

- CONSTRUCTION NOTES**
- During construction, access to the site shall be restricted to the S.C.E. shown on the plans.
 - Existing paving shall be removed, the site shall be graded and repaved as shown on the plans.
 - All landscaped areas shall be stabilized with 2" of hardwood mulch placed on polyethylene vapor barrier and landscaped as shown on the plans.
 - Installation of traffic control devices, markings and signs shall be in accordance with the Manual of Uniform Traffic Control Devices, (1971 Edition).
 - Site lighting shall be directed downward and away from residential areas and adjoining properties.
 - See Electrical Dwg. for Lighting Specifications Poles and Luminares shall be furnished and installed by the Electrical Contractor as shown.
 - It shall be distinctly understood that failure to mention specifically any work that would naturally be required to complete the project shall not relieve the Contractor of his responsibility to perform such work.
 - All work and materials shown herein shall be in accordance with the Occupational Safety and Health Act of 1970 and all rules and regulations thereto appurtenant.

NOTE:
ALL EXISTING BLDG. INCLUDING SHEDS ON SITE TO BE REMOVED AND EXISTING UTILITIES DISCOUNT AS PER HOWARD CO. STANDARDS.

Reviewed for HOWARD S.C.D.
Name: *Joseph M. Sem* 11-25-87
Signature: *Joseph M. Sem*
Date: 11/25/87
Service: S.C.D. Conservation District
Date: 11/25/87

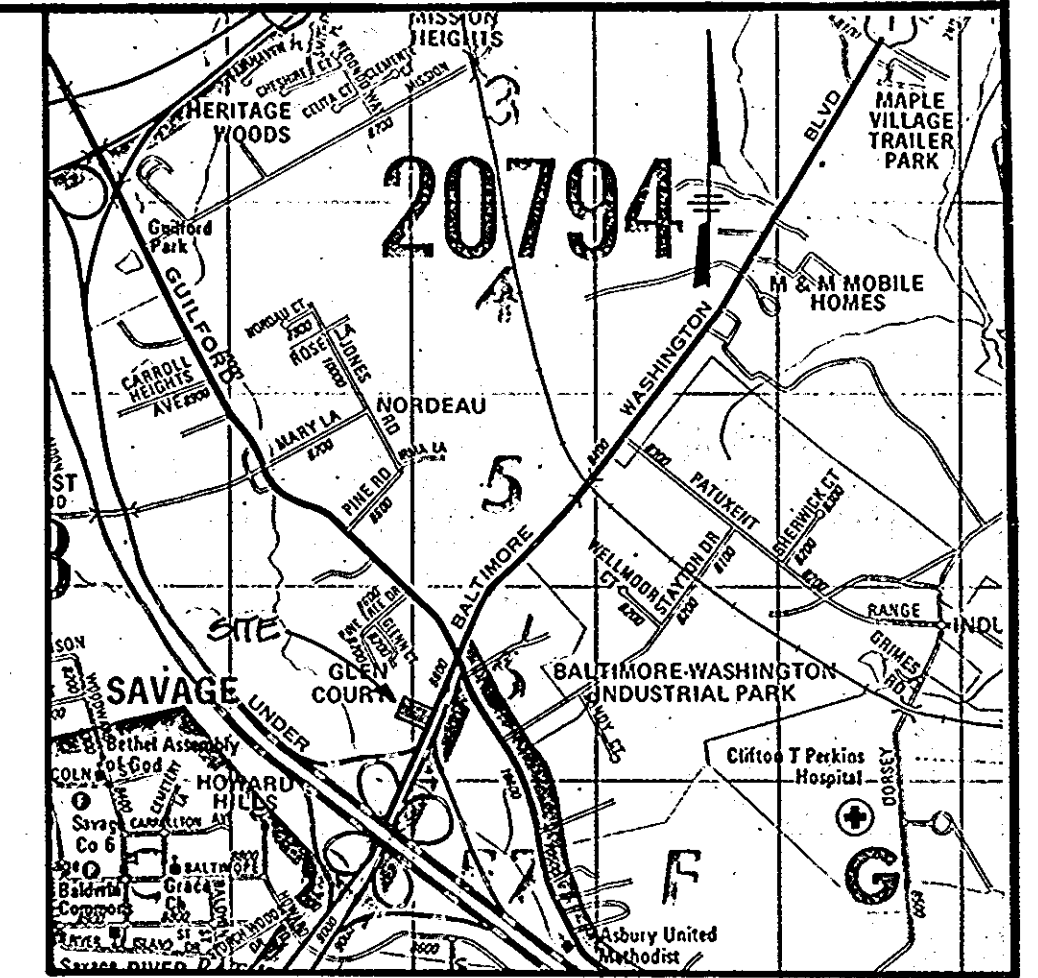
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT
Signature: *Joseph M. Sem* 11/25/87
Date: 11/25/87

STORM DRAIN STRUCTURE SCHEDULE

No.	TYPE	LOCATION	ELEVATIONS			REMARKS
			IN IN.	TOP	OUT	
E-1	50 WALL	SEE PLAN	-	182.36	-	NO STD. 350 DI.
M-1	MANHOLE	" "	184.30	183.00	182.30	H. Co. STD. 6.5 FT.
M-2	MANHOLE	" "	185.10	183.24	182.60	H. Co. STD. 6.5 FT.
I-1	INLET 'D'	" "	-	180.00	181.87	H. Co. STD. 4.11

By the Developer
"I certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project."
Signature of Developer: *Joseph M. Sem* 11-19-87
Date: 11-19-87

By the Engineer:
"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
Signature of Engineer: *Charles R. Crocken* 11/19/87
Date: 11/19/87



NOTE: EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH ARTICLE 15 OF THE HOWARD CO. DESIGN MANUAL VOLUME 4.
THE CONTRACTOR SHALL PROVIDE ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AS REQUESTED BY THE SCS INSPECTOR IN THE FIELD, IF REQUIRED.

SITE ANALYSIS

- Proposed Use: Motel
- Existing Use: Apartments
- Present Zoning: M-1
- Total Area of Site: (incl. Existing Bldg) = 0.963 Ac.
- Lot Coverage: (Bldg. First Floor) = 7975 s.f.
Percentage of Site = 19.1 %
- Total Floor Area per Level:
(a) Lower Level = 3379 s.f.
(b) First Floor = 8098 s.f.
(c) Second Floor = 8098 s.f.
- Impervious Area (Bldg. and Parking Lot) = 33,095 s.f.
Parking Lot (incl. Driveway) = 23,460 s.f.
Green Space Parking Lot (11.15%) = 2,612 s.f.
- Disturbed Area (Entire Site) $0.96 \times 0.29 = 1,253$ s.f.
- Open Space: (21.10%) = 8,851 s.f.
- PARKING TABULATION:
64 Units @ 1 Space per Unit = 64 Spaces
2 Employee @ 7 Space per 10 Emp = 2 Spaces
Total Spaces Required = 66 Spaces
Total Spaces Provided = 66 Spaces (incl. 3 Handicapped)
- Motel Rooms designated for handicapped use = 3

VICINITY MAP
Scale 1" = 2000'

APPROVED
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 10-21-87

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Director: *James J. ...* 11/27/87
Date: 11/27/87

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
County Health Officer: *Joseph M. ...* 12-1-87
Date: 12-1-87

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
Planning Director: *Unlabeled* 12-4-87
Date: 12-4-87

Chief, Division of Land Development and Zoning Administration: *A. Dave Teelks* 3/24/87
Date: 3/24/87

- GENERAL NOTES:**
- All work and materials shall be in accordance with the Howard Co. Design Manual Volume 4 Standard Specifications and Details for Construction.
 - The Contractor is to notify the following utilities at least 72 hours before starting work shown hereon.
C & P Telephone Co. 725-9974
Baltimore Gas & Electric Co. 539-8000 ext. 691
Howard Co. - Bureau of Utilities 992-2366
 - The Contractor shall notify the construction inspection/survey division five (5) days prior to commencement of work at 992-2417 or 992-2418.
 - The Contractor shall be responsible for the coordination of the relocation and maintenance of all public and/or private utilities as may be required to complete the work.
 - The Contractor shall be responsible for obtaining all necessary permits prior to commencing work.
 - The location of existing utilities shown hereon is not guaranteed. The Contractor shall take all necessary precautions to protect the existing utilities and maintain uninterrupted service. The existence of utilities other than those shown hereon is not known. The Contractor shall immediately notify the appropriate utility company if other utilities are encountered. Any damages will be repaired at the Contractor's expense and under the direction of the utility company.
 - All elevations shown hereon are based on Howard County Bench Mark.
 - All fill under Bldg and Rmvt. shall be compacted to a minimum of 95% optimum compaction as per AASHTO
 - All excess excavation to be disposed of on-site. All disturbed areas shall receive 2" topsoil, fertilizer, seed and mulch as per SCS standards.

