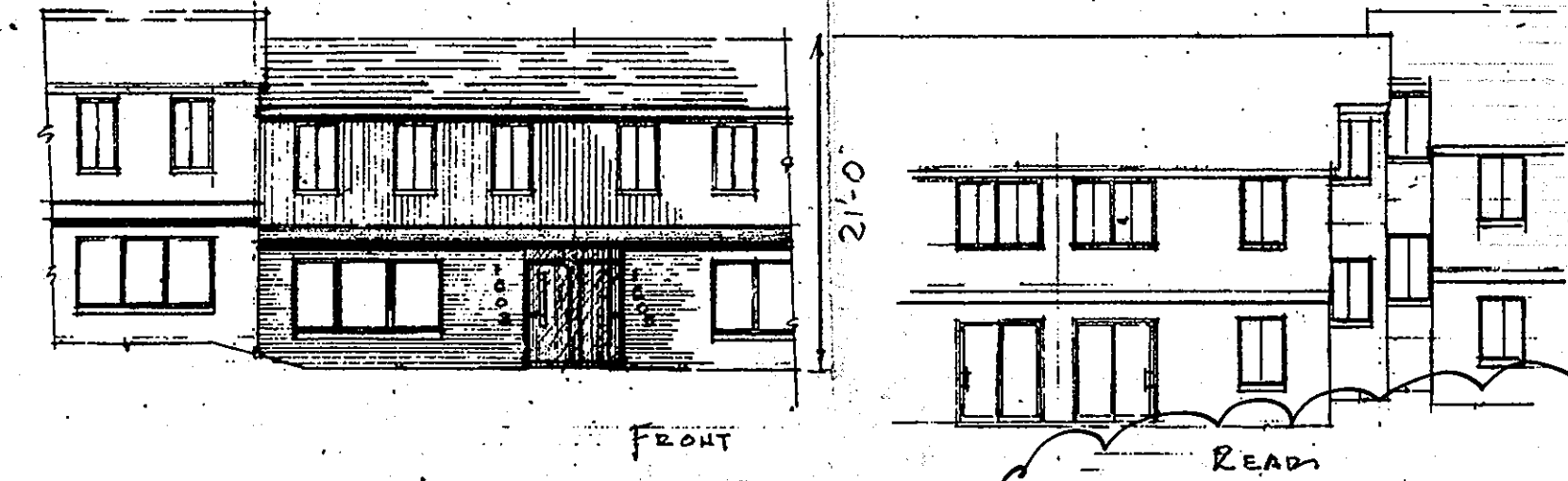


HANDICAPPED PARKING SIGN
 1) STD. RT-8
 2) AS PER MD. CO. BILL SB-84
 3) NOT TO SCALE



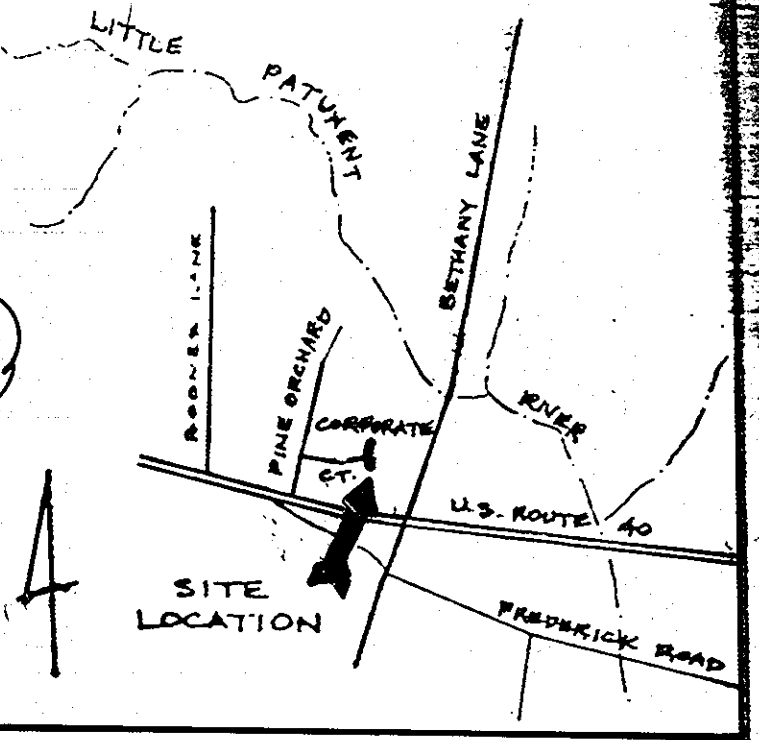
SCHEMATIC ELEVATIONS

LEGEND

- [Hatched Box] NEW PAVING AND CURBING
- [Dotted Box] EXISTING PAVING & CURBING TO BE REMOVED
- [Triangle] WEDGE LEVEL FOR PROPER DRAINAGE

ADD 1" TOPCOAT ASPHALT SURFACE TO EXISTING LOT
 PAINT PARKING LINES PER THIS PLAN

PROVIDE ALL HANDRAILS AT STAIRS AND RAMPS AS REQ'D BY CODE
 PROVIDE GUARDRAILS AS SHOWN, COMPLY WITH ALL CODES



VICINITY MAP
 Scale: 1" = 2000'

CERTIFICATION BY THE DEVELOPER
 I CERTIFY THAT ALL DEVELOPMENT AND OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS DEEMED NECESSARY.

SIGNATURE OF DEVELOPER: LEONARD S. VAUGHAN
 DATE: []

GENERAL NOTES

- TAX MAP: 24 PARCELS M.N.O (TO BE CONSOLIDATED IN ONE PARCEL)
 - PLAT REFERENCE: PLAT NO 5716 OF 1-17-1984
 - PRESENT ZONING: B-1
 - TOTAL AREA 2.76 AC ±
 - PROPOSED USE OFFICE & RESIDENTIAL NO RETAIL SERVICES OR RESTAURANTS
 - TOTAL NO OF UNITS: 24
 NUMBER OF OFFICE UNITS: 024 MAX EMPLOYEES: 48
 NUMBER OF RESIDENTIAL UNITS: 24
 - PARKING REQUIREMENTS:
 OFFICE: 7 SPACES/10 EMPLOYEES → 34 SPACES
 RESIDENTIAL: 2 SPACES/UNIT → 48 SPACES
 TOTAL: 40 SPACES PROVIDED 55 SPACES PROVIDED
 - AREA ANALYSIS:
 TOTAL PAVED AREA: 0.67 AC ± (Includes Parking) 0.775 AC ±
 TOTAL PARKING AREA: 0.03 (5% Parking)
 LANDSCAPED ISLAND AREA: 0.55 AC
 BUILDINGS AREA: 0.55 AC
 OPEN SPACE AREA: 1.95 AC
 PERCENTAGE OPEN SPACE: 48%
 - CORPORATE COURT IS EXISTING PUBLIC ROAD
 - STORM WATER MANAGEMENT FACILITY IS EXISTING FROM PREVIOUS DEVELOPMENT & IT WAS DESIGNED FOR FULL SITE DEVELOPMENT SEE FILE F-83-65
 - ALL EXTERIOR LIGHTING SHALL BE DIRECTED OR REFLECTED AWAY FROM ADJACENT PUBLIC ROAD & RESIDENTIAL PROPERTIES.
- PURPOSE STATEMENT:**
 REDLINE REVISIONS NECESSARY TO COMPLETE ALL UNFINISHED WORK AND TO MAKE MODIFICATIONS TO ORIGINAL DESIGN FOR NEW USE AND OWNER.

ADDRESS CHART

BUILDING NO.	STREET ADDRESS	NO. STORIES
1	3280 CORPORATE COURT	2
2	3282 CORPORATE COURT	2
3	3284 CORPORATE COURT	2
4	3286 CORPORATE COURT	2
5	3288 CORPORATE COURT	2
6	3290 CORPORATE COURT	2
7	3292 CORPORATE COURT	2
8	3294 CORPORATE COURT	2
9	3296 CORPORATE COURT	2
10	3298 CORPORATE COURT	2
11	3300 CORPORATE COURT	2
12	3302 CORPORATE COURT	2
13	3304 CORPORATE COURT	2
14	3306 CORPORATE COURT	2
15	3308 CORPORATE COURT	2
16	3309 CORPORATE COURT	2
17	3307 CORPORATE COURT	2
18	3305 CORPORATE COURT	2
19	3303 CORPORATE COURT	2
20	3299 CORPORATE COURT	2
21	3297 CORPORATE COURT	2
22	3295 CORPORATE COURT	2
23	3293 CORPORATE COURT	2
24	3291 CORPORATE COURT	2

LANDSCAPE REQUIREMENTS

- ⊕ INDICATES 2 1/2" CAL BRADFORD PEARS 30% MAX. ALONG R/W'S AND RESIDENTIAL PROPERTIES UNLESS EXISTING TREES ARE PRESENT TO REMAIN.
- PROVIDE A COMBINATION OF AT LEAST TWO OF THE FOLLOWING AT EVERY ISLAND OR OPEN SPACE AREA WITHIN PAVING EXCEPT WHERE THEIR FUTURE GROWTH WILL IMPEDE SIGHT DISTANCE:
 ○ NETZ MIDGET ARBOVIATE
 ○ JUNIPERUS CHINENSIS PEITZERANA COMPACTA
 ○ TAXUS SPYRATA NANA
- ALL LANDSCAPED AREAS, ISLAND AND OPEN SPACES SHALL HAVE VEGETATED GROUND COVER AND SHALL NOT BE STONE GRAVEL AREAS.

CERTIFICATION BY THE ENGINEER
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNATURE OF ENGINEER: MICHAEL J. WALKLEY, P.E.
 DATE: 6-22-87



SUBDIVISION NAME: PINE ORCHARD PARK	SECTION 2 PARCEL 0-1
PLAT # BLOCK # ZONE: 6177 2 B-1	TAX MAP ELEC. DIST. CENSUS TR: 24 2 6022
WATER CODE: H08	SEWER CODE: 5 5390200

SEAL SIGNATURE FOR REVIEW AS NOTED - CG/2/1/87
 REV 1 - 03/19/87

DRAWING INDEX

NO.	DESCRIPTION
1	SITE DEVEL. PLAN GEN. NOTES
2	SEDIMENT CONTROL PLAN
3	DRAINAGE AREA MAP & STORM DRAIN PROFILES
4	WATER AND SEWER PLAN
5	SITE DETAILS & ESC.

OWNER & DEVELOPER

ANGELO AMABLE
 CIVIL/VEHICULAR CONSTRUCTION
 2240 CORPORATE CT.
 ELLECIOT CITY, MD. 21104
 TEL: (301) 465-0075

DEVELOPERS CERTIFICATE

I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATION OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

Signature: [] DATE: 7/14/86

ENGINEERS CERTIFICATE

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature: Sourabh Munnar DATE: 7/14/86



APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEM
 HOWARD COUNTY HEALTH DEPARTMENT
 [Signature] DATE: 12-11-86

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 [Signature] DATE: 12-15-86
 [Signature] DATE: 12-12-86

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 [Signature] DATE: 12-1-86
 [Signature] DATE: 12-8-86

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS
 [Signature] DATE: 12-1-86
 U.S. SOIL CONSERVATION SERVICE

THIS DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT
 [Signature] DATE: 12-1-86
 HOWARD CO. SOIL CONSERVATION DISTRICT

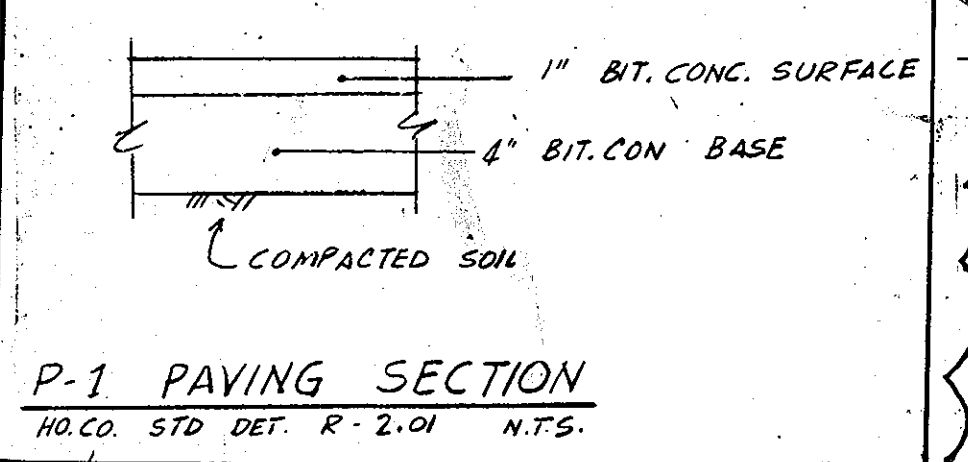
INDAM ENGINEERS, INC.
 CONSULTING ENGINEERS
 11 JOLIE COURT
 RANDALLSTOWN, MD. 21133

STATE OF MARYLAND PROFESSIONAL ENGINEER

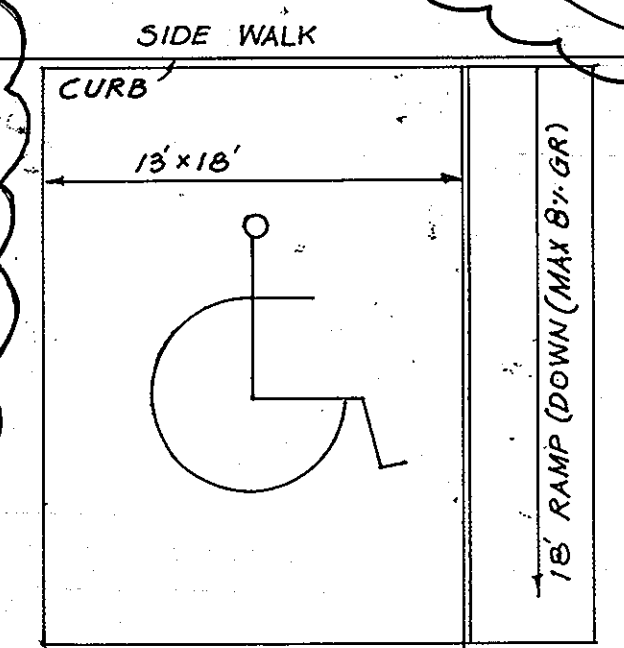
PROVIDE ANGULAR MILL 3' WIDE IN PAVING SECTIONS FOR FLUSH TRANSITION

REGRADE AT MANHOLE SEE 13/5
 WEDGE LEVEL AT RAMPS FOR FLUSH TRANSITION (TYPICAL)
 REPAIR BASE AND CURB AT INLET

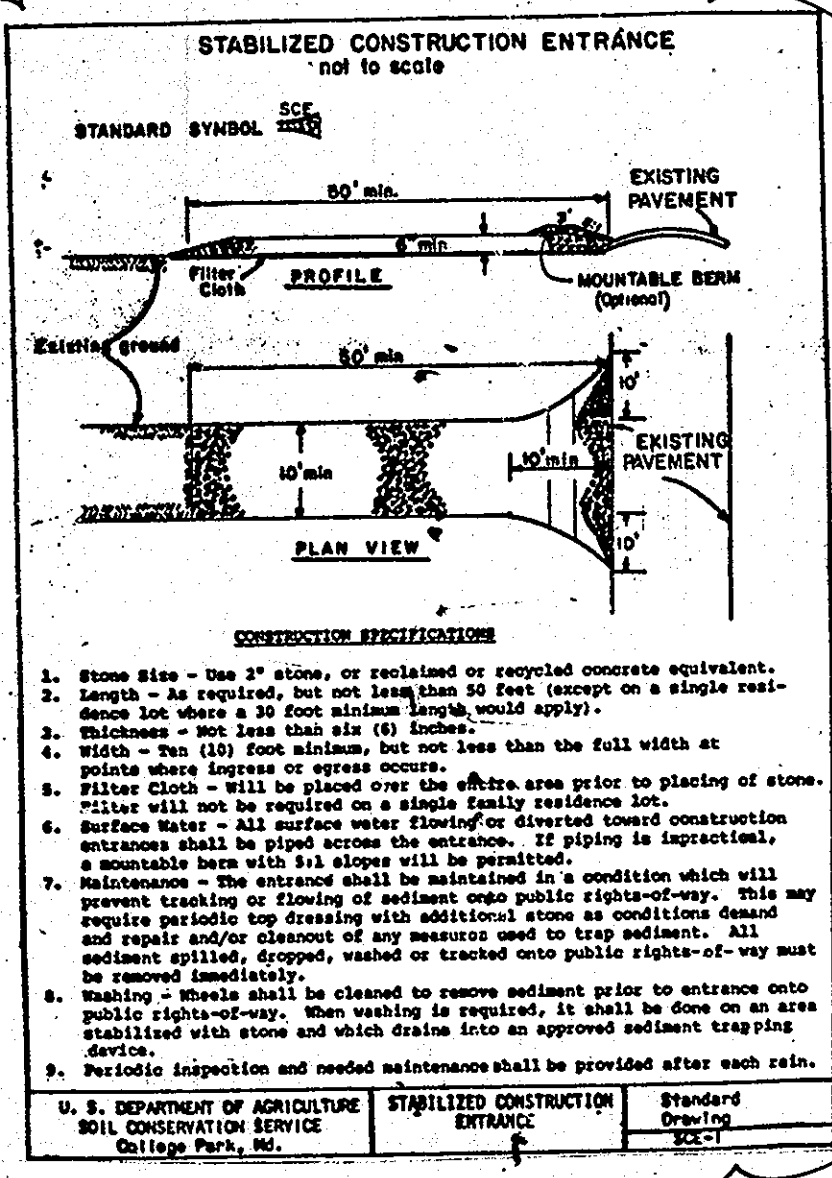
DEMOLISH AND REPLACE CONCRETE PADS AS REQUIRED FOR NEW GRADING.
 EXTEND RAIN LEADERS TO NEW CURB. TERMINATE AT NEW DRAINAGE TRENCH - MATCH PRE-EXISTING DETAIL.



