

SHARED PARKING ADJUSTMENT CHART - BASED ON PERMITTED REGULATIONS IN OFF-STREET PARKING REQUIREMENTS

USE	WEEKEND		WEEKDAY		NIGHTTIME	
	SPACES REQUIRED PER ZONING	MAXIMUM PER ZONING	WEEKEND PERCENTAGE	WEEKDAY PERCENTAGE	NIGHTTIME PERCENTAGE	WEEKDAY PERCENTAGE
RESTAURANT - 3,000 SF 14 SPACES/1,000 SF	55 SPACES	26 SPACES	80%	80%	10%	10%
OFFICE/STORAGE - 1,000 SF OFFICE: 3.3 SPACES/1,000 SF STORAGE: 0.75 SPACES/1,000 SF	4 SPACES	4 SPACES	100%	100%	10%	10%
NAIL SPA - 1,000 SF 3.3 SPACES/1,000 SF	7 SPACES	8 SPACES	80%	80%	10%	10%
TOTAL REQUIRED PARKING = 80 SPACES	40 SPACES	51 SPACES	51 SPACES	60 SPACES	19 SPACES	60 SPACES
TOTAL PROVIDED PARKING = 81 SPACES	81 SPACES	81 SPACES	81 SPACES	81 SPACES	81 SPACES	81 SPACES

NOTE: THE RESTAURANT "RETAIL" USE PERCENTAGES FOR THE SHARED PARKING ADJUSTMENT CHART, ZONING REGULATIONS SECTION 193.01E. THE NAIL SPA USE PERCENTAGES FOR THE SHARED PARKING ADJUSTMENT CHART, ZONING REGULATIONS SECTION 193.01E. DANCE STUDIO - UTILIZING "COMMERCIAL RECREATION" USE PERCENTAGES FOR THE SHARED PARKING ADJUSTMENT CHART, ZONING REGULATIONS SECTION 193.01E.

3800 TEN OAKS ROAD PROPERTY (SPP. 86-222) PARKING TABULATION

RESTAURANT PARKED AT 14 SPACES/1,000 SQ. FT. x 3,000 SQ. FT. = 55 SPACES
OFFICE/STORAGE PARKED AS FOLLOWS
OFFICE PARKED AT 3.3 SPACES/1,000 SQ. FT. x 400 SQ. FT. = 2 SPACES
STORAGE PARKED AT 0.75 SPACES/1,000 SQ. FT. x 1,500 SQ. FT. = 2 SPACES
DAYCARE PARKED AT 3.3 SPACES/1,000 SQ. FT. x 1,700 SQ. FT. = 6 SPACES
NAIL SPA PARKED AT 3.3 SPACES/1,000 SQ. FT. x 1,000 SQ. FT. = 7 SPACES
TOTAL REQUIRED SPACES = 80 SPACES

TOTAL SPACES PROVIDED = 81 SPACES
65 REGULAR SPACES
9 HANDICAP SPACES
19 PARALLEL SPACES

NOTE: THE RETAIL NURSERY LOCATED WITHIN THE PERMITTED 18,000 SQUARE FOOT STORAGE YARD HAS PARKING INTERNAL TO PERMITTED AREA FOR THEIR USE. THE RETAIL NURSERY IS OPEN TO THE PUBLIC FOR PERSONAL SALES OF PLANTS AND FLOWERS ON SUNDAY MORNING BETWEEN 8:00 A.M. AND NOON. THIS RETAIL ACTIVITY OCCURS BETWEEN APRIL 1ST AND OCTOBER 31ST OF EACH YEAR. NO PARKING SPACES ARE UTILIZED IN THE SHOPPING CENTER'S PARKING LOT.
SEE SHARED PARKING ADJUSTMENT CHART FOR REQUIRED PARKING.

CONTINUATION OF SHARED PARKING ADJUSTMENT CHART ABOVE:

DAYCARE - 1,720 SF 3 SPACES/1,000 SF	6 SPACES	100%	100%	100%	100%	1 SPACE	1 SPACE	1 SPACE	1 SPACE
DANCE STUDIO - 1,740 SF 10 SPACES/1,000 SF	10 SPACES	8 SPACES	8 SPACES	8 SPACES	8 SPACES	18 SPACES	15 SPACES	18 SPACES	2 SPACES

BUILDING PROFILE NOT TO SCALE

NO.	DATE	REVISIONS
1	3/10/2023	RELOCATED ACTIVITY AREA AND DUMPSTER PAD LOCATION, REMOVED PARKING SPACE AND UPDATED SHARED PARKING ADJUSTMENT CHART
2	12/05/2022	UPDATED SHARED PARKING ADJUSTMENT CHART, AND PLAN VIEWER CHANGE IN USE.
1	11/26/07	CHANGE IN USE FROM RETAIL TO RESTAURANT.
2	7/05/14	IDENTIFY CURRENT TRENCHES AND PROVIDE SPACES AND TAX PARCEL IN TITLE BLOCK
3	11/31/17	ADD DUMPSTER PAD, SHOW SEPTIC LAYOUT PER HEALTH DEPARTMENT RECORDS, & SHOW DRIVEWAY TO PARCEL 5-A PER APPROVED SPP-22-22
4	5/11/18	REVISE HC ACCESS, SEPTIC SYSTEM DATA NOTE AND TREE LOCATION

PARCEL NOS.	STREET ADDRESS
3304368	3800 TEN OAKS ROAD

LANDSCAPE LEGEND

9	PIN OAK (QUERCUS PALUSTRIS) @ 30' O/C (MIN.) 2"-1 1/2" - 3" CALIPER (MIN.) 12' TO 14' HT. (MIN.)
10	JAPANESE/CHINESE DOGWOOD (CORNUS KOUSA) 2"-2 1/2" CALIPER (MIN.) 8' TO 10' HT. (MIN.)
39	SPREADING EUONYMUS (EUONYMUS KIAUTSCHOWICHA) 2"-2 1/2" HT. (MIN.) @ 4' O/C STAGGERED (MAX.)
111	WHITE PINE (PINUS STROBUS) @ 10' O/C STAGGERED (MIN.) 2"-2 1/2" CALIPER (MIN.) 6' TO 8' HT. (MIN.)

SEPTIC SYSTEM DATA

TRENCH 1-1987 (100' LONG, 3' WIDE)
EXISTING GRADE OVER TRENCH: 610.00
FINISHED GRADE OVER TRENCH: 610.00
INVERT @ PERFORATED PIPE: 610.00
BOTTOM TRENCH: 614.00

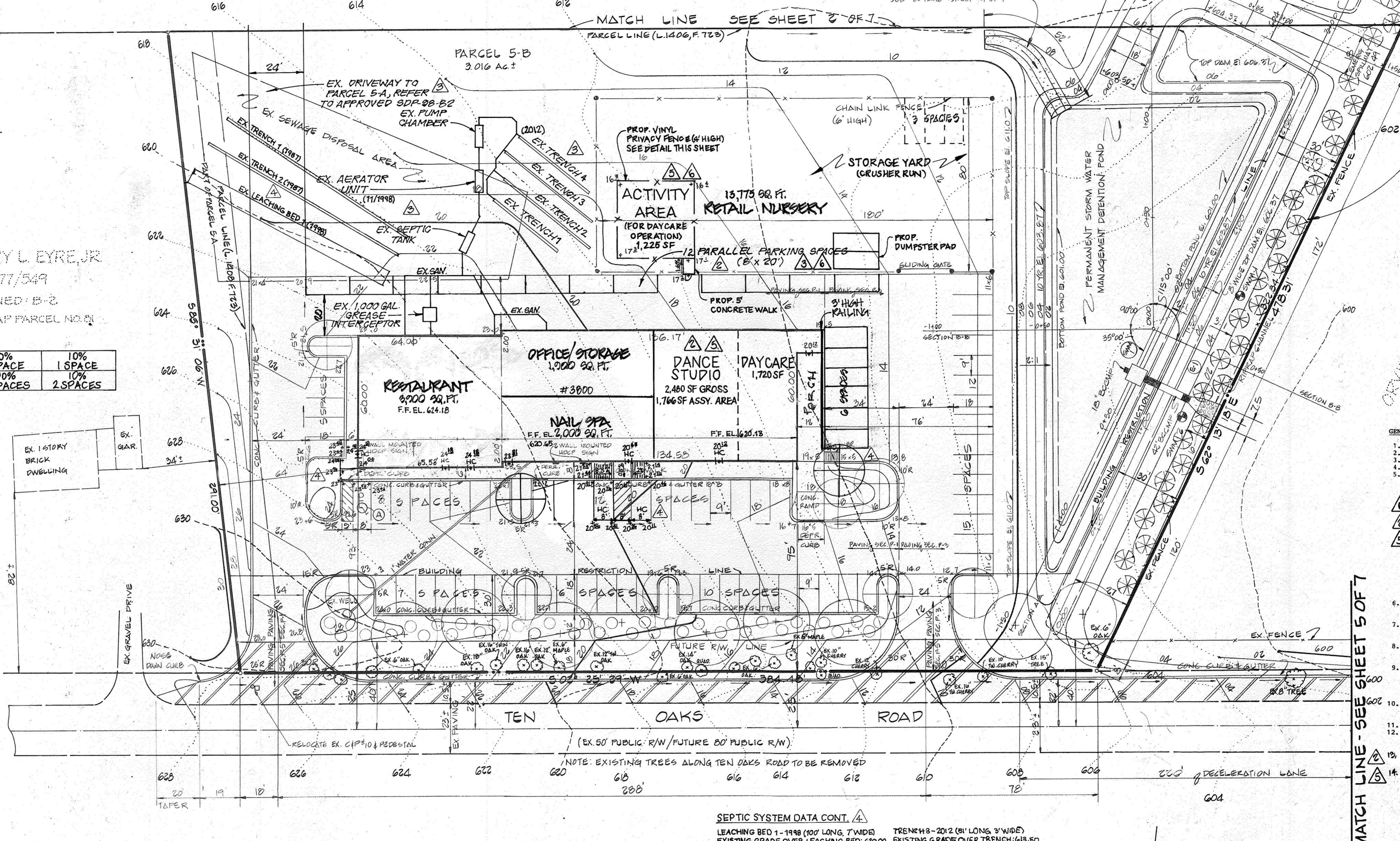
TRENCH 2-1987 (100' LONG, 3' WIDE)
EXISTING GRADE OVER TRENCH: 610.00
FINISHED GRADE OVER TRENCH: 610.00
INVERT @ PERFORATED PIPE: 614.50
BOTTOM TRENCH: 613.00

PARCEL 5-A

DESIGN SUMMARY
DESIGN STORM ALLOWABLE RELEASE RATE FACILITY INFLOW FACILITY DISCHARGE WATER SURFACE ELEVATION STORAGE VOLUME (AC. FT.)
2 YEAR 12.4 cfs 25.6 cfs 10.7 cfs 603.34 0.49 AC. FT.
10 YEAR 33.0 cfs 46.2 cfs 34.3 cfs * 603.87 0.65 AC. FT.
100 YEAR --- cfs 96.7 cfs 96.7 cfs 604.43 0.83 AC. FT.

STRUCTURE CLASSIFICATION: "A"
STORAGE-HEIGHT PRODUCT: 2.8 < 3,000
WATERSHED AREA TO FACILITY (ACRES): 8.214 AC. + (2 YEAR AND 10 YEAR)/23.574 AC. + (100 YEAR)
LEVEL OF MANAGEMENT PROVIDED BY FACILITY: 2 YEAR AND 10 YEAR

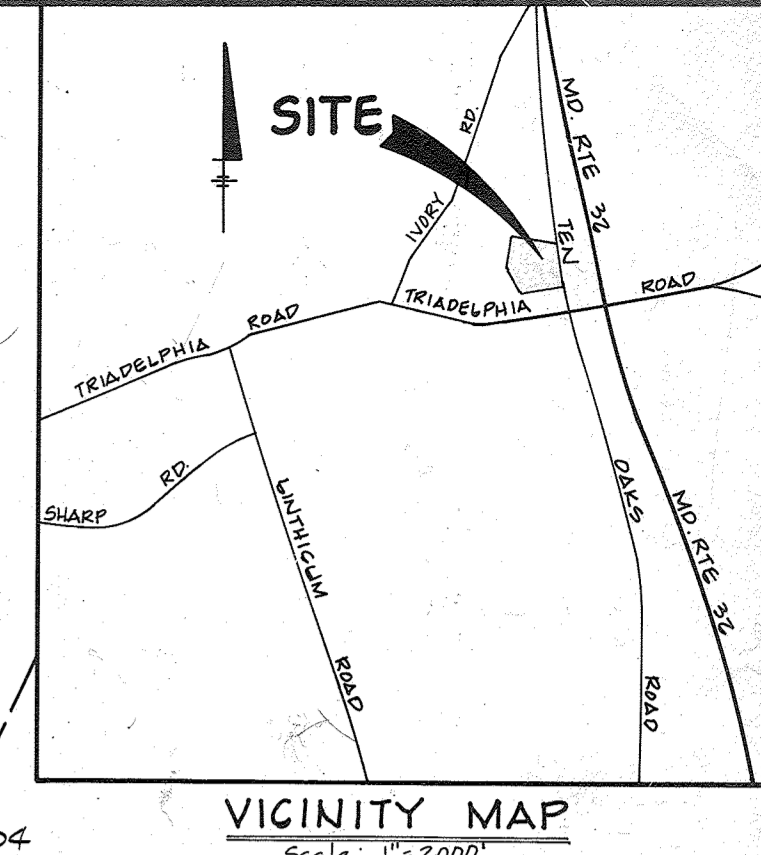
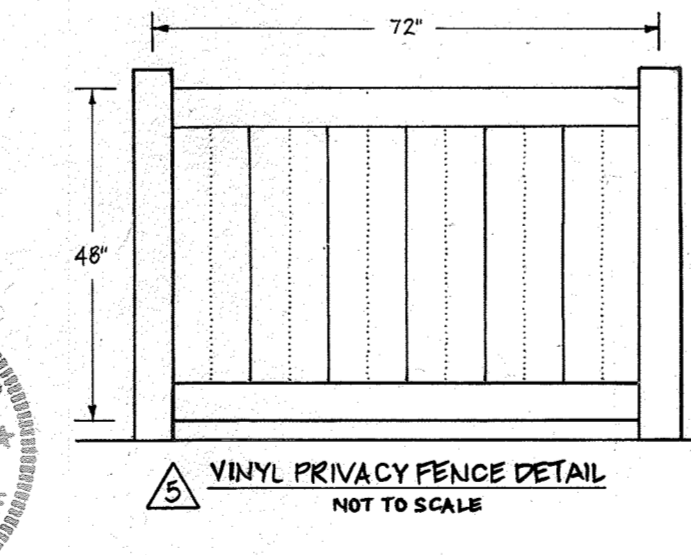
HAZARD CLASS STATEMENT: THIS STORMWATER MANAGEMENT POND IS CLASSIFIED AS A CLASS "A" STRUCTURE. THE POND IS LOCATED IN A COMMERCIAL AREA WITH A RURAL (RESIDENTIAL AND AGRICULTURAL) AREA DOWNSTREAM OF THE OUTFALL. BASED ON THE SUPPORTING TOPOGRAPHY SHOWN ON SHEET 5 OF 7, A SUDDEN BREACH OF THE DAM MAY DAMAGE NON-RESIDENT OUT BUILDINGS, AGRICULTURAL LAND, FLOODPLAIN AND A COUNTY ROAD.



SITE PLAN SCALE: 1" = 30'

SEPTIC SYSTEM DATA CONT.

