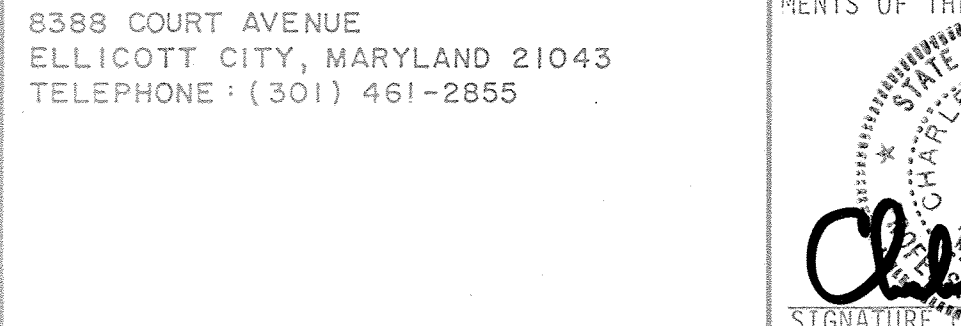
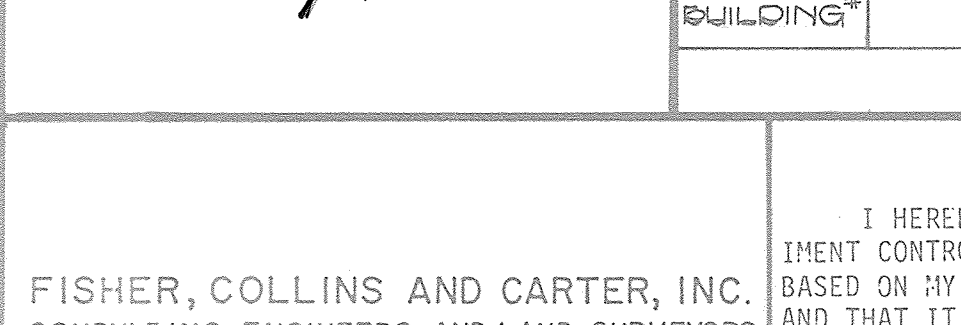
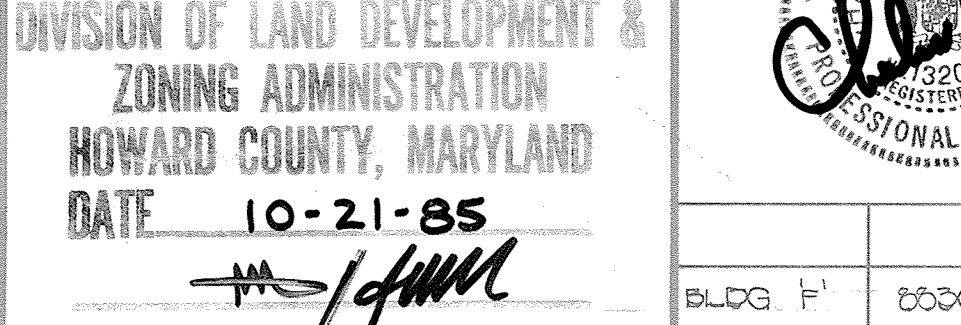
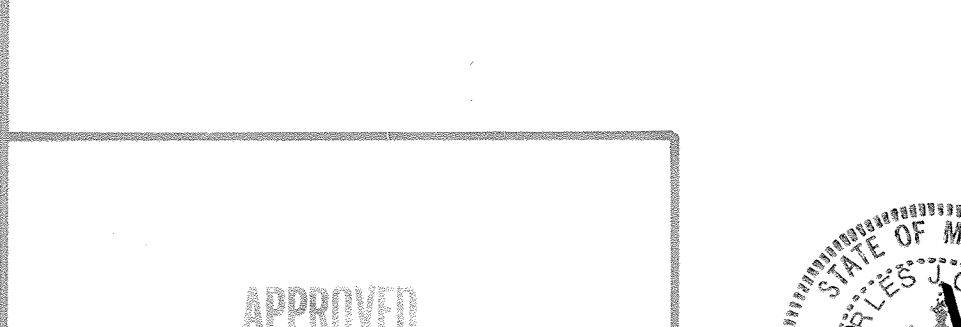
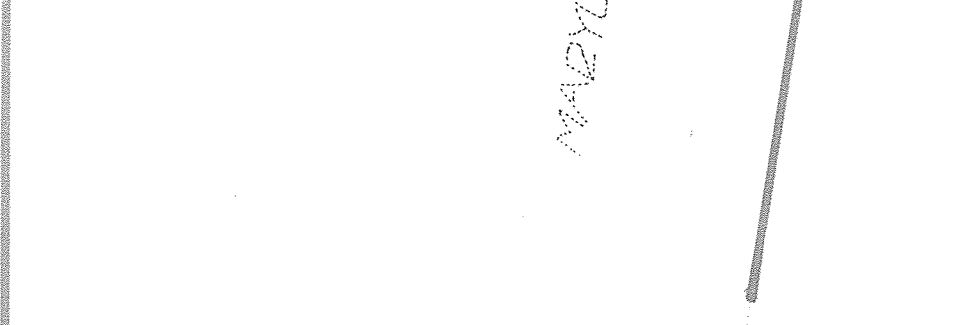
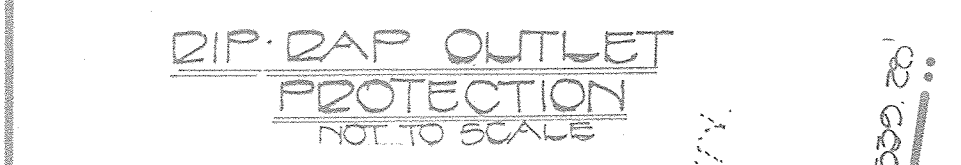
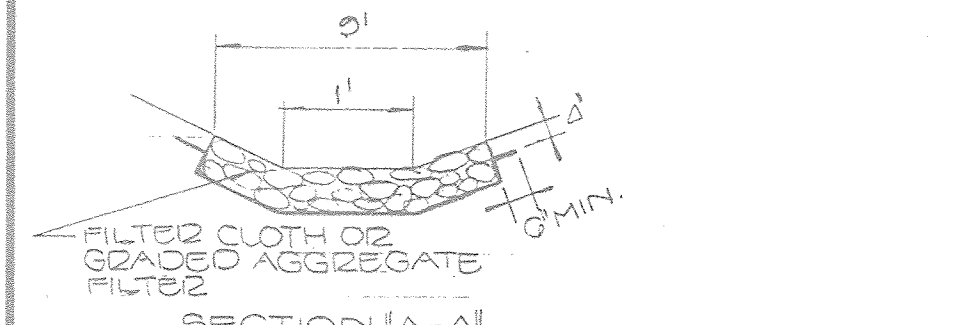
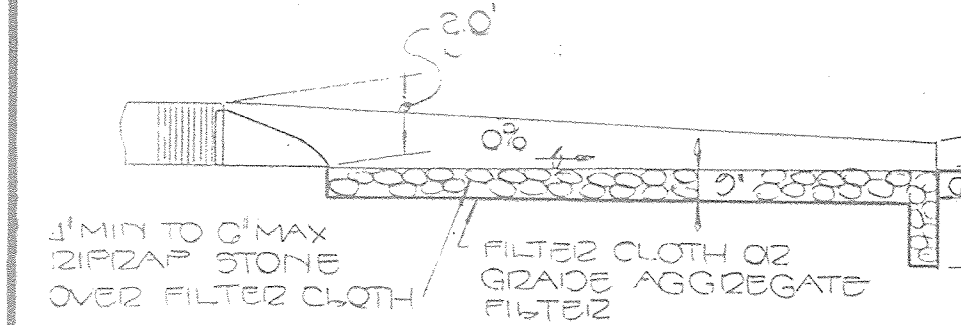
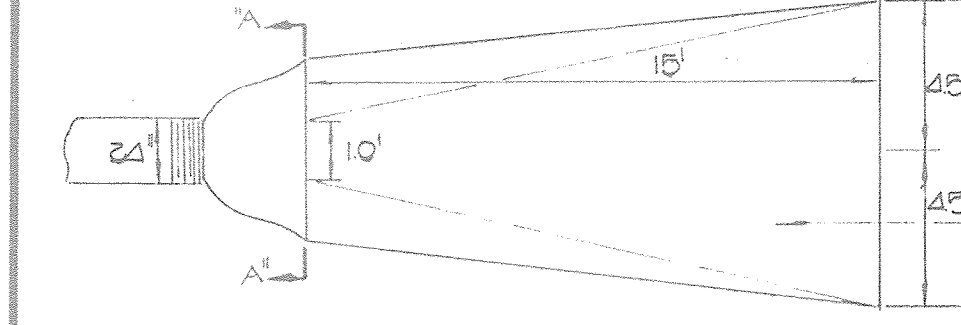


