

SHEET INDEX	
NO.	DESCRIPTION
1	TITLE SHEET
2	SITE DEVELOPMENT PLAN
3	DETAILS AND PROFILES
4	DRAINAGE AREA MAP AND SEDIMENT CONTROL PLAN
5	STORM WATER MANAGEMENT & SEDIMENT CONTROL NOTES AND DETAILS
6	PLANTING PLAN

SITE DEVELOPMENT PLAN

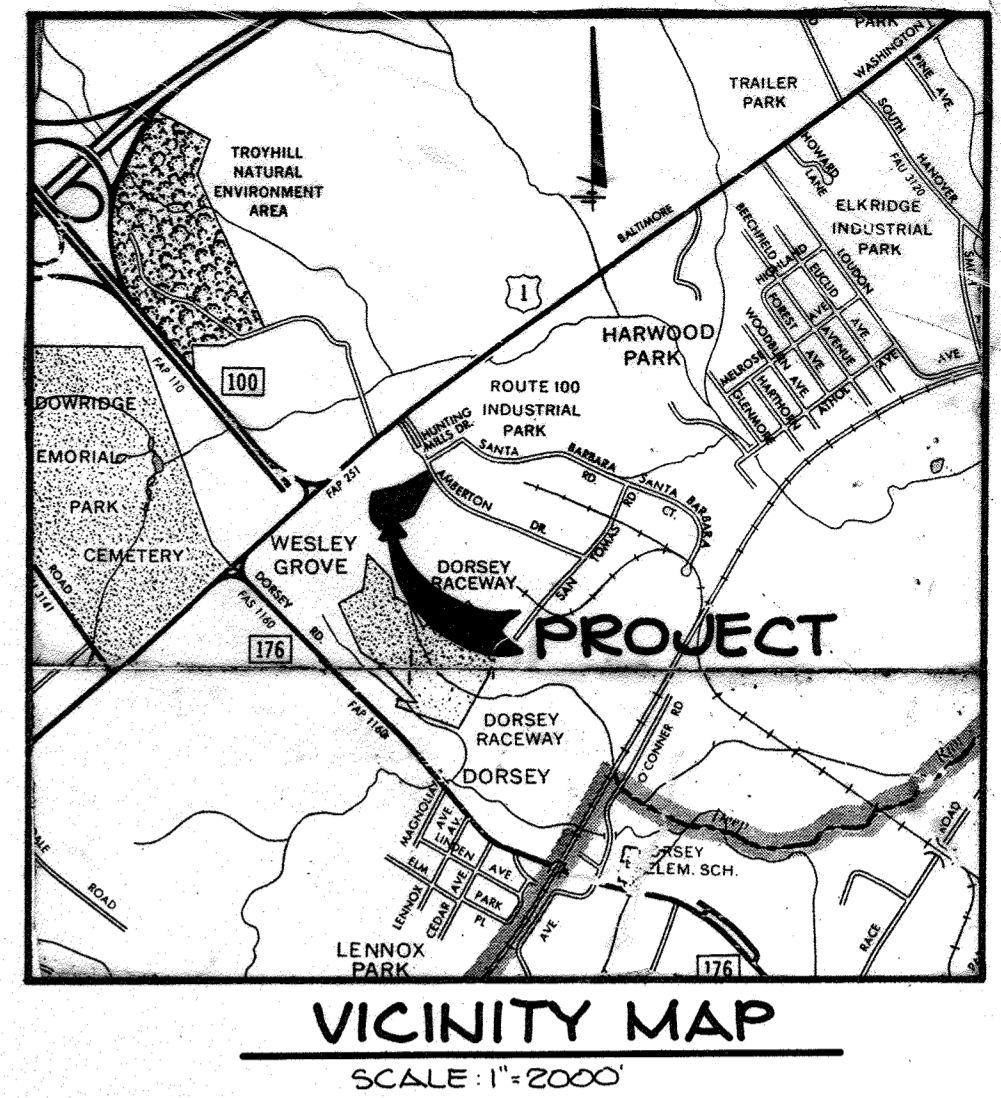
FEATHERMAN BUILDING

ROUTE ONE HUNDRED INDUSTRIAL PARK

BLOCK B PARCEL E

1 ST ELECTION DISTRICT

HOWARD COUNTY, MARYLAND

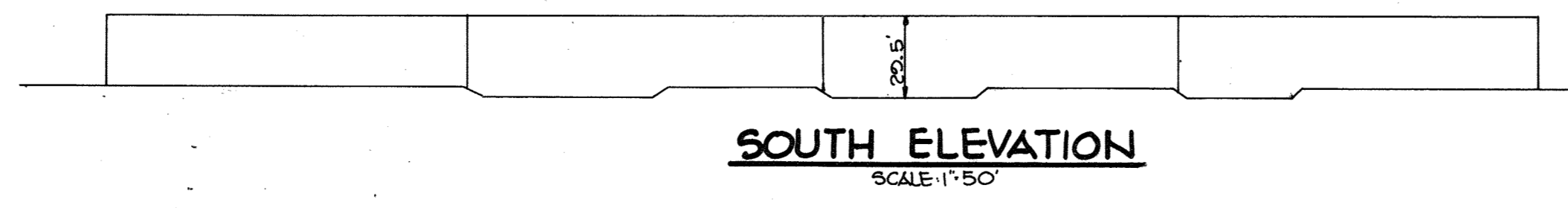
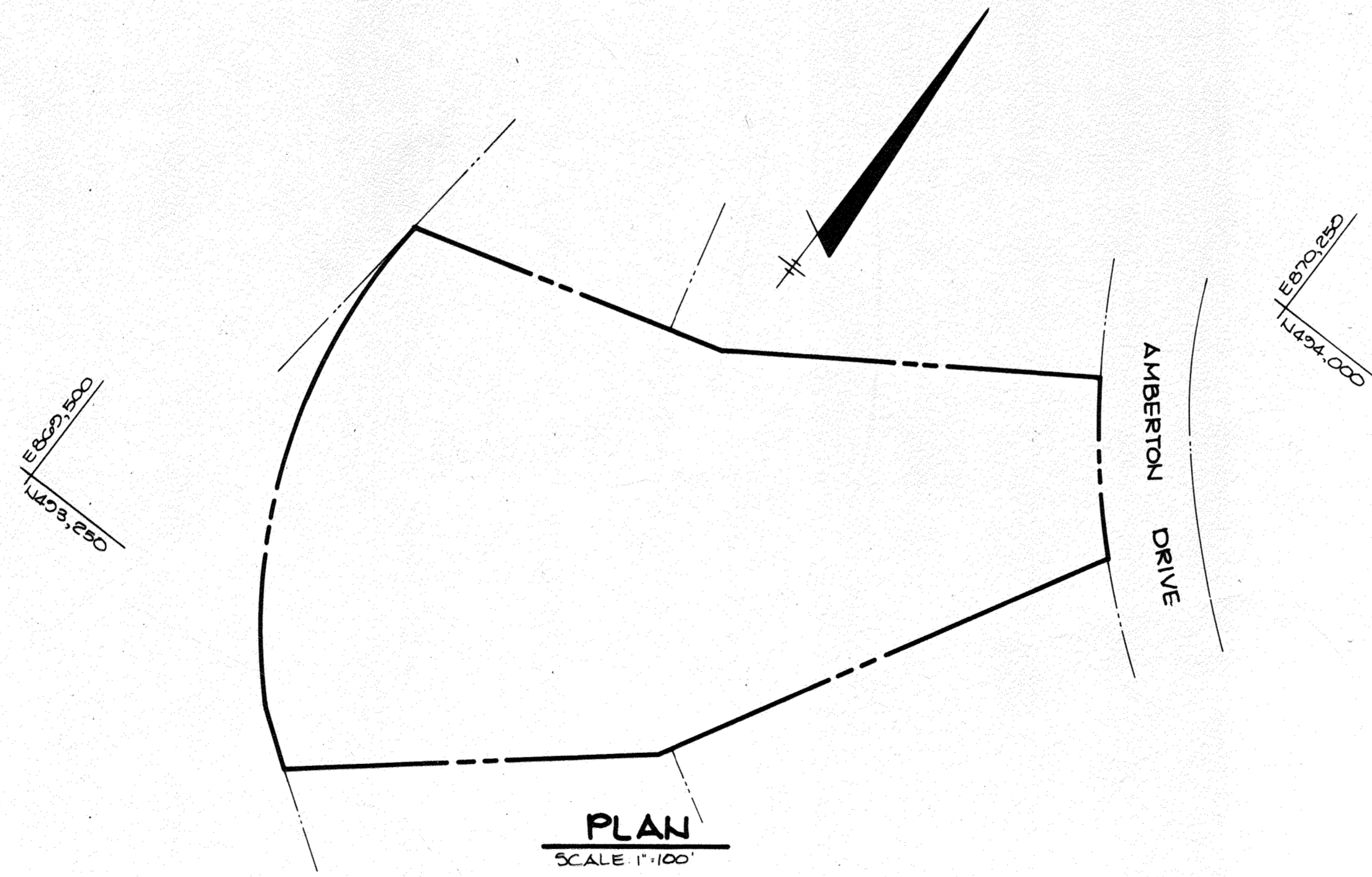


- GENERAL NOTES**
- ALL WATER LINES SHALL BE CONSTRUCTED A MINIMUM OF 42" COVER BELOW FINISHED GRADE.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, I.E., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION.
 - APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FROM BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS TO VERIFY THEIR LOCATION AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
 - CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS:

HISS UTILITY	1-800-257-7777
C & P TELEPHONE COMPANY	725-9976
HOWARD COUNTY BUREAU OF UTILITIES	992-2366
AT&T CABLE LOCATION DIVISION	393-3553
BALTIMORE GAS & ELECTRIC COMPANY	685-0123
STATE HIGHWAY ADMINISTRATION	531-5533
HOWARD COUNTY CONSTRUCTION/INSPECTION SURVEY DIVISION (24 HOURS NOTICE PRIOR TO COMMENCEMENT OF WORK)	792-7272
 - ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
 - ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
 - THE CONTRACTOR SHALL PROVIDE A JOINT IN ALL SEWER MAINS WITHIN 2'-0" OF EXTERIOR MANHOLE WALLS.
 - PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
 - NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT TO SUBGRADE.
 - TOPO TAKEN FROM FIELD RUN SURVEY DATED FEBRUARY, 1986 BY THE RIEMER GROUP, INC.
 - ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL STORM DRAIN PIPE BEDDING SHALL BE AS SHOWN IN DETAIL G2-01 (TRENCH IN ROCK OR TRENCH IN EARTH AS DETERMINED BY FIELD CONDITIONS) IN VOL. IV OF HOWARD COUNTY DESIGN MANUAL UNLESS OTHERWISE DIRECTED BY THE ENGINEER OR AS SHOWN ON THE DRAWINGS.
 - THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR THE SEDIMENT AND EROSION CONTROL PRACTICES, STORM WATER MANAGEMENT PRACTICES AND THE DISCHARGE OF STORM WATER ONTO OR ACROSS ADJACENT OR DOWNSTREAM PROPERTIES INCLUDED IN THIS PLAN. HE IS ALSO RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR GRADING AND/OR WORK ON ADJACENT PROPERTIES INCLUDED IN THIS PLAN.

SITE TABULATION

TOTAL AREA OF PROPERTY	5.0 Ac.
AREA OF SUBMISSION	5.0 Ac.
EXISTING ZONING	M-2
PROPOSED USE:	Warehouse/Office
BUILDING AREA (ONE STORY)	84,512 SF
AREA OF PARKING	37,833 SF
AREA OF PARKING ISLANDS REQUIRED (5%)	1,892 SF
AREA OF PARKING ISLANDS PROPOSED (6.4%)	2,430 SF
OPEN SPACE REQUIRED (20%)	1 Ac.
OPEN SPACE PROPOSED (30%)	1.5 Ac.
PARKING	
10% OF BUILDING = OFFICE	8,450 SF
OFFICE EMPLOYEES = 42	
@ 7 SPACES PER 10 EMPLOYEES =	30 Spaces Required
90% OF BUILDING = WAREHOUSE	76,062 SF
WAREHOUSE EMPLOYEES = 106	
@ 1 SPACE PER 2 EMPLOYEES =	53 Spaces Required
TOTAL REQUIRED PARKING =	98 Spaces
TOTAL PARKING PROVIDED (INCLUDING 5 HANDICAPPED SPACES =	106 Spaces



ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
E	6610 AMBERTON DRIVE

SUBDIVISION NAME	SECT./AREA	PARCEL #
ROUTE ONE HUNDRED BUSINESS PARK	BLOCK - B	E
PLAT # OR L/F	BLOCK #	ZONE
PB 20, P 33	24	M-2
TAX/ZONE MAP	ELEC. DIST.	CENSUS TR
37	1ST	6012
WATER CODE	SEWER CODE	
A 04	2151512	

APPROVED

DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION

HOWARD COUNTY, MARYLAND

DATE: 6-24-86

M/S / FTD

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

James Bogler 9-4-86
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

Adrian J. Muehlen 9-5-86
PLANNING DIRECTOR DATE

James L. Quinn 9-5-86
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

James F. Nemery 8-29-86
DIRECTOR DATE

William E. Ramey 8-23-86
CHIEF, BUREAU OF ENGINEERING DATE

5/27/82 2 CONCRETE PAD WITH (4) CONDENSING UNITS

DATE	NO.	REVISION

OWNER/DEVELOPER
AMBERTON ASSOCIATES LIMITED PARTNERSHIP
3145 GUILFORD ROAD
SUITE 110
COLUMBIA, MARYLAND 21046
% LARRY GILDEA
ROUSE AND ASSOCIATES

PROJECT: FEATHERMAN BUILDING (OFFICE/WAREHOUSE)

AREA: ROUTE ONE HUNDRED BUSINESS PARK
BLOCK B PARCEL E PB 20, P 33 TAX MAP NO 97
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE: TITLE SHEET

THE RIEMER GROUP, INC.
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm
3105 Health Park Drive, Ellicott City, Maryland 21043 (301) 461-2690

