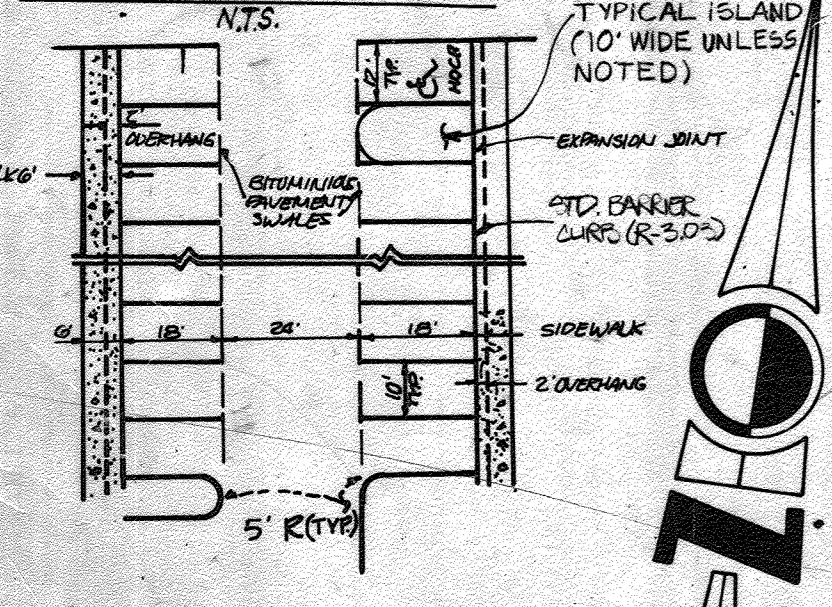


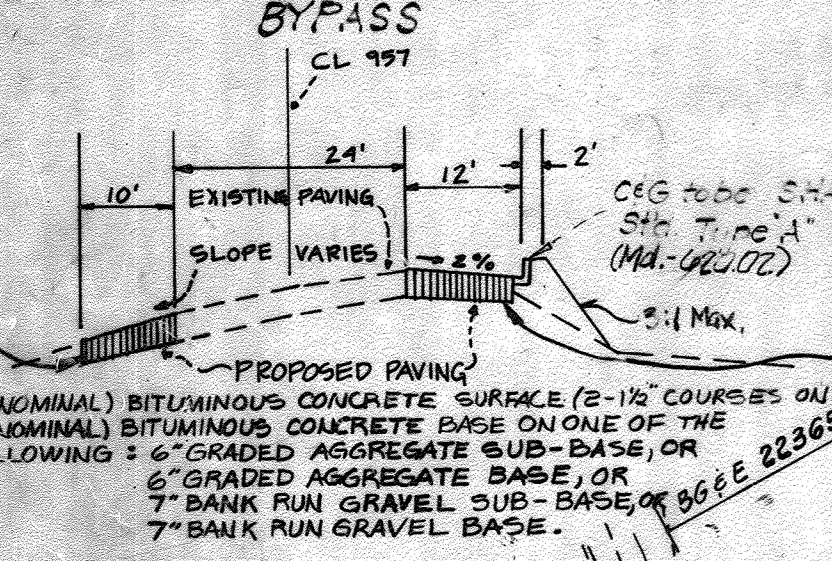
### GENERAL NOTES

1. ALL MATERIALS AND CONSTRUCTION TO BE IN ACCORDANCE WITH HOWARD COUNTY ROAD CONSTRUCTION CODE AND SPECS.
2. THIS PLAN IS COVERED BY FINAL DEVELOPMENT PLAN PHASE 132-A.
3. ANY DAMAGE TO COUNTY OWNED RIGHTS OF WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
4. INSTALLATION OF TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL".
5. TOPOGRAPHY WAS COMPILED BY KMMW CORPORATION FIELD SURVEY.
6. ALL DRIVEWAYS ARE TO BE FINISHED AND MAINTAINED.
7. ALL COORDINATES ARE BASED ON HOWARD COUNTY GEODETIC CONTROL TRIANGLE WHICH IS BASED ON THE MARYLAND STATE PLANE COORDINATE SYSTEM.
8. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEV. OF MANHOLE BY DIGGING TESTPITS BY HAND, AT ALL CROSSINGS WELL IN ADVANCE OF CONSTRUCTION.
9. ALL DOWNSPOUT DETAILS SHALL BE HANDLED BY ONE OF THE FOLLOWING METHODS:
  - A. DOWNSPOUT TO SLOSH BLOCKS AND DISCHARGE TO GROUND HAVING GOOD PERCOLATION.
  - B. DOWNSPOUT IN FRONT OF UNIT, PIPED TO CURB.
  - C. DOWNSPOUT CONNECTED TO STORM DRAIN.
10. THE CONTRACTOR OR DEVELOPER SHALL CONTACT THE CONSTRUCTION INSPECTION/SURVEY DIVISION 24 HRS. IN ADVANCE OF COMMENCEMENT OF WORK AT 592, 2417, OR 792, 7272.
11. HANDICAP PARKING SPACES SHALL BE PROVIDED FOR EACH HANDICAP SPACE IN ACCORDANCE WITH THE MARYLAND BUILDING CODE FOR THE HANDICAPPED SECTION 5.01 TO 7.05.
12. OPEN SPACE IS 19.7% OF GROSS AREA (3084 AC.) = 29,346 AC.

### TYPICAL PARKING AREA



### MD RT 957: TYPICAL SECTION A-A



5" (NOMINAL) BITUMINOUS CONCRETE SURFACE (2-1/2 COURSES) ON:  
 4" (NOMINAL) BITUMINOUS CONCRETE BASE ON ONE OF THE FOLLOWING:  
 1. 6" GRADED AGGREGATE SUB-BASE, OR  
 2. 6" GRADED AGGREGATE BASE, OR  
 3. 7" BANK RUN GRAVEL SUB-BASE, OR  
 4. 7" BANK RUN GRAVEL BASE.

**CURBS**  
 ALL CURBS WITHOUT SIDEWALKS ABUTTING SHALL BE HOWARD COUNTY STANDARD R-3.01. EXCEPT IN RT. 957 R/W WHICH SHALL BE MD S.H.A. TYPE A' (MD - G20.02)

### NOTES

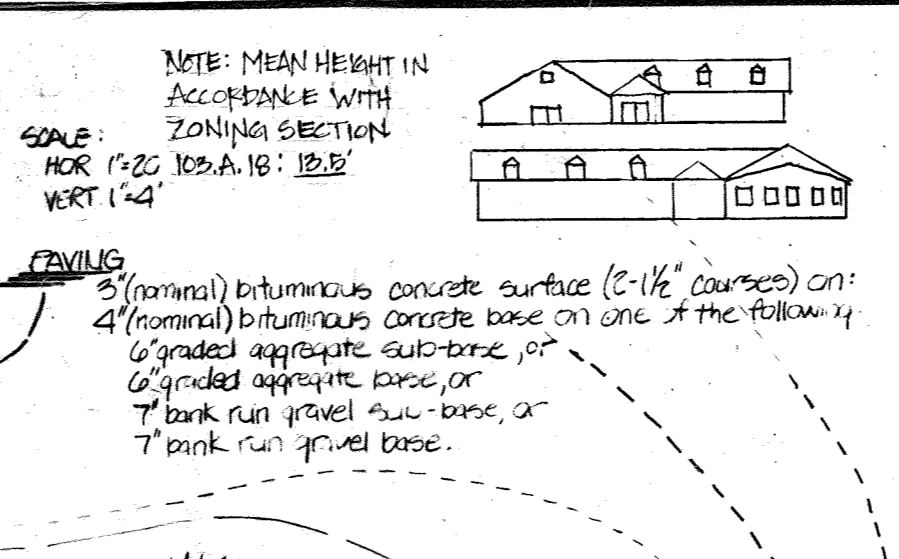
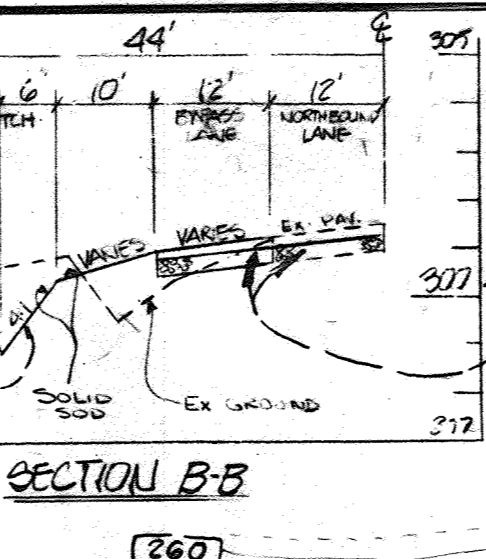
1. LONGITUDINAL JOINT BETWEEN SIDEWALK AND CURB SHALL BE CONTIGUOUS AND TO A DEPTH OF 1/4" THE SIDEWALK THICKNESS OR 1" MAX. LITTORAL JOINTS SHALL RUN FROM DRINK EDGE OF SIDEWALK, CONTINUOUS TO THE BOTTOM FREE OF CURB TO A DEPTH OF 1/4" AND SPACED 5' APART.
2. PROVIDE 1/4" EXPANSION JOINTS AT 16' INTERVALS IN LITTORAL JOINTS TO FULL CROSS-SECTION.

### LEGEND

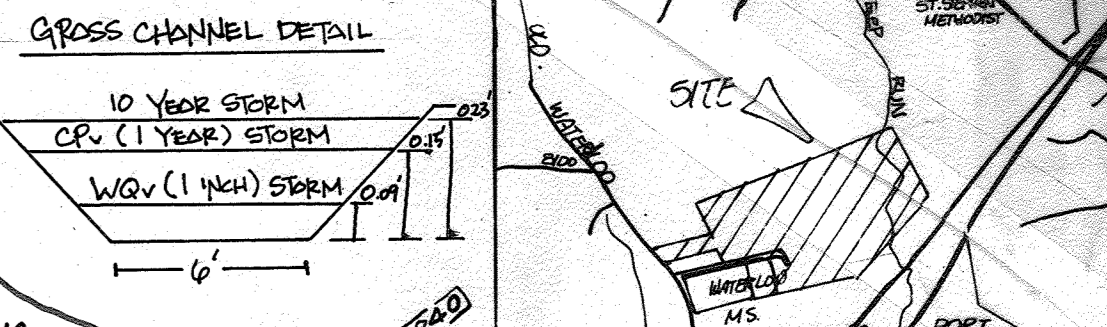
1. Contour interval = 2'; Exist. contour Proposed Contour
2. Prop. spot elevation +85'
3. Drainage Flow
4. Proposed Storm Drain
5. No. of Parking Spaces
6. Dumpster Pad locations (See sheet 3 for detail)
7. Bay dumpsters provided

**APPROVED:** FOR PUBLIC WATER AND PUBLIC SEWERAGE DEPARTMENT  
 8-5-87  
**APPROVED:** HOWARD COUNTY OFFICE OF PLANNING & ZONING  
 6-6-87  
**APPROVED:** DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
 7-1-87  
**APPROVED:** FOR PUBLIC WATER AND PUBLIC SEWERAGE DEPARTMENT  
 8-4-87  
**APPROVED:** FOR PUBLIC WATER AND PUBLIC SEWERAGE DEPARTMENT  
 8-3-87