TRENCH 3-1987 (100' LONG, 3' WIDE) EXISTING GRADE OVER TRENCH: 620.00 FINISHED GRADE OVER TRENCH: 620.00 INVERT @ PERFORATED PIPE: 614.50 BOTTOM LEACHING BED: 625.00	TRENCH 4-2012 (81' LONG, 3' WIDE) EXISTING GRADE OVER TRENCH: 615.00 FINISHED GRADE OVER TRENCH: 615.00 INVERT @ PERFORATED PIPE: 610.00 BOTTOM LEACHING BED: 615.00	TRENCH 5-2012 (81' LONG, 3' WIDE) EXISTING GRADE OVER TRENCH: 615.00 FINISHED GRADE OVER TRENCH: 615.00 INVERT @ PERFORATED PIPE: 610.00 BOTTOM LEACHING BED: 615.00	TRENCH 6-2012 (81' LONG, 3' WIDE) EXISTING GRADE OVER TRENCH: 615.00 FINISHED GRADE OVER TRENCH: 615.00 INVERT @ PERFORATED PIPE: 610.00 BOTTOM LEACHING BED: 615.00
---	--	--	--



- GENERAL NOTES:
- TOTAL AREA OF PROPERTY: 7.214 AC. +
 - PRESENT ZONING: B-2 (BUSINESS-GENERAL)
 - PROPERTY IS RECORDED AS LITERS 1406, FOLIO 723
 - PROPERTY IS SHOWN ON TAX MAP 22, PARCELS 330 AND 368.
 - PARKING DATA:
 - A. INTENDED USE OF STRUCTURE: RETAIL SALES
 - B. TOTAL AREA OF BUILDING: 12,000 S.F. OR 0.281 (4% COVERAGE)
 - C. TOTAL NUMBER OF SPACES REQUIRED: 80 SPACES (SEE SHARED PARKING ADJUSTMENT CHART ON THIS SHEET)
 - D. TOTAL NUMBER OF SPACES PROVIDED: 81 SPACES
 - 1) REGULAR SPACES (6' X 20'): 65
 - 2) HANDICAP SPACES (8' X 20'): 6
 - 3) PARALLEL SPACES (6' X 20'): 10
 - E. OPEN SPACE (GREEN AREA):
 - 1) OPEN SPACE REQUIRED (20% MIN.): 1.44 AC. +
 - 2) OPEN SPACE PROVIDED: 6.11 AC. + (85%)
 - F. LANDSCAPED ISLANDS:
 - 1) TOTAL AREA OF PARKING LOT: 0.92 AC. + OR 39,975 S.F.
 - 2) LANDSCAPED ISLANDS PROVIDED (54): 2,000 S.F.
 - 3) LANDSCAPED ISLANDS PROVIDED: 3,675 S.F. (19%)
 - THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY CONSTRUCTION INSPECTION/PERITS DIVISION 24 HOURS PRIOR TO COMMENCEMENT OF WORK AT 952-2437.
 - HANDICAPPED FACILITIES TO BE CONSTRUCTED IN ACCORDANCE WITH THE "DESIGN OF BARRIER FREE FACILITIES" AND THE "MARYLAND BUILDING CODE FOR THE HANDICAPPED AND AGED".
 - ALL PAVING AND STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY ROAD CONSTRUCTION CODE AND STANDARD SPECIFICATIONS.
 - EXISTING UTILITIES SHOWN HEREBY HAVE BEEN LOCATED FROM FIELD AND OFFICE INFORMATION. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF EXISTING UTILITIES TO HIS OWN SATISFACTION BEFORE MAKING ANY CONNECTION THERETO OR EXCAVATING IN THE AREA THEREOF.
 - THE CONTRACTOR SHALL NOTIFY MISS UTILITY 559-0100 A MINIMUM NUMBER OF DAYS PRIOR TO BEGINNING ANY CONSTRUCTION SHOWN HEREBY.
 - SEE ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS.
 - ALL EXTERIOR LIGHTING SHALL BE DIRECTED/SHIELDED AWAY FROM ADJACENT RESIDENTIALLY ZONED PROPERTIES AND PUBLIC ROAD RIGHT-OF-WAYS.
 - FOR PARKING REQUIREMENTS AND PERMITTED REGULATION IN OFF STREET PARKING, SEE THE SHARED PARKING ADJUSTMENT CHART ON THIS SHEET.
 - THE TRAFFIC STUDY FOR THE CHANGE IN USE AT THE EDWARDS J. GROSS PROPERTY WAS PREPARED BY MARS GROUP INC. ON DECEMBER 2, 2022, AND WAS APPROVED BY THE HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING DEVELOPMENT ENGINEERING DIVISION ON DECEMBER 19, 2022.
 - BASED ON THE DATA AND ANALYSIS PRESENTED IN THE TRAFFIC STUDY FOR THE EDWARDS J. GROSS PROPERTY IT WAS DETERMINED THAT THE PROPOSED CHANGE IN USE CAN BE ADEQUATELY ACCOMMODATED BY THE SURROUNDING AREA ROAD SYSTEM.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERS & LAND SURVEYORS
8388 COURT AVENUE
ELLCOTT CITY, MARYLAND 21043
(301) 461-2855

ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD COUNTY CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

DATE: 4/15/86
SIGNATURE OF ENGINEER: [Signature]

STORM WATER MANAGEMENT POND CERTIFICATION AND APPROVAL
DEVELOPER'S CERTIFICATE
I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I WILL PROVIDE THE HOWARD COUNTY CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

DATE: 4/15/86
SIGNATURE OF DEVELOPER: [Signature]

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT.

DATE: 10-3-86
SIGNATURE: [Signature]

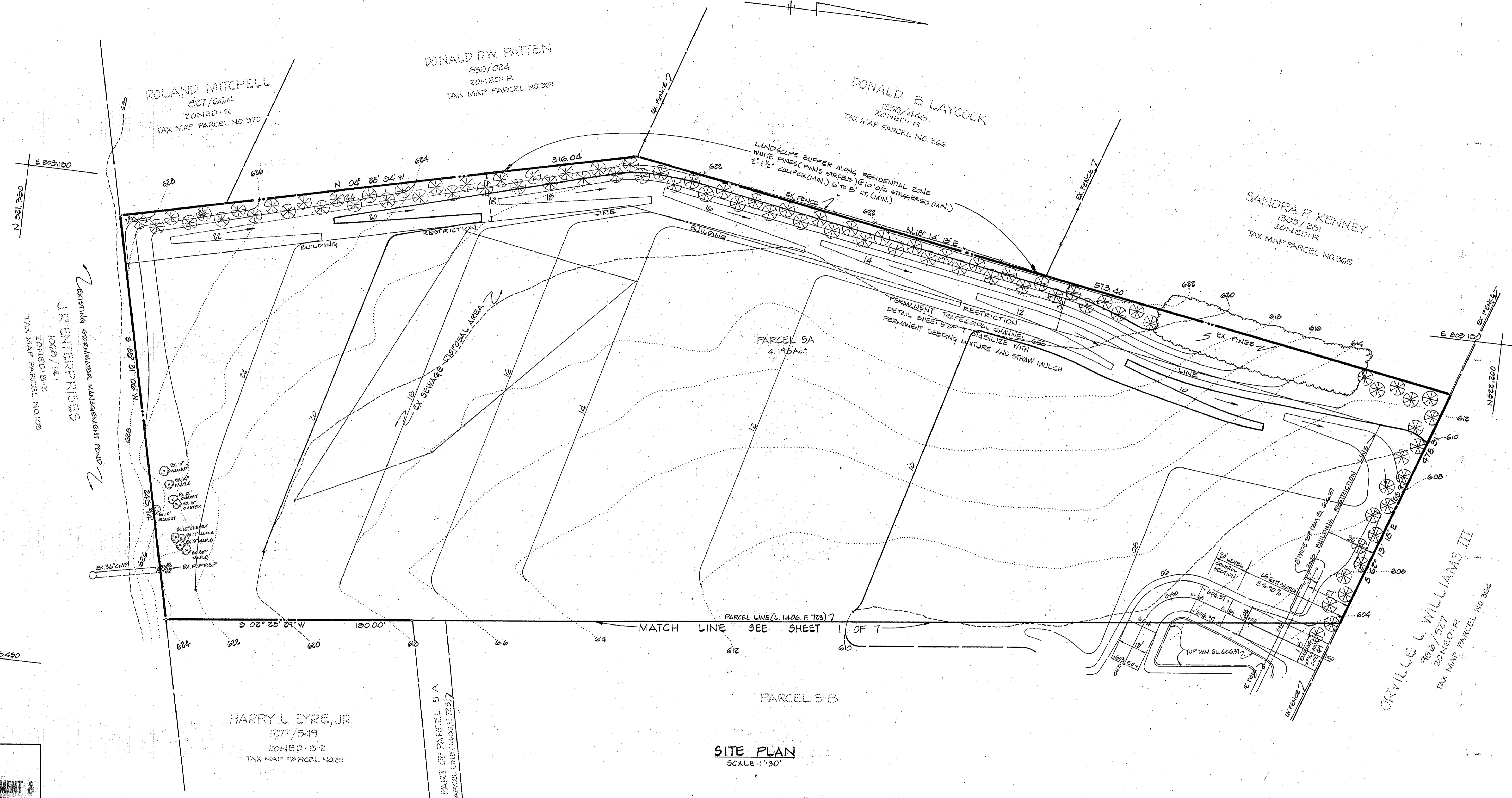
APPROVED: OFFICE OF PLANNING AND ZONING
PLANNING DIRECTOR: [Signature] DATE: 10-15-86
CHIEF, DIVISION OF LAND DEVELOPMENT: [Signature] DATE: 10-15-86
AND ZONING ADMINISTRATION

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PRIVATE WATER AND SEWERAGE SYSTEMS
HEALTH OFFICER: [Signature] DATE: 10-14-86

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR STORM DRAINAGE SYSTEMS AND ROADS.
DIRECTOR PUBLIC WORKS: [Signature] DATE: 10-1-86
CHIEF, BUREAU OF ENGINEERING: [Signature] DATE: 10-1-86

PROPERTY OF: EDWARDS J. GROSS
SECTION/AREA: 3304368
PARCEL NOS.: 3304368
L.F. BLOCK NO. ZONE TAX/ZONE ELEC. DIST. CENSUS TR. WATER CODE SEWER CODE
1406/123 14 B-2 22 352 6032

SITE DEVELOPMENT PLAN
PROPERTY OF EDWARD J. GROSS
PARCEL 5A+5B
TAX MAP 22 PARCEL NO. 308
3RD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 30' APRIL 11, 1986
REVISED: SEPTEMBER 12, 1986
SHEET 1 OF 7



SITE PLAN
SCALE: 1"=30'

APPROVED
DIVISION OF LAND DEVELOPMENT &
ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 8-29-86



OWNER/DEVELOPER
DAVID W. HARRIS, ET AL
1420 BURNTWOODS ROAD
GLENWOOD, MARYLAND 21730-9021
410-707-9410

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERS & LAND SURVEYORS
8388 COURT AVENUE
ELLICOTT CITY, MARYLAND 21043
(301)461-2855

ENGINEER'S CERTIFICATE
"I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."

Signature: *Edward J. Gross* DATE: 4/15/86

STORM WATER MANAGEMENT POND CERTIFICATION AND APPROVAL
DEVELOPER'S CERTIFICATE
"I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN AS-BUILT PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."

Signature: *Edward J. Gross* DATE: 4/15/86

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: *Clark W. Zickler* DATE: 10-3-86
HOWARD SOIL CONSERVATION DISTRICT

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

Signature: *James M. Hahn* DATE: 10-3-86
SOIL CONSERVATION SERVICE

APPROVED: OFFICE OF PLANNING AND ZONING

Signature: *John W. MacArthur* DATE: 10-15-86
PLANNING DIRECTOR

Signature: *John W. MacArthur* DATE: 10-15-86
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PRIVATE WATER AND SEWERAGE SYSTEMS

Signature: *James M. Hahn* DATE: 10-14-86
HEALTH OFFICER

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR STORM DRAINAGE SYSTEMS AND ROADS.

Signature: *Edward J. Gross* DATE: 10-8-86
DIRECTOR, PUBLIC WORKS

Signature: *Edward J. Gross* DATE: 10-8-86
CHIEF, BUREAU OF ENGINEERING

PROPERTY OF	SECTION/AREA	PARCEL NOS.
EDWARD J. GROSS		300+36B
L.F.	BLOCK NO.	ZONE
1406/723	14	B-2
WATER CODE	TAX/ZONE	ELEC. DIST.
	22	3RD
		CENSUS TR.
		6030
		SEWER CODE

SITE DEVELOPMENT PLAN

PROPERTY OF
EDWARD J. GROSS
PARCEL 5A+5B

TAX MAP 22 PARCEL NO. 36B

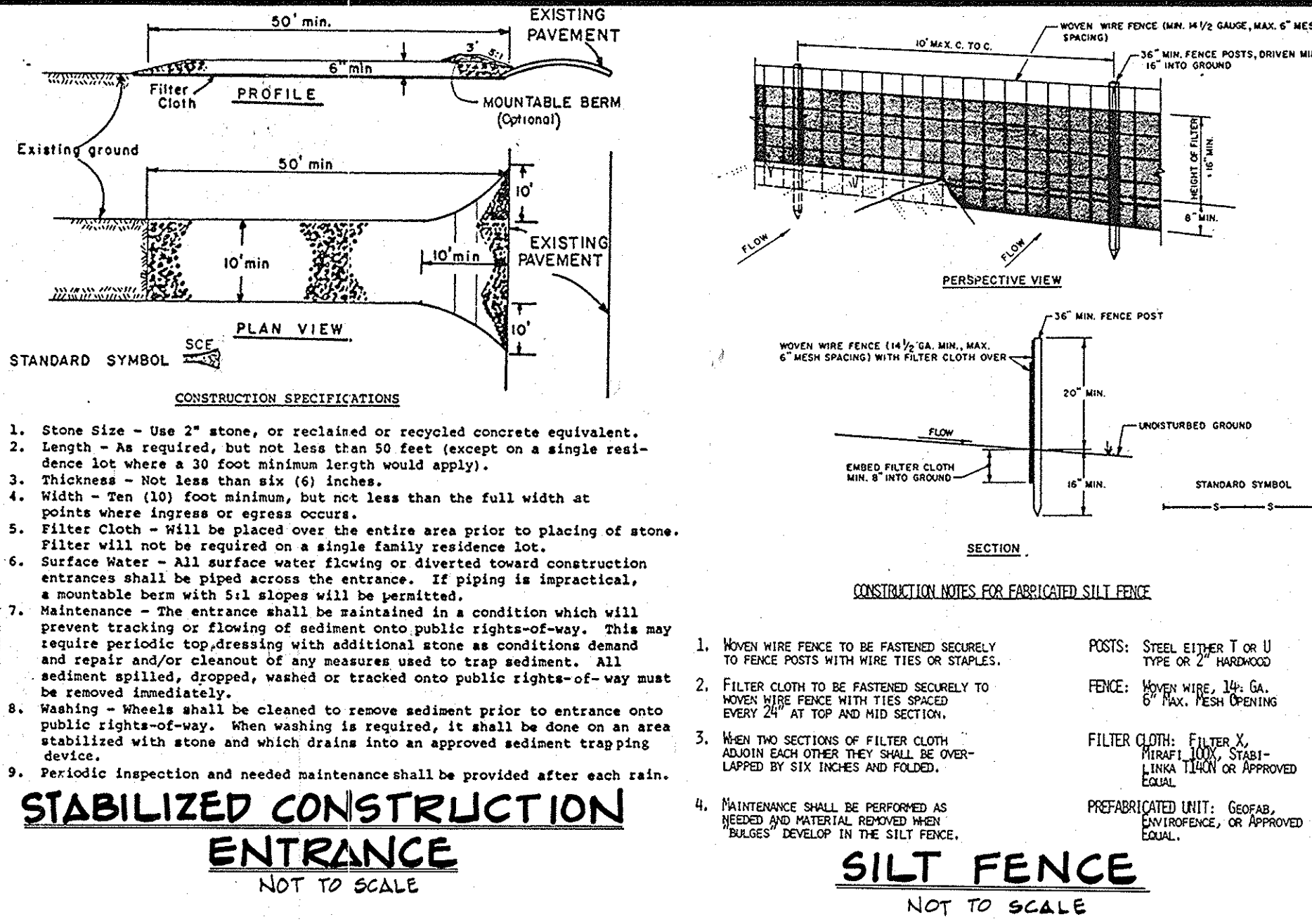
3RD ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE: 1"=30'
APRIL 11, 1986
REVISED: SEPTEMBER 17, 1986
SHEET 2 OF 7

PERMANENT SEEDING NOTES:
 APPLY TO GRADED OR CLEARED AREA NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.
SEED PREPARATION: LOOSEN UPPER THREE-INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING.
SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULE.