8-21-86
DATE

DESIGNED BY: J.K.B.
DRAWN BY: DAKI
PROJECT NO: 28300
DATE: 4-14-86
SCALE: AS SHOWN
DRAWING NO. 1 OF 6

489.500N
493.500N

B. BINDER et al
LIBER 4 FOLIO 148
ZONED M-2

MT ZION CEMETERY
LIBER 25 FOLIO 348
ZONED M-2

ROUTE 100 BUSINESS PARK
BLOCK 'B' PARCEL 'F'
25/36
SDP-85-214
ZONED M-2

401.000N
870.250E

FF. 181.0
PROPOSED OFFICE/WAREHOUSE

AMBERTON
(PUBLIC ROAD)
DRIVE

SHA FLAT NO 7501453
RIGHT OF WAY OF A THROUGH HIGHWAY (FUTURE ROUTE 100)
VEHICULAR INGRESS AND EGRESS

NOTE: ALL CURB RADII ARE TO BE 5' UNLESS OTHERWISE NOTED
ALL BUILDING ENTRANCES ARE TO HAVE TEXTURAL IDENTIFICATION FOR THE BLIND EXCEPT THOSE EXCLUSIVELY FIRE EXITS SEE DETAIL SHEET NO 3

LEGEND: P-2 PAVING
CONCRETE SIDEWALK

CONCRETE PAD WITH (4) CONDENSING UNITS 5/27/86
GENERATOR PAD 1-19-87

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,
HOWARD COUNTY HEALTH DEPARTMENT.
James Boylston 9-4-86
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.
Arthur M. Mueselman 9-5-86
ACTING PLANNING DIRECTOR DATE
Arthur M. Mueselman 9-5-86
ACTING CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Mark E. Nummy 8-14-86
DIRECTOR DATE
William S. Rainey 8-22-86
CHIEF, BUREAU OF ENGINEERING DATE

1/19/81
5/27/86 2
DATE NO REVISION

OWNER / DEVELOPER
AMBERTON ASSOCIATES LIMITED PARTNERSHIP
2145 GUILFORD ROAD
SUITE 110
COLUMBIA, MARYLAND 21046
% LARRY GILDEA
ROUSE AND ASSOCIATES

PROJECT: FEATHERMAN BUILDING
(OFFICE / WAREHOUSE)

AREA: ROUTE ONE HUNDRED BUSINESS PARK
BLOCK 'B' PARCEL 'E' PB 20, F 33 TAX MAP NO 37
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

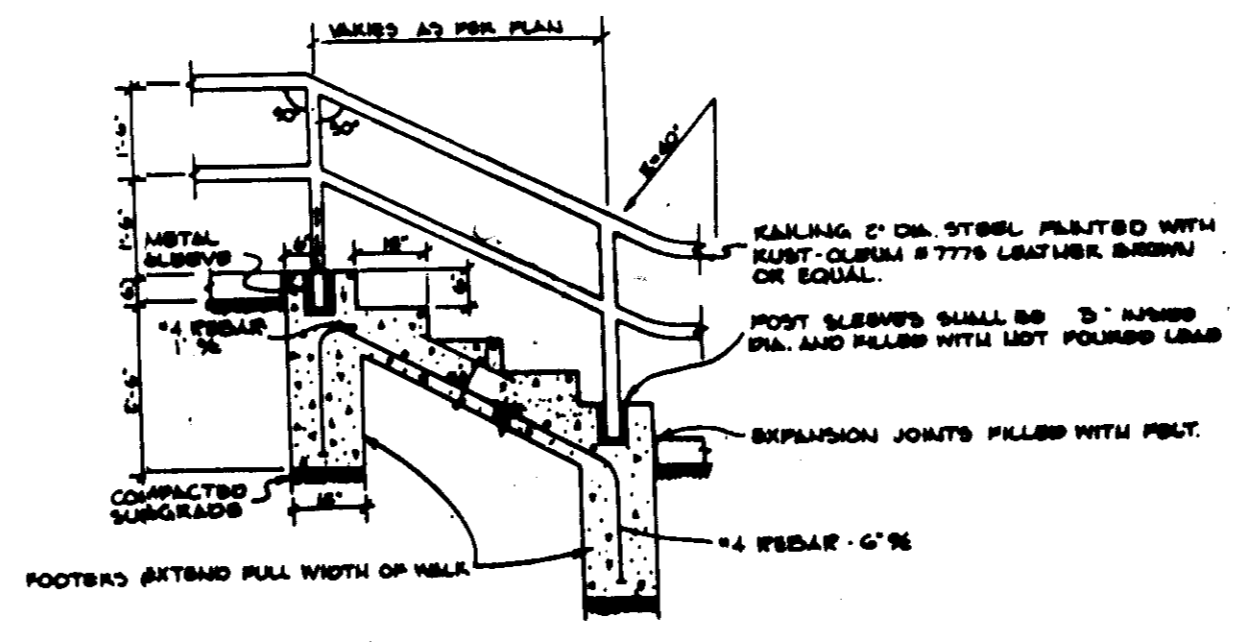
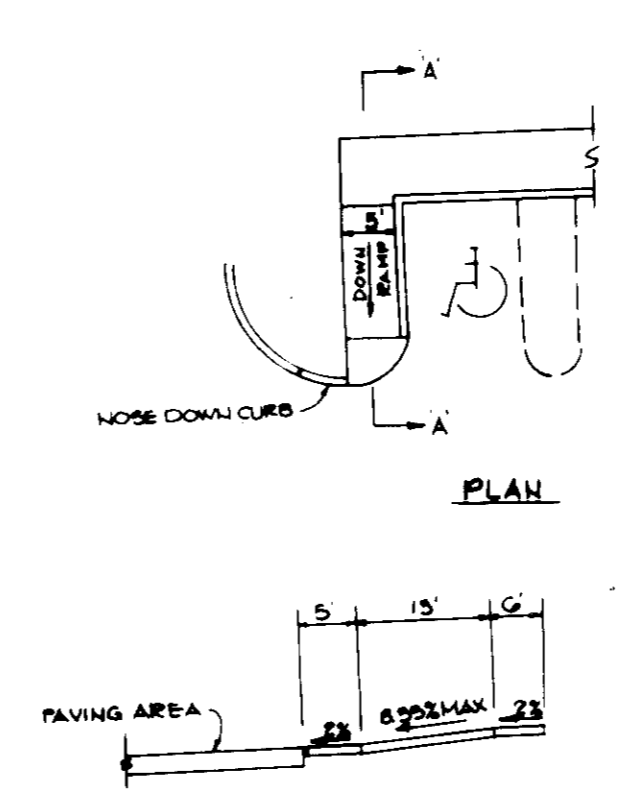
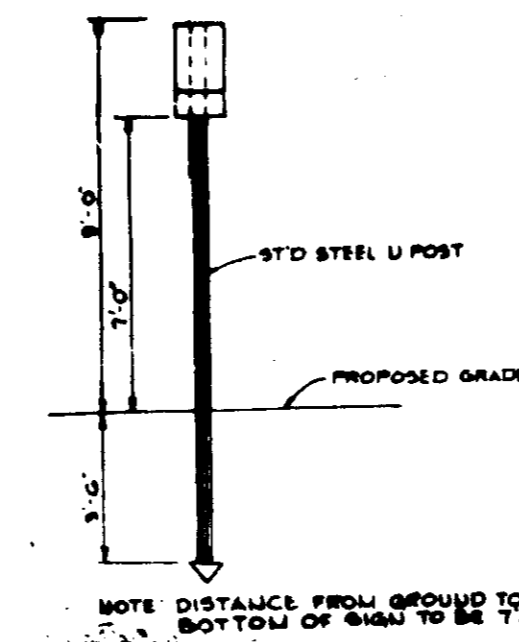
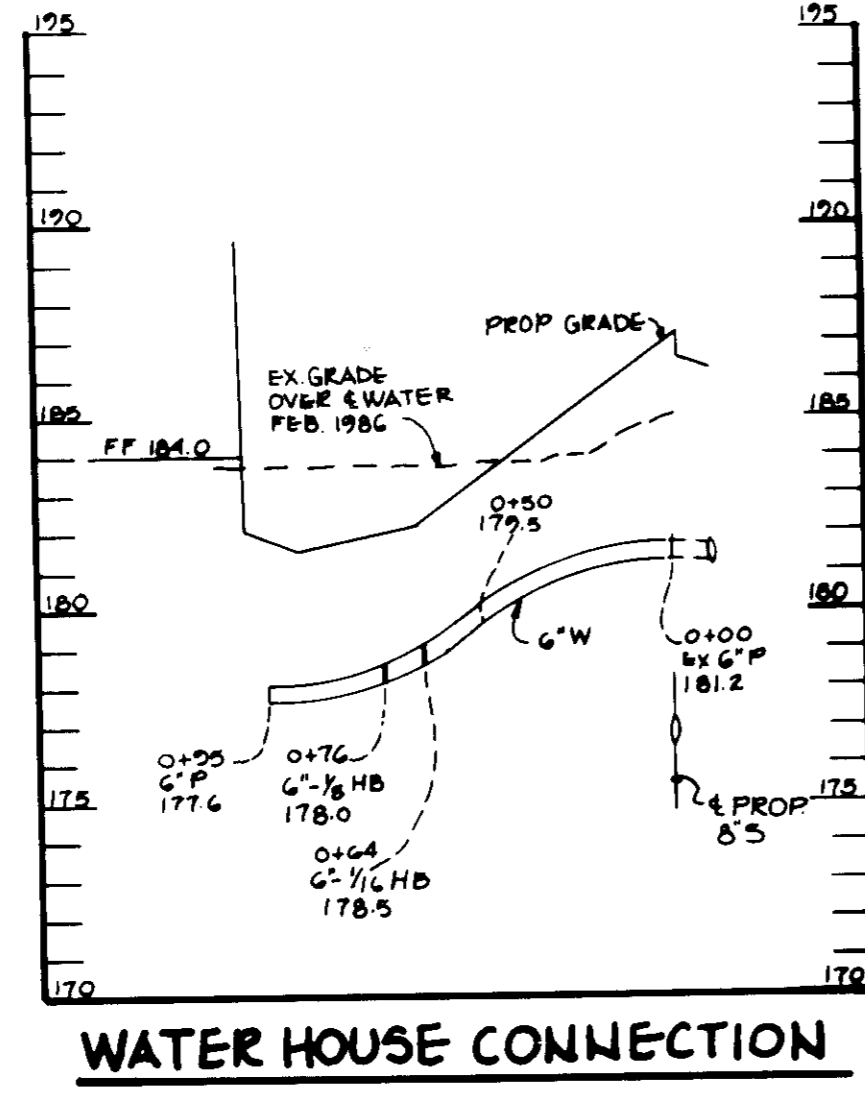
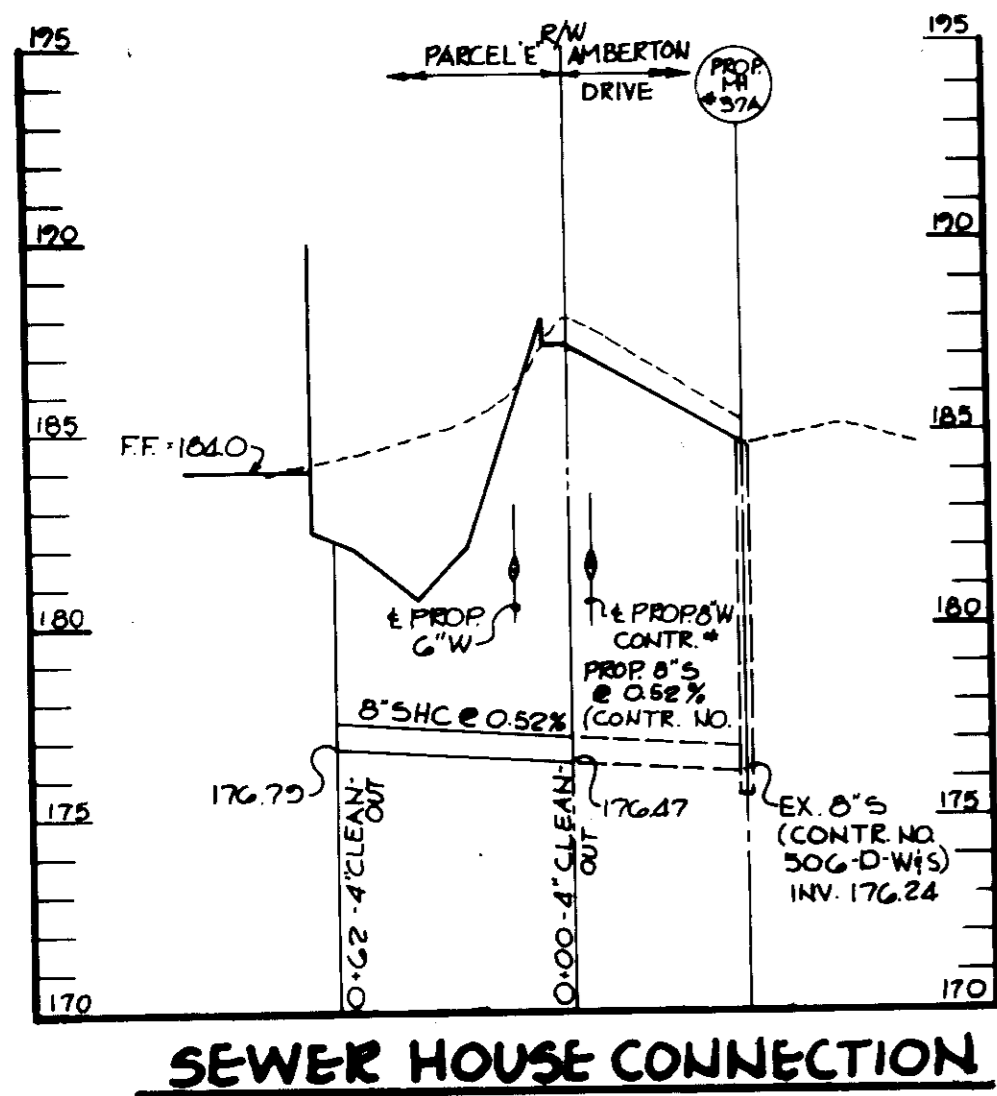
TITLE: SITE DEVELOPMENT PLAN

