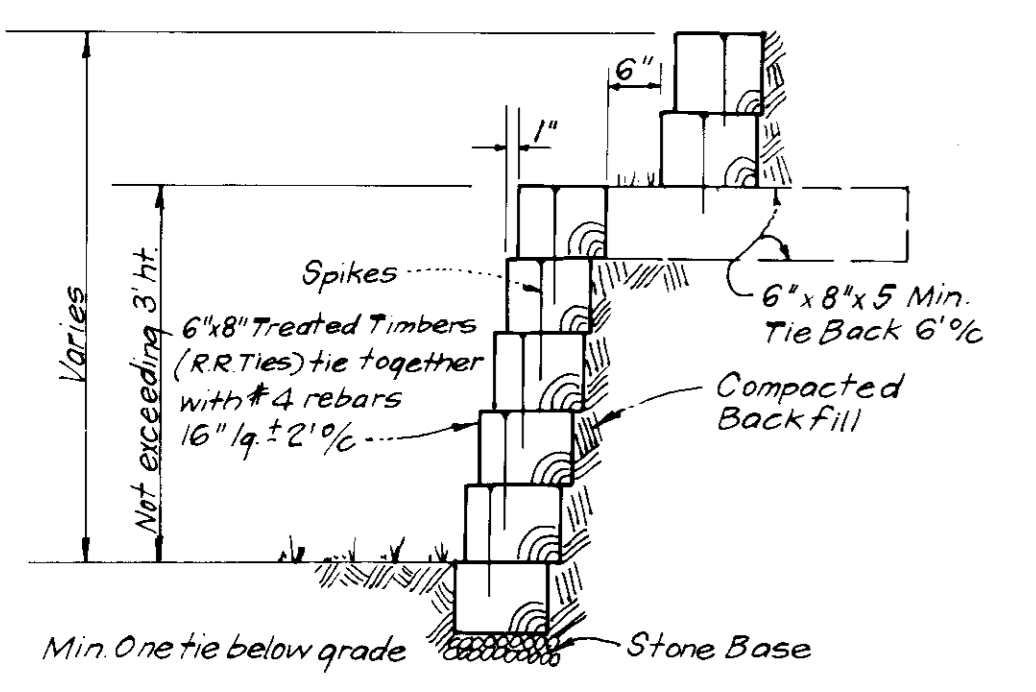
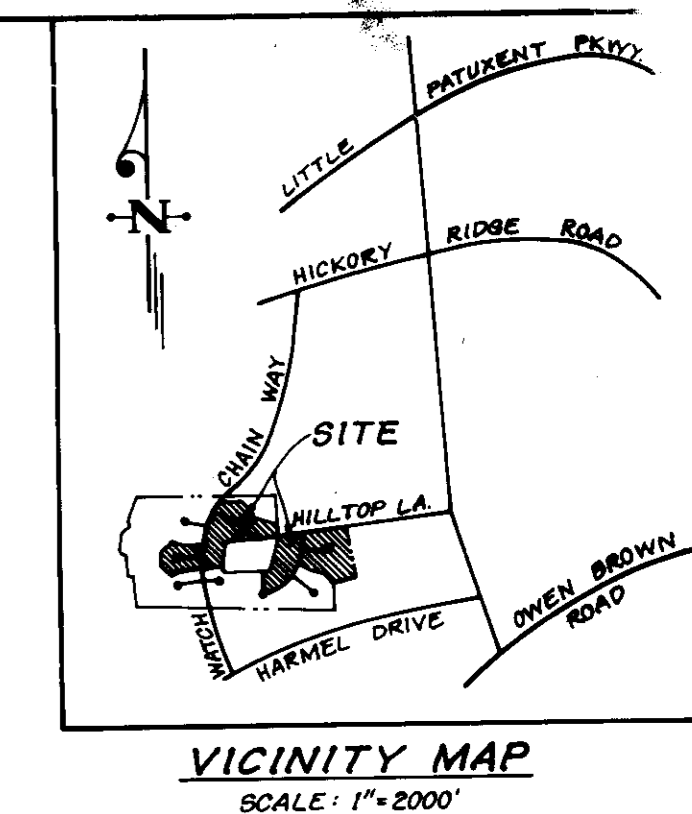


DRIVEWAY ABUTTING MODIFIED CURB AND GUTTER
No Scale



RETAINING WALL DETAIL
NO SCALE

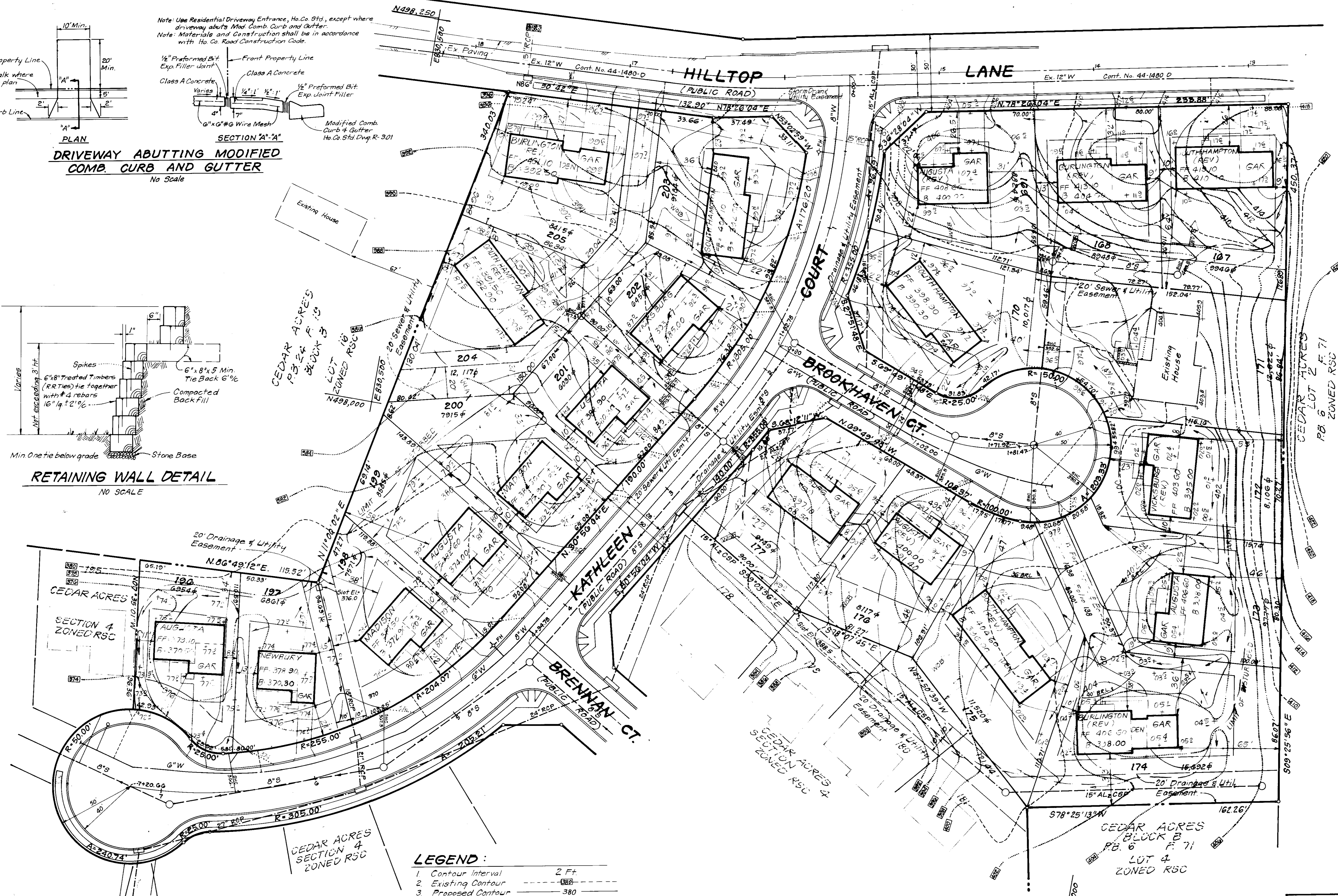


GENERAL NOTES

1. The Land included is zoned RSC per 8-2-85 Comprehensive Zoning Plan. Maximum building coverage is 40% per lot.
2. Coordinates are based on Md. State Plane as projected by Ho. Co. Monuments #26300024 2630003.
3. All roads are public and existing.
4. Any damage to county owned rights-of-way to be corrected at Developer's expense.
5. Total Area included: 5.488 Ac.
6. Total number of Lots: 44
7. The contractor or developer shall contact the Construction Inspection/Survey Division, 24 hrs. in advance of commencement of work at 992-2417 or 992-2418.
8. Maximum Building Coverage - 40%