DATE	NO.	REVISION DESCRIPTION
2/10/87	1	REV PER COMMENTS & REV BLDG.
7/21	2	REV PER ACCESS EASMT'S.

OWNER: Sand N REALESTATE PARTNERSHIP
13425 FORSYTHE ROAD
SYKESVILLE, MD. 21784 CONTRACT PURCHASER

DEVELOPER: Sand N REALESTATE PARTNERSHIP
13425 FORSYTHE ROAD
SYKESVILLE, MD 21784

PROJECT: PROPOSED COMFORT INN MOTEL

AREA: JESSUP, MD.
6TH ELECTION DISTRICT
HOWARD COUNTY, MD

TITLE: "AS-BUILT" SITE DEVELOPMENT PLAN

CHARLES R. CROCKEN
AND ASSOCIATES INC.
CIVIL ENGINEERING AND LAND PLANNING
63 EAST MAIN STREET WESTMINSTER, MD 21157 876-1226

Nov 19 1987
DATE

TAX MAP 47 PARCEL 830
DESIGNED BY: CRC
DRAWN BY: CRC/CHC
PROJECT NO.
DATE: Dec. 10, 1986
SCALE: AS SHOWN
DRAWING NO. 1 OF 2

PROFESSIONAL ENGINEER NO. 7803

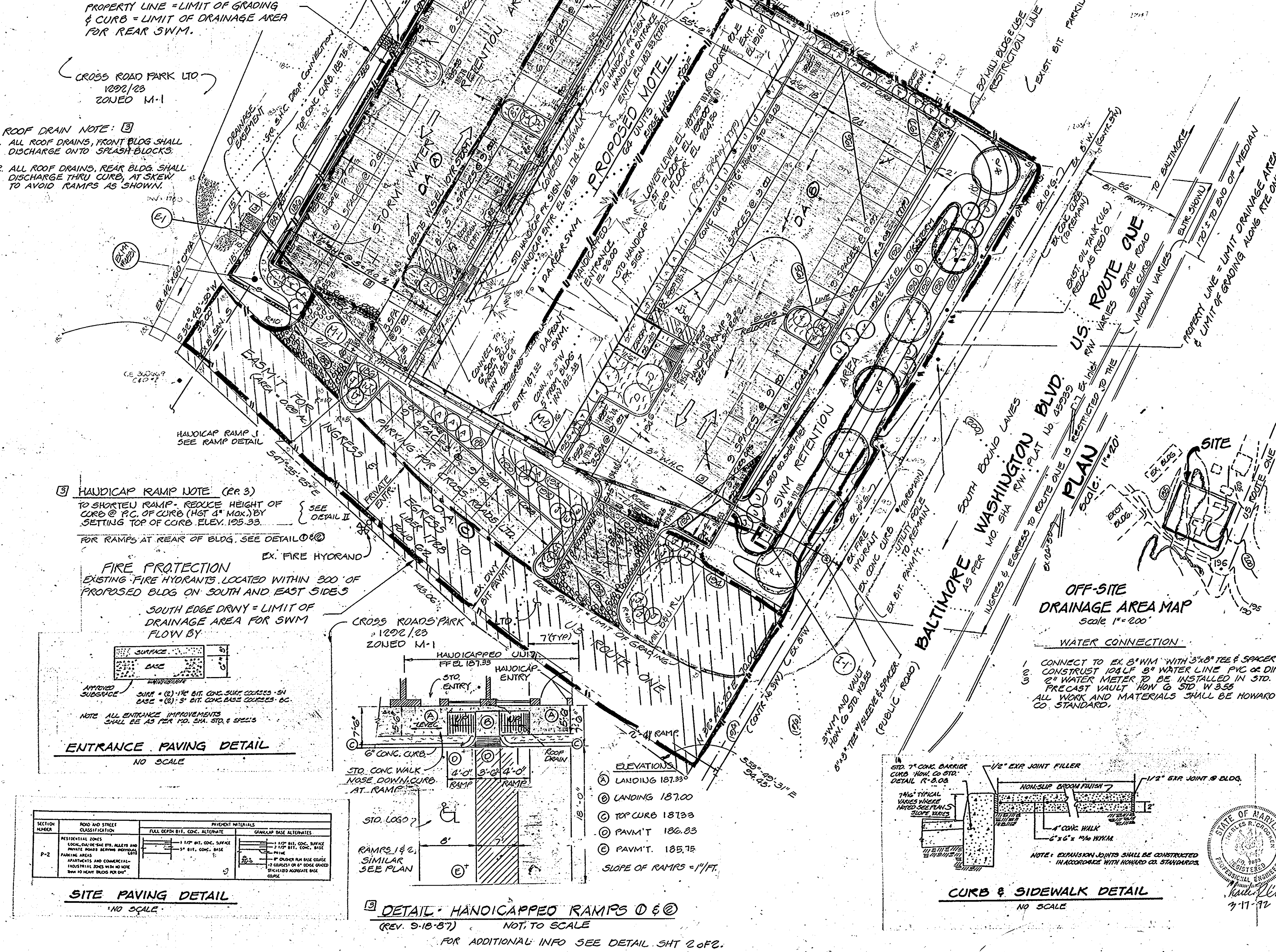
CURRENT DEED REFERENCE
SAND N REAL ESTATE PARTNERSHIP
LIBER 1397 FOLIO 240
DECEMBER 30, 1986