THE RIEMER GROUP, INC.
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm
3105 Health Park Drive, Ellicott City, Maryland 21043 (301) 461-2880

8-21-86
DATE
DESIGNED BY: D.A.M.
DRAWN BY:
PROJECT NO: 28300
DATE: 4-14-86
SCALE: 1"=30'
DRAWING NO. 2 OF 6

APPROVED
DIVISION OF LAND DEVELOPMENT &
ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE: 6-24-86
MS / FTD

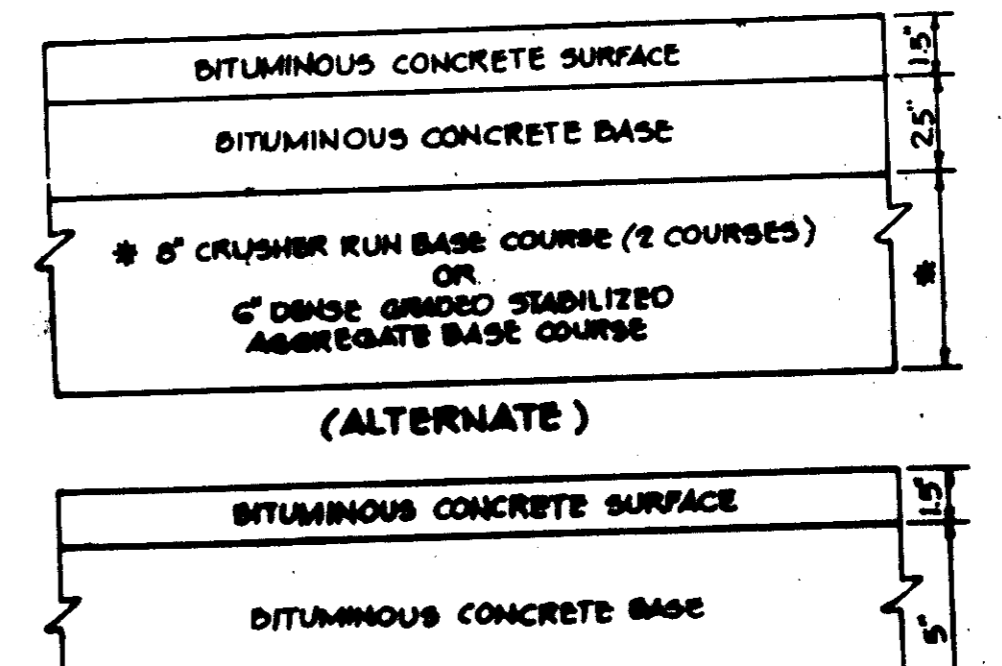
SDP-86-230 JULY 11, 1986



DETAIL BUILDING ENTRANCE TEXTURAL IDENTIFICATION FOR THE BLIND

NO SCALE

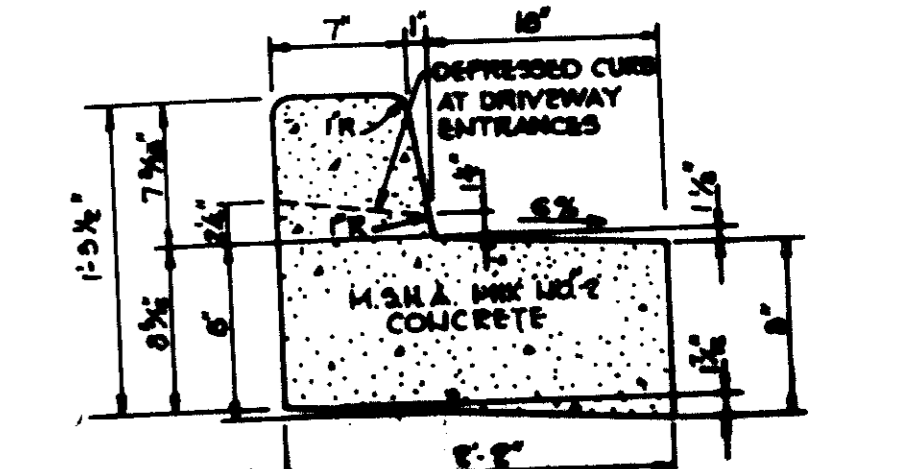
NOTE: TO BE USED FOR ALL BUILDING ENTRANCES EXCEPT THOSE THAT ARE EXCLUSIVELY FIRE EXITS



HOWARD COUNTY DESIGN MANUAL VOLUME II - STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (DRAWING R-201)

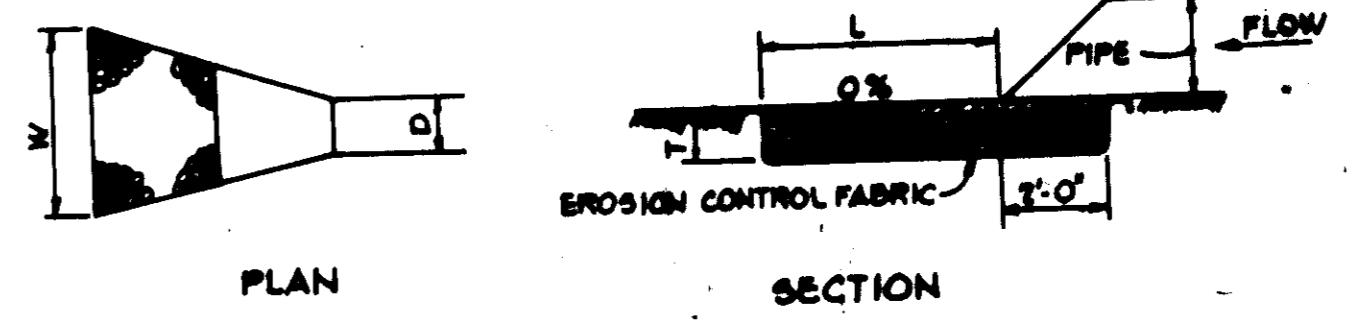
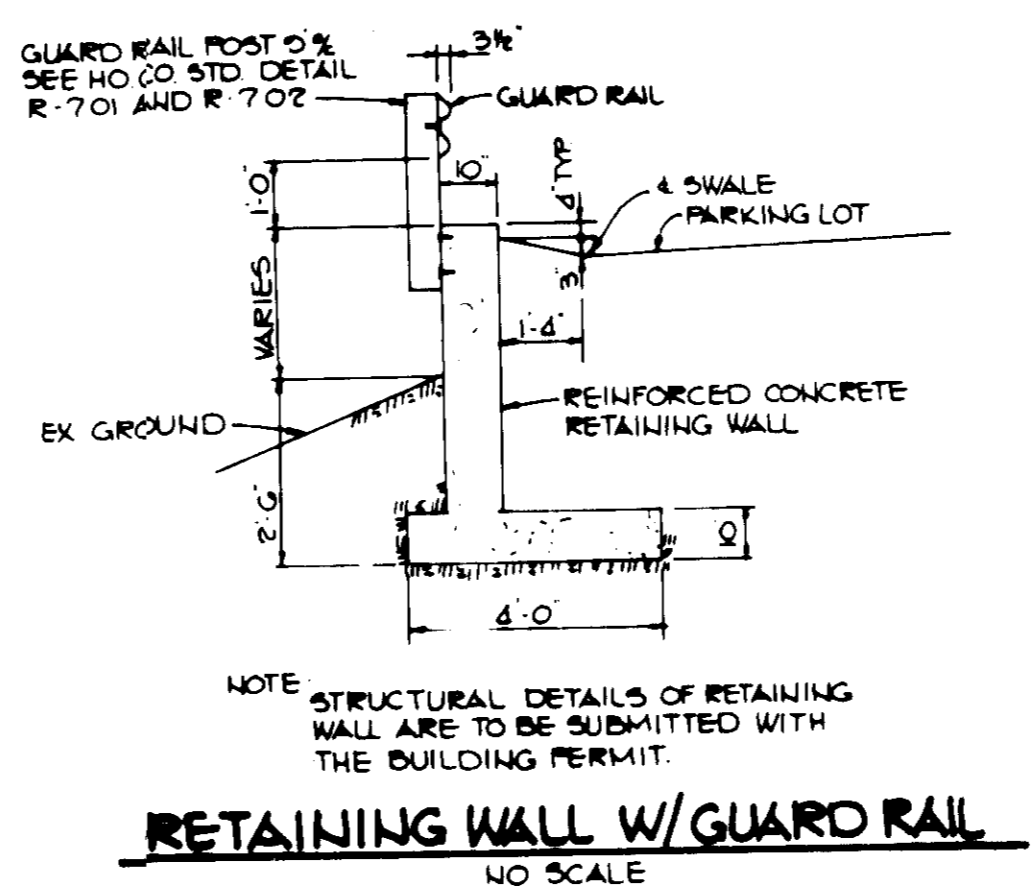
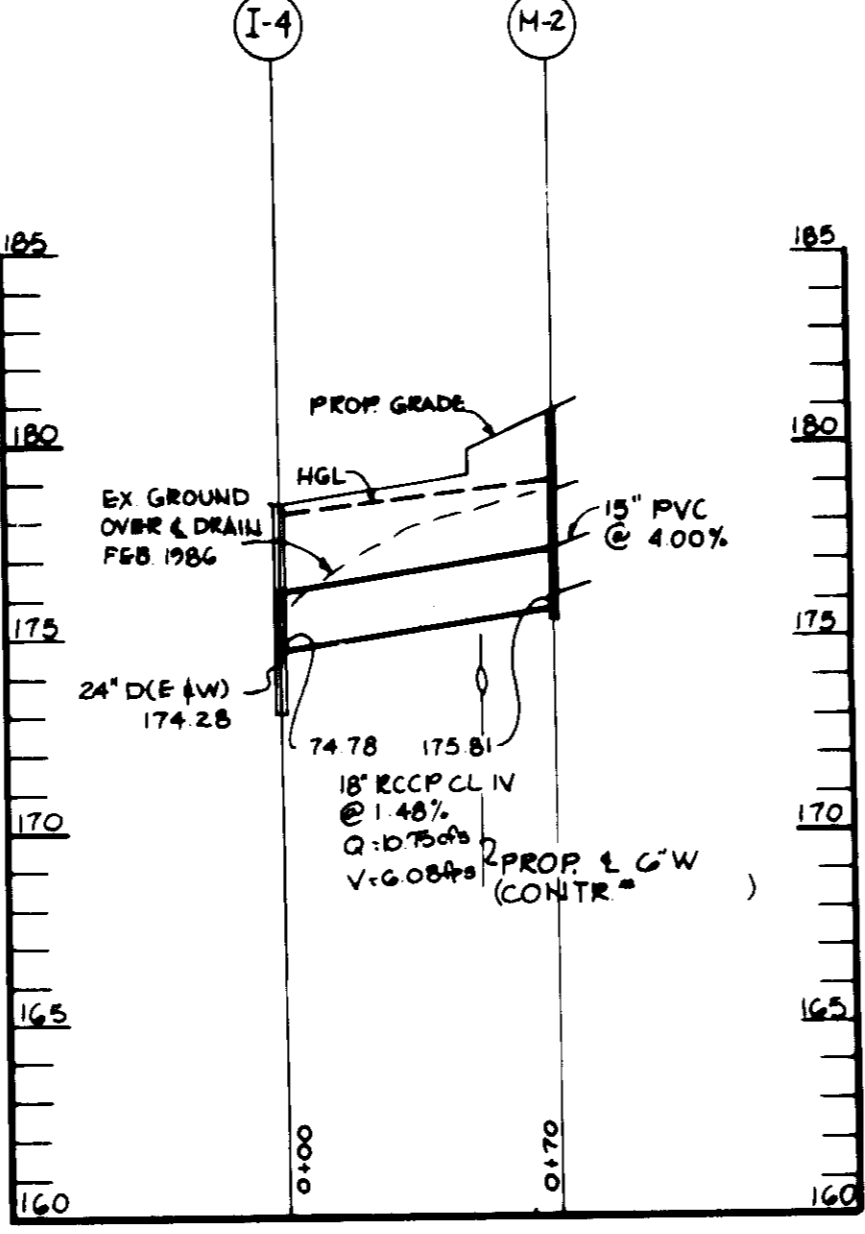
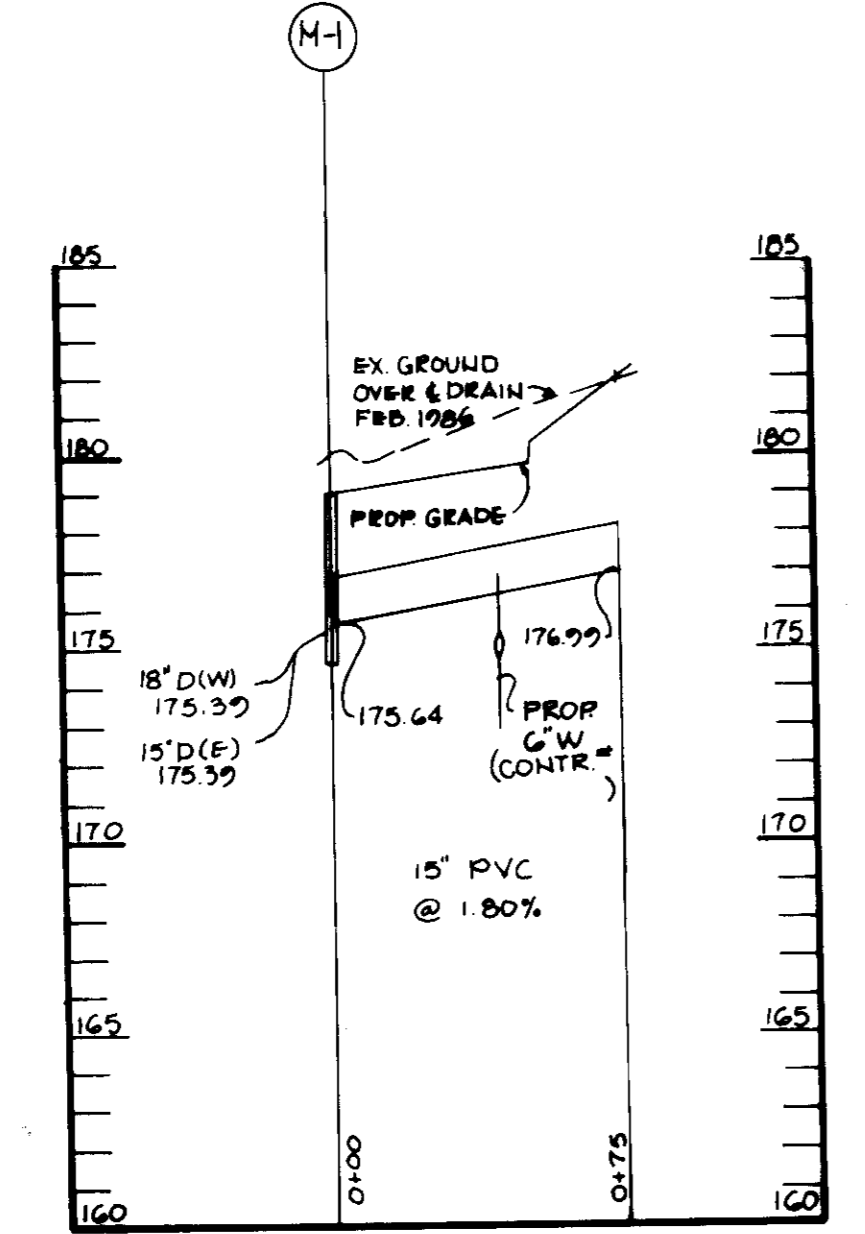
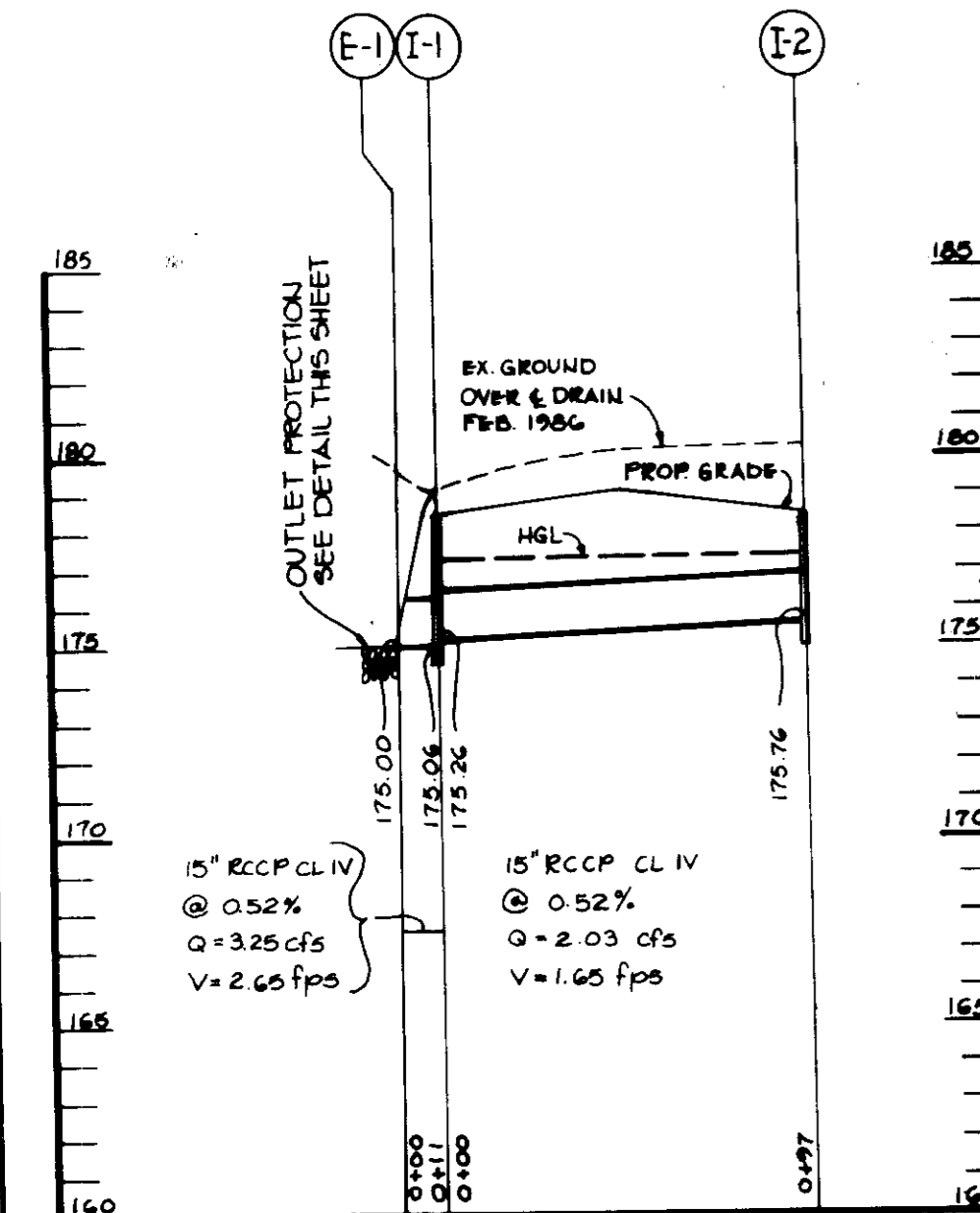
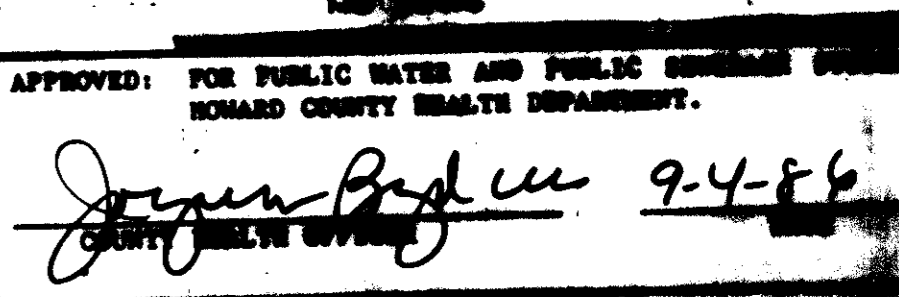
STANDARD 7" COMBINATION CURB AND GUTTER