SPECIAL NOTES

1. Approved Road Construction Plans shall be used for all public Utilities.
2. Public water & sewer shown for reference only. For more detailed information-see water and sewer plans Contract No. 34-1432-D.
3. The water and sewer house connections not included in a "Developer's Agreement" shall conform to Howard Co. Plumbing Code. The on-site W.H.C. shall be 1" copper and the S.H.C. shall be 4" iron.
4. Stormwater Management provided for by a central facility under F-83-120.



LOT No.	STREET ADDRESS
167	10217 Hilltop Lane
168	10221 Hilltop Lane
169	10225 Hilltop Lane
170	10203 Brookhaven Court
172	10211
173	10218
174	10214
175	10210
176	10206
177	10202
196	10228 Kathleen Court
197	10224
198	10220
199	10216
200	10212
201	10208
202	10204
203	10200
204	10227 Hilltop Lane
205	10241 Hilltop Lane

- LEGEND:**
- 1 Contour Interval 2 Ft.
 - 2 Existing Contour
 - 3 Proposed Contour
 - 4 Spot Elevation
 - 5 Direction of Drainage
 - 6 Walkout Basement
 - 7 Timber Retaining Wall
 - 8 Existing Spot Elevation

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER: *[Signature]* DATE: 5-4-87

APPROVER: HOWARD COUNTY OFFICE OF PLANNING & ZONING
PLANNING DIRECTOR: *[Signature]* DATE: 5-5-87

CHIEF DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

DIRECTOR: *[Signature]* DATE: 5-1-87

CHIEF BUREAU OF ENGINEERING: *[Signature]* DATE: 5-1-87

APPROVED
DIVISION OF LAND DEVELOPMENT
ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE: 12-12-86
[Signature]



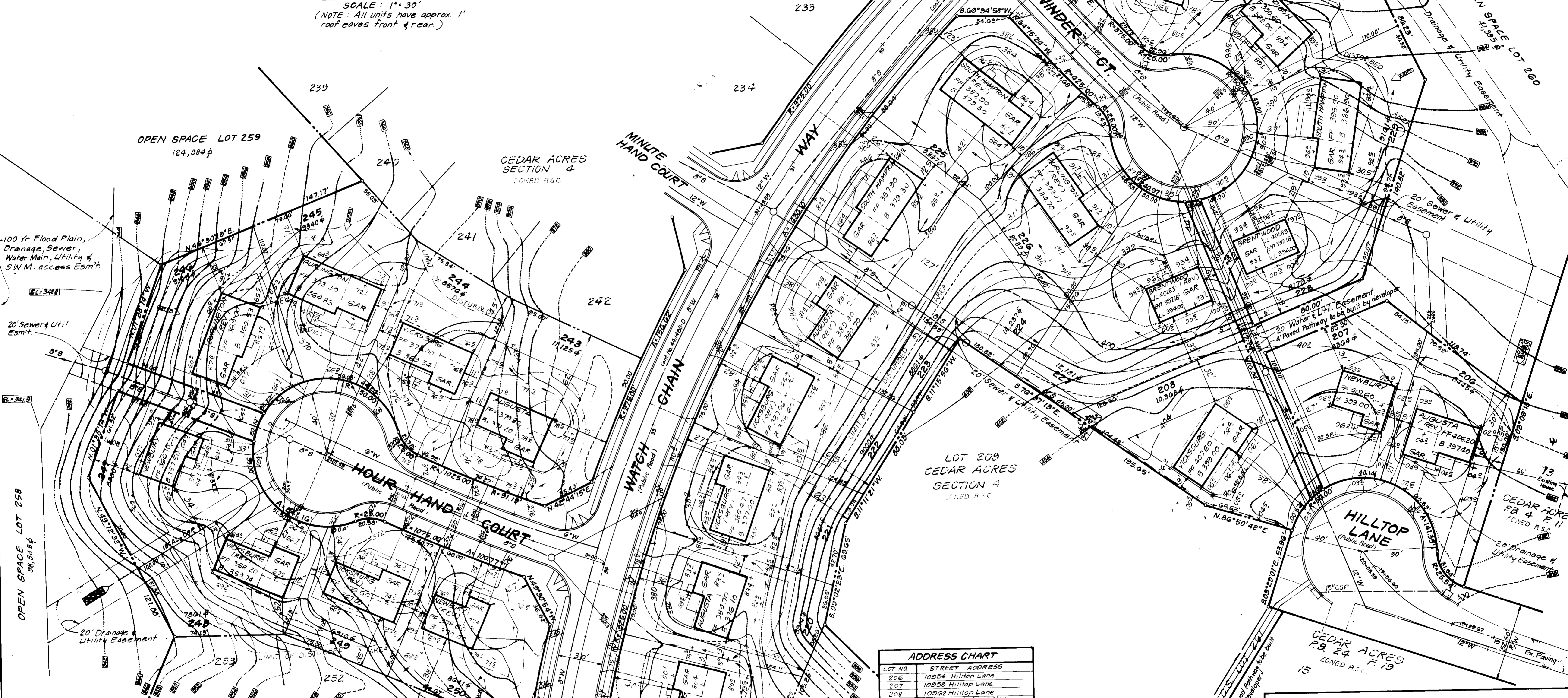
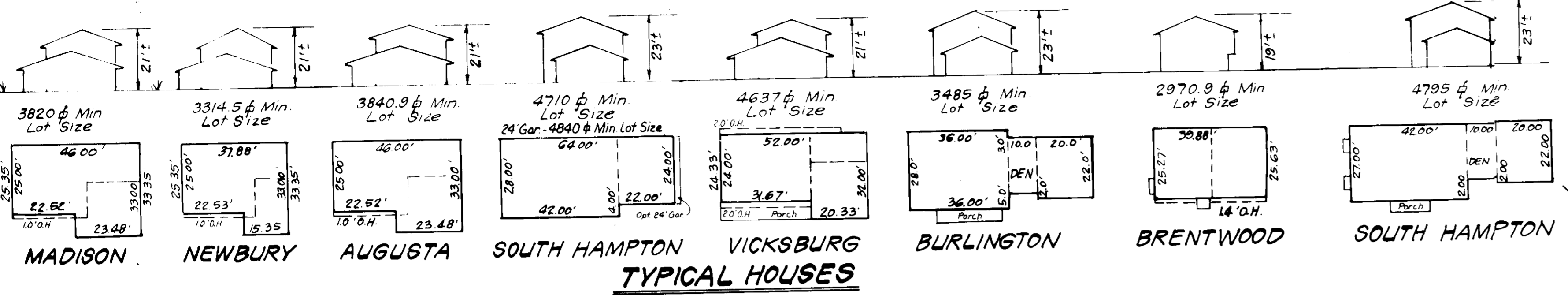
CLARK · FINEROCK & SACKETT
ENGINEERS · PLANNERS · SURVEYORS