- GENERAL NOTES:**
- TOTAL AREA OF PROPERTY: 10.57 AC. ±
  - PRESENT ZONING: M-1 MANUFACTURING-LEIGHT CAC-CLU-CR
  - PROPERTY IS SHOWN ON TAX MAP 47, PARCEL 509
  - THIS SITE SUBJECT TO BOARD OF APPEALS CASE NO. BA-84-40V
  - PROPERTY DEED REFERENCE: LIBER 1292, FOLIO 023
  - EXISTING SITE (PER BOARD OF APPEALS CASE NO. BA-84-40V):
    - TOTAL NO. OF BUILDINGS: 5
    - TOTAL AREA OF BUILDINGS: 70,463 S.F. OR 1.62 AC. (15% COVERAGE)
    - TOTAL NO. OF EXISTING EMPLOYEES: 141
    - EXISTING USE OF STRUCTURES: WAREHOUSE AND OFFICES
    - TOTAL NO. OF EXISTING SPACES REQUIRED: 141 SPACES
      - 1 SPACE/2 EMPLOYEES ON MAJOR SHIFT: 70 SPACES
      - 1 SPACE/200 S.F. BUILDING: 350 SPACES
      - 70,463 S.F. = 500 = 141 SPACES
    - EXISTING OPEN SPACES:
      - OPEN SPACE PROVIDED: 0.93 AC. (9%)
      - OPEN SPACE REQUIRED (20% MIN.): 2.11 AC. ±
  - PROPOSED SITE (WITHIN LIMITS OF SUBMISSION):
    - TOTAL NO. OF BUILDINGS: 6
    - TOTAL AREA OF BUILDINGS: 116,063 G.F.A. ±
    - TOTAL NO. OF EMPLOYEES: 233
    - INTENDED USE OF STRUCTURE: WAREHOUSE
    - TOTAL NO. OF SPACES REQUIRED: 233 SPACES
      - 1 SPACE/2 EMPLOYEES ON MAJOR SHIFT: 116 SPACES
      - 1 SPACE/500 S.F. BUILDING: 233 SPACES
      - 45,600 S.F. + 500 = 92 SPACES
    - TOTAL NO. OF SPACES PROVIDED: 92 SPACES
      - REGULAR SPACES: 88
      - HANDICAPPED SPACES: 4
    - OPEN SPACE (WITHIN LIMIT OF SUBMISSION):
      - OPEN SPACE PROVIDED: 0.53 AC. ± (5%)
      - HANDICAPPED ISLANDS (WITHIN LIMIT OF SUBMISSION):
      - TOTAL AREA OF PARKING LOT: 33,300 S.F.
      - TOTAL AREA OF LANDSCAPED ISLANDS REQUIRED (3% MIN.): 168 S.F.
      - TOTAL AREA OF LANDSCAPED ISLANDS PROVIDED: 1077 S.F. ±
  - TOTAL SITE:
    - TOTAL AREA OF BUILDINGS: 116,063 G.F.A. ±
    - TOTAL AREA OF BUILDINGS: 116,063 S.F. ±
    - 93,263 S.F. OR 2.14 AC. ± (20% COVERAGE)
  - USE OF STRUCTURES: WAREHOUSE AND OFFICES: MOTOR VEHICLE MAINTENANCE, REPAIR, & PAINTING FACILITIES INCLUDING FULL BODY PAINTING FACILITIES INCLUDING FULL BODY REPAIR AND INCIDENTAL SALES OF PARTS
  - 1 SPACE/2 EMPLOYEES ON MAJOR SHIFT: REPAIR AND PAINTING FACILITIES
  - REGULAR SPACES: 88
  - HANDICAPPED SPACES: 4
  - OPEN SPACES:
    - OPEN SPACE REQUIRED (20% MIN.): 2.11 AC. ±
    - OPEN SPACE PROVIDED: 0.53 AC. ± (5%)
  - THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY CONSTRUCTION INSPECTION/PERMITS DIVISION 24 HOURS PRIOR TO COMMENCEMENT OF WORK AT 992-2455.
  - HANDICAPPED FACILITIES TO BE CONSTRUCTED IN ACCORDANCE WITH THE "DESIGN OF BARRIER FREE FACILITIES" AND THE "MARYLAND BUILDING CODE FOR THE HANDICAPPED AND AGED".
  - ALL PAVING AND STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY ROAD CONSTRUCTION CODE AND STANDARD SPECIFICATIONS.
  - EXISTING UTILITIES SHOWN HEREON HAVE BEEN LOCATED FROM FIELD AND OFFICE INFORMATION. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF EXISTING UTILITIES TO HIS OWN SATISFACTION BEFORE MAKING ANY CONNECTION THERE TO OR EXCAVATING IN THE AREA THEREOF.
  - THE CONTRACTOR SHALL NOTIFY MISS UTILITY 555-0100 A MINIMUM OF THREE DAYS PRIOR TO BEGINNING ANY CONSTRUCTION SHOWING HEREON.
  - SEE ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS.
  - ALL EXTERIOR LIGHTING SHALL BE DIRECTED/REFLECTED AWAY FROM ADJACENT RESIDENTIALLY ZONED PROPERTIES AND PUBLIC RIGHT-OF-WAYS.
  - HANDICAPPED ACCESS WILL BE PROVIDED TO ALL LEASED TENANCIES BY MEANS OF AN INTERIOR CORRIDOR. SEE ARCHITECTURAL DRAWINGS FOR BUILDING 'F'.
  - A DESIGN AND ORDER BOARD PER THERR 21, 2017 CASE NUMBER 17-007, CONFIRMS A NONCONFORMING USE FOR MOTOR VEHICLE MAINTENANCE, REPAIR AND PAINTING FACILITIES INCLUDING FULL BODY REPAIR AND INCIDENTAL SALES OF PARTS FOR THIS PROPERTY AS AUTHORIZED UNDER SECTION 10-09-01 AND SECTION 12-01 OF THE ZONING REGULATIONS.



BUILDING PROFILE  
NOT TO SCALE

SECTION 'A-A'

SECTION 'A-A'

SECTION 'A-A'

SECTION 'A-A'

SECTION 'A-A'

SECTION 'A-A'

SECTION 'A-A'

SECTION 'A-A'

SECTION 'A-A'

SECTION 'A-A'

SECTION 'A-A'

APPROVED  
DIVISION OF LAND DEVELOPMENT &  
ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE 10-21-85



BLDG. 'F'	6630 US ROUTE 1
BUILDING#	STREET ADDRESS
ADDRESS CHART	

SEG	UPDATE PARKING CALCULATIONS AND STRIPING	12/20/2018
QAN.	CHANGE PARKING SPACES	4-24-87
NO.	REVISION	DATE

**ENGINEER'S CERTIFICATE**  
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

FISHER, COLLINS AND CARTER, INC.  
CONSULTING ENGINEERS AND LAND SURVEYORS  
8388 COURT AVENUE  
ELLICOTT CITY, MARYLAND 21043  
TELEPHONE: (301) 461-2855

11/26/85

**DEVELOPER'S CERTIFICATE**  
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."

7-25-85

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

James Mitchell 3-20-86  
U.S. SOIL CONSERVATION SERVICE

Stephen L. Fisher 3/20/85  
DISTRICT MANAGER  
HOWARD SOIL CONSERVATION DISTRICT

APPROVED: DEPARTMENT OF PUBLIC WORKS.  
FOR PUBLIC WATER AND SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.

Cliff F. Nemy 3-24-86  
DIRECTOR, PUBLIC WORKS

William B. Rudy 3-24-86  
CHIEF, BUREAU OF ENGINEERING

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT  
FOR PUBLIC WATER AND SEWERAGE SYSTEMS.

Joseph J. Ford 3-21-86  
HEALTH OFFICER

APPROVED: OFFICE OF PLANNING AND ZONING

Thomas J. Harig 3-26-86  
PLANNING DIRECTOR

John M. Muehman 3-25-86  
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION

PROPERTY OF	CROSSROADS PARK LTD PART.
SECTION / AREA	SECTION 10
PARCEL NO.	509
L.F. BLOCK NO. ZONE	1207/023 12 M-1
TAX / ZONE	AT
ELEC. DIST.	GTH
CENSUS TR.	6004
WATER CODE	0-02
SEWER CODE	4250000

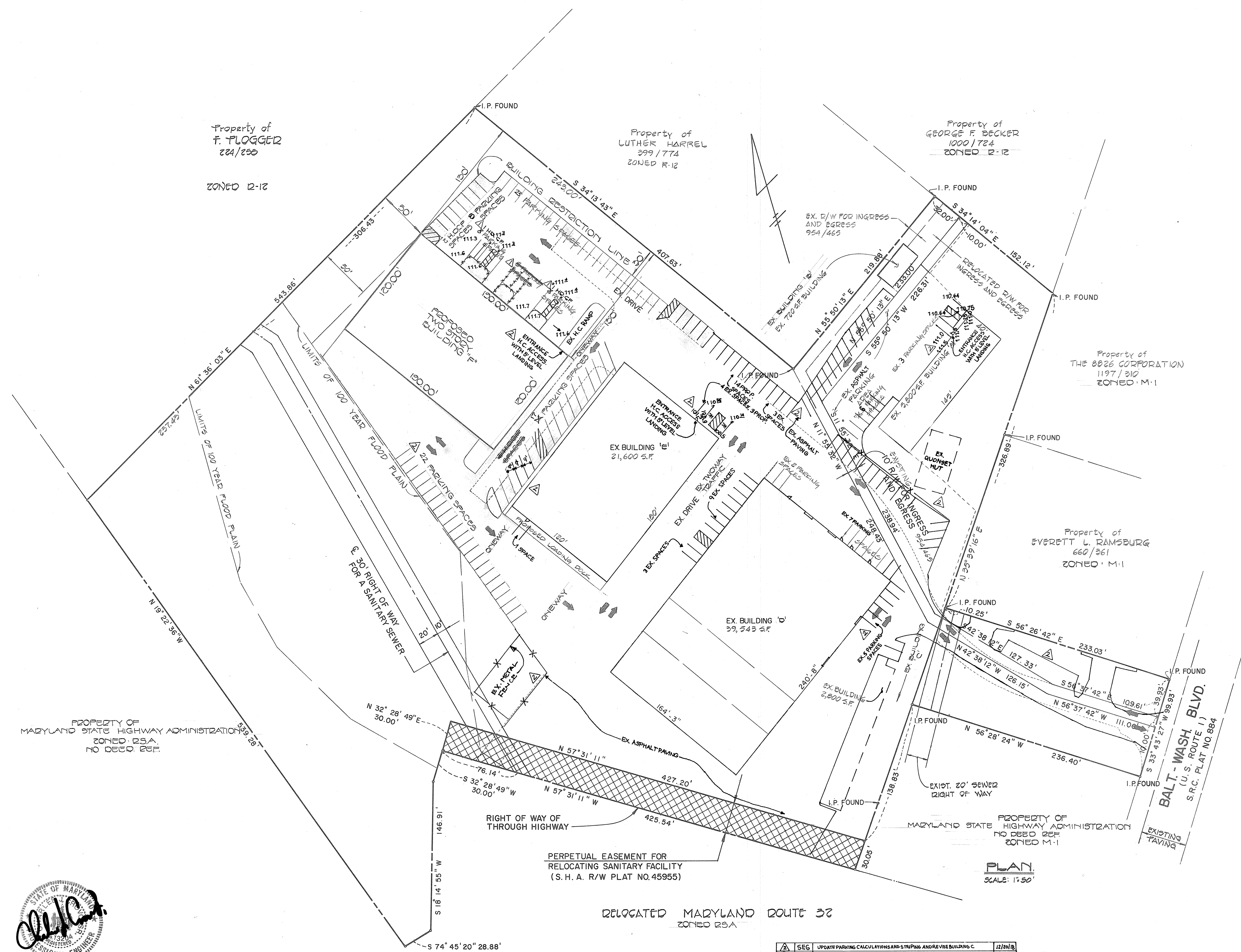
**SITE DEVELOPMENT PLAN**

PROPERTY OF  
CROSSROADS PARK LIMITED PARTNERSHIP  
CROSSROADS INDUSTRIAL BUILDING

TAX MAP 47 PARCEL 509  
GTH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND  
JULY 19, 1985 SCALE: AS SHOWN  
REVISED NOVEMBER 17, 1985  
SHEET 1 OF 4

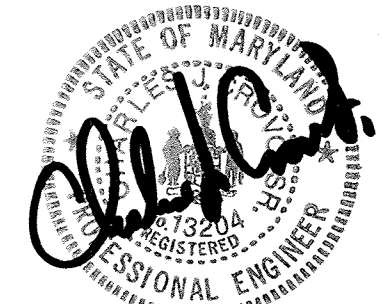
OWNER AND DEVELOPER:  
CROSSROADS PARK LIMITED PARTNERSHIP  
c/o COLQUITT-CARRUTHERS  
6337 EXECUTIVE BOULEVARD  
ROCKVILLE, MARYLAND 20852

3.D.P. 83-20



LEGEND:  
 → DENOTES TRAFFIC FLOW DIRECTION

APPROVED  
 DIVISION OF LAND DEVELOPMENT &  
 ZONING ADMINISTRATION  
 HOWARD COUNTY, MARYLAND  
 DATE 10-21-85



FISHER, COLLINS & CARTER, INC.  
 CIVIL ENGINEERS & LAND SURVEYORS  
 8388 COURT AVENUE  
 ELLICOTT CITY, MARYLAND 21043  
 (301) 461-2855

ENGINEER'S CERTIFICATE  
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

STATE OF MARYLAND  
 CHARLES J. CROWDER  
 REGISTERED PROFESSIONAL ENGINEER  
 SIGNATURE OF ENGINEER  
 DATE 11/26/85

DEVELOPER'S CERTIFICATE  
 "I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ONSITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."