SUBDIVISION NAME	SECT./AREA	LOT/PARCEL NO.
COMFORT INN	NA	PARCEL 830

PLAT NO.	1/4 BLOCK	ZONE	TAX/ZONE MAP	ELEC. DIST.	CENSUS TR.
1547/249	12	M-2	47	6TH	6064

WATER CODE	SEWER CODE
803	425000

ADDRESS CHART
LOT NUMBER: PARCEL 830 / 8820 BALTIMORE WASHINGTON BLVD
STREET ADDRESS

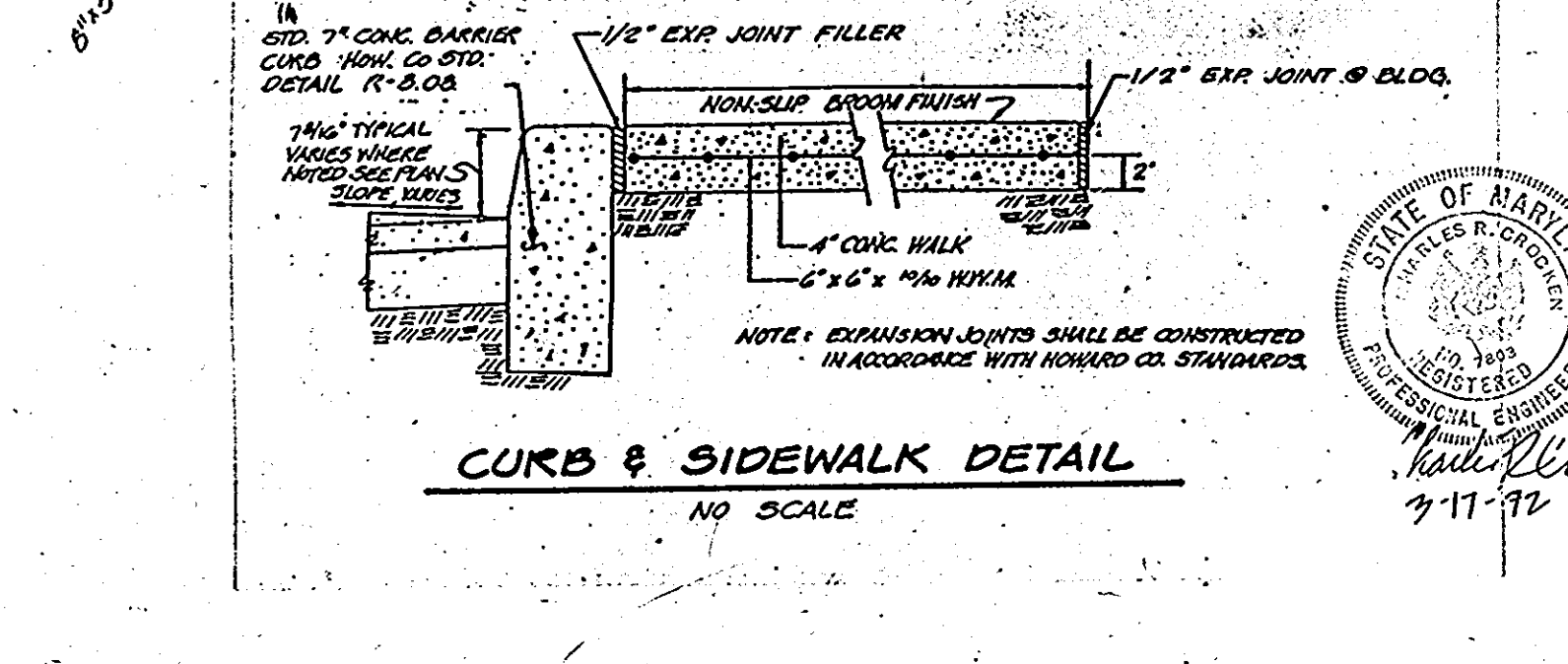
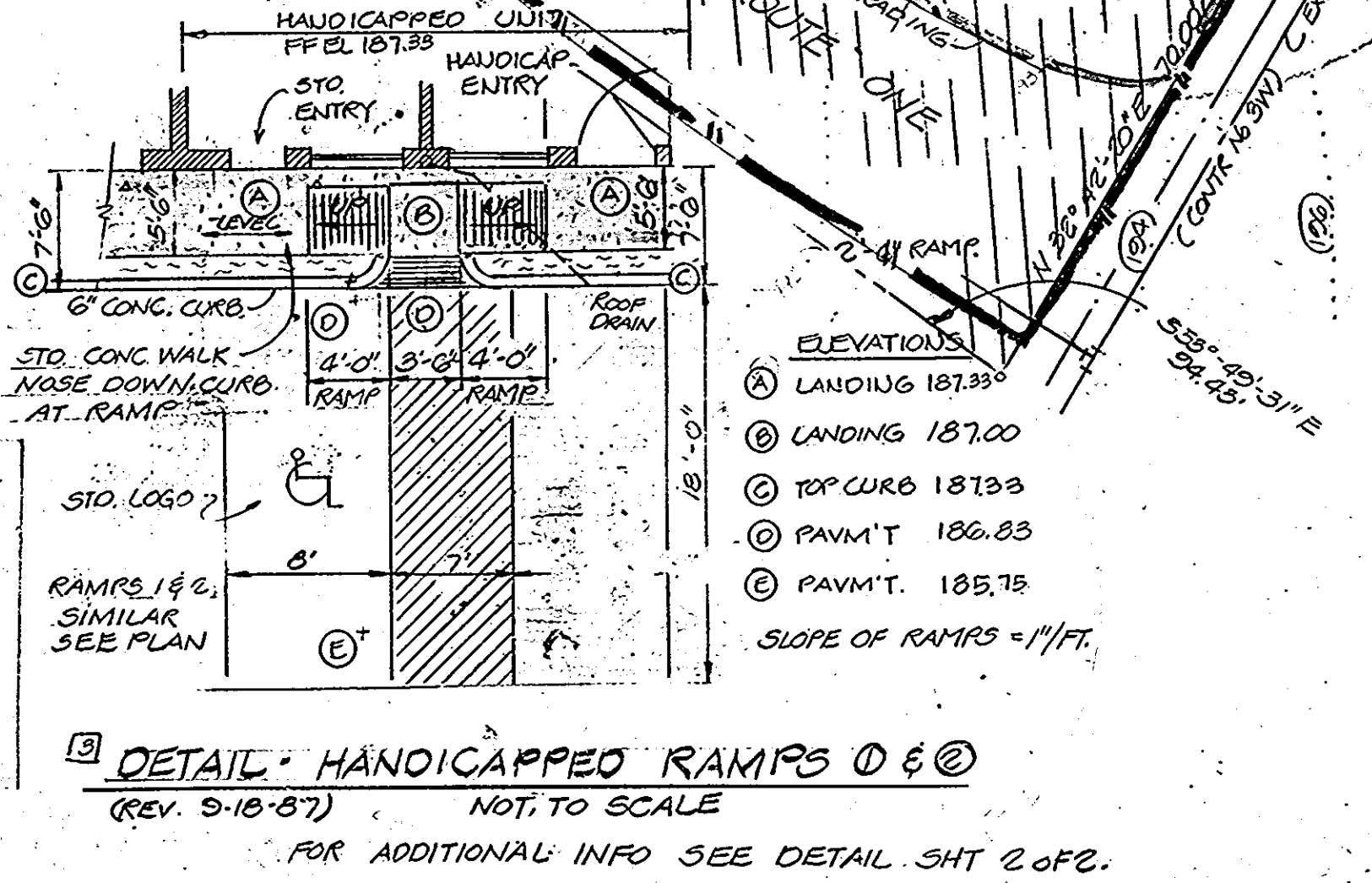
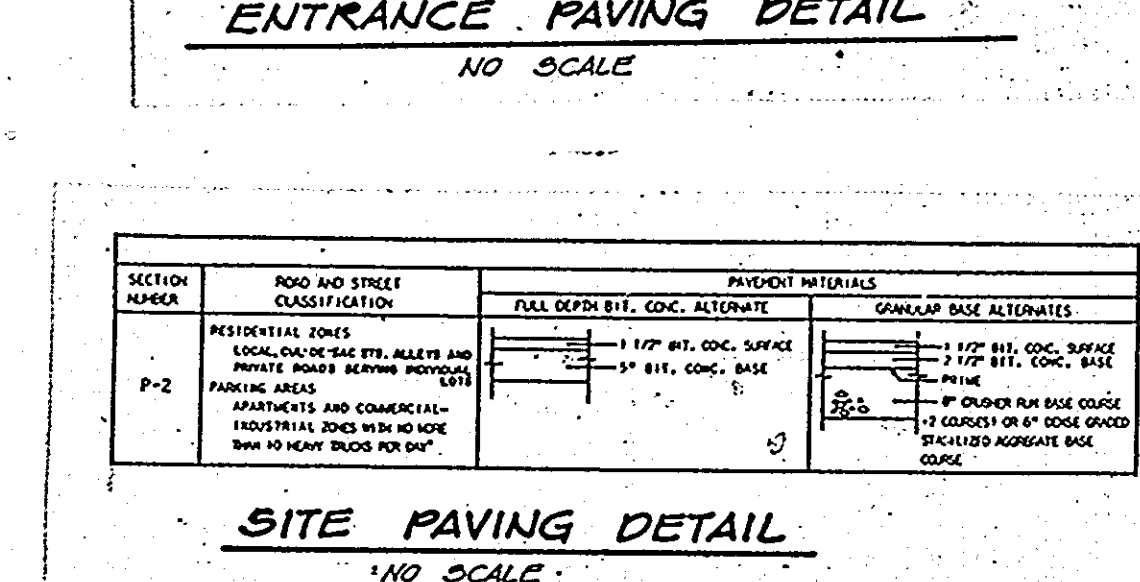
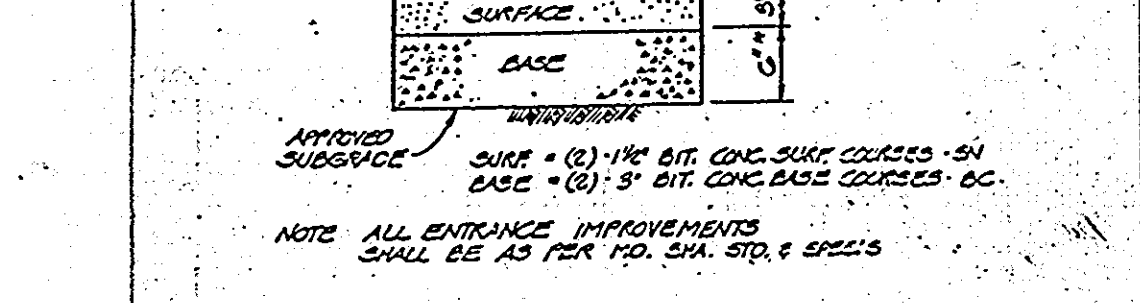