11315 LOCKWOOD DRIVE • SILVER SPRING, MARYLAND 20904 • (301) 583-3400

DESIGNED BAF	SITE DEVELOPMENT PLAN LOTS 167-170, 172-177, 196-203, 219-231 AND 243-250	SCALE 1"=30'
DRAWN LAI		DRAWING 1 of 5
CHECKED C.MS./J.M.E.	CEDAR ACRES SECTION IX 5th ELECTION DISTRICT HOWARD COUNTY, MARYLAND	JOB NO. 86-103
DATE Sept, 1986		FILE NO. 86-103 X

OWNER/DEVELOPER
Britam Development Group, Inc.
9030 Red Branch Rd., Suite 250
Columbia, Md 21045

FOR: RYAN HOMES, INC.
14440 Cherry Lane Ct., #215
Laurel, Maryland 20707



ADDRESS CHART

LOT NO.	STREET ADDRESS
206	10254 Hilltop Lane
207	10256 Hilltop Lane
208	10262 Hilltop Lane
219	G105 Watch Chain Way
220	G101
221	G107
222	G093
223	G089
224	G085
225	G100 Stem Winder Court
226	G104
227	G108
228	G112
229	G109
230	G105
231	G101
243	G102 Hour Hand Court
244	G106
245	G110
246	G114
247	G115
248	G111
249	G107
250	G103

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
 HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER: [Signature] DATE: 5-4-87

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
 PLANNING DIRECTOR: [Signature] DATE: 5-5-87

APPROVED: DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION
 DATE: 5-5-87

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR: [Signature] DATE: 5-1-87

CHIEF BUREAU OF ENGINEERING: [Signature] DATE: 5-1-87

APPROVED
 DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE: 12-12-86



OWNER/DEVELOPER:
 Britom Development Group, Inc.
 9030 Red Branch Rd. Suite 250
 Columbia, Md 21045

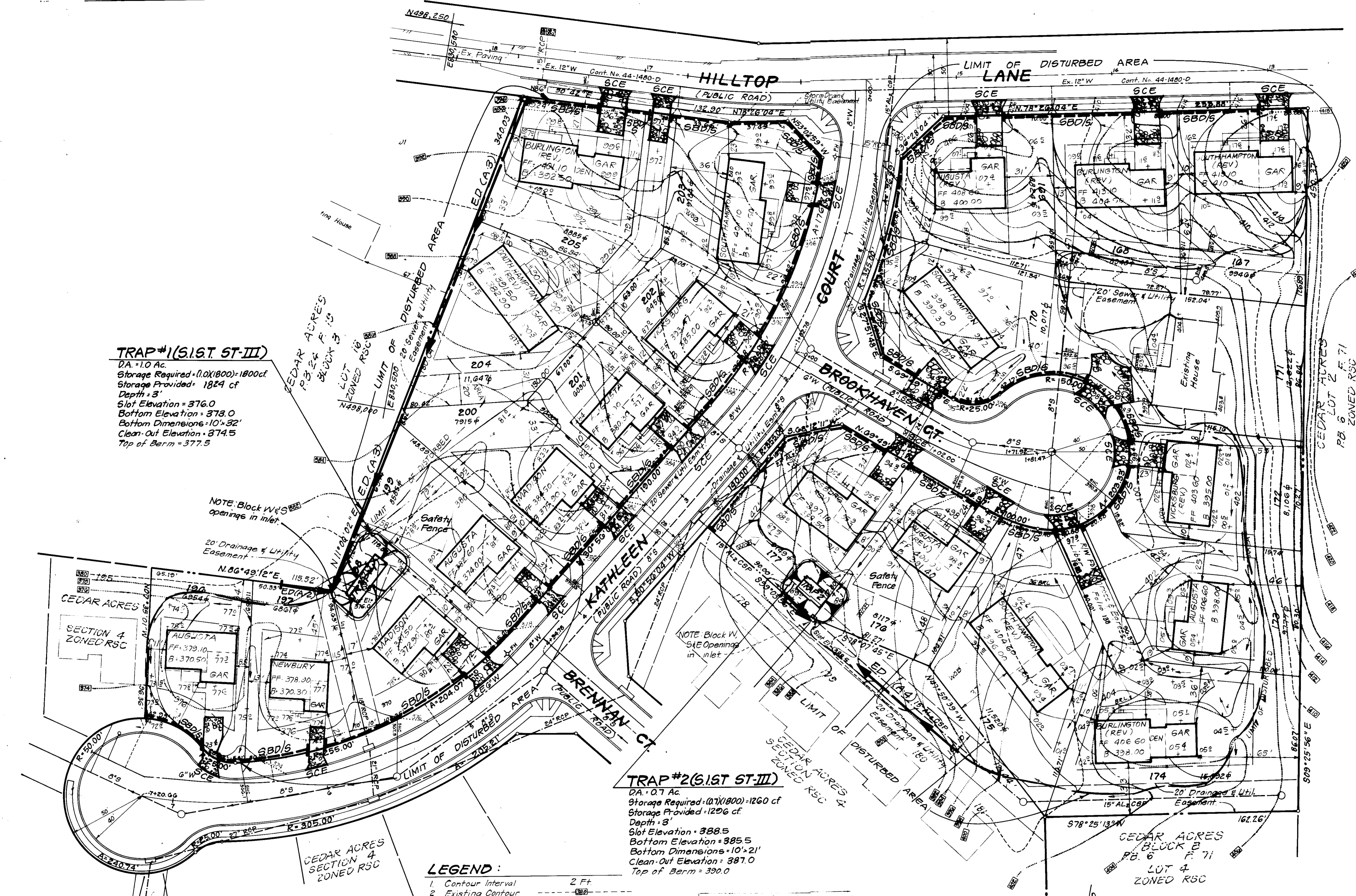
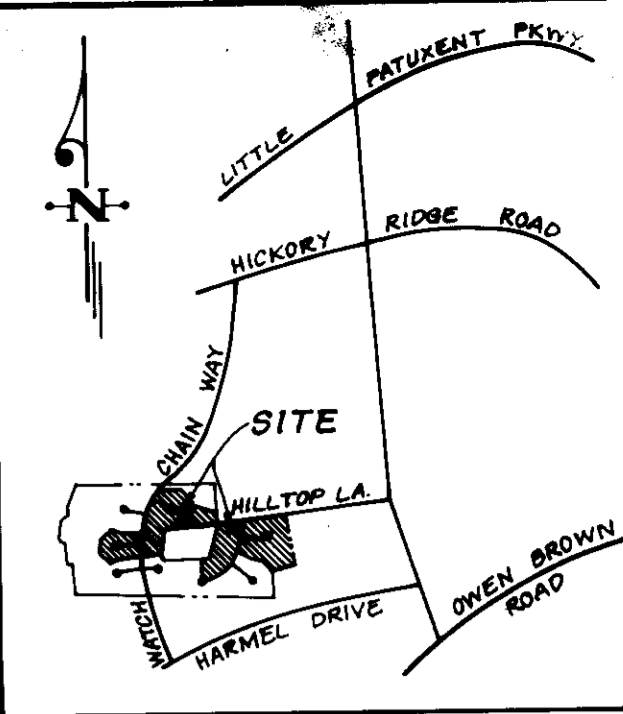
CLARK · FINEFROCK & SACKETT
 ENGINEERS · PLANNERS · SURVEYORS
 11315 LOCKWOOD DRIVE SILVER SPRING, MARYLAND 20904 (301) 583-3400

DESIGNED: BAF
 DRAWN: LA1
 CHECKED: CMS/LMB
 DATE: Sept, 1986

SITE DEVELOPMENT PLAN
 LOTS 167-170, 172-177, 196-208, 219-231 AND 243-250
CEDAR ACRES
 SECTION II
 5th ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