JOHN J. JOHNSON  
 SIGNATURE OF DEVELOPER  
 DATE 7-25-85

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS  
 U.S. SOIL CONSERVATION SERVICE  
 DATE 3-20-86

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
 APPROVED:  
 STEPHEN L. FINKEL  
 DISTRICT ENGINEER  
 DATE 3/20/86

APPROVED: OFFICE OF PLANNING AND ZONING  
 DANIEL HANIGS  
 PLANNING DIRECTOR  
 DATE 3-26-86

JOHN W. WARDMAN  
 CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION  
 DATE 3-25-86

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS  
 JAMES W. BRYAN  
 HEALTH OFFICER  
 DATE 3-21-86

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.  
 JAMES F. NEUMEY  
 DIRECTOR, PUBLIC WORKS  
 DATE 3-24-86

WALTER E. REAY  
 CHIEF, BUREAU OF ENGINEERING  
 DATE 3-24-86

PROPERTY NAME	CROSSROADS PARK LTD PART	SECTION/AREA		PARCEL NO.	503
PLAT	1002/023	BLOCK NO.	12	ZONE	M-1
TAX/ZONE	47	ELEC. DIST.	6TH	CENSUS TR.	6003
WATER CODE	202	SEWER CODE	4250000		

PROPERTY OUTLINE DRAWING  
 PROPERTY OF  
 CROSSROADS PARK LIMITED PARTNERSHIP  
 CROSSROADS INDUSTRIAL BUILDING  
 TAX MAP 47 PARCEL 503  
 4TH ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND  
 JULY 13, 1985 SCALE AS SHOWN  
 REVISED NOVEMBER 17, 1985  
 SHEET 2 OF 4

**PERMANENT SEEDING NOTES:**  
 APPLY TO GRADED OR CLEARED AREA NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.  
