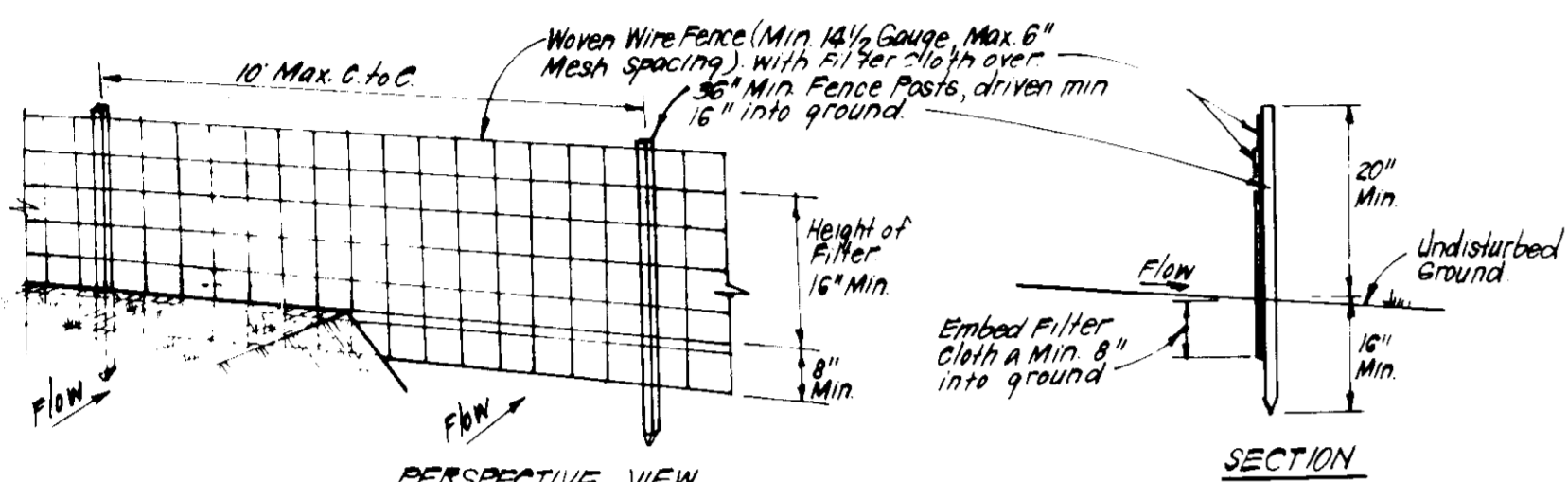


- CONSTRUCTION SPECIFICATIONS:**
- Bales shall be placed at the top of a slope or on the contour and in a row with ends slightly abutting the adjacent bales.
 - Each bale shall be embedded in the soil a min of 4" and placed so the bindings are horizontal.
 - Bales shall be securely anchored in place by either 2 stakes or re bars driven thru the bale. The 1st stake in each bale shall be driven toward the previously laid bale at an angle to force the bales together. Stakes shall be driven flush with the bale.
 - Inspection shall be frequent and repair/replacement shall be made promptly as needed.
 - Bales shall be removed when they have served their usefulness so as not to block or impede storm flow or drainage.