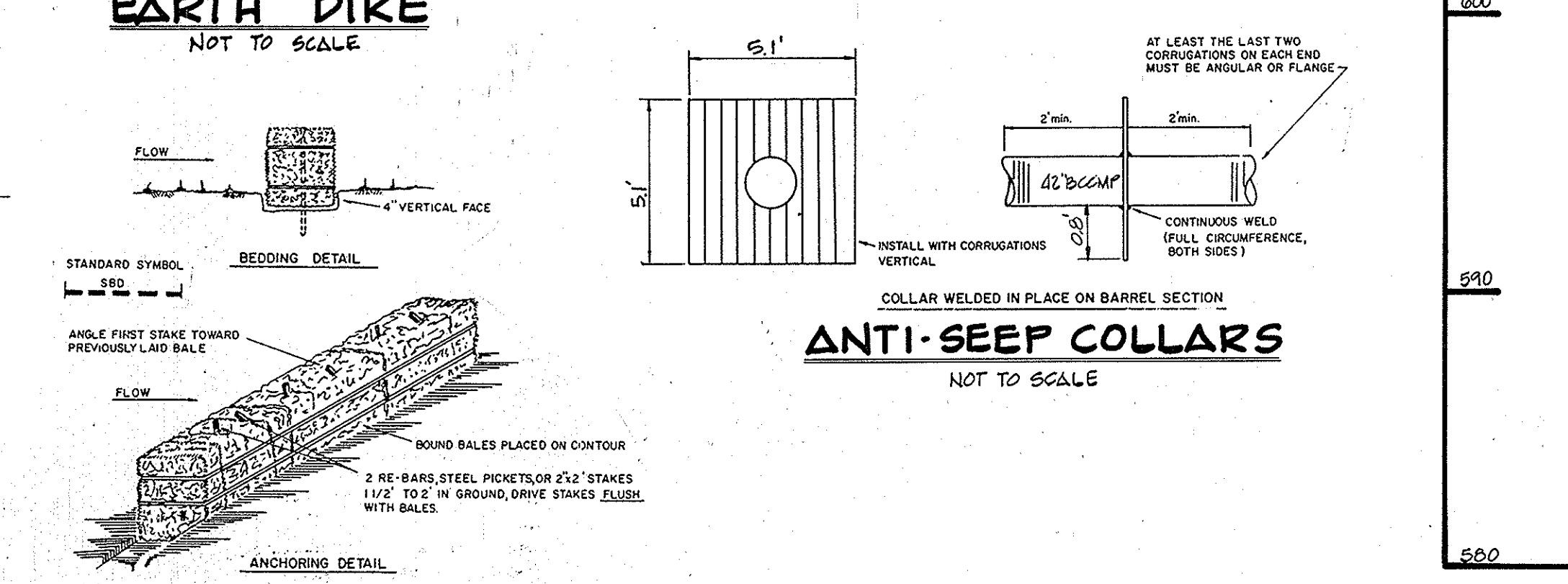
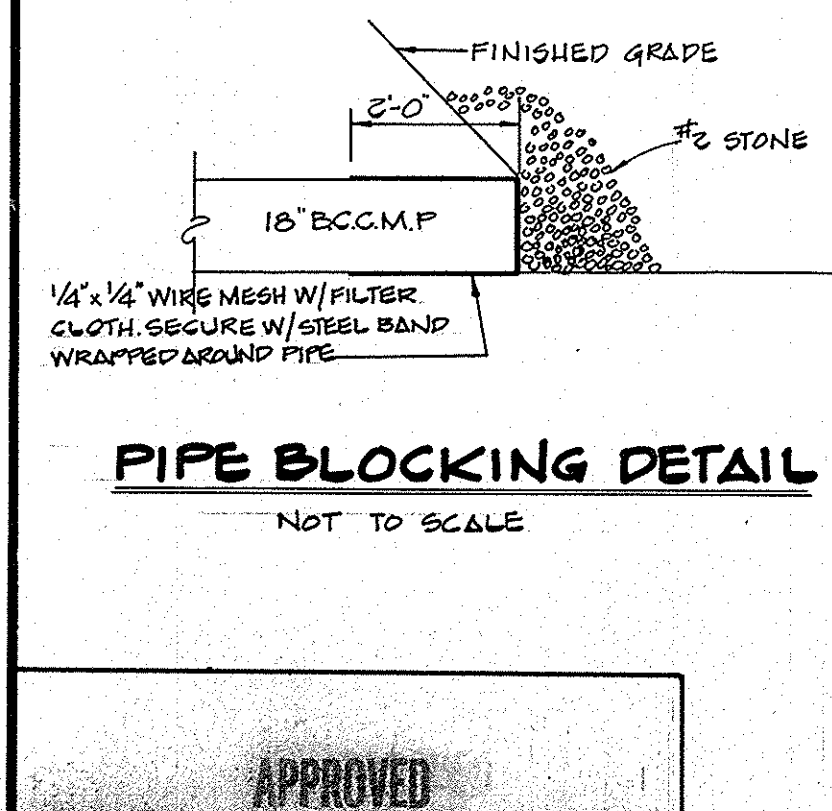
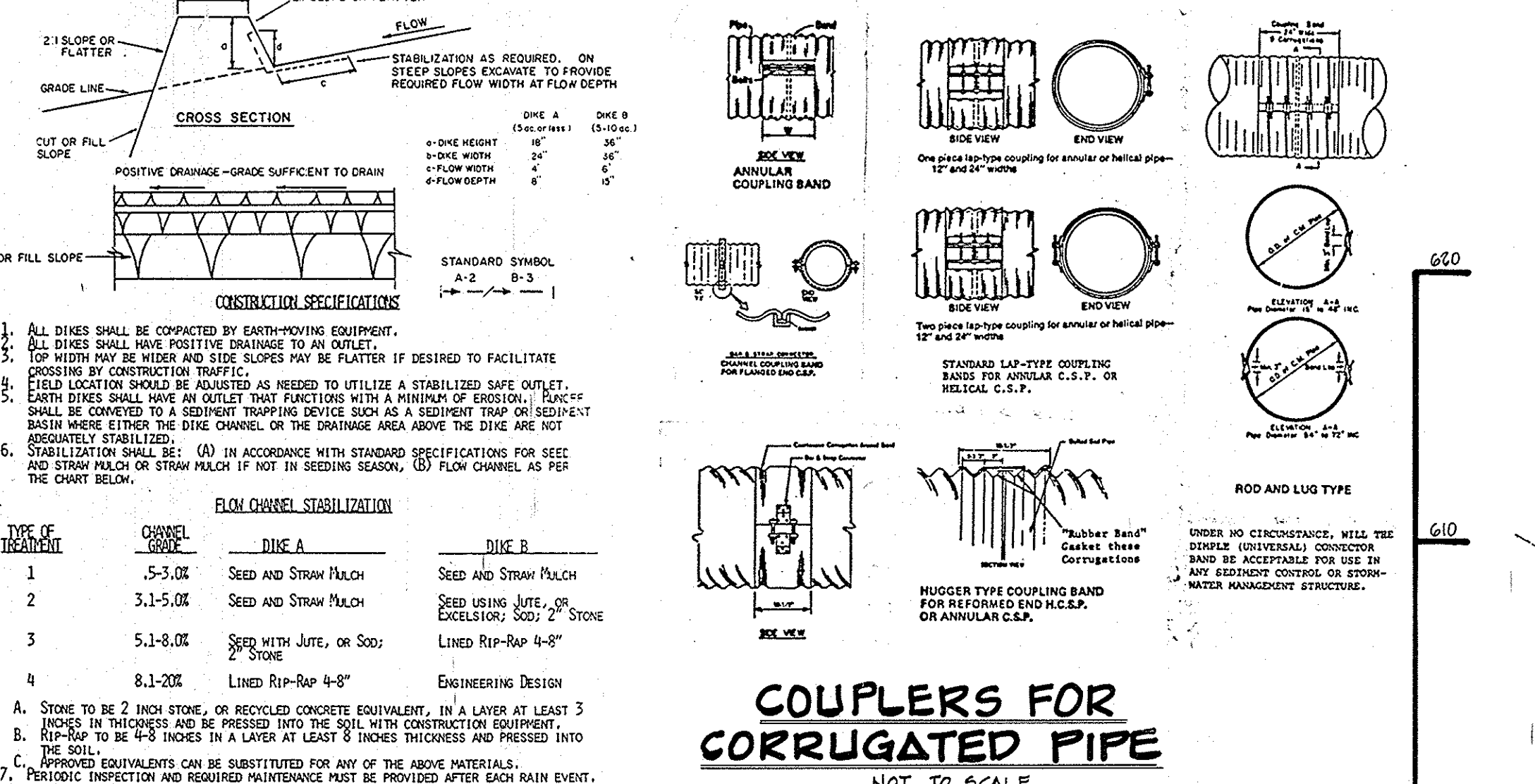
- 1) PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ.FT.) AND 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE-INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS. PER ACRE 30-0-0 UREAFORM FERTILIZER (9 LBS/1000 SQ.FT.).
- 2) ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ.FT.) AND 1000 LBS PER ACRE 10-10-10 FERTILIZER (23 LBS/1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE-INCHES OF SOIL.

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 20 LBS PER ACRE (1.4 LBS/1000 SQ.FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS PER ACRE (.05 LBS/1000 SQ.FT.) OF MEETING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY OPTION (1) 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) USE SOU. OPTION (3) SEED WITH 60 LBS/ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.
MULCHING: APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ.FT.) OF UNROTTED SMALL BRUSH STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ.FT.) FOR ANCHORING.
MAINTENANCE: INSPECT ALL SEEDS AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS. TEMPORARY SEEDING NOTES:
 APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.
SEED PREPARATION: LOOSEN UPPER THREE-INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING.
SOIL AMENDMENTS: APPLY 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ.FT.).
SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU NOVEMBER 15, SEED WITH 25 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS/1000 SQ.FT.). FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS PER ACRE OF MEETING LOVEGRASS (.07 LBS/1000 SQ.FT.). FOR THE PERIOD NOVEMBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOU.
MULCHING: APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ.FT.) OF UNROTTED SMALL BRUSH STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL PER ACRE (5 GAL/1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES, 8 FT. OR HIGHER, USE 348 GAL PER ACRE (8 GAL/1000 SQ.FT.) FOR ANCHORING.
 REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

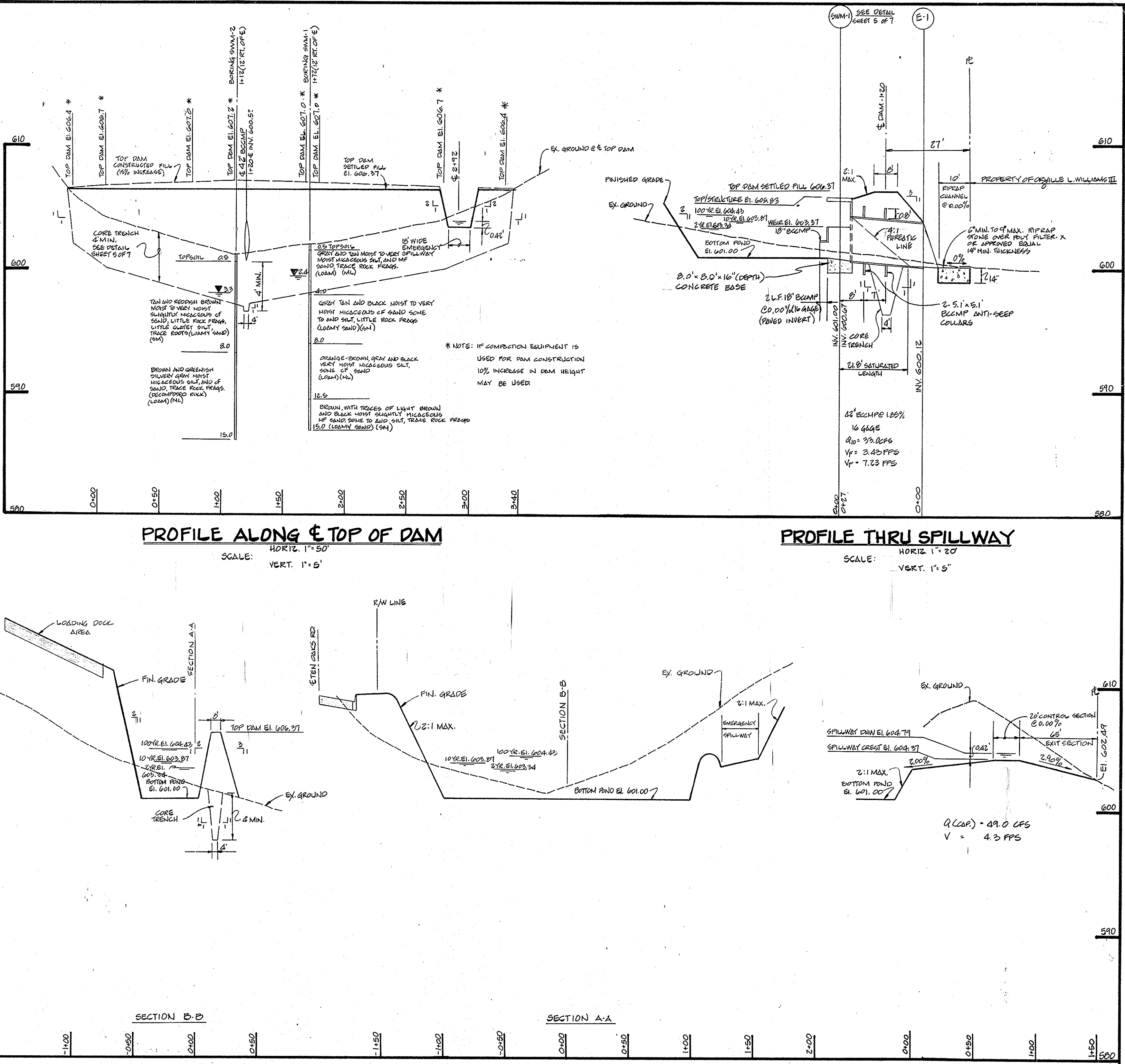
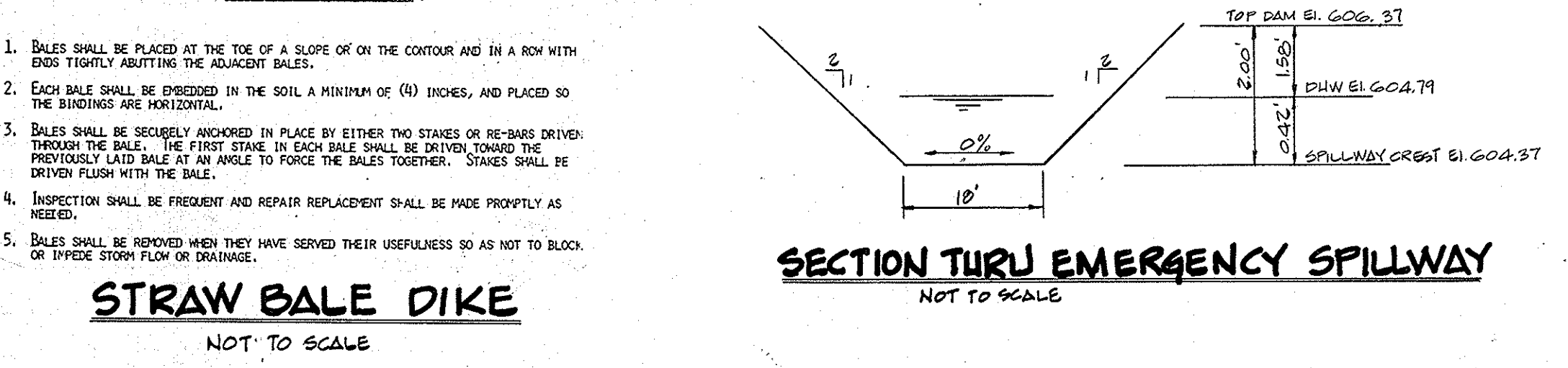


SEDIMENT CONTROL NOTES:

1. A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION (892-2437).
2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
3. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 2:1 (B) 14 DAYS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS (SEC. 51) AND (SEC. 54), TEMPORARY SEEDING (SEC. 50) AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONG CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER SEEDING AND ESTABLISHMENT OF GRASSES.
6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
7. SITE ANALYSIS:
 TOTAL AREA OF SITE: 7.214 ACRES
 AREA DISTURBED: 7.214 ACRES
 AREA TO BE ROOFED OR PAVED: 1.62 ACRES
 AREA TO BE VEGETATIVELY STABILIZED: 5.591 ACRES
 TOTAL CUT: 8.1-2.00 CU. YDS.
 TOTAL FILL: 0.00 CU. YDS.
 OFFSITE WASTE/BORROW AREA LOCATION:
 ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.



APPROVED
 DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE: 8-29-86
 M. J. FULLER



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 8388 COURT AVENUE
 ELLICOTT CITY, MARYLAND 21043
 (301) 461-2855

ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT I AM A LICENSED PROFESSIONAL ENGINEER IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD COUNTY DISTRICT WITHIN 30 DAYS OF COMPLETION.

DEVELOPER'S CERTIFICATE
 I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION OF THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY DISTRICT. I WILL PROVIDE THE HOWARD COUNTY DISTRICT WITHIN 30 DAYS OF COMPLETION.

APPROVED: EDWARD J. GROSS, 4/15/86
 SIGNATURE OF ENGINEER DATE

APPROVED: EDWARD J. GROSS, 4/15/86
 SIGNATURE OF DEVELOPER DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD COUNTY DISTRICT.