FOR: RYAN HOMES, INC.
 14440 Cherry Lane Ct., #215
 Laurel, Maryland 20707

SCALE: 1" = 30'
 DRAWING: 2 of 5
 JOB NO.: 06-103
 FILE NO.: 06-103
 S.D.P. 87-89



TRAP #1 (S.1ST ST-III)
 DA = 1.0 Ac.
 Storage Required = (1.0)(1800) = 1800 cf
 Storage Provided = 1824 cf
 Depth = 3'
 Slot Elevation = 376.0
 Bottom Elevation = 378.0
 Bottom Dimensions = 10' x 32'
 Clean-Out Elevation = 374.5
 Top of Berm = 377.5

TRAP #2 (S.1ST ST-III)
 DA = 0.7 Ac.
 Storage Required = (0.7)(1800) = 1260 cf
 Storage Provided = 1296 cf
 Depth = 3'
 Slot Elevation = 388.5
 Bottom Elevation = 385.5
 Bottom Dimensions = 10' x 21'
 Clean-Out Elevation = 387.0
 Top of Berm = 390.0

- LEGEND :**
- 1. Contour Interval 2 Ft
 - 2. Existing Contour 380
 - 3. Proposed Contour 380
 - 4. Spot Elevation +80 ±
 - 5. Direction of Drainage
 - 6. Walkout Basement
 - 7. Timber Retaining Wall
 - 8. Existing Spot Elevation 404.1
 - 9. Straw Bale Dike/Silt Fence
 - 10. Earth Dike
 - 11. Stabilized Construction Entrance

HOWARD SOIL CONSERVATION SERVICE
 APPROVED
 DATE 4/29/87

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 APPROVED
 DATE 4/29/87

ENGINEER'S CERTIFICATE
 I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 APPROVED
 DATE 11-6-86

DEVELOPER'S/BUILDER'S CERTIFICATE
 I hereby certify that all development and construction will be in accordance with this plan of development and plan for erosion and sediment control and that the developer and builder are responsible for the proper installation and maintenance of the erosion and sediment control measures. I have authorized the preparation of this plan and the construction of the erosion and sediment control measures.
 APPROVED
 DATE 11-6-86
 J. WINSTON READ - RYAN HOMES, INC.

OWNER/DEVELOPER:
 Britam Development Group, Inc.
 9030 Red Branch Rd. Suite 250
 Columbia, Md. 21045

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER
 DATE 5-4-87

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
 PLANNING DIRECTOR
 DATE 5-5-87

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR
 DATE 5-1-87

APPROVED:
 DIVISION OF LAND
 ZONING
 HOWARD COUNTY
 DATE 12-12-86

CLARK · FINEFROCK & SACKETT
 ENGINEERS · PLANNERS · SURVEYORS
 11315 LOCKWOOD DRIVE · SILVER SPRING, MARYLAND 20904 (301) 593-3400

DESIGNED GLB	SEDIMENT & EROSION CONTROL PLAN LOTS 167-170, 172-177, 196-208, 219-231 AND 243-250 CEDAR ACRES	SCALE 1" = 30'
DRAWN VHL		DRAWING 3 of 5
CHECKED GLB	SECTION IX 5th ELECTION DISTRICT HOWARD COUNTY, MARYLAND	JOB NO. 86-103
DATE 11-6-86	FOR: RYAN HOMES, INC. 14440 Cherry Lane Ct. #215 Laurel, Maryland 20707	FILE NO. 86-103 SE

SDP-87-89

Review: HOWARD SCD
 and for all other requirements
 Signature: _____ Date: _____
 U.S. Soil Conservation Service

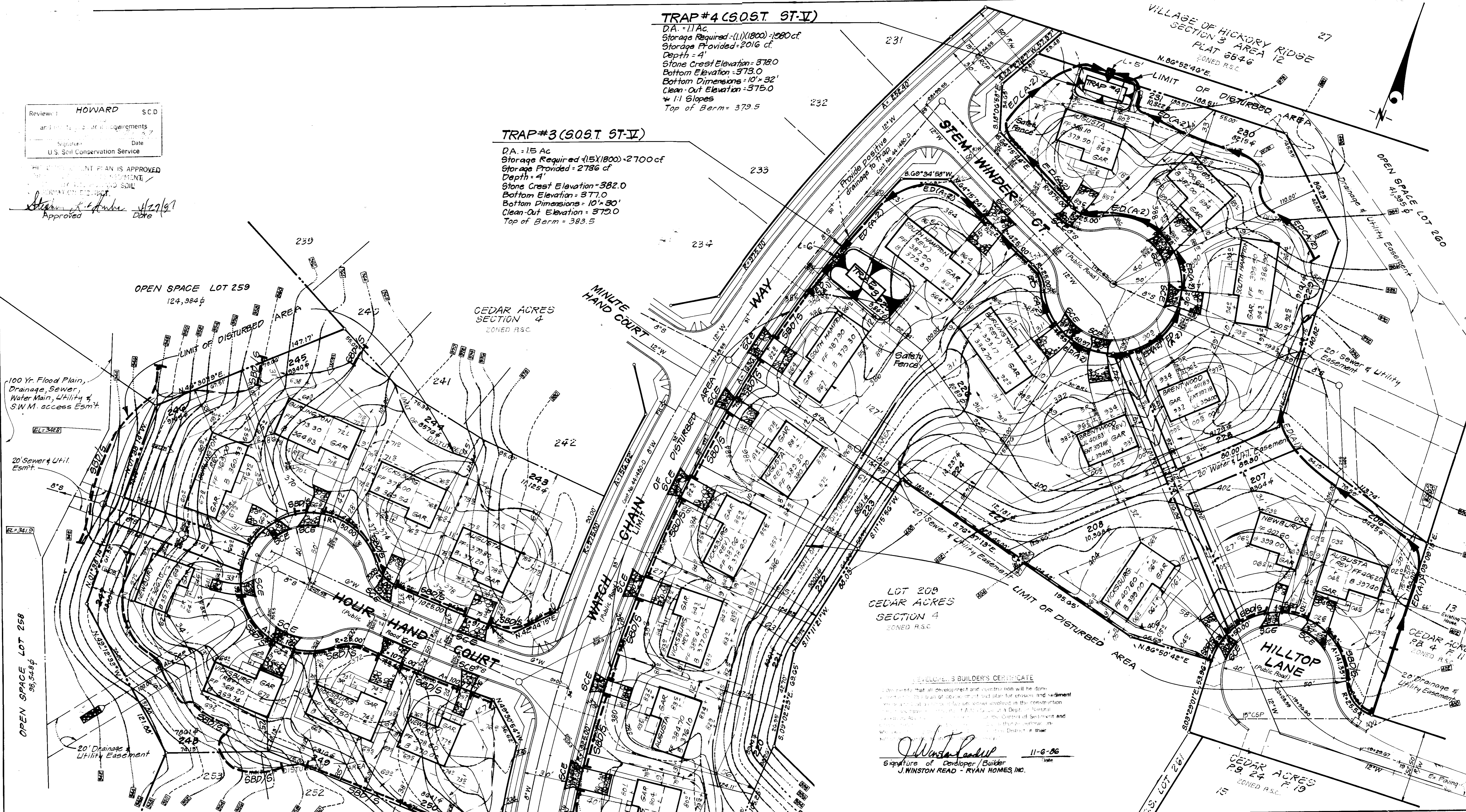
THIS EROSION CONTROL PLAN IS APPROVED
 FOR THE PROPOSED DEVELOPMENT AND SOIL
 CONSERVATION DISTRICT.
 Approved: *John A. Adams* 11/29/87
 Date

TRAP #4 (S.O.S.T. ST-IV)

DA = 1.1 Ac
 Storage Required = (1.1)(1800) = 1980 cf
 Storage Provided = 2016 cf
 Depth = 4'
 Stone Crest Elevation = 378.0
 Bottom Elevation = 373.0
 Bottom Dimensions = 10' x 32'
 Clean-Out Elevation = 375.0
 1:1 Slopes
 Top of Berm = 379.5

TRAP #3 (S.O.S.T. ST-IV)

DA = 1.5 Ac
 Storage Required = (1.5)(1800) = 2700 cf
 Storage Provided = 2736 cf
 Depth = 4'
 Stone Crest Elevation = 382.0
 Bottom Elevation = 371.0
 Bottom Dimensions = 10' x 30'
 Clean-Out Elevation = 372.0
 Top of Berm = 383.5



LOT 209
 CEDAR ACRES
 SECTION 4
 ZONED R.S.C.