P-1 PAVING SECTION
 HO. CO. STD. DET. R-2-01 N.T.S.

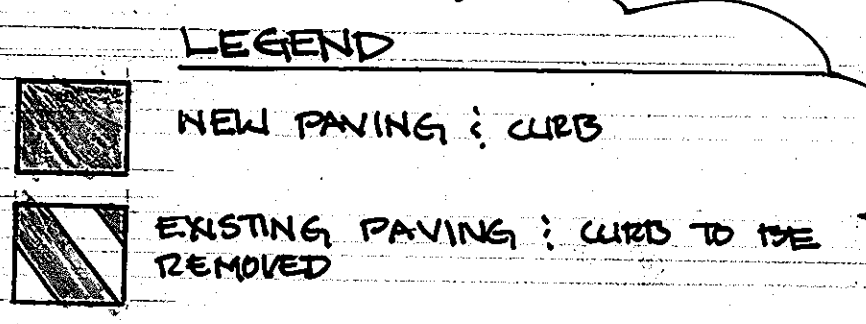


TYPICAL HANDICAPPED PARKING SPOT & RAMP DETAIL



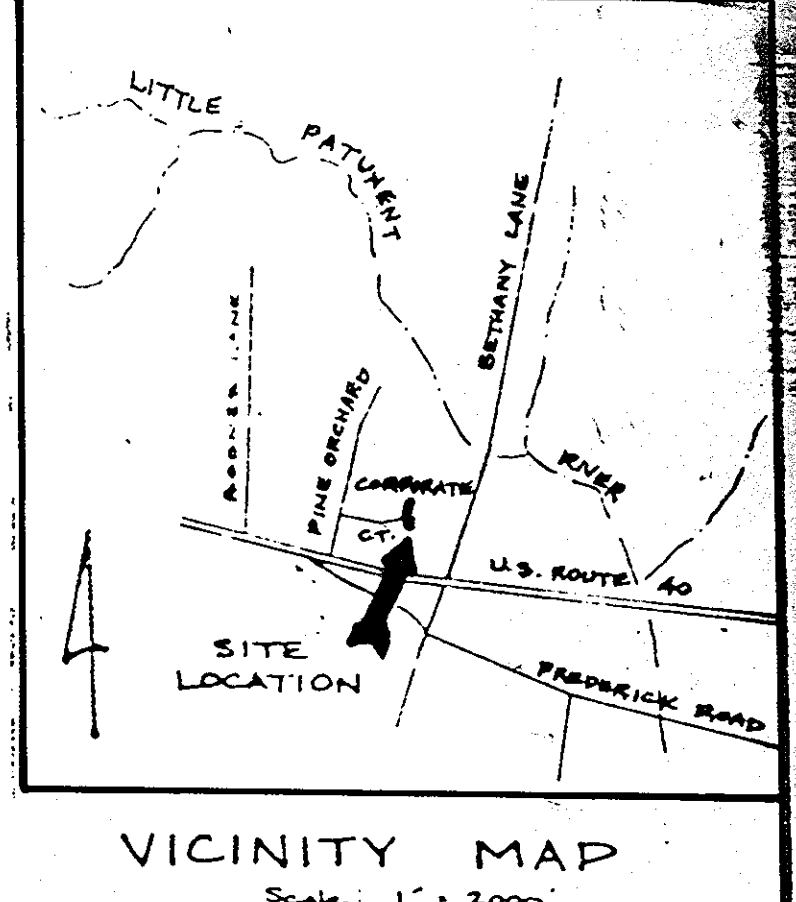
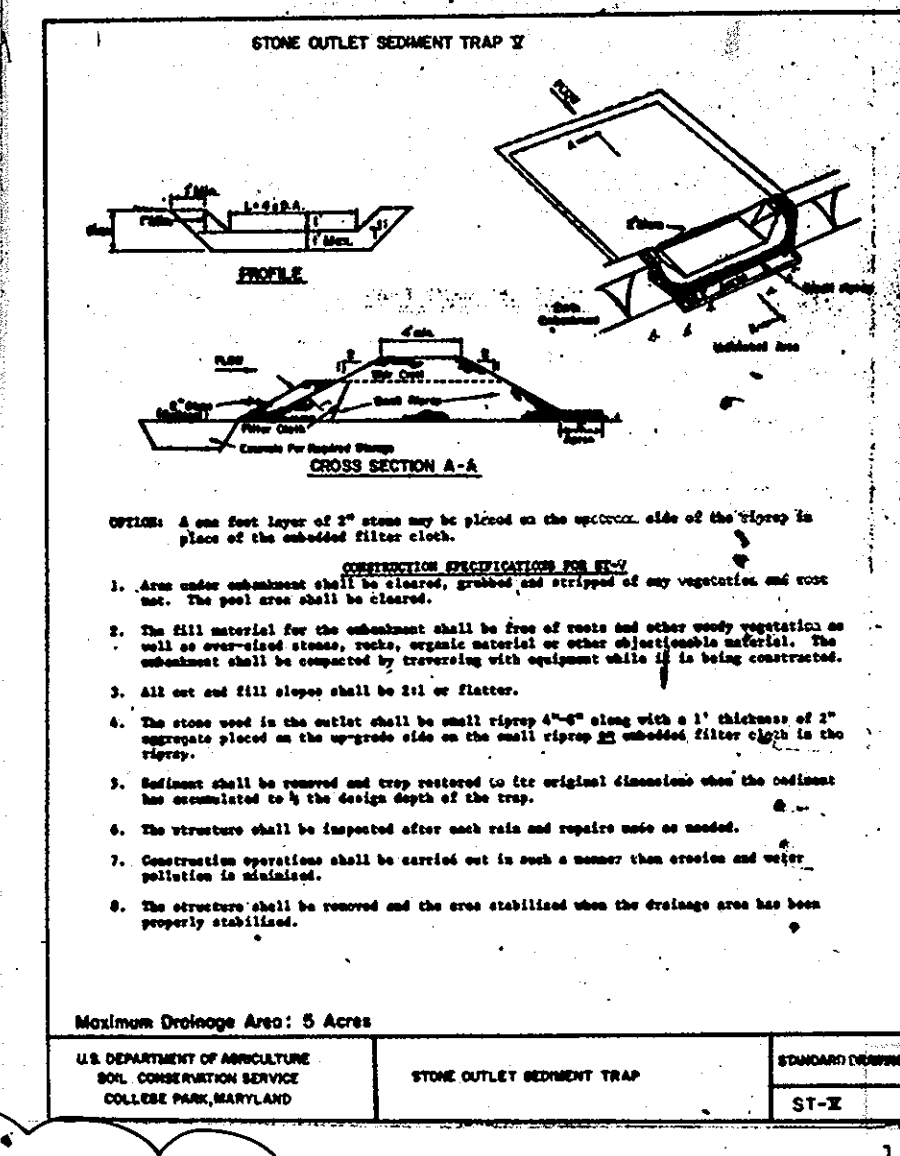
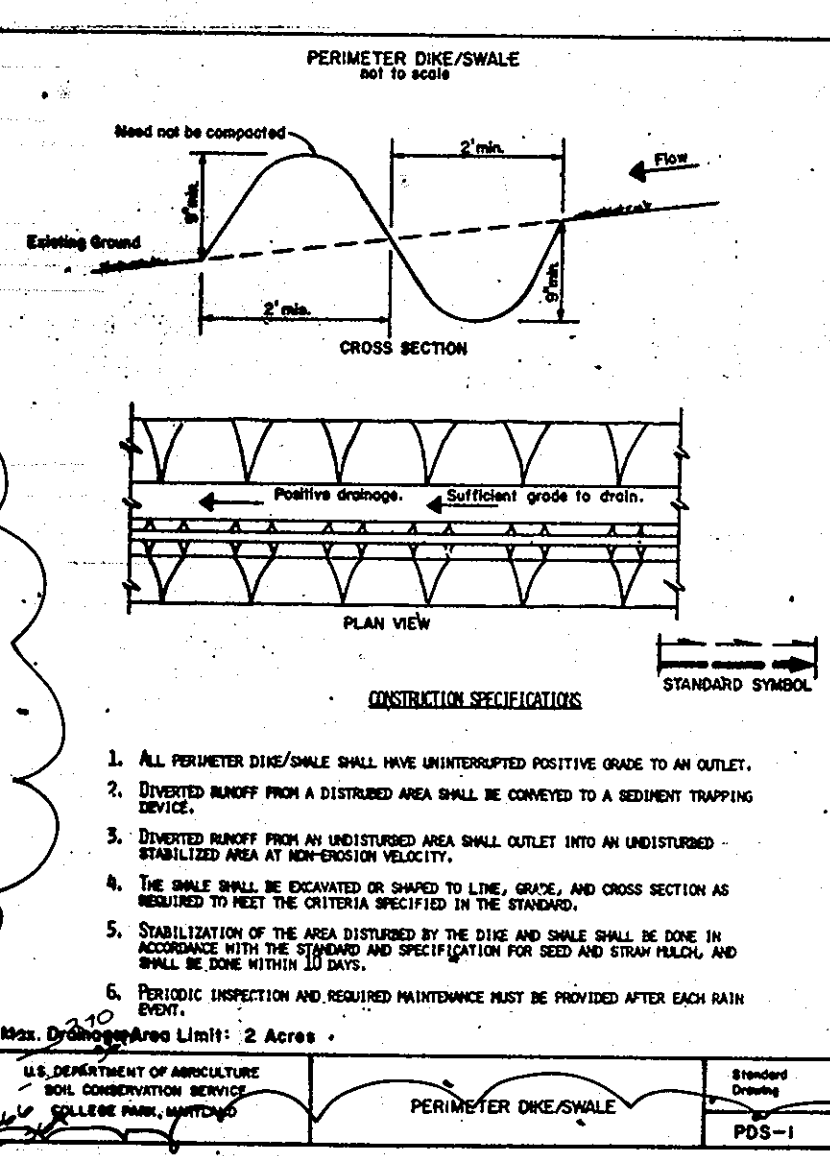
CERTIFICATION BY THE DEVELOPER
 I CERTIFY THAT ALL DEVELOPMENT AND OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS DEEMED NECESSARY.

SIGNATURE OF DEVELOPER
 LEONARD S. VAUGHAN



CERTIFICATION BY THE ENGINEER
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

SIGNATURE OF ENGINEER
 MICHAEL J. WALKLEY, P.E.



TOTAL LOT AREA
 3.81 AC

TOTAL AREA DISTURBED:
 0.31 AC

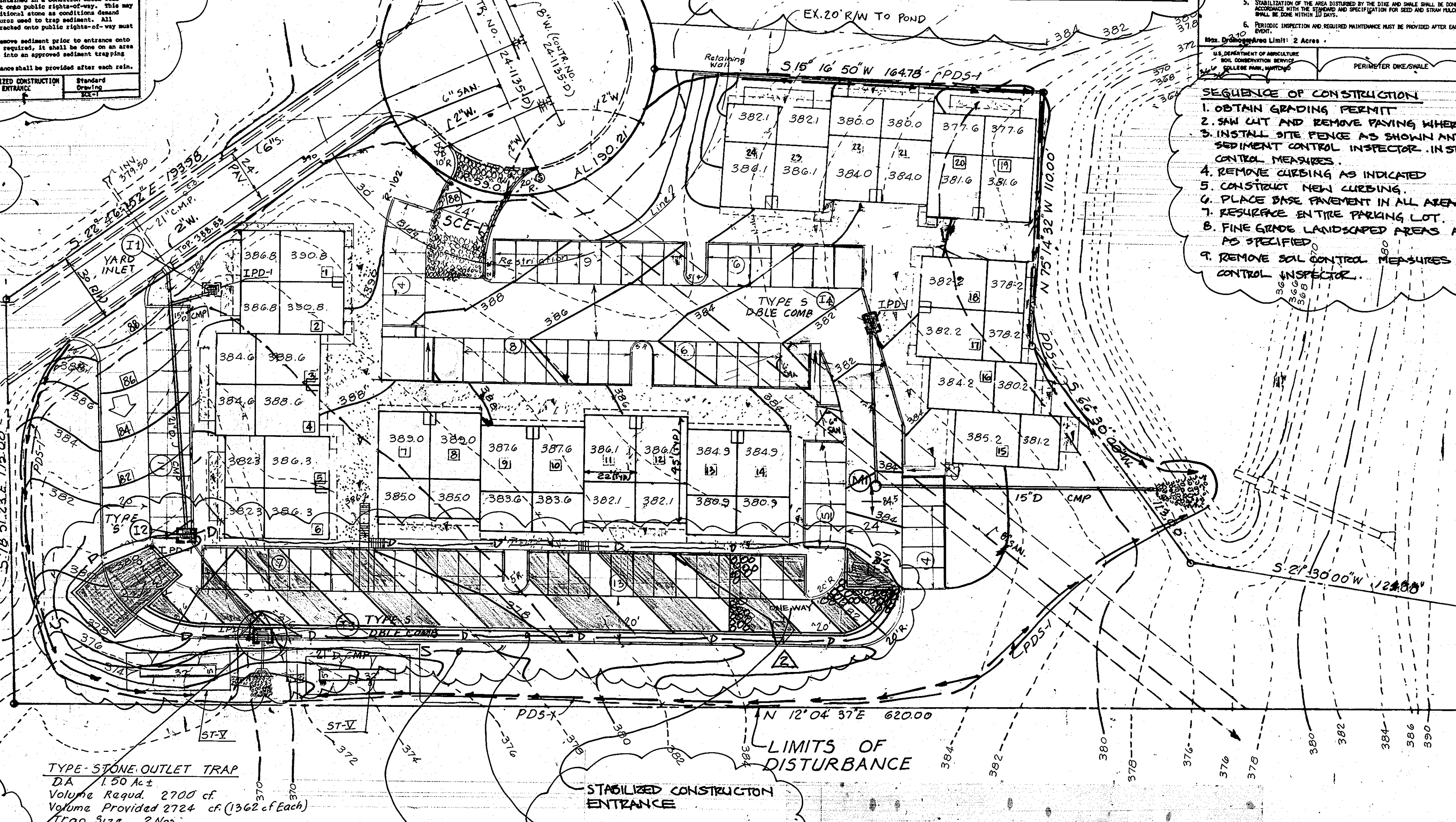
TOTAL CUT:
 211.77 CUBIC YARDS

TOTAL FILL:
 376.2 CUBIC YARDS

CUT/FILL RATIO:
 0.562:1

SILT FENCE DATA:
 SLOPE LENGTH: 45'
 SLOPE STEEPNESS 20:1

DRAINAGE AREA PER 100' OF FENCE
 0.165 AC



SEQUENCE OF CONSTRUCTION

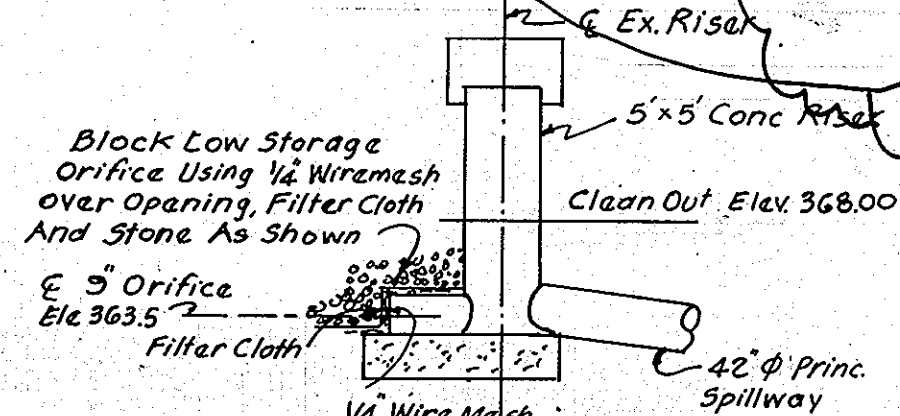
- OBTAIN GRADING PERMIT
- SAW CUT AND REMOVE PAVING WHERE INDICATED
- INSTALL SITE FENCE AS SHOWN AND IN ADDITIONAL AREAS AS MIGHT BE REQUIRED BY THE SEDIMENT CONTROL INSPECTOR. INSTALL INLET PROTECTION AND ALL SEDIMENT AND EROSION CONTROL MEASURES.
- REMOVE CURBING AS INDICATED
- CONSTRUCT NEW CURBING
- PLACE BASE PAVEMENT IN ALL AREAS DESIGNATED TO RECEIVE NEW PAVEMENT.
- RESURFACE ENTIRE PARKING LOT.
- FINE GRADE LANDSCAPED AREAS AND STABILIZE WITH PERMANENT SEEDING MIXTURE AS SPECIFIED
- REMOVE SOIL CONTROL MEASURES ONLY UPON OBTAINING PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR.