**APPROVED:** DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
 7-1-87

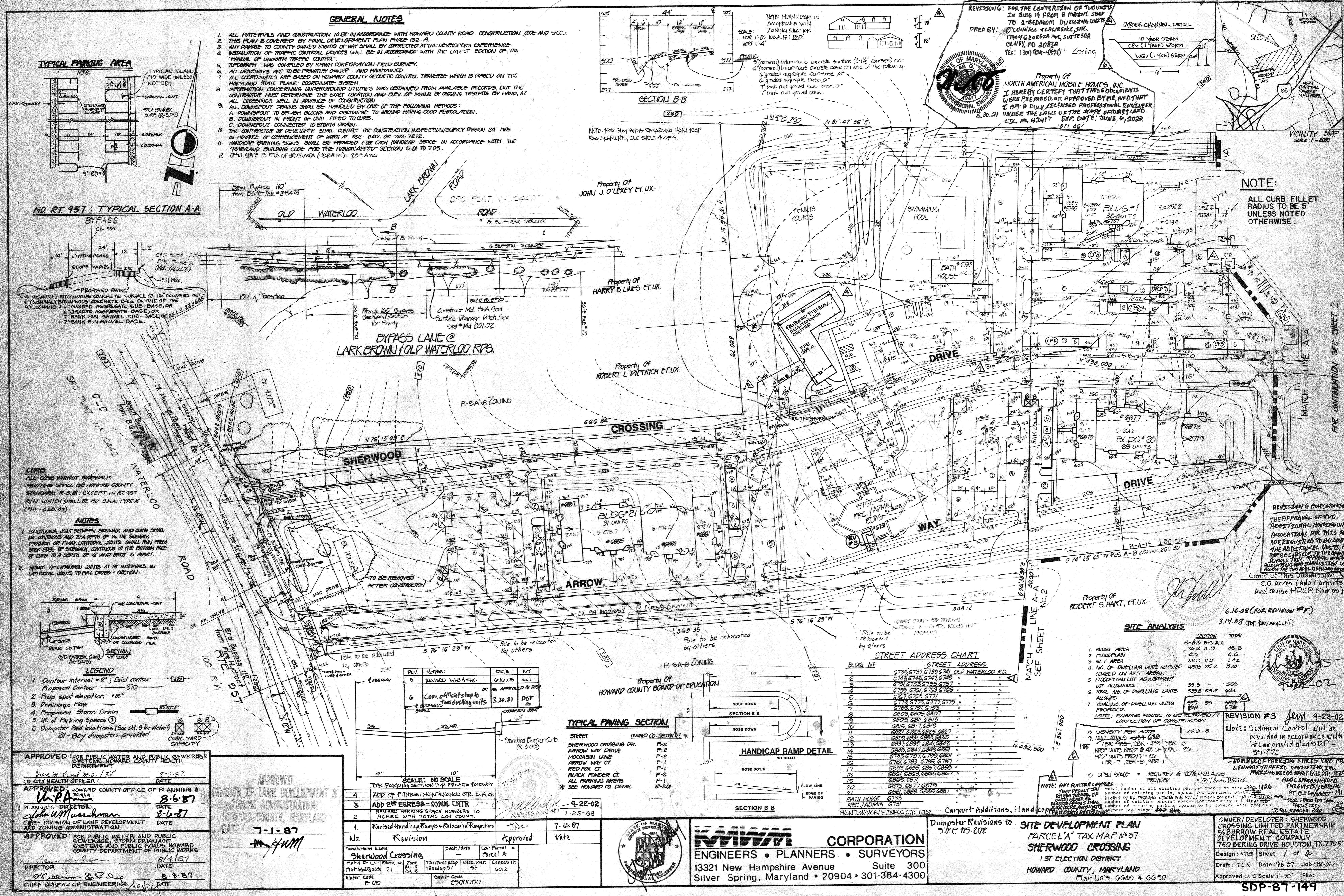


**REVISION #6:** FOR THE CONVERSION OF TWO UNITS IN BLDG 19 FROM A BAPTIST SHOP TO 2-BEDROOM DWELLING UNITS  
 PREP BY: O'CONNELL REAL ESTATE, INC.  
 1704 GEORGIA AVE, SUITE 508  
 OLNEY, MD 20834  
 TEL: (301) 934-4590 + Zoning



NOTE: FOR SPT SHEETS REGARDING HANDICAP REQUIREMENTS, SEE SHEET 4 OF 4.

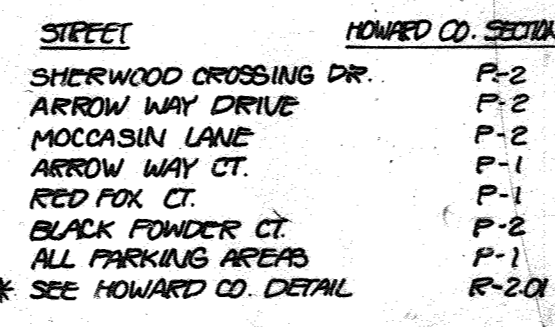
**NOTE:**  
 ALL CURB FILLET RADIUS TO BE 5' UNLESS NOTED OTHERWISE.



### STREET ADDRESS CHART

BLDG. NO.	STREET ADDRESS
1	6735 6737 6739 6741 OLD WATERLOO RD
2	6743 6745 6747 6749 " " "
3	6751 6753 6755 6757 " " "
4	6759 6761 6763 6765 " " "
5	6767 6769 6771 " " "
6	6773 6775 6777 6779 " " "
7	6781 6783 6785 " " "
8	6787 6789 6791 " " "
9	6793 6795 6797 " " "
10	6799 6801 6803 " " "
11	6807 6809 6811 " " "
12	6815 6817 6819 " " "
13	6821 6823 6825 " " "
14	6827 6829 6831 6833 " " "
15	6837 6839 6841 6843 " " "
16	6845 6847 6849 6851 " " "
17	6857 6859 6861 6863 " " "
18	6867 6869 6871 6873 " " "
19	6875 6877 6879 " " "
20	6881 6883 6885 6887 " " "
21	6889 6891 6893 6895 " " "
22	6897 6899 6901 6903 " " "
BATH HOUSE 6783 REC./ADMIN. 6781	

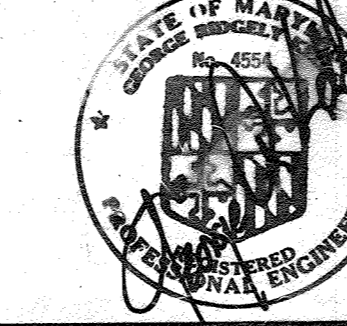
### TYPICAL PAVING SECTION



REV.	NOTES	DATE	BY
5	REVISED W/C & S/C	6/16/08	CCJ
6	Conv. of 11 units to 2 bay dwellings	3.30.01	DGT

**REVISIONS**

No.	Revision	Approved	Date
1	ADD OF FITNESS/MAINTENANCE CTR. S.H.O.B.	J.L.L.	9-22-02
2	ADD 2ND EGRESS - COMM. CNTR	J.L.L.	1-25-88
3	REVISED PARKING SPACE NUMBERS TO AGREE WITH TOTAL LOT COUNT.	J.L.L.	7-18-87
4	Revised Handicap Ramps & Relocated Dumpsters	J.L.L.	7-18-87



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 13321 New Hampshire Avenue Suite 300  
 Silver Spring, Maryland • 20904 • 301-384-4300

Dumpster Revisions to 5.01.05.202

**SITE DEVELOPMENT PLAN**  
 PARCEL 'A' TAX MAP NO. 937  
**SHERWOOD CROSSING**  
 1ST ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND  
 MAP NO'S: GG60 & GG50

OWNER/DEVELOPER: SHERWOOD CROSSING LIMITED PARTNERSHIP  
 56 BURROW REAL ESTATE DEVELOPMENT COMPANY  
 750 BERING DRIVE HOUSTON, TX. 77057  
 Design: J.L.L. Sheet 1 of 4  
 Draft: T.L.R. Date: 7.6.87 Job: 84-017  
 Approved: J.L.L. Scale: 1"=60' File: SDP-87-149

**REVISION #3** J.L.L. 9-22-02  
 Note: Sediment Control will be provided in accordance with the approved plan 2-D.F. - 05-202

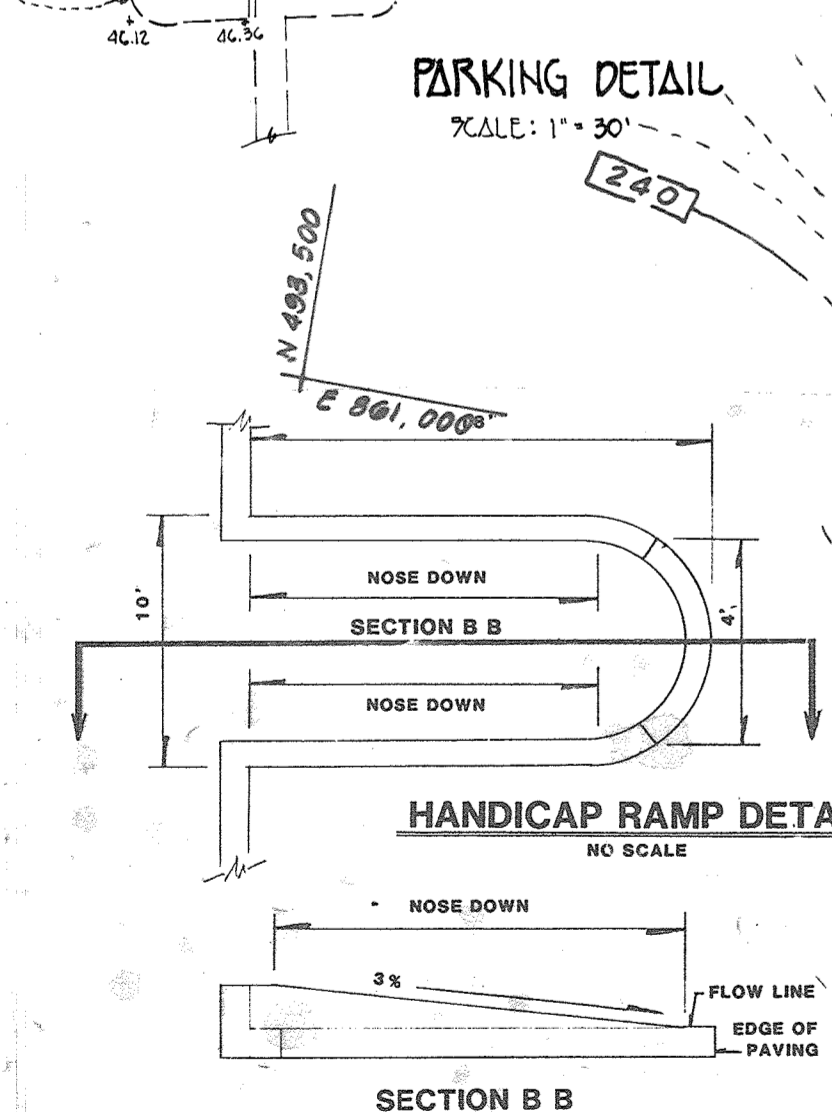
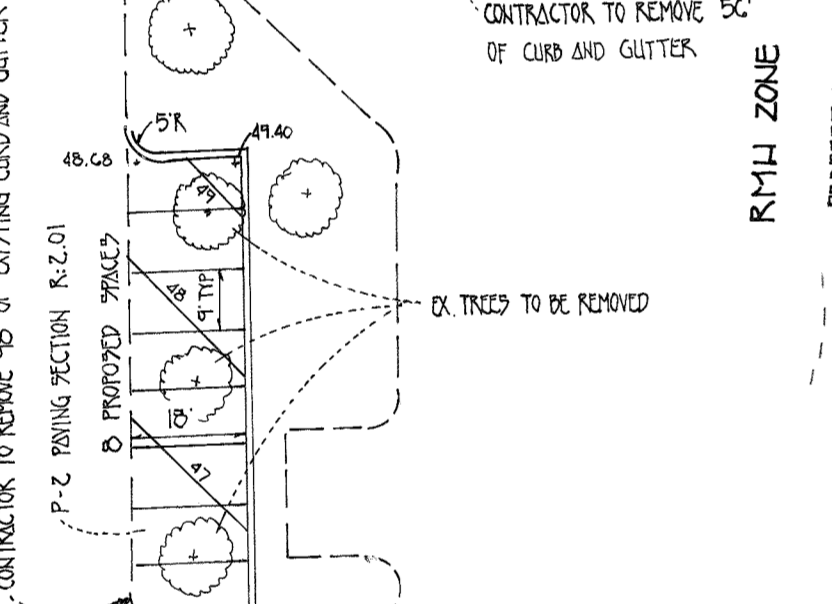
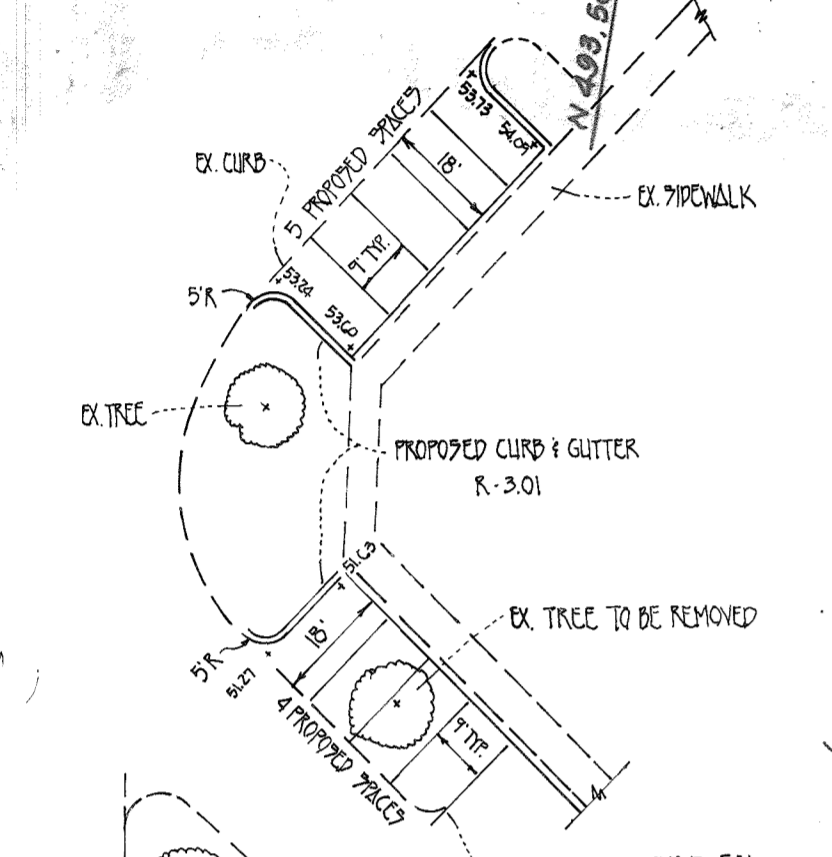
**SITE ANALYSIS**