**SEEDBED PREPARATION:** LOOSEN UPPER THREE-INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING.  
**SOIL AMENDMENTS:** IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:  
 1) PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ. FT.) AND 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ. FT.) BEFORE SEEDING.  
 2) ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ. FT.) AND 1000 LBS PER ACRE 10-10-10 FERTILIZER (23 LBS/1000 SQ. FT.) BEFORE SEEDING.  
 HARRON OR DISC INTO UPPER THREE-INCHES OF SOIL.

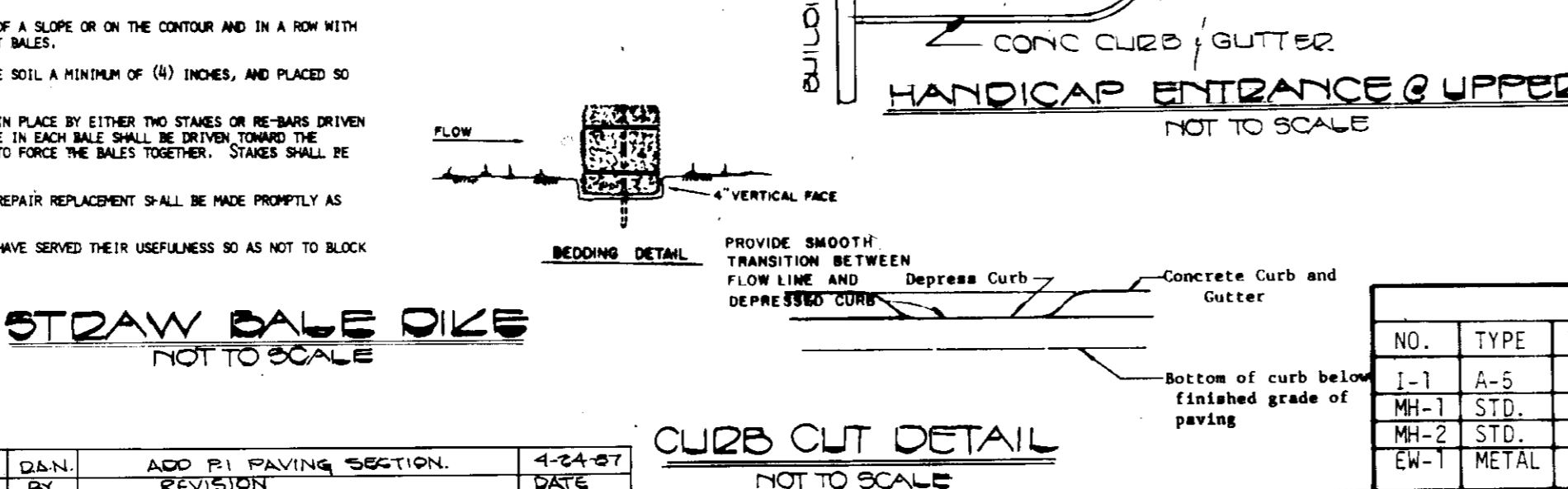
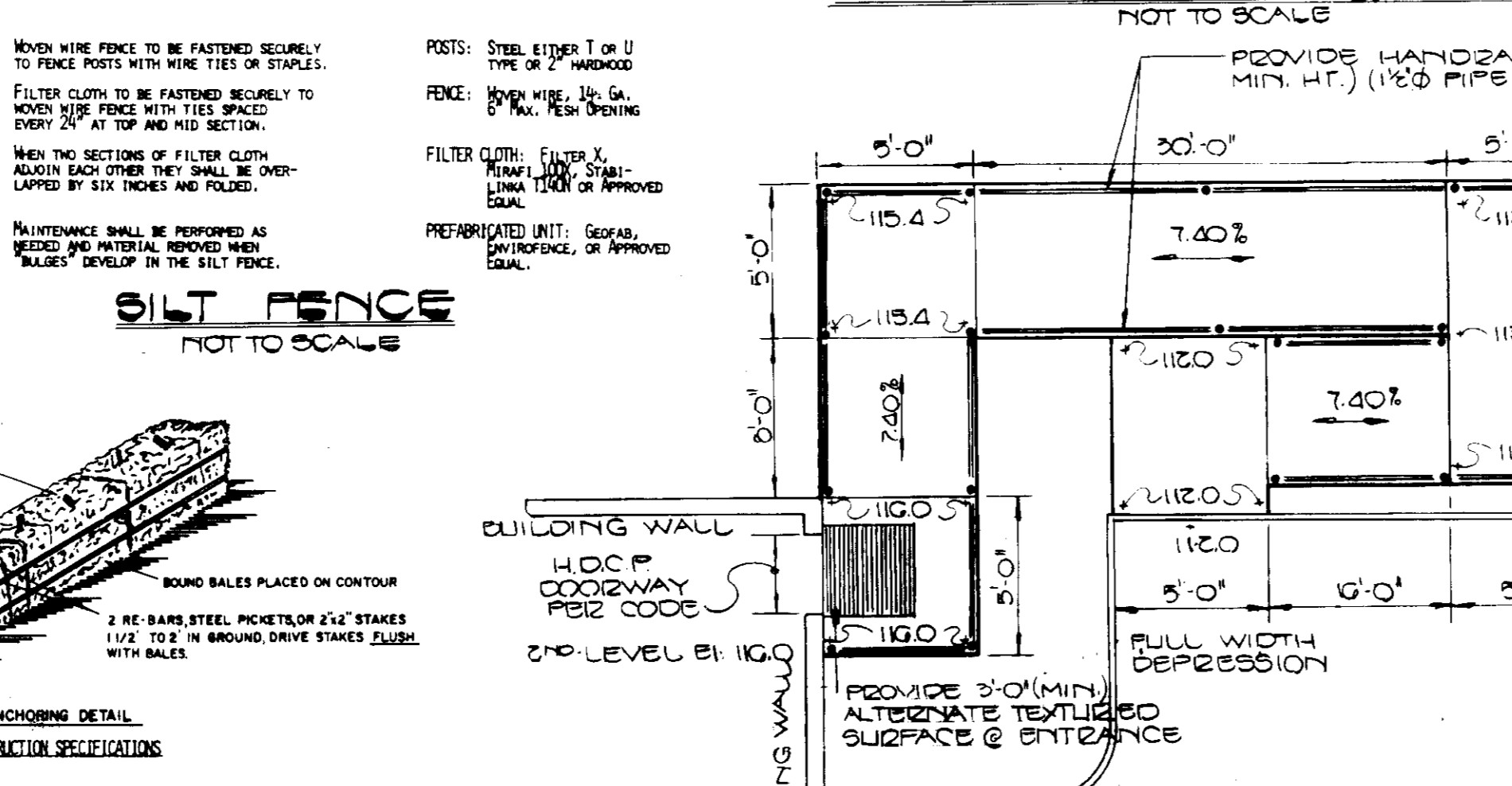
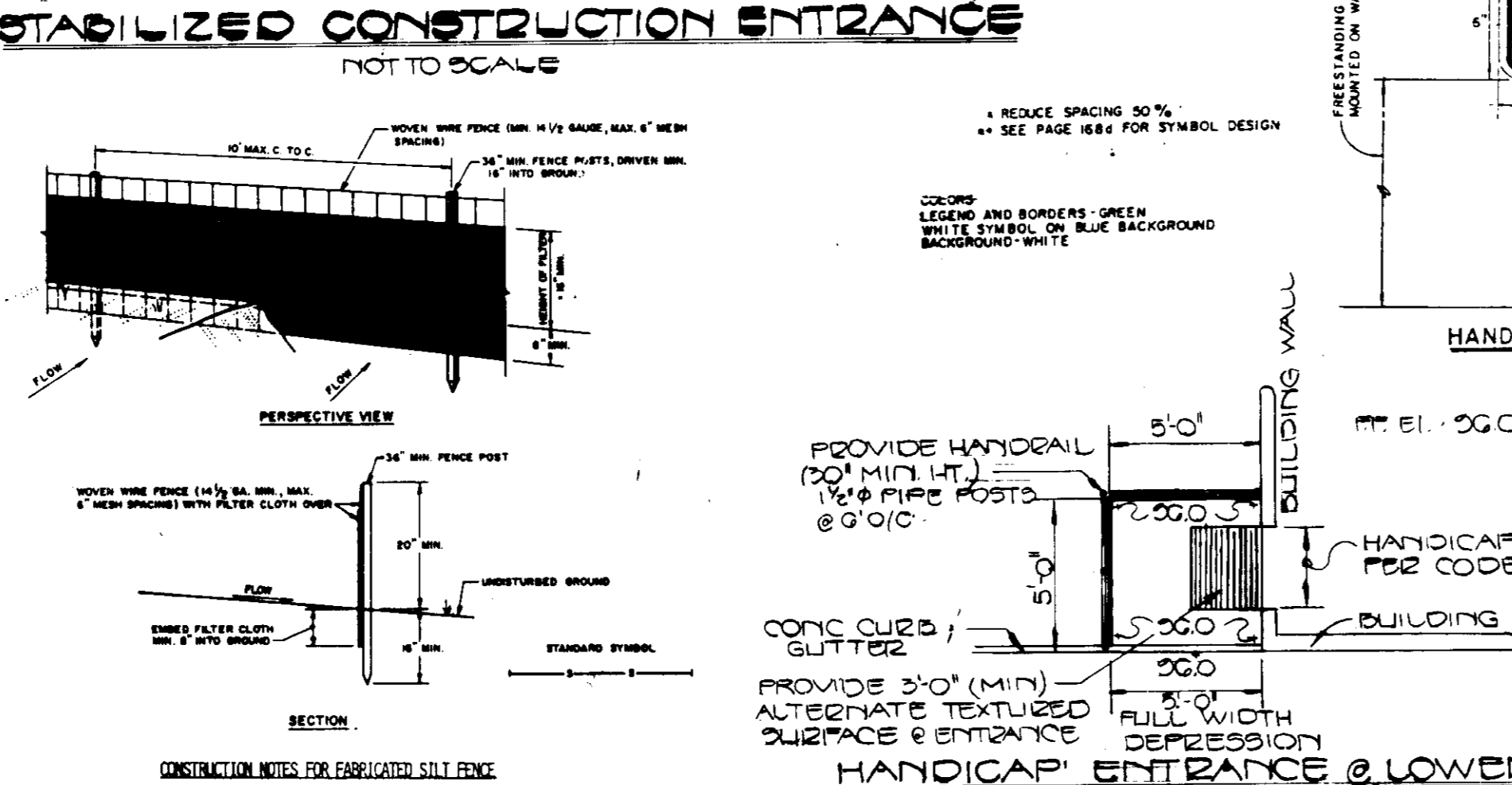
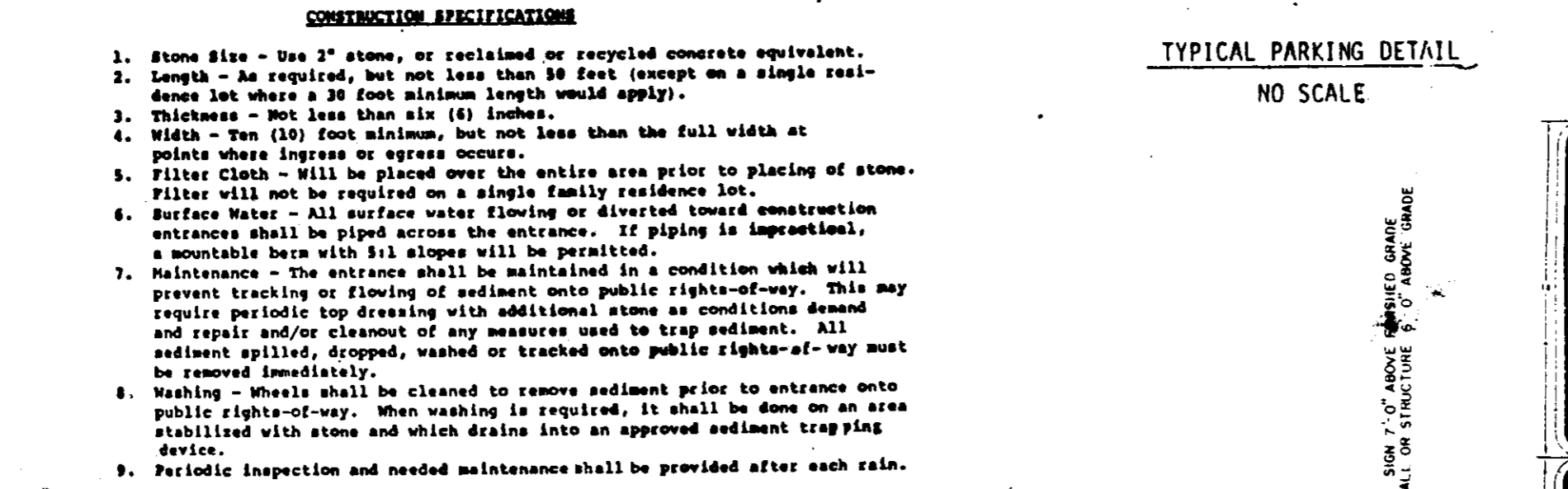
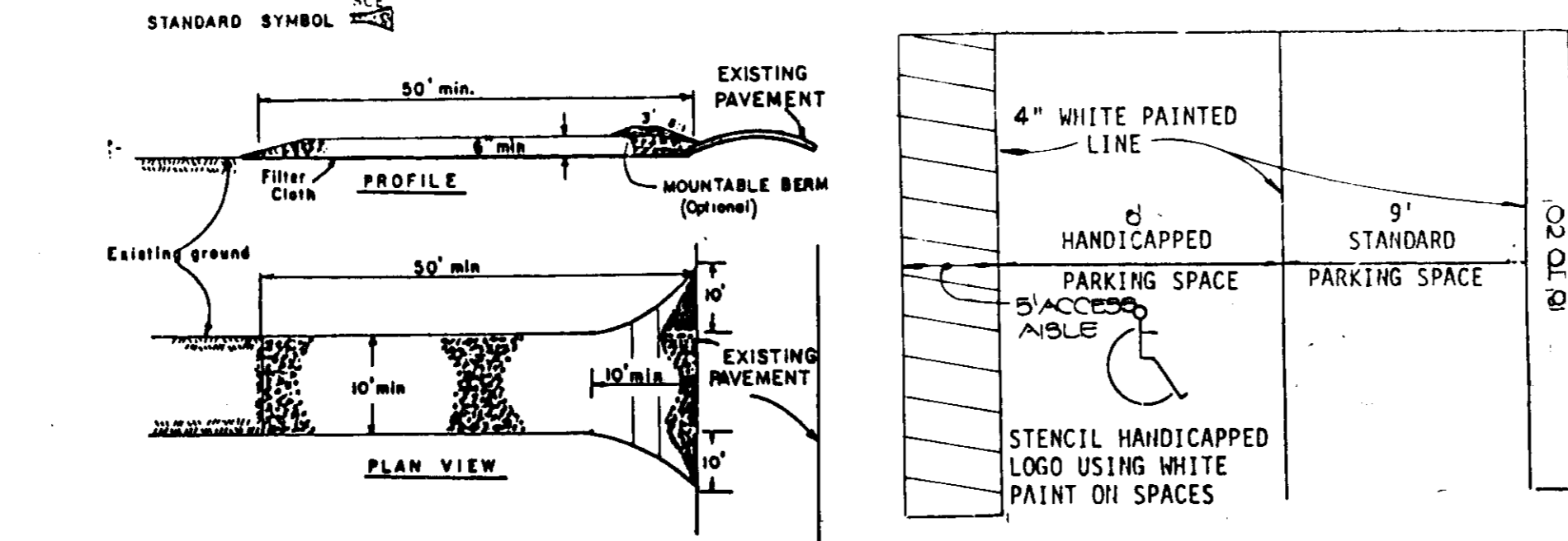
**SEEDING:** FOR PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 50 LBS PER ACRE (1.4 LBS/1000 SQ. FT.) OF KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS PER ACRE (.05 LBS/1000 SQ. FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY OPTION (1) 2 TONS PER ACRE OF WELLS ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) USE SOD. OPTION (3) SEED WITH 60 LBS/ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELLS ANCHORED STRAW MULCH.  
**MULCHING:** APPLY 14 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ. FT.) OF UNROTTED SMALL STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS, ON SLOPES 8 FT. OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ. FT.) FOR ANCHORING.