PERMANENT SEEDING NOTES
 Apply to graded or cleared areas likely to be redistributed where a permanent long-lived vegetative cover is needed.
Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding.
Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:
 1) Preferred - Apply 2 tons per acre dolomitic limestone (90 lbs/1000 sq. ft.) and 600 lbs per acre urea fertilizer (14 lbs/1000 sq. ft.) before seeding. Reduce urea rate to three inches of soil at time of seeding, apply 400 lbs per acre 30-0-0 urea fertilizer (9 lbs/1000 sq. ft.) or weeping lovegrass. During the period of October 16 thru February 28 protect the site by Option(1) & 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring; Option(2) use seed and Option(3) seed with 60 lbs/acre Kentucky 41 tall fescue and mulch with 2 tons/acre well anchored straw.
 Mulching - Apply 1.5 to 2 tons per acre (70 to 90 lbs/1000 sq. ft.) of unwetted small grain straw immediately after seedling. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq. ft.) of emulsified asphalt on flat areas. On slopes 8 ft. or higher, use 348 gal per acre (8 gal/1000 sq. ft.) for anchoring.
Maintenance: Inspect all seeded areas and make needed repairs, replacements and reseedings.

SEDIMENT CONTROL NOTES

- A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTIONS & PERMITS PRIOR TO THE START OF ANY CONSTRUCTION. (992-2437)
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE COMPLETED WITHIN: a) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1; b) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREA ON PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOLUME I, CHAP. 12 OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED IN ACCORDANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS (SEC. 50) AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ALL BE DONE WHEN RECOMBODING SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN GRANTED BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:
 TOTAL AREA OF SITE: 3.81 AC
 AREA DISTURBED: 3.5 AC
 AREA TO BE ROOFED OR PAVED: 2.5 AC
 AREA TO BE VEGETATIVELY STABILIZED: 1.0 AC
 TOTAL CUT: ---
 TOTAL FILL: ---
 OFFSITE WASTE AREA LOCATION: AS APPROVED BY S.C. INSPECTOR
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY DPW SEDIMENT CONTROL INSPECTOR, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.

TYPE STONE OUTLET TRAP
 D.A. 1.50 AC ±
 Volume Req'd. 2700 cf
 Volume Provided 2724 cf (1362 cf Each)
 Trap Size 32" Nos
 Bot. Elev. 32'4.5"
 Top 44'17"
 Bot. Elev. 363.0
 Top Elev. 372.0
 Crest Elev. 371.0



CONSTRUCTION SEQUENCE

- OBTAIN GRADING PERMIT
- INSTALL S.C.E. AND CLEAR PERIMETER FOR INSTALLATION OF EARTH DIKE. COMPLETE THIS WORK WITHOUT INTERRUPTIONS (2 DAYS). INSTALL SEDIMENT TRAPS
- BLOCK LOW STAGE ORIFICE IN EX. POND AND CONTINUE SITE CLEARING.
- ROUGH GRADE SITE. INSTALL STORM DRAINS; CONSTRUCT INLETS AND INSTALL INLET PROTECTIVE STONE.
- CONTACT MISS UTILITY AND ALL SMALL UTILITIES. CONSTRUCT BUILDINGS AND PAVE AREAS TO BE PAVED (6 MONTHS)
- FINE GRADE AND PERMANENTLY STABILIZE SITE (5 DAYS). CLEAN OUT EXIST. POND AND REMOVE BLOCKING FROM LOW STAGE ORIFICE.
- REMOVE ALL SEDIMENT CONTROL MEASURES WITH THE PERMISSION OF SEDIMENT CONTROL INSPECTOR.

APPROVED
 DIVISION OF LAND DEVELOPMENT &
 ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE 11-18-86

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEM
 HOWARD COUNTY HEALTH DEPARTMENT
 DATE 12-11-86

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 PLANNING DIRECTOR
 DATE 12-15-86

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DATE 12-1-86

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS
 U.S. SOIL CONSERVATION SERVICE
 DATE 12-1-86

THIS DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT
 DATE 12/1/86

DEVELOPERS CERTIFICATE
 I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

DATE 7/14/86

ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

DATE 7/14/86

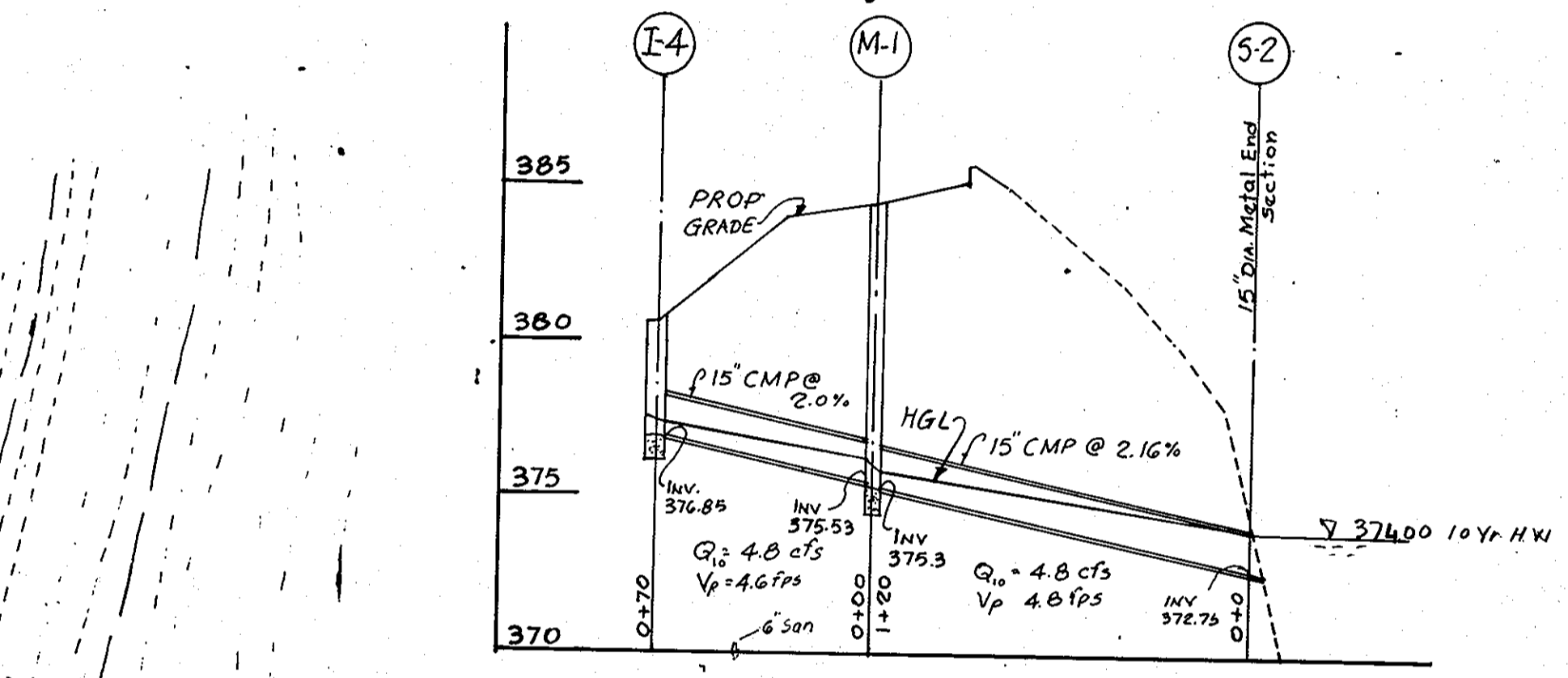
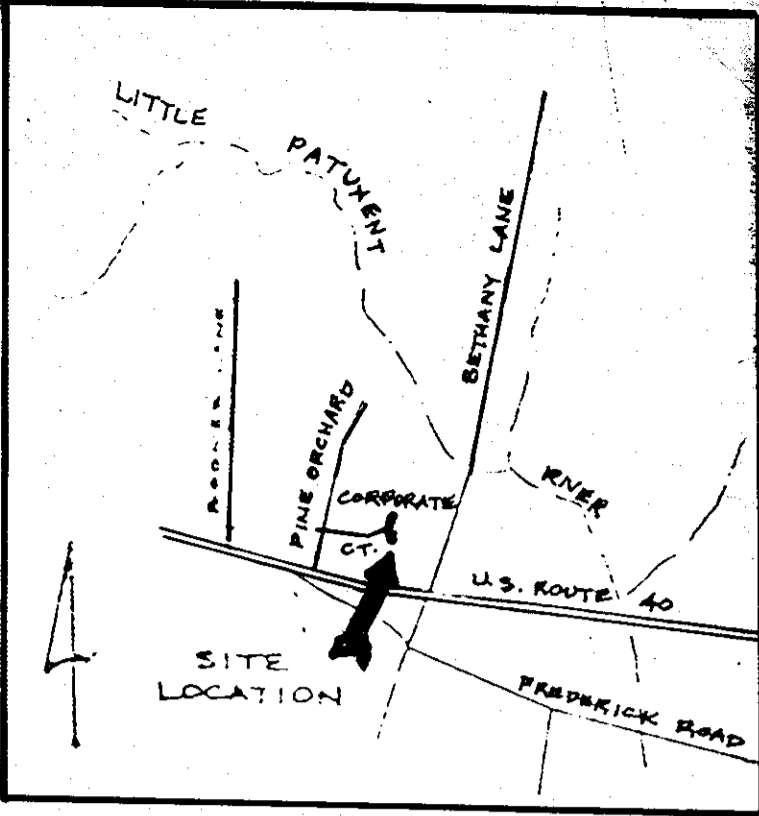
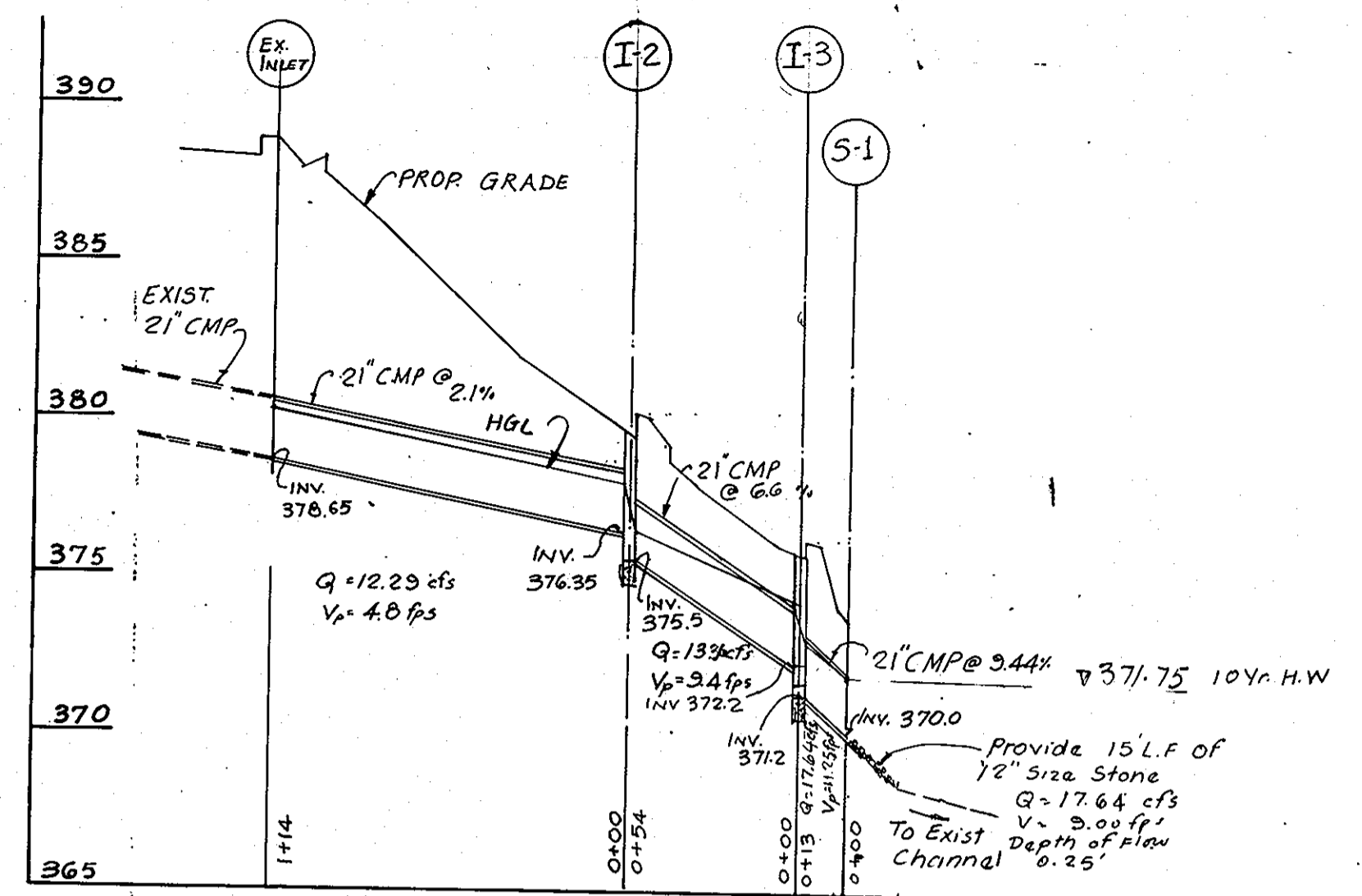
TITLE **SEDIMENT CONTROL PLAN & DETAIL**
 PROJECT **PINE ORCHARD PARK-SECTION 2-PARCEL O-1**
 LOCATION **2ND ELECTION DISTRICT TAX MAP 24 HOWARD COUNTY, MD.**
 DATE **AUGUST 1986** SCALE **1\"/>**

INDAM ENGINEERS, INC.
 CONSULTING ENGINEERS
 11 JOLE COURT
 RANDALLSTOWN, MD. 21133

SDP-87-45

LEGEND

- NEW PAVING AND CURBING
- EXISTING PAVING, CURBING TO BE REMOVED



STRUCTURE SCHEDULE

NO.	TYPE	INV. IN	INV. OUT	TOPELE	REMARKS
I-1	YARD INLET	-	-	382.50	SD-4.14
I-2	TYPE 'S'	376.35	375.50	379.60	SD-4.22
I-3	TYPE 'S' DBL COMB	372.20	371.20	375.70	SD-4.34
I-4	"	-	376.85	380.60	"
M-1	STD MANHOLE	375.53	375.30	384.70	G 5.01
5-1	TYPE A HEADWALL	-	370.00	373.50	SD-5.11
5-2	STD METAL END SECT	-	372.75	-	SD-5.61

CERTIFICATION BY THE DEVELOPER

I CERTIFY THAT ALL DEVELOPMENT AND OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS DEEMED NECESSARY.