No Scale



REVERSE 7" COMBINATION CURB AND GUTTER

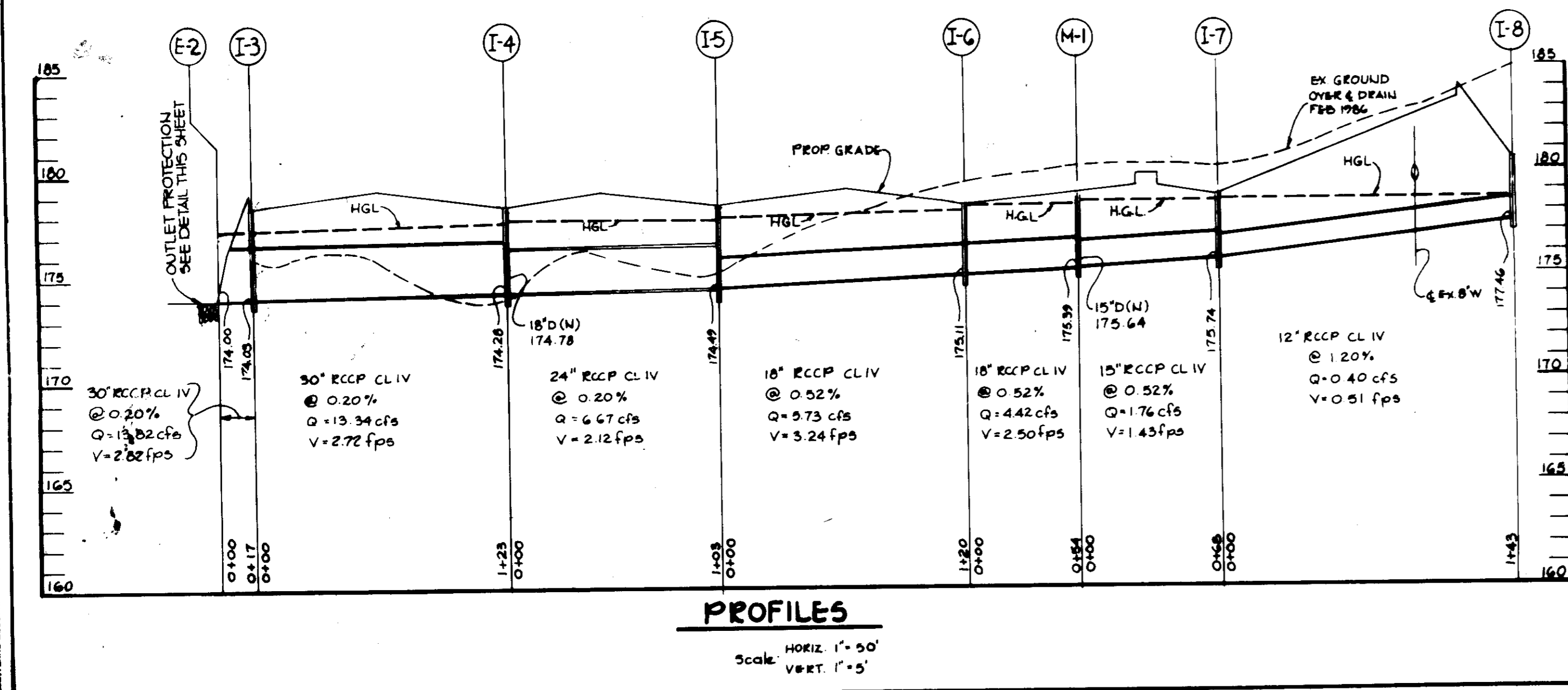
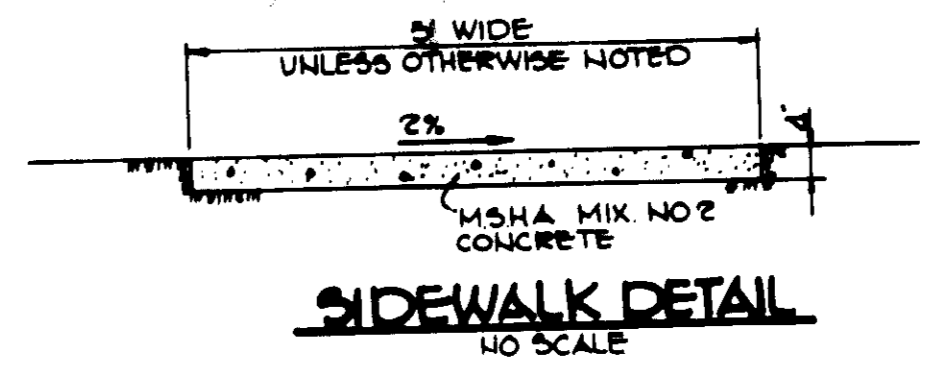
No Scale



STRUCTURE	MEDIUM STONE DIA.	LENGTH (L)	WIDTH (W)	THICKNESS (T)
E-1	0.5'	10'	10'	1.15'
E-2	0.8'	10.4'	10'	1.15'
E-3	0.6'	9'	9'	1.15'

OUTLET PROTECTION DETAIL

No Scale



APPROVED
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE: 6-24-86
MA / PTD

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT.
JOHN P. BROWN 9-4-86

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
ACTING CHIEF, DIVISION OF PLANNING AND ZONING
9-5-86

APPROVED: CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION
9-5-86

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DIRECTOR: 8-24-86

CHIEF, BUREAU OF ENGINEERING AND SURVEYING
2-22-86

OWNER/DEVELOPER
AMBERTON ASSOCIATES LIMITED PARTNERSHIP
3145 GUILFORD ROAD
SUITE 110
COLUMBIA, MARYLAND 21046
LARRY S. BROWN
ROUSE AND ASSOCIATES

PROJECT: FEATHERMAN BUILDING (OFFICE/WAREHOUSE)

AREA: ROUTE ONE HUNDRED BUSINESS PARK, BLOCK 'B' PARCEL '5' P.B. 29.735 TAX MAP NO 37 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE: PROFILES AND DETAILS

THE RIEMER GROUP, INC.
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm
3108 Health Park Drive, Ellicott City, Maryland 21045 (301) 481-0000

DATE: 8-21-86
DESIGNED BY: D.A.H.
DRAWN BY: K.J.B.
PROJECT NO: 28900
DATE: 4-14-86
SCALE: AS SHOWN

SOP-28

SEDIMENT BASIN DATA

DRAINAGE AREA: 5.6 AC.
 VOLUME REQUIRED: 10,080 CUFT.
 VOLUME PROVIDED: 25,700 CUFT.
 CREST ELEV: 177.20
 CLEANOUT ELEV: 174.00
 BOTTOM ELEV: 173.00
 TOP ELEV: 170.00

STRUCTURE SCHEDULE

STRUCTURE	TYPE	INV. IN	INV. OUT	ELEV. AT GRATE OR RIM	REMARKS
I-1	'S' Comb.	175.26	175.06	*179.0	Ho. Co. Std. SD 4.32
I-2	'S' Comb.	---	175.76	*179.0	Ho. Co. Std. SD 4.32
I-3	'S'	174.03	174.03	178.4	Ho. Co. Std. SD 4.22
I-4	'S'	18" D 174.78 24" D 174.28	174.28	178.4	Ho. Co. Std. SD 4.22
I-5	'S'	174.49	174.49	178.4	Ho. Co. Std. SD 4.22
I-6	'S'	175.11	175.11	178.4	Ho. Co. Std. SD 4.22
I-7	'S' Comb.	175.74	175.74	*179.4	Ho. Co. Std. SD 4.22
I-8	Yard Inlet	---	177.46	180.5	Ho. Co. Std. SD 4.14
M-1	Manhole	15" D 175.64 15" D 175.39	175.39	179.3	Ho. Co. Std. G 5.12
M-2	Manhole	---	175.81	180.8	Ho. Co. Std. G 5.12
E-1	15" Concrete End Section	---	175.00	---	Ho. Co. Std. SD 5.51
E-2	30" Concrete End Section	---	174.00	---	Ho. Co. Std. SD 5.51

* Elevation at top of curb

SEQUENCE OF CONSTRUCTION

- 1.) Obtain a Grading Permit.
- 2.) Install stabilized construction entrance, silt fence, temporary swale and sediment basin. (5 days)
- 3.) Grade site maintaining positive drainage in temporary swale and install concrete retaining wall. (10 days)
- 4.) Install storm drains and other utilities. (5 days)
- 5.) Stabilize in accordance with temporary seeding notes. (2 days)
- 6.) Remove temporary swale and install curb and gutter.
- 7.) Finish construction and stabilize in accordance with permanent seeding notes.
- 8.) Upon the approval of the sediment control inspector remove silt fence and convert sediment basin to Storm Water Management Facility as follows: (3 days)
 - a) Pump out impounded water
 - b) Remove sediment and place as directed by the sediment control inspector.
 - c) Excavate as necessary to bring storm water management facility to grades shown on the site development plan.
 - d) Remove dewatering device.
 - e) Install orifice plate.
 - f) Install inlet protection and stabilize disturbed areas in accordance with permanent seeding notes.