APPROVED: OFFICE OF PLANNING AND ZONING
 PLANNING DIRECTOR: Thomas L. Arnold, 10-15-86
 CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION

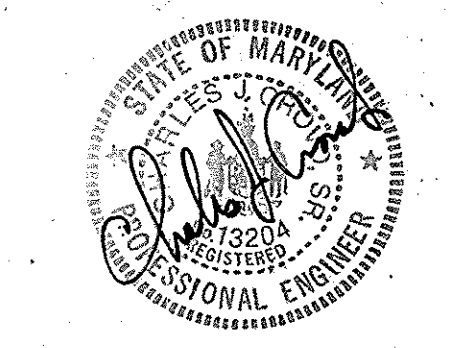
APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PRIVATE WATER AND SEWERAGE SYSTEMS
 HEALTH OFFICER: James M. Hehn, 10-3-86

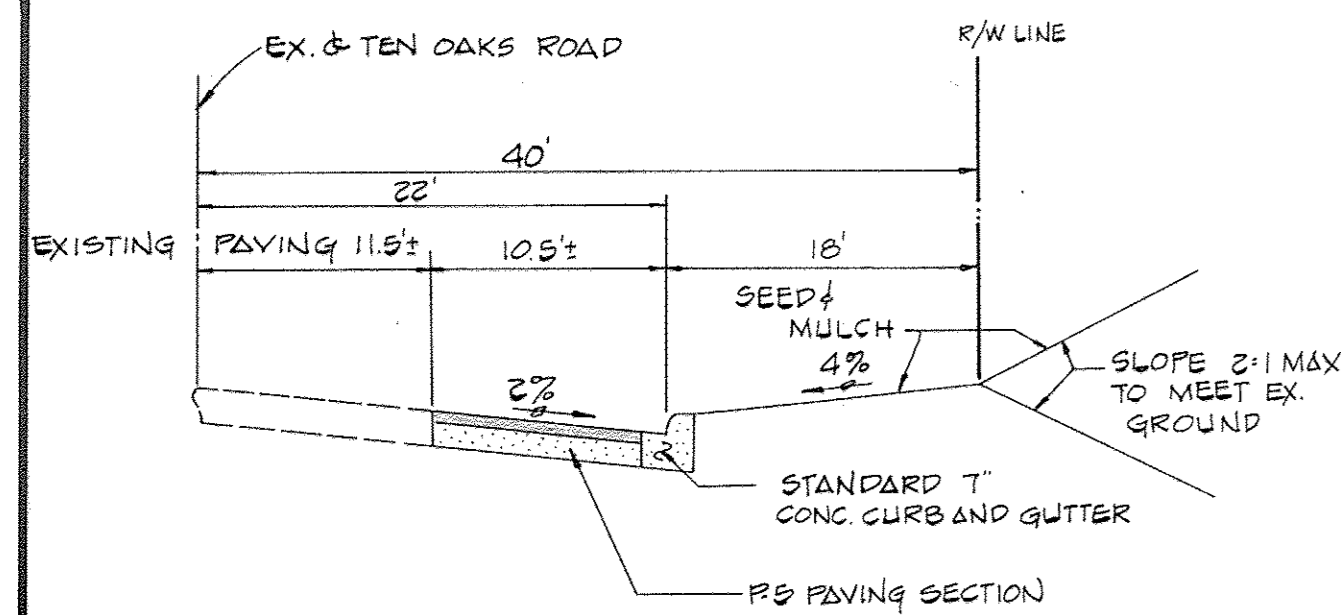
APPROVED: DEPARTMENT OF PUBLIC WORKS, SYSTEMS AND ROADS.
 DIRECTOR, PUBLIC WORKS: David W. Harich, 10-8-86
 CHIEF, BUREAU OF ENGINEERING: Edward J. Gross, 10-8-86

PROPERTY OF: EDWARD J. GROSS
 SECTION/AREA: PARCEL NOS. 33043008
 LF: 1400/723, BLOCK NO. 14, ZONE D-3, TAX/ZONE ELEC. DIST. 385, CENSUS TR. 6030, WATER CODE, SEWER CODE

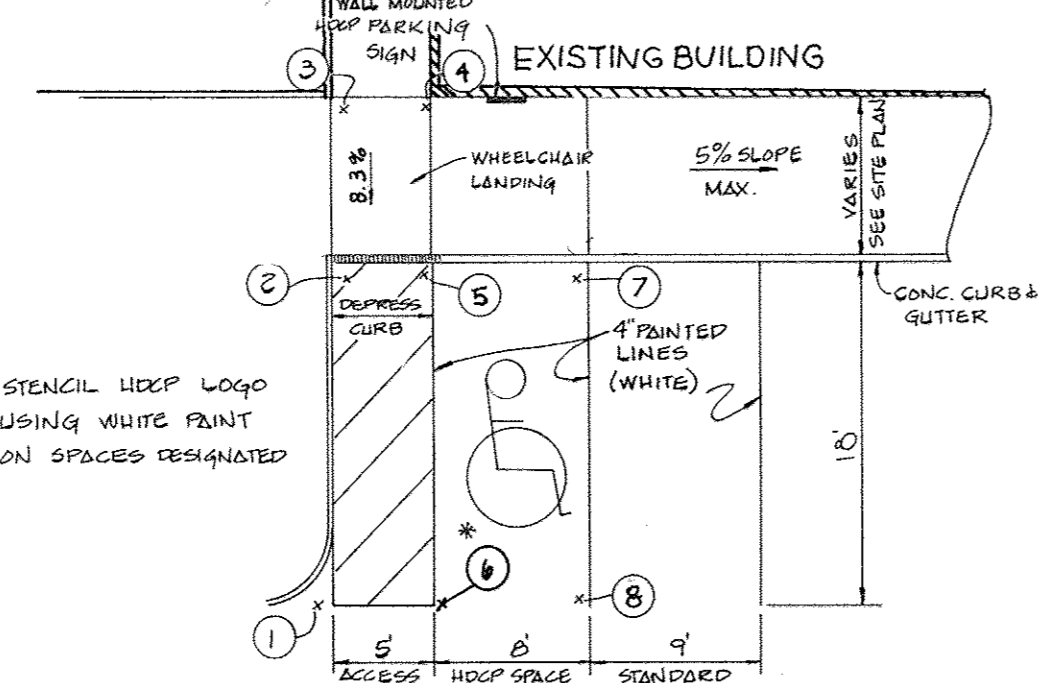
NOTES AND DETAILS

PROPERTY OF: EDWARD J. GROSS
 PARCEL 5A & 5B
 TAX MAP 82 PARCEL NO. 908
 3RD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN APRIL 11, 1986
 REVISED: SEPTEMBER 12, 1986
 SHEET 3 OF 7



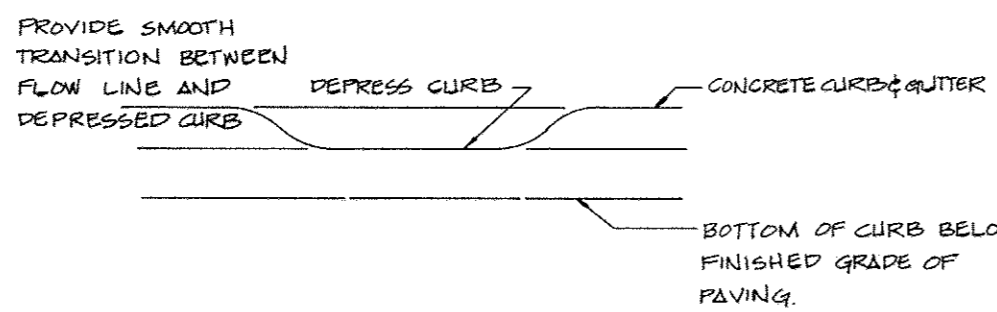


TYPICAL WIDENING SECTION
NOT TO SCALE

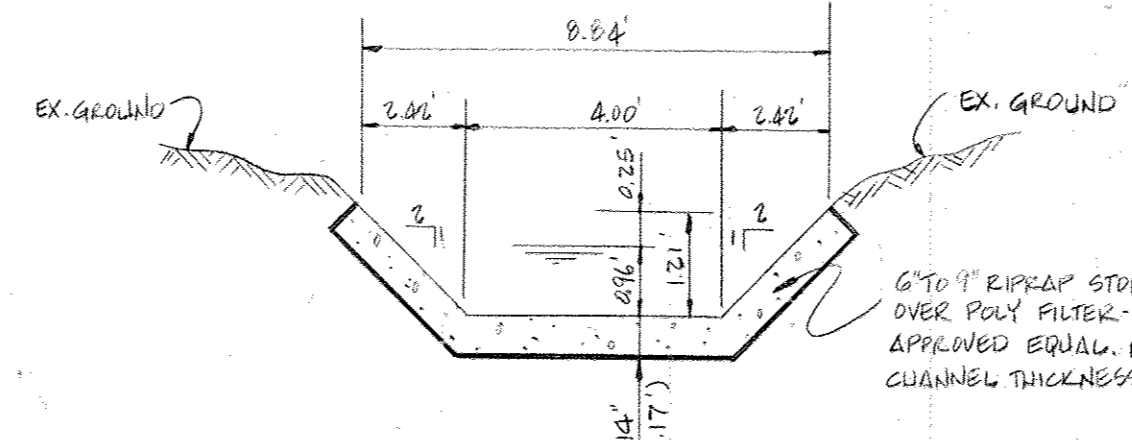


PARKING DETAIL
NOT TO SCALE

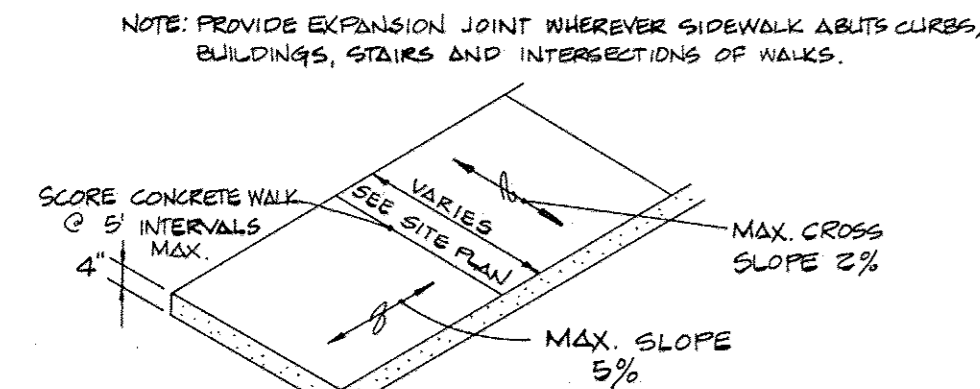
HANDICAPPED PARKING SPACE DATA								
LOCATION	1	2	3	4	5	6	7	8
A	623.44	623.63	623.90	624.04	623.58	623.39	623.43	623.32



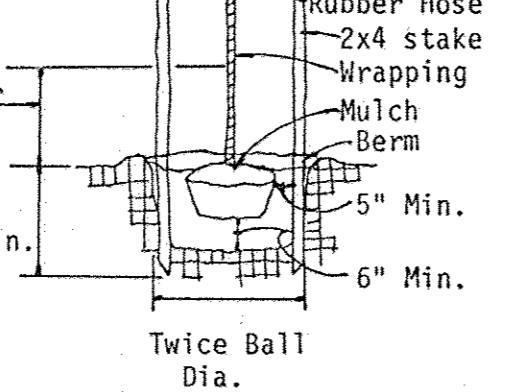
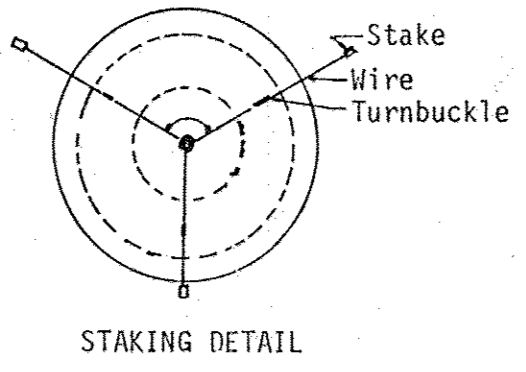
HANDICAPPED RAMP
NOT TO SCALE



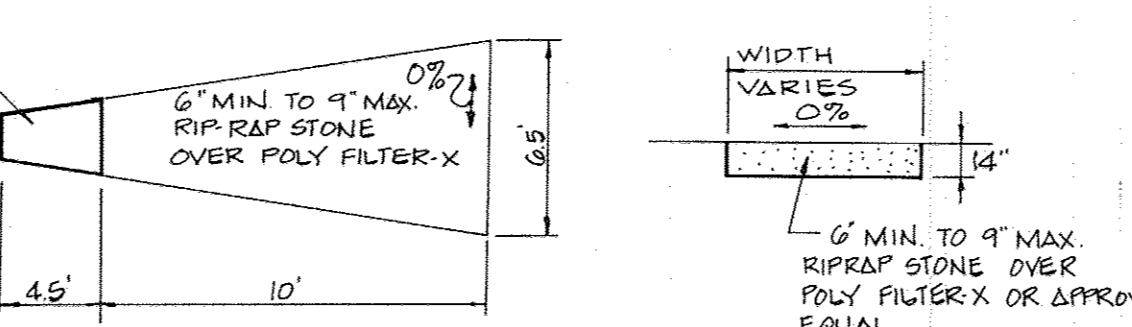
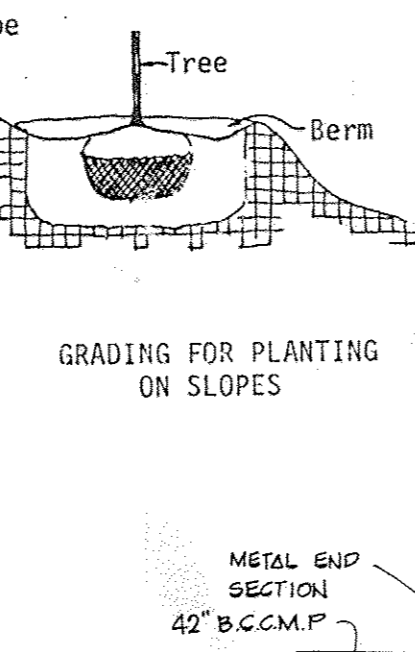
RIPRAP CHANNEL PROTECTION
NOT TO SCALE