SECTION	TOTAL
1. GROSS AREA	36.5 A.C.
2. FLOODPLAIN	4.6
3. NET AREA	31.9
4. NO. OF DWELLING UNITS ALLOWED (BASED ON NET AREA)	422
5. FLOODPLAIN LOT ADJUSTMENT	4845.95.2
6. TOTAL NO. OF DWELLING UNITS	4846
7. TOTAL NO. OF DWELLING UNITS PROPOSED	636
8. DENSITY PER ACRE	12.6 B
9. UNIT TOTALS	630
10. HOV UNITS RCP @ 4% OF TOTAL	25
11. HOV UNITS FROM 7% HOV UNITS FROM 10% HOV UNITS FROM 12%	25
12. HOV UNITS FROM 15% HOV UNITS FROM 20%	25
13. HOV UNITS FROM 25% HOV UNITS FROM 30%	25
14. HOV UNITS FROM 35% HOV UNITS FROM 40%	25
15. HOV UNITS FROM 45% HOV UNITS FROM 50%	25
16. HOV UNITS FROM 55% HOV UNITS FROM 60%	25
17. HOV UNITS FROM 65% HOV UNITS FROM 70%	25
18. HOV UNITS FROM 75% HOV UNITS FROM 80%	25
19. HOV UNITS FROM 85% HOV UNITS FROM 90%	25
20. HOV UNITS FROM 95% HOV UNITS FROM 100%	25
21. HOV UNITS FROM 105% HOV UNITS FROM 110%	25
22. HOV UNITS FROM 115% HOV UNITS FROM 120%	25
23. HOV UNITS FROM 125% HOV UNITS FROM 130%	25
24. HOV UNITS FROM 135% HOV UNITS FROM 140%	25
25. HOV UNITS FROM 145% HOV UNITS FROM 150%	25
26. HOV UNITS FROM 155% HOV UNITS FROM 160%	25
27. HOV UNITS FROM 165% HOV UNITS FROM 170%	25
28. HOV UNITS FROM 175% HOV UNITS FROM 180%	25
29. HOV UNITS FROM 185% HOV UNITS FROM 190%	25
30. HOV UNITS FROM 195% HOV UNITS FROM 200%	25

FOR CONTINUATION SEE SHEET 3



NOTE: CONTRACTOR TO MATCH EXISTING CURB FOR LINE AND GRADE.

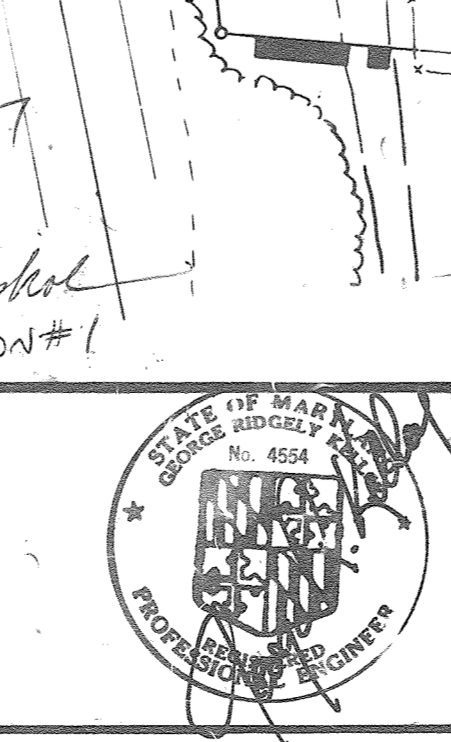


**APPROVED:** FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 COUNTY HEALTH OFFICER: *[Signature]* DATE: 8-5-87  
 PLANNING DIRECTOR: *[Signature]* DATE: 8-6-87  
 CHIEF DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION: *[Signature]* DATE: 8-2-87

**APPROVED:** FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIRECTOR: *[Signature]* DATE: 8-1-87  
 CHIEF BUREAU OF ENGINEERING: *[Signature]* DATE: 8-3-87

REVISIONS  
 7-1-87  
 7/14/87  
 Revision #1

No.	Revision	Approved	Date
6	Conv. of Meat Shop to two dwelling units	DOT	3-30-81
2	REVISED PARKING SPACE NUMBERS TO AGREE WITH TOTAL LOT COUNT.		1-25-88
1	Revised Handicap Ramps & Relocated Pumps	JRC	7-14-87



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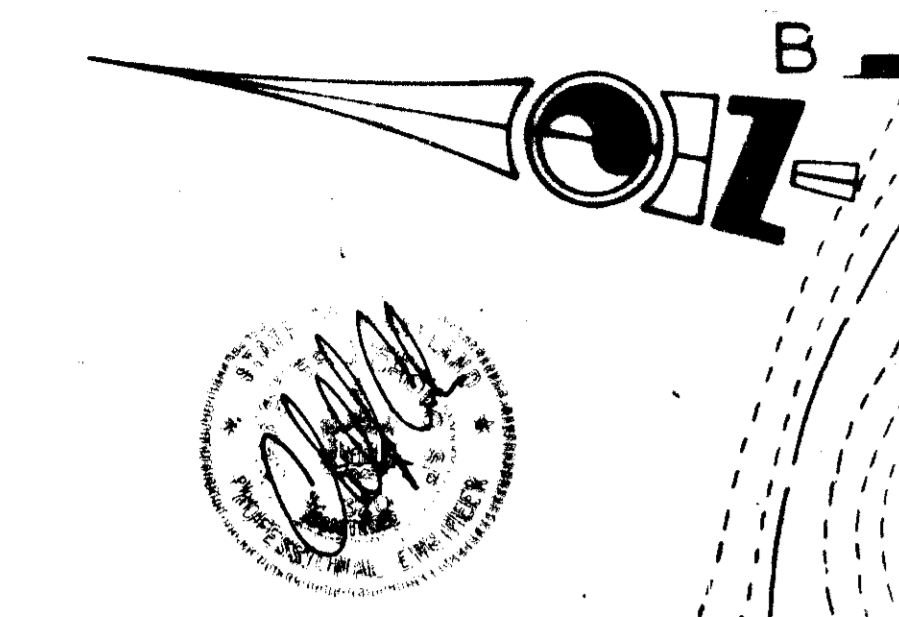
**SITE DEVELOPMENT PLAN**  
 PARCEL 'A' TAX MAP No. 57  
 SHERWOOD CROSSING  
 1ST ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND  
 Flat Nos. 6600 & 6650

OWNER/DEVELOPER: SHERWOOD CROSSING LIMITED PARTNERSHIP  
 60 BURROW REAL ESTATE DEVELOPMENT COMPANY  
 750 BERING DRIVE HOUSTON, TX 77097  
 Design: RFB Sheet 2 of 4  
 Draft: JLR Date: Feb. 87 Job: 84-017  
 Approved: JAC Scale: 1"=20' File: 84-017

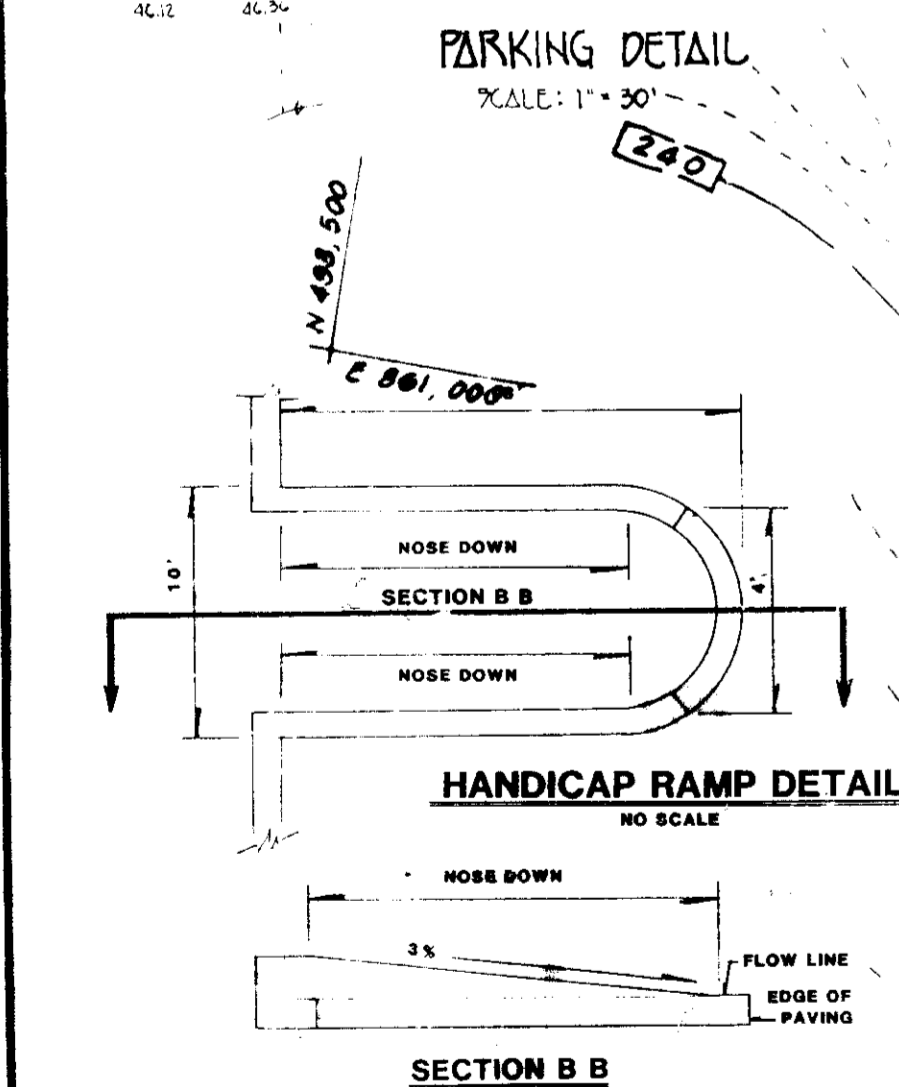
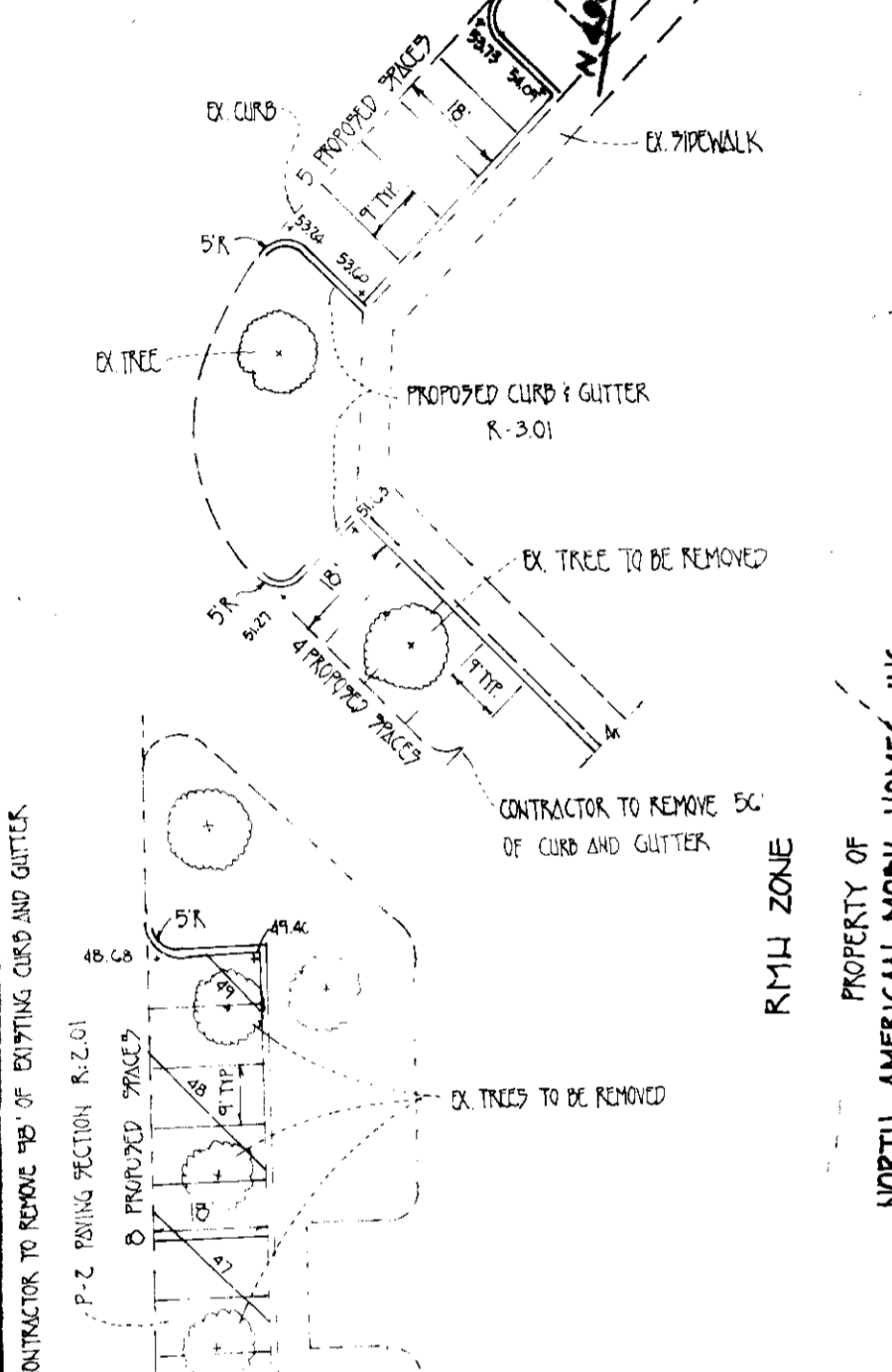
**NOTE:**  
 ALL CURB FILLET RADIUS TO BE 5' UNLESS NOTED OTHERWISE.