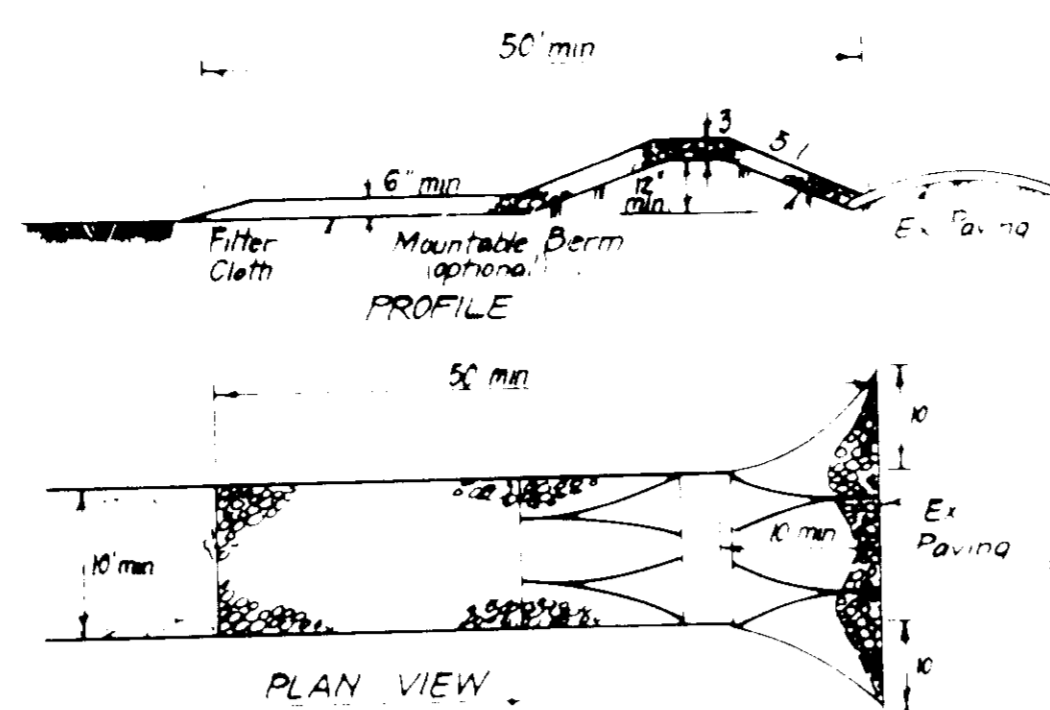
STRAW BALE DIKE DETAIL (SBD)
NO SCALE



- CONSTRUCTION SPECIFICATIONS:**
- Woven wire fence to be fastened securely to fence posts with wire ties or staples.
 - Filter Cloth to be fastened securely to woven wire fence with ties spaced every 24" at top and mid section.
 - When 2 sections of filter cloth adjoin each other they shall be overlapped by 6" and stapled.
 - Maintenance shall be performed as needed and material removed when "bulges" develop in silt fence.

SILT FENCE DETAIL (S)
NO SCALE

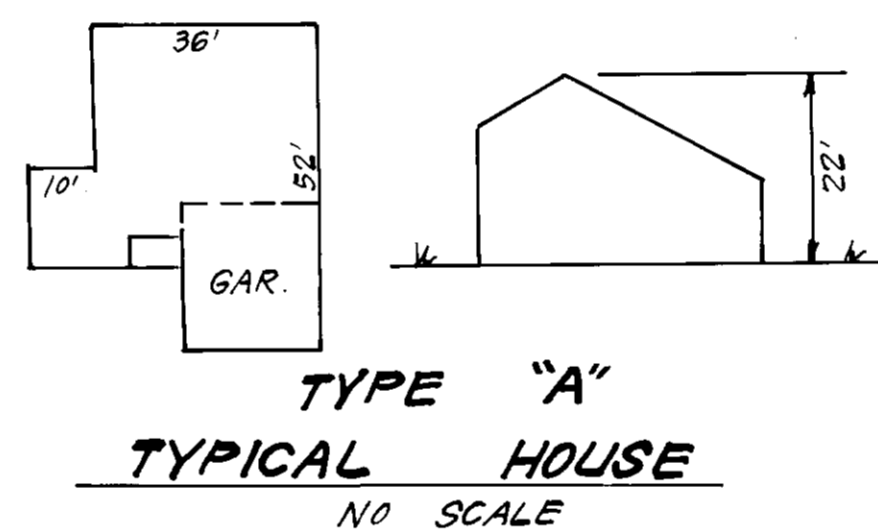
POSTS: Steel, either T or U Type or Hardwood
FENCE: Woven Wire, 14" Gage, 6" Max. Mesh Opening
FILTER CLOTH: Filterk, Mirak, 100X, Stabilink, T140N or Approx. equal
PRE-FABRICATED UNIT: Geofab, Envirofence or Approx. equal



CONSTRUCTION SPECIFICATIONS

- Stone size - Use 2" stone or equivalent rounded concrete equivalent.
- Length - As required, but not less than 50 feet except for a single residence of where a 30 foot minimum length would allow.
- Thickness - Not less than six (6) inches.
- Width - Ten (10) foot minimum unless otherwise noted, width of stone where ingress or egress occurs.
- Filter Cloth - To be placed over the entire area prior to placing of stone. Filter cloth will be required on a single family residence.
- Surface Water - All surface water flowing or gusted toward construction entrances shall be piped across the entrance. If this is impractical, a mounded berm with 5:1 slopes will be required.
- Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights of way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleaning of any repairs used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights of way must be removed immediately.
- Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public rights of way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
- Periodic inspection and needed maintenance shall be performed after each rain.