BY THE DEVELOPER:
 [Signature] 4/14/86
 DEVELOPER DATE

BY THE ENGINEER:
 "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
 [Signature] 4/14/86
 ENGINEER DATE
 ARTHUR E. MUEGGE

REVIEWED FOR: HOWARD NAME S.C.D.
 AND MEETS TECHNICAL REQUIREMENTS
 [Signature] 8-26-86
 U.S. SOIL CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature] 8-26-86
 HOWARD S.C.D. DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.
 [Signature] 9-4-86
 COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.
 [Signature] 9-5-86
 PLANNING DIRECTOR DATE
 [Signature] 9-5-86
 CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 [Signature] 8-29-86
 DIRECTOR DATE
 [Signature] 8-29-86
 CHIEF, BUREAU OF ENGINEERING DATE

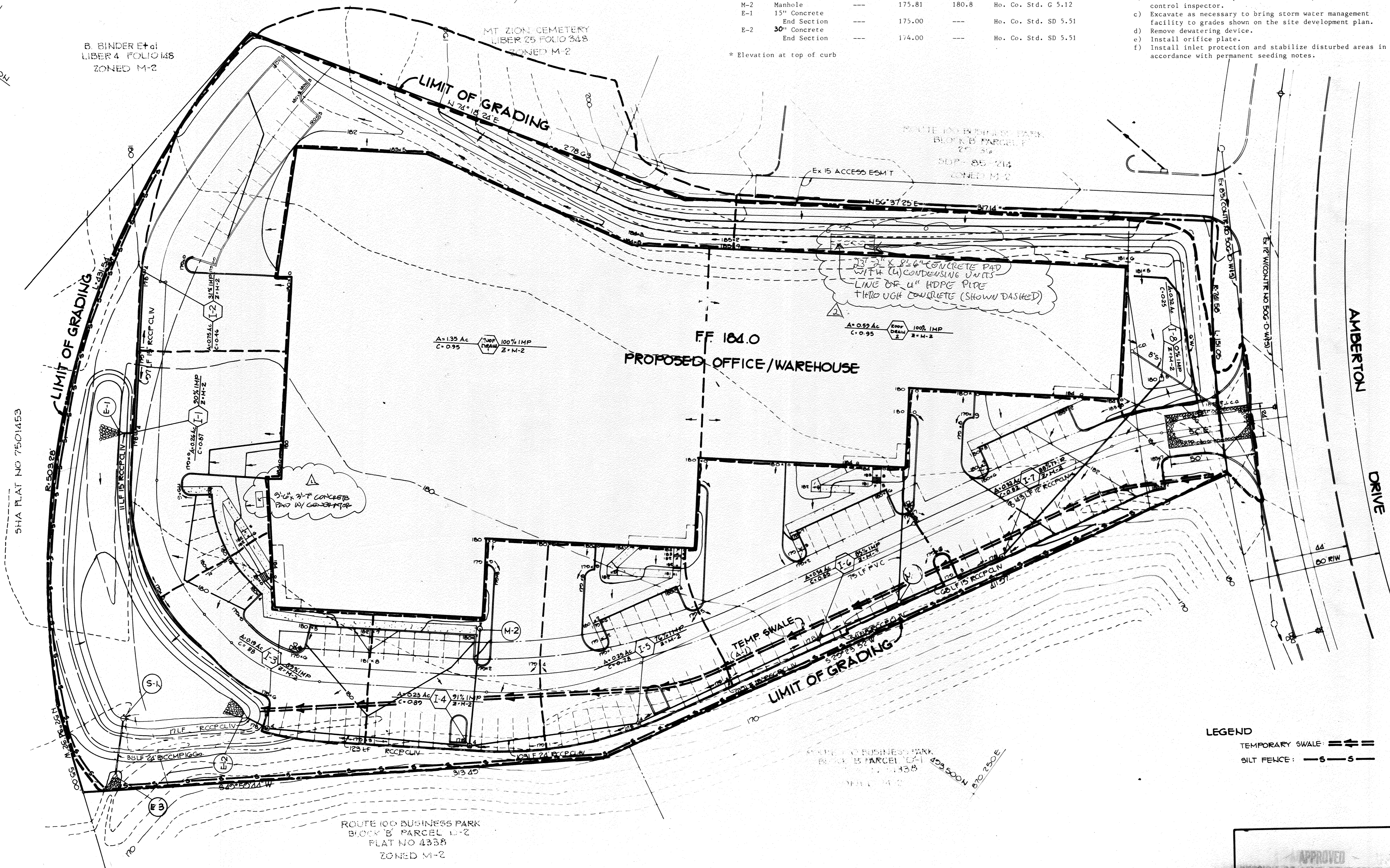
OWNER/DEVELOPER
 AMBERTON ASSOCIATES LIMITED PARTNERSHIP
 2145 GUILFORD ROAD
 SUITE 110
 COLUMBIA, MARYLAND 21046
 % LARRY GILDEA
 ROUSE AND ASSOCIATES

PROJECT: FEATHERMAN BUILDING (OFFICE / WAREHOUSE)
 AREA: ROUTE ONE HUNDRED BUSINESS PARK BLOCK B PARCEL E, P.B. 20, F. 33 TAX MAP NO 37 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 TITLE: DRAINAGE AREA MAP AND SEDIMENT CONTROL PLAN

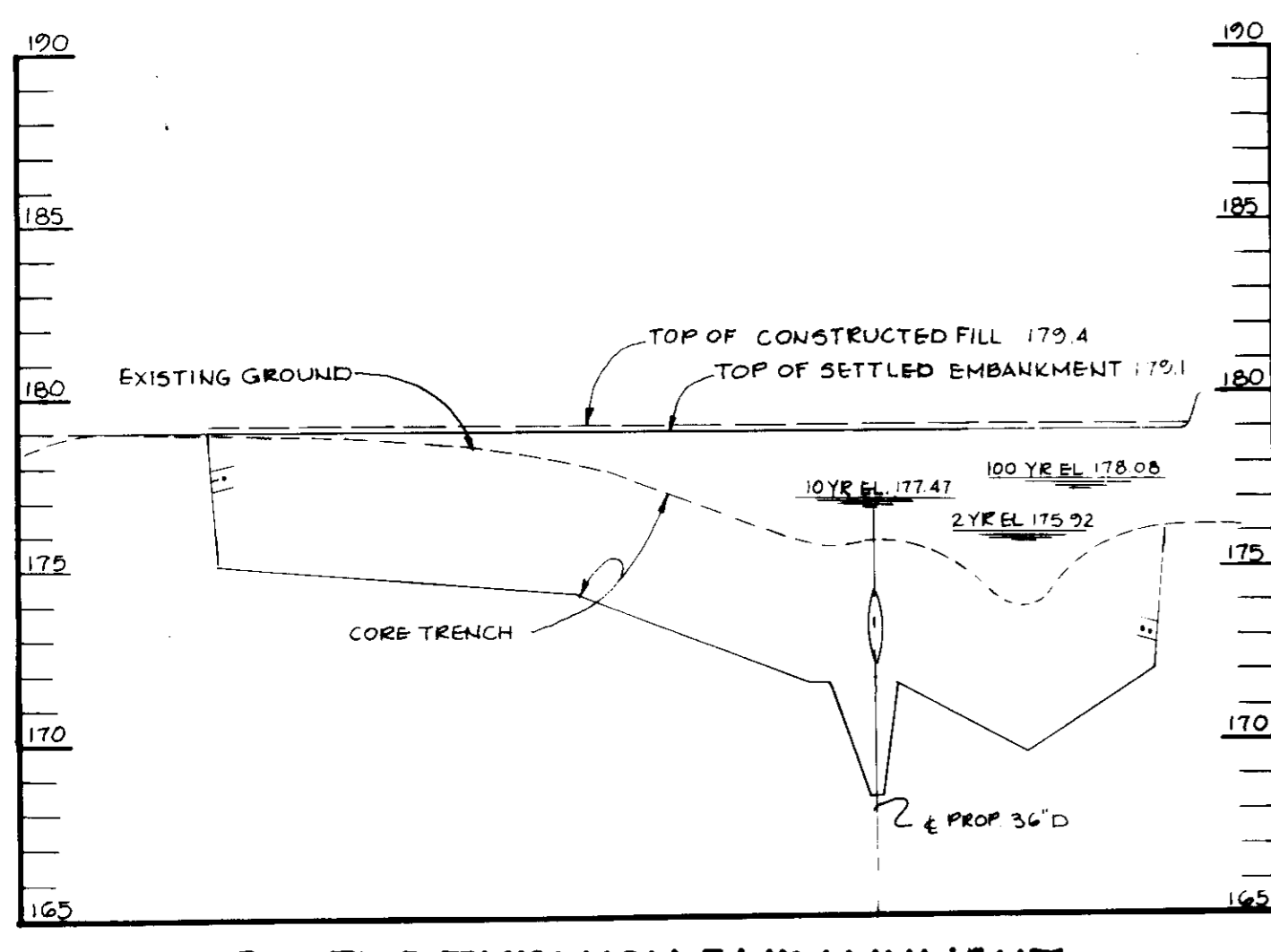
THE RIEMER GROUP, INC.
 The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm
 3106 Health Park Drive, Ellicott City, Maryland 21043 (301) 461-2680

APPROVED
 DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE: 6-24-86
 [Signature]

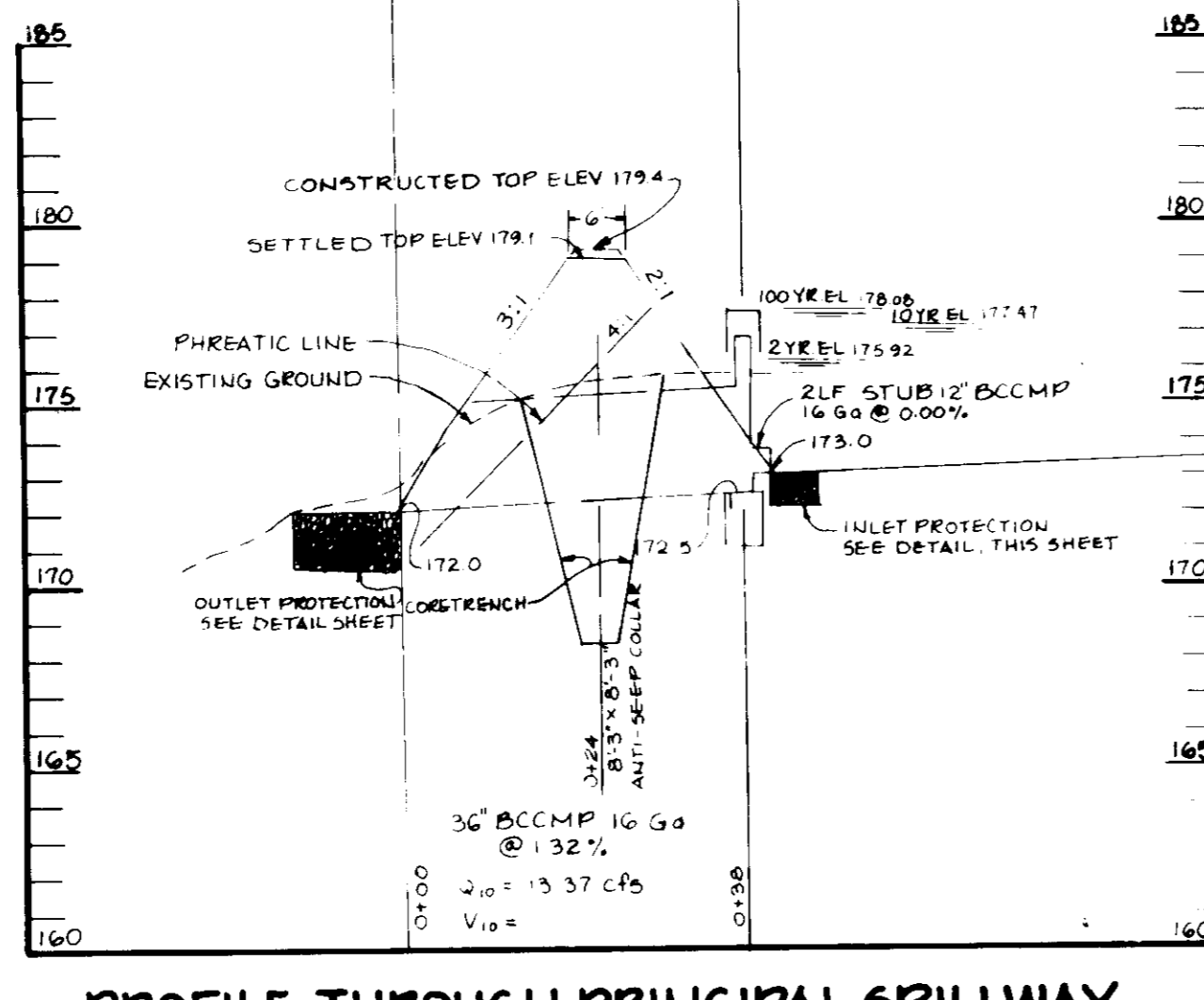
DESIGNED BY: D.A.M.
 DRAWN BY: K.J.B.
 PROJECT NO: 28300
 DATE: 4-14-86
 SCALE: 1"=30'
 DRAWING NO. 4 OF 6