Note: Sediment Control will be provided in accordance with the approved plan 57.F.05-202

FOR CONTINUATION SEE SHEET 3



NOTE: CONTRACTOR TO MATCH EXISTING CURB FOR LINE AND GRADE.



**APPROVED:** FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT  
 COUNTY HEALTH OFFICER: \_\_\_\_\_ DATE: 8-3-87

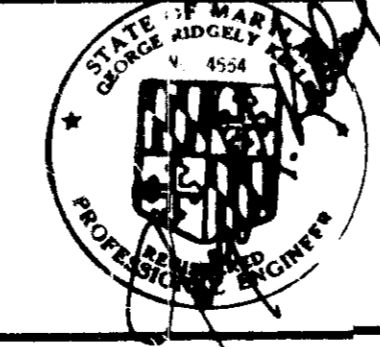
**APPROVED:** HOWARD COUNTY OFFICE OF PLANNING & ZONING  
 PLANNING DIRECTOR: \_\_\_\_\_ DATE: 7-2-87

**APPROVED:** FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIRECTOR: \_\_\_\_\_ DATE: 8-3-87



7-1-87  
 [Signature]

No	Revision	Approved	Date
2	REVISED PARKING SPACE NUMBERS TO AGREE WITH TOTAL LOT COUNT.		1-25-88
1	Revised Handicap Ramps & Relocated Pumps	[Signature]	7-16-87
No	Revision	Approved	Date



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**SITE DEVELOPMENT PLAN**  
 PARCEL 'A' TAX MAP # 37  
 SHERWOOD CROSSING  
 1ST ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND  
 Plan Nos. 6660 & 6662

OWNER/DEVELOPER: SHERWOOD CROSSING LIMITED PARTNERSHIP  
 750 BERWING DRIVE HOUSTON, TX 77077  
 Design: [Signature] Sheet 2 of 4  
 Draft: TLR Date: [Signature] Job: 84-07  
 Approved: [Signature] Scale: 1"=20' File: 82-07  
 S.P. 07-146

**NOTE:**  
 ALL CURB FILLET RADIUS TO BE 5' UNLESS NOTED OTHERWISE.

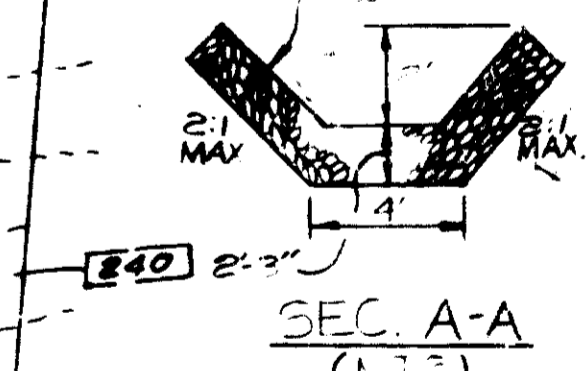
Note: Sediment Control will be provided in accordance with the approved plan 50765-202

FOR CONTINUATION SEE SHEET 1

Carport Additions, Handicapped Access & Dumpster Revisions to S.P. 05-202

LIMIT OF RIP-RAP

PROPERTY OF  
 MATTHEW HEIGHTS LIMITED PARTNERSHIP  
 R-1 ZONING

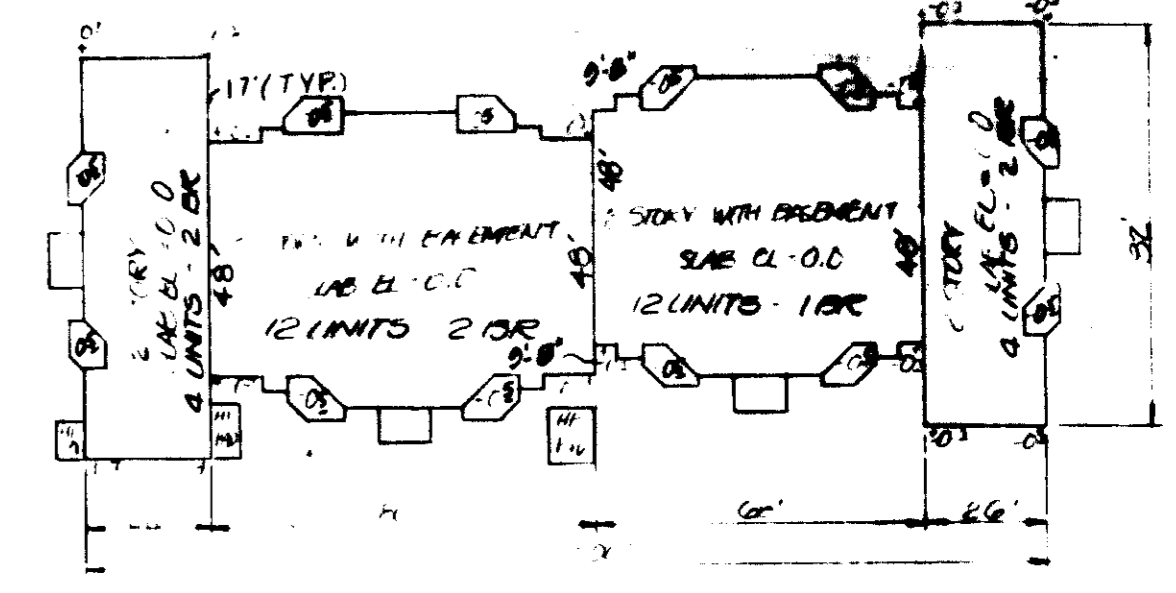


**NOTE:**  
 ALL CURB FILLET RADIUS TO BE 5' UNLESS NOTED OTHERWISE.

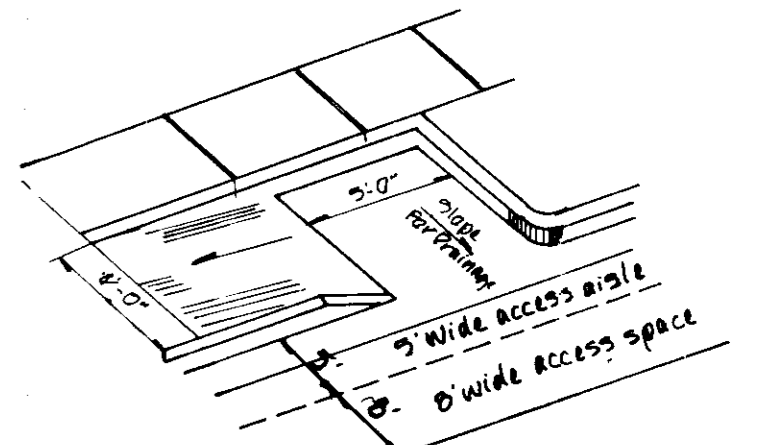
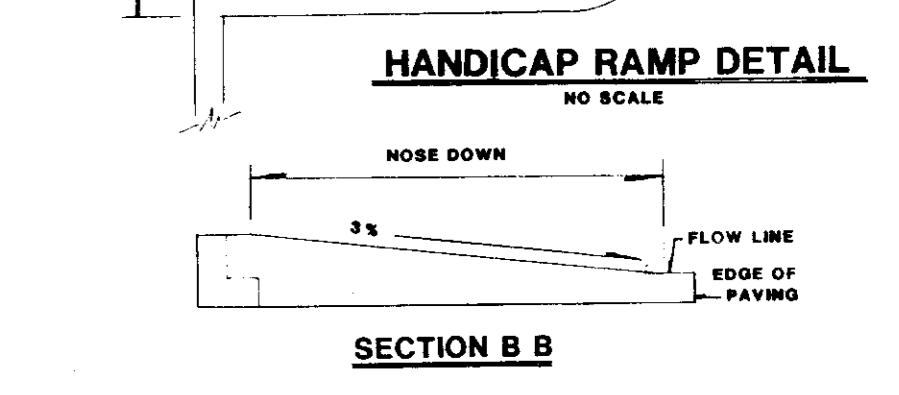
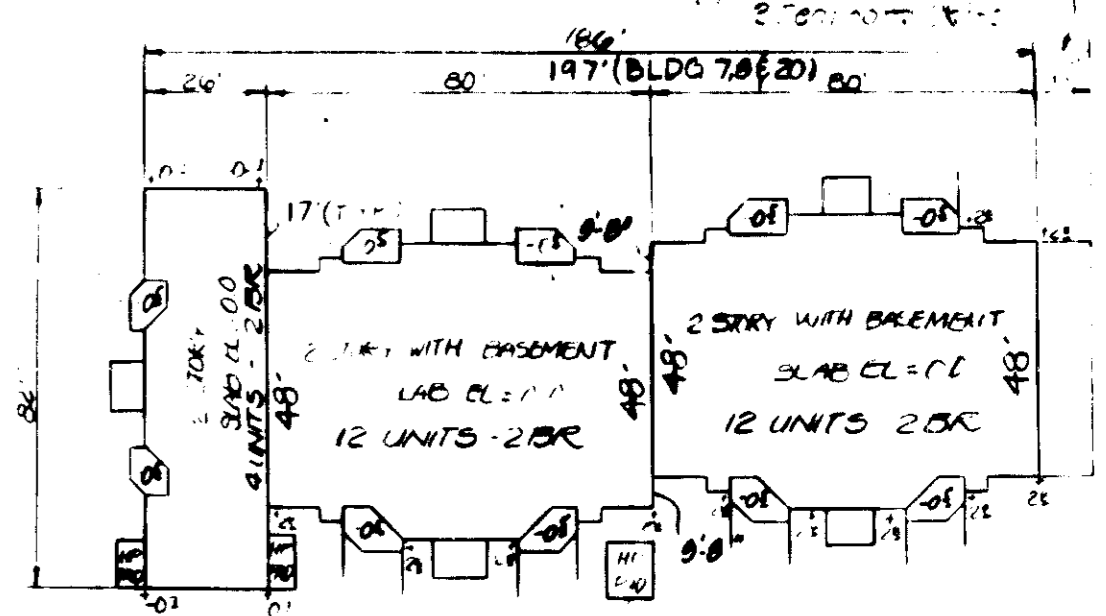
Note: Sediment Control will be provided in accordance with the approved plan 50765-202