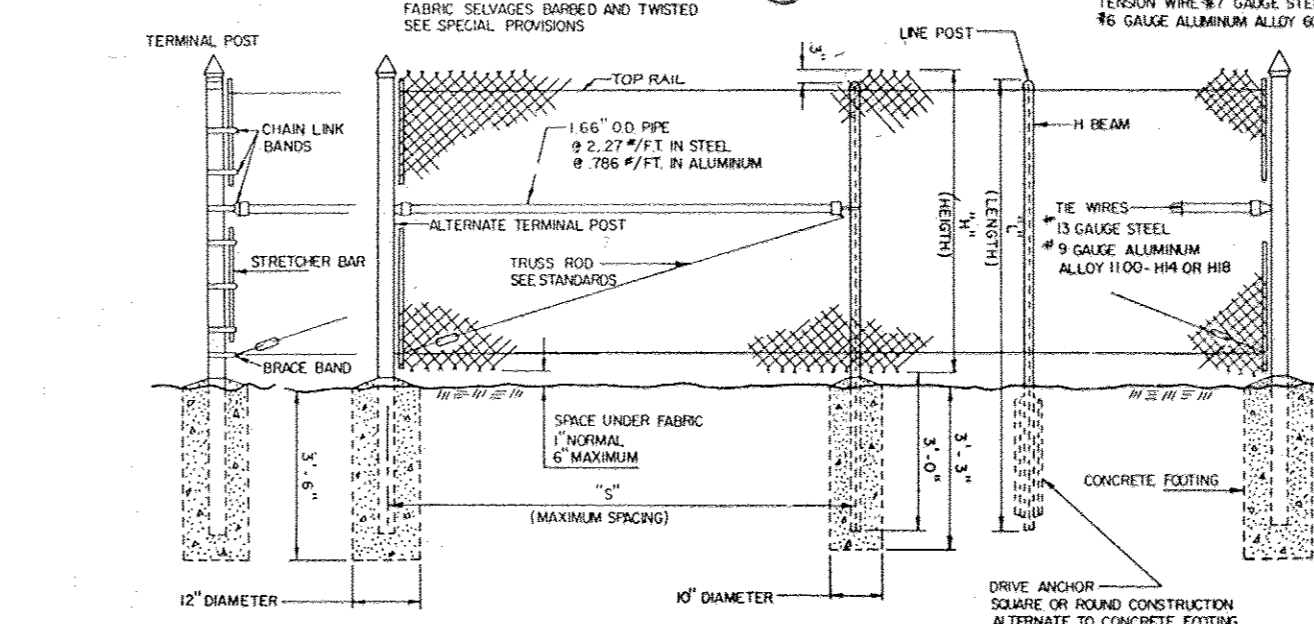
TYPICAL SIDEWALK DETAIL
NOT TO SCALE



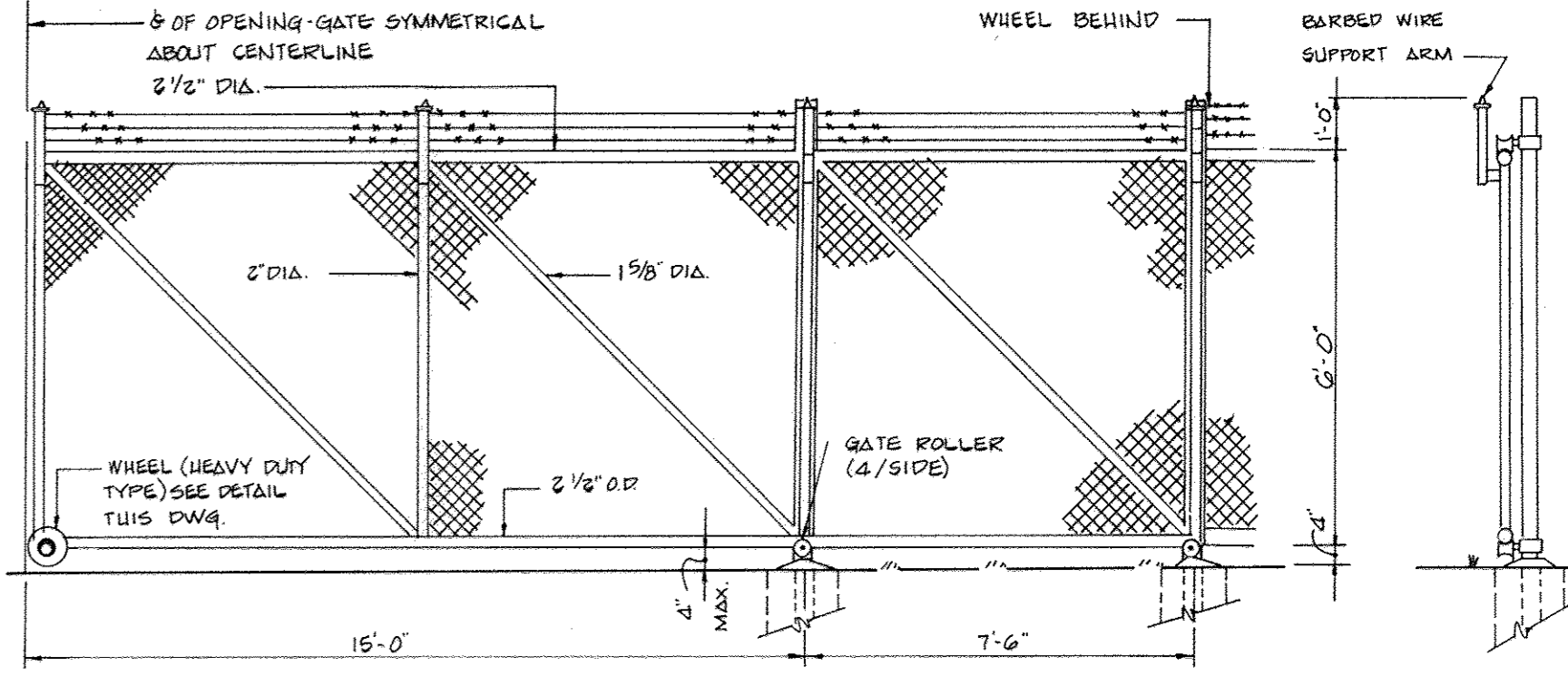
TREE PLANTING
NOT TO SCALE



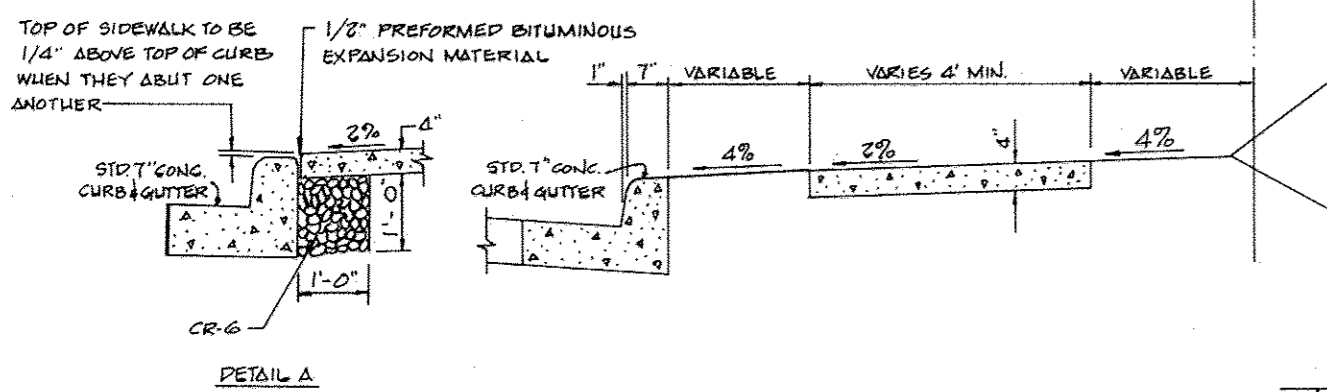
RIPRAP CHANNEL DETAIL @ E-1
NOT TO SCALE



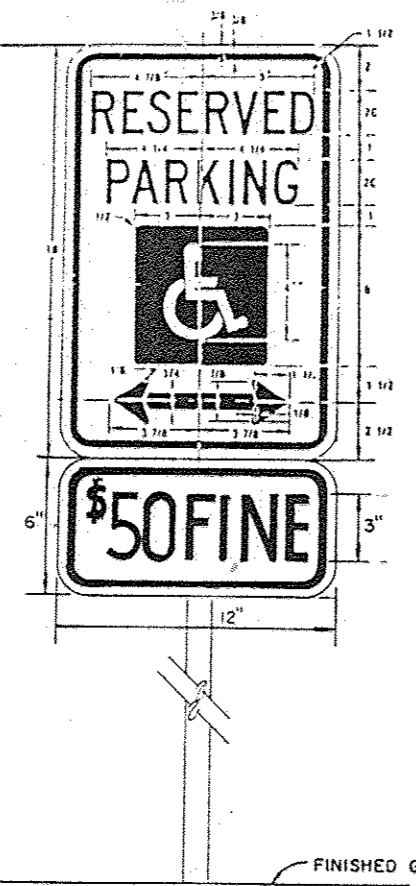
CHAIN LINK FENCE
NOT TO SCALE



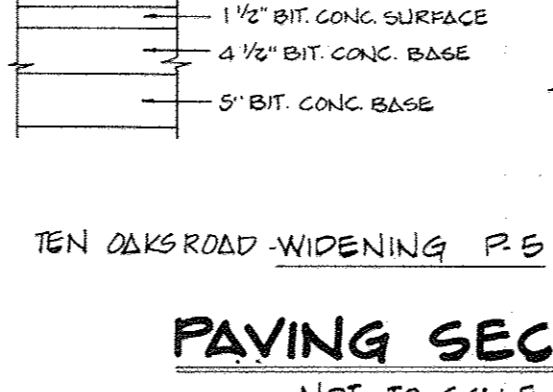
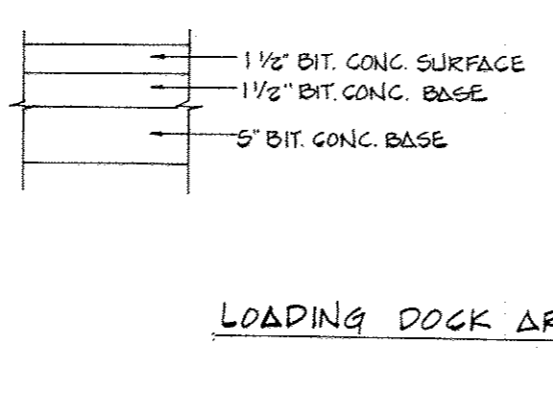
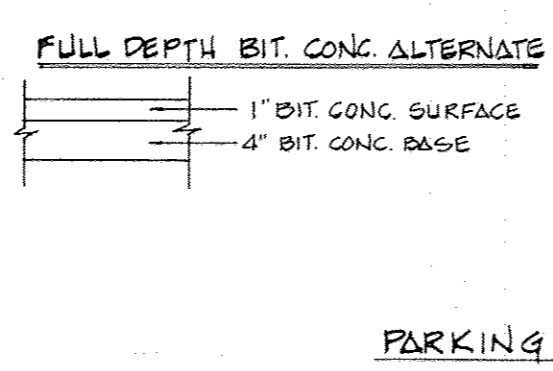
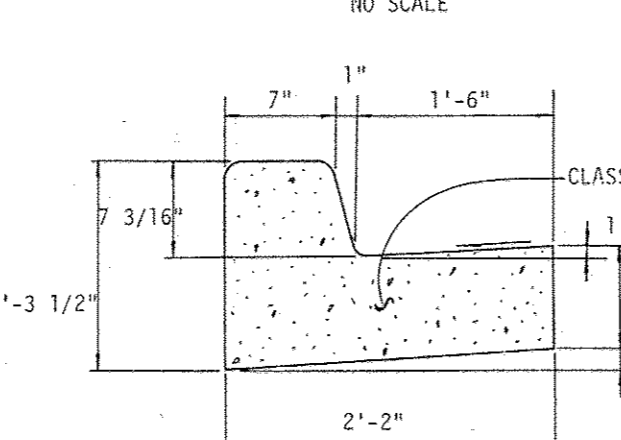
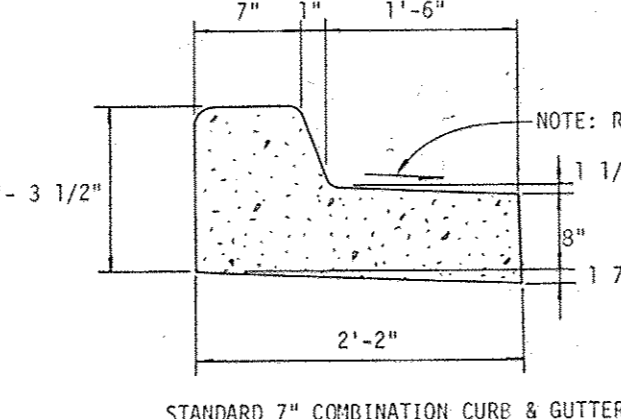
CHAIN LINK GATE (SLIDING)
NOT TO SCALE



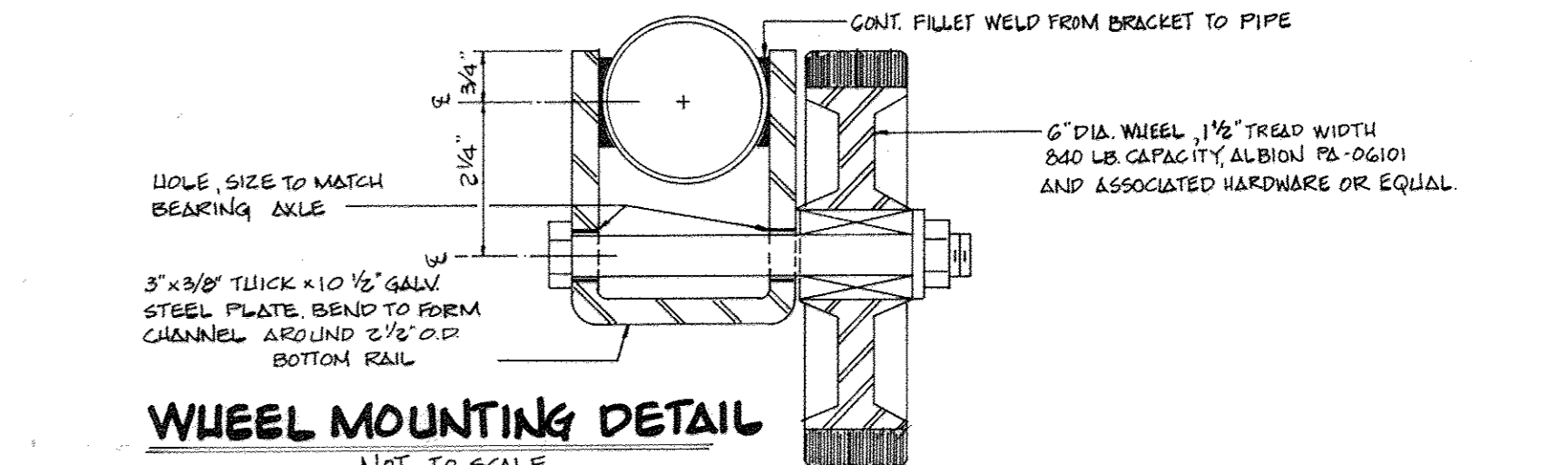
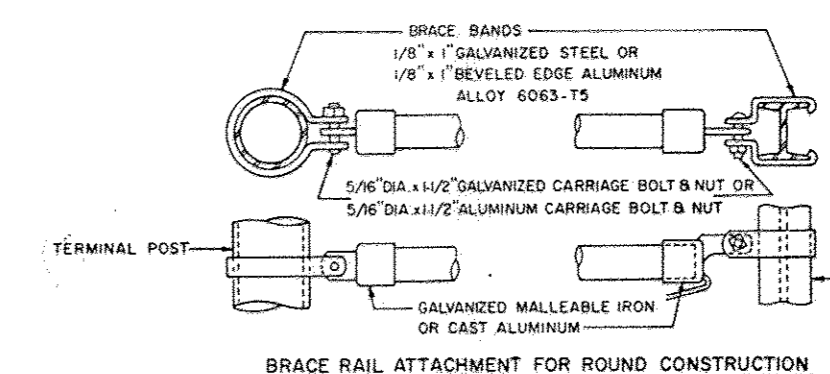
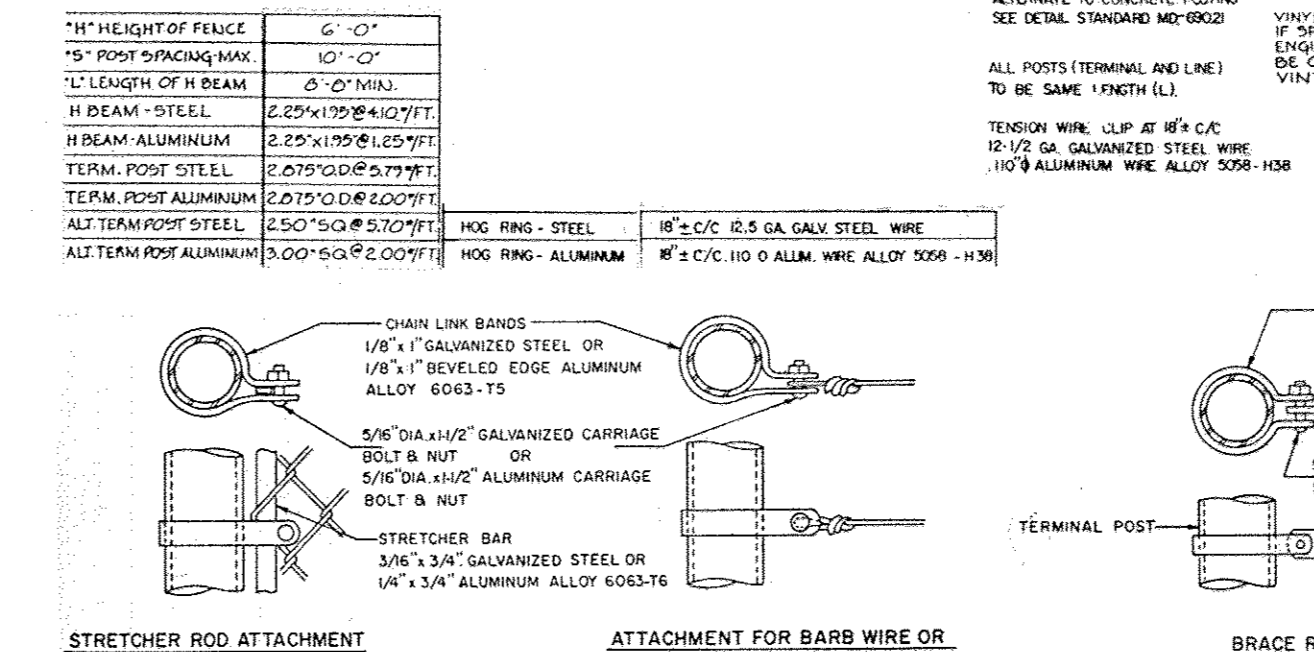
- NOTES:
- SIDEWALK TO BE SCRIBED IN 6\"/>



HANDICAPPED PARKING SIGN
NOT TO SCALE

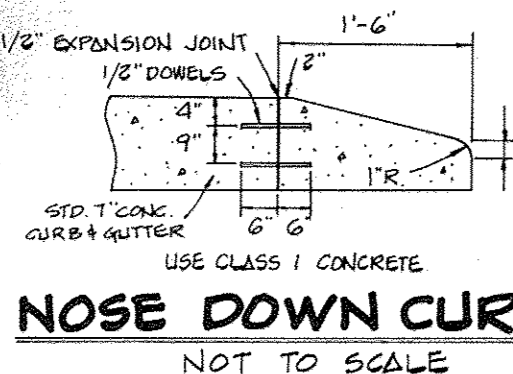


PAVING SECTIONS
NOT TO SCALE

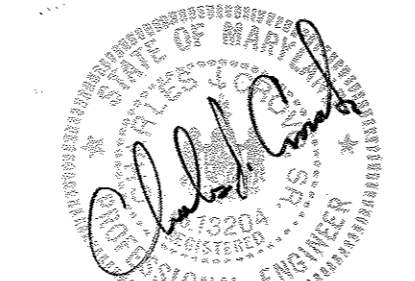


WHEEL MOUNTING DETAIL
NOT TO SCALE

APPROVED
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE: 8-29-86
[Signature]



NOSE DOWN CURB
NOT TO SCALE



STATE OF MARYLAND
PROFESSIONAL ENGINEER
Edward J. Gross
4/15/86

APPROVED: OFFICE OF PLANNING AND ZONING
PLANNING DIRECTOR: [Signature] 10-15-86
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION: [Signature] 10-15-86
APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PRIVATE WATER AND SEWERAGE SYSTEMS
HEALTH OFFICER: [Signature] 10-15-86

NO.	REVISE PARKING DETAIL DESCRIPTION	DATE
1	REVISED PARKING DETAIL	5/11/86

REVISIONS

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR STORM DRAINAGE SYSTEMS AND ROADS.
DIRECTOR, PUBLIC WORKS: [Signature] 10-15-86
CHIEF, BUREAU OF ENGINEERING: [Signature] 10-15-86

PROPERTY OF: EDWARD J. GROSS
SECTION/AREA: 3204268
PARCEL NOS.: 1406/723, 14, B-2, 22
ELEC. DIST.: 322
CENSUS TR.: 6030
WATER CODE: [Blank]
SEWER CODE: [Blank]