SIGNATURE OF DEVELOPER: LEONARD S. VAUGHAN
DATE: _____

CERTIFICATION BY THE ENGINEER

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SIGNATURE OF ENGINEER: MICHAEL J. WALKLEY
DATE: 6-27-93



APPROVED
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE: 11-18-86

DEVELOPER'S CERTIFICATE

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SIGNATURE OF DEVELOPER: _____
DATE: 7/14/86

ENGINEER'S CERTIFICATE

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

SIGNATURE OF ENGINEER: Sarah Munn
DATE: 8/21/86

SEAL/SIGNATURE FOR REVISION AS NOTED.
REVISION 6-21-93 PARKING LOT REMOVAL

TITLE: DRAINAGE AREA MAP & STORM DRAIN PROFILES
PROJECT: PINE ORCHARD PARK - SECTION 2 - PARCEL 'O-1'
LOCATION: 2ND ELECTION DISTRICT TAX MAP 24 HOWARD COUNTY, MD
DATE: AUGUST 1986 SCALE: 1"=30'
DRAWING NO. 3 OF 45

INDAM ENGINEERS, INC.
CONSULTING ENGINEERS
11 JOLIE COURT
RANDALSTOWN, MD. 21133

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEM
HOWARD COUNTY HEALTH DEPARTMENT
DATE: 11-11-86

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
PLANNING DIRECTOR: _____
DATE: 12-15-86
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION: _____
DATE: 12-28-86

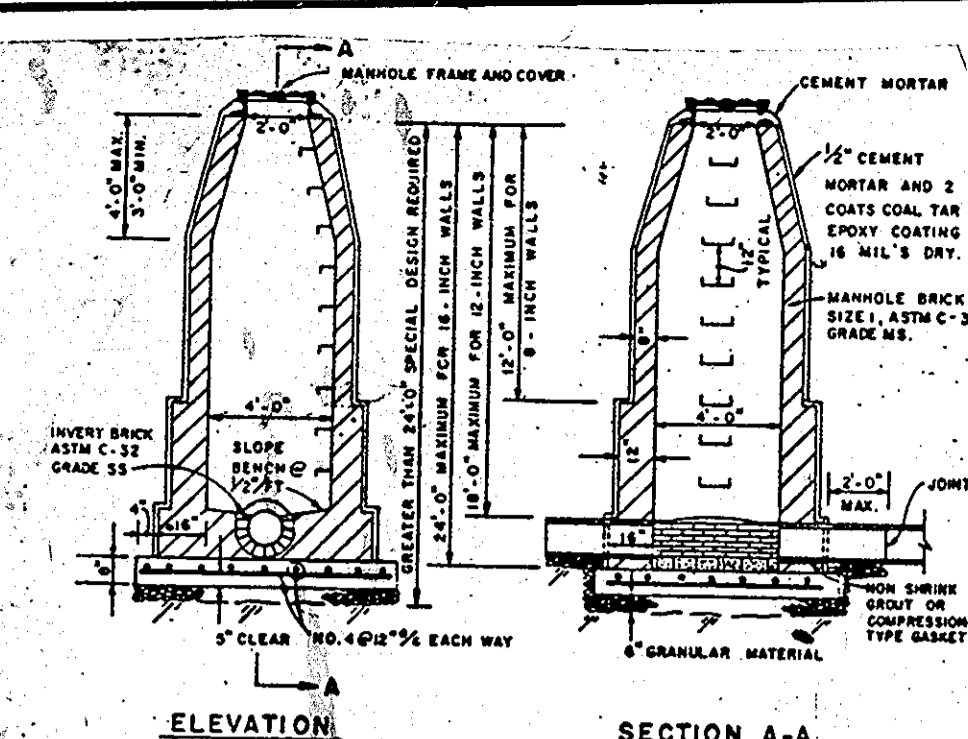
APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DIRECTOR: _____
DATE: 12-1-86
CHIEF BUREAU OF ENGINEERING: _____
DATE: 12-2-86

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

U.S. SOIL CONSERVATION SERVICE
DATE: 12-1-86

THIS DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT

HOWARD CO. SOIL CONSERVATION DISTRICT
DATE: 12-1-86

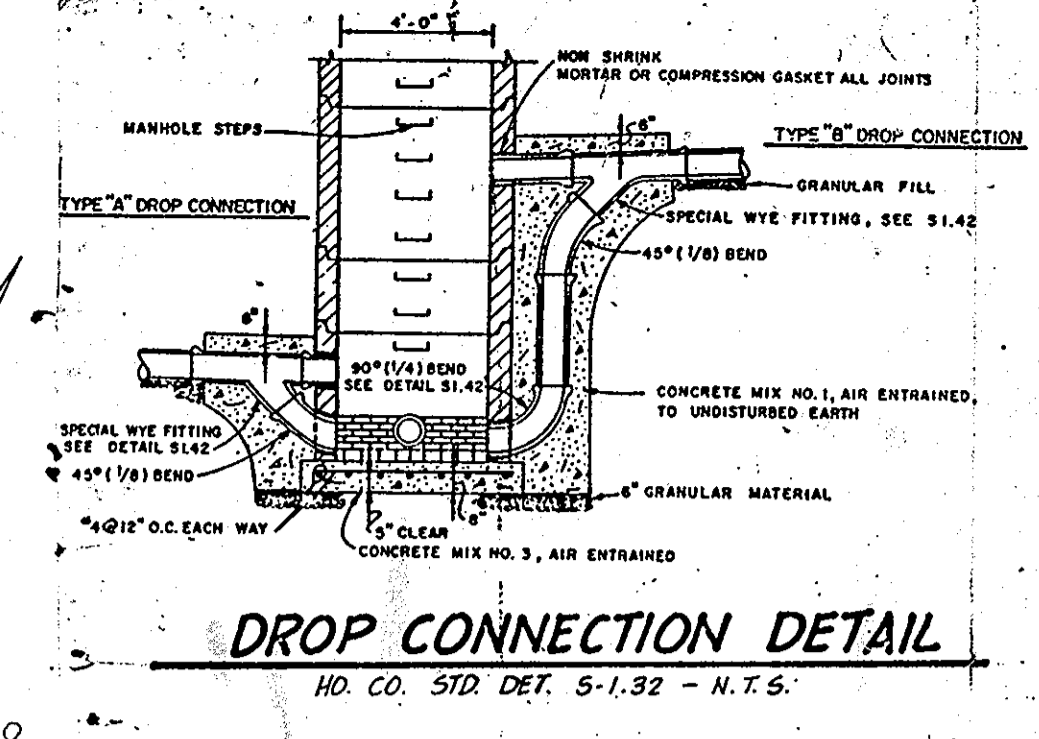


GENERAL NOTES APPLICABLE TO ALL BRICK MANHOLES

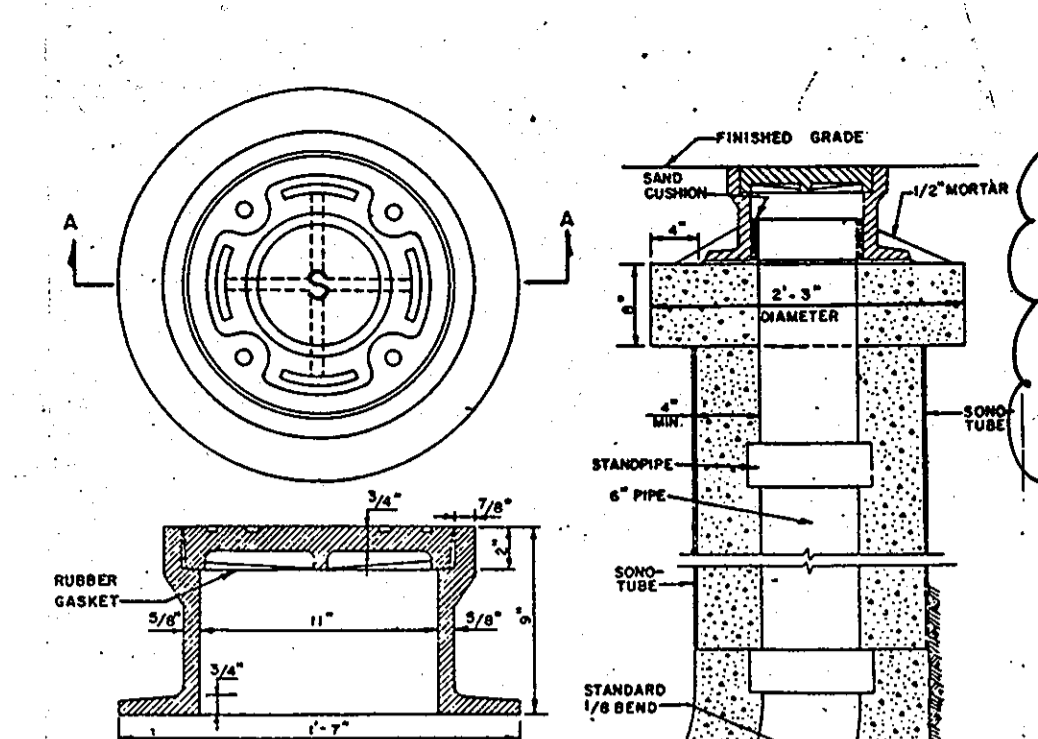
- MANHOLE BASE SHALL BE 6-INCH GRAY IN PLACE CONCRETE 8" x 8" x 8" UNLESS OTHERWISE NOTED. SLABS SHALL BE 4" MIN. THICK.
- MANHOLE WALL SHALL BE BRICK ON 4-INCH GRANULAR MATERIAL ON FIRM SUBGRADE.
- EXCAVATION BELOW PAVED SHALL BE BACKFILLED WITH GRANULAR MATERIAL 1/2 OF WAY TO TOP OF PIPE.
- CONNECTION BETWEEN MANHOLE WALL AND SEWER SHALL BE NON-SHINKING GROUT OR RUBBER GASKET CONNECTION TYPE JOINT.
- MANHOLE STEPS SHALL BE AS SPECIFIED ON DETAIL 5142.
- MANHOLE COVER SHALL BE AS SHOWN ON DETAIL 5142.
- PIPE JOINTS SHALL BE PROVIDED WITH 2" WIPER FROM OUTSIDE OF MANHOLE WALL.
- MANHOLE CHANNELS SHALL BE FORMED TO PROVIDE A SMOOTH TRANSITION BETWEEN PIPES. EXCEED HEIGHT TO FULL HEIGHT OF PIPE OPENING, AND FORM USING GRADE 80 REINFORCING, ASTM A-36, SIZE NO. 1.
- MANHOLE WALL THICKNESS SHALL BE:

DEPTH BELOW MANHOLE COVER TO 12'-0"	WALL THICKNESS
UP TO 12'-0"	12"
DEEPER THAN 12'-0"	SPECIAL DESIGN

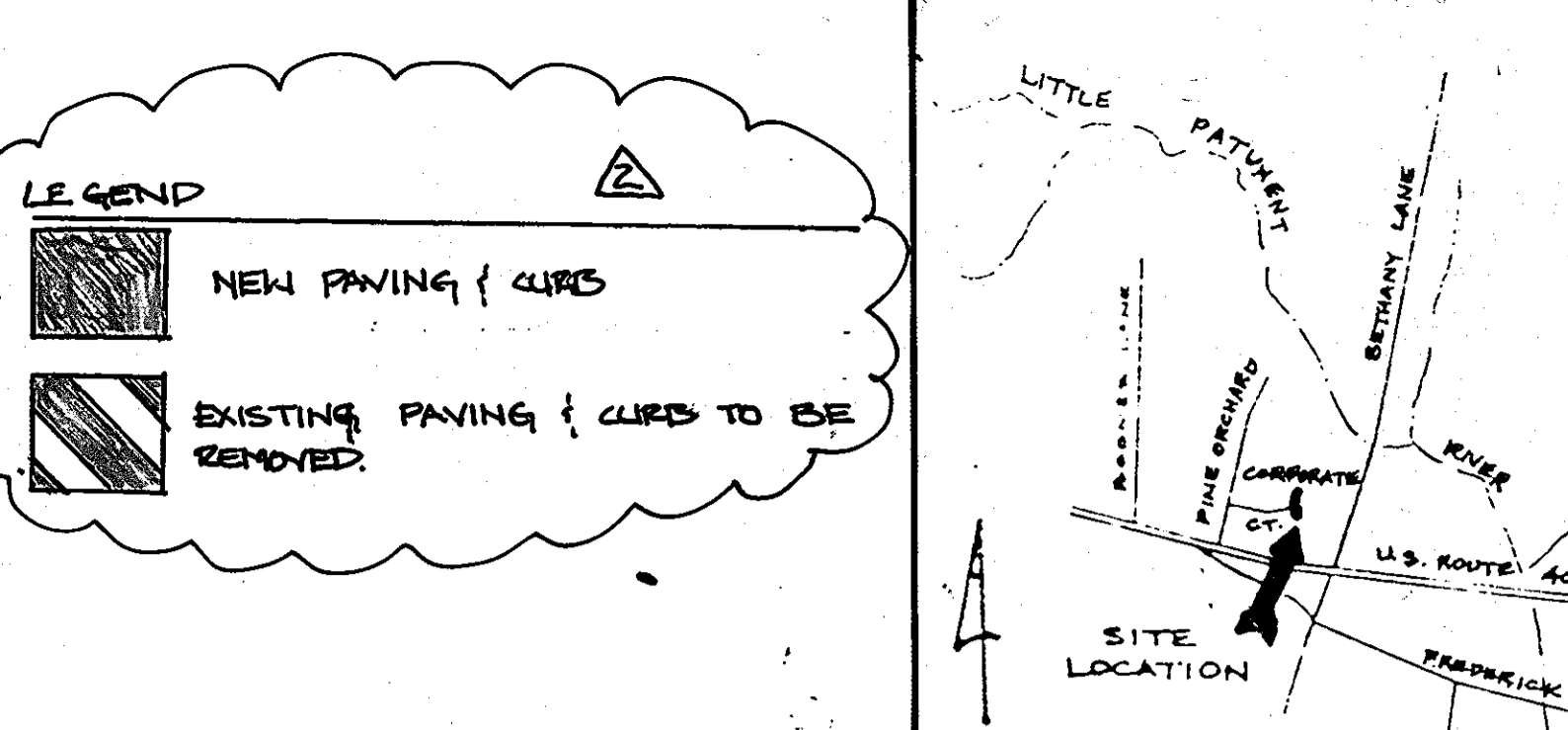
STANDARD SANITARY SEWER MANHOLE
HO. CO. STD. DET. 65.01 - N.T.S.



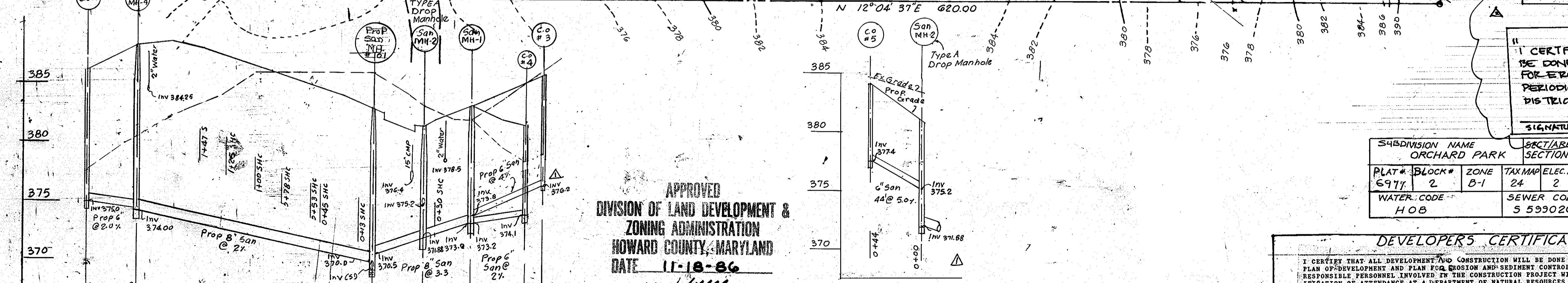
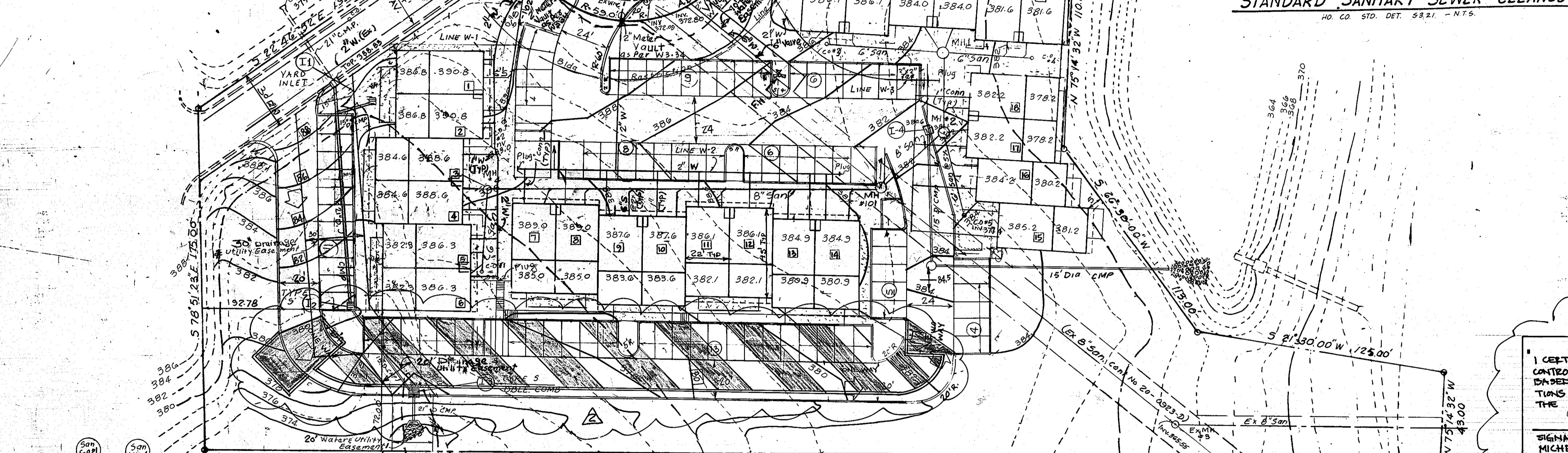
DROP CONNECTION DETAIL
HO. CO. STD. DET. 51-32 - N.T.S.