LIMIT OF RIP-RAP

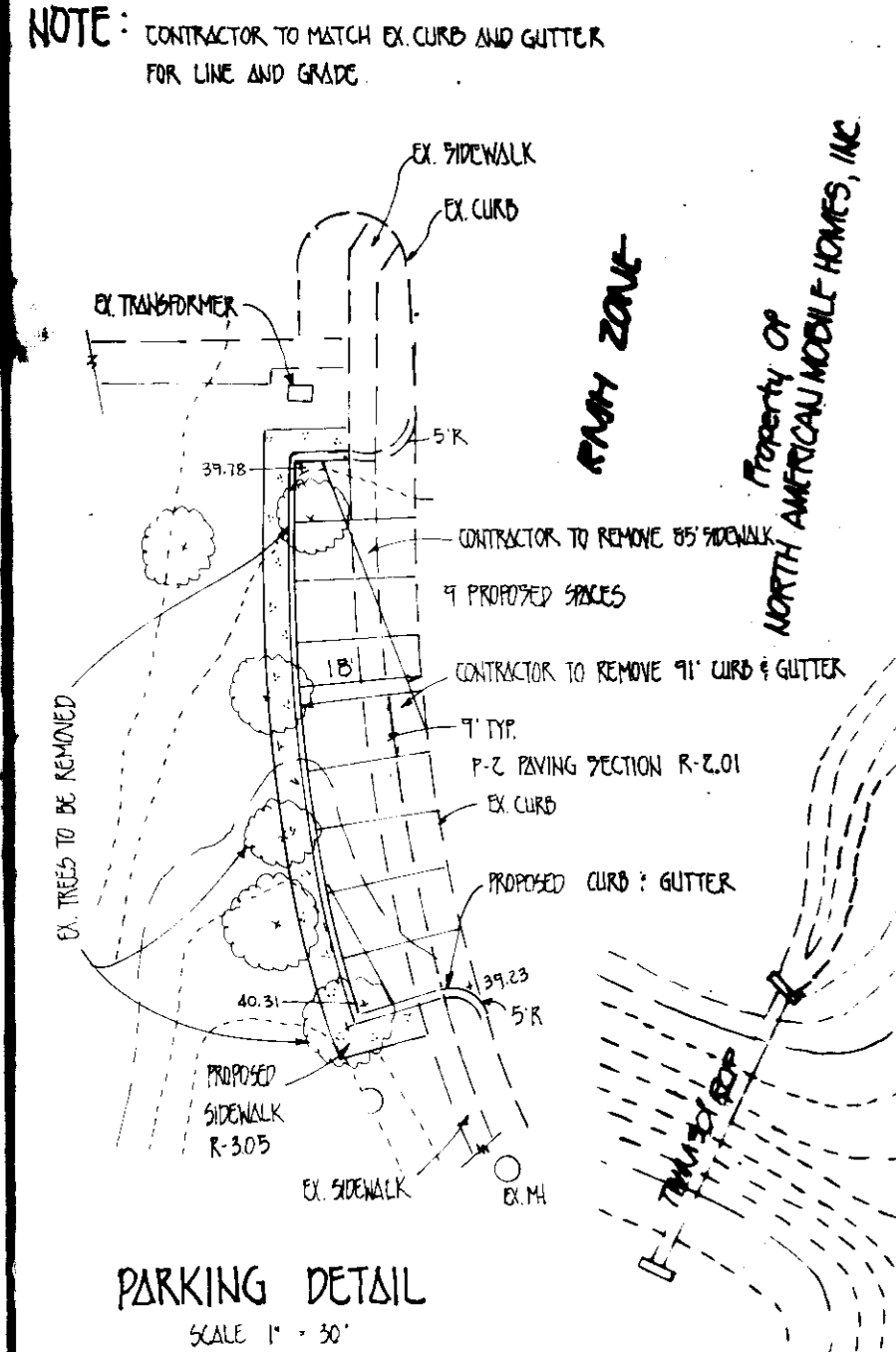
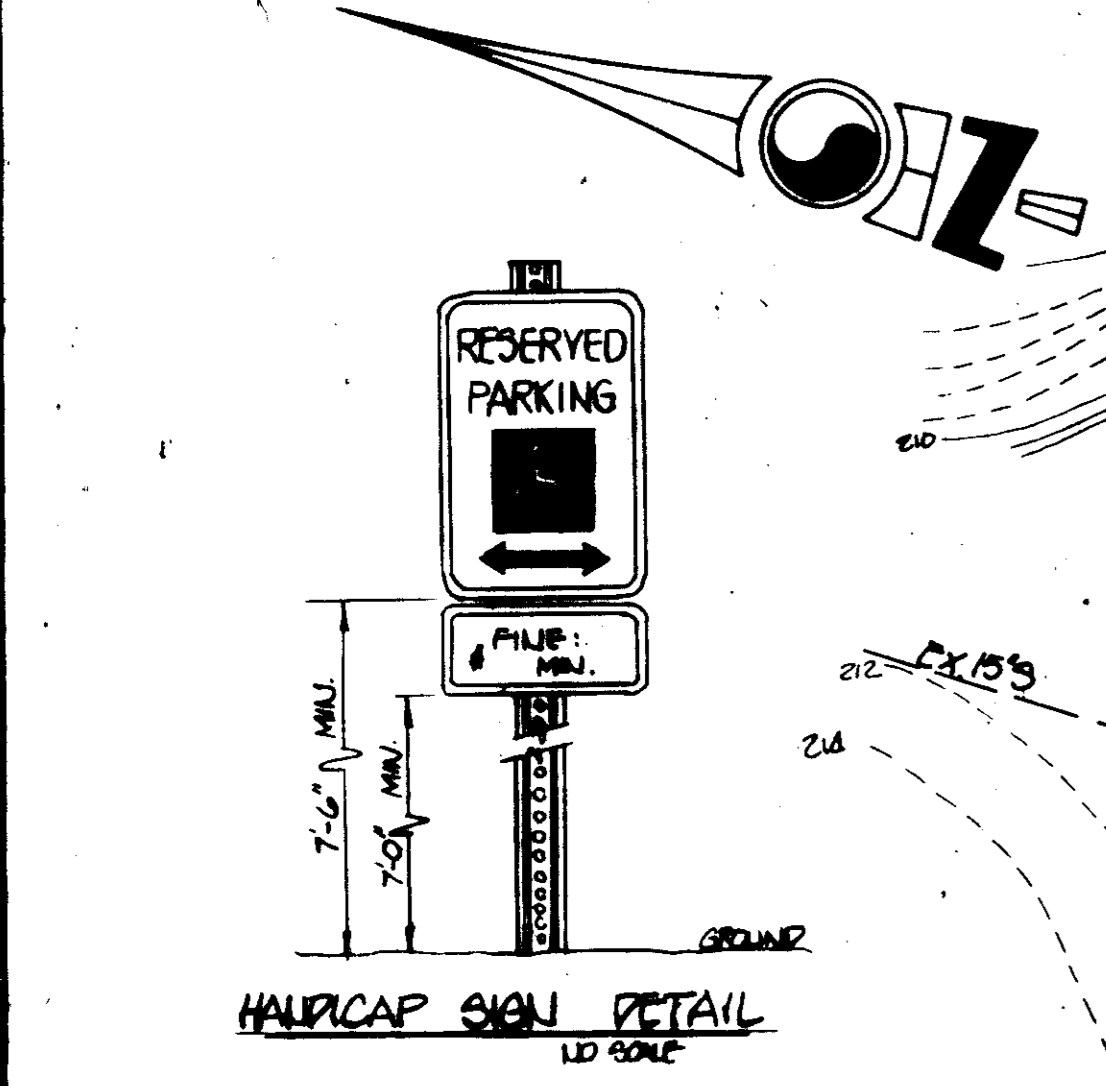
**TYPICAL BUILDING**  
BLDG. NO. 1, 2, 3, 4, 6, 11, 12, 13, 14, 16, 17, 18, 21



**TYPICAL BUILDING**  
BLDG. NO. 5, 7, 8, 9, 10, 20



Note: Sediment control will be provided in accordance with the approved plan 3.P.F. 85-202



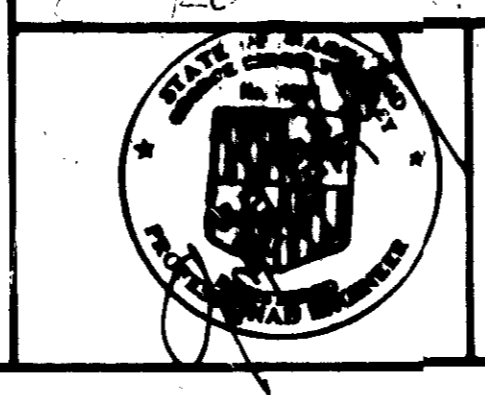
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT  
HEALTH OFFICER: [Signature] DATE: 8-5-87

APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING  
PLANNING DIRECTOR: [Signature] DATE: 8-6-87

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
DIRECTOR: [Signature] DATE: 8-3-87

No.	Revision	Approved	Date
3	REV. PARKING WITH 1 ADDITIONAL SPACES		7-14-95
2	REVISED PARKING LOT NUMBERS TO AGREE WITH TOTAL LOT COUNT.		1-25-88
1	REVISED HANDICAP RAMPS & RELOCATED PUMPSTERS	JAE	7-16-87

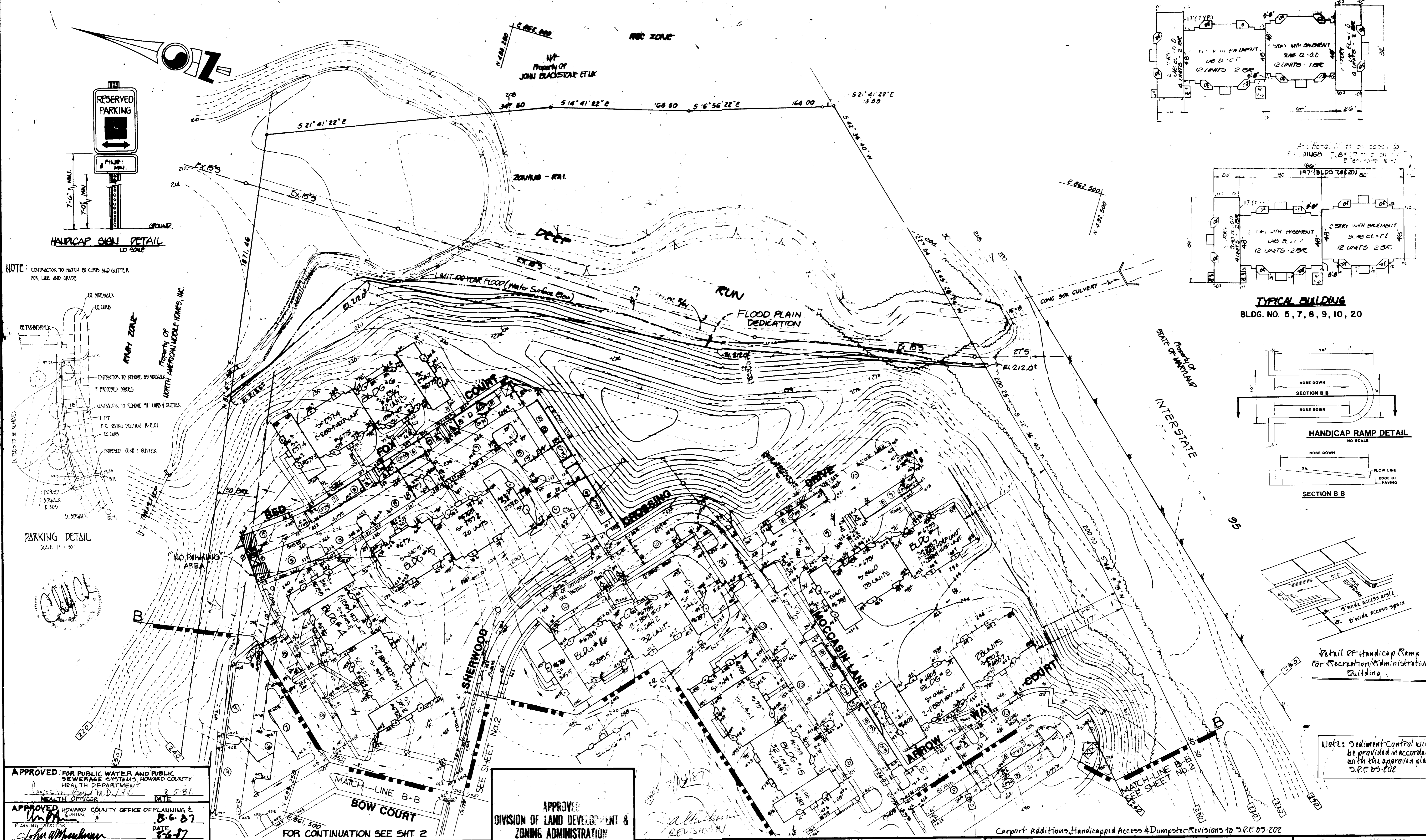
APPROVED  
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE: 7-1-87



**MWM CORPORATION**  
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Silver Spring, Maryland • 20904 • 301-384-4300

SITE DEVELOPMENT PLAN  
PARCEL 'A' TAX MAP NO. 37  
SHERWOOD CROSSING  
1ST ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

OWNER/DEVELOPER: SHERWOOD CROSSING LIMITED PARTNERSHIP  
% BURROW REAL ESTATE DEVELOPMENT COMPANY  
750 BERLIN DRIVE HOUSTON TX 77057  
Design: RGE Sheet 3 of 4  
Draft: TUR Date: Feb. 87 Job: 84-077  
Approved: JAE Scale: 1"=50' File: 3.P.F. 87-110