OWNER/DEVELOPER
DAVID W. HARRIS, ET AL
14120 BURNINGWOODS ROAD
GLENN COOK, MARYLAND 21730-0921
410-707-5410

NOTES AND DETAILS

PROPERTY OF: EDWARD J. GROSS
PARCEL SA 45B
TAX MAP 22 PARCEL NO. 900
3RD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
REVISED: SEPTEMBER 12, 1986
SHEET 4 OF 7

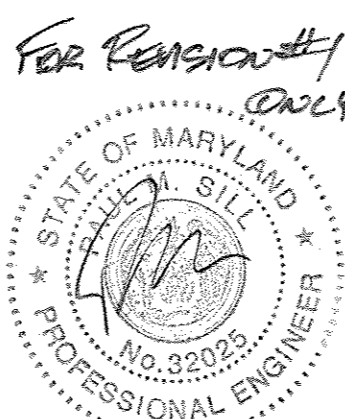
FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERS & LAND SURVEYORS
8388 COURT AVENUE
ELLCOTT CITY, MARYLAND 21043
(301) 461-2855

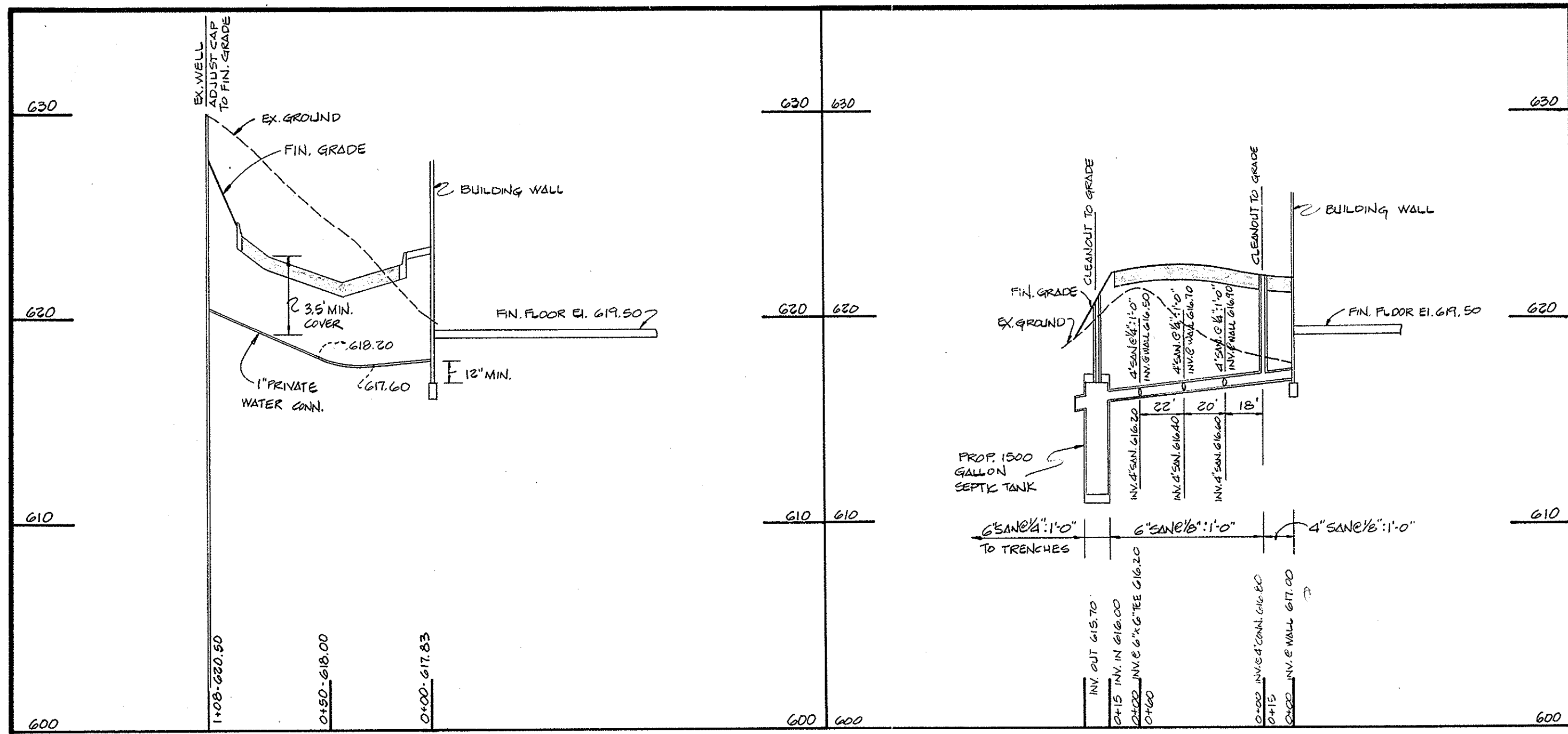
ENGINEER'S CERTIFICATE
"I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."
[Signature] 4/15/86
SIGNATURE OF ENGINEER DATE

STORM WATER MANAGEMENT POND CERTIFICATION AND APPROVAL
DEVELOPER'S CERTIFICATE
"I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."
[Signature] 4/15/86
SIGNATURE OF DEVELOPER DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
[Signature] 10-3-86
HOWARD SOIL CONSERVATION DISTRICT DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.
[Signature] 10-3-86
U.S. SOIL CONSERVATION SERVICE DATE



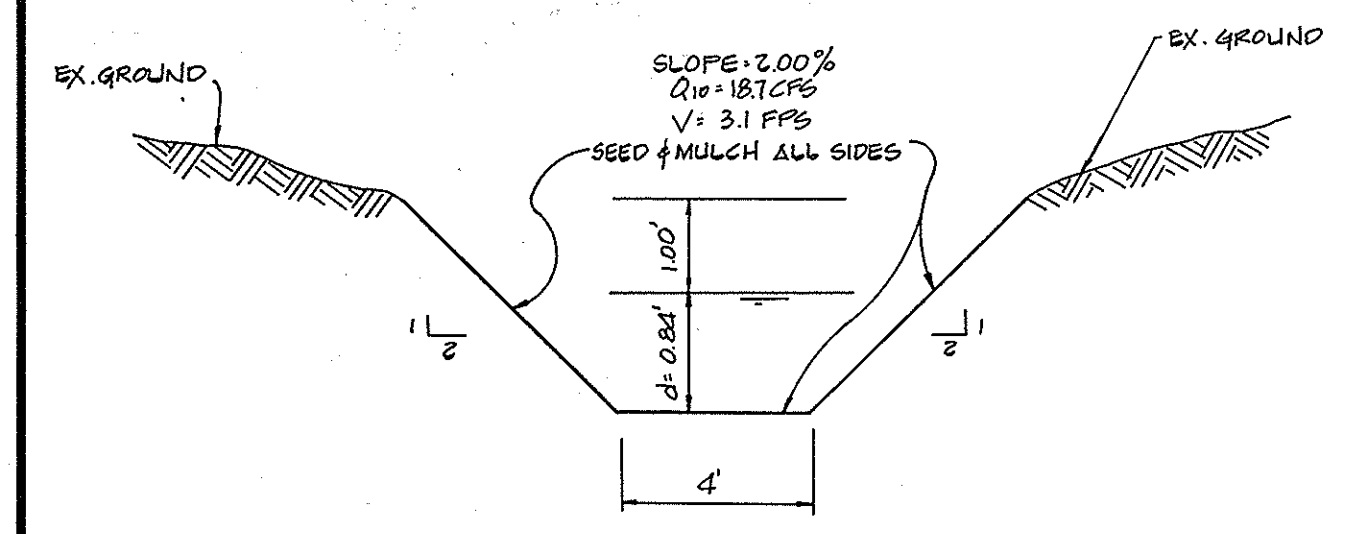


1" PRIVATE WATER CONNECTION

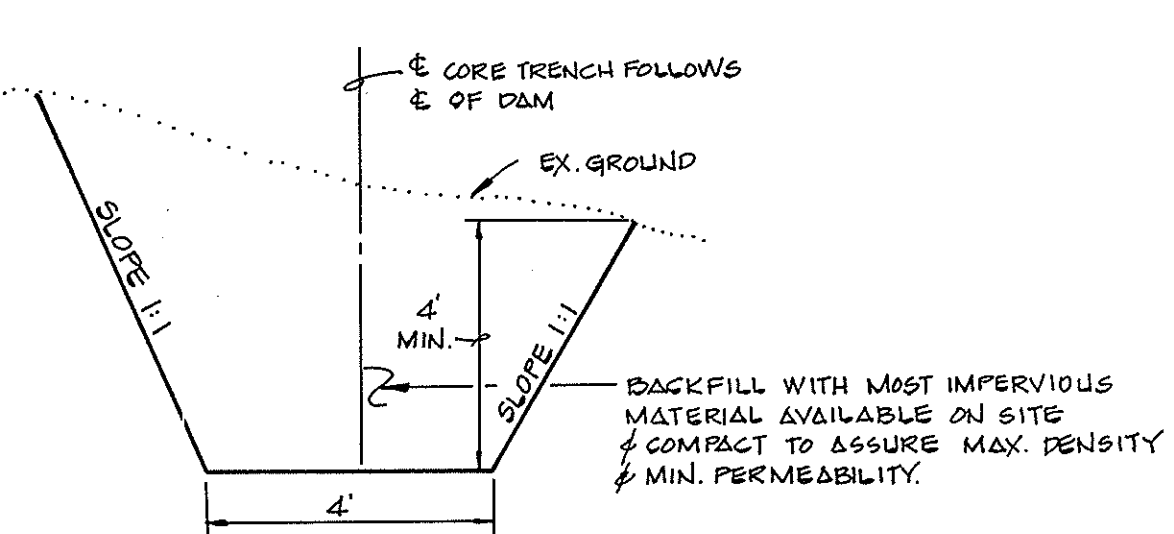
SCALE: HORIZ. 1"=50'
VERT. 1"=5'

PRIVATE SANITARY SYSTEM

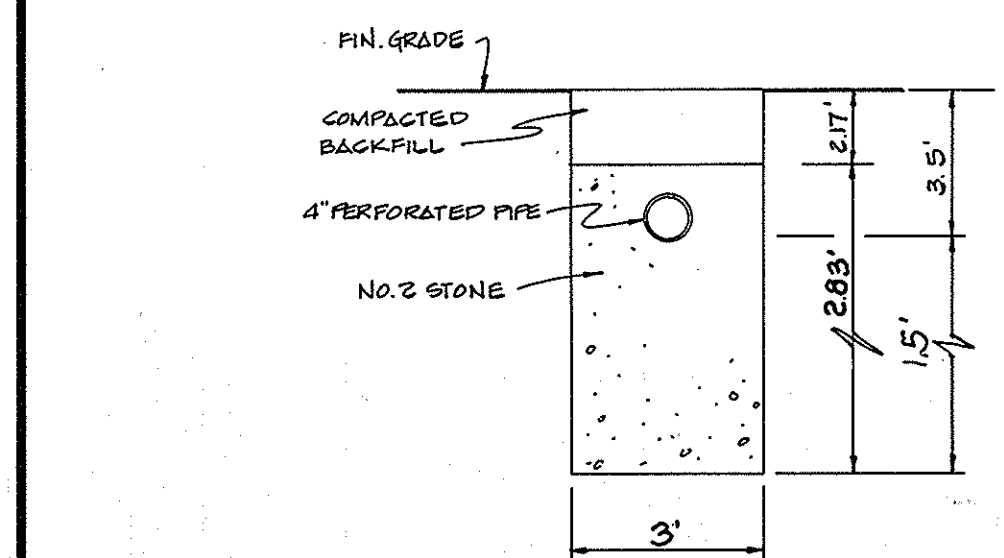
SCALE: HORIZ. 1"=50'
VERT. 1"=5'



