

VICINITY MAP
SCALE: 1"=2000'

GENERAL NOTES:

- SUBJECT PROPERTY IS LOCATED ON TAX MAP 41 AND 46, PARCEL 2.
- PLAT REFERENCE:
- PRESENT ZONING IS: R-20 (RESIDENTIAL-SINGLE)
- MINIMUM SETBACKS:
FRONT: 50' (LOTS > 20,000 S.F.)
40' (LOTS < 20,000 S.F.)
SIDE: 30' (FROM PUBLIC R/W)
REAR: 30'
- TYPICAL HOUSE DIMENSIONS, SCHEMATIC PROFILE, DETAILS, SEDIMENT CONTROL NOTES AND SPECIFICATIONS CAN BE FOUND ON SHEET 4 OF 4.
- SITE ANALYSIS:
A. TOTAL NUMBER OF LOTS: 25
B. TOTAL AREA OF LOTS: 10.22 AC.±
- STREET TREES WILL BE PROVIDED UNDER F-87-14 BY THE OWNER - HAMMOND HILLS ASSOCIATES LIMITED PARTNERSHIP.
- THE CONTRACTOR OR DEVELOPER SHALL CONTACT THE CONSTRUCTION INSPECTION DIVISION, 24 HOURS IN ADVANCE OF COMMENCEMENT OF WORK @ 792-2630.
- EXISTING TOPOGRAPHY SHOWN WAS PROVIDED BY RIEMER GROUP, INC., 3105 HEALTH PARK DRIVE, ELLICOTT CITY, MARYLAND 21043.

CONSTRUCTION SEQUENCE:

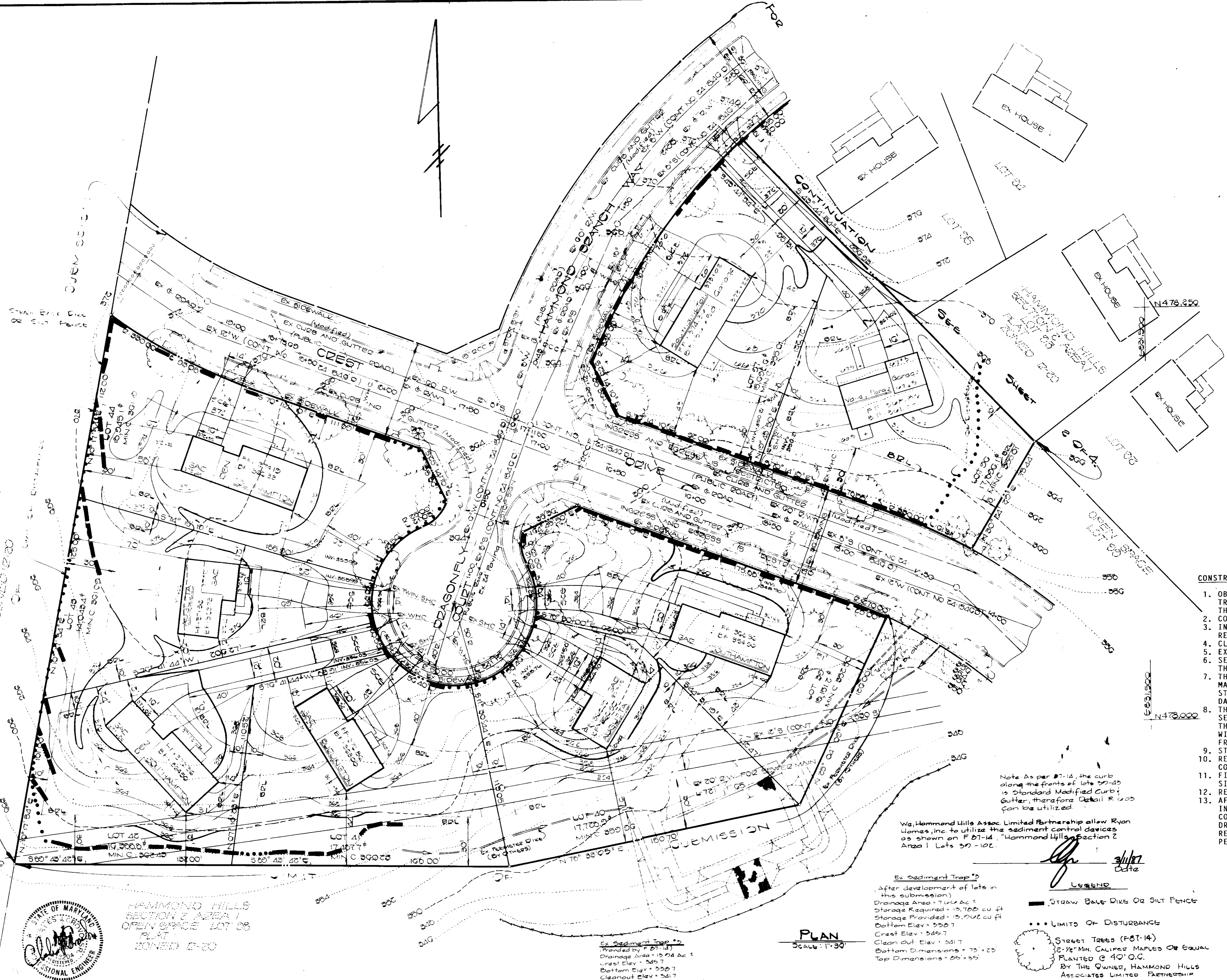
- OBTAIN GRADING PERMIT. INSPECT EXISTING SEDIMENT TRAPS AND MAKE ANY NECESSARY REPAIRS OR MAINTENANCE TO THE TRAPS PRIOR TO BEGINNING ANY WORK SHOWN HEREON.
- CONSTRUCT STONE CONSTRUCTION ENTRANCE FOR LOTS.
- INSTALL STRAW BALE DIKE OR SILT FENCE ON LOTS AS REQUIRED.
- CLEAR AND GRUB HOUSE SITES TO SUBGRADE.
- EXCAVATE FOR FOUNDATIONS AND BEGIN HOUSE CONSTRUCTION.
- SEDIMENT SHALL BE REMOVED FROM THE SEDIMENT TRAPS WHEN THE CLEANOUT ELEVATION HAS BEEN REACHED.
- THE CONTRACTOR SHALL INSPECT AND PROVIDE NECESSARY MAINTENANCE ON THE SEDIMENT AND EROSION CONTROL STRUCTURES SHOWN HEREON, AFTER EACH RAINFALL AND ON A DAILY BASIS.
- THE SEDIMENT TRAP SHALL BE DEWATERED BY PUMPING. THE SEDIMENT FROM THE TRAPS SHALL BE PLACED UP-GRADE FROM THE SEDIMENT TRAPS IN SUCH A MANNER AS NOT TO INTERFERE WITH CONSTRUCTION OPERATIONS OR CAUSE EROSION DOWNGRADE FROM THE SEDIMENT TRAPS.
- STORM DRAINS MUST EMPTY INTO SEDIMENT TRAPS.
- REMOVE SEDIMENT FROM ROADWAYS AND DRESS STONE CONSTRUCTION ENTRANCE AS REQUIRED.
- FINE GRADE LOTS AND STABILIZE. INSTALL DRIVEWAYS AND SIDEWALKS.
- REMOVE STRAW BALE DIKE OR SILT FENCE AND STABILIZE.
- AFTER PERMISSION HAS BEEN GIVEN BY SEDIMENT CONTROL INSPECTOR, BACKFILL SEDIMENT TRAPS. STORM DRAIN CONSTRUCTION WILL BE COMPLETED AFTER CONTRIBUTING DRAINAGE AREAS ARE STABILIZED AND TRAPS HAVE BEEN REMOVED. STABILIZE ALL REMAINING DISTURBED AREAS WITH PERMANENT SEEDING MIXTURE AND STRAW MULCH.

