

NOTES:
 1. Fence material to be galvanized steel with black vinyl coating.
 2. Maximum Fence Height is 6' Six Feet.
 3. Chain Link Shall be 3 Nine Gauge Steel.

- GENERAL NOTES:**
- Maximum building height = 50'.
 - All areas not being paved or receiving building coverage shall be stabilized in accordance with the plans approved by the Howard Soil Conservation District.
 - Any damage to public rights-of-way and/or adjacent properties shall be repaired immediately at the contractor's expense.
 - The contractor shall maintain at least a 2' level bench behind all curb and gutter in fill areas.
 - The contractor shall verify all existing utilities to his own satisfaction before starting construction.
 - All slopes shall be 2:1 or flatter.
 - All work shall be done in accordance with Howard County Standard Specifications and Details for Construction, or as shown on these plans.
 - The contractor shall notify the C & P Telephone Co. and the Gas and Electric Company five days prior to starting work on these plans by calling "Miss Utility". Call collect 1-800-300-0000.
 - For details of ramps and signs for the handicapped see the Maryland Building Code for the Handicapped and Aged and as shown hereon.
 - The contractor shall maintain a minimum of 3.5' cover over all proposed water lines.
 - All rip-rap shall be placed on filter cloth.
 - The contractor or developer shall contact the Construction Inspection/Inspection Division, 24 hours in advance of commencement of work at 993-2417 or 792-7272.
 - The contractor shall remove all existing paving, curb and gutter, etc. that may interfere with proposed construction.
 - All utilities detailed shall receive full trench compaction.
 - All water main tees, bends, caps, etc. shall be buttressed in accordance with Howard County design requirements.

SITE DATA

TOTAL SITE AREA = 14.62 ACRES
 TOTAL FLOOR AREA = 149,782 SF = 22.89% OF SITE

ADDITION	NEW TOTAL
BLDG #1 38,340 SF	38,340 SF
BLDG #2 20,742 SF	59,082 SF
BLDG #3 40,275 SF	99,357 SF
BLDG #4 14,073 SF (10,673 SF MEDICAL CARE FACILITY)	113,430 SF
BLDG #5 28,000 SF (14,000 SF 1ST F., 14,000 SF 2ND F.)	141,430 SF
TOTAL 132,300 SF	153,334 SF

EXISTING USE = OFFICE FOR RESEARCH & DEVELOPMENT.
 PROPOSED USE = OFFICE FOR RESEARCH & DEVELOPMENT AND DAYCARE III BLDG NO. 4

PARKING REQUIRED: 275,000 SF NET LEASABLE OFFICE AREA (14,657 SF) = 284 P.S. (7 HDCP)
 MEDICAL CARE FACILITY REQUIRED: 8 RG/1000 SF (10,673 SF = 53 SF P.S. / 2 HDCP)
 TOTAL PARKING SPACES REQUIRED: 317 P.S. (8 HDCP)

FLOOR AREA RATIO = 3.35 / 14.62 = 22.89%
 PROPERTY REFERENCES:
 PLAT ENTITLED: "VILLAGE OF OWEN BROWN SECTION 5 AREA 1 PARCEL 'E' PLAT # 0120"

EXISTING ZONING: N.T. - INDUSTRIAL
 OPEN SPACE = 230,552 SF; 5.20 / 14.62 = 36.17% (AREA TO BE VEGETATION STABILIZED)

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 DATE: 11-26-86
 1/270

HOWARD SOIL CONSERVATION DISTRICT
 THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 APPROVED: *Stephen L. Shuler* DATE: 12/23/86
 HOWARD SOIL CONSERVATION DISTRICT

REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS
 SIGNATURE: *James M. Helm* DATE: 12/23/86
 THE UNITED STATES SOIL CONSERVATION SERVICE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 SIGNATURE: *John J. W...* DATE: 12-20-86
 COUNTY HEALTH OFFICER

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
 PLANNING DIRECTOR: *Thomas J. Harris* DATE: 12-31-86
 PLANNING DIRECTOR: *Joan F...* DATE: 12-31-86
 CHIEF DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 SIGNATURE: *James R. Kelly* DATE: 12/28/86
 CHIEF BUREAU OF ENGINEERING

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
 SIGNATURE: *W.R. Sudeck* DATE: 07.01.2019
 License No. 12243 Exp. Date: 12-17-2020

JOYCE ENGINEERING CORP.
 ENGINEERS - PLANNERS - SURVEYORS
 10766 Baltimore Avenue
 Beltsville, Md. 20705
 Tel: 301-685-4883 www.joyceeng.com
 Prep: M.N.L. Date: 06-27-2019 JEC No. 019-001
 NOTE: Plan Revisions made on 6-27-2019 by JOYCE ENGINEERING. Approval and Prior Reviews are by Others.