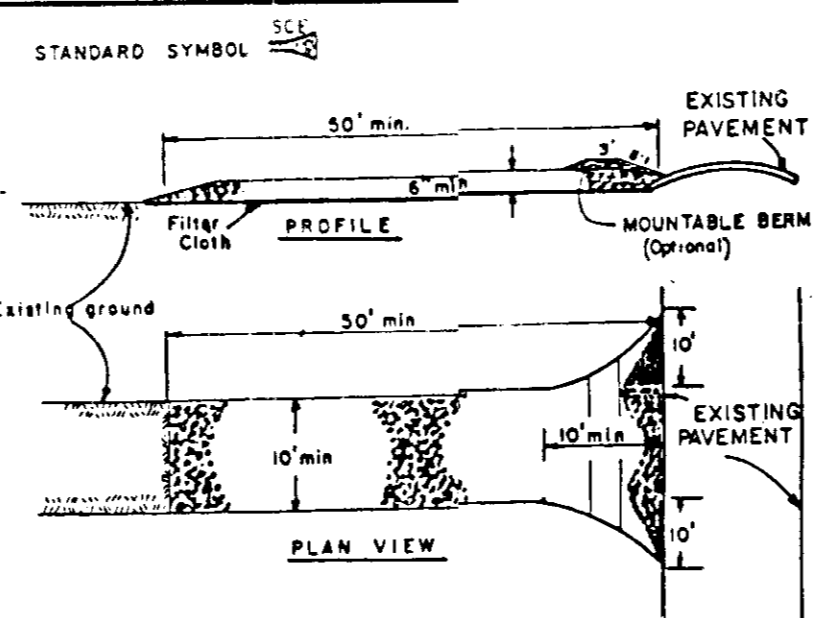
LEGEND
 TEMPORARY SWALE: [Symbol]
 SILT FENCE: [Symbol]



PROFILE THROUGH EMBANKMENT
SCALE HORIZ: 1"=50'
VERT: 1"=5'



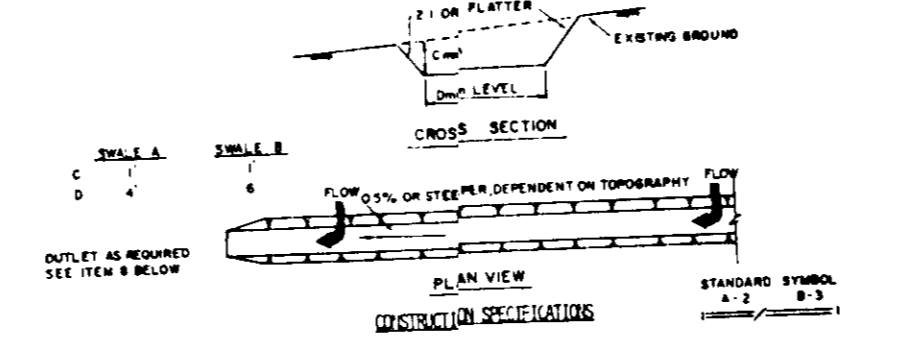
PROFILE THROUGH PRINCIPAL SPILLWAY
SCALE HORIZ: 1"=50'
VERT: 1"=5'



CONSTRUCTION SPECIFICATIONS

1. Stone Size - Use 2" stone, or reclaimed or recycled concrete equivalent.
2. Length - As required, but not less than 50 feet (except on a single residential lot where a 30 foot minimum length would apply).
3. Thickness - Not less than 6 inches.
4. Width - Ten (10) foot minimum, but not less than the full width at all points where slopes or edges occur.
5. Filter Cloth - Will be placed over the entire area prior to placing of stone.
6. Filter Cloth - All surface water flowing or diverted toward construction entrances shall be piped across the entrance.
7. Maintenance - The entrance shall be maintained in a condition which will require periodic top dressing with additional stone as conditions demand. All weeds, brush, stumps, or other objectionable material shall be removed and replaced with top dressing or top dressing as required. All weeds, brush, stumps, or other objectionable material shall be removed and replaced with top dressing or top dressing as required.
8. Washings - Washings shall be cleaned to remove sediment prior to entrance onto a public right-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trap or device.
9. Periodic inspection and needed maintenance shall be provided after each rain.

STABILIZED CONSTRUCTION ENTRANCE



CONSTRUCTION SPECIFICATIONS

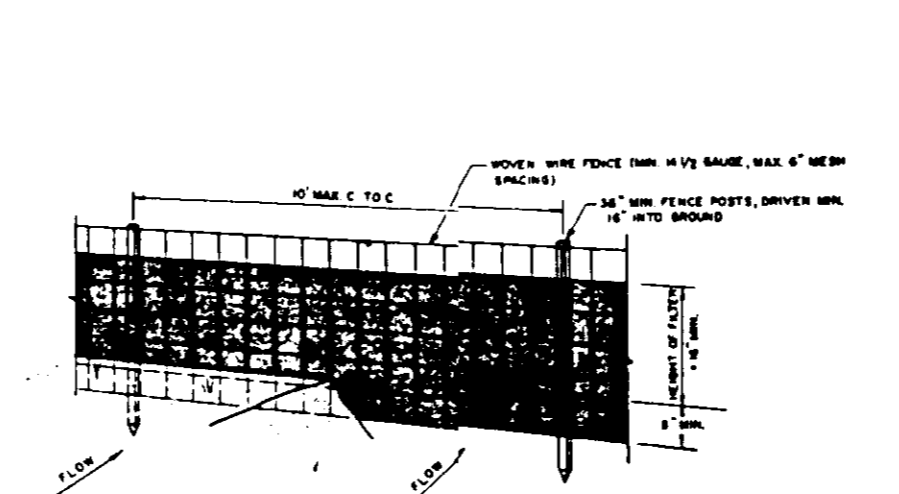
1. ALL TEMPORARY SHALES SHALL HAVE UNREFLECTED POSITIVE GRADE TO AN OUTLET.
2. DISTURBED AREAS FROM A DISTURBED AREA SHALL BE COMPLETED TO A SEDIMENT TRAPPING DEVICE.
3. DISTURBED AREAS FROM AN UNDISTURBED AREA SHALL BE COMPLETED TO A SEDIMENT TRAPPING DEVICE.
4. ALL AREAS SHALL BE MAINTAINED IN A CONDITION WHICH WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND.
5. THE SHALES SHALL BE MAINTAINED IN A CONDITION WHICH WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND.
6. FILLS SHALL BE COMPACTED BY EARTH MOVING EQUIPMENT.
7. ALL EARTH MOVING AND NOT NEARBY CONSTRUCTION SHALL BE PLACED SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE SHALES.
8. STABILIZATION SHALL BE AS PER THE CHART BELOW.

PLAN CHANNEL STABILIZATION			
TYPE OF PROTECTION	CHANNEL SIZE	SEDIMENT TRAPPING DEVICE	SEDIMENT TRAPPING DEVICE
1	0.5-3.0	3\"/>	

Notes:

- 1) The cylinder must be firmly fastened to the top of the riser.
- 2) Support bars are welded to the top of the riser or attached by screws bolted to top of riser.

TEMPORARY SWALE



CONCRETE PIPE

Material: (Steel) This pipe and its appurtenances shall be galvanized and fully fabricated and shall conform to the requirements of ASTM Specification 3020 Type A with water-tight coating. Any bituminous coating damaged or otherwise removed shall be replaced with cold applied bituminous coating compound.

Installation: All connections with pipes must be completely watertight. The drain pipe or barrel connection to the riser shall be welded all around when the pipe and riser are metal. Watertight coupling bands shall be used at all joints. Antiseep collars shall be connected to the pipe in such a manner as to be completely watertight.

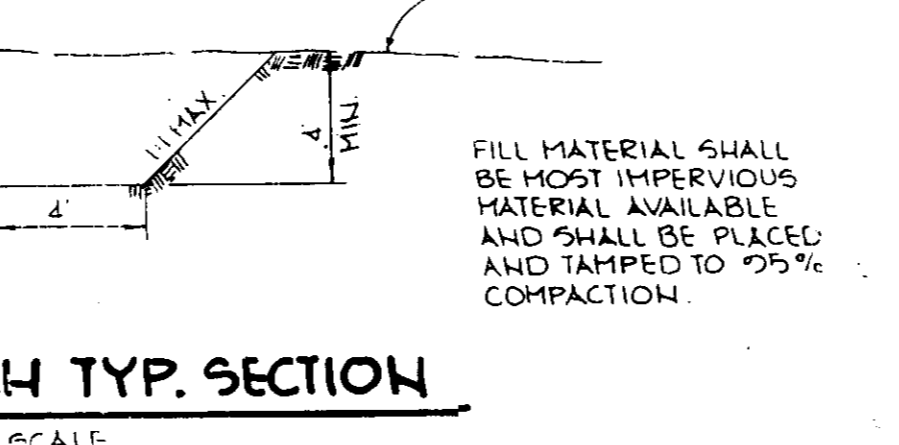
Backfill: The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock or soft, spongy or other unstable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide adequate support.

CONCRETE

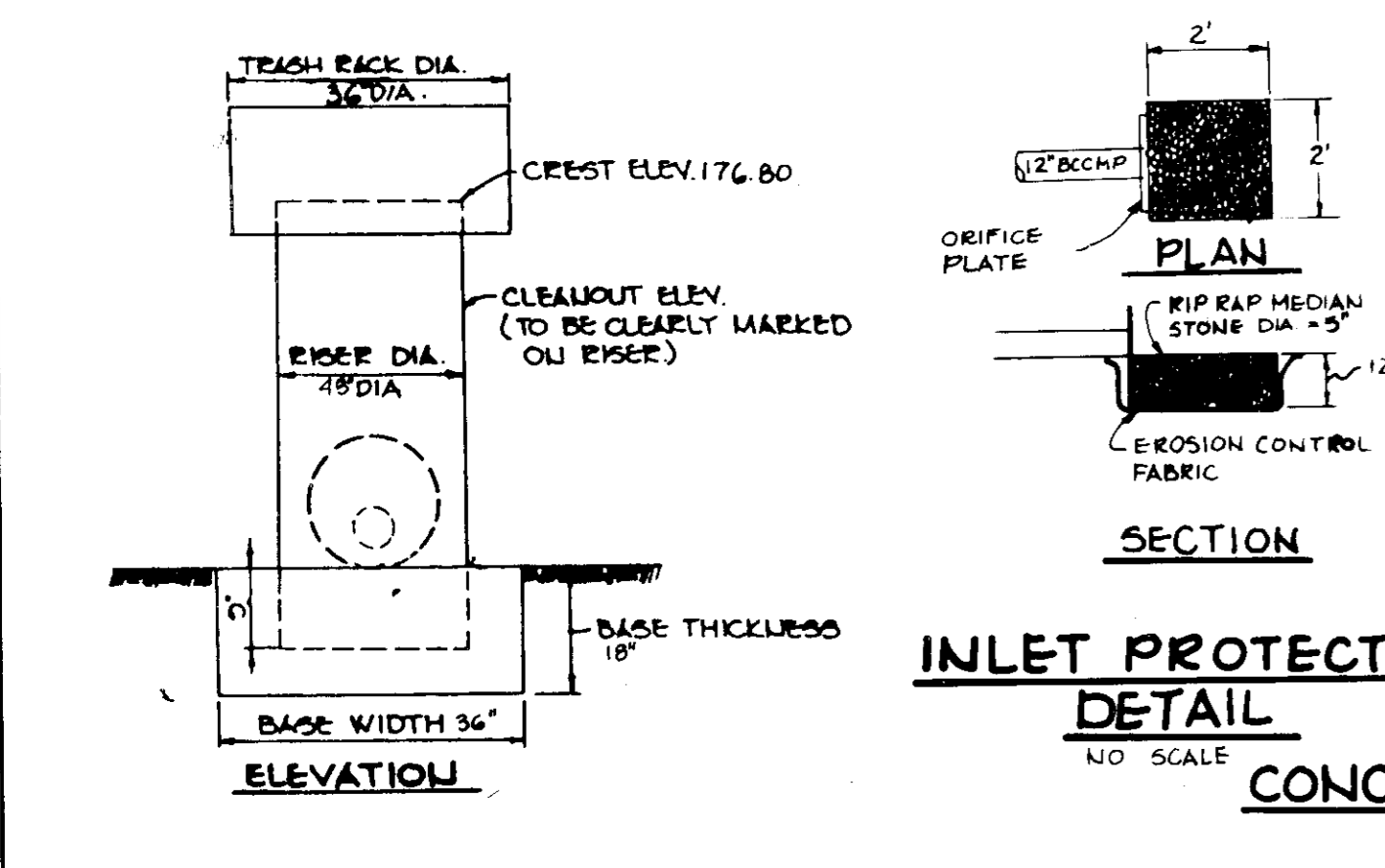
Material: 1. Cement - Normal Portland cement shall conform to the latest ASTM Specification C-150.
2. Water - The water used in concrete shall be clean, free from oil, acid, alkali, salts, organic matter or other objectionable substances.
3. Sand - The sand used in concrete shall be clean, hard, strong and durable, and shall be well graded with 100 percent passing through a No. 20 sieve and less than No. 40 sieve.
4. Coarse Aggregate - The coarse aggregate shall be clean, hard, strong and durable, and shall be well graded with 100 percent passing through a No. 20 sieve and less than No. 40 sieve. The maximum size of coarse aggregate shall be one-half (1/2) the minimum clear spacing between reinforcement bars.