OWNER

HAMMOND HILLS ASSOCIATES LIMITED PARTNERSHIP
SUITE 210
9030 RED BRANCH ROAD
COLUMBIA, MARYLAND 21045
TELEPHONE: 740-3323

DEVELOPER

RYAN HOMES INC.
SUITE 215
14440 CHERRY LANE COURT
LAUREL, MARYLAND 20707
TELEPHONE: 498-4300



Note: As per F-87-14, the curb along the front of lots 20-25 is Standard Modified Curb & Gutter, therefore Detail R-1005 can be utilized.

We, Hammond Hills Assoc. Limited Partnership allow Ryan Homes, Inc. to utilize the sediment control devices as shown on F-87-14, "Hammond Hills" Section 2 Area 1 Lots 20-102.

Ex. Sediment Trap
After development of lots in this subdivision:
Drainage Area: 7.14 ac ±
Storage Required: 13,760 cu ft
Storage Provided: 15,000 cu ft
Bottom Elev: 350.7
Crest Elev: 350.7
Cleanout Elev: 351.7
Bottom Dimensions: 27' x 7'

Legend
--- Straw Bale Dike Or Silt Fence
--- Limits Of Disturbance
--- Street Trees (F-87-14)
2-1/2" Min. Caliper Maples Or Equal Planted @ 40' O.C.
By The Owner, Hammond Hills Associates Limited Partnership

PLAN
Scale: 1"=20'

Lot No.	Street Address
20	2102 Westport Ct
21	2104
22	2106
23	2108
24	2110
25	2112
26	2114
27	2116
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PERMANENT SEEDING NOTES:
 APPLY TO GRADED OR CLEARED AREA NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-TERM VEGETATIVE COVER IS NEEDED.
 SEEDING PREPARATION: LOOSEN UPPER THREE-INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING.
 SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULE:

- 1) PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ. FT.) AND 400 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE-INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS. PER ACRE 30-0-0 UREA-FORM FERTILIZER (9 LBS/1000 SQ. FT.).
- 2) ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ. FT.) AND 1000 LBS PER ACRE 10-10-10 FERTILIZER (23 LBS/1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE-INCHES OF SOIL.

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 80 LBS PER ACRE (1.4 LBS/1000 SQ. FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 50 LBS KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS PER ACRE (.05 LBS/1000 SQ. FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY OPTION (1) 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) USE SOO. OPTION (3) SEED WITH 60 LBS/ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.

MULCHING: APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ. FT.) OF UNROTTED SMALL GRAYN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS, ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ. FT.) FOR ANCHORING.

MAINTENANCE: INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

TEMPORARY SEEDING NOTES:
 APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.
 SEEDING PREPARATION: LOOSEN UPPER THREE-INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING.

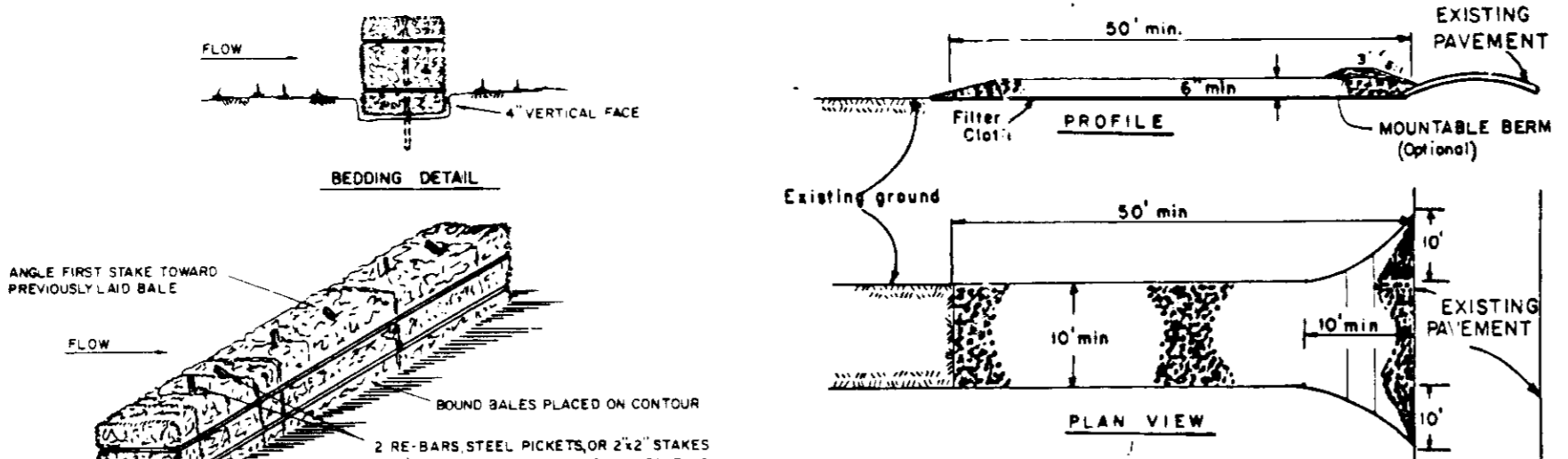
SOIL AMENDMENTS: APPLY 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ. FT.)
 SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU NOVEMBER 15, SEED WITH 2 1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS/1000 SQ. FT.). FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS PER ACRE OF WEEPING LOVEGRASS (.07 LBS/1000 SQ. FT.). FOR THE PERIOD NOVEMBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOO.