**MAINTENANCE:** INSPECT ALL SEEDED AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.  
**TEMPORARY SEEDING NOTES:**  
 APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.  
**SEEDBED PREPARATION:** LOOSEN UPPER THREE-INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING.  
**SOIL AMENDMENTS:** APPLY 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ. FT.)

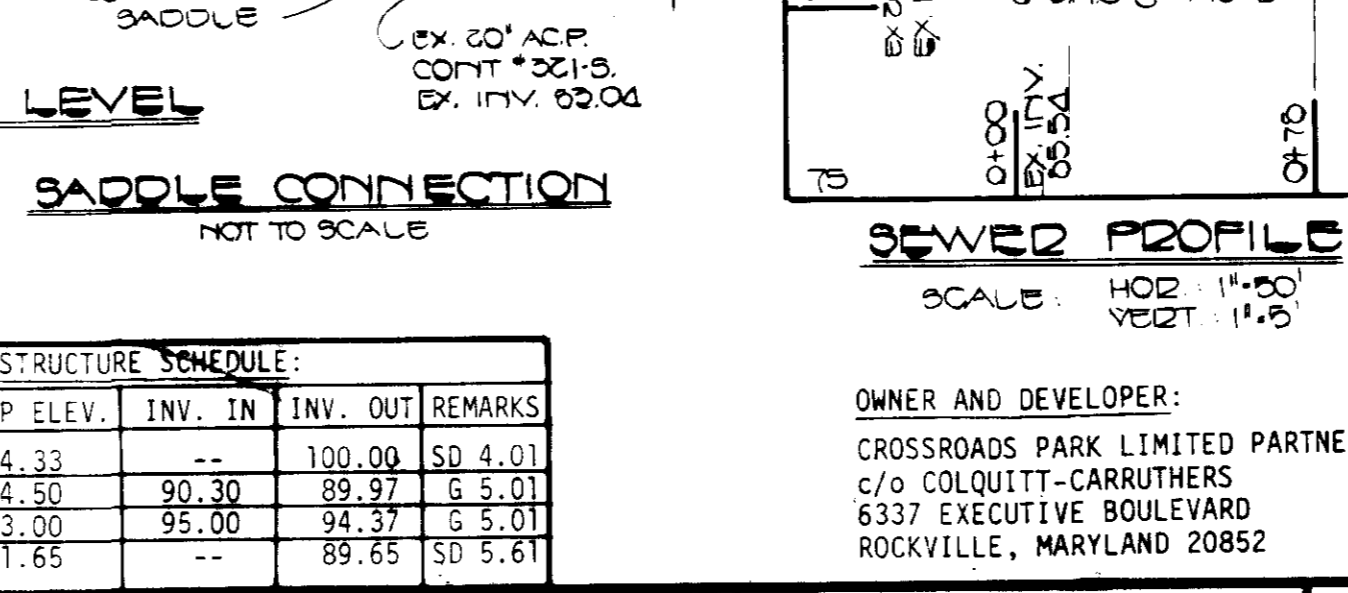
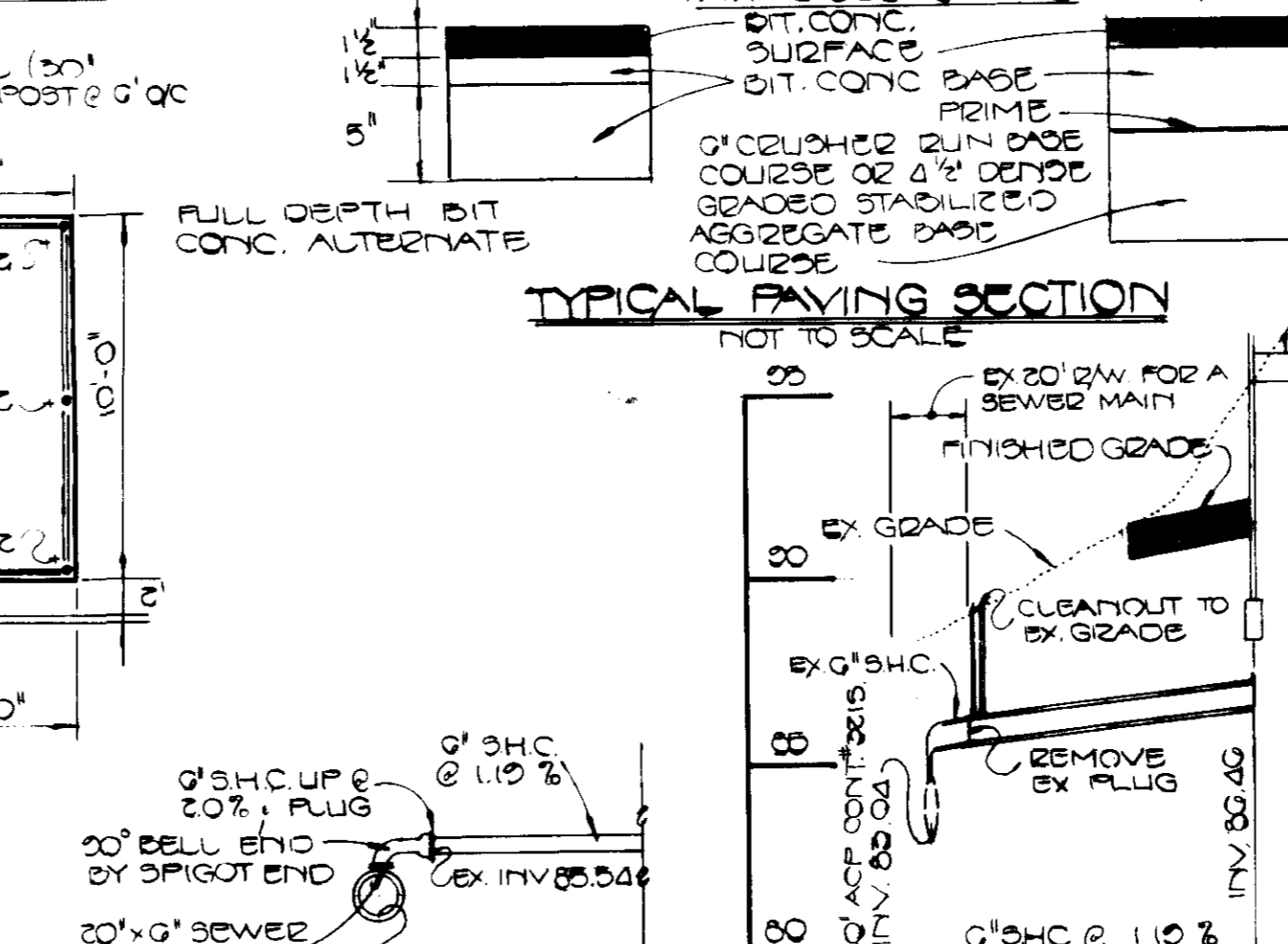
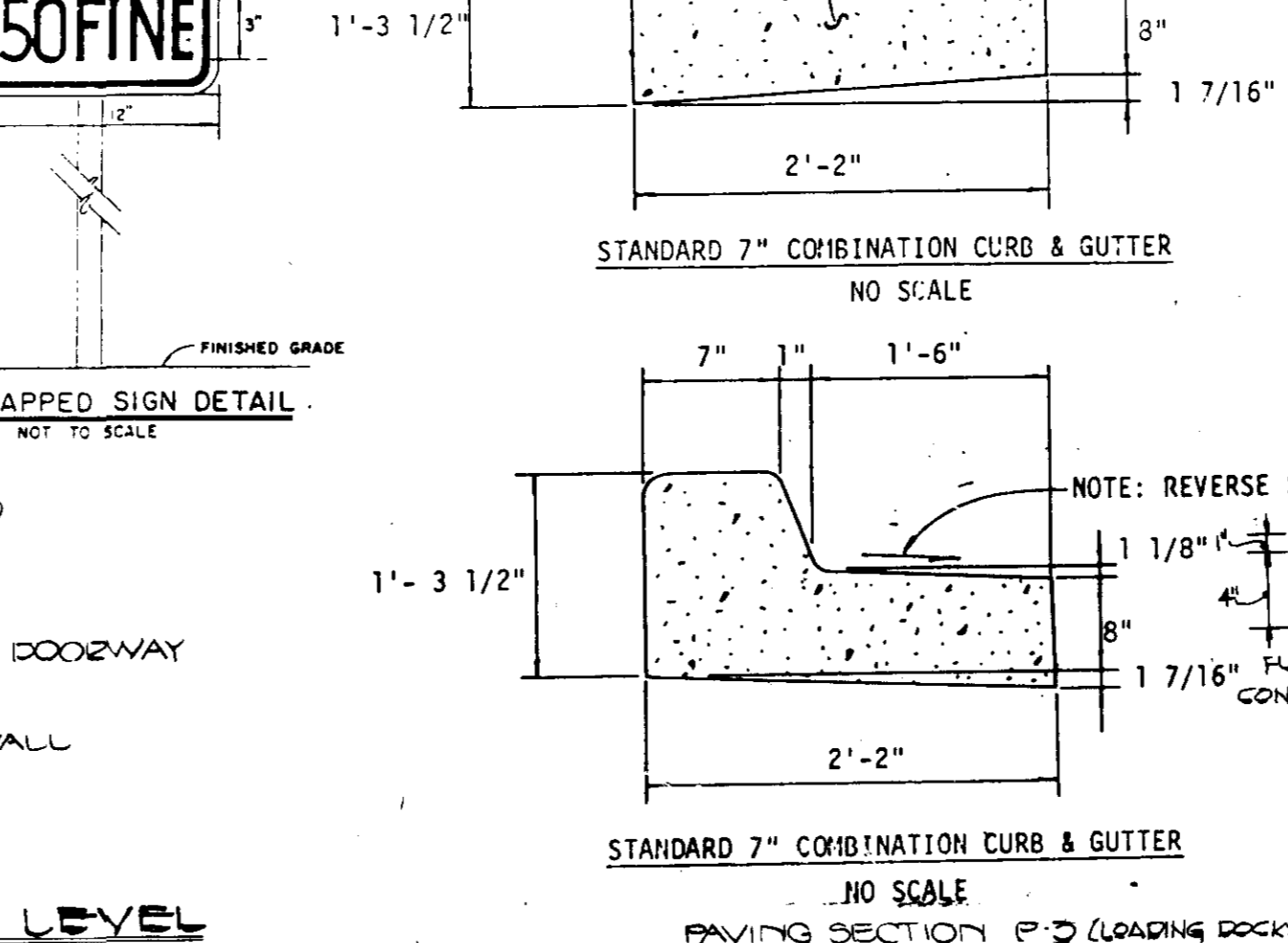
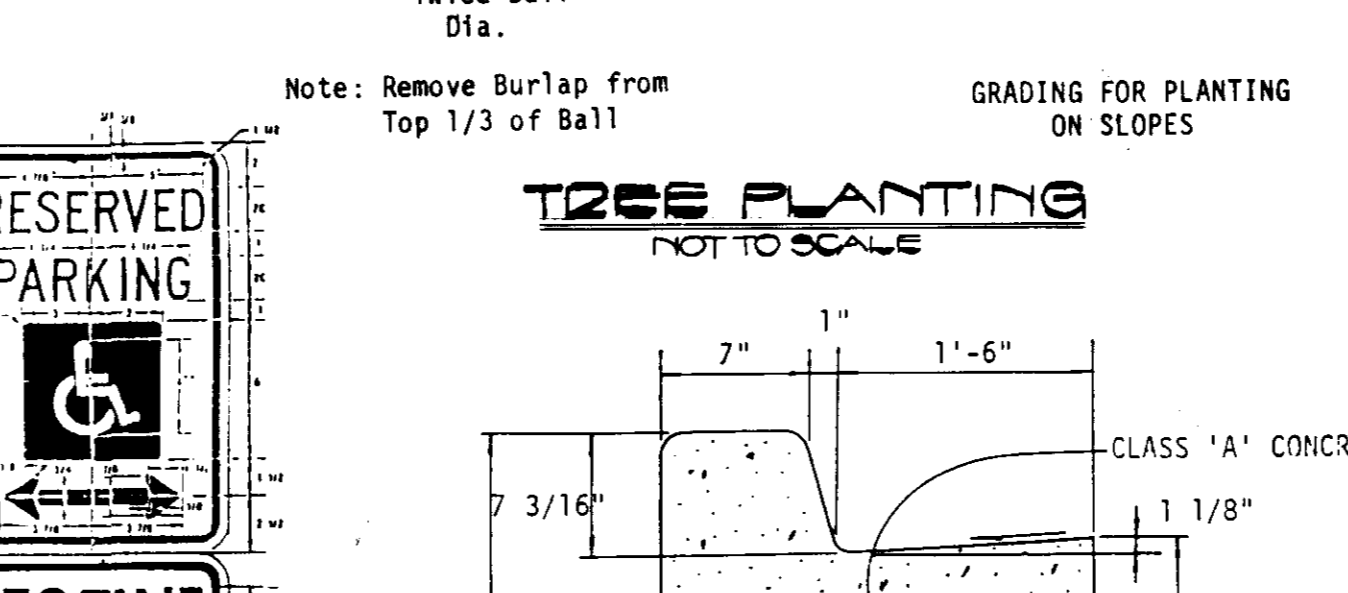
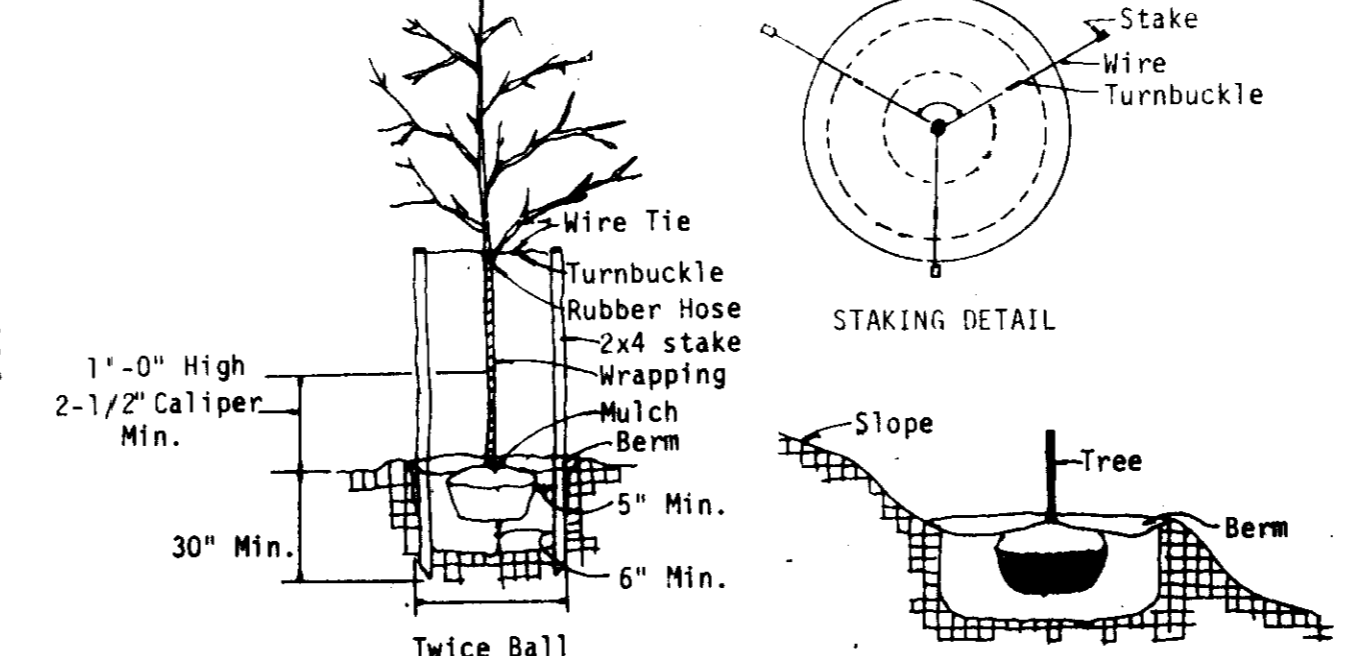
**SEEDING:** FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 1 THRU NOVEMBER 15, SEED WITH 75 BUSHES PER ACRE OF ANNUAL RYE (2.3 LBS/1000 SQ. FT.) FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS PER ACRE OF WEEPING LOVEGRASS (.07 LBS/1000 SQ. FT.). FOR THE PERIOD NOVEMBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELLS ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.  
**MULCHING:** APPLY 14 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ. FT.) OF UNROTTED SMALL STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL PER ACRE (5 GAL/1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS, ON SLOPES, 8 FT. OR HIGHER, USE 348 GAL PER ACRE (8 GAL/1000 SQ. FT.) FOR ANCHORING.

REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

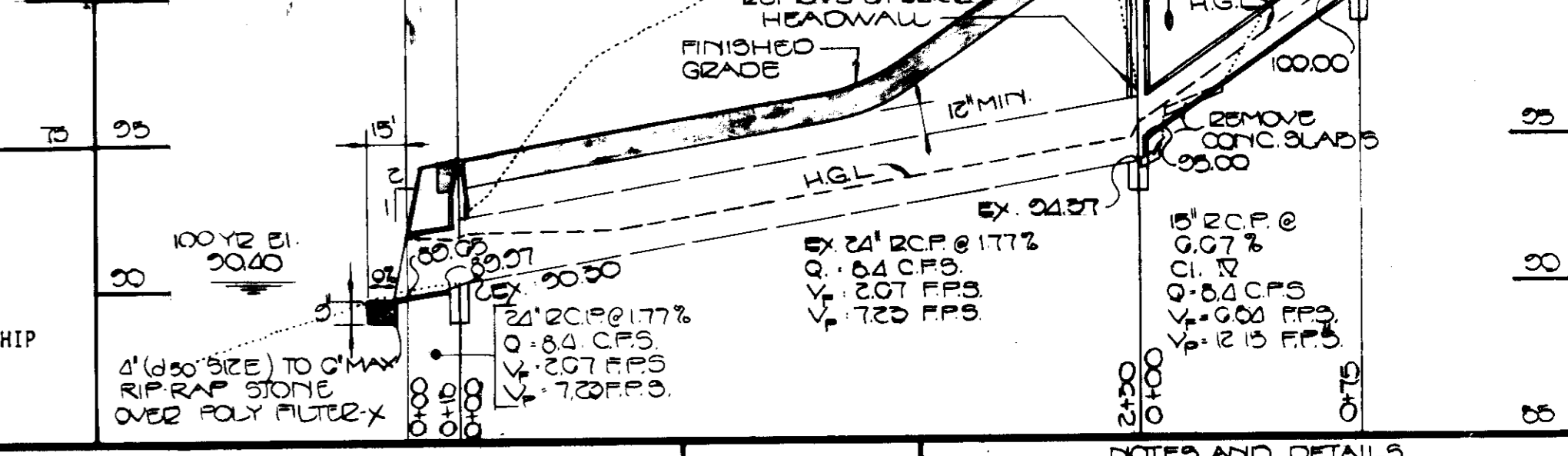
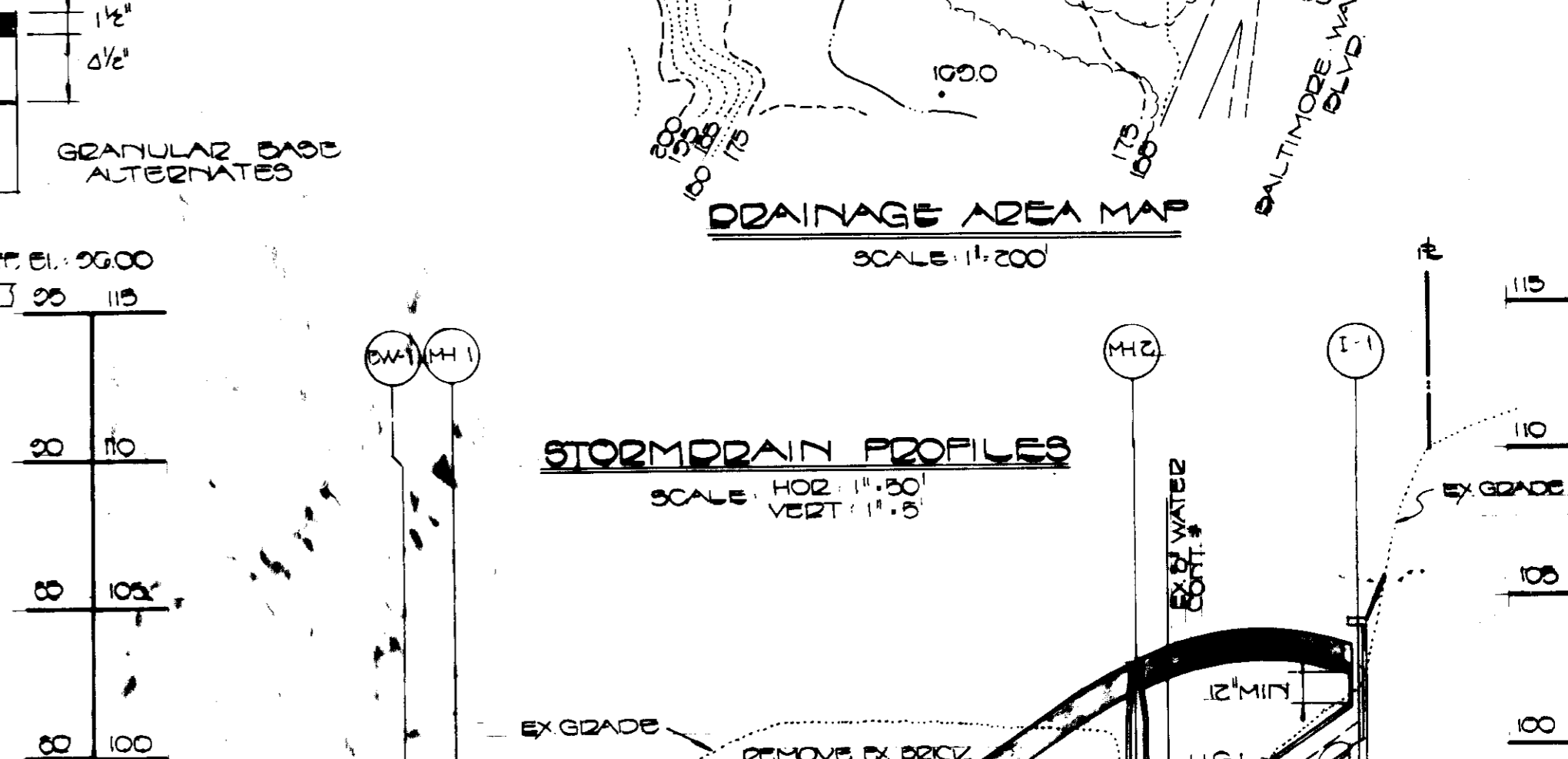
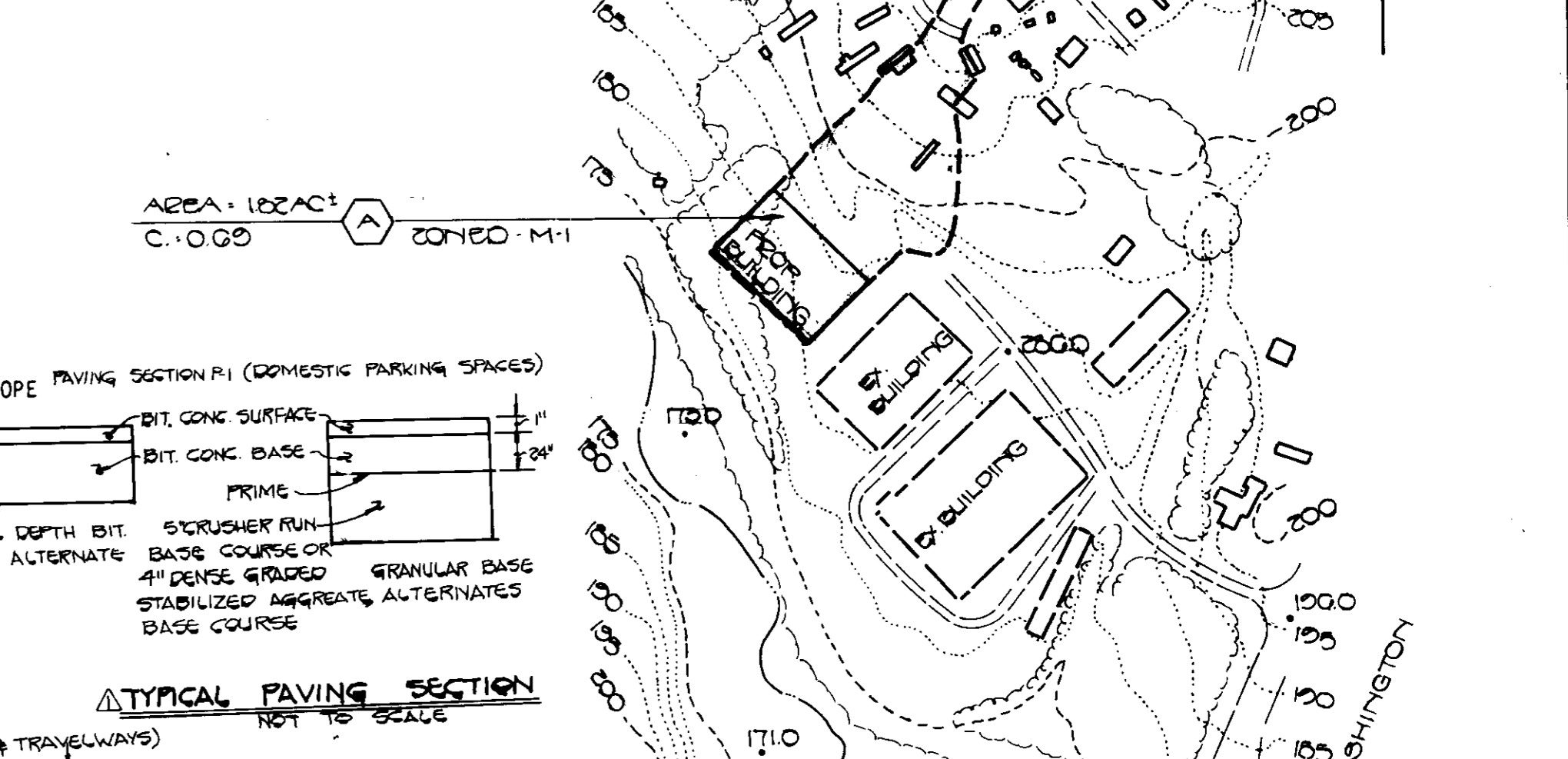
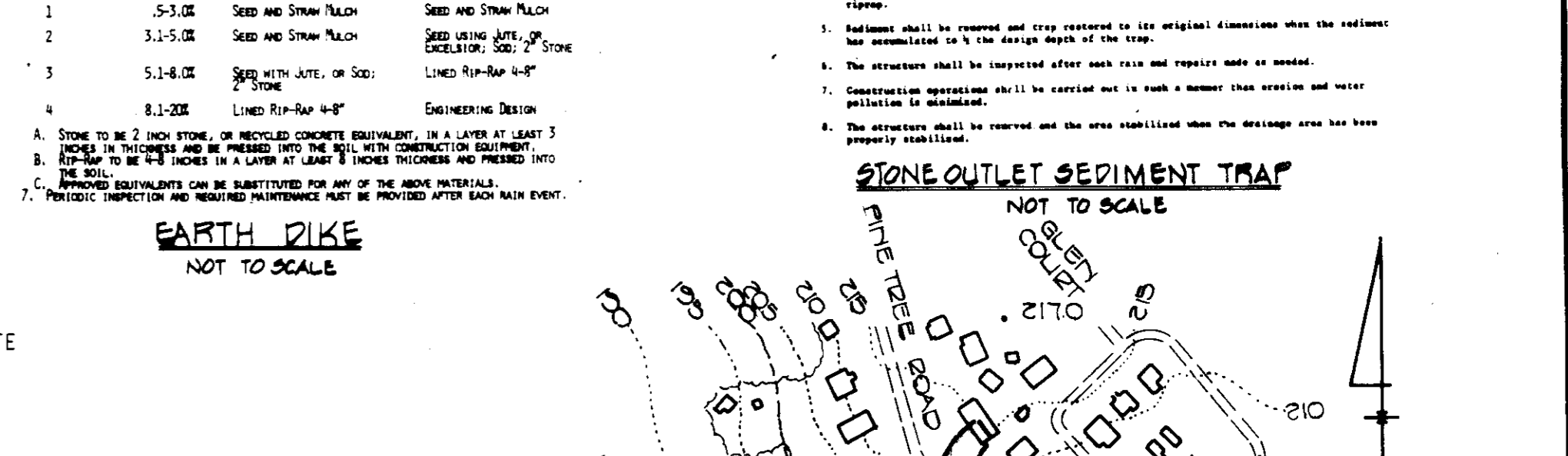
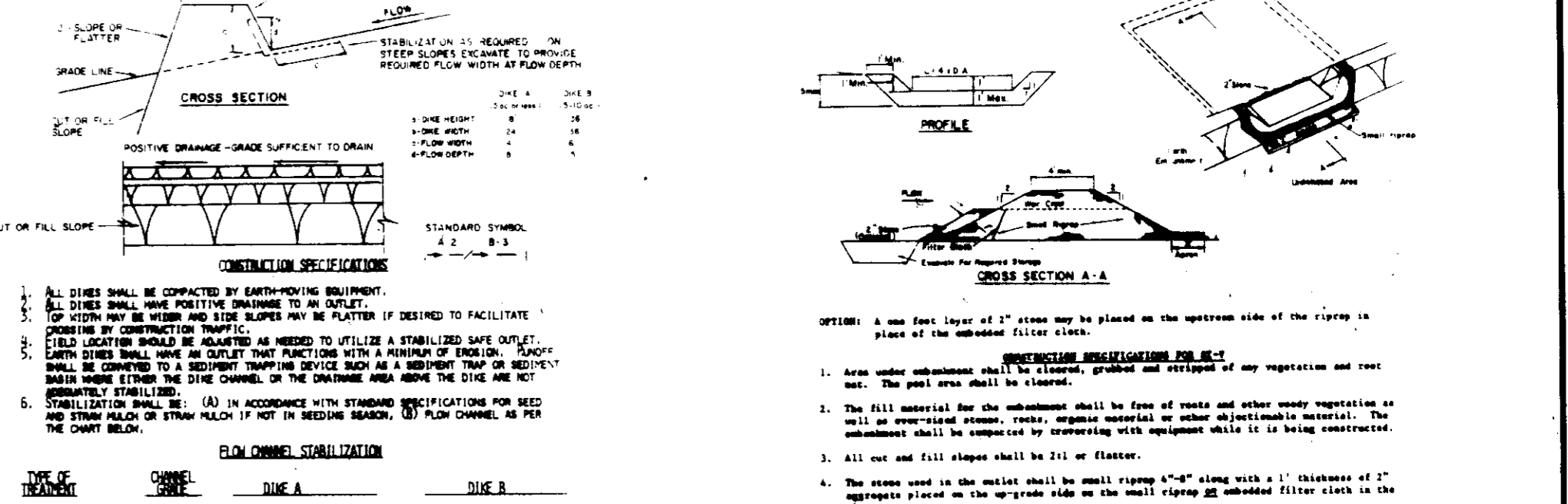
**SEDIMENT CONTROL NOTES:**  
 1. A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION. (992-2437)  
 2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.  
 3. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1, B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.  
 4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND MARKING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.  
 5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (SEC. 51) AND (SEC. 54) TEMPORARY SEEDING (SEC. 50) AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONG CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.  
 6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.  
 7. SITE ANALYSIS:  
 TOTAL AREA OF SITE 1057 ACRES  
 AREA DISTURBED 200 ACRES  
 AREA TO BE ROOFED OR PAVED 150 ACRES  
 AREA TO BE VEGETATIVELY STABILIZED 955 ACRES  
 TOTAL CUT 1100 CU. YDS.  
 TOTAL FILL 1100 CU. YDS.  
 OFFSITE WASTE/BORROW AREA LOCATION BALANCED SITE  
 8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.