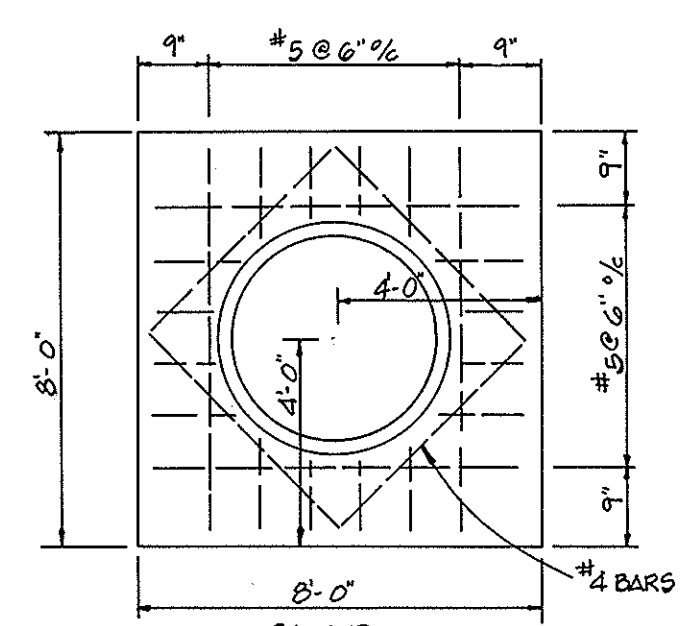
TRAPEZOIDAL CHANNEL
NOT TO SCALE



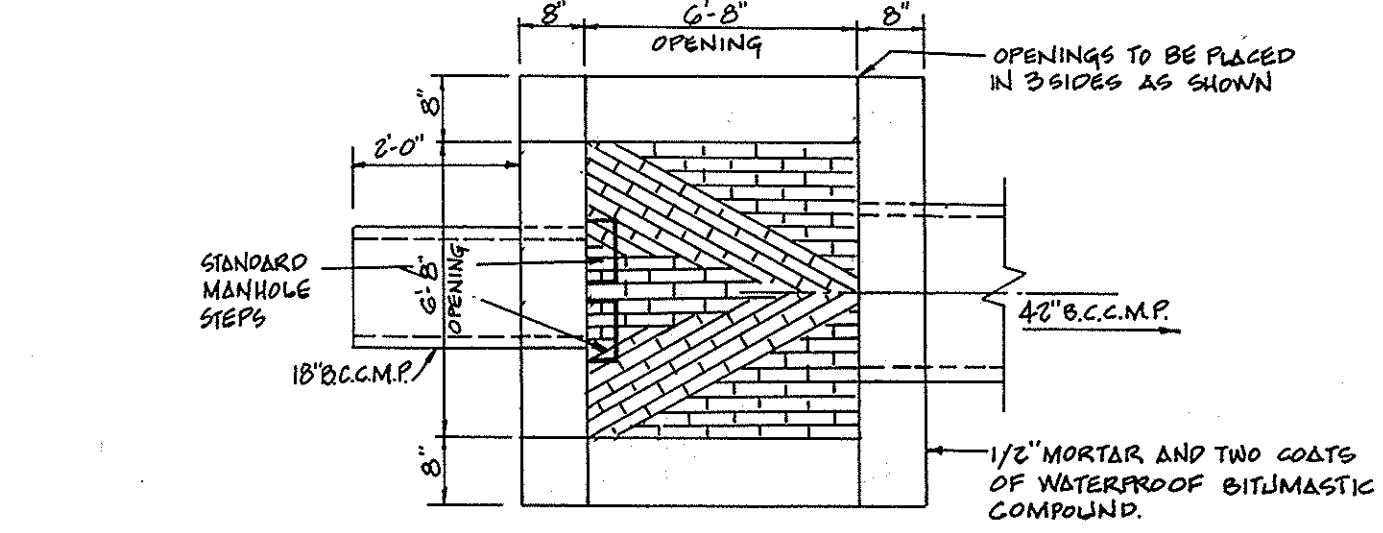
CORE TRENCH DETAIL
NOT TO SCALE



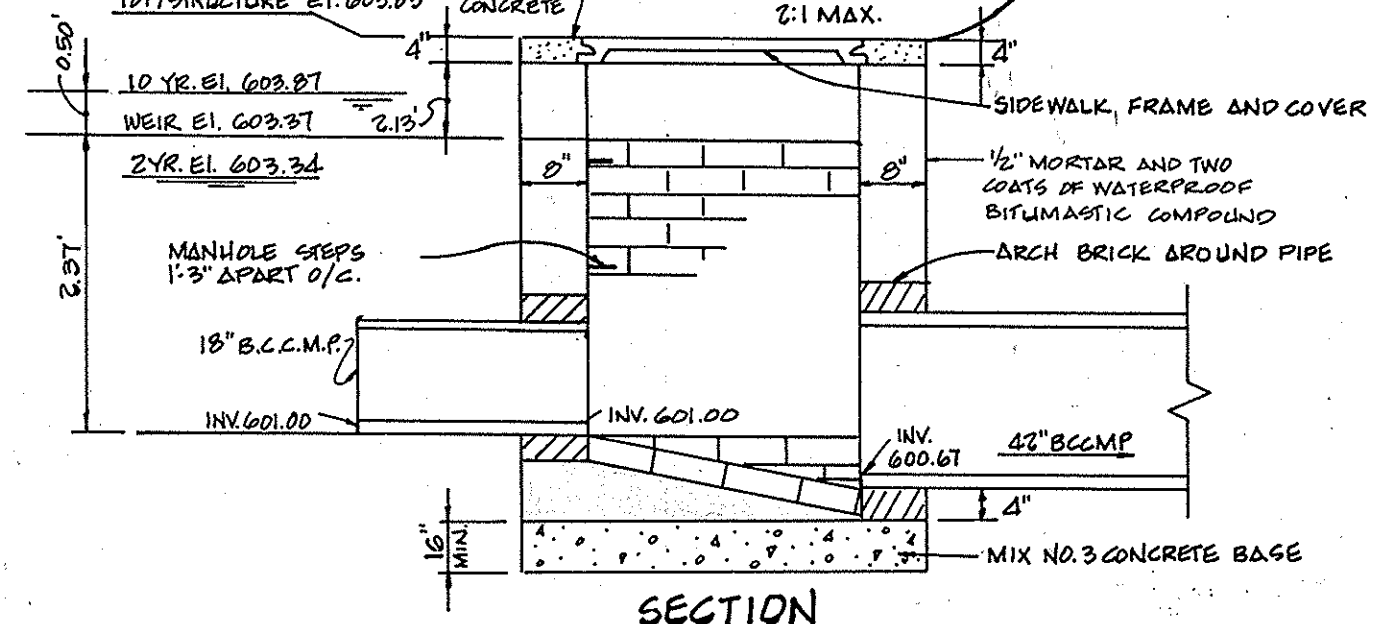
TRENCH DETAIL
NOT TO SCALE



SLAB



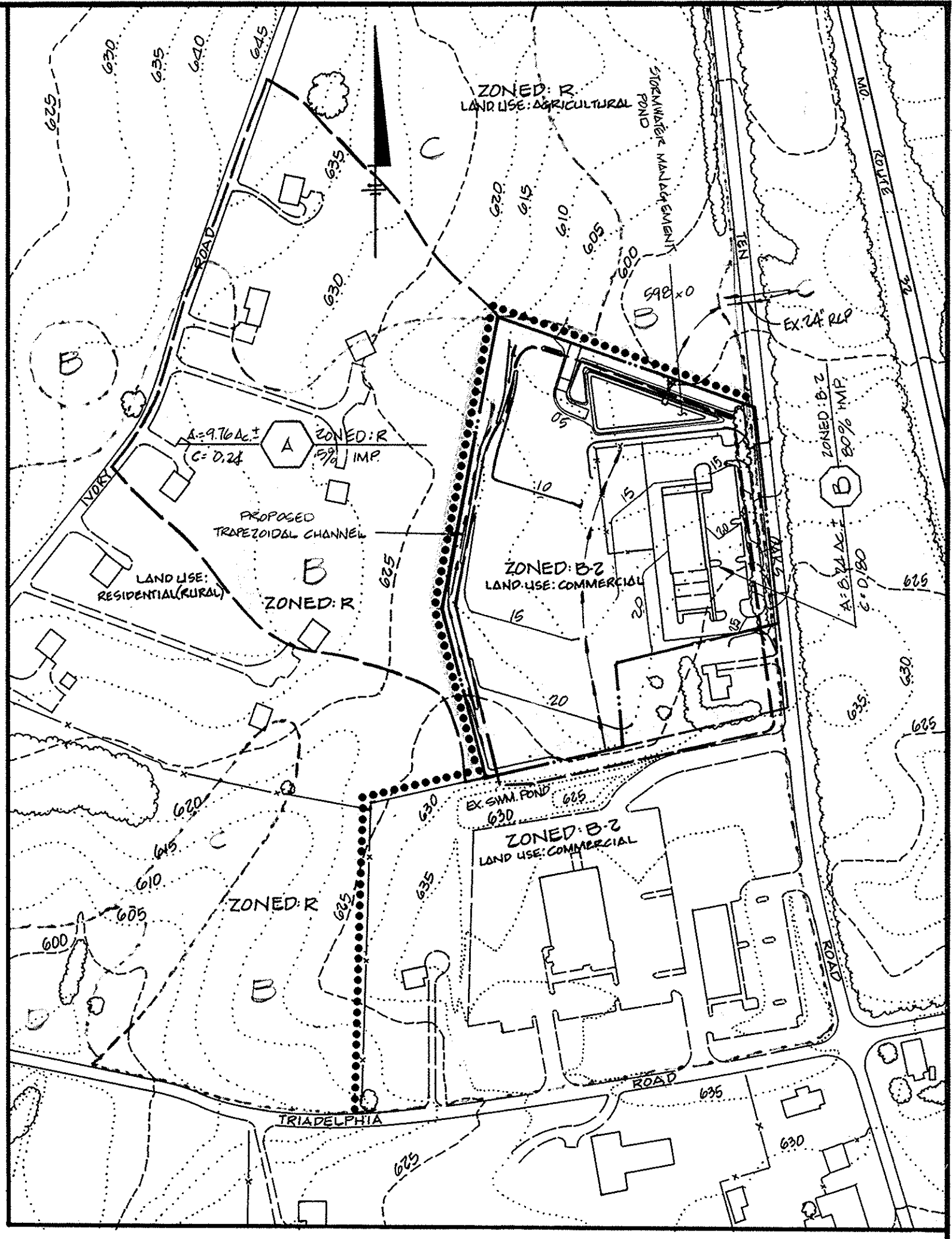
MODIFIED TYPE "D" INLET @ SWM-1
NOT TO SCALE



SECTION

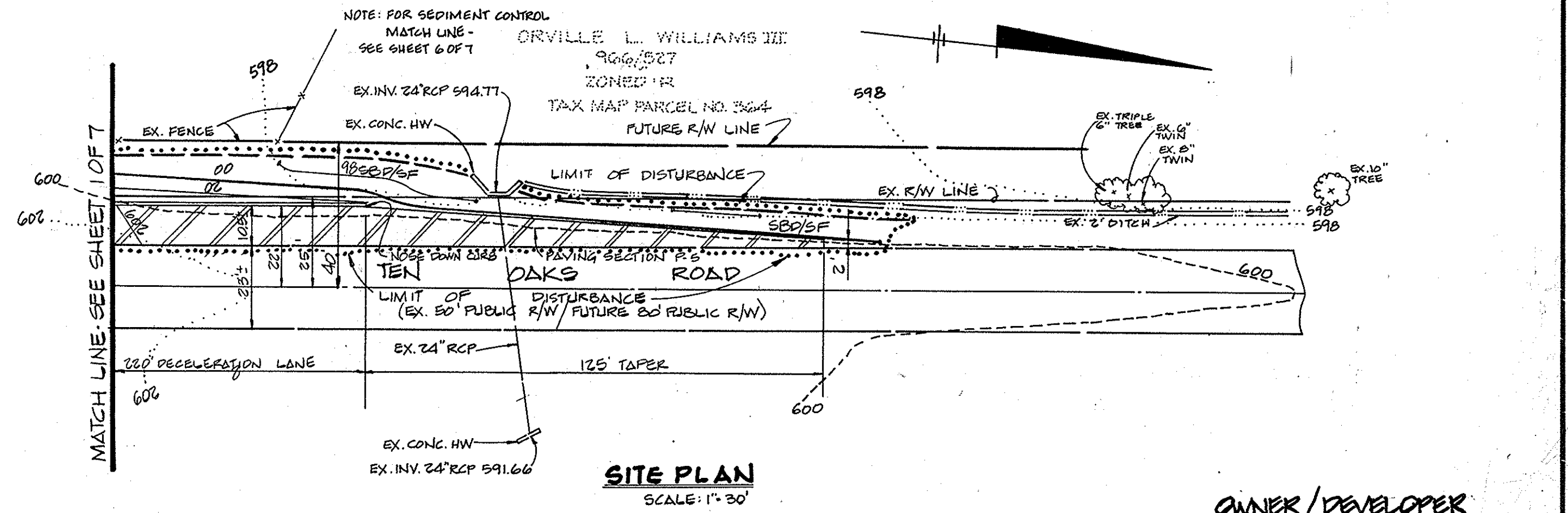
- NOTES**
- FOR INVERT DEVELOPMENT SEE CONSTRUCTION PLANS.
 - INVERTS TO BE BRICK AND BASE TO BE CLASS "A" CONCRETE.
 - TOP 4" OF WALLS SHALL BE BRICK MASONRY.

- I. SITE PREPARATION - STORMWATER MANAGEMENT CONSTRUCTION SPECIFICATIONS**
- Areas under the embankment and structural works shall be cleared, grubbed and the topsoil stripped to remove all trees, vegetation, roots or other objectionable material. To facilitate clean out and restoration, it is recommended that the permanent pool area be cleared of all brush and trees.
- II. EARTH FILL**
- Material**
- The fill material shall be taken from approved designated borrow area or areas. It shall be free from roots, stumps, wood, rubbish, over-size stones, frozen or other objectionable materials. The embankment shall be constructed to an elevation which provides for anticipated settlement to the design elevation. The fill height all along the length of the embankment shall be increased at least 10 percent above the design elevation (including freeboard) unless otherwise shown on the plans. All fill material shall be CL or ML, as approved by Soils Engineer.
- Placement**
- Areas on which fill is to be placed shall be scarified prior to placement of fill. Fill materials shall be placed in 8-inch maximum thickness (before compaction) layers which are to be continuous over the entire length of the fill. The most porous borrow material shall be placed in the downstream portions of the embankment.
- Compaction**
- The movement of the hauling and spreading equipment over the fill shall be controlled so that the entire surface of each lift shall be traversed by not less than one tread track of the equipment, or compaction shall be achieved by a minimum of four complete passes of a sheepsfoot, rubber tired or vibratory roller. Fill material shall contain sufficient moisture so that it can be formed into a ball without crumbling. If water can be squeezed out of the ball, it is too wet to compact properly. Compact all fill material to 95% of AASHTO T-99 density.
- Core Trench**
- Where specified, a core trench shall be excavated along or parallel to the centerline of the embankment, as shown on the plans. The bottom width of the trench shall be governed by the equipment used for excavation, with the minimum width being 4-feet. The depth shall be at least 4-feet or as shown on the plans. The side slopes of the trench shall be 1:1 or flatter. The backfill material for the core trench shall be the most impervious material available and shall be compacted with equipment or rollers to assure maximum density and minimum permeability. Compact to 95% of AASHTO T-99 density. Materials shall be CL or ML as approved by Soils Engineer.
- III. STRUCTURAL BACKFILL**
- Backfill material shall be of the type and quality conforming to that specified for the adjoining fill material. The fill shall be placed in horizontal layers not to exceed 4-inches in thickness and compacted by hand tampers or other compaction equipment. The material needs to fill completely all spaces under and adjacent to the pipe. At no time during the backfilling operation shall driven equipment be allowed to operate closer than 4-feet to any part of a structure. Under no circumstances shall the contractor drive equipment over any part of a structure or pipe unless there is a compacted fill of 2-feet or greater over the structure or pipe.
- IV. PIPE CONDUITS METAL PIPE**
- A. CORRUGATED METAL PIPE**
- Materials - Metal Pipe - This pipe and its appurtenances shall conform to the requirements of AASHTO Specification M-196 or M-211, with watertight coupling bands.
 - Connections - All connections with pipes must be completely watertight. The drain pipe or barrel connection to the control structure shall be mortared all around. Watertight coupling bands shall be used at all joints. Anti-seep collars shall be connected to the pipe in such a manner as to be completely watertight.
 - Bedding - The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock or soft, spongy or other unstable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide adequate support.
 - Laying pipe - The pipe shall be placed with inside circumferential laps pointing downstream and with the longitudinal laps at the sides.
 - Backfilling shall conform to structural backfill as shown above.
 - Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings.
- V. CONCRETE**
- Concrete shall meet minimum requirements set forth in Maryland State Highway Administration Specifications for Materials, Highways, Bridges, and Incidental Structures, Article 20.07 (Portland Cement Concrete Mixtures), Mix No. 3.
- VI. STABILIZATION**
- All borrow areas shall be graded to provide proper drainage and left in a slightly condition. All exposed surfaces of the embankment, spillway and borrow areas shall be stabilized by permanent seeding and applying straw mulch in accordance with "Standards and Specifications for Soil Erosion and Sediment Control in Urbanizing Areas" immediately after finish grading.
- VII. FENCING**
- A 3'-6" chain-link fence shall be constructed in the location specified on the plan. Materials and construction shall be in accordance with Maryland State Highway Administration Standard Details 690.01 and 690.02.



OFFSITE DRAINAGE AREA MAP
SCALE: 1"=200'

- DENOTES ZONING LINES
- DENOTES DRAINAGE AREA
- DENOTES SOIL TYPES
- DENOTES FLOW PATH



SITE PLAN
SCALE: 1"=30'

APPROVED
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE: 8-29-86
M. HULL



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERS & LAND SURVEYORS
8388 COURT AVENUE
ELLCOTT CITY, MARYLAND 21043
(301) 461-2855

ENGINEER'S CERTIFICATE
"I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."
DATE: 4/15/86
SIGNATURE OF ENGINEER: Edward J. Gross

STORM WATER MANAGEMENT POND CERTIFICATION AND APPROVAL
DEVELOPER'S CERTIFICATE
"I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."
DATE: 4/15/86
SIGNATURE OF DEVELOPER: Edward J. Gross

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
DATE: 10-3-86
SIGNATURE: Howard Soil Conservation District

APPROVED: OFFICE OF PLANNING AND ZONING
DATE: 10-15-86
PLANNING DIRECTOR: John M. Muschman
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR STORM DRAINAGE SYSTEMS AND ROADS.
DATE: 10-15-86
DIRECTOR, PUBLIC WORKS: [Signature]
CHIEF, BUREAU OF ENGINEERING: [Signature]

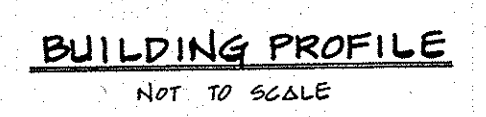
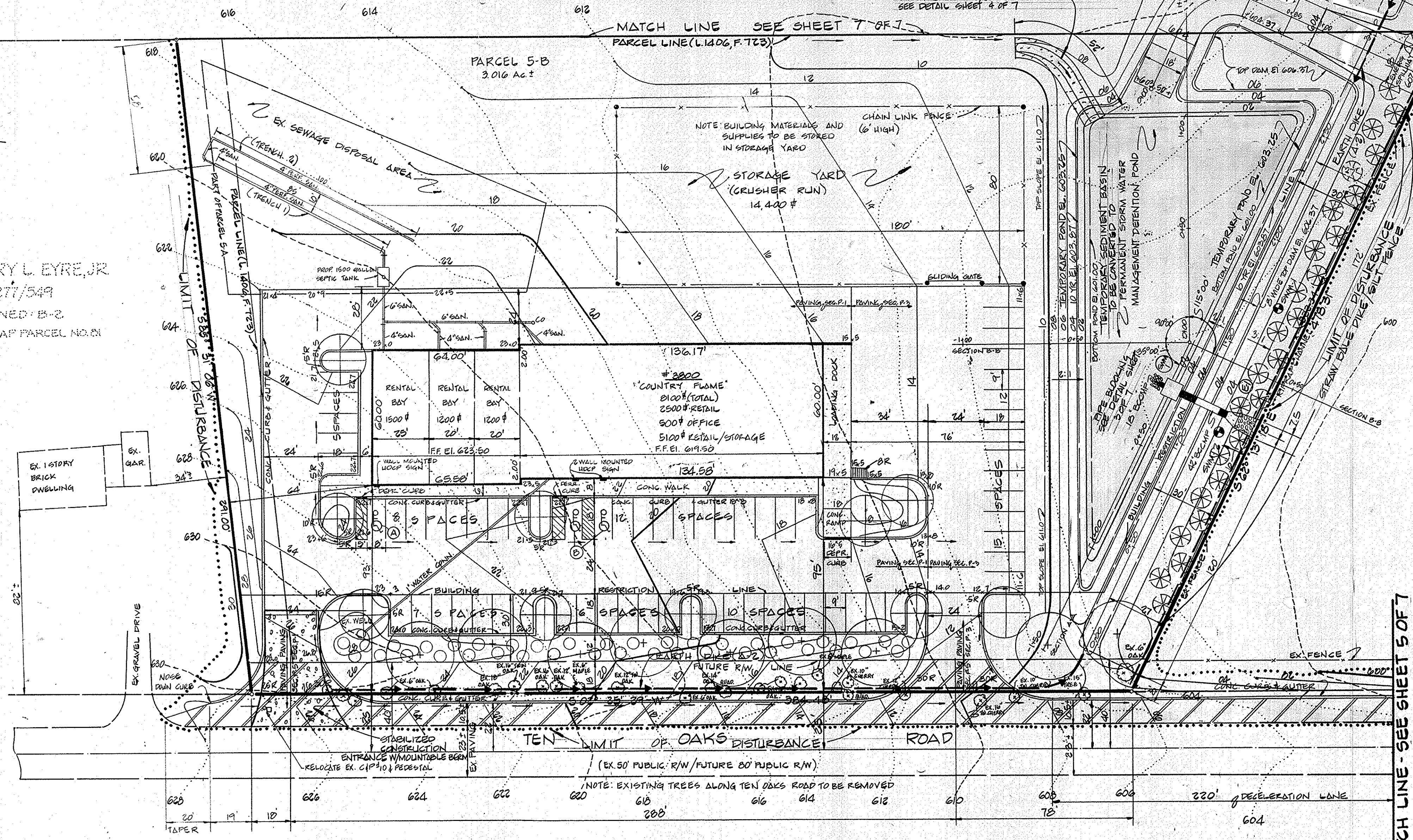
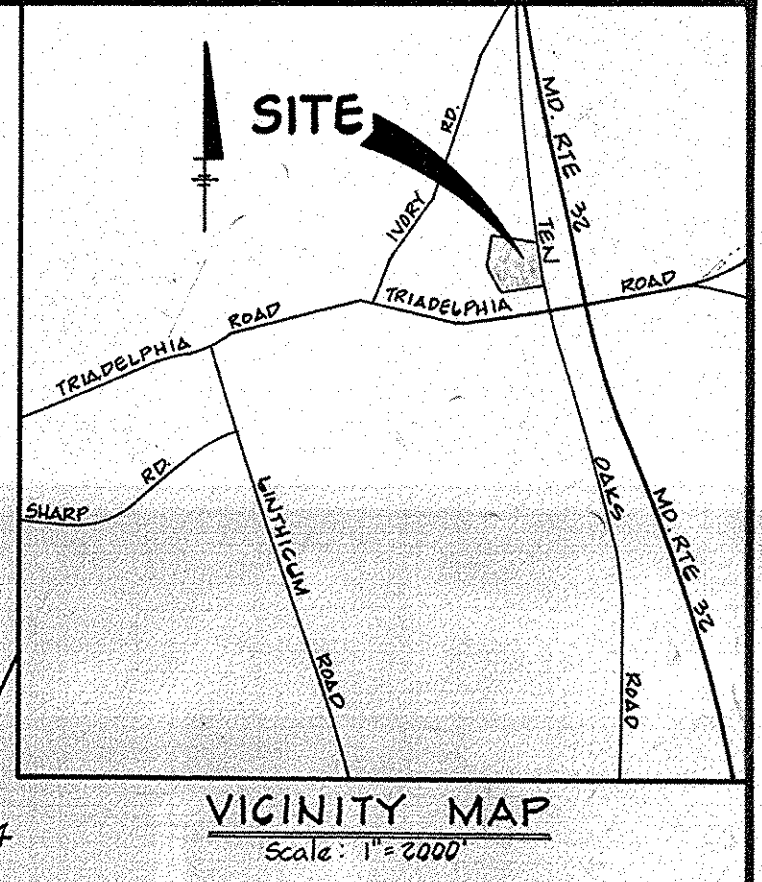
NOTES AND DETAILS
PROPERTY OF EDWARD J. GROSS
PARCEL 5A+5B
TAX MAP 22 PARCEL NO. 308
3RD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
APRIL 11, 1986
REVISED: SEPTEMBER 12, 1986
SHEET 5 OF 7
SDP-86-222