MULCHING: APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ. FT.) OF UNROTTED SMALL GRAYN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL PER ACRE (5 GAL/1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS, ON SLOPES, 8 FT. OR HIGHER, USE 348 GAL PER ACRE (8 GAL/1000 SQ. FT.) FOR ANCHORING.
 REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

SEDIMENT CONTROL NOTES:

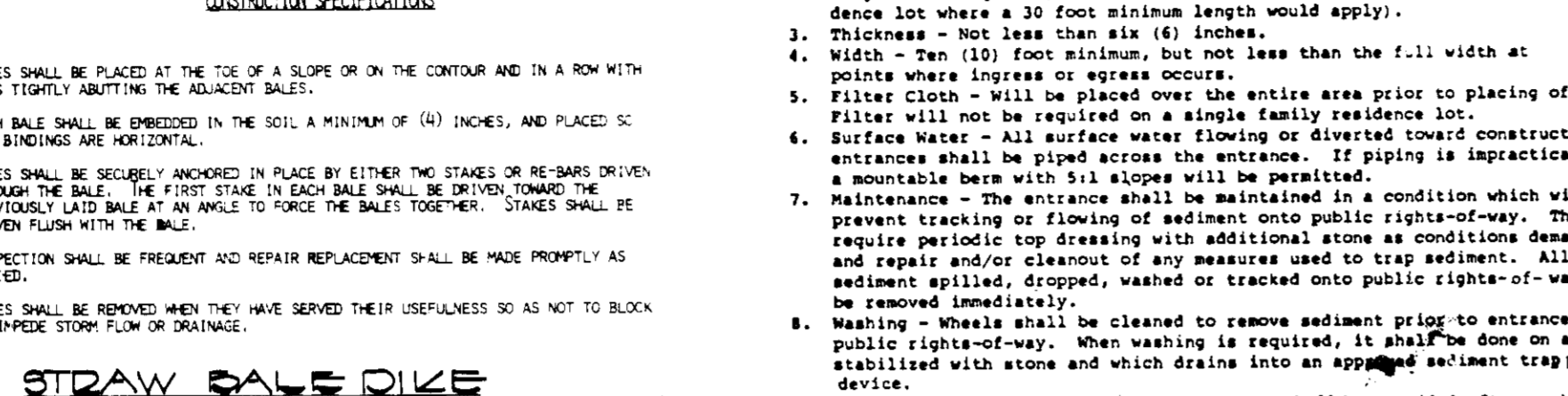
- 1) A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTIONS AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION (992-2437).
- 2) ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- 3) FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: a) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1, b) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- 4) ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- 5) ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS (SEC. 51) SOO (SEC. 54), TEMPORARY SEEDING (SEC. 50) AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- 6) ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- 7) SITE ANALYSIS:

TOTAL AREA OF SITE	10.22 ACRES
AREA DISTURBED	0.27 ACRES
AREA TO BE ROOFED OR PAVED	1.15 ACRES
AREA TO BE VEGETATIVELY STABILIZED	0.13 ACRES
TOTAL CUT	CU. YDS.
TOTAL FILL	CU. YDS.
- 8) ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- 9) ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY DPW SEDIMENT CONTROL INSPECTOR.