NO.	TYPE	TOP ELEV.	INV. IN	INV. OUT	REMARKS
1-1	A-5	104.33	--	100.00	SD 4.01
MH-1	STD.	94.50	90.30	89.97	G 5.01
MH-2	STD.	103.00	95.00	94.37	G 5.01
EW-1	METAL	91.65	--	89.65	SD 5.61

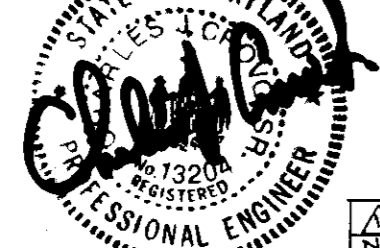


NO.	TYPE	TOP ELEV.	INV. IN	INV. OUT	REMARKS
1-1	A-5	104.33	--	100.00	SD 4.01
MH-1	STD.	94.50	90.30	89.97	G 5.01
MH-2	STD.	103.00	95.00	94.37	G 5.01
EW-1	METAL	91.65	--	89.65	SD 5.61



NO.	TYPE	TOP ELEV.	INV. IN	INV. OUT	REMARKS
1-1	A-5	104.33	--	100.00	SD 4.01
MH-1	STD.	94.50	90.30	89.97	G 5.01
MH-2	STD.	103.00	95.00	94.37	G 5.01
EW-1	METAL	91.65	--	89.65	SD 5.61

**APPROVED**  
 DIVISION OF LAND DEVELOPMENT &  
 ZONING ADMINISTRATION  
 HOWARD COUNTY, MARYLAND  
 DATE 10-21-85



**FISHER, COLLINS AND CARTER, INC.**  
 CONSULTING ENGINEERS AND LAND SURVEYORS  
 8388 COURT AVENUE  
 ELLICOTT CITY, MARYLAND 21043  
 TELEPHONE: (301) 461-2855

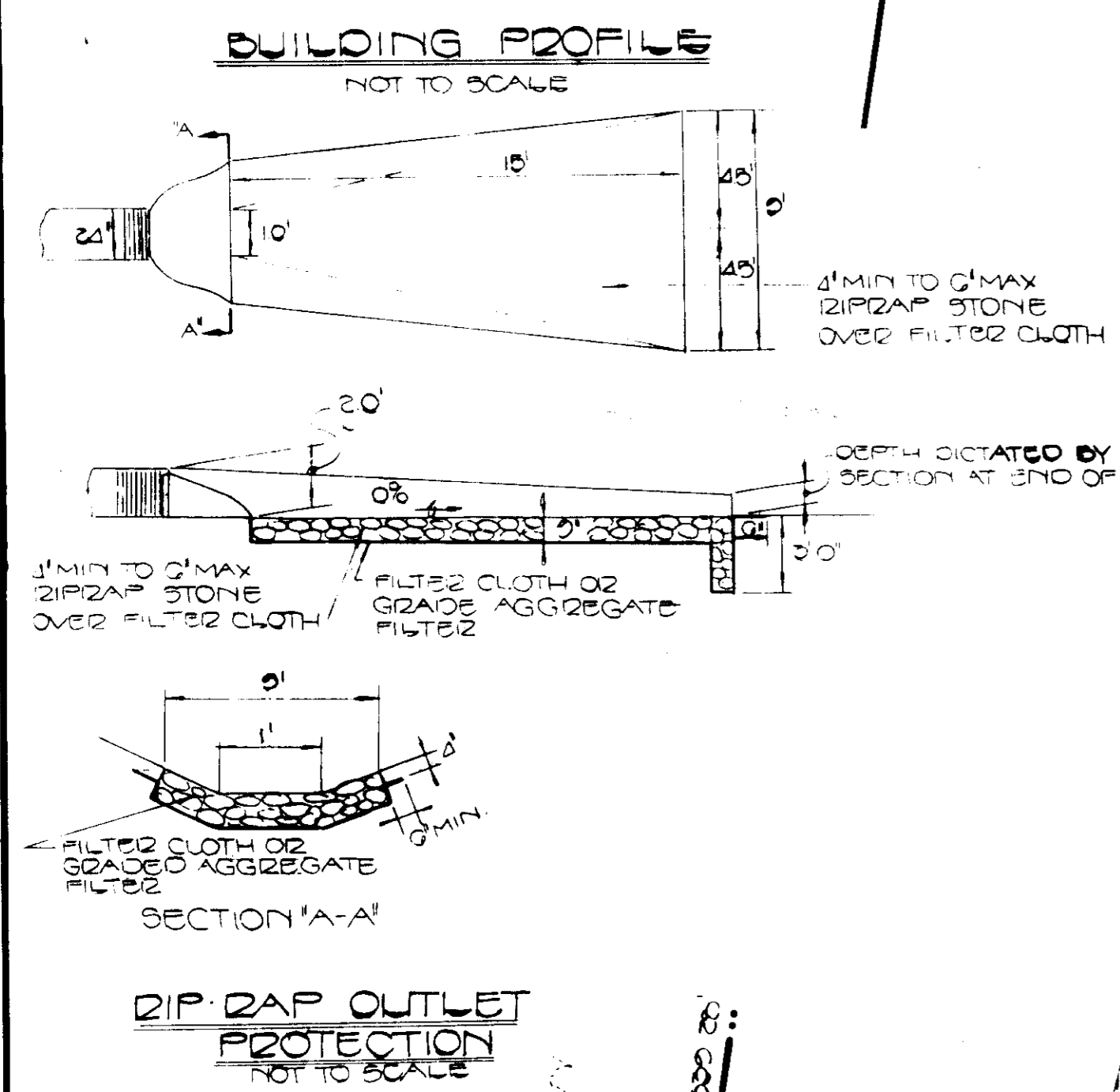
**ENGINEER'S CERTIFICATE**  
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