ROOF DRAIN NOTE:

- ALL ROOF DRAINS, FRONT BLDG SHALL DISCHARGE ONTO SPLASH-BLOCKS.
- ALL ROOF DRAINS, REAR BLDG SHALL DISCHARGE THRU CURB, AT SKEW TO AVOID RAMPS AS SHOWN.

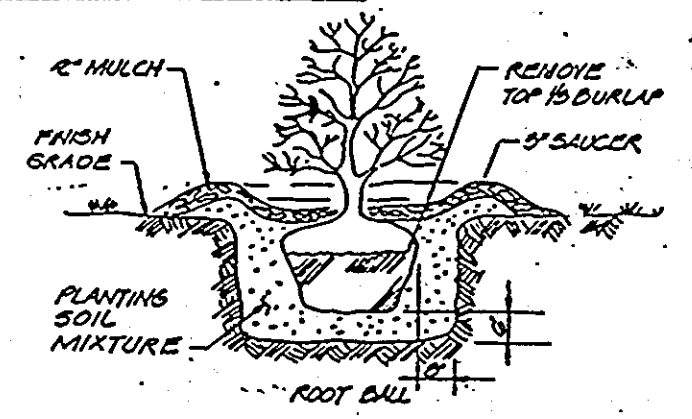
HAZARDOUS WASTE NOTE (R-3)
TO SHORTEN RAMP - REDUCE HEIGHT OF CURB @ P.C. OF CURB (NOT 4\"/>

FIRE PROTECTION
EXISTING FIRE HYDRANTS LOCATED WITHIN 300' OF PROPOSED BLDG ON SOUTH AND EAST SIDES
SOUTH EDGE DRAIN = LIMIT OF DRAINAGE AREA FOR SWM FLOW BY

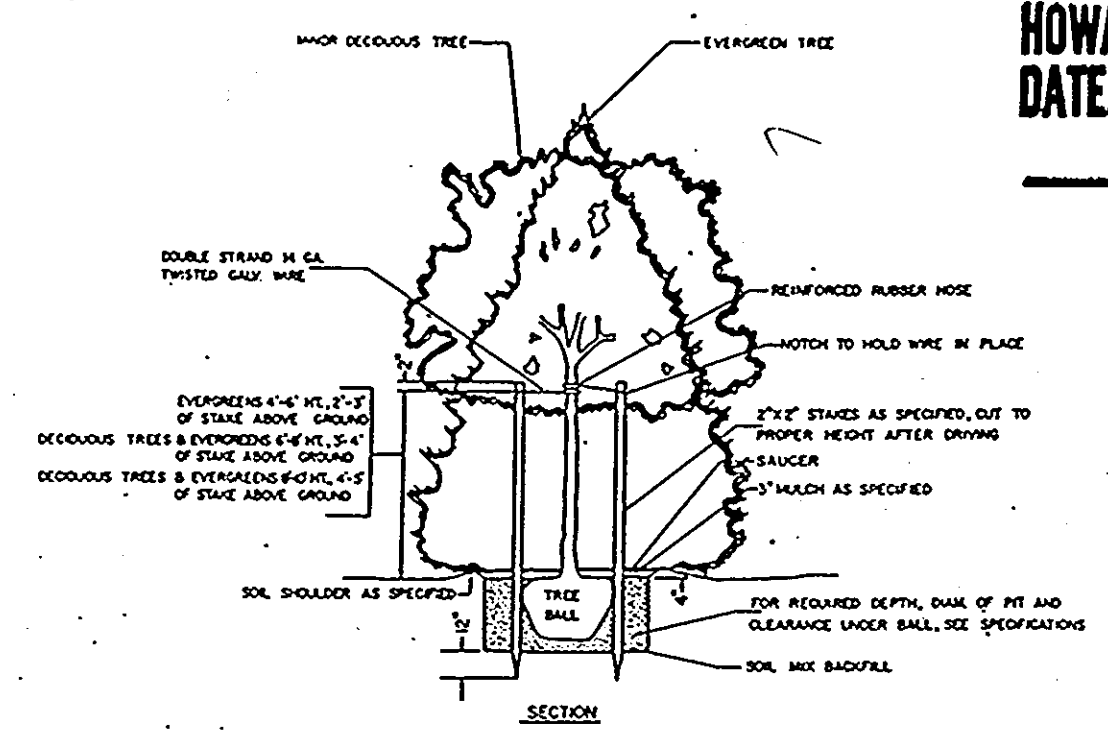


PLANTING SCHEDULE				
SYMBOL	QUANTITY	NAME	SPECIFICATIONS	
			CAL. ROOT	HEIGHT
P	7	PIN OAK	2 1/2"	6'
D	4	DOGWOOD	2 1/2"	6'
U	32	ANDROMEDA JUNIPER	2 1/2"	18"
A	31	PYRAMIDAL ARDOUVINE	"	3 1/2"

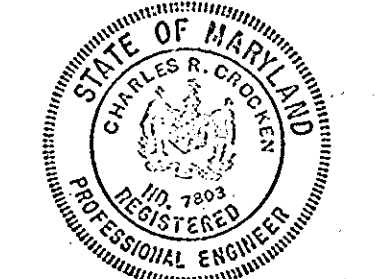
APPROVED
DIVISION OF LAND DEVELOPMENT &
ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 10-21-87



SHROB PLANTING DETAIL
NO SCALE



TREE PLANTING DETAIL
NO SCALE



Charles R. Crocken
7-11-87

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE,
STORM DRAINAGE SYSTEMS AND ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Director Date 11/27/87

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE
SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
Health Officer Date 11-27-87

APPROVED: HOWARD COUNTY OFFICE OF PLANNING
AND ZONING
Planning Director Date 12-4-87