CONSTRUCTION SPECIFICATIONS

1. Bales shall be placed at the toe of a slope or on the contour and in a row with ends tightly abutting the adjacent bales.
2. Each bale shall be embedded in the soil a minimum of (4) inches and placed so the bindings are horizontal.
3. Bales shall be securely anchored in place by either two stakes or re-bars driven through the bale. The first stake in each bale shall be driven toward the previously laid bale at an angle to force the bales together. Stakes shall be driven flush with the bale.
4. Inspection shall be frequent and repair/replacement shall be made promptly as needed.
5. Bales shall be removed when they have served their usefulness so as not to block or impede storm flow or drainage.

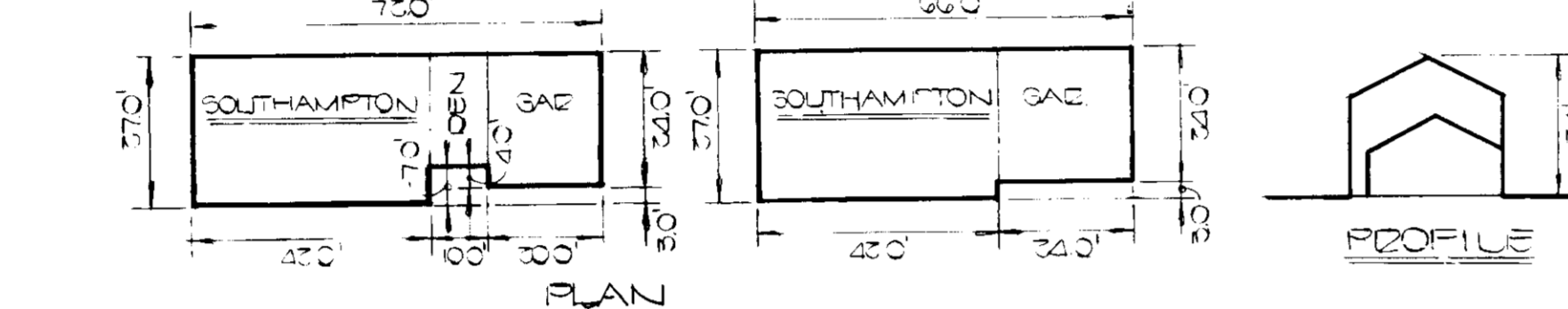


CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

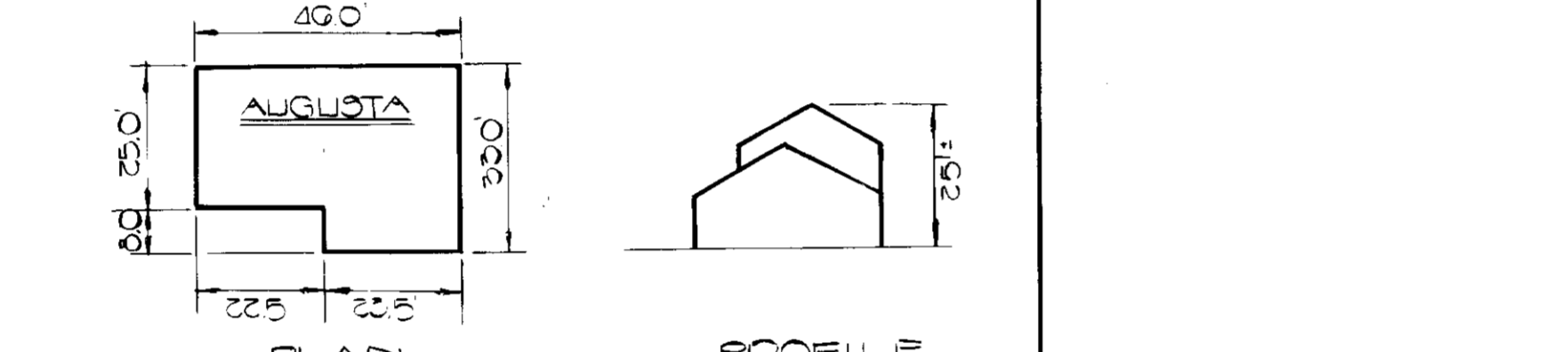
1. WIRE FENCE SHALL BE FASTENED SECURELY TO BENCH POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WIRE FENCE WITH TIES SPACED EVERY 2' AT TOP AND MID SECTION.
3. WHEN THE SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN NEEDED DEVELOPS IN THE SILT FENCE.