NO	TYPE	STATION	OFFSET	IN. IN	IN. OUT	REMARKS
S-1	HO. CO. METAL END SECTION	1+84	00' RT		216.3	THROAT = 231.5
L-2	STD A-10 INLET	SEE PLAN	SEE PLAN	221.0	219.0	GRATE = 233.0
L-3	TYPE 'S' INLET	3+34	11' RT	227.0	227.0	RIM = 236.0
M-4	STD PRECAST MANHOLE	5+36	0' RT	231.2	231.2	THROAT = 237.2
L-5	STD A-10 INLET	SEE PLAN	SEE PLAN	235.6	235.6	
S-6	HO. CO. METAL END SECTION	0+70	7' RT	213.8	213.8	
M-7	STD PRECAST MANHOLE	22+45	3' LT	220.7	219.0	RM = 232.0
L-8	STD A-10 INLET	22+45	12' LT	220.6	227.5	TC = 233.7
L-9	STD A-10 INLET	15+71	12' RT	232.2	232.2	TC = 233.7
L-10	TYPE 'S' INLET	14+70	11' RT	233.8	233.8	GRATE = 237.4
L-11	STD A-10 INLET	15+06	12' RT	234.0	235.5	TC = 241.8
L-12	STD A-10 INLET	11+44	12' RT	234.8	236.5	TC = 242.4
L-13	STD A-10 INLET	11+86	12' RT	233.2	237.7	TC = 243.0
M-14	STD PRECAST MANHOLE	10+77	22' RT	237.4	237.2	RM = 241.1
L-15	STD A-10 INLET	7+44	12' RT	240.2	240.2	TC = 245.0
M-16	STD PRECAST MANHOLE	19+97	3' LT	232.4	227.5	RM = 243.0
L-17	STD A-10 INLET	17+20	12' LT	233.2	232.5	TC = 243.7
L-18	STD A-10 INLET	16+77	12' LT	237.0	236.8	TC = 243.7
L-19	STD A-10 INLET	14+23	12' LT	240.3	237.7	TC = 242.2
L-20	STD A-10 INLET	13+42	15' LT	242.5	241.0	TC = 250.0
M-21	STD PRECAST MANHOLE	10+84	26' LT	250.1	247.7	RM = 250.3
L-22	STD A-10 INLET	10+32	15' LT	250.7	250.6	TC = 256.9
L-23	STD A-10 INLET	7+40	17' LT	254.7	254.0	TC = 260.6
M-24	STD PRECAST MANHOLE	7+33	1' RT	253.9	255.0	RM = 261.2
L-25	STD A-10 INLET	4+46	3' RT	262.6	262.6	TC = 268.0
L-26	STD A-10 INLET	0+55	11' LT	233.7	233.4	TC = 243.9
L-27	STD A-10 INLET	0+35	12' LT	241.0	241.0	TC = 246.1
L-28	STD A-10 INLET	0+47	15' LT	242.4	242.2	TC = 243.0
L-29	STD A-10 INLET	0+77	15' LT	244.0	243.5	TC = 247.1
L-30	STD A-10 INLET	12+73	15' LT	247.7	246.7	TC = 252.8
L-31	STD A-10 INLET	7+34	15' LT		246.6	TC = 259.6
L-32	STD A-10 INLET	6+71	15' LT		246.6	TC = 266.6
L-33	TYPE 'S' INLET	3+52	22' RT	242.7	242.5	GRATE = 247.1
L-34	STD A-10 INLET	2+73	15' LT		243.5	TC = 247.1
L-35	HO. CO. STD YARD INLET	SEE PLAN	SEE PLAN		237.2	GRATE = 241.5
S-36	HO. CO. METAL END SECTION	SEE PLAN	SEE PLAN		216.3	
L-37	STD A-10 INLET	2+22	30' RT	232.0	230.0	TC = 241.0
L-38	STD A-10 INLET	2+81	30' RT	235.0	237.5	TC = 243.2
L-39	STD A-10 INLET	4+10	30' RT	238.0	240.0	TC = 245.5
S-40	HO. CO. METAL END SECTION	22+37	70' LT		213.1	

SIZE	TYPE	LENGTH
15"	BCLMP	1499'
18"	BCLMP	615'
21"	BCLMP	450'
24"	BCLMP	546'
27"	BCLMP	575'
30"	BCLMP	77'
36"	BCLMP	472'
42"	BCLMP	315'

All BCLMP TO BE 1/6 Ga.

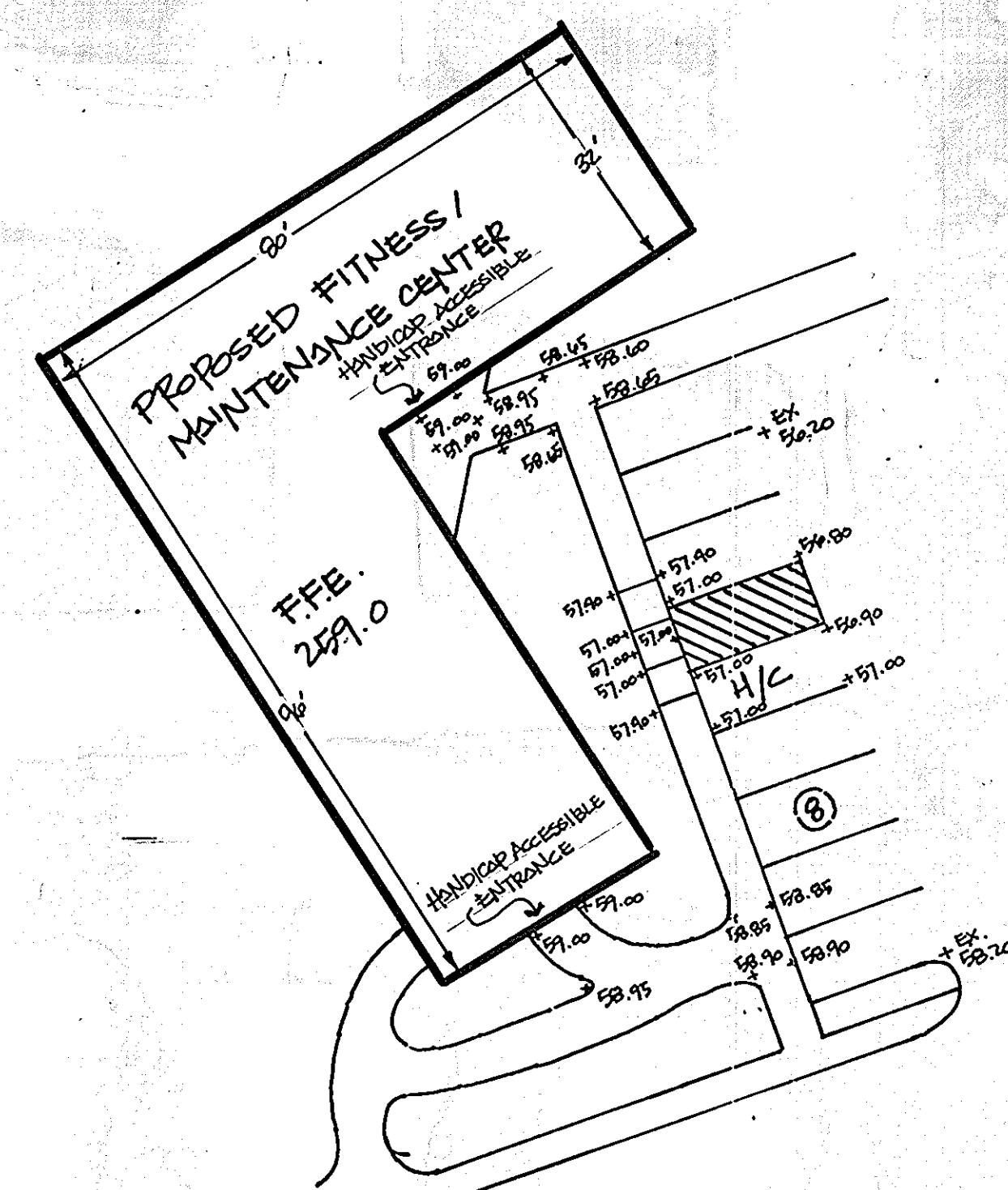
CERTIFICATION BY THE DEVELOPER

"I certify that all development and/or construction will be done according to these plans of development, pond construction and erosion and sediment control. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary. Deviation from this plan will not be made unless authorized by the Howard Soil Conservation District. I will provide the Howard Soil Conservation District with a red-lined "As-Built" of the pond within 30 days of completion."

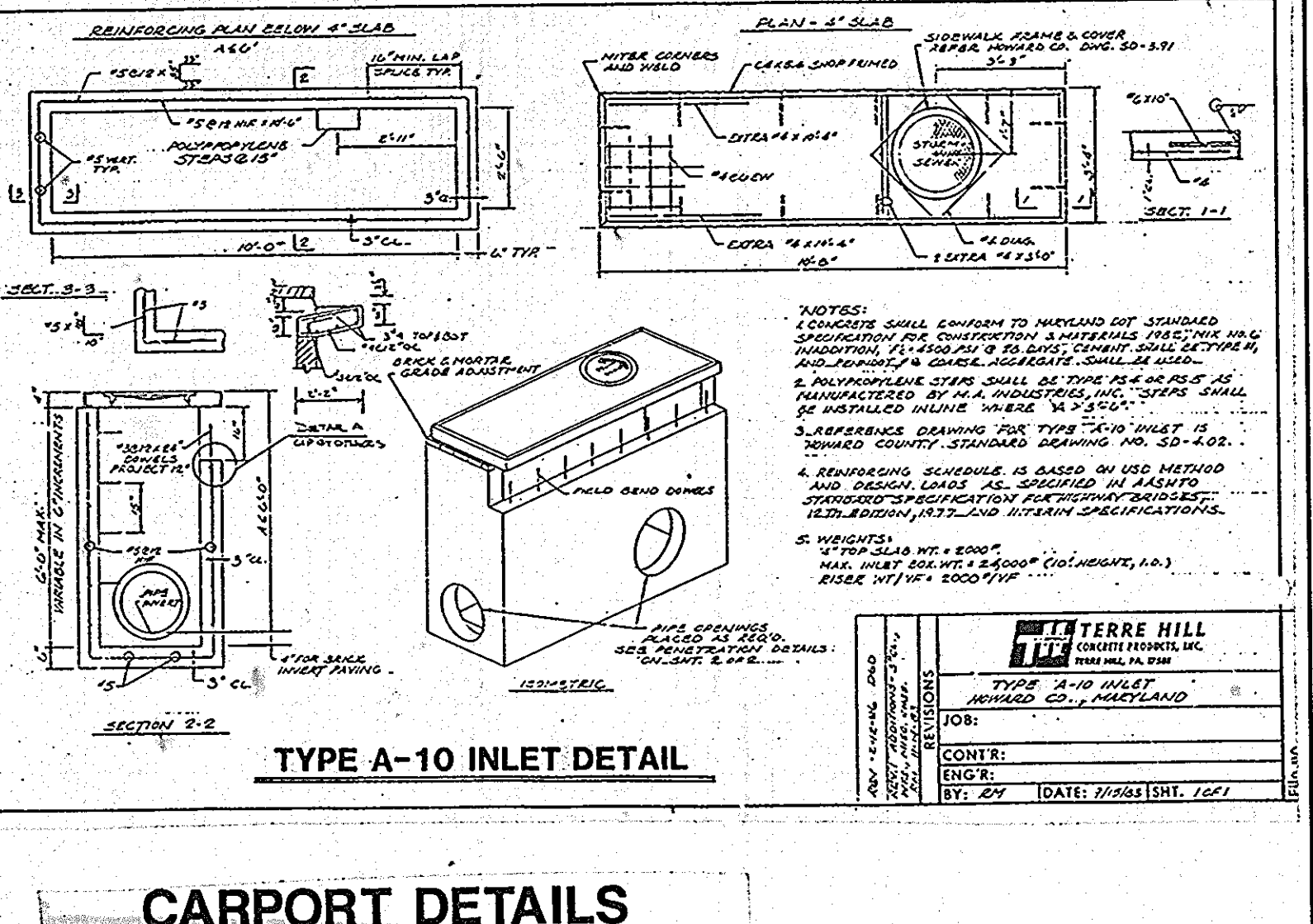
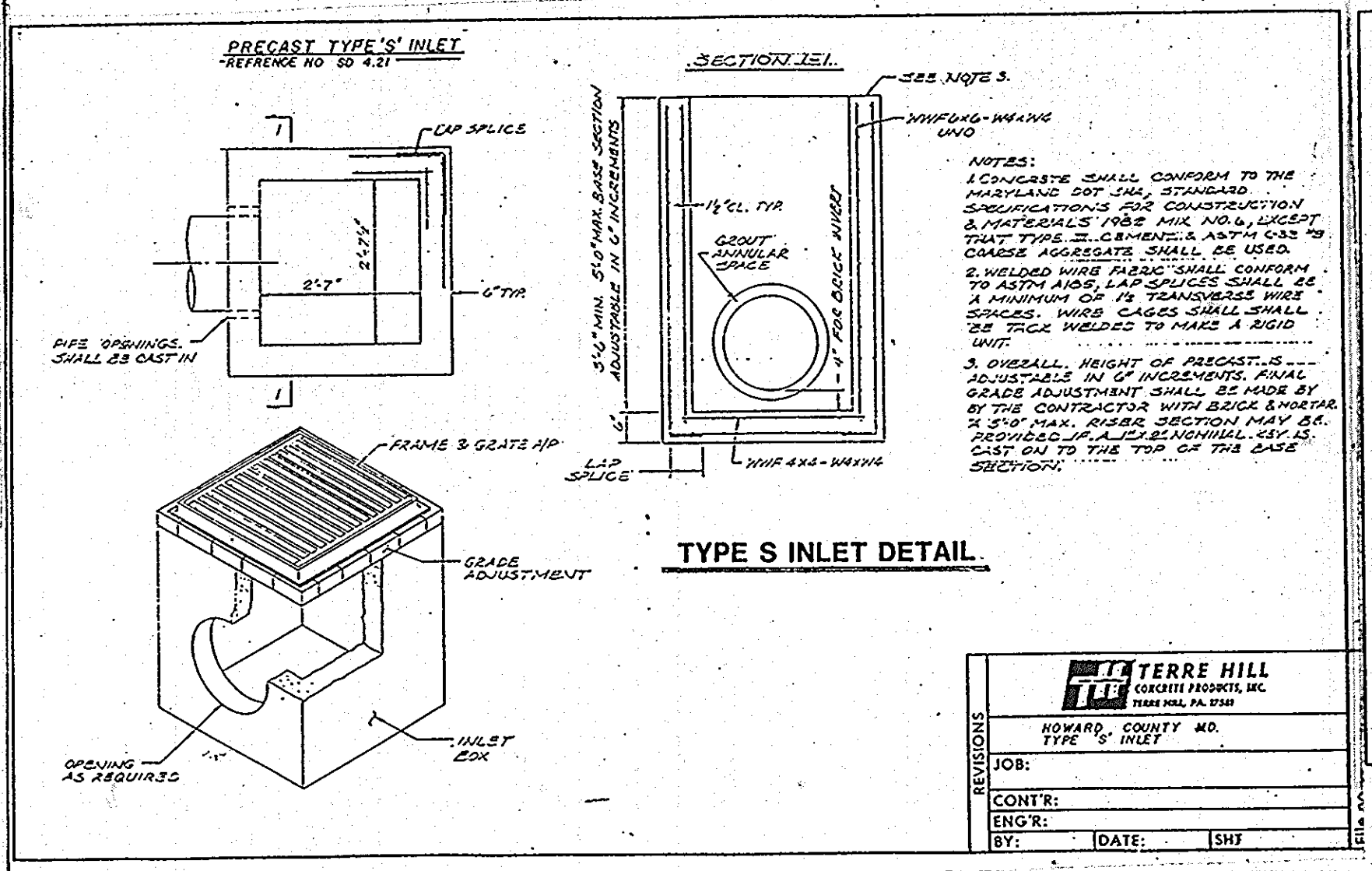
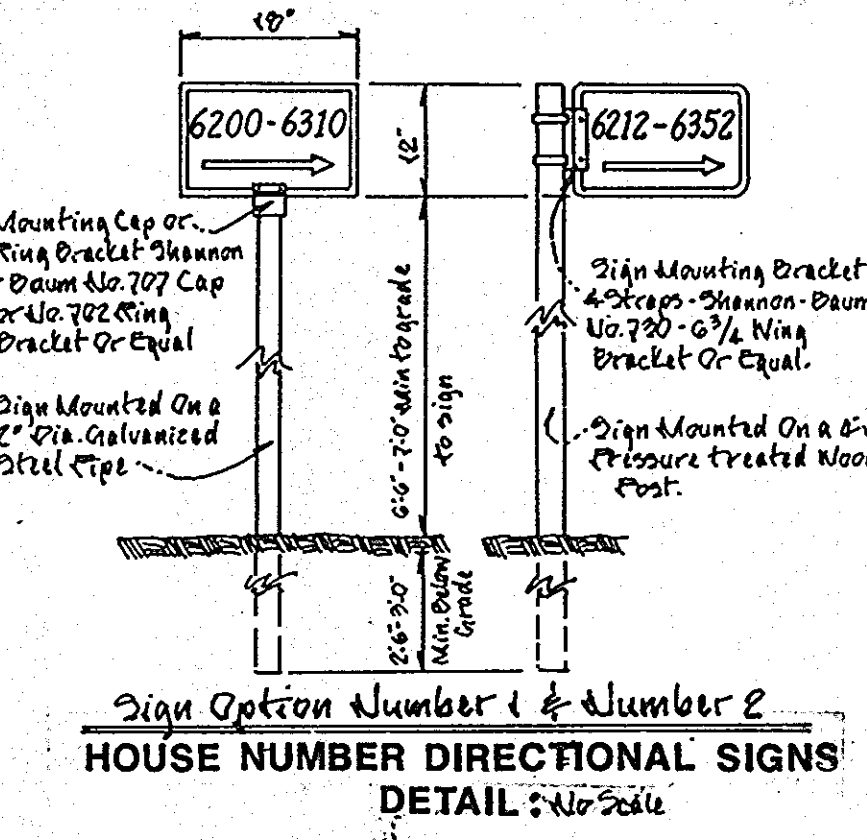
*[Signature]* May 28, 1987  
 Sherwood Access Limited Partnership Date