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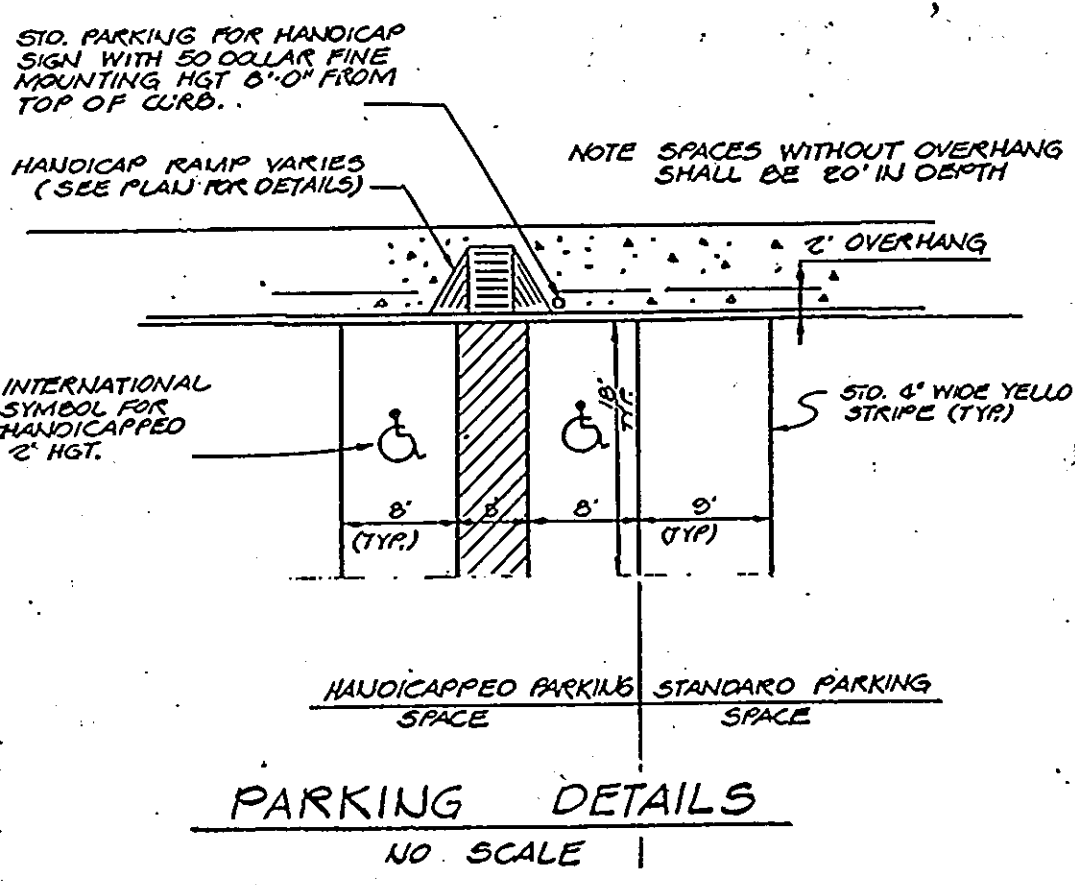
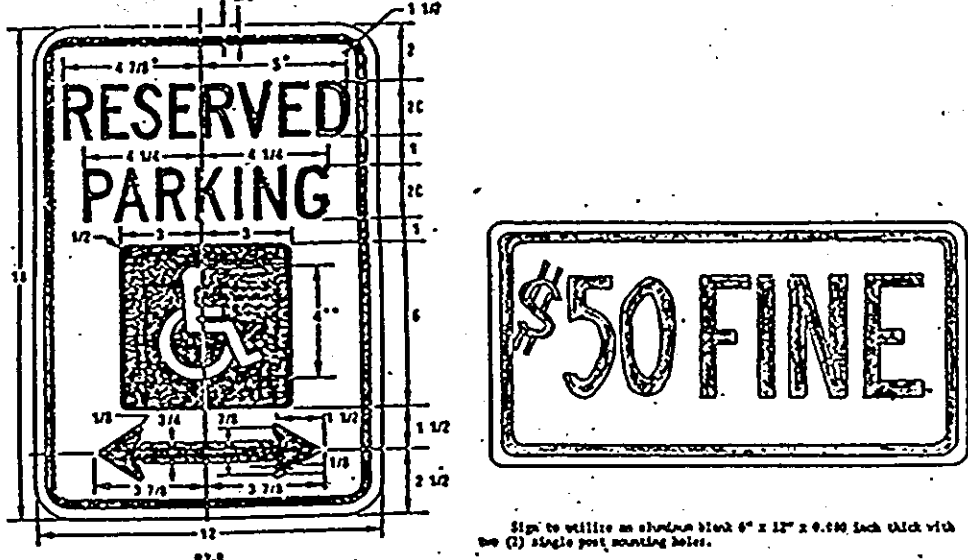
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AND ZONING
Director Date 12-4-87

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Director Date 12-4-87

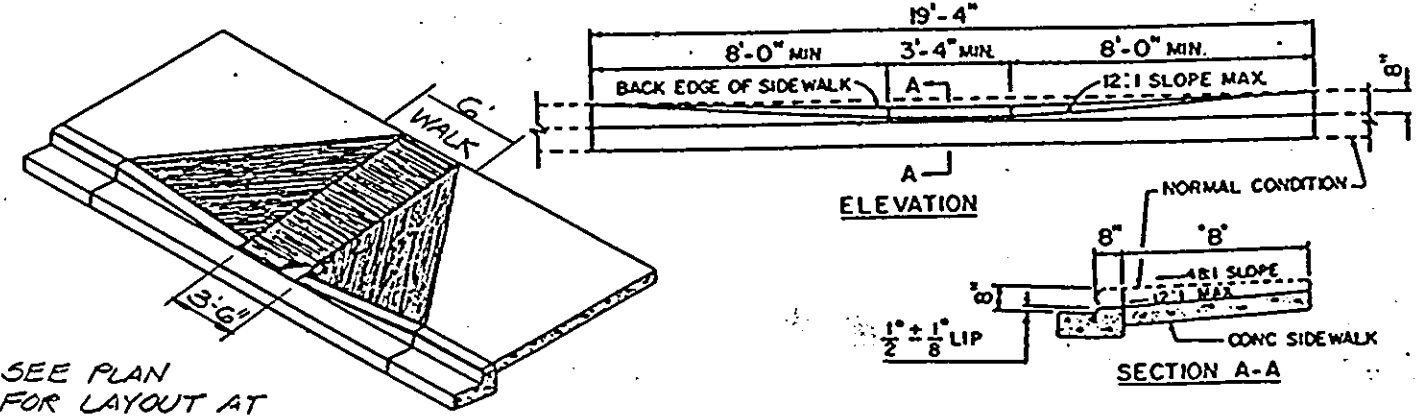
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Director Date 12-4-87

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Director Date 12-4-87

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AND ZONING
Director Date 12-4-87



PARKING DETAILS
NO SCALE



HANDICAP RAMP DETAIL
NO SCALE

1. SIDEWALK RAMPS SHOULD BE LOCATED AS INDICATED ON DRAWINGS, HOWEVER EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. MAY AFFECT PLACEMENT.
2. NO SLOPE SHALL EXCEED 12:1 ON THE RAMP OR SIDEWALK.
3. IN NO CASE SHALL THE WIDTH OF RAMPS BE LESS THAN 3'-4" WIDTHS MAY EXCEED 3'-4" IF NECESSARY.
4. A 2" EXPANSION JOINT WILL BE REQUIRED WHERE THE CONCRETE RAMP JOINS ANY RIGID PAVEMENT OR STRUCTURE.
5. THE PEDESTRIAN CROSSWALK LINES SHALL BE ESTABLISHED BY BISECTING THE INTERSECTION RADIUS.
6. RAMPS SHALL BE LOCATED SO THAT THE BEGINNING WILL BE TWO FEET FROM THE INSIDE PEDESTRIAN CROSSWALK LINE. (GENERALLY)
7. ALL RAMP MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM CONTROL DEVICES PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.
8. SIDEWALK RAMPS TO BE INCLUDED IN COST BID FOR CONCRETE SIDEWALK AND CURB OR CURB & GUTTER.
9. THIS STANDARD MAY BE MODIFIED TO SUIT A PARTICULAR LOCATION. DISCREPANCY RAMPS TO BE SHOWN ON PLANS BY SYMBOL (R) AND REFERENCED WITH THE CENTER OF THE RAMP ALIGNED TO A STATION ON THE CONSTRUCTION CENTERLINE.