PURPOSE STATEMENT - March 20, 2019
 The purpose of this revised site development plan is to identify KENNEDY KRIEGER INSTITUTES as occupant of Unit 100 in Building No. 4, as a medical care facility. Also as an outdoor activity area and parking area adjacent to Bldg. No. 4 for the facility's private use. The Site Data Notes have been revised to reflect the dry care occupancy and parking req'd.

WRS
 WILLIAM R. SUDECK & ASSOCIATES, INC.
 Consulting Engineers & Land Surveyors
 112 South Main Street • Bel Air, Maryland 21014
 301-879-4353 301-838-5833

ENGINEER
 WILLIAM R. SUDECK
 REG. NO. RE 4874
 DATE: 12/11/86

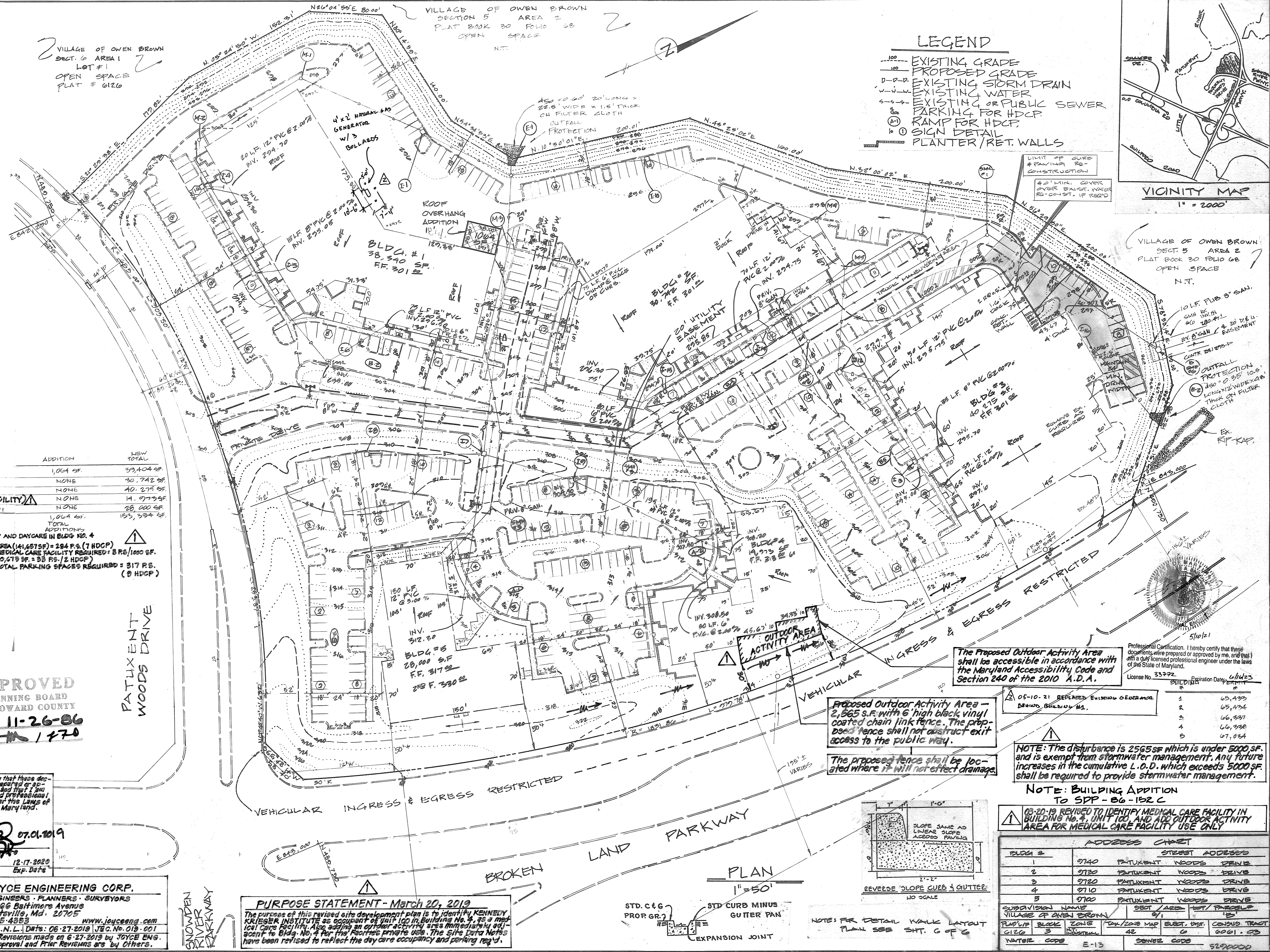
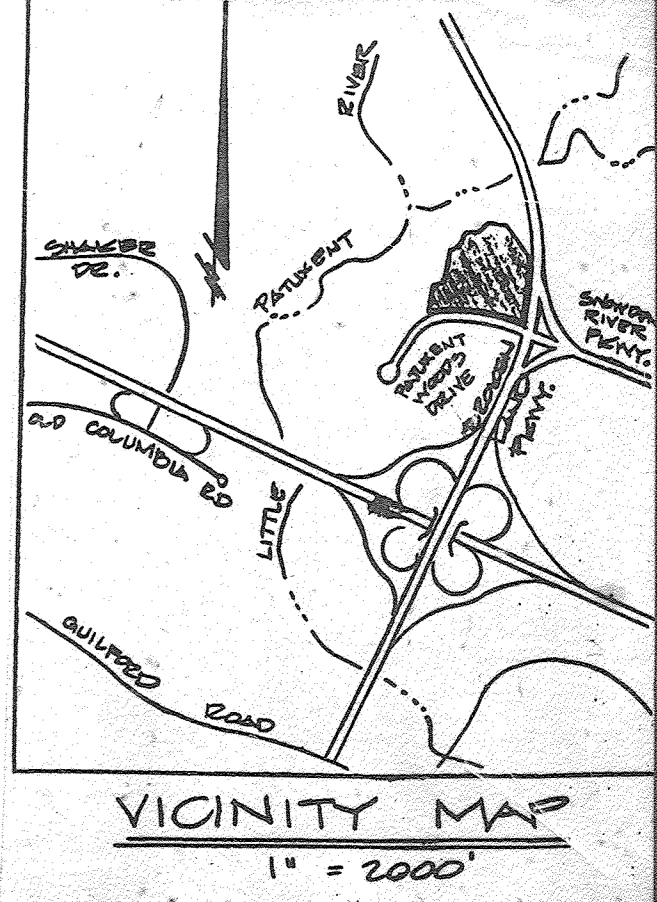
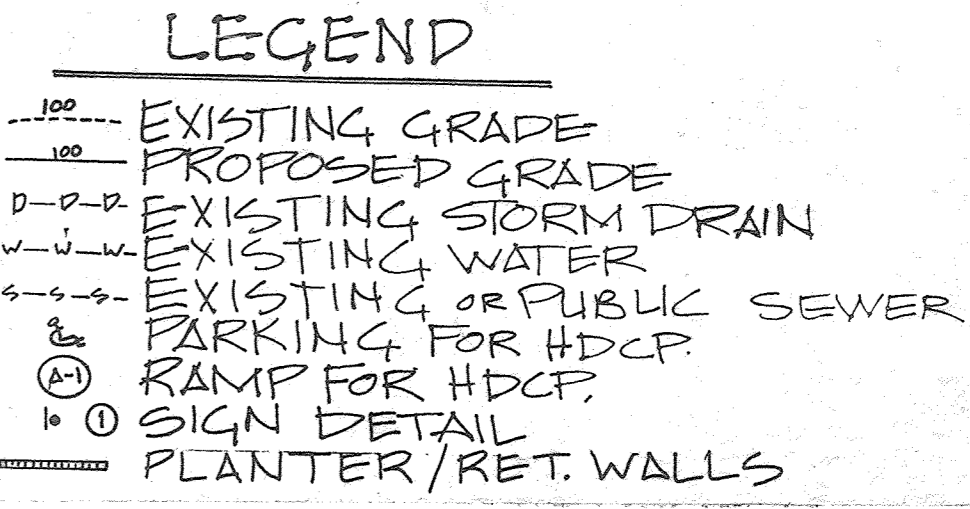
OWNER
 THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION
 10215 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND, 21044
 202-600-0033