Note: Sediment Control will be provided in accordance with the approved plan SDF 05-202

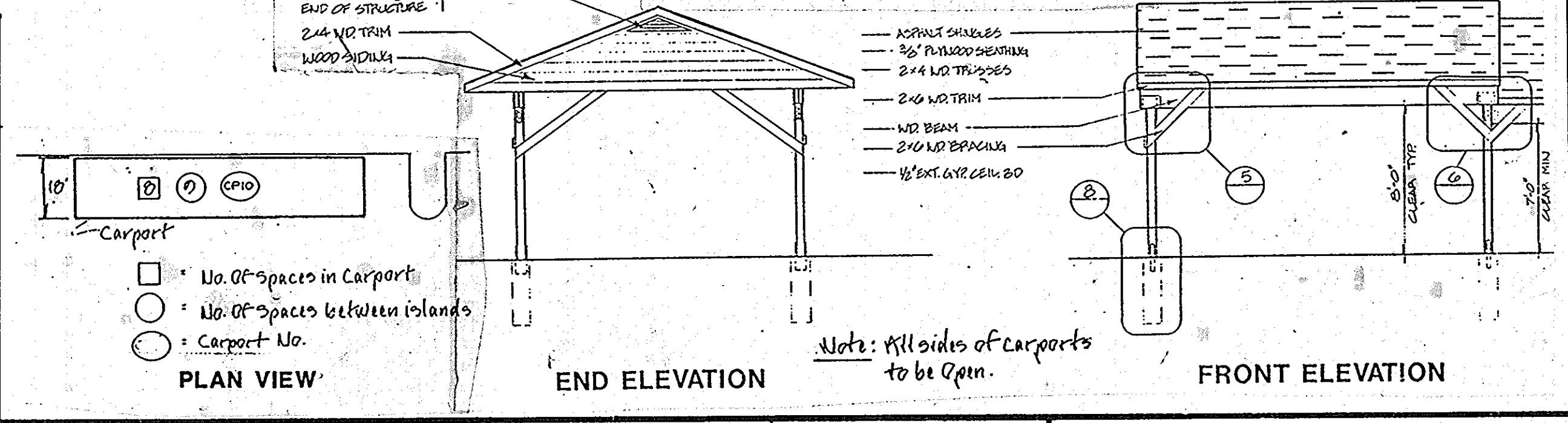
HANDICAP REQUIREMENT DETAIL  
 SCALE: 1"=20'



- THE FOLLOWING STANDARD SIGN DESIGN SPECIFICATIONS SHALL APPLY:
- The sign size shall be 12" x 18".
  - The sign material shall be .080 gauge thickness anodized aluminum.
  - The sign shall have a green background with 3" high white reflective numbers and arrow with a white reflective border.
  - Where a private road name is in use or part of a private Homeowner's Association agreement the sign site will be enlarged to accommodate the necessary lettering but remain proportional to the above design limits.
  - The sign will be installed within the corner easement area as noted on the final plat.
  - House number identification signs are to be provided under the terms of the Homeowner's Association Incorporation for installation and maintenance in accordance with the Office of Planning and Zoning House Numbering System and per Section 3.503 (a) of the Howard County Code - Public Signs. Maintenance/repair and replacement of the house number directional signs will be the responsibility of the Homeowner's Association.
  - Compliance regarding the installation of the new house number directional signs will be enforced by the Department of Public Works, Division of Inspections and Enforcement at the time of final approval for issuance of the Use and Occupancy permits.



APPROVED  
 DIVISION OF LAND DEVELOPMENT &  
 ZONING ADMINISTRATION  
 HOWARD COUNTY, MARYLAND  
 DATE 7-1-87  
*[Signature]*



APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT  
 DATE 8-5-87  
 COUNTY HEALTH OFFICER

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING ADMINISTRATION  
 DATE 8-6-87  
 PLANNING DIRECTOR

CHIEF DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION  
 DATE 9-6-87

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 DATE 3-4-87  
 DIRECTOR

CHIEF BUREAU OF ENGINEERING  
 DATE 3-3-87

NO.	REVISION	DATE	APPROVED	DATE
3	ADD OF FITNESS/MAINTENANCE CTR.	JMH		3.14.2008
2	Added Carport Details & House No. Details	JPC		7-14-07
1	Added Hydraulic Gradient	JPC		8-17-06

7/14/87

*[Signature]* Revision #1

**KMWM CORPORATION**  
 ENGINEERS • PLANNERS • SURVEYORS  
 13321 New Hampshire Avenue Suite 300  
 Silver Spring, Maryland • 20904 • 301-384-4300

STORM DRAIN PROFILES  
 PARCEL A TAX MAP N237  
**SHERWOOD CROSSING**  
 1ST ELECTION DISTRICT  
 Howard County, Maryland  
 Plat No's 6630 & 6630

OWNER/DEVELOPER: SHERWOOD CROSSING LIMITED PARTNERSHIP  
 5% BURROW REAL ESTATE DEVELOPMENT COMPANY  
 750 BERING DRIVE HOUSTON, TX 77057

Design: Sheet 4 of 4  
 Draft: Date: Feb. 07 Job: 04-017  
 Approved: Scale: as noted File: 04-017

FOR REVISION #3

STATE OF MARYLAND  
 PROFESSIONAL ENGINEER  
 M. HOUSEHOLDER  
 No. 29307  
 3.14.08

**GENERAL NOTES**

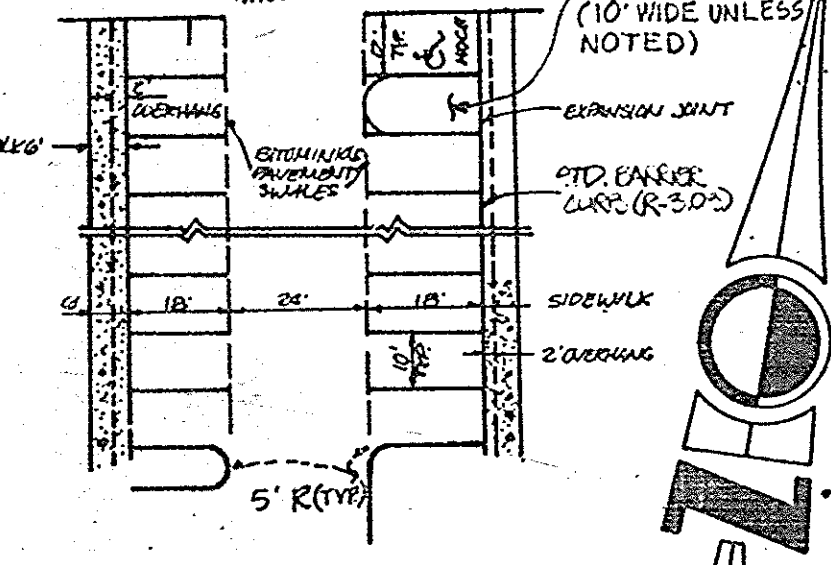
1. ALL MATERIALS AND CONSTRUCTION TO BE IN ACCORDANCE WITH HOWARD COUNTY ROAD CONSTRUCTION CODE AND SECS.
2. THIS PLAN IS COVERED BY FINAL DEVELOPMENT PLAN PHASE 132-A.
3. ANY DAMAGE TO COUNTY OWNED RIGHTS OF WAY SHALL BE DIRECTED AT THE DEVELOPER'S EXPENSE.
4. INSTALLATION OF TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL.
5. TOPOGRAPHY WAS COMPILED BY KMMM CORPORATION FIELD SURVEY.
6. ALL DRIVEWAYS ARE TO BE PRIVATELY OWNED AND MAINTAINED.
7. ALL COORDINATES ARE BASED ON HOWARD COUNTY GEODETIC CONTROL TRIANGLE WHICH IS BASED ON THE MARYLAND STATE PLANE COORDINATE SYSTEM.
8. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND DEPTH OF MAINS BY OBTAINING TESTS BY HAND AT ALL CROSSINGS WELL IN ADVANCE OF CONSTRUCTION.
9. ALL DOWNSPOUT DRAINS SHALL BE HANDLED BY ONE OF THE FOLLOWING METHODS:
  - A. DOWNSPOUT TO SPLASH BLOCKS AND DISCHARGE TO GROUND HAVING GOOD PERCOLATION.
  - B. DOWNSPOUT IN FRONT OF UNIT, PIPED TO CURB.
  - C. DOWNSPOUT CONNECTED TO STORM DRAIN.
10. THE CONTRACTOR OR DEVELOPER SHALL CONTACT THE CONSTRUCTION INSPECTION/SURVEY DIVISION 24 HRS. IN ADVANCE OF COMMENCEMENT OF WORK AT 932-2417, OR 732-7272.
11. HANDICAP PARKING SIGNS SHALL BE PROVIDED FOR EACH HANDICAP SPACE IN ACCORDANCE WITH THE MARYLAND BUILDING CODE FOR THE HANDICAPPED SECTION 5.01 TO 7.05.
12. OPEN SPACE IS 15% OF GROSS AREA (232,400 sq. ft.) = 34,860 sq. ft.