**SECTION A-A
MANHOLE FRAME & COVER**
WT. COVER - 39 LBS.
WT. FRAME - 129 LBS.



VICINITY MAP
Scale: 1" = 200'



SEWER PROFILE Scale Hor 1"=50' Vert 1"=5'

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEM
HOWARD COUNTY HEALTH DEPARTMENT
DATE: 12-11-86

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
DATE: 12-15-86

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DATE: 12-8-86

APPROVED FOR SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS
HOWARD COUNTY SOIL CONSERVATION DISTRICT
DATE: 12-1-86

DEVELOPER'S CERTIFICATE
I CERTIFY THAT ALL DEVELOPMENT AND OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

ENGINEER'S CERTIFICATE
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard County Soil Conservation District.

WATER & SEWER CONSTRUCTION NOTES

- LOCATION OF MAINS SHOWN HEREON IS APPROXIMATE. THE CONTRACTOR SHALL VERIFY EXACT LOCATION AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO EXISTING MAINS AND SERVICES WITHOUT INTERRUPTION. ANY DAMAGE INCURRED SHALL BE REPAIRED IMMEDIATELY AT CONTRACTOR'S EXPENSE.
- ALL PIPES ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- CLEAR ALL UTILITIES BY A MIN OF 6" AND ALL POLES BY A MIN OF 2'-0".
- FOR DETAILS NOT SHOWN HERE USE HOWARD COUNTY STANDARD DETAILS FOUND IN THE HOWARD COUNTY DESIGN MANUAL VOL IV AND FOR MATERIALS AND CONSTRUCTION USE THE HOWARD COUNTY STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST ONE WEEK BEFORE STARTING WORK SHOWN HEREON:
 - "MISS UTILITY" (599-0100)
 - BALTIMORE GAS AND ELECTRIC CO. (234-2366)
 - UNDERGROUND ELECTRIC DISTRIBUTION (685-0123)
 - UNDERGROUND GAS DISTRIBUTION (685-0123)
 - ENGINEERING DAMAGE CONTROL (234-5621)
 - C&P TELEPHONE CO. (725-9976)
 - HOWARD COUNTY BUREAU OF UTILITIES (992-2366)
- CONTRACTOR SHALL REMOVE TREE STUMPS AND ROOTS FROM ALONG THE LINE OF EXCAVATION.
- CONTRACTOR SHALL PLACE "MEN WORKING" & "WARNING" SIGNS AS REQUIRED.
- ALL WATER MAINS SHALL BE C.I.P. OR D.I.P. UNLESS OTHERWISE NOTED.
- ALL WATER MAINS SHALL HAVE AT LEAST 3'-0" COVER.
- VALVES ADJACENT TO TEE'S SHALL BE STRAPPED TO TEE'S.
- BLOCK ALL FITTINGS WITH CONCRETE.
- CONTRACTOR SHALL NOT OPERATE ANY WATER MAIN VALVES ON THE EXISTING SYSTEM.
- ALL SEWER MAINS SHALL BE C.S.F.P., 7 C.F.P., A.C.P. CLASS 2400 OR P.V.C. UNLESS NOTED.
- CONTRACTOR SHALL PROVIDE A LOOSE IN ALL SEWER MAINS WITHIN 2'-0" OF EXTERIOR MANHOLE WALL.
- ALL MANHOLES SHALL HAVE A 4'-0" INSIDE DIAMETER AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STD. DETAILS.

CERTIFICATION BY THE ENGINEER

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

SIGNATURE OF ENGINEER: MICHAEL J. WALKLEY, P.E.
DATE: 6-22-93

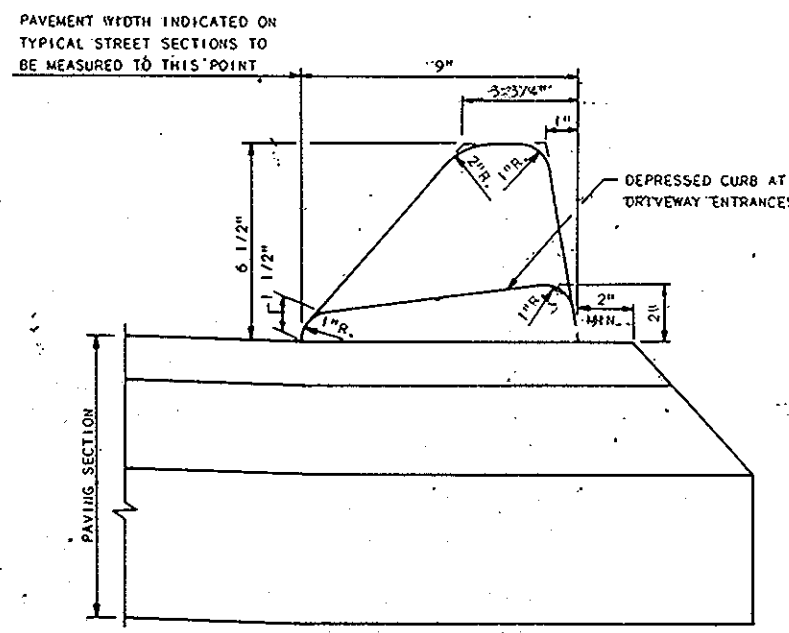
CERTIFICATION BY THE DEVELOPER

I CERTIFY THAT ALL DEVELOPMENT AND OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS DEEMED NECESSARY.

SIGNATURE OF DEVELOPER: LEONARD S. VAUGHAN.
DATE:

PLAT #	BLOCK #	ZONE	TAX MAP ELEC. DIST.	CENSUS TR.
6977	2	B-1	24	2
WATER CODE		SEWER CODE		
HOB		5 5990200		

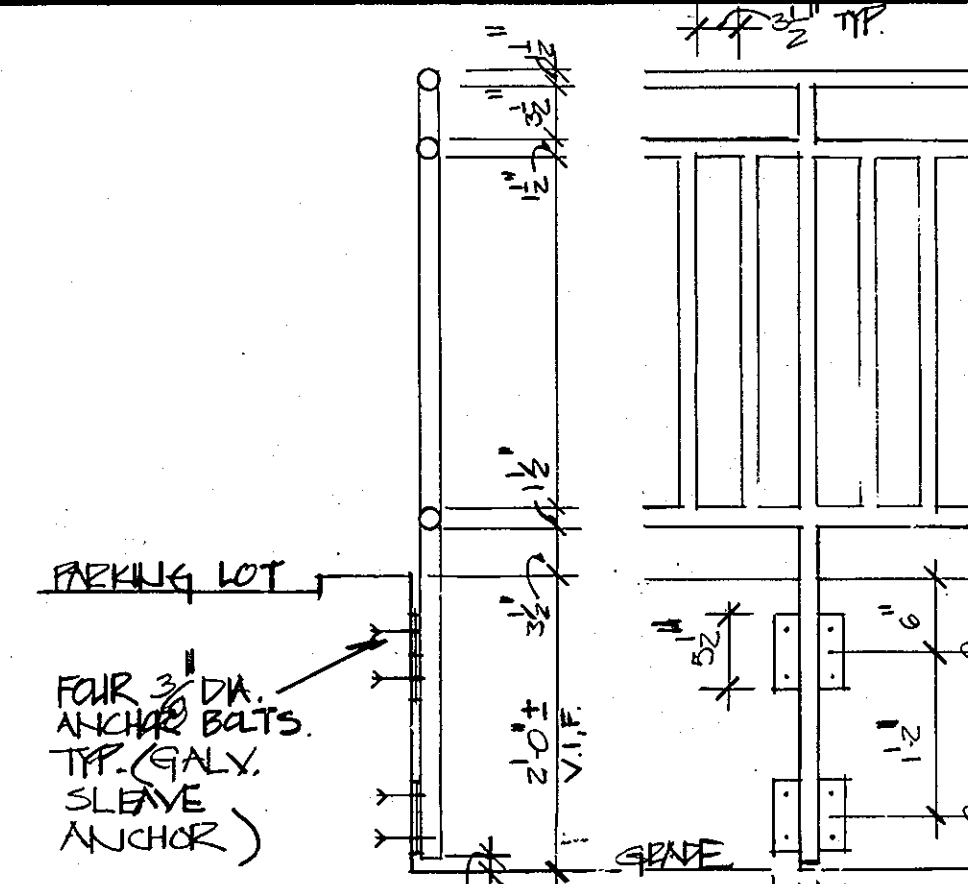
INDAM ENGINEERS, INC.
CONSULTING ENGINEERS
11 JOLIE COURT
RANDALLSTOWN, MD. 21193
SDP-87-45



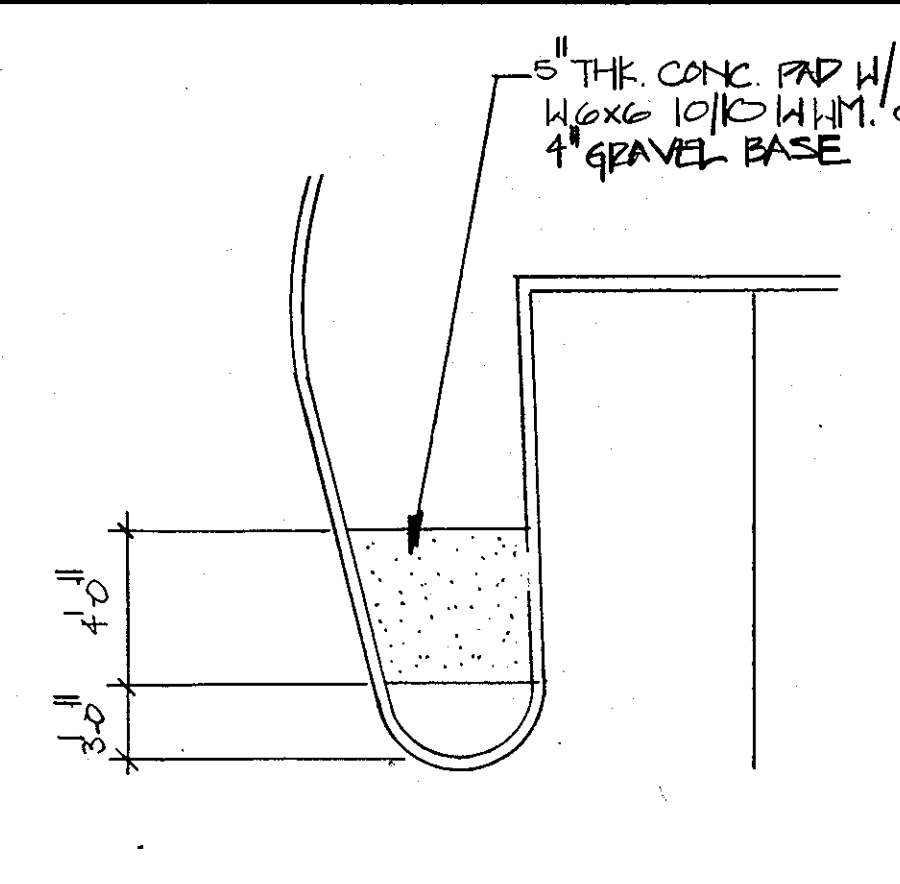
1
5 TYPICAL CURB NOT TO SCALE



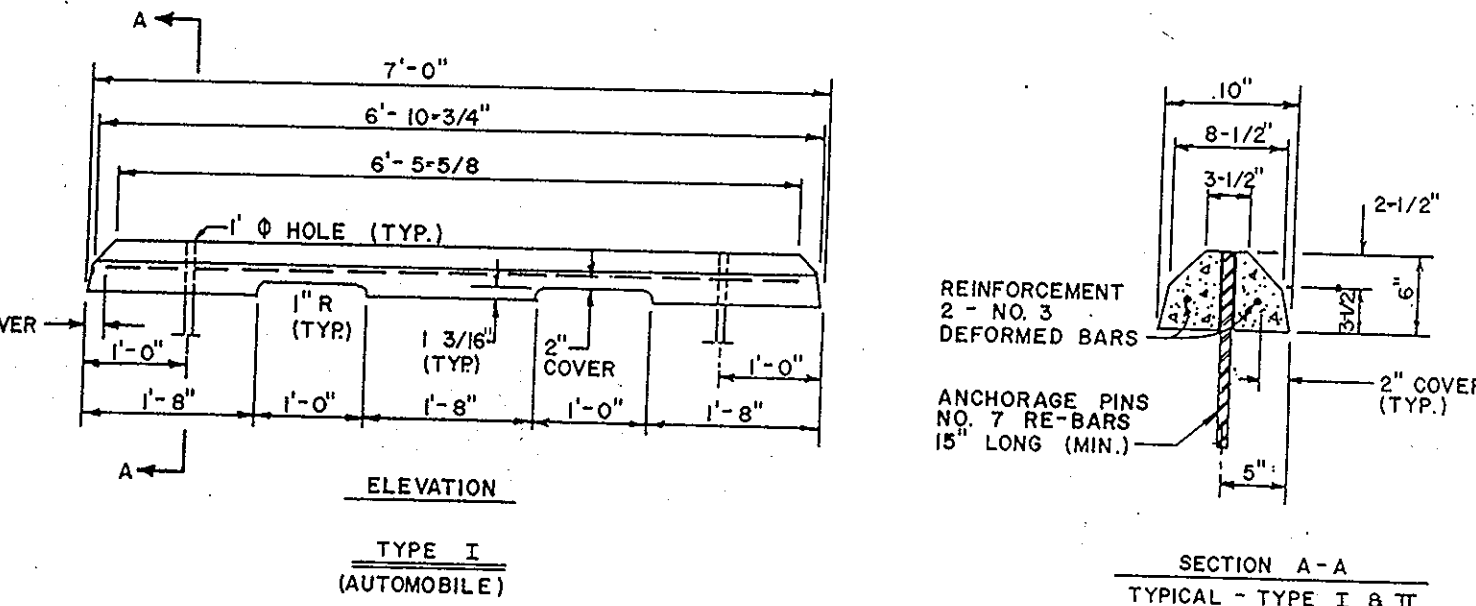
5 FINE SIGN DETAIL NOT TO SCALE



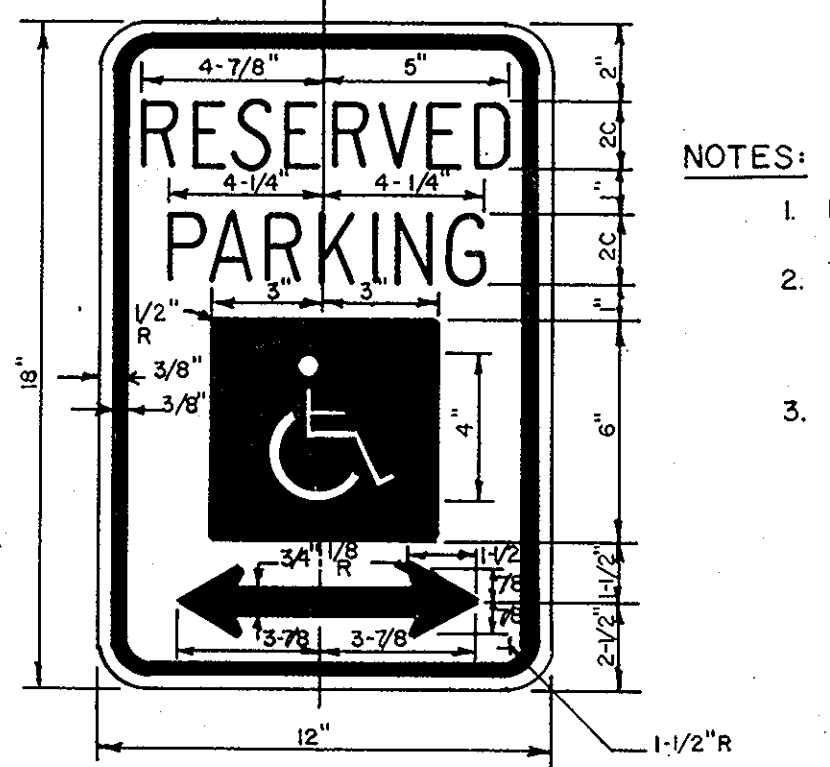
9
5 GUARDRAIL DETAIL @ WALL NOT TO SCALE



12
5 MAILBOX PAD DETAIL N.T.S.