DEVELOPER / CONTRACT PURCHASER
 MANEKLIN CORPORATION
 8925 GUILFORD ROAD
 COLUMBIA, MD, 21046
 202-610-1670

DEVELOPER
 DONALD MANEKIN
 U.P. HANOVERIA
 HANOVERIA AGENT
 DATE: 12/11/86

DESIGNER
 DES. R.W.R.
 DWG. K.M.G.
 CHK. R.W.R.
 REVISION: 12/11/86 - ADD NOTE FOR SUP NUMBER

SITE PLAN
 FOR PROPOSED OFFICES FOR RESEARCH & DEVELOPMENT
 VILLAGE OF OWEN BROWN SECTION 5 AREA 1 PARCEL 'E' COLUMBIA
 HOWARD CO., MD. ELECT. DIST. # 6
 SCALE: AS SHOWN DATE: DEC. 1, 1984
 SHEET 1 OF 1



The Proposed Outdoor Activity Area shall be accessible in accordance with the Maryland Accessibility Code and Section 240 of the 2010 A.D.A.

Proposed Outdoor Activity Area - 2,565 S.F. with 6' high black vinyl coated chain link fence. The proposed fence shall not obstruct exit access to the public way.

The proposed fence shall be located where it will not effect drainage.

NOTE: The disturbance is 2565 SF which is under 5000 SF, and is exempt from stormwater management. Any future increases in the cumulative L.O.D. which exceeds 5000 SF, shall be required to provide stormwater management.

NOTE: BUILDING ADDITION TO SPP - 86-152 C

03-20-19 REVISED TO IDENTIFY MEDICAL CARE FACILITY IN BUILDING NO. 4, UNIT 100, AND ADD OUTDOOR ACTIVITY AREA FOR MEDICAL CARE FACILITY USE ONLY

ADDRESS CHART

BLDG #	STREET ADDRESS
1	9740 PATUXENT WOODS DRIVE
2	9720 PATUXENT WOODS DRIVE
3	9720 PATUXENT WOODS DRIVE
4	9710 PATUXENT WOODS DRIVE
5	9700 PATUXENT WOODS DRIVE

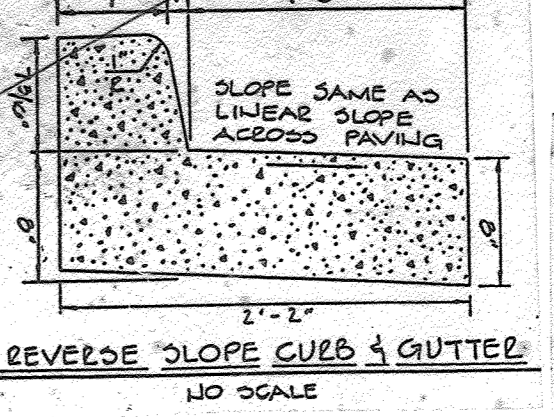
SUBDIVISION NAME: VILLAGE OF OWEN BROWN
 SECTION: 5
 AREA: 1
 PARCEL: 'E'

PLAT/BLK: 30
 ZONE: INDUSTRIAL
 CONZONING MAP: 42
 SUBST. DIST.: 0
 CONDUIT TRACT: 0001-03

WATER CODE: E-13
 SEWER CODE: S190000

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
 License No. 33392
 Expiration Date: 6/1/23

BLDG #	DATE
1	05,495
2	09,474
3	06,557
4	06,938
5	07,034



NOTE: FOR DETAIL WALK LAYOUT PLAN SEE SHT. C OF G