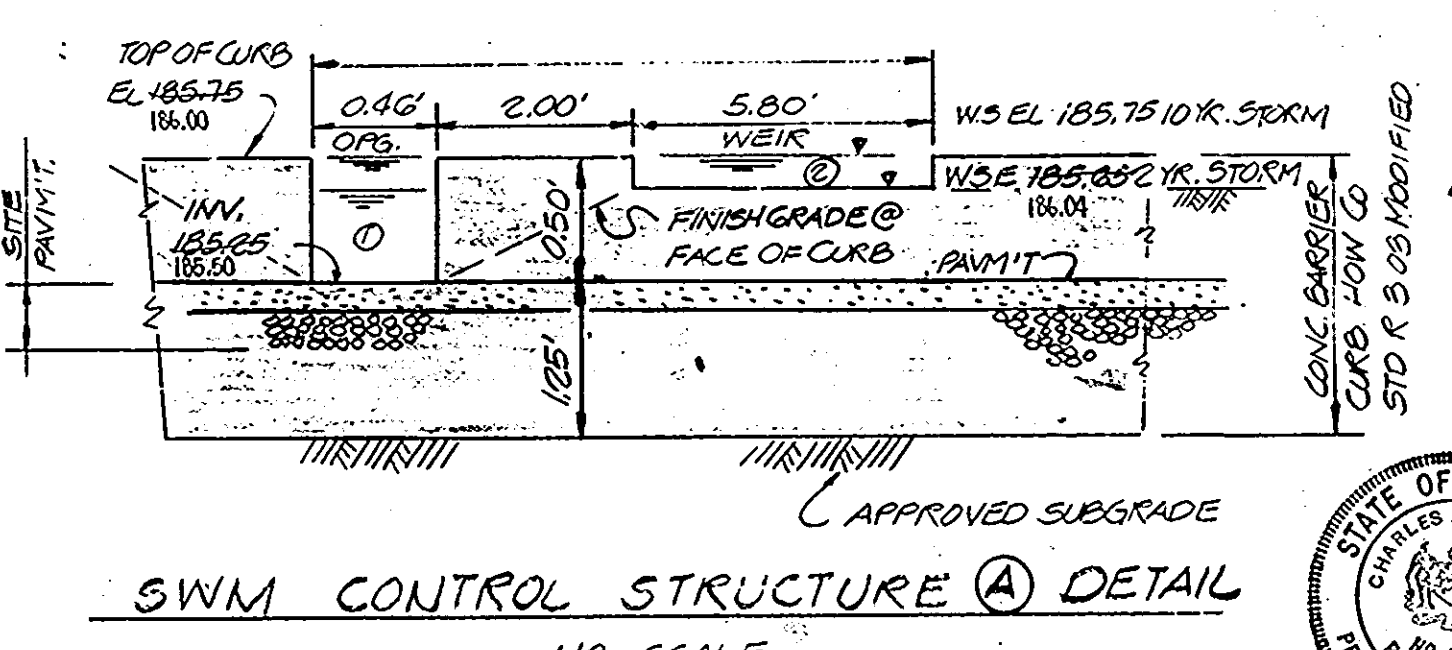
STORM WATER MANAGEMENT DATA

EXISTING CONDITIONS	DEVELOPED CONDITIONS
DA = 1.253 A.	DA = 1.253 A.
RCN = 79 TC = 0.10 HR.	RCN = 92 TC = 0.10 HR.
Q _{2YR} = 2.50 CFS	Q _{2YR} = 4.39 CFS
Q _{10YR} = 5.38 CFS	Q _{10YR} = 7.83 CFS
Q _{100YR} = 8.89 CFS	Q _{100YR} = 11.67 CFS

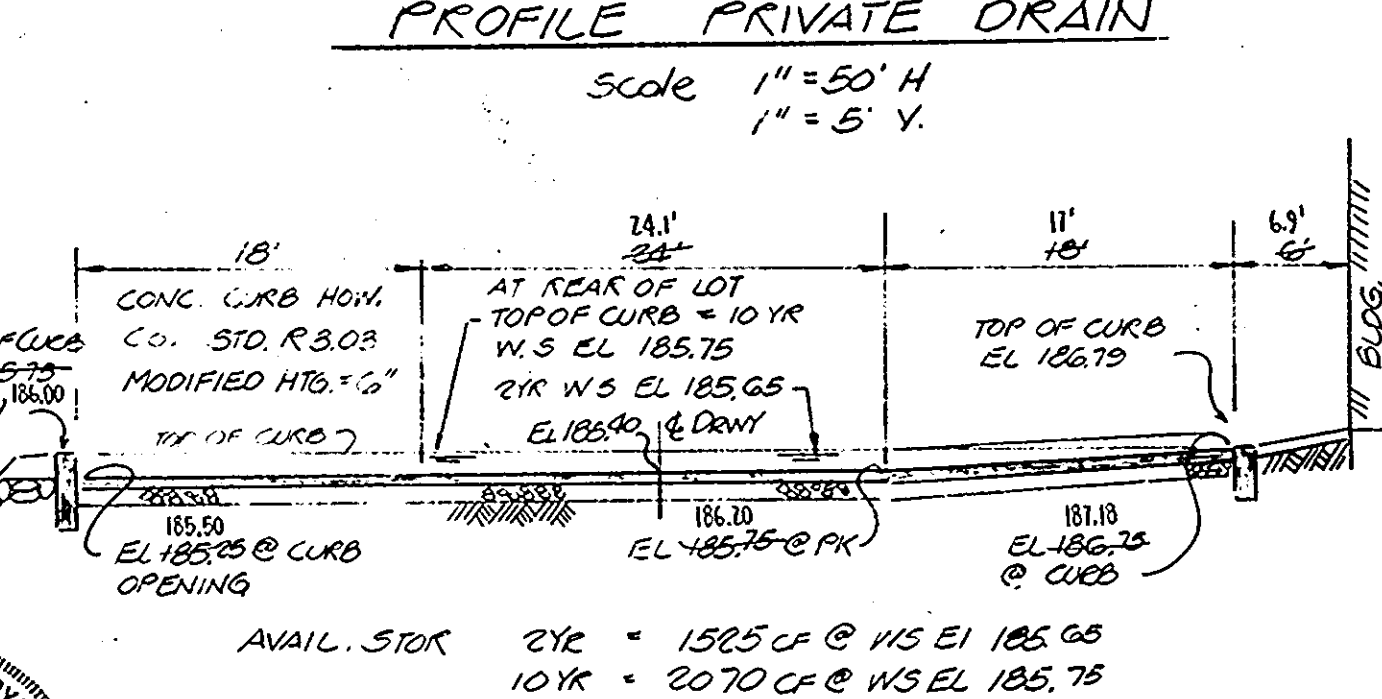
STORM WATER MANAGEMENT DESIGN

STORM FREQUENCY	FLOW INTER.	FLOW PLUMBING	RELEASE RATE	REQ'D STORAGE	STORAGE PROVIDED
2YR	3.41 CFS	0.98 CFS	1.52 CFS	2620 CF	2620 CF
10YR	6.07 CFS	1.76 CFS	3.62 CFS	3360 CF	3360 CF