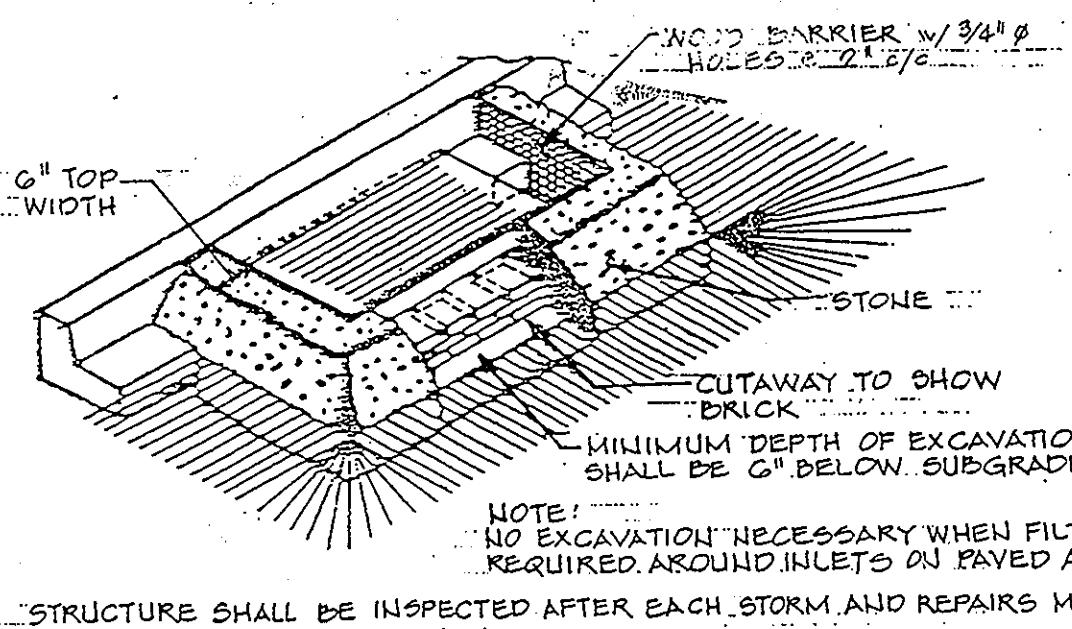


2 PRECAST CONCRETE WHEEL STOP SHA NO. 725.01 NOT TO SCALE

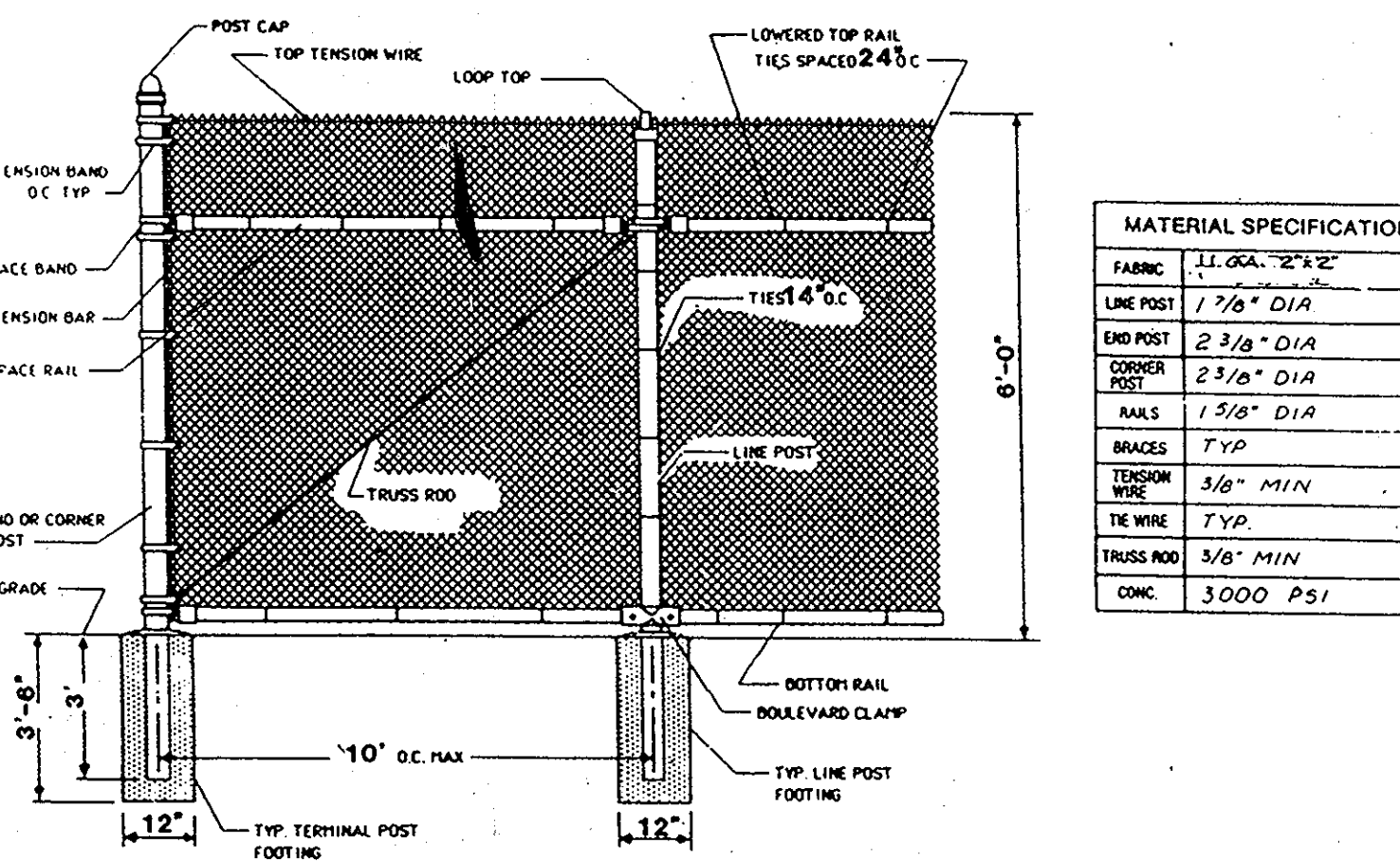


6 HANDICAP SIGN DETAIL NOT TO SCALE

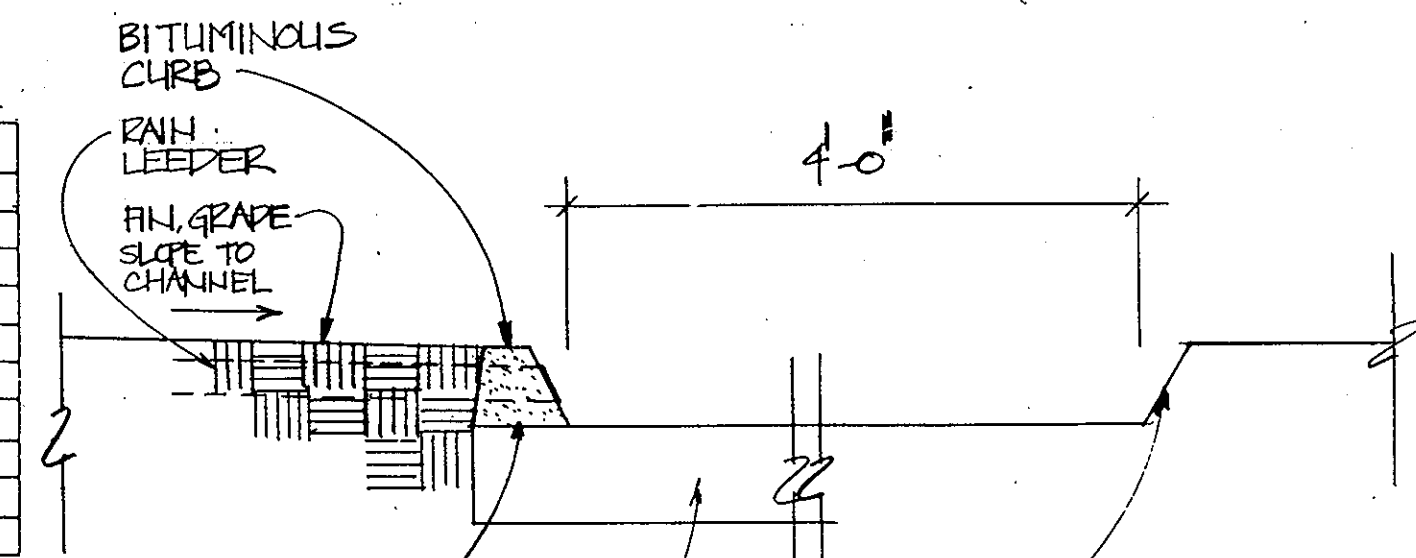
- NOTES:
- PLACE ONE HANDICAP SIGN PER HANDICAP PARKING SPACE.
 - HANDICAP PARKING SIGNS SHALL BE MOUNTED WITH THE BOTTOM SIGN EDGE AT LEAST SEVEN FEET ABOVE FINISHED GRADE.
 - ALL SIGNS SHALL BE ALUMINUM PLATED.



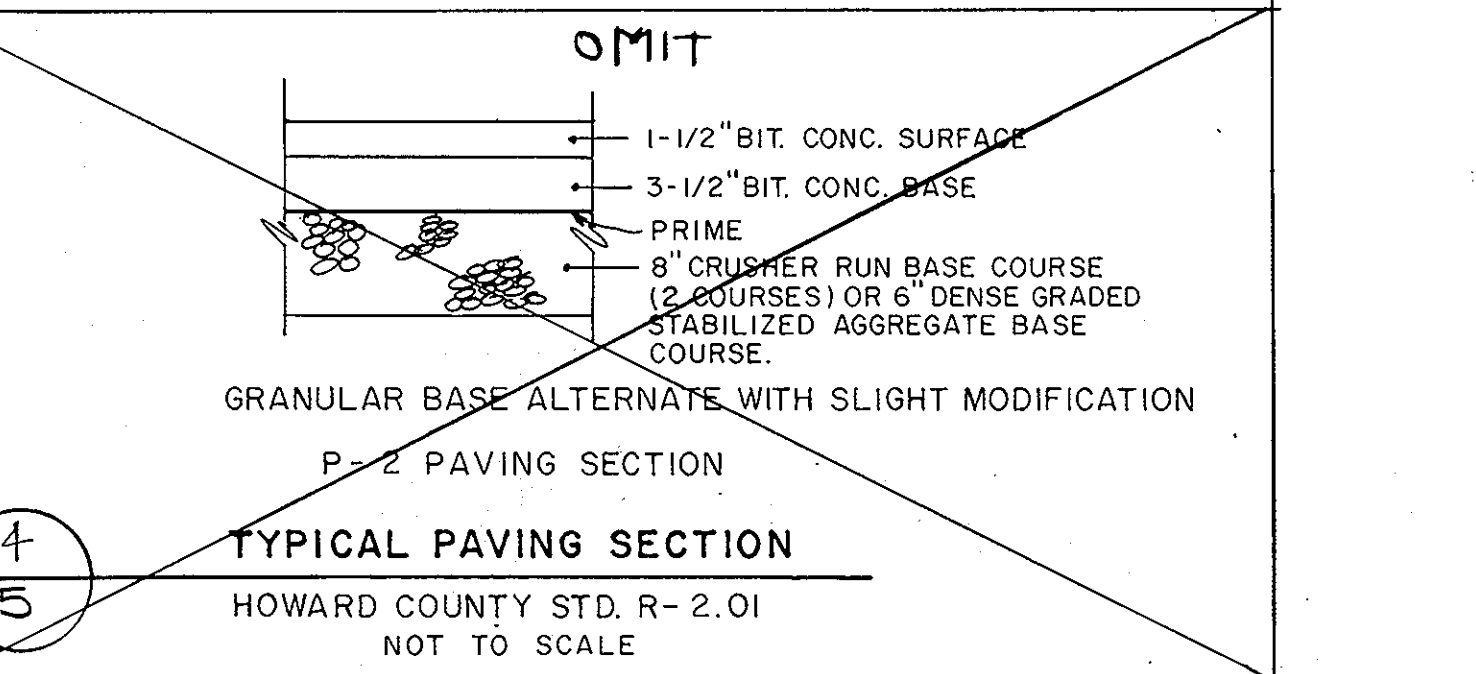
10
5 INLET PROTECTION DETAIL NOT TO SCALE