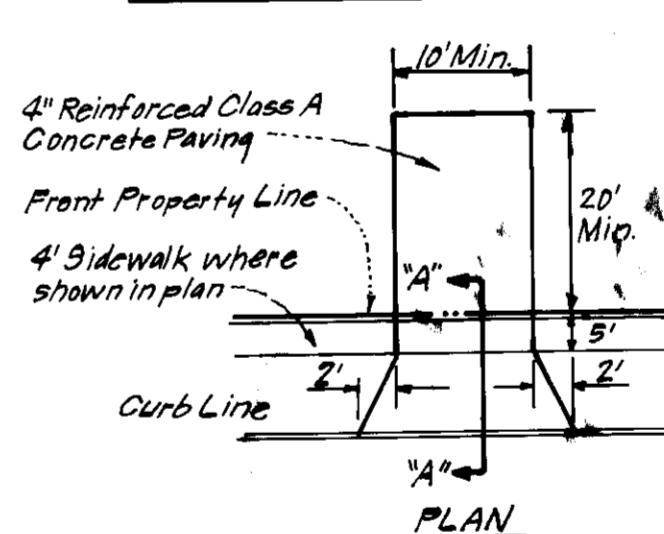
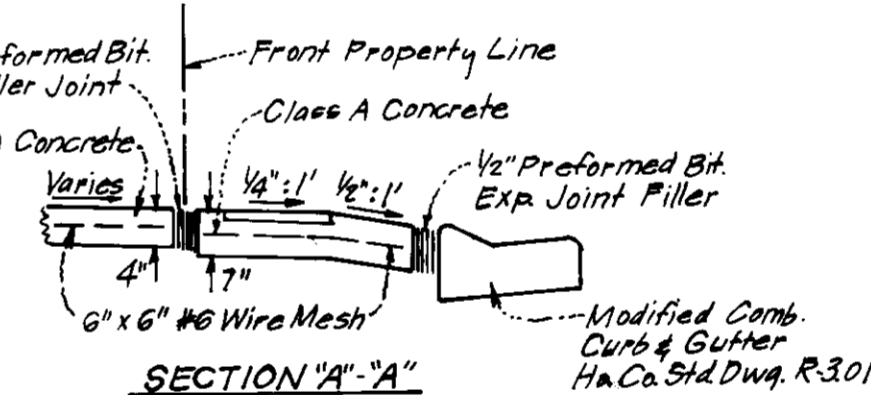
STABILIZED CONSTRUCTION ENTRANCE (SCE)
NO SCALE



LEGEND

- Contour Interval - 2 Ft.
- Existing Contour - 200
- Proposed Contour - 290
- Spot Elevation - +90%
- Direction of Drainage - [Arrow]
- Walk-Out Basement - [Symbol]
- Ext. Trees to be Retained - [Symbol]
- Stabilized Construction Entrance - SCE
- Straw Bale DiKE/Silt Fence - [Symbol]

Note: Use Residential Driveway Entrance, Ho Co. 91A, except where driveway abuts Modified Comb. Curb and Gutter.
Note: Materials and Construction shall be in accordance with Ho. Co. Road Construction Code.