TOTAL AVAIL. STORAGE @ MAX W.S. EL. = 3715 CF @

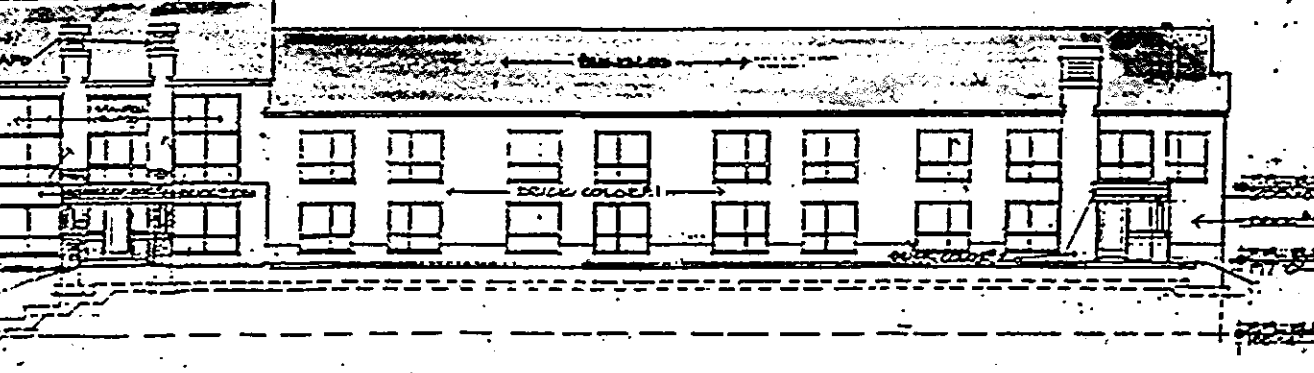


SWM CONTROL STRUCTURE (A) DETAIL
NO SCALE



PROFILE PRIVATE DRAIN
Scale 1" = 50' H
1" = 5' V.

SECTION THRU SWM RETENTION AREA (A)
NO SCALE



BUILDING ELEVATION (SCHEMATIC)

SEDIMENT CONTROL NOTES

- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (SDP-20337)
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1; 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEDIMENT CONTROL (Sec. 51) and (Sec. 54), temporary seeding (Sec. 50) and mulching (Sec. 52). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:
Total Area of Site: 0.96 Acres
Area to be Seeded: 0.46 Acres
Area to be mulched or paved: 0.50 Acres
Area to be vegetatively stabilized: 0.94 Acres
Total Soil: 0.96 Acres
Total Fill: 0.96 Acres
Offsite waste/borrow area location
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment controls must be provided, if deemed necessary by the Howard County OPI sediment control inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.
Seeded Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding.
Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:
1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 square ft) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft).
2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.
Seeding - For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs per acre of Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq ft) of vernal lespedeza. During the period of October 16 thru February 28, protect site by Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.
Mulching - Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of untreated small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.
Maintenance - Inspect all seeded areas and make needed repairs, replacements and reseedings.

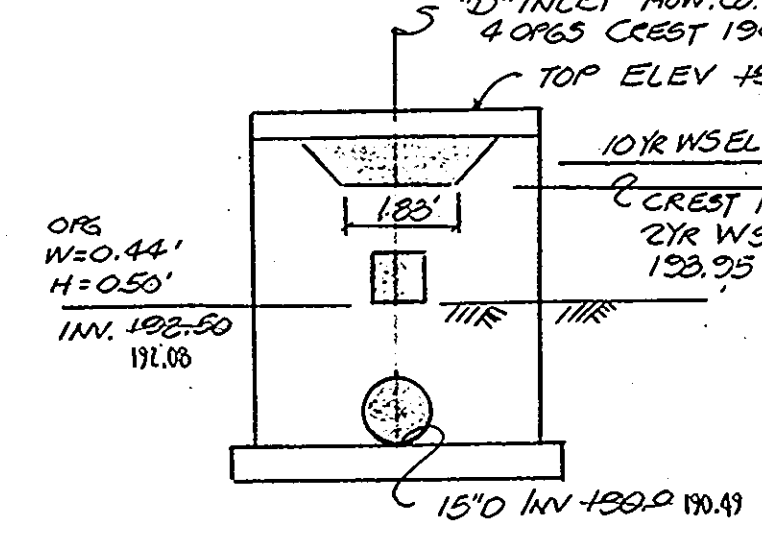
TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redistributed where a short-term vegetative cover is needed.
Seeded Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding.
Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).
Seeding: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 24 bushels per acre of annual ryegrass (3.2 lbs/1000 sq ft). For the period May 1 thru October 15, seed with 1 1/2 tons per acre of vernal lespedeza (.07 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.
Mulching: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of untreated small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes, 8 ft or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.
Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

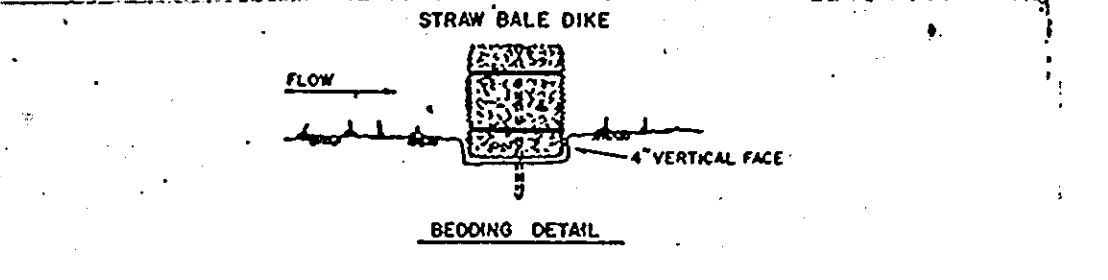
SEQUENCE OF CONSTRUCTION

- OBTAIN GRADING PERMIT.
- CLEAR AND GRADE FOR SEDIMENT CONTROL MEASURES.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE AND ALL SEDIMENT CONTROL MEASURES.
- CLEAR AND GRADE SITE & INSTALL STORM DRAIN / INLET PROTECTION.
- PAVE SITE.
- SEED ALL DISTURBED AREAS PER SCS STANDARD SPECIFICATIONS NOT OTHERWISE STABILIZED.
- UPON APPROVAL OF HOWARD COUNTY SEDIMENT CONTROL INSPECTOR REMOVE TEMPORARY SEDIMENT CONTROL MEASURES AFTER SITE IS COMPLETELY STABILIZED.

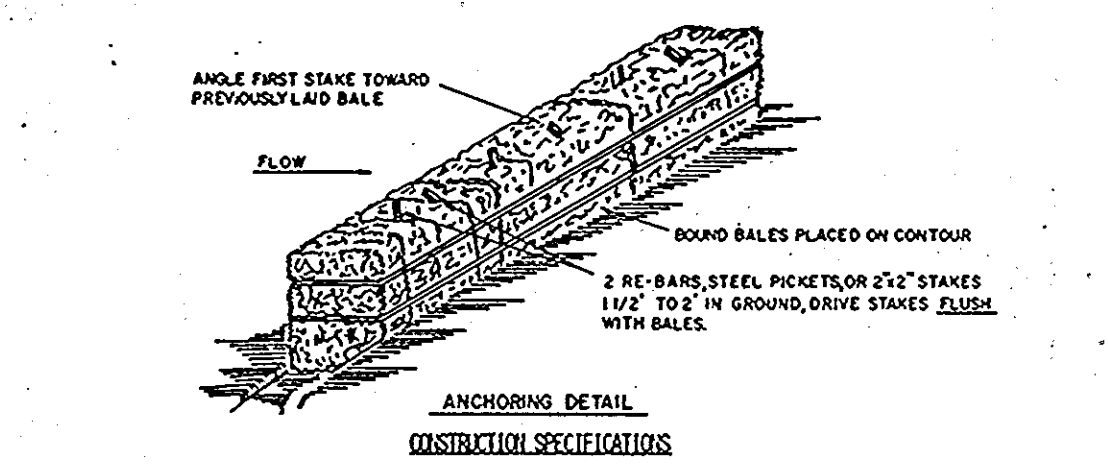
NOTE: NO STORM DRAINS SHALL BE INSTALLED UNDER THIS PERMIT.