NOTE: FOR GREAT BRITAIN REQUIREMENTS HANDICAP REQUIREMENTS, SEE SHEET 4 OF 4.

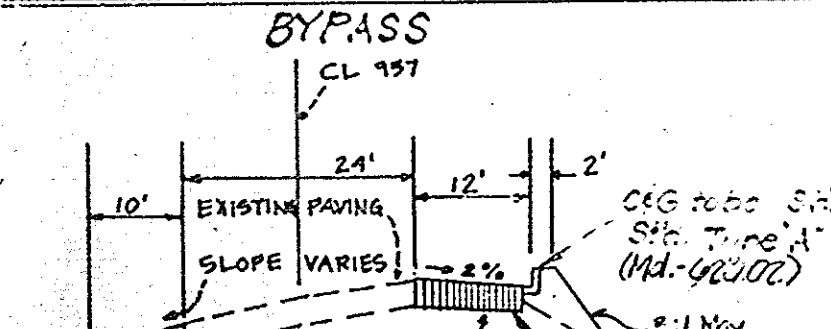
NOTE: MEAN HEIGHT IN ACCORDANCE WITH ZONING SECTION 14.02.102.A.18: 12.5' WRT 1.4'

- 3 (MINIMUM) BITUMINOUS CONCRETE SURFACE (2 1/2" COURSES) ON:
- 4 (MINIMUM) BITUMINOUS CONCRETE BASE ON ONE OF THE FOLLOWING:
  - A. 6" GRADED AGGREGATE SUB-BASE, OR
  - B. 7" BANK RUN GRAVEL SUB-BASE, OR
  - C. 7" BANK RUN GRAVEL SUB-BASE, OR
  - D. 7" BANK RUN GRAVEL SUB-BASE, OR
  - E. 7" BANK RUN GRAVEL SUB-BASE, OR
  - F. 7" BANK RUN GRAVEL SUB-BASE, OR
  - G. 7" BANK RUN GRAVEL SUB-BASE, OR
  - H. 7" BANK RUN GRAVEL SUB-BASE, OR
  - I. 7" BANK RUN GRAVEL SUB-BASE, OR
  - J. 7" BANK RUN GRAVEL SUB-BASE, OR
  - K. 7" BANK RUN GRAVEL SUB-BASE, OR
  - L. 7" BANK RUN GRAVEL SUB-BASE, OR
  - M. 7" BANK RUN GRAVEL SUB-BASE, OR
  - N. 7" BANK RUN GRAVEL SUB-BASE, OR
  - O. 7" BANK RUN GRAVEL SUB-BASE, OR
  - P. 7" BANK RUN GRAVEL SUB-BASE, OR
  - Q. 7" BANK RUN GRAVEL SUB-BASE, OR
  - R. 7" BANK RUN GRAVEL SUB-BASE, OR
  - S. 7" BANK RUN GRAVEL SUB-BASE, OR
  - T. 7" BANK RUN GRAVEL SUB-BASE, OR
  - U. 7" BANK RUN GRAVEL SUB-BASE, OR
  - V. 7" BANK RUN GRAVEL SUB-BASE, OR
  - W. 7" BANK RUN GRAVEL SUB-BASE, OR
  - X. 7" BANK RUN GRAVEL SUB-BASE, OR
  - Y. 7" BANK RUN GRAVEL SUB-BASE, OR
  - Z. 7" BANK RUN GRAVEL SUB-BASE, OR

**TYPICAL PARKING AREA**



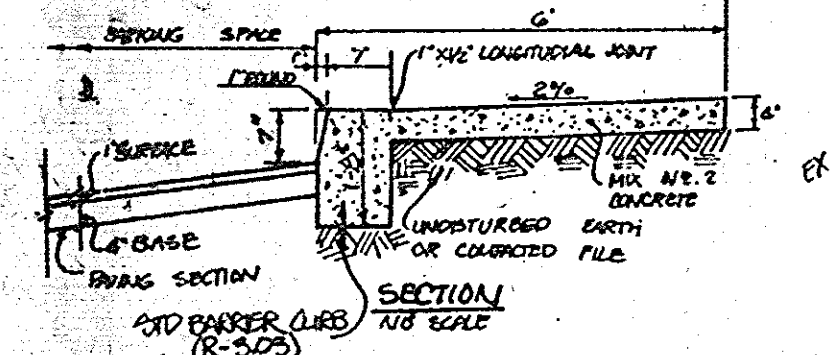
**MD. RT. 957: TYPICAL SECTION A-A**



- 3 (MINIMUM) BITUMINOUS CONCRETE SURFACE (2 1/2" COURSES) ON:
- 4 (MINIMUM) BITUMINOUS CONCRETE BASE ON ONE OF THE FOLLOWING:
  - A. 6" GRADED AGGREGATE SUB-BASE, OR
  - B. 7" BANK RUN GRAVEL SUB-BASE, OR
  - C. 7" BANK RUN GRAVEL SUB-BASE, OR
  - D. 7" BANK RUN GRAVEL SUB-BASE, OR
  - E. 7" BANK RUN GRAVEL SUB-BASE, OR
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  - V. 7" BANK RUN GRAVEL SUB-BASE, OR
  - W. 7" BANK RUN GRAVEL SUB-BASE, OR
  - X. 7" BANK RUN GRAVEL SUB-BASE, OR
  - Y. 7" BANK RUN GRAVEL SUB-BASE, OR
  - Z. 7" BANK RUN GRAVEL SUB-BASE, OR

**CURBS**  
ALL CURBS WITHOUT SIDEWALKS ADJUTING SHALL BE HOWARD COUNTY STANDARD R-3.01. EXCEPT IN RT. 957 R/W WHICH SHALL BE MD SHA. TYPE A' (MR-620.02)

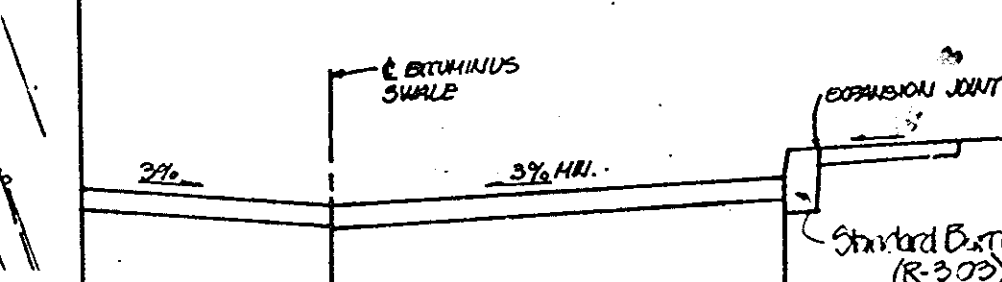
**NOTES**  
1. LONGITUDINAL JOINT BETWEEN SIDEWALK AND CURB SHALL BE CONTIGUOUS AND TO A DEPTH OF 1/4" THE SIDEWALK THICKNESS OR 1" MAX. LONGITUDINAL JOINTS SHALL RUN FROM CURB EDGE OF SIDEWALK, CONTIGUOUS TO THE BOTTOM FACE OF CURB TO A DEPTH OF 1/4" AND SPACE 5' APART.  
2. REMOVE 1/4" EXPANSION JOINTS AT 16' INTERVALS IN LONGITUDINAL JOINTS TO FULL CROSS-SECTION.



- LEGEND**
1. Contour Interval = 2'; Exist. contour - - - - -
  2. Proposed Contour - - - - -
  3. Prop. spot elevation +82'
  4. Proposed Storm Drain
  5. No. of Parking Spaces (1)
  6. Dumpster Pad Locations (See Sht. 3 for detail)
  7. 31-Box dumpsters provided

**APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS**  
 COUNTY HEALTH OFFICER: *[Signature]* DATE: 8-5-87  
**APPROVED** HOWARD COUNTY OFFICE OF PLANNING & ZONING  
 PLANNING DIRECTOR: *[Signature]* DATE: 8-6-87  
 CHIEF DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION  
**APPROVED** FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIRECTOR: *[Signature]* DATE: 8-1-87  
 CHIEF BUREAU OF ENGINEERING: *[Signature]* DATE: 8-3-87

REV.	NOTES	DATE	BY
1	REVISED W&E	6/16/08	cc1



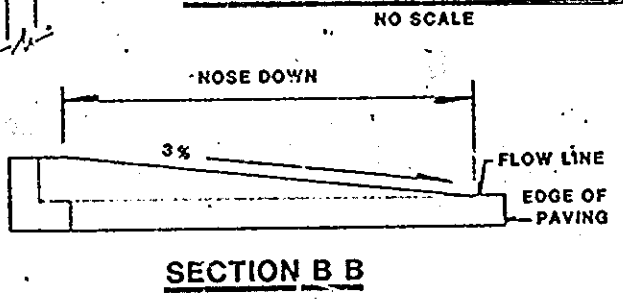
- TYP. PARKING SECTION FOR PRIVATE ROOADWAY**
1. ADD OF FITNESS/MAINTENANCE CTR. 2.14.08
  2. ADD 2ND EGRESS - COMM. CNTR
  3. REVISED PARKING SPACE NUMBERS TO AGREE WITH TOTAL LOT COUNT.

No.	Revision	Approved	Date
1.	Revised Handicap Ramps & Relocated Dumpsters	<i>[Signature]</i>	7-16-87
2.		<i>[Signature]</i>	9-22-02
3.		<i>[Signature]</i>	1-25-88

**TYPICAL PAVING SECTION**

- STREET HOWARD CO. SECTION #
- SHERWOOD CROSSING DR. P-2
  - ARROW WAY DRIVE P-2
  - MCCASIN LAKE P-2
  - ARROW WAY CT. P-1
  - RED FOX CT. P-1
  - BLACK POWDER CT. P-2
  - ALL PARKING AREAS P-1
  - \* SEE HOWARD CO. DETAIL R-201

**HANDICAP RAMP DETAIL**



**STREET ADDRESS CHART**

BLDG. NO.	STREET ADDRESS
1	6735-6737, 6739, 6741, 6743, 6745, 6747, 6749
2	6751, 6753, 6755, 6757
3	6761, 6763, 6765, 6767
4	6771, 6773, 6775, 6777
5	6781, 6783, 6785, 6787
6	6791, 6793, 6795, 6797
7	6801, 6803, 6805, 6807
8	6811, 6813, 6815, 6817
9	6821, 6823, 6825, 6827
10	6831, 6833, 6835, 6837
11	6841, 6843, 6845, 6847
12	6851, 6853, 6855, 6857
13	6861, 6863, 6865, 6867
14	6871, 6873, 6875, 6877
15	6881, 6883, 6885, 6887
16	6891, 6893, 6895, 6897
17	6901, 6903, 6905, 6907
18	6911, 6913, 6915, 6917
19	6921, 6923, 6925, 6927
20	6931, 6933, 6935, 6937
21	6941, 6943, 6945, 6947
22	6951, 6953, 6955, 6957

**SITE ANALYSIS**

	SECTION R-A-B R-5-A-B	TOTAL
1. GROSS AREA	36.9 11.9	48.8
2. FLOODPLAIN	4.6	4.6
3. NET AREA	32.3 11.9	44.2
4. NO. OF DWELLING UNITS ALLOWED (BASED ON NET AREA)	4845 25.2	579
5. FLOODPLAIN LOT ADJUSTMENT		
6. TOTAL NO. OF DWELLING UNITS ALLOWED	55.9	55.9
7. TOTAL NO. OF DWELLING UNITS PROPOSED	59.9	59.9
8. DENSITY PER ACRE	14.6	14.6
9. UNIT TOTALS	424	424
10. HSP UNITS PER 100' OF TOTAL	100	100
11. HSP UNITS PER 100' OF TOTAL	100	100
12. HSP UNITS PER 100' OF TOTAL	100	100

**REVISION #3** 9-22-02  
 Note: Submittal Control will be provided in accordance with the approved plan S.D.P. - 87-149



**KMMM CORPORATION**  
 ENGINEERS • PLANNERS • SURVEYORS  
 13321 New Hampshire Avenue Suite 300  
 Silver Spring, Maryland • 20904 • 301-384-4300

**SITE DEVELOPMENT PLAN**  
 PARCEL A TAX MAP #37  
 SHERWOOD CROSSING  
 1ST ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND  
 Plat No.'s GG60 & GG50

OWNER/DEVELOPER: SHERWOOD CROSSING LIMITED PARTNERSHIP  
 56 BURROW REAL ESTATE DEVELOPMENT COMPANY  
 750 BERING DRIVE HOUSTON, TX 77057  
 Design: K&B Sheet 1 of 4  
 Draft: TLR Date: 8-27-87 Job: 84-017  
 Approved: JAC Scale: 1"=50' File: SDP-87-149