DEVELOPER'S BUILDER'S CERTIFICATE
 I hereby certify that all development and construction will be done in accordance with the plan of development and plan for erosion and sediment control and that I, the developer, am involved in the construction of the project. This certificate is filed with the Department of Planning and Zoning Administration, Howard County, Maryland, and is subject to the provisions of the Department of Planning and Zoning Administration, Howard County, Maryland, and is subject to the provisions of the Department of Planning and Zoning Administration, Howard County, Maryland.
Winston Read
 Signature of Developer/Builder
 J. WINSTON READ - RYAN HOMES, INC. 11-6-86

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Erosion and Sediment Control is a true and correct representation of the site and that I, the engineer, am involved in the construction of the project. This certificate is filed with the Department of Planning and Zoning Administration, Howard County, Maryland, and is subject to the provisions of the Department of Planning and Zoning Administration, Howard County, Maryland.
Jeffrey Schwalb
 Signature of Engineer
 JEFFREY SCHWALB - PROFESSIONAL ENGINEER
 Date: 11-6-86

OWNER/DEVELOPER:
 Britam Development Group, Inc.
 9030 Red Branch Rd. Suite 250
 Columbia, Md 21045

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
 HOWARD COUNTY HEALTH DEPARTMENT
John A. Adams 5-4-87
 COUNTY HEALTH OFFICER DATE
APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
John A. Adams 5-5-87
 PLANNING DIRECTOR DATE
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
John A. Adams 5-1-87
 DIRECTOR DATE
 CHIEF BUREAU OF ENGINEERING

APPROVED
 DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
 HOWARD COUNTY
 DATE: 12-12-86
John A. Adams

CLARK · FINEFROCK & SACKETT ENGINEERS · PLANNERS · SURVEYORS		11315 LOCKWOOD DRIVE SILVER SPRING, MARYLAND 20904 (301) 593-3400
DESIGNED GLB	SEDIMENT & EROSION CONTROL PLAN LOTS 167-170, 172-177, 196-208, 219-231 AND 243-250	
DRAWN LAI	CEDAR ACRES	
CHECKED GLB	SECTION II 5th ELECTION DISTRICT HOWARD COUNTY, MARYLAND	
DATE 11-6-86	FOR: RYAN HOMES, INC. 14440 Cherry Lane Ct., #215 Laurel, Maryland 20707	
	SCALE 1" = 30'	DRAWING 4 of 5
	JOB NO. 86-103	FILE NO. 86-103 SE

SDP-87-89

SEDIMENT CONTROL NOTES

- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (992-2437)
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 51) and temporary seedings (Sec. 50) and mulching (Sec. 52). Temporary stabilization with mulch alone can only be done when recommended seeding rates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:

Total Area of Site	0.488 Acres
Area Disturbed	0.318 Acres
Area to be roofed or paved	0.200 Acres
Area to be vegetatively stabilized	0.218 Acres
Total Cut	11,790 Cu. yds
Total Fill	3,160 Cu. yds
Offsite waste/borrow area location	N/A
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County DPW sediment control inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- If houses are to be constructed on an "As-Sold" basis, at a minimum, Single Lot Sediment Control as shown below shall be implemented.
- All pipes to be blocked at the end of each day (see detail below). N/A
- The total amount of straw bale dikes/silt fence equals 2040 L.F.

CONSTRUCTION SEQUENCE:

	No. of Days
A. Obtain Grading Permit and Install Sediment and Erosion Control Devices and Stabilize.	10
B. Excavate for foundations and Rough Grade & temporarily stabilize.	60
C. Construct Structures, Sidewalks and Driveways.	200
D. Final Grade and stabilize in accordance with Stds. & Specs.	60
E. Upon approval of the sediment control inspector, remove sediment and erosion controls and stabilize.	10

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding.

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:

- Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft).
- Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.

Seeding - For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching - Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

Inspection - Inspect all seeded areas and make needed repairs, replacements and reseeding.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

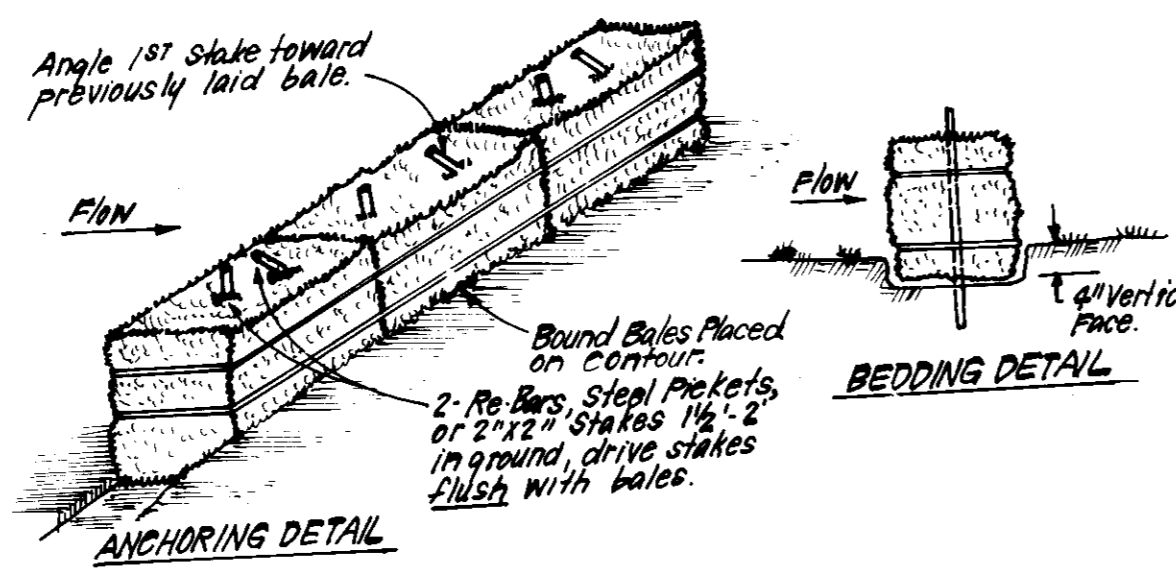
Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding.

Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft)

Seeding: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 25 bushel per acre of annual rye (3.2 lbs/1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (.07 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

