENSUS TR.
31	2ND.	6023.02

RETAINING WALL ELEVATION

RICHARD A. JONES PROPERTY
DEED REF. LIBER 297 FOLIO 485
FOR
RETAIL SALES - 10,400 S.F.
4882 MONTGOMERY RD. (RT. 103)

TAX MAP 31 BLOCK 7 PARCEL 36
2ND. DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
DATE: JANUARY, 2019
SHEET 8 OF 8