SILT FENCE

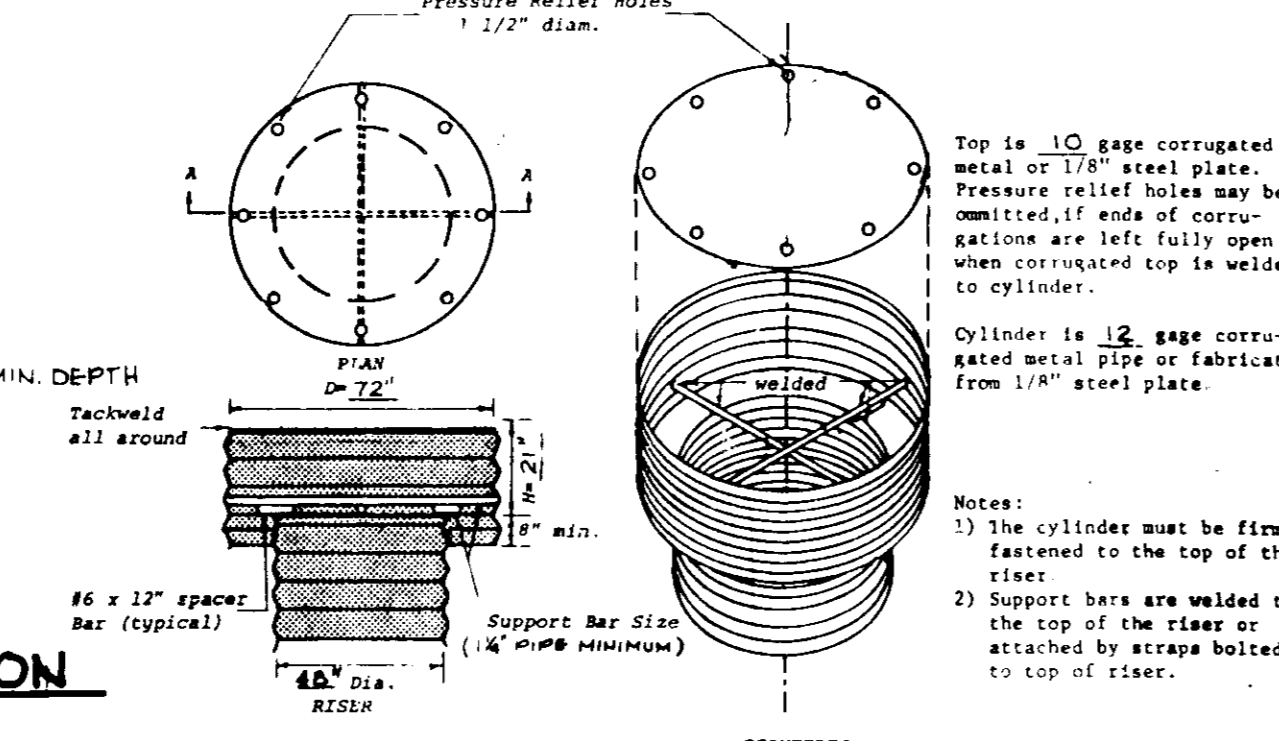
Material: The concrete ingredients shall be mixed in batch mixers until the mixture is homogeneous and of uniform consistency. The mixing of such batch mixers shall continue for not less than one and one-half (1 1/2) minutes after all the ingredients, except the full amount of water, have been introduced. The minimum mixing time is predicated on proper control of the speed of rotation of the mixer and of the introduction of the material, including water, into the mixer. Water shall be added prior to, during or after the mixing process.



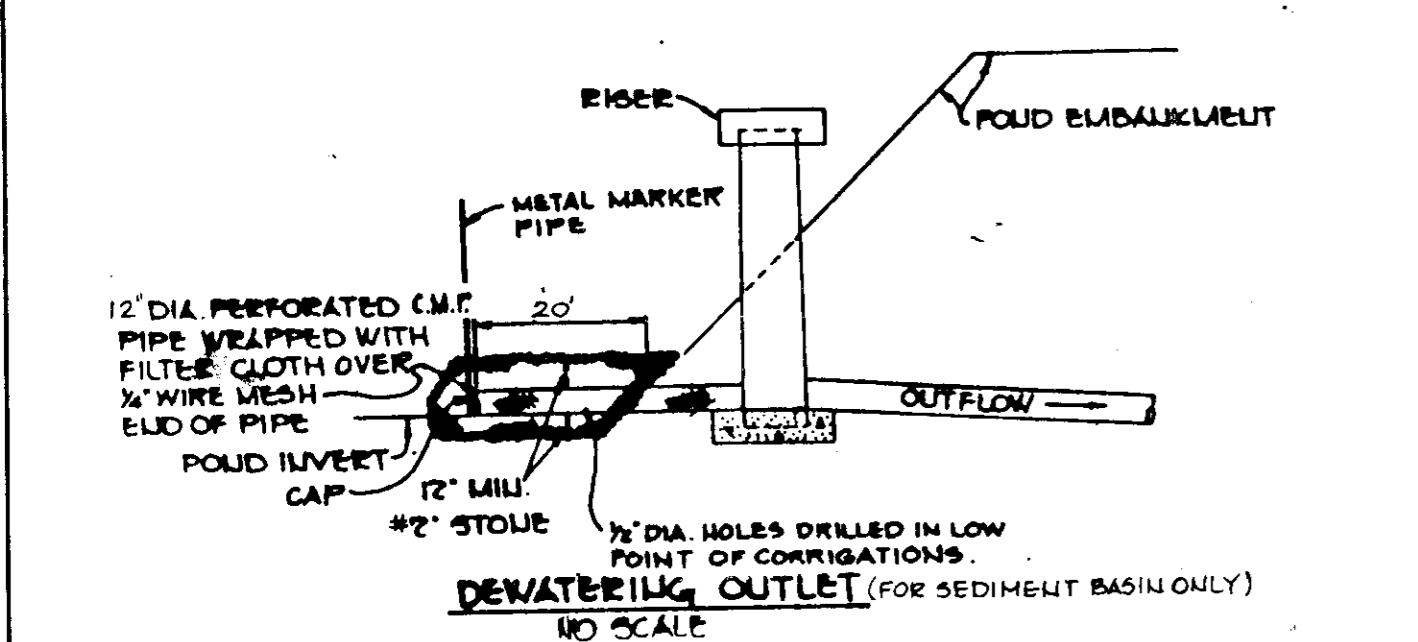
CORE TRENCH TYP. SECTION
NO SCALE



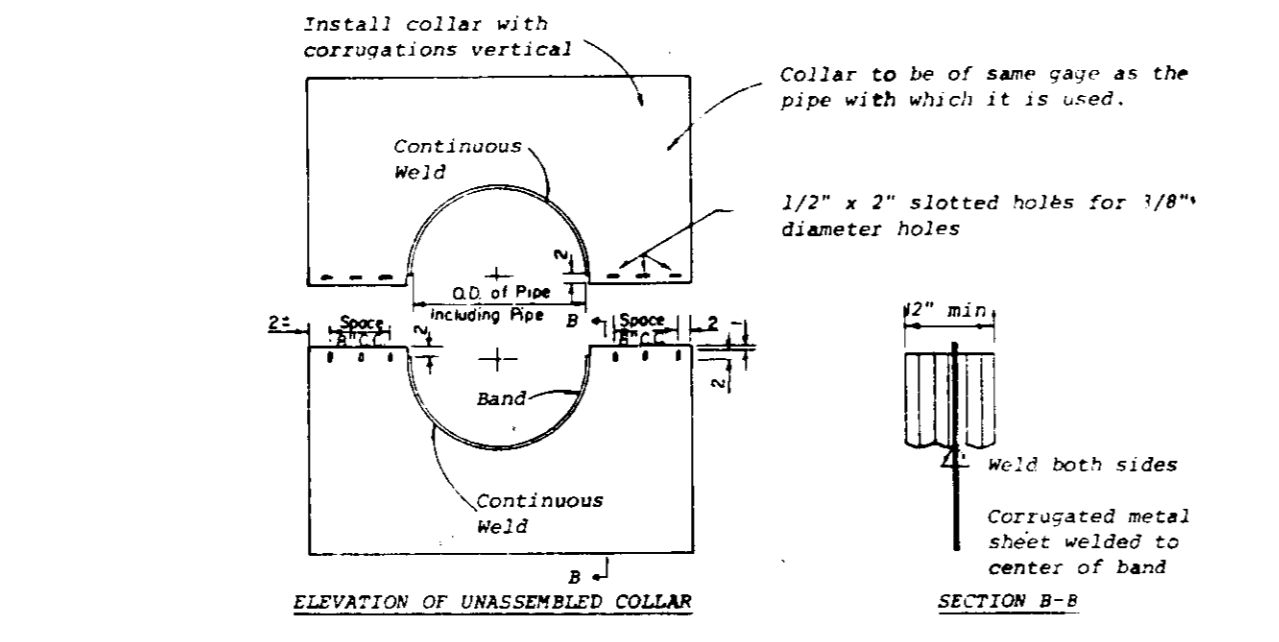
INLET PROTECTION DETAIL
NO SCALE



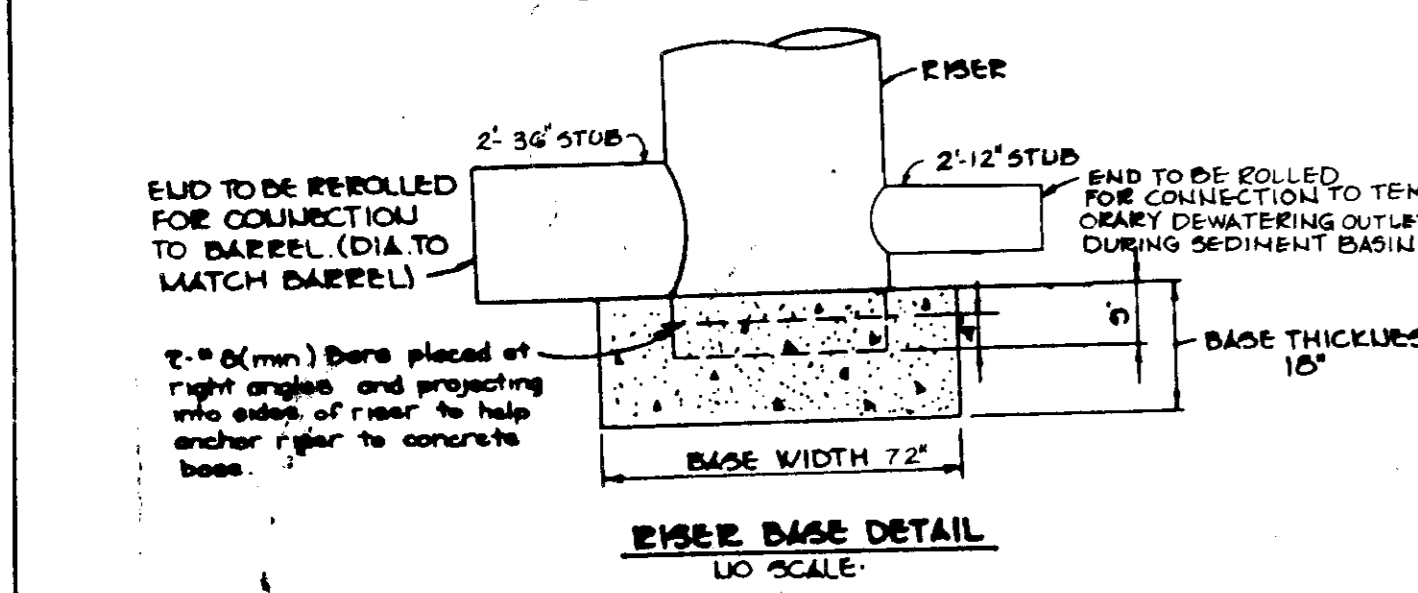
CONCENTRIC TRASH RACK AND ANTI-VORTEX DEVICE
NO SCALE



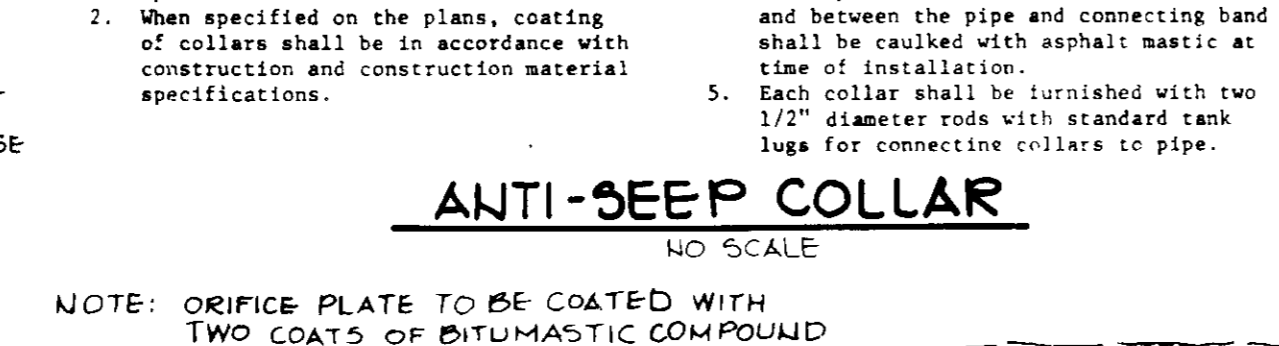
DEWATERING OUTLET
NO SCALE



ANTI-SEEP COLLAR
NO SCALE



RISER BASE DETAIL
NO SCALE



ORIFICE PLATE DETAIL
NO SCALE

DETAILS OF RISER FOR STORM WATER MANAGEMENT/SEDIMENT BASIN

NOTE: The concrete base shall be poured in such a manner to ensure that the concrete fills the bottom of the riser to the invert of the outlet pipe to prevent the riser from breaking away from the base.

DETAILS OF RISER FOR STORM WATER MANAGEMENT/SEDIMENT BASIN
NO SCALE

CONCRETE

Material: 1. Cement - Normal Portland cement shall conform to the latest ASTM Specification C-150.
2. Water - The water used in concrete shall be clean, free from oil, acid, alkali, salts, organic matter or other objectionable substances.
3. Sand - The sand used in concrete shall be clean, hard, strong and durable, and shall be well graded with 100 percent passing through a No. 20 sieve and less than No. 40 sieve.
4. Coarse Aggregate - The coarse aggregate shall be clean, hard, strong and durable, and shall be well graded with 100 percent passing through a No. 20 sieve and less than No. 40 sieve. The maximum size of coarse aggregate shall be one-half (1/2) the minimum clear spacing between reinforcement bars.

INSTALLATION

The concrete shall be mixed in the following proportions, measured by weight. The water-cement ratio shall be 3/4 to 1.0 gallons of water per 90 pounds bag of cement. The proportion of materials shall be adjusted to produce a plastic and workable mix that will not produce harshness in placing or honeycombing in the structure.