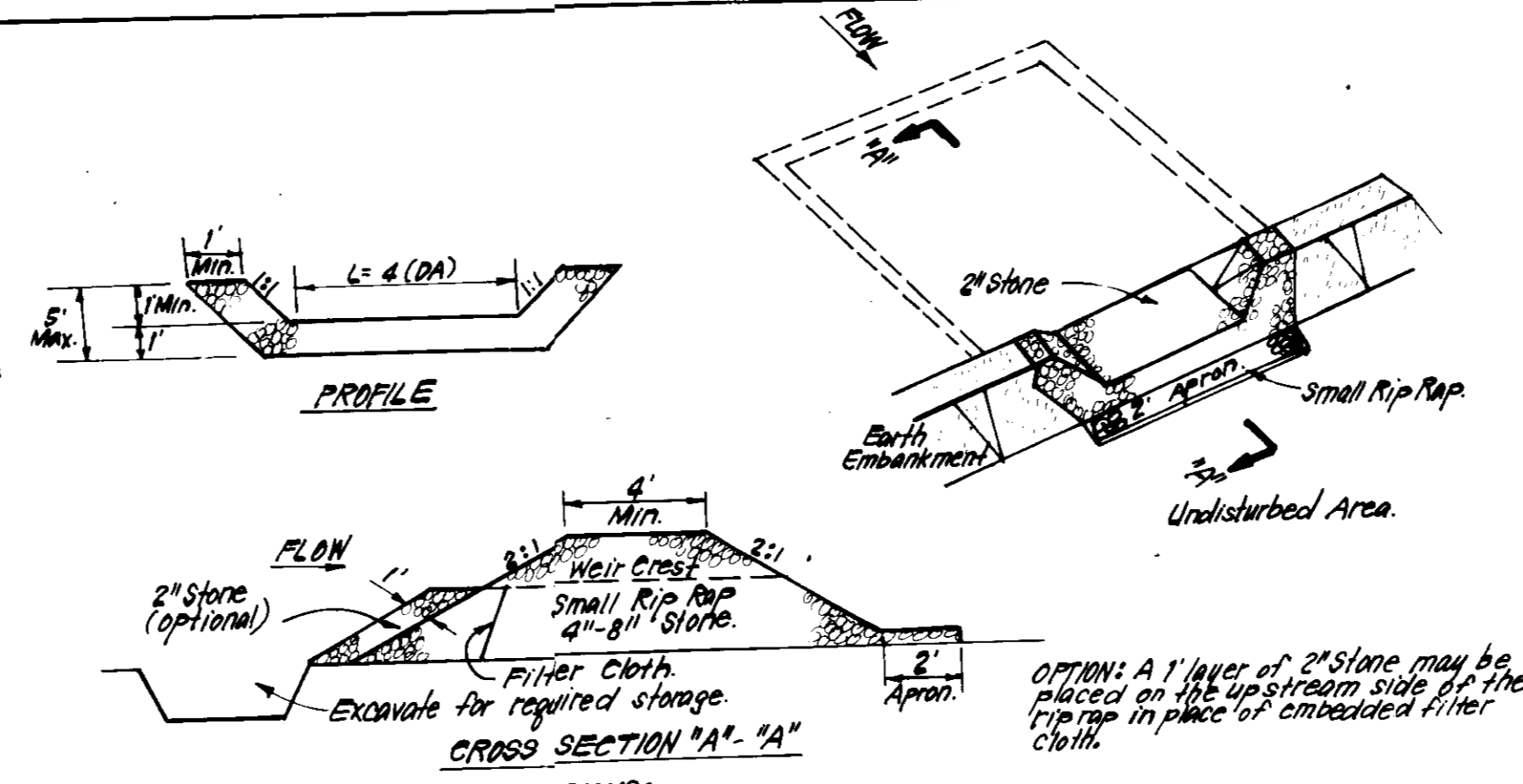
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Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.



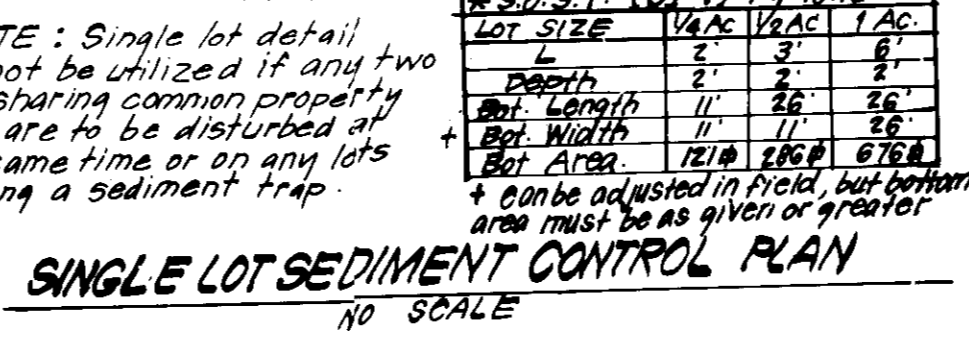
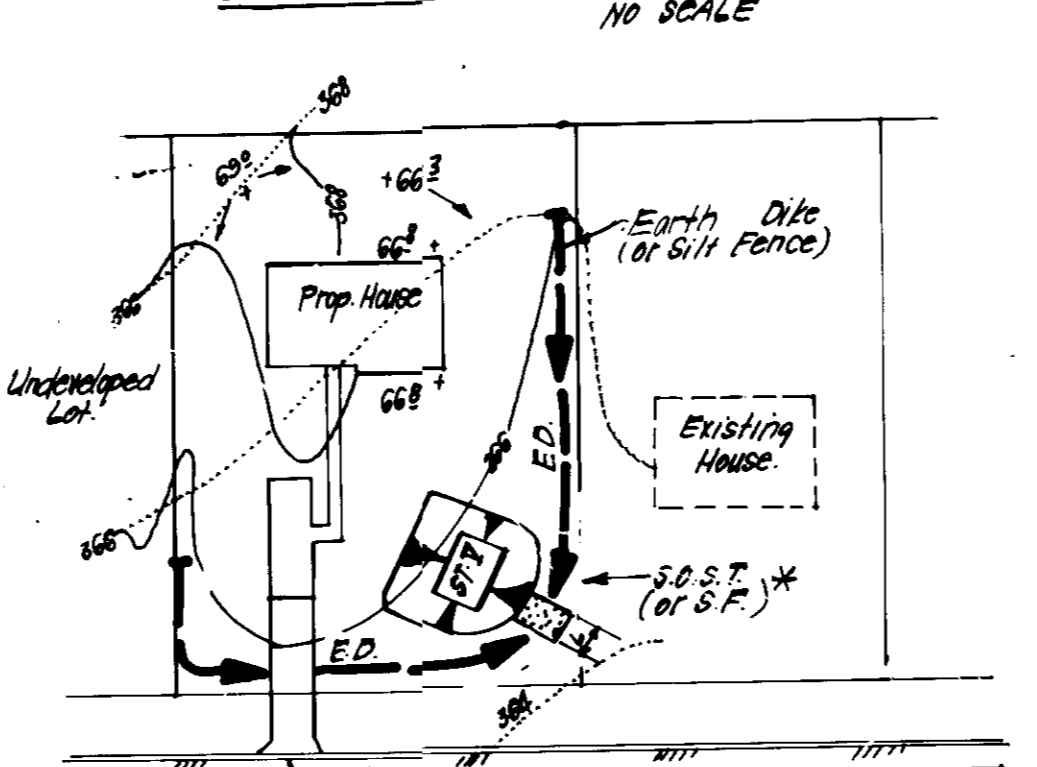
CONSTRUCTION SPECIFICATIONS:

- Bales shall be placed at the top of a slope or on the contour and in a row with ends tightly abutting the adjacent bales.
- Each bale shall be embedded in the soil a min. of 4" and placed so the bindings are horizontal.
- Bales shall be securely anchored in place by either 2 stakes or rebar driven thru the bale. The 1st stake in each bale shall be driven toward the previously laid bale at an angle to force the bales together. Stakes shall be driven flush with the bales.
- Inspection shall be frequent and repair replacement shall be made promptly as needed.
- Bales shall be removed when they have served their usefulness so as not to block or impede storm flow or drainage.



CONSTRUCTION SPECIFICATIONS:

- Area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat. The pool area shall be graded.
- The fill material for the embankment shall be free of roots and other woody vegetation as well as over sized stones, rocks, organic material or other objectionable material. The embankment shall be compacted by traversing with equipment of which it is being constructed.
- All cut and fill slopes shall be 2:1 or flatter.
- The stone used in the outlet shall be small rip rap 4"-8" along with 1" thickness of 2" aggregate placed on the up-grade side of the small rip rap or embedded filter cloth in the rip rap.
- Sediment shall be removed and trap restored to its original dimensions when the sediment has accumulated to 1/2 the design depth of the trap.
- The structure shall be inspected after each rain and repairs made as needed.
- Construction operations shall be carried out in such a manner that erosion and water pollution is minimized.
- The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.