STABILIZED CONSTRUCTION ENTRANCE
 NOT TO SCALE

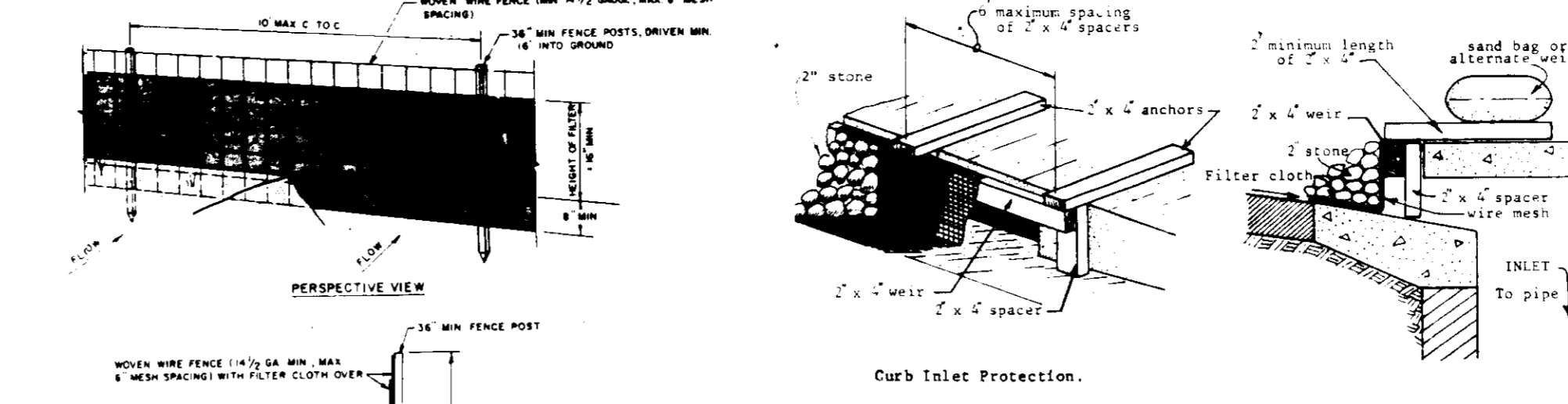
SILT FENCE
 NOT TO SCALE



TYPICAL HOUSE PLAN
 NOT TO SCALE



TYPICAL HOUSE PLAN
 NOT TO SCALE

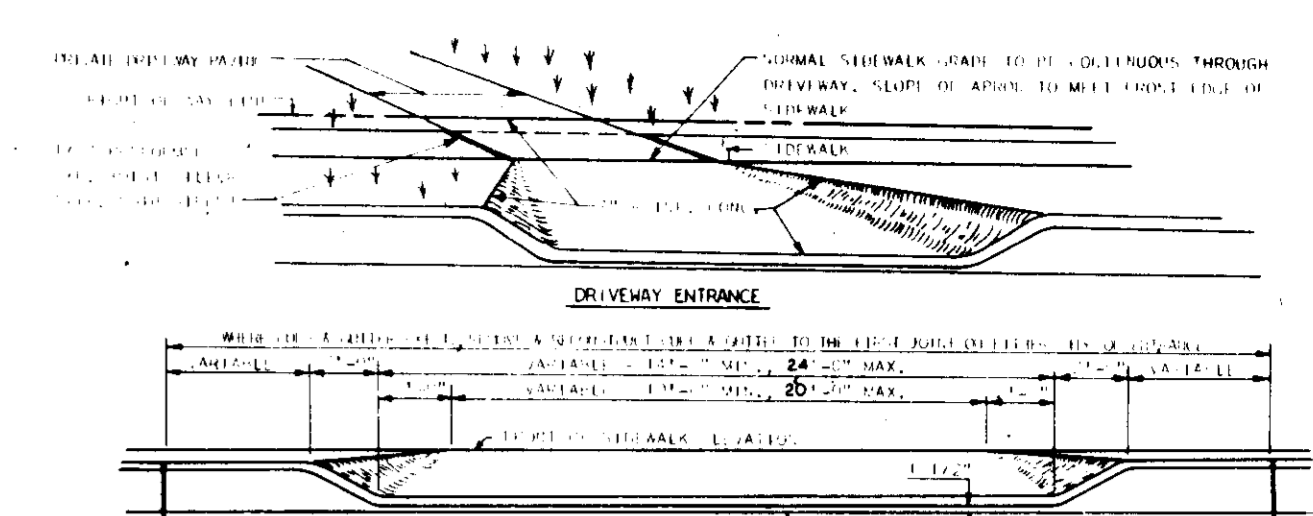


CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

1. WIRE FENCE SHALL BE FASTENED SECURELY TO BENCH POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WIRE FENCE WITH TIES SPACED EVERY 2' AT TOP AND MID SECTION.
3. WHEN THE SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN NEEDED DEVELOPS IN THE SILT FENCE.

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

INLET PROTECTION
 NOT TO SCALE



CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

1. WIRE FENCE SHALL BE FASTENED SECURELY TO BENCH POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WIRE FENCE WITH TIES SPACED EVERY 2' AT TOP AND MID SECTION.
3. WHEN THE SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN NEEDED DEVELOPS IN THE SILT FENCE.

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

RESIDENTIAL DRIVEWAY ENTRANCE
 NOT TO SCALE

APPROVED
 DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE 4-13-87



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 8388 COURT AVENUE
 ELLICOTT CITY, MARYLAND 21043
 (301) 461-2855

ENGINEER'S CERTIFICATE
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: *[Signature]*
 DATE: 4/29/87