MIXING

The concrete ingredients shall be mixed in batch mixers until the mixture is homogeneous and of uniform consistency. The mixing of such batch mixers shall continue for not less than one and one-half (1 1/2) minutes after all the ingredients, except the full amount of water, have been introduced. The minimum mixing time is predicated on proper control of the speed of rotation of the mixer and of the introduction of the material, including water, into the mixer. Water shall be added prior to, during or after the mixing process.

CURING

The concrete shall be covered with a curing material immediately after placement. The curing material shall be applied in such a manner as to prevent evaporation of moisture from the surface of the concrete.

FINISHING

The concrete shall be finished immediately after curing. The finish shall be a smooth, finished surface. The concrete shall be cured for a minimum of 28 days before being subjected to traffic.

CONCRETE
NO SCALE

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

Seeding Preparation: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding.

Soil Amendments: Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft.) where soil is highly acidic; apply dolomitic limestone at the rate of 1 ton per acre.

Seeding: For periods March 1 thru April 30 and from August 1 thru November 15, seed with 100 lbs. per acre of annual ryegrass (1.2 lbs./1000 sq.ft.); for the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (1.0 lbs./1000 sq.ft.); for the period November 16 thru February 29, protect site by applying 2 tons per acre of well-anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq.ft.) of untreated small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 2 1/2 gal. per acre (5 gal./1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 300 gal. per acre (6 gal./1000 sq.ft.) for anchoring.

Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seeding Preparation: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding.

Soil Amendments: Apply 20-20-20 fertilizer at the rate of 400 lbs. per acre (8 lbs./1000 sq.ft.) of a mixture of certified "Merion" Kentucky bluegrass, common Kentucky bluegrass & 40 lbs. per acre (1 lb./1000 sq.ft.) of Red Fescue, Pennlawn or Jamestown & 40 lbs. per acre (0.5 lb./1000 sq.ft.) for the period May 1 thru July 31, and with 40-20-20 mix as specified above and 2 lbs. per acre (0.05 lbs./1000 sq.ft.) of weeping lovegrass. During the period of October 1 thru February 29, protect site by (Option 1) 2 tons per acre of well-anchored straw mulch and seed as soon as possible in the spring, (Option 2) Use sod. (Option 3) Seed with 40-40-20 mix specified above and mulch with 2 tons/acre well-anchored straw.

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Maintenance: Inspect all seeded areas and make needed repairs, replacements and reseedings.

SEEDING CONTROL NOTES

1. A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction (92-2437).

2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

3. Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 1:1; 7 calendar days as to all other disturbed or graded areas on the project site.

4. All sediment trapping basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.

5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding (Sec. 11) and (Sec. 54), temporary seeding (Sec. 30) and mulching (Sec. 12). Temporary stabilization with mulch alone cannot permit germination and establishment of grasses.

6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.

7. Site Analysis:

Total Area of Site	50 acres
Area to be roofed or paved	10 acres
Area to be vegetatively stabilized	40 acres
Total Cut	1000 Cu. Yds.
Total Fill	2000 Cu. Yds.
SOIL TYPE	SASANSFAS

8. Any sediment control practice which is disturbed by grading activity or placement of utilities must be repaired on the same day of disturbance.

9. Additional sediment controls must be provided, if deemed necessary by the Howard County DPW sediment control inspector.

10. Site grading will begin only after all perimeter sediment control measures have been installed and are in a functioning condition.

11. Sediment will be removed from traps when its depth reaches the clean out elevation shown on the plans.

CONCRETE

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CONCRETE
NO SCALE

BY THE DEVELOPER:

Arthur E. Muegge
DEVELOPER
DATE 1-4-86

BY THE ENGINEER:

Arthur E. Muegge
ENGINEER
ARTHUR E. MUEGGE
DATE - 30

REVIEWED FOR: HOWARD
NAME S.C.D.
AND MEETS TECHNICAL REQUIREMENTS
DATE 8-26-86
U.S. SOIL CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Stephen L. Fisher
HOWARD S.C.D.
DATE 8-20-86

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

John F. Boyd
HEALTH OFFICER
DATE 9-4-86

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

William Muegge
PLANNING DIRECTOR
DATE 9-5-86

Arthur E. Muegge
DATE 9-5-86

CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

Thomas F. Nemej
DIRECTOR
DATE 8-29-86

William E. Boyd
DATE 8-29-86
CHIEF, BUREAU OF ENGINEERING

DATE	NO	REVISION

OWNER / DEVELOPER

AMBERTON ASSOCIATES LIMITED PARTNERSHIP
015 GUILFORD ROAD
SUITE 110
COLUMBIA, MARYLAND 21046
LARRY GILBE
ROUSE AND ASSOCIATES

PROJECT FEATHERMAN BUILDING (OFFICE /WAREHOUSE)

AREA ROUTE ONE HUNDRED BUSINESS PARK
BLOCK B PARCELS PB 29, P 33 TAX MAP NO 37
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE STORM WATER MANAGEMENT AND SEDIMENT CONTROL NOTES & DETAILS

THE RIEMER GROUP, INC.
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm
3105 Health Park Drive, Ellicott City, Maryland 21043 (301) 461-2880

DATE 8-21-86

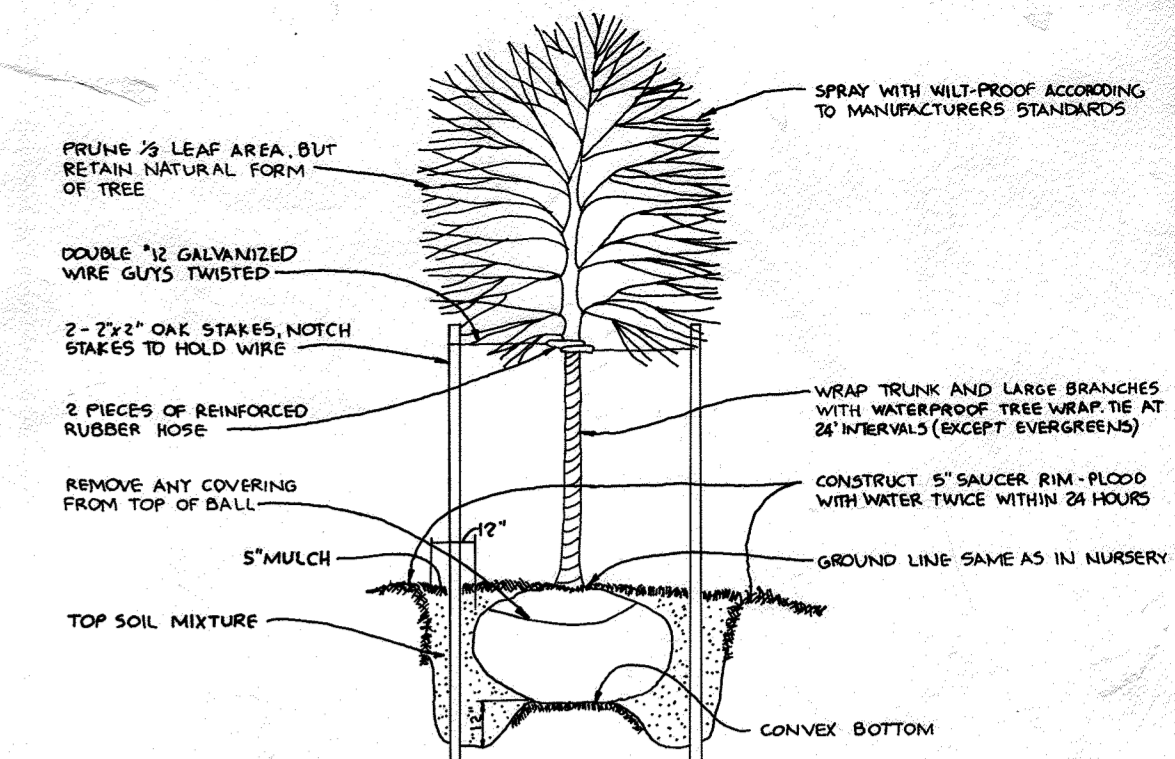
DESIGNED BY: D.A.M.
DRAWN BY: D.A.M.
PROJECT NO: 28300
DATE: 4-14-86
SCALE: AS SHOWN
DRAWING NO: 5 OF 6

Arthur E. Muegge
ARTHUR E. MUEGGE
DATE 6-24-86
DATE 7-1-86

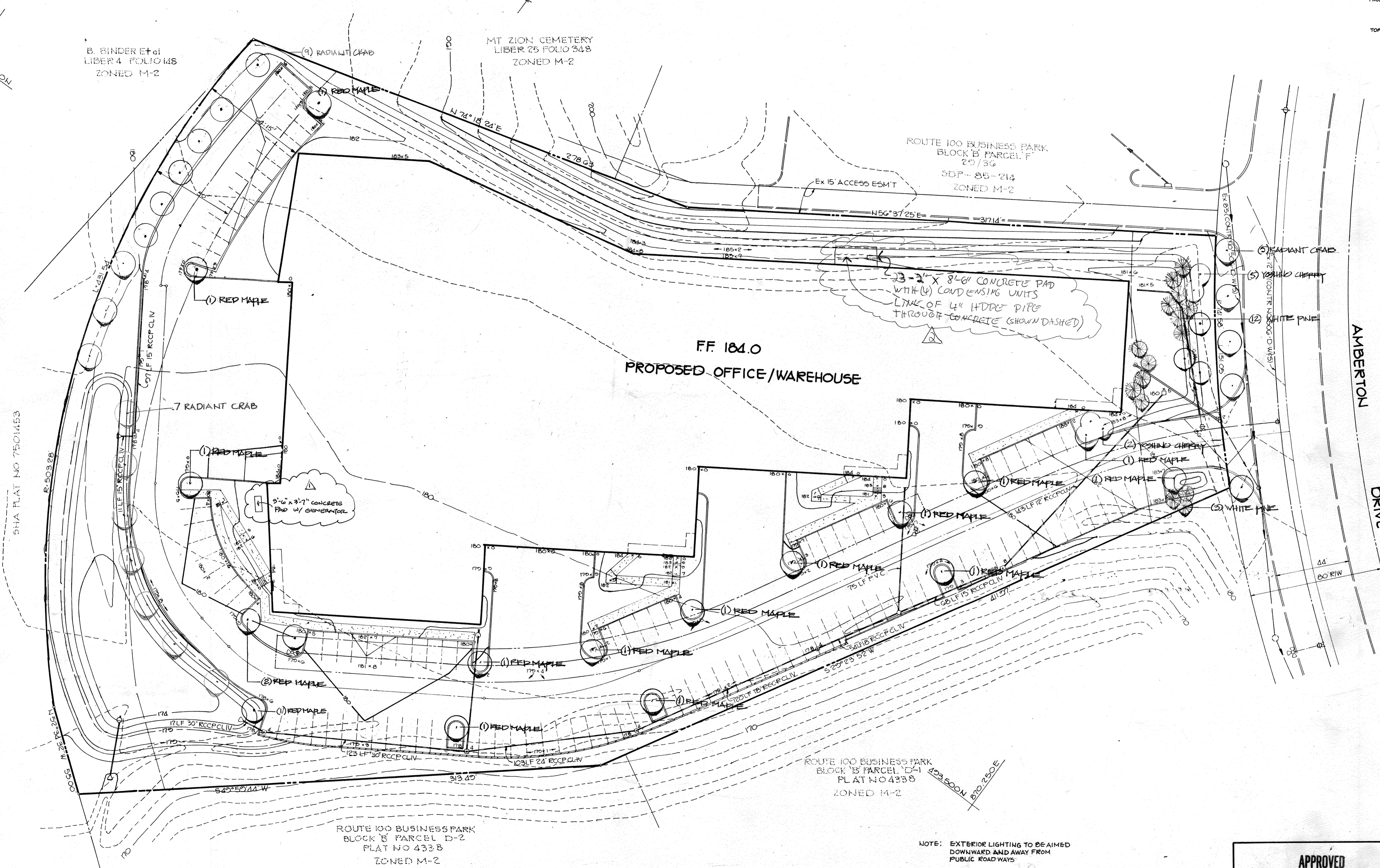
SDP-86-230 JUNE 3, 1986

PLANT LIST

QTY	COMMON NAME	LATIN NAME	SIZE
21	RADIANT CRAB	MALLUS RADIANT	2 1/2 - 3' CAL
17	ACER RUBRUM	RED MAPLE	2 1/2 - 3' CAL
7	YOSHINO CHERRY	PRUNUS YELCOENSIS	1 - 1 1/2' CAL
15	WHITE PINE	PINUS STROBUS	6 - 8' HGT



TREE PLANTING DETAIL
NO SCALE



CONCRETE PAD WITH (4) CONDENSING UNITS 5/27/22
GENERATOR PAD 1-19-17

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,
HOWARD COUNTY HEALTH DEPARTMENT.
Joseph Boyles 9-4-86
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.
John M. Schuman 9-5-86
PLANNING DIRECTOR DATE
ACTING Sam F. Dora 9-5-86
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Shirley F. Nemejny 8-29-86
DIRECTOR DATE
William S. Riley 8-28-86
CHIEF, BUREAU OF ENGINEERING DATE

5/27/22 (CONCRETE PAD WITH (4) CONDENSING UNITS)
DATE NO REVISION

OWNER/DEVELOPER
AMBERTON ASSOCIATES LIMITED PARTNERSHIP
3145 GUILFORD ROAD
SUITE 110
COLUMBIA, MARYLAND 21046
% LARRY GILDEA
ROUSE AND ASSOCIATES

PROJECT FEATHERMAN BUILDING
(OFFICE / WAREHOUSE)

AREA ROUTE ONE HUNDRED BUSINESS PARK
BLOCK B PARCEL F, PB 20, F 83 TAX MAP NO 37
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE: **PLANTING PLAN**
PREPARED BY GREENSPACE, INC.

THE RIEMER GROUP, INC.
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm
3105 Health Park Drive, Ellicott City, Maryland 21043 (301) 481-2690

APPROVED
DIVISION OF LAND DEVELOPMENT &
ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE **6-24-86**
MA 1/70

	DESIGNED BY: D.A.M.
	DRAWN BY: R.L.H.
	PROJECT NO: 28300
	DATE: 4-14-86
	SCALE: 1"=30'
DRAWING NO. <u>6</u> OF <u>6</u>	