DESIGN STORM	ALLOWABLE RELEASE RATE	FACILITY INFLOW	FACILITY DISCHARGE	WATER SURFACE ELEVATION	STORAGE VOLUME (AC. FT.)
2 YEAR	12.4 cfs	25.6 cfs	10.7 cfs	603.34	0.49 AC. FT.
10 YEAR	33.0 cfs	46.2 cfs	34.3 cfs*	603.87	0.65 AC. FT.
100 YEAR	--- cfs	96.7 cfs	96.7 cfs	604.43	0.83 AC. FT.

STRUCTURE CLASSIFICATION: "a"
 STORAGE-HEIGHT PRODUCT: 2.8 < 3,000
 WATERSHED AREA TO FACILITY (ACRES): 8.214 AC. ± (2 YEAR AND 10 YEAR)/23.574 AC. ± (100 YEAR)
 LEVEL OF MANAGEMENT PROVIDED BY FACILITY: 2 YEAR AND 10 YEAR

SEPTIC SYSTEM DESIGN DATA:
 TRENCH 1
 EXIST. GRADE OVER TRENCH: 619.00
 FINISHED GRADE OVER TRENCH: 619.00
 INVERT 4" PERF. PIPE: 615.50
 BOTTOM TRENCH: 614.00
 TRENCH 2
 EXIST. GRADE OVER TRENCH: 618.00
 FINISHED GRADE OVER TRENCH: 618.00
 INVERT 4" PERF. PIPE: 614.50
 BOTTOM TRENCH: 613.00

HAZARD CLASS STATEMENT: THIS STORMWATER MANAGEMENT POND IS CLASSIFIED AS A CLASS "A" STRUCTURE. THE POND IS LOCATED IN A COMMERCIAL AREA WITH A RURAL (RESIDENTIAL AND AGRICULTURAL) AREA DOWNSTREAM OF THE OUTFALL BASED ON THE SUPPORTING TOPOGRAPHY SHOWN ON SHEET 5 OF 7. A SUDDEN BREACH OF THE DAM MAY DAMAGE NON-RESIDENT OUT BUILDINGS, AGRICULTURAL LAND, FLOODPLAIN AND A COUNTY ROAD.



- CONSTRUCTION SEQUENCE:**
- OBTAIN GRADING PERMIT.
 - CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AS SHOWN ON PLAN.
 - EXCAVATE TEMPORARY SEDIMENT BASIN TO REQUIRED DIMENSIONS AS SHOWN ON PLAN. CONSTRUCT STORM WATER MANAGEMENT STRUCTURE. BLOCK 18" RCPP LOW FLOW PIPE. INSTALL STRAM BALE DIRECTION OF FLOW ALONG TOE OF SLOPE. CONSTRUCT TRIANGULAR CHANNEL ALONG WESTERN PROPERTY LINE. STABILIZE CHANNEL WITH PERMANENT SEEDING MIXTURE AND STRAW MULCH.
 - CONSTRUCT EARTH DIKE. STABILIZE WITH TEMPORARY SEEDING MIXTURE AND STRAW MULCH.
 - CONTINUE DAM CONSTRUCTION. STABILIZE SIDE SLOPES AND STABILIZE WITH PERMANENT SEEDING MIXTURE AND STRAW MULCH.
 - CLEAR AND GRUB SITE AND GRADE TO SUBGRADE. PLACE EXCESS SOIL IN STOCKPILE AREA.
 - BEGIN BUILDING CONSTRUCTION. CONSTRUCT CURB AND CUTTER AND INSTALL BASE COURSE.
 - SEDIMENT SHALL BE REMOVED FROM THE SEDIMENT BASIN WHEN THE CLEANOUT ELEVATION HAS BEEN REACHED.
 - THE CONTRACTOR SHALL INSPECT AND PROVIDE NECESSARY MAINTENANCE OF THE SEDIMENT AND EROSION CONTROL STRUCTURES THROUGHOUT THE CONSTRUCTION PERIOD AND ON A DAILY BASIS.
 - THE SEDIMENT BASIN SHALL BE DIMENSIONED BY FORMING. THE SEDIMENT FROM THE BASIN SHALL BE PLACED UP-GRADE FROM THE SEDIMENT BASIN IN SUCH A MANNER AS NOT TO INTERFERE WITH CONSTRUCTION OPERATIONS OR CAUSE EROSION DOWNSTREAM FROM THE SEDIMENT BASIN.
 - REMOVE SEDIMENT FROM ROADWAYS AND DRESS STORE CONSTRUCTION ENTRANCE AS REQUIRED.
 - BEGIN CONVERSION OF TEMPORARY SEDIMENT BASIN TO PERMANENT STORM WATER MANAGEMENT POND. CONSTRUCT EMERGENCY SPILLWAY. FINE GRADE POND AREA TO REQUIRED DIMENSIONS AND ELEVATIONS AND STABILIZE WITH PERMANENT SEEDING MIXTURE. WHEN SEEDING MIXTURE HAS GERMINATED ADEQUATELY TO STABILIZE SIDE SLOPES AND ALL UPSTREAM AREAS ARE STABILIZED, REMOVE BLOCING FROM LOW FLOW ORIFICE.
 - INSTALL RFP RAP APPROX.
 - REMOVE STORM CONSTRUCTION ENTRANCE AND STRAM BALE DIB/SILT FENCE. CLEAN BASE COURSE, APPLY TACK COAT TO BASE COURSE AND LAY SURFACE COURSE.
 - ALL DISTURBED AREAS DUE TO REMOVAL OF SEDIMENT CONTROL MEASURES SHALL BE GRADDED AND STABILIZED WITH PERMANENT SEEDING MIXTURE.

- DESIGN DATA**
 TEMPORARY SEDIMENT BASIN
- DRAINAGE AREA TO BASIN: 13.814 AC. ±
 - Basin CLASS: 1
 - HEIGHT OF DAM: 5'
 - TOP WIDTH OF DAM: 8'
 - SIDE SLOPES: UPSTREAM 2:1 DOWNSTREAM 3:1
 - VOLUME REQUIRED: 926 C.Y.
 - VOLUME PROVIDED: 1045 C.Y.
 - TOP OF DAM EL.: 606.00
 - 10 YEAR STORM STORAGE EL. (TEMPORARY): 603.25
 - BOTTOM OF POND EL.: 601.00
 - CLEANOUT EL.: 602.80

APPROVED
 DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE 8-29-86
 AM *[Signature]*

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 8388 COURT AVENUE
 ELLICOTT CITY, MARYLAND 21043
 (301) 461-2855

ENGINEER'S CERTIFICATE
 "I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."
[Signature]
 DATE 4/15/86

STORM WATER MANAGEMENT POND CERTIFICATION AND APPROVAL
 DEVELOPER'S CERTIFICATE
 "I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."
[Signature]
 DATE 4/15/86

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
[Signature]
 DATE 10-3-86

APPROVED: OFFICE OF PLANNING AND ZONING
[Signature] 10-15-86
 PLANNING DIRECTOR DATE
[Signature] 10-15-86
 CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

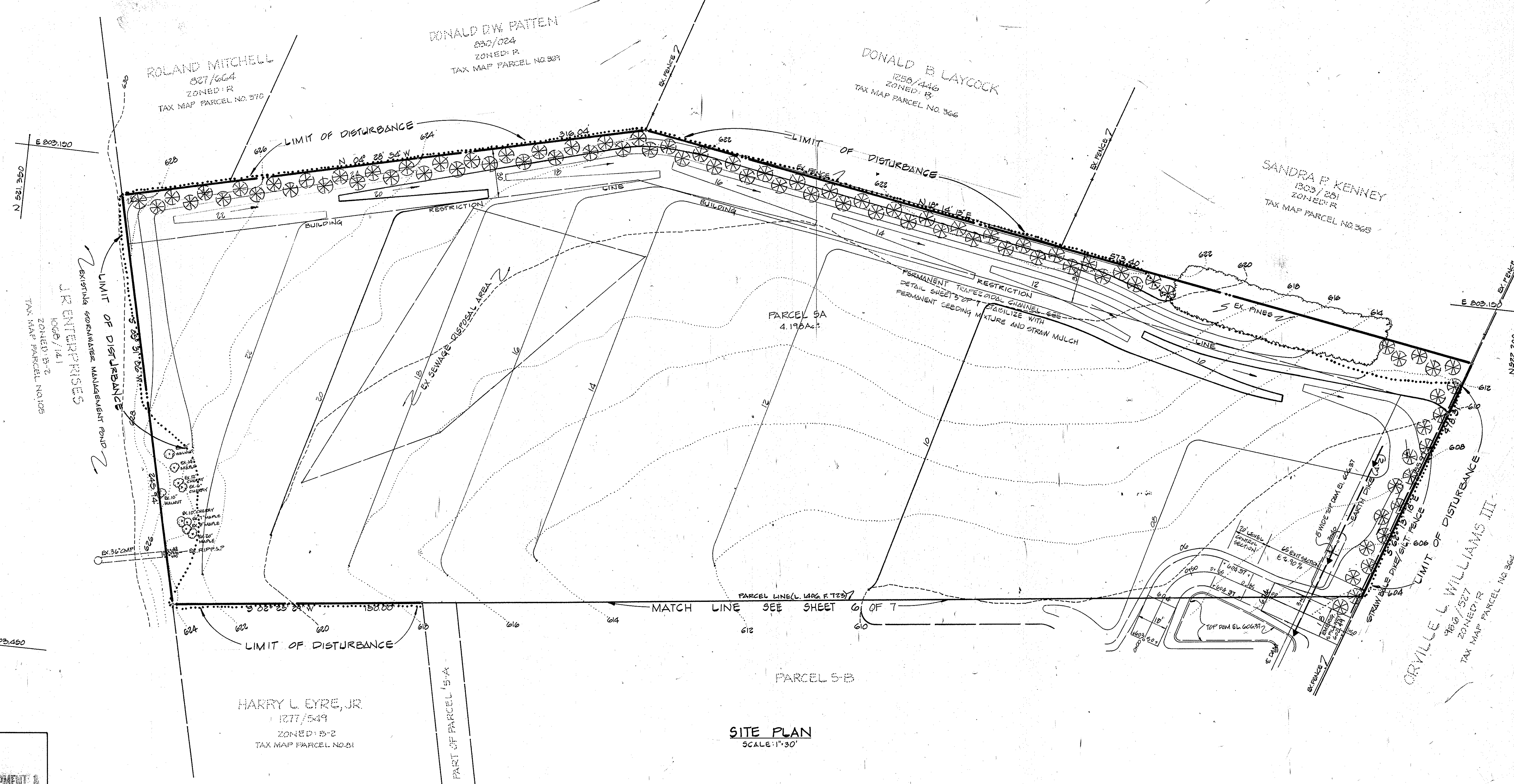
APPROVED: DEPARTMENT OF PUBLIC WORKS FOR STORM DRAINAGE SYSTEMS AND ROADS.
[Signature] 10-15-86
 DIRECTOR, PUBLIC WORKS DATE
[Signature] 10-15-86
 CHIEF, BUREAU OF ENGINEERING DATE

SEDIMENT CONTROL PLAN
 PROPERTY OF
 EDWARD J. GROSS
 PARCEL 5A+5B
 TAX MAP 22 PARCEL NO. 908
 3RD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30' APRIL 11, 1986
 REVISED: SEPTEMBER 17, 1986
 SHEET 6 OF 7

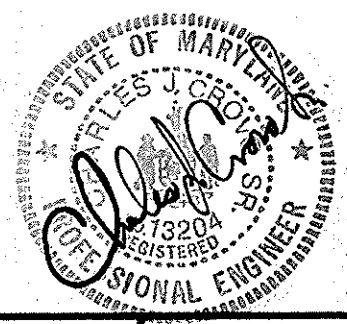


OWNER/DEVELOPER
 DAVID W. HAZEL, ET AL
 14120 BURNINGWOODS ROAD
 GREENGROVE, MARYLAND 21730-9621
 410-707-5410

- SITE ANALYSIS:**
- TOTAL AREA OF SITE: 7.214 AC. ±
 - TOTAL AREA TO BE DISTURBED: 7.214 AC. ±
 - TOTAL IMPERVIOUS AREA: 1.20 AC. ±
 - TOTAL AREA TO BE REVEGETATED: 6.01 AC. ±



APPROVED
 DIVISION OF LAND DEVELOPMENT &
 ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE 8-29-86
[Signature]



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 8388 COURT AVENUE
 ELLICOTT CITY, MARYLAND 21043
 (301) 461-2855

ENGINEER'S CERTIFICATE
 "I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN AS-BUILT PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."
[Signature]
 SIGNATURE OF ENGINEER
 DATE 4/15/86

STORM WATER MANAGEMENT POND CERTIFICATION AND APPROVAL
 DEVELOPER'S CERTIFICATE
 "I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN AS-BUILT PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."
[Signature]
 SIGNATURE OF DEVELOPER
 DATE 4/15/86

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
[Signature] 10-3-86
 HOWARD SOIL CONSERVATION DISTRICT
 DATE
 THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.
[Signature] 10-3-86
 US/ SOIL CONSERVATION SERVICE
 DATE

APPROVED: OFFICE OF PLANNING AND ZONING
[Signature] 10-15-86
 PLANNING DIRECTOR
 DATE
[Signature] 10-15-86
 CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION
 DATE
 APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PRIVATE WATER AND SEWERAGE SYSTEMS
[Signature] 10-14-86
 HEALTH OFFICER
 DATE

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR STORM DRAINAGE SYSTEMS AND ROADS.
[Signature] 10-15-86
 DIRECTOR PUBLIC WORKS
 DATE
[Signature] 10-8-86
 CHIEF, BUREAU OF ENGINEERING
 DATE
 PROPERTY OF EDWARD J. GROSS SECTION/AREA PARCEL NOS. 330+308
 L.F. BLOCK NO. ZONE TAX/ZONE ELEC. DIST. CENSUS TR. 1406/723 14 B-2 22 3RD 6030
 WATER CODE SEWER CODE

SEDIMENT CONTROL PLAN
 PROPERTY OF EDWARD J. GROSS
 PARCEL 5A+5B
 TAX MAP 22 PARCEL NO. 308
 3RD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1"=30'
 APRIL 11, 1986
 REVISED: SEPTEMBER 12, 1986
 SHEET 7 OF 7

OWNER/DEVELOPER
 DAVID W. HARRIS, ET AL
 14120 BURNWOODS ROAD
 GREENWOOD, MARYLAND 21730-7621
 410-707-2410

SITE PLAN
 SCALE: 1"=30'

- ⊙ - EXISTING TREES TO BE REMOVED
- ⊙ - EXISTING TREES TO REMAIN