3 6' CHAIN LINK FENCE DETAIL NOT TO SCALE



7 SECTION @ DRAINAGE TRENCH NOT TO SCALE



4 TYPICAL PAVING SECTION HOWARD COUNTY STD. R-2.01 NOT TO SCALE

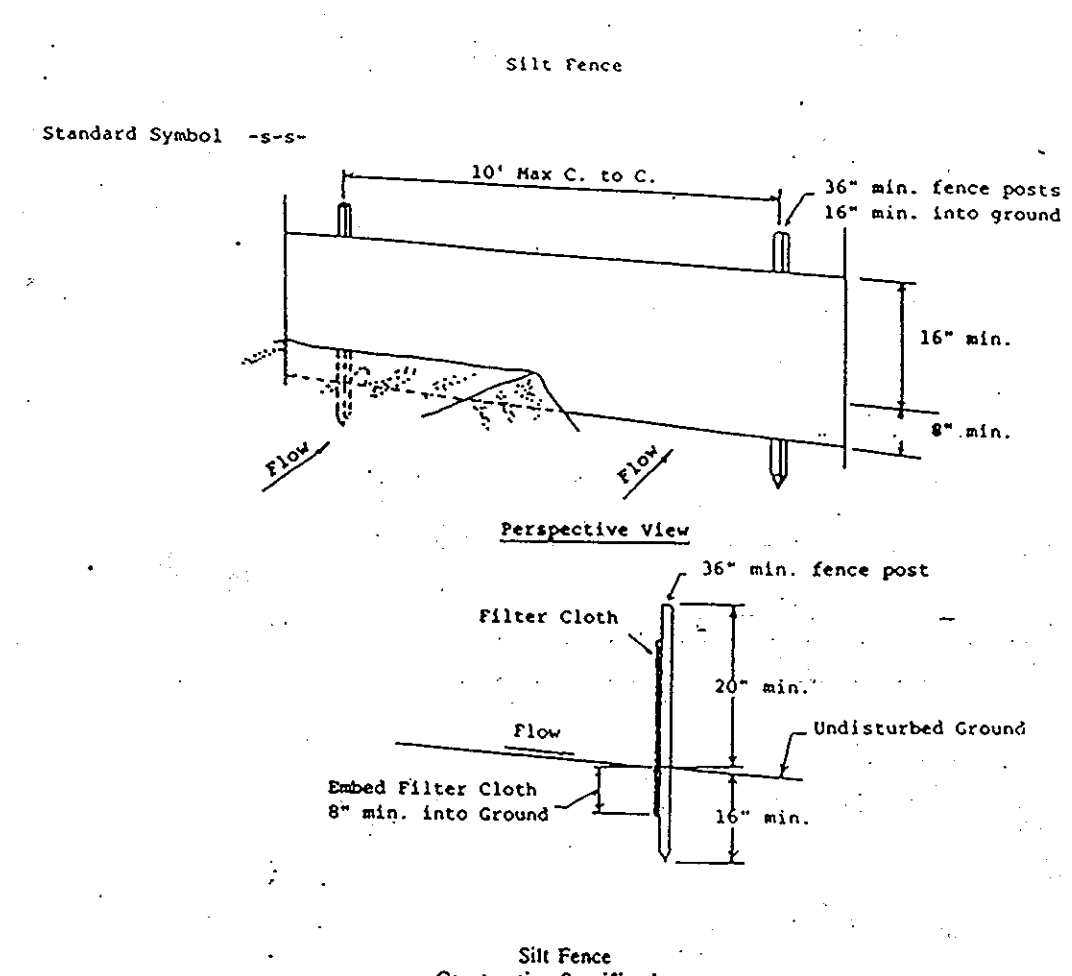
TEMPORARY AND PERMANENT FEEDING NOTES

TEMPORARY SEEDING NOTES:
 APPLY TO GRADED OR CLEARED AREAS WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED. SEEDING PREPARATION: LOOSEN UPPER THREE INCHES OF SO. BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING. IF NOT PREVIOUSLY LOOSENED.
 SOIL AMENDMENTS: APPLY 60 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ. FT.)
 SEEDING: FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 15 THRU NOVEMBER 15, SEED WITH 2 1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS/100 SQ. FT.) FOR THE PERIOD OF MAY 1 THRU AUGUST 14, SEED WITH 3 LBS PER ACRE OF WEEPING LOVEGRASS (0.7 LBS/1000 SQ. FT.) FOR THE PERIOD OF NOVEMBER 15 THRU FEBRUARY 28. PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE S30.
 MULCHING: APPLY 1/2 TO 1 TONS PER ACRE (70 TO 90 LBS/1000 SQ. FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLYING USING MULCH ANCHORING TOOL OR 210 GALLONS PER ACRE (5 GAL/1000 SQ. FT.) OF QUALIFIED ASPHALT FLAT AREAS, ON SLOPES 6 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ. FT.) FOR ANCHORING. REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.
 PERMANENT SEEDING NOTES: APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED. SEEDING PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING. IF NOT PREVIOUSLY LOOSENED.
 SOIL AMENDMENTS: IN LIEU OF SOIL TESTS RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:
 1. PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ. FT.) AND 400 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISC INTO 2 INCHES OF SOIL AT THE TIME OF SEEDING. APPLY 400 LB. PER ACRE 30-0-0 UREAFORM FERTILIZER (9 LBS/1000 SQ. FT.).
 2. ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL.
 SEEDING: FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS PER ACRE (1.4 LBS/1000 SQ. FT.) OF KENTUCKY 31 TALL FESCUE FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS KENTUCKY 31 TALL FESCUE PER ACRE (1.4 LBS/1000 SQ. FT.) AT THE END OF JULY. SEED WITH 3 LBS PER ACRE OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 15 THRU FEBRUARY 28, PROTECT SITE BY: OPTION (1) 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) USE S30. OPTION (3) SEED WITH 60 LBS/ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.
 MULCHING: APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ. FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 210 GALLONS PER ACRE (5 GAL/1000 SQ. FT.) OF QUALIFIED ASPHALT ON FLAT AREAS, ON SLOPES 6 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ. FT.) FOR ANCHORING.
 MAINTENANCE - INSPECT ALL SEEDED AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE SYSTEMS, STORM DRAINAGE SYSTEMS AND PUBLIC WORKS.
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
 DIRECTOR: [Signature] DATE: 5-15-93
 CHIEF, BUREAU OF ENGINEERING: [Signature] DATE: 5-18-93
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
 DIRECTOR: [Signature] DATE: 5/21/93
 CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT: [Signature] DATE: 5/18/93
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.
 COUNTY HEALTH OFFICER: [Signature] DATE: 5-15-93

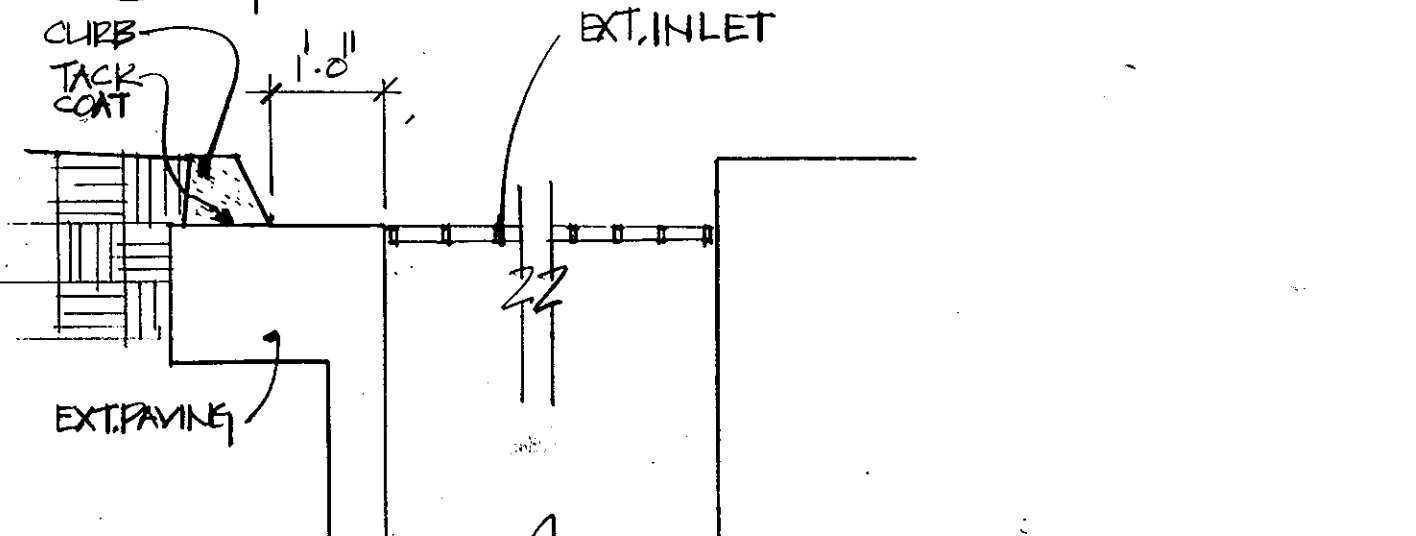
SEDIMENT AND EROSION CONTROL NOTES

- A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION. (992-2437)
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS TO THIS PLAN AND, AS TO BE IN CONFORMANCE WITH THE MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- FOLLOWING THE INITIAL SOIL DISTURBANCE OR "DISTURBANCE", PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETE WITHIN (7) SEVEN (7) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3% REPRESENT TO 1 VERTICAL (1 HORIZONTAL) AND 14 FEET AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS (SEC. 21), TEMPORARY SEEDING (SEC. 30), AND MULCHING (SEC. 32). TEMPORARY STABILIZATION WITH MULCH ALONG WITH ESTABLISHMENT OF DIVERSIONS.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED IF DEEMED NECESSARY BY THE HOWARD COUNTY DEPT. OF PUBLIC WORKS SEDIMENT CONTROL INSPECTOR.
- REFER TO 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR THE SOIL EROSION AND SEDIMENT CONTROL FOR THE STANDARD DETAILS AND DETAILED SPECIFICATIONS OF EACH PRACTICE SPECIFIED HEREIN.
- WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, MINOR FIELD ADJUSTMENTS CAN BE MADE TO INSURE THE CONTROL OF ANY SEDIMENT CHANGES IN SEDIMENT CONTROL PRACTICES REQUIRE PRIOR APPROVAL OF THE SEDIMENT CONTROL INSPECTOR AND THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.
- ANY CHANGE TO THE GRADING PROPOSED ON THIS PLAN REQUIRES RE-SUBMISSION TO HOWARD COUNTY SOIL CONSERVATION DISTRICT FOR APPROVAL.
- DUST CONTROL WILL BE PROVIDED FOR ALL DISTURBED AREAS. REFER TO 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, PP 62.01 OR 62.02 FOR ACCEPTABLE METHODS AND SPECIFICATIONS FOR DUST CONTROL.
- ANY VARIATION FROM THE SEQUENCE OF OPERATIONS STATED ON THIS PLAN REQUIRES THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, AND THE HOWARD COUNTY SOIL CONSERVATION DISTRICT PRIOR TO THE INITIATION OF THE CHANGE.
- ANY DISTURBED EARTH LEFT IDLE FOR PERIODS EXCEEDING 30 DAYS SHALL BE STABILIZED ACCORDING TO TEMPORARY STABILIZATION SPECIFICATIONS.
- AT THE END OF EACH WORKING DAY ALL SEDIMENT CONTROL PRACTICES WILL BE INSPECTED AND LEFT IN OPERATIONAL CONDITION.
- THE SEDIMENT CONTROL APPROVALS ON THIS PLAN APPLY ONLY TO AREAS AND PRACTICES IDENTIFIED AS PROPOSED WORK.
- THE APPROVAL OF THE PLAN FOR SEDIMENT AND EROSION CONTROL DOES NOT RELIEVE THE DEVELOPER/CONSULTANT FROM COMPLYING WITH ANY FEDERAL/STATE/COUNTY REQUIREMENTS APPLICABLE TO ENVIRONMENTAL ISSUES.
- AT THIS TIME, WE BELIEVE THAT SECTIONS 4.4 OF 401 OF THE CLEAN WATER ACT DO NOT EFFECT OUR SITE.
- THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS, AND/OR RIGHTS-OF-WAYS THAT MAY BE REQUIRED FOR THE SEDIMENT AND EROSION CONTROL PRACTICES, STORMWATER MANAGEMENT PRACTICES AND THE DISCHARGE OF STORMWATER ONTO OR ACROSS ADJACENT OR DOWNSTREAM PROPERTIES INCLUDED IN THIS PLAN. HE IS ALSO RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR RIGHTS-OF-WAYS THAT MAY BE REQUIRED FOR DRAINAGE AND/OR WORK ON ADJACENT PROPERTIES INCLUDED IN THIS PLAN.

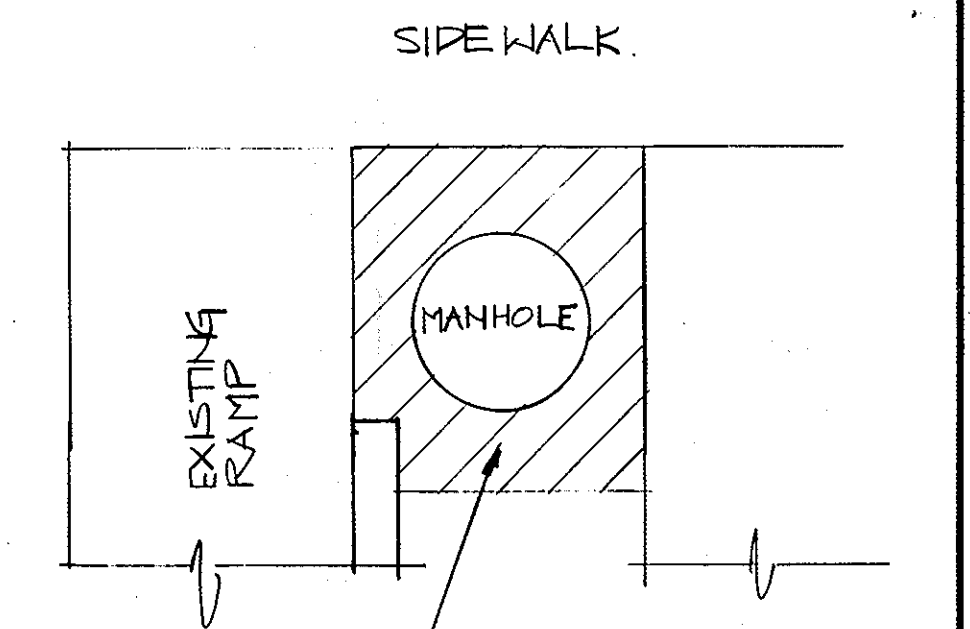


11 SILT FENCE DETAIL NOT TO SCALE

- Silt fences must be embedded, or keyed in, at least 8 inches into the ground. Laying the lower edge of the filter fabric on the ground and covering it with soil is not an acceptable method of keying in. The key-in trench can be excavated by hand or by ditching equipment. After the silt fence is constructed, the trench must be backfilled and compacted.
- Fence posts must be:
 - at least 36 inches long, and
 - have a cross-sectional area of at least 3 square inches if wooden, or
 - weight at least 1 pound per linear foot if steel T or U type, and
 - on 10 foot maximum centers, and
 - driven at least 16 inches into the ground.
- The filter fabric must be fastened securely to the fence posts.
- When two sections of filter fabric are joined together, the joint must occur at a fence post. The ends of the filter fabric should be overlapped by at least 6 inches, folded, and fastened to the fence post so that no gaps in the fence occur. Manufacturer's recommendations for joining fabric sections may be followed as long as the resulting joint does not create gaps in the silt fence.
- Silt fence must be located along the contour.
- Silt fences must be inspected periodically and after each rain event and maintenance performed as necessary.



8 SECTION @ INLET NOT TO SCALE



13
5 DETAIL @ MANHOLE N.T.S.

OWNER/DEVELOPER
 HOWARD COUNTY HOUSING COMMISSION
 HICKORY RIDGE BUILDING
 10650 HICKORY RIDGE ROAD, SUITE 200
 COLUMBIA, MARYLAND 21044

ADDRESS CHART		
BUILDING	STREET	ADDRESS

SUBDIVISION NAME	SECTION	PARCEL
ORCHARD PARK	2	0-1
PLAT	BLOCK	TAX ZONE MAP ELEC. DIST. CENSUS TR.
6977	2 B-1	24 2nd 6022

WATER CODE	SEWER CODE
H08	S5990200

RESPONSIBLE PERSONNEL CERTIFICATION
 "I HEREBY CERTIFY THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE FROM A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT."
 SIGNATURE OF DEVELOPER: [Signature] DATE: 4/23/93
 LEONARDO S. VINCIGUERRA

CERTIFICATION BY THE ENGINEER
 "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."
 SIGNATURE OF ENGINEER: [Signature] DATE: 4-23-93
 MICHAEL J. WALKLEY, P.E.