DRIVEWAY ABUTTING MODIFIED COMB. CURB AND GUTTER
No Scale

- SEDMENT CONTROL NOTES**
- A minimum of 14 days notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (992-2137)
 - All construction and structural practices are to be installed in accordance with the provisions of this plan and are to be in compliance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
 - Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within a 14 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1. b) 14 days as to all other disturbed or graded areas on the project site.
 - All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 17 of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
 - All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (See Table 1, Table 5), temporary seedings (See 50 and 100 lbs/1000 sq ft). Temporary stabilization with mulch shall only be done when recommended seeding rates are not all met for proper germination and establishment of grasses.
 - All sediment control structures are to remain in place and are to be maintained in operative condition until permanent erosion control has been obtained from the Howard County Department of Inspection.
 - Site stabilization:
 - Disturbed Area: 0.8665 Acres
 - Temporary Seeding: 0.3868 Acres
 - Permanent Seeding: 0.1172 Acres
 - Temporary Stabilization: 0.2608 Acres
 - Total: 1.6313 Acres
 - Grass Seed: 675 Cu. Yds.
 - Straw: 140 Cu. Yds.
 - Straw Bale DiKE/Silt Fence Location: N/A
 - Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
 - Additional sediment control must be provided, if deemed necessary by the Howard County DEW sediment control inspector.
 - On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
 - If houses are to be constructed on an "As-Built" basis, at least a Single Lot Sediment Control as shown below shall be implemented.
 - All pipes to be blocked at the end of each day (see detail below).
 - The total amount of straw bale dikes/silt fence equals 330 L.F.

- CONSTRUCTION SCHEDULE:**
- Obtain Grading Permit and Install Sediment and Erosion Control Devices and Stabilize. 7 Days
 - Excavate for Foundations and Rough Grade. 7 Days
 - Construct Structures, Sidewalks and Driveways. 90 Days
 - Final Grade and Stabilize in accordance with Stds. & Specs. 7 Days
 - Upon approval of the sediment control inspector, remove sediment and erosion control and stabilize. 7 Days

NOTES

- The land contained in this plan is zoned New Town (S.F.M.D.).
- The lots shown on this plan are covered by Final Development Plan Phase 178, Parts II & III.
- All coordinates shown hereon are based on Howard County Geodetic Control Traverse which is based on the Maryland State Plane Coordinate System.
- All roadways are public and existing.
- Any damage to County owned Rights-of-way or paving shall be corrected at the owners expense.
- Total number of lots: 2
- S.W.M. provided in Central Facility in V.O.K.C. 2/3 Phase II F-80-96 c

LOT	STREET ADDRESS
425	7630 Moon Portrait Way
426	7634 Moon Portrait Way

SUBDIVISION NAME	COL. - VOKC - Phase 3	SECT./AREA	2/3	LOT/PARCEL#	425 & 426
PLAT OR L.P. BLOCK	5050	ZONE	42	GEN. DIST.	6062
WATER CODE	E-16	SEWER CODE	634-0000		

APPROVED
DIVISION OF LAND DEVELOPMENT
ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE: 7-12-85
M.S. LUM

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,
HOWARD COUNTY HEALTH DEPARTMENT
DATE: 8-1-85

APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING
PLANNING DIRECTOR
DATE: 8-2-85

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DATE: 7-21-85

Reviewed for Howard County S.C.D. Name and meets Technical Requirements
Signature: [Signature] Date: [Date]
U.S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

DEVELOPER'S/BUILDER'S CERTIFICATE
"I We certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that all responsible personnel involved in the construction of this project will have a Certificate of Attendance at a Dept. of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as may be deemed necessary."
Signature of Developer/Builder: ROBERT C. GOODIER
Date: 6-21-85

ENGINEER'S CERTIFICATE
I Herewith certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Signature: G. Nelson
Date: 6-20-85

CLARK · FINEFROCK & SACKETT
ENGINEERS · PLANNERS · SURVEYORS
1131F LOCKWOOD DRIVE SILVER SPRING, MARYLAND 20904 (301) 593-3400

SITE DEVELOPMENT PLAN & SEDIMENT & EROSION CONTROL PLAN
COLUMBIA
VILLAGE OF KINGS CONTRIVANCE
SECTION 2 AREA 3, PHASE 3
6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
FOR: GOODIER BUILDING, INC.
233 Deep Dale Drive
Timonium, Md. 21093
SDP-85-228

DESIGNED	J.L.S.	SCALE	1"=30'
DRAWN	J.M.E.	DRAWING	10W/1
CHECKED	J.L.S.	JOB NO.	85-018
DATE	J.M.E.	FILE NO.	85-018-X

June, 1985