DEVELOPER'S CERTIFICATE
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

Signature: *[Signature]*
 DATE: 4/23/87

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

Signature: *[Signature]* DATE: 4-29-87
 U.S. SOIL CONSERVATION SERVICE

Signature: *[Signature]* DATE: 4/29/87
 HOWARD SOIL CONSERVATION DISTRICT

APPROVED: OFFICE OF PLANNING AND ZONING

Signature: *[Signature]* DATE: 5-5-87
 PLANNING DIRECTOR

Signature: *[Signature]* DATE: 5-5-87
 CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS

Signature: *[Signature]* DATE: 5-4-87
 HEALTH OFFICER

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS

Signature: *[Signature]* DATE: 5-1-87
 DIRECTOR PUBLIC WORKS

Signature: *[Signature]* DATE: 5-1-87
 CHIEF, BUREAU OF ENGINEERING

SUBDIVISION: HAMMOND HILLS
 SECTION/AREA: 2/1
 LOT NO: 00-44, 77, 00-97

PLAT NO: 7102-7100
 BLOCK NO: 5
 TAX/ZONE: 220-03
 WATER CODE: E-10
 ELEC. DIST: G-11
 CENSUS TR.: 7000000

NOTES AND DETAILS
 HAMMOND HILLS
 SECTION 2 AREA 1
 LOTS 00 THRU 44
 LOT 77
 LOTS 00 THRU 97
 TAX MAP 41 AND 40 PARCEL NO 2
 6TH ELECTION DIST. HOWARD CO MARYLAND
 SCALE AS SHOWN DATE: DECEMBER 16, 1986
 SHEET 4 OF 4

OWNER
 HAMMOND HILLS ASSOCIATES LIMITED PARTNERSHIP
 SUITE 210
 9030 RED BRANCH ROAD
 COLUMBIA, MARYLAND 21045
 TELEPHONE: 740-3323

DEVELOPER
 RYAN HOMES INC.
 SUITE 215
 14440 CHERRY LANE COURT
 LAUREL, MARYLAND 20707
 TELEPHONE: 498-4300