CONSTRUCTION SPECIFICATIONS:

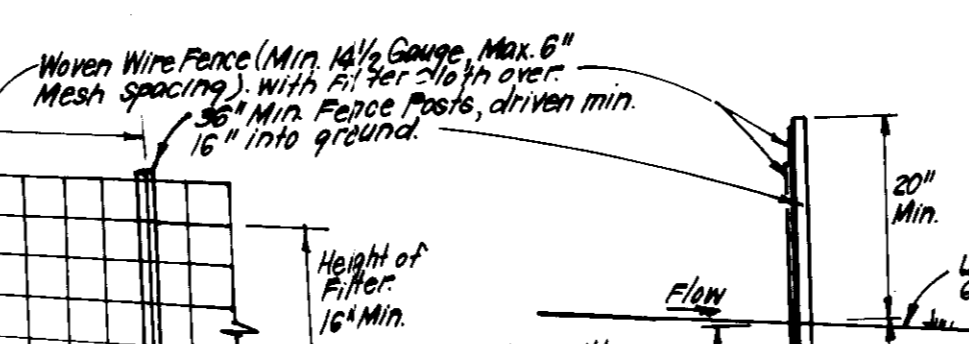
- Woven wire fence to be fastened securely to fence posts with wire ties or staples.
- Filter cloth to be fastened securely to woven wire fence with ties spaced every 24" at top and mid sections.
- When 2 sections of filter cloth adjoin each other they shall be overlapped by 6" and 4" overlap.
- Maintenance shall be performed as needed and material removed when "bulges" develop in silt fence.

POSTS: Steel, either T or U Type or 2" Hardwood.

FENCE: Woven Wire, 1 1/4" Gauge, 6" Max. Mesh Opening.

FILTER CLOTH: Filter Cloth, Miraflo, 100X, Stabilinks, T140N or Approved equal.

PREFABRICATED UNIT: Geotex, Envirofence, or Approved equal.



CONSTRUCTION SPECIFICATIONS:

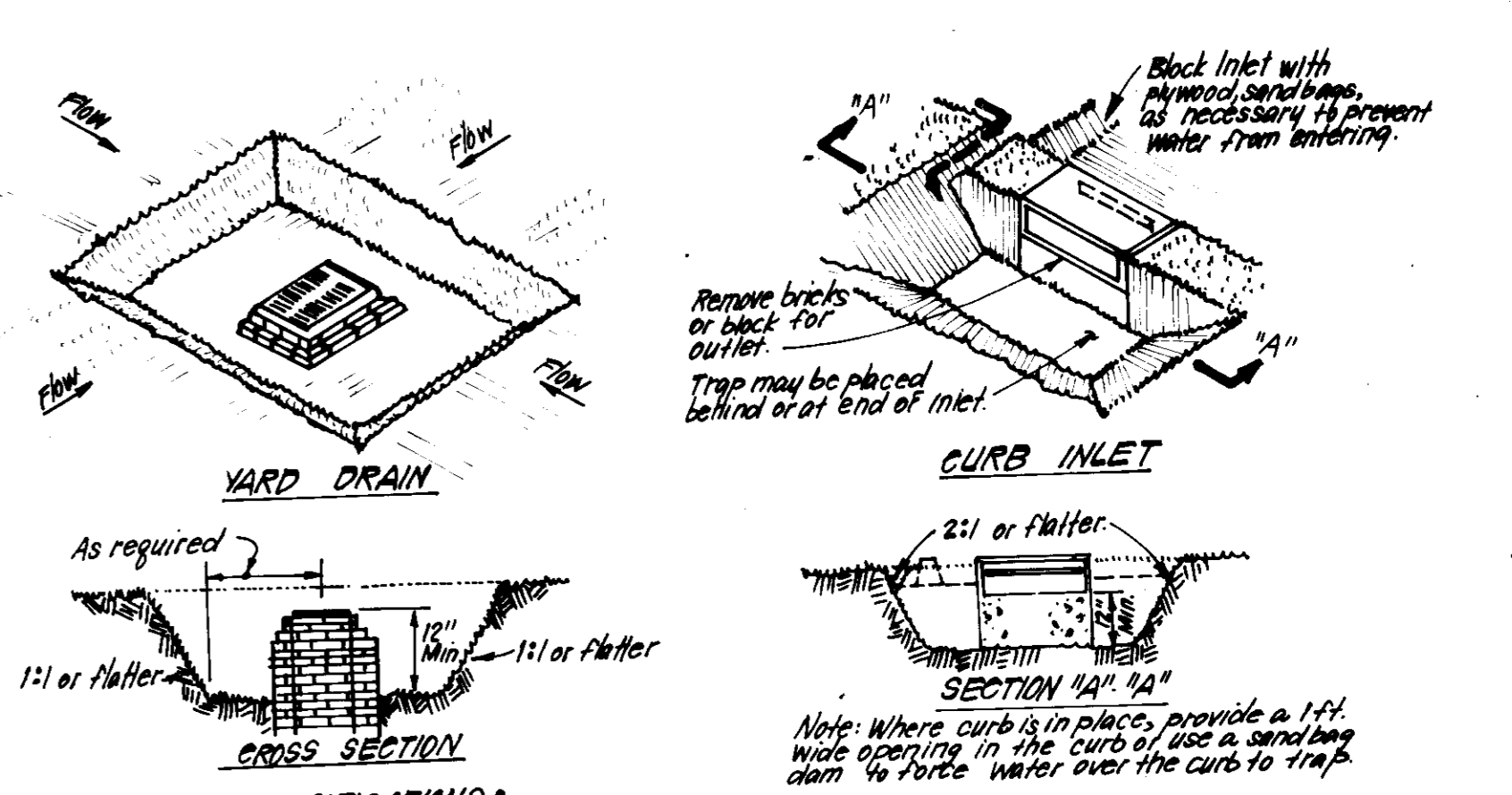
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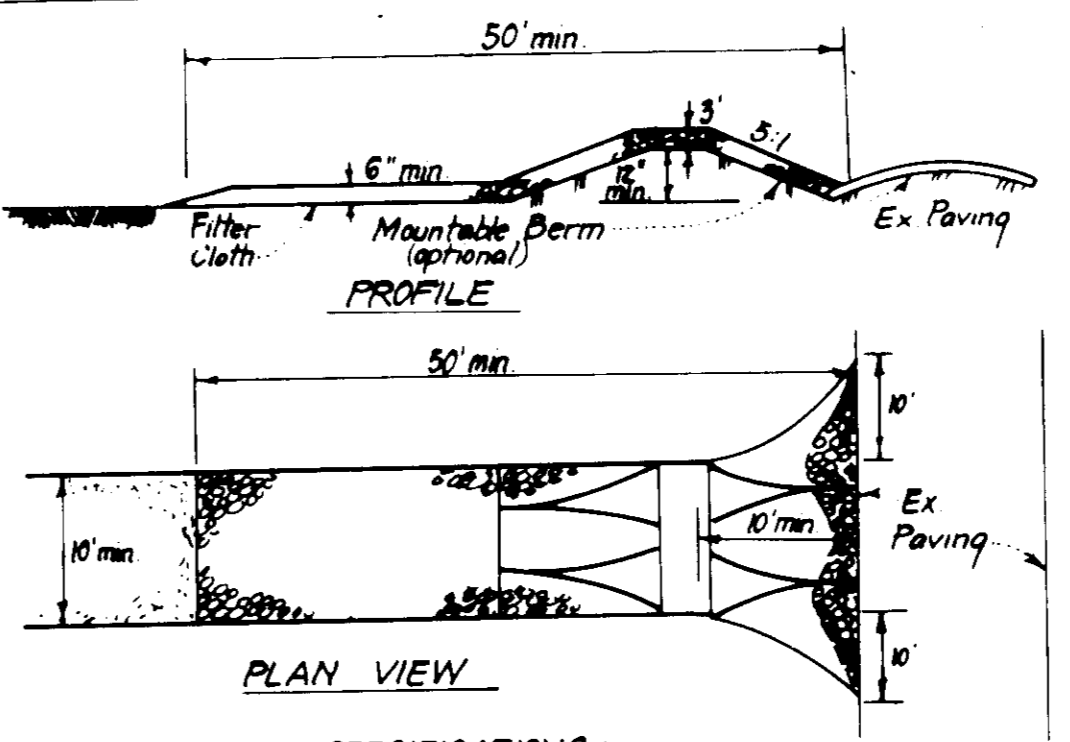
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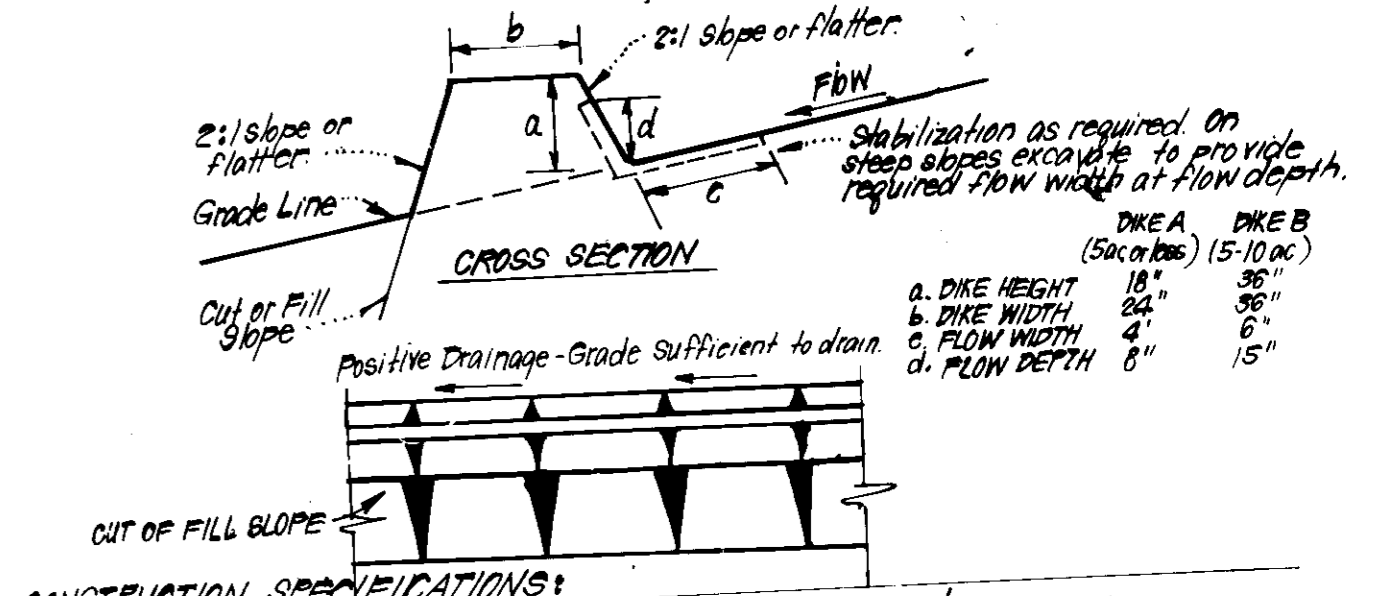
CONSTRUCTION SPECIFICATIONS:

- Sediment shall be removed and the trap restored to its original dimensions when sediment has accumulated to 1/2 the design depth of the trap. Removed sediment shall be deposited in a suitable area and in such a manner that it will not erode.
- The volume of sediment storage shall be 1000 cu. yds. of contributing drainage.
- The structure shall be inspected after each rain and repairs made as needed.
- Construction operations shall be carried out in such a manner that erosion and water pollution shall be minimized.
- The sediment trap shall be removed and the area stabilized when the constructed drainage area has been properly stabilized.
- All cut slopes shall be 1:1 or flatter.



CONSTRUCTION SPECIFICATIONS:

- Stone size - Use 2" stone, or reclaimed or recycled concrete equivalent.
- Length - As required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply).
- Thickness - Not less than six (6) inches.
- Width - Ten (10) feet minimum, but not less than the full width at points where ingress or egress occurs.
- Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residence lot.
- Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
- Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone be conditions demand and repair and/or cleanout of any openings used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
- Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
- Periodic inspection and needed maintenance shall be provided after each rain.



CONSTRUCTION SPECIFICATIONS:

- All dikes shall be compacted by earth-moving equipment.
- All dikes shall have positive drainage to an outlet.
- Top width may be wider and side slopes may be flatter if desired, to facilitate crossing by construction traffic.
- Field location should be adjusted as needed to utilize a stabilized safe outlet.
- Earth dikes shall have an outlet that functions with a minimum of 2 erosion runoff traps. The outlet shall be a sediment trapping device such as a sediment trap or sediment basin where either the dike channel or the drainage area above the dike are not adequately stabilized.
- Stabilization shall be: (A) in accordance with standard specifications for seed and straw mulch or straw mulch if not in seeding season, (B) flow channel as per chart below.

FLOW CHANNEL STABILIZATION

TYPE OF TREATMENT	CHANNEL GRADE	DIKE A	DIKE B
1	0.5 - 3.0%	Seed & Straw Mulch	Seed or Straw Mulch
2	3.1 - 5.0%	Seed w/White or Excelcelor Sod, 2" stone	Seed w/White or Excelcelor Sod, 2" stone
3	5.1 - 8.0%	Seed w/White or Sod, 2" stone	Lined Rip Rap 4"-8" stone
4	8.1 - 20.0%	Lined Rip Rap 4"-8" stone	Engineering Design

A. Stone to be 2" stone, or recycled concrete equivalent, in a layer at least 3" thick and be pressed into soil with construction equipment.

B. Rip rap to be 4"-8" in a layer at least 8" thick, pressed into soil.

C. Approved equivalents can be substituted for any of the above materials.

7. Periodic inspection and Required Maintenance must be provided after each rain.

EARTH DIKE DETAIL (E.D.)
NO SCALE

DEVELOPER'S/BUILDER'S CERTIFICATE

We certify that all development and construction will be done according to this plan of Sediment and Erosion Control for erosion and sediment control and that all construction will be done in accordance with the construction requirements of the Department of Natural Resources, Department of Natural Resources, Department of Natural Resources and Erosion Control. We further certify that we have authorized periodic on-site inspection by the Howard County Department of Natural Resources or their authorized agents, as are deemed necessary.

Signature of Developer/Builder: *J. Winston Read*
J. WINSTON READ - RYAN HOMES, INC. 11-6-86 Date

OWNER/DEVELOPER:
Britann Development Group, Inc.
9030 Red Branch Rd. Suite 250
Columbia, Md. 21045

CLARK • FINEFROCK & SACKETT
ENGINEERS • PLANNERS • SURVEYORS

DESIGNED	GLB	SEDIMENT & EROSION CONTROL PLAN	SCALE
DRAWN	VHL	LOTS 167-170, 172-177, 196-208, 219-231 AND 243-250	A6 Shown
CHECKED	GLB	CEDAR ACRES	DRAWING
		SECTION II	E of 5
		5th ELECTION DISTRICT	JOB NO.
		HOWARD COUNTY, MARYLAND	06-103
DATE	11-6-86	FOR: RYAN HOMES, INC.	FILE NO.
		14440 Cherry Lane Ct., #215	06-1035
		Laurel, Maryland 20707	

SDP-87-89

APPROVED
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 12-12-86

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
DATE 5-4-87

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
DATE 5-5-87

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DATE 5-1-87

Reviewed for HOWARD COUNTY S.C.D. and meets Sediment and Erosion Control Requirements
Signature: *Stephen L. H. Allen*
U.S. Soil Conservation Service
Date: 4-22-87

(THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.)
Signature: *Stephen L. H. Allen*
Date: 4-22-87
Approved

ENGINEER'S CERTIFICATE
I hereby certify that this plan for Erosion and Sediment Control is a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Signature: *Jeffrey S. Schmitt*
Jeffrey S. Schmitt
11-6-86 Date