CERTIFICATION BY THE DEVELOPER
 "I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS DEEMED NECESSARY."
 SIGNATURE OF DEVELOPER: [Signature] DATE: 4/23/93
 LEONARDO S. VINCIGUERRA

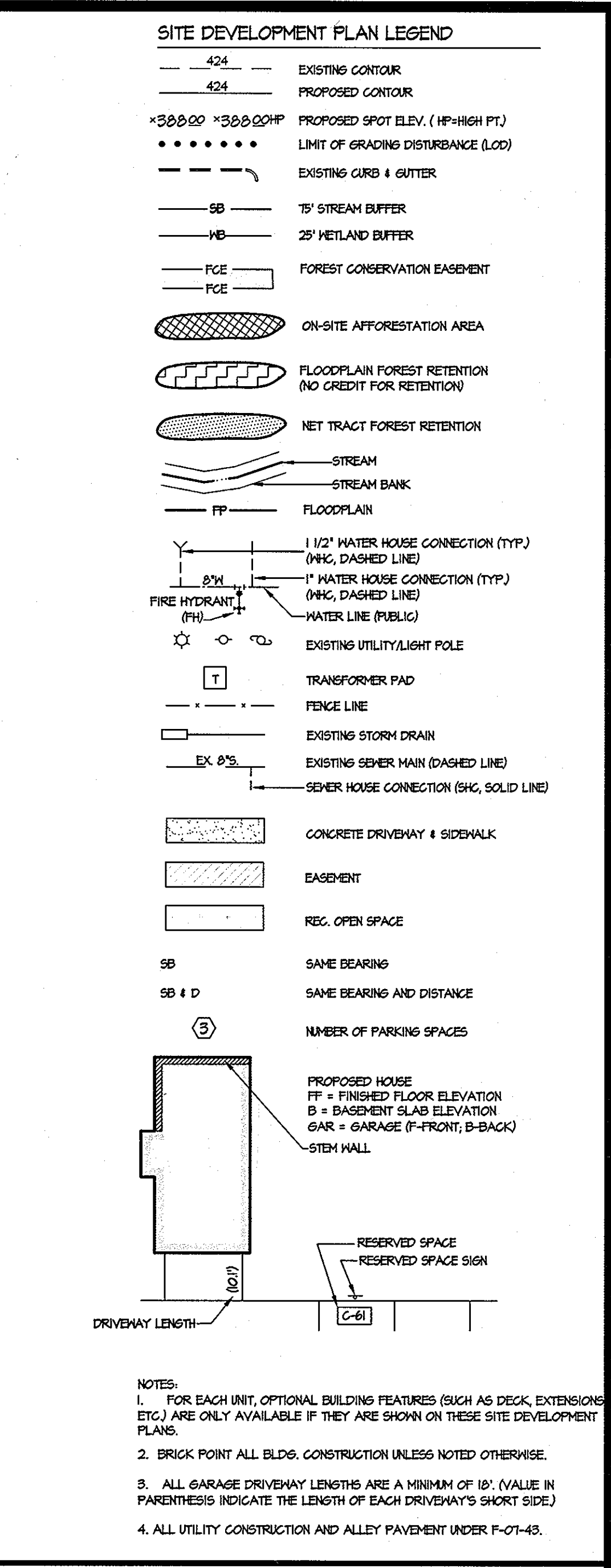
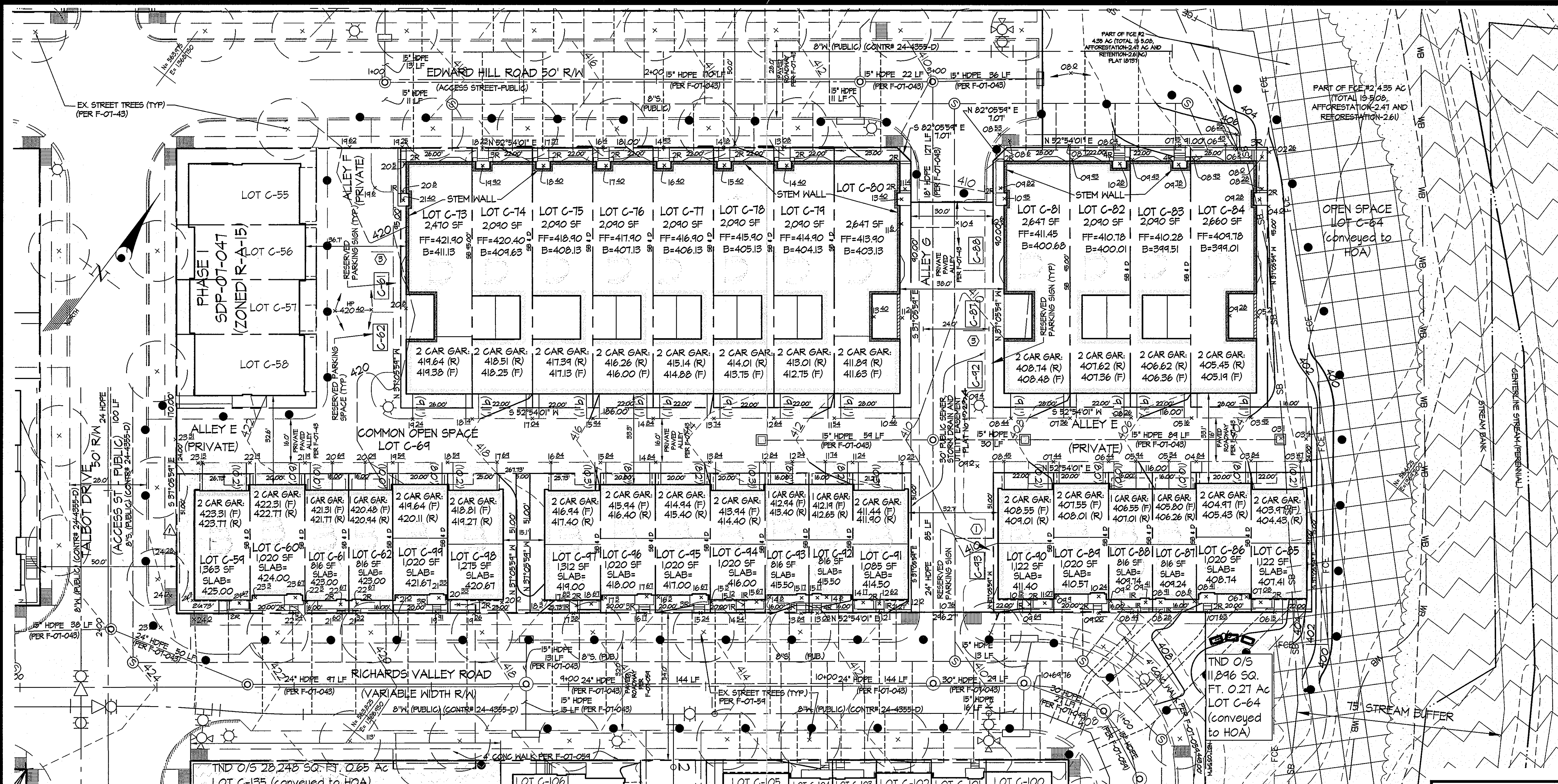
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.
 APPROVED: [Signature] DATE: 5/1/93
 HOWARD COUNTY SOIL CONSERVATION DISTRICT

REVISIONS FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS.
 APPROVED: [Signature] DATE: 5/1/93
 US SOIL CONSERVATION SERVICE

STATE OF MARYLAND
 MICHAEL JULIAN WALKLEY
 No. 15269
 REGISTERED PROFESSIONAL ENGINEER

prepared by
 RBA ENGINEERS ARCHITECTS PLANNERS
 5560 STERRETT PLACE, SUITE 300
 COLUMBIA, MARYLAND 21044
 301 / 730-7950 621-6050

SITE DETAILS ESC
 ALLFA PINES TOWNHOUSES
 SDP-87-45
 HOWARD COUNTY, MARYLAND SHEET 5 OF 5
 SCALE AS SHOWN
 DRAWN GSP CHECKED MJW
 PROJ. NO. M0252 DATE 4/22/93



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12915
 EXPIRATION DATE: 05-26-08



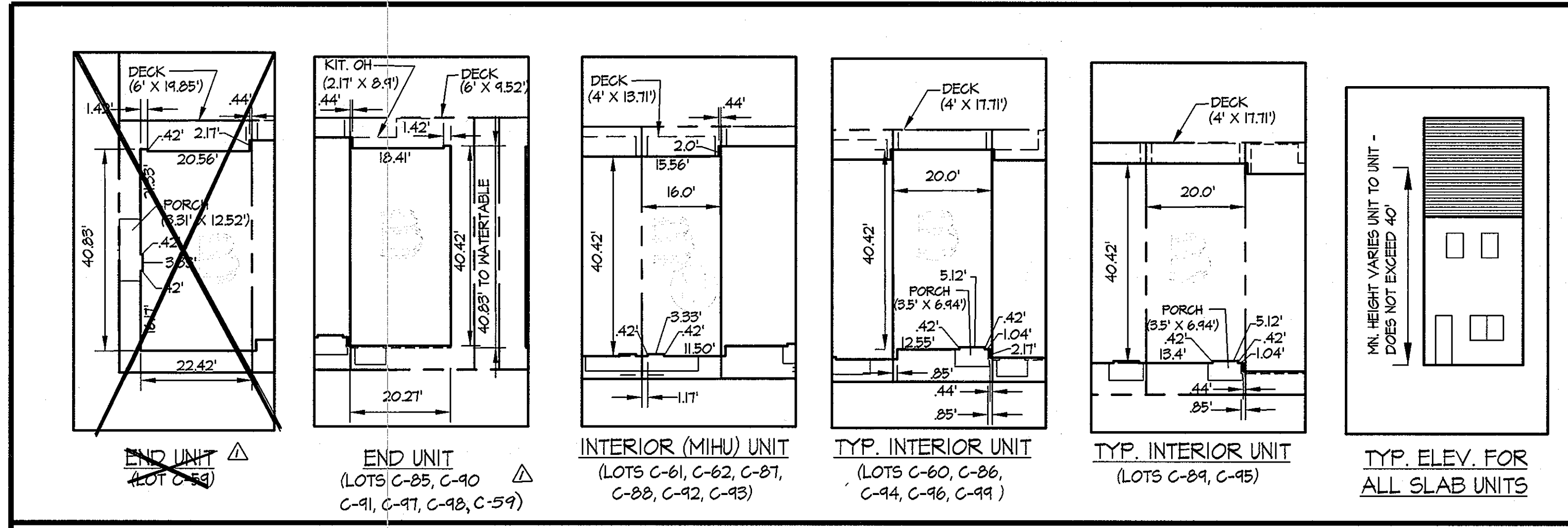
SEWER HOUSE CONNECTIONS
 MINIMUM CELLAR ELEVATIONS
 AND INVERT ELEVATION @ P.L.

LOT NO.	SLAB/BASMT. (PER SDP)	MCE	INV. @ R/W ELEV.
C-54	423.31	420.40	411.86
C-55	423.31	419.30	416.36
C-56	423.31	418.60	416.06
C-57	423.31	417.80	415.26
C-58	423.31	416.90	405.88
C-59	423.31	416.00	405.24
C-60	423.31	415.10	404.59
C-61	423.31	414.20	403.94
C-62	423.31	413.30	403.29
C-63	423.31	412.40	402.64
C-64	423.31	411.50	401.99
C-65	423.31	410.60	401.34
C-66	423.31	409.70	400.69
C-67	423.31	408.80	400.04
C-68	423.31	407.90	399.39
C-69	423.31	407.00	398.74
C-70	423.31	406.10	398.09
C-71	423.31	405.20	397.44
C-72	423.31	404.30	396.79
C-73	423.31	403.40	396.14
C-74	423.31	402.50	395.49
C-75	423.31	401.60	394.84
C-76	423.31	400.70	394.19
C-77	423.31	399.80	393.54
C-78	423.31	398.90	392.89
C-79	423.31	398.00	392.24
C-80	423.31	397.10	391.59
C-81	423.31	396.20	390.94
C-82	423.31	395.30	390.29
C-83	423.31	394.40	389.64
C-84	423.31	393.50	388.99
C-85	423.31	392.60	388.34
C-86	423.31	391.70	387.69
C-87	423.31	390.80	387.04
C-88	423.31	389.90	386.39
C-89	423.31	389.00	385.74
C-90	423.31	388.10	385.09
C-91	423.31	387.20	384.44
C-92	423.31	386.30	383.79
C-93	423.31	385.40	383.14
C-94	423.31	384.50	382.49
C-95	423.31	383.60	381.84
C-96	423.31	382.70	381.19
C-97	423.31	381.80	380.54
C-98	423.31	380.90	379.89
C-99	423.31	380.00	379.24
C-100	423.31	379.10	378.59
C-101	423.31	378.20	377.94
C-102	423.31	377.30	377.29
C-103	423.31	376.40	376.64
C-104	423.31	375.50	375.99
C-105	423.31	374.60	375.34
C-106	423.31	373.70	374.69
C-107	423.31	372.80	374.04
C-108	423.31	371.90	373.39
C-109	423.31	371.00	372.74
C-110	423.31	370.10	372.09
C-111	423.31	369.20	371.44
C-112	423.31	368.30	370.79
C-113	423.31	367.40	370.14
C-114	423.31	366.50	369.49
C-115	423.31	365.60	368.84
C-116	423.31	364.70	368.19
C-117	423.31	363.80	367.54
C-118	423.31	362.90	366.89
C-119	423.31	362.00	366.24
C-120	423.31	361.10	365.59
C-121	423.31	360.20	364.94
C-122	423.31	359.30	364.29
C-123	423.31	358.40	363.64
C-124	423.31	357.50	362.99
C-125	423.31	356.60	362.34
C-126	423.31	355.70	361.69
C-127	423.31	354.80	361.04
C-128	423.31	353.90	360.39
C-129	423.31	353.00	359.74
C-130	423.31	352.10	359.09
C-131	423.31	351.20	358.44
C-132	423.31	350.30	357.79
C-133	423.31	349.40	357.14
C-134	423.31	348.50	356.49
C-135	423.31	347.60	355.84

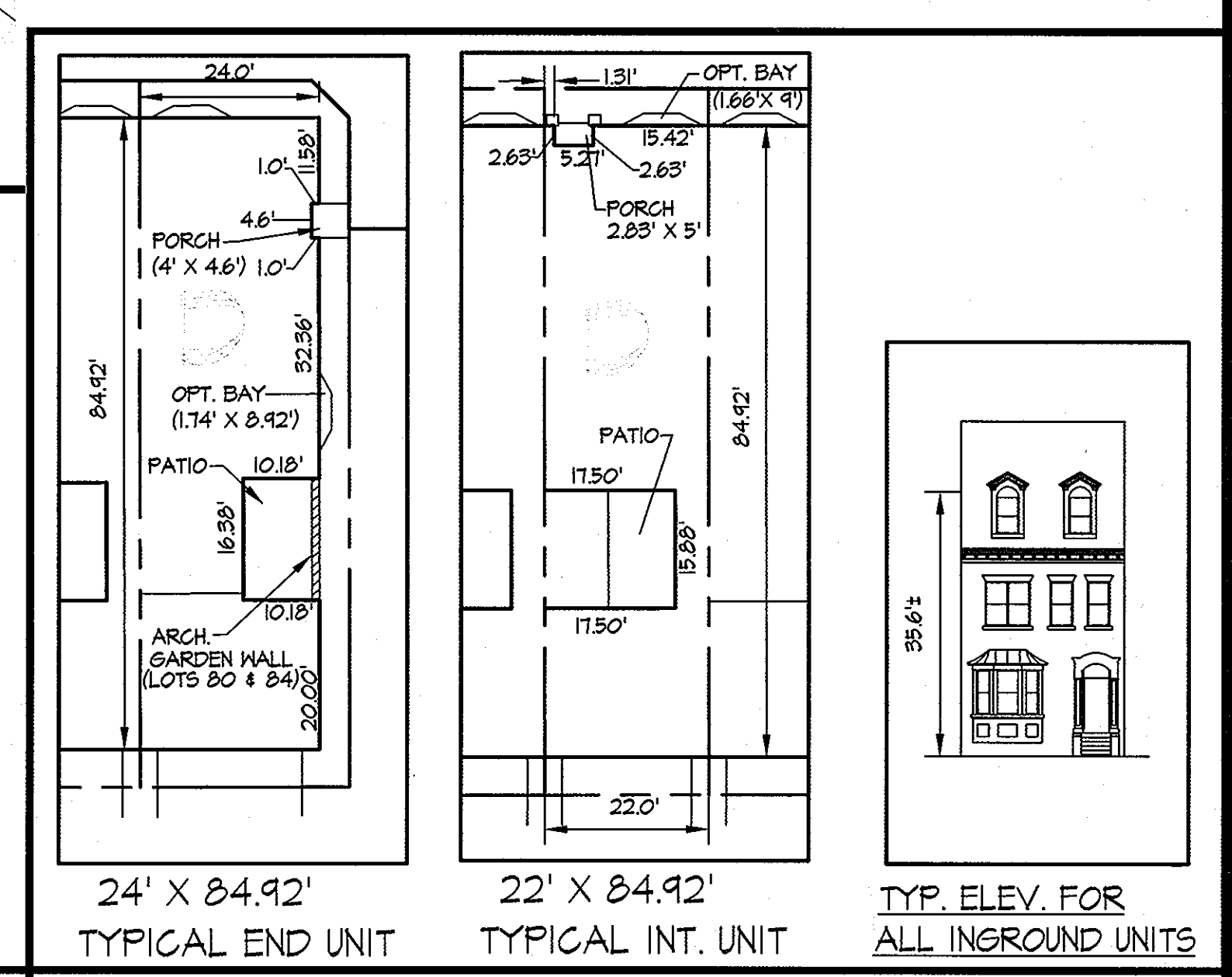
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *David L. Coyle* 1/24/08
 Chief, Division of Land Development: *David H. Hunt* 1/23/08
 Chief, Development Engineering Division: *John P. ...* 12/24/07

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

SEE SHEET 3



HEFFNER HOUSE FOOTPRINTS AND ELEVATION



KGD HOUSE FOOTPRINTS AND ELEVATION

DATE: 02-27-08
 REVISION: REV. HSE TYPE ON LOT C-59 TO MATCH C-90

DES. HKJ	DRN. HKJ	CHK. MBT
DATE	REVISION	DATE

PREPARED FOR:
 BA WATERLOO TOWNHOMES, LLC
 C/O BOZZUTO HOMES, INC.
 7850 WALKER DRIVE SUITE 400
 GREENBELT, MARYLAND 20770
 ATTN: GERMANO GOMEZ
 301-623-3653

SITE DEVELOPMENT PLAN
SHIPLEY'S GRANT
 PHASE II
 LOTS C-59 THRU C-62 AND C-73 THRU C-134
 ELECTION DISTRICT No. 1
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1"=20'	RA-15	05071
DATE	TAX MAP - GRID	SHEET
DEC., 2007	37 - 1 & 2	2 OF 7