SWM CONTROL STRUCTURE (B)
N.T.S. AVAIL. STOR. 2YR = 1020 CF @ 193.25
10YR = 1523 CF @ 194.20

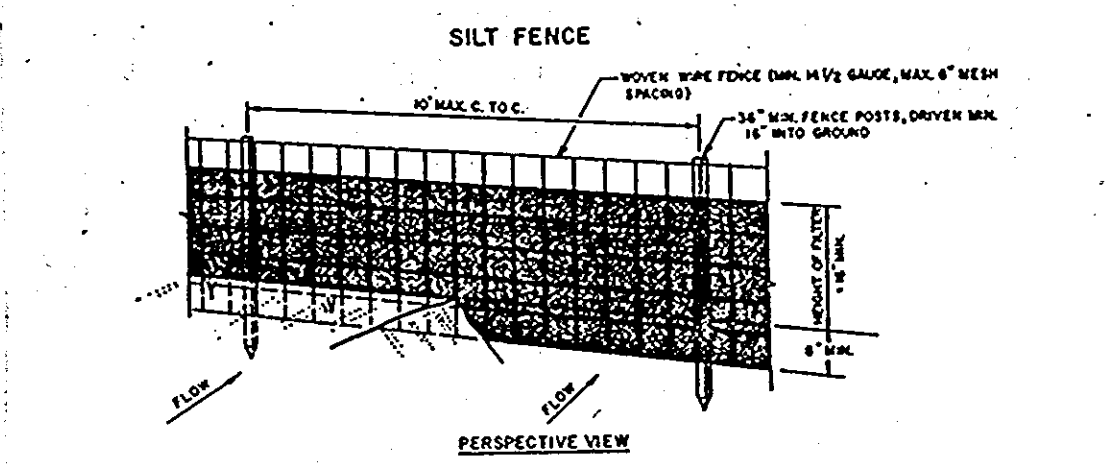


STRAW BALE DIKE

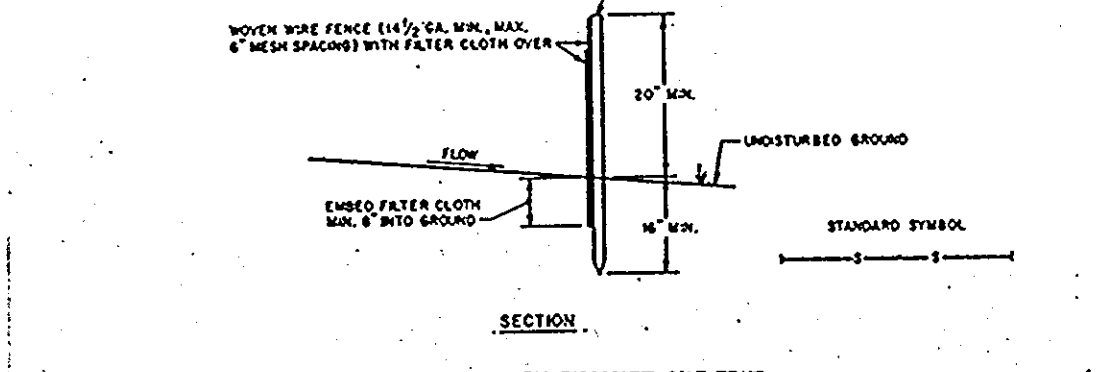


ANCHORING DETAIL

- Bales shall be placed at the toe of a slope or on the contour and in a row with bales tightly abutting the adjacent bales.
- Each bale shall be bedded in the soil a minimum of (4) inches, and placed so the bales are horizontal.
- Bales shall be staggered in place by either two stages or by three stages driven through the bales. The first stage in each bale shall be driven toward the previously laid bale at an angle to force the bales together. Stages shall be driven flush with the bales.
- Inspection shall be frequent and repair replacement shall be made promptly as needed.
- Bales shall be removed when they have served their usefulness so as not to block or impede storm flow or drainage.



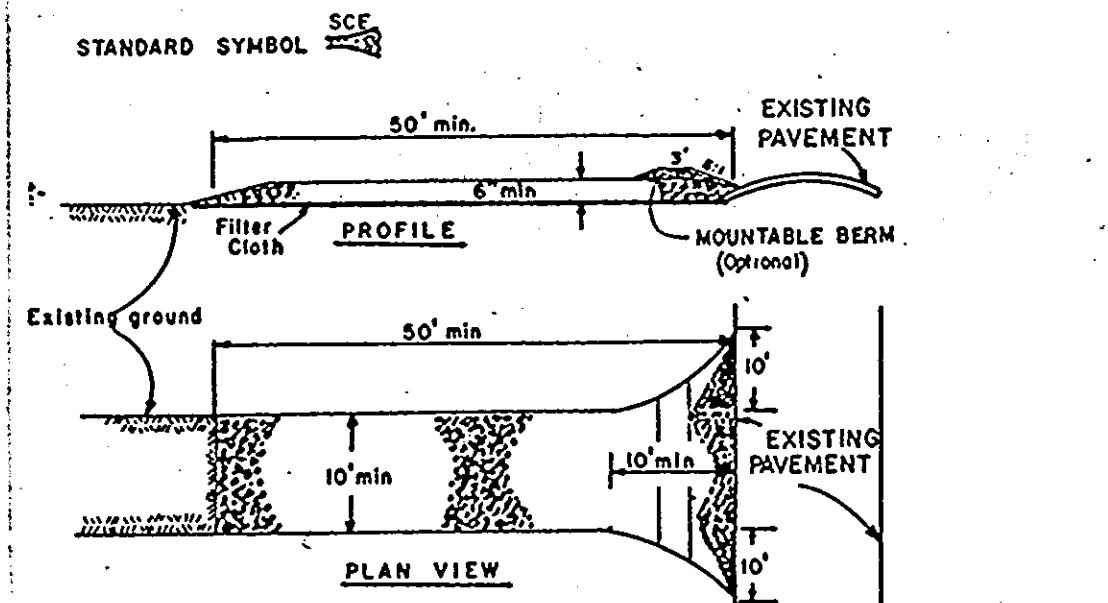
SILT FENCE



CONSTRUCTION NOTES FOR FASCINATED SILT FENCE

- When wire fence is fastened securely to fence posts with wire ties or staples.
- Filter cloth to be fastened securely to wooden fence with ties spaced every 2' at top and mid section.
- When two sections of filter cloth abut each other they shall be overlapped by six inches and secured.
- Maintenance shall be performed as needed to remove debris and prevent clogging.

STABILIZED CONSTRUCTION ENTRANCE



CONSTRUCTION SPECIFICATIONS

- Stone Size - Use 3" stone, or recycled or recycled concrete equivalent.
- Length - As required, but not less than 50 feet (except on a slope resistance lot where a 30 foot minimum length would apply).
- Thickness - Not less than six (6) inches.
- Width - Ten (10) foot minimum, but not less than the full width at points where ingress or egress occurs.
- Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a slope resistance lot.
- Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable beam with 5:1 slopes will be permitted.
- Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
- Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
- Inspection and needed maintenance shall be provided after each rain.

SEP 18 1987 Rev. Per Comments Added H.G. Rev. RAMP.

7/21/87 1 Rev Per Comments & Rev Bldg.
7/21/87 2 Rev Per Access Easmt.

DATE NO. REVISION DESCRIPTION

OWNER: Sand N REALESTATE INVESTMENTS
13428 FORSYTHE ROAD
SYKESVILLE, MD. 21784

DEVELOPER: (SAME)

PROJECT: PROPOSED COMFORT INN
MOTEL

AREA: JESUP, MD
6TH ELECTION DISTRICT
HOWARD COUNTY, MD.

TITLE: AS-BUILT
DETAIL SHEET

CHARLES R. CROCKEN
AND ASSOCIATES INC.

CIVIL ENGINEERING AND LAND PLANNING
63 EAST MAIN STREET WESTMINSTER, MD. 21157 876-1226

TAX MAP 47 PARCEL 820

DESIGNED BY: CRC

DRAWN BY: CRC/CHC

PROJECT NO.

DATE: Dec. 10, 1986

SCALE: AS SHOWN

DRAWING NO. 2 OF 2

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