**DEVELOPER'S CERTIFICATE**  
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

**APPROVED: DEPARTMENT OF PUBLIC WORKS**  
 FOR PUBLIC WATER AND SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.  
 DIRECTOR, PUBLIC WORKS  
 DATE 3-21-86

**APPROVED: OFFICE OF PLANNING AND ZONING**  
 PLANNING DIRECTOR  
 DATE 3-26-86

**PROPERTY OF**  
 CROSSROADS PARK LIMITED PARTNERSHIP  
 CROSSROADS INDUSTRIAL BUILDING  
 TAX MAP 47 PARCEL 500  
 6TH ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND  
 JULY 10, 1985  
 REVISION NOVEMBER 17, 1985  
 SHEET 3 OF 4  
 S.D.P. 83-20



- DESIGN DATA  
SEDIMENT TRAP NO. 1:
1. TYPE OF TRAP: STONE OUTLET
  2. DRAINAGE AREA: 2.70 AC. ±
  3. VOLUME REQUIRED: 181 C.F.
  4. VOLUME PROVIDED: 184 C.F.
  5. TRAP SIZE: 20' x 50' (BOTTOM DIMENSIONS)
  6. TRAP DEPTH: 3.5'
  7. CREST EL.: 90.60
  8. BOTTOM EL.: 87.10
  9. CLEANOUT EL.: 88.85
  10. WEIR LENGTH: 11.0'

APPROVED  
DIVISION OF LAND DEVELOPMENT &  
ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE 10-21-85



BLDG #	6609 US ROUTE 1
BUILDING #	STREET ADDRESS
ADDRESS CHART	

FISHER, COLLINS AND CARTER, INC.  
CONSULTING ENGINEERS AND LAND SURVEYORS  
8388 COURT AVENUE  
ELLICOTT CITY, MARYLAND 21043  
TELEPHONE: (301) 461-2855

**ENGINEER'S CERTIFICATE**  
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A FEASIBLE AND WORKABLE PLAN BASED ON MY PERSONAL OBSERVATION OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY DISTRICT.

*Charles C. Fisher*  
PROFESSIONAL ENGINEER  
11/2/85

**DEVELOPER'S CERTIFICATE**  
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."

*John J. Fisher*  
7-25-85

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

*James M. Hahn*  
U.S. SOIL CONSERVATION SERVICE  
3-20-85

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Stephen L. Hahn*  
DISTRICT  
3/20/85

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER AND SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.

*George F. Nummy*  
DIRECTOR, PUBLIC WORKS  
3-24-85

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS.

*John J. Fisher*  
HEALTH DEPARTMENT  
3-24-85

APPROVED: OFFICE OF PLANNING AND ZONING

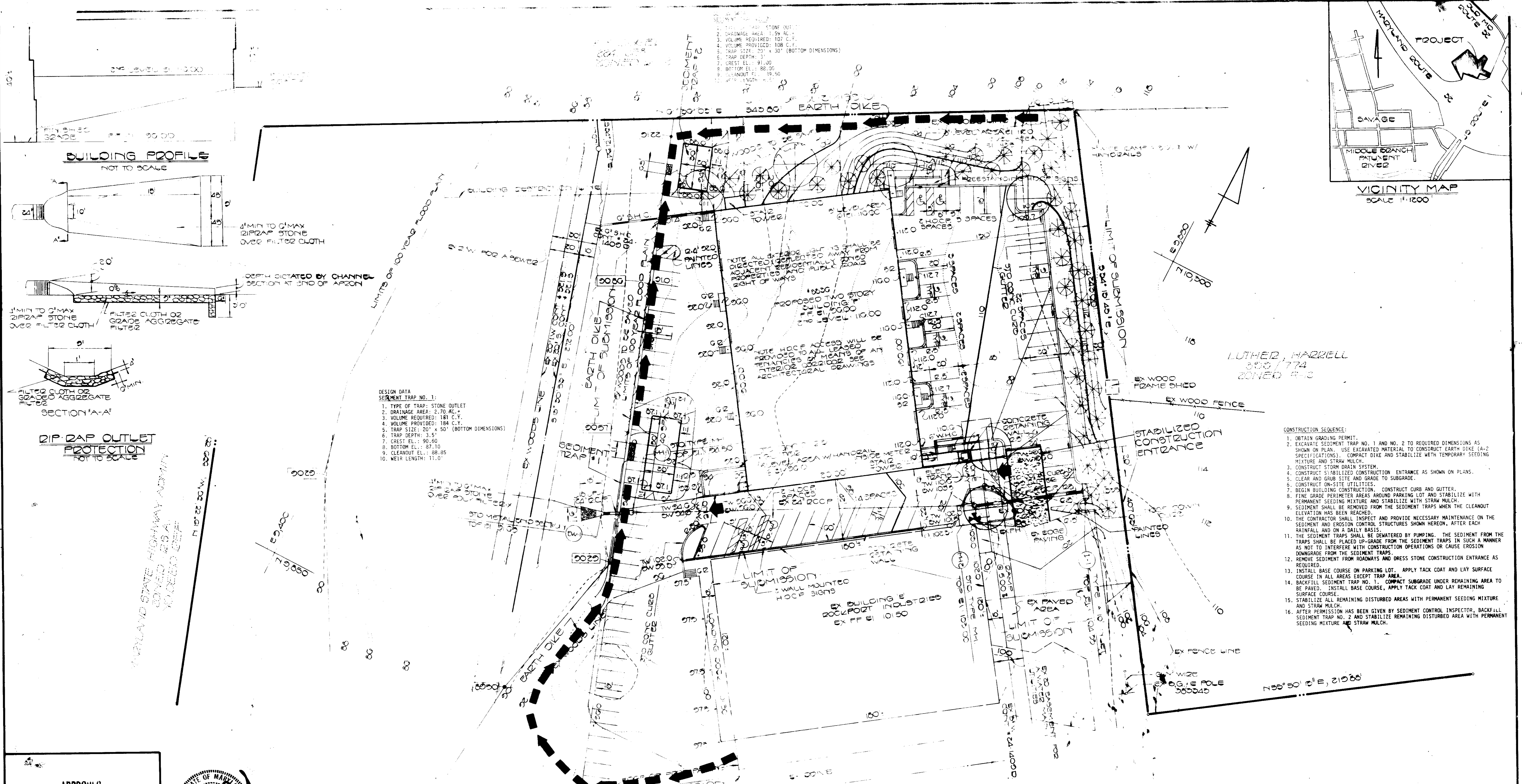
*James L. Harris*  
PLANNING DIRECTOR  
3-26-85

*John J. Fisher*  
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION  
3-25-85

PROPERTY OF	CROSSROADS PARK LTD PARTN	SECTION/AREA	PARCEL NO.
L.F. (BLOCK NO.)	1208/023	TAX/ZONE	12
ELEC DIST	M-1	ELEC TR.	Q7
WATER CODE	0-02	SEWER CODE	4250000

**SEDIMENT CONTROL PLAN**  
PROPERTY OF  
CROSSROADS PARK LIMITED PARTNERSHIP  
**CROSSROADS INDUSTRIAL BUILDING**

TAX MAP 27 PARCEL 503  
G7 ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND  
JULY 10, 1988  
DESIGNED NOVEMBER 17, 1988  
SHEET 4 OF 4



- CONSTRUCTION SEQUENCE:**
1. OBTAIN GRADING PERMIT.
  2. EXCAVATE SEDIMENT TRAP NO. 1 AND NO. 2 TO REQUIRED DIMENSIONS AS SHOWN ON PLAN. USE EXCAVATED MATERIAL TO CONSTRUCT EARTH DIKE (A-2 SPECIFICATIONS). COMPACT DIKE AND STABILIZE WITH TEMPORARY SEEDING MIXTURE AND STRAW MULCH.
  3. CONSTRUCT STORM DRAIN SYSTEM.
  4. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AS SHOWN ON PLANS.
  5. CLEAR AND GRUB SITE AND GRADE TO SUBGRADE.
  6. CONSTRUCT ON-SITE UTILITIES.
  7. BEGIN BUILDING CONSTRUCTION. CONSTRUCT CURB AND GUTTER.
  8. FINE GRADE PERIMETER AREAS AROUND PARKING LOT AND STABILIZE WITH PERMANENT SEEDING MIXTURE AND STRAW MULCH.
  9. SEDIMENT SHALL BE REMOVED FROM THE SEDIMENT TRAPS WHEN THE CLEANOUT ELEVATION HAS BEEN REACHED.
  10. THE CONTRACTOR SHALL INSPECT AND PROVIDE NECESSARY MAINTENANCE ON THE SEDIMENT AND EROSION CONTROL STRUCTURES SHOWN HEREON. AFTER EACH RAINFALL AND ON A DAILY BASIS.
  11. THE SEDIMENT TRAPS SHALL BE Dewatered BY PUMPING. THE SEDIMENT FROM THE TRAPS SHALL BE PLACED UP-GRADE FROM THE SEDIMENT TRAPS IN SUCH A MANNER AS NOT TO INTERFERE WITH CONSTRUCTION OPERATIONS OR CAUSE EROSION DOWNGRADE FROM THE SEDIMENT TRAPS.
  12. REMOVE SEDIMENT FROM ROADWAYS AND DRESS STONE CONSTRUCTION ENTRANCE AS REQUIRED.
  13. INSTALL BASE COURSE ON PARKING LOT. APPLY TACK COAT AND LAY SURFACE COURSE IN ALL AREAS EXCEPT TRAP AREA.
  14. BACKFILL SEDIMENT TRAP NO. 1. COMPACT SUBGRADE UNDER REMAINING AREA TO BE PAVED. INSTALL BASE COURSE, APPLY TACK COAT AND LAY REMAINING SURFACE COURSE.
  15. STABILIZE ALL REMAINING DISTURBED AREAS WITH PERMANENT SEEDING MIXTURE AND STRAW MULCH.
  16. AFTER PERMISSION HAS BEEN GIVEN BY SEDIMENT CONTROL INSPECTOR, BACKFILL SEDIMENT TRAP NO. 2 AND STABILIZE REMAINING DISTURBED AREA WITH PERMANENT SEEDING MIXTURE AND STRAW MULCH.

