

# SITE ANALYSIS

Existing Zoning - New Town - Employment Center - Commercial  
 Final Development Plan Phase 102 Plot#3054A thru 744  
 Area of Parcel "A" = 1.841 Ac., Parcel "B" = 2.178 Ac. TOTAL = 4.019 Ac.  
 Proposed Use - OFFICE BUILDING INCLUDING 4,725 SF RESTAURANT ON PARCEL "B" AND  
 Parking Deck on Parcel "A"

△ Parking Spaces Proposed = 280 (+ 2 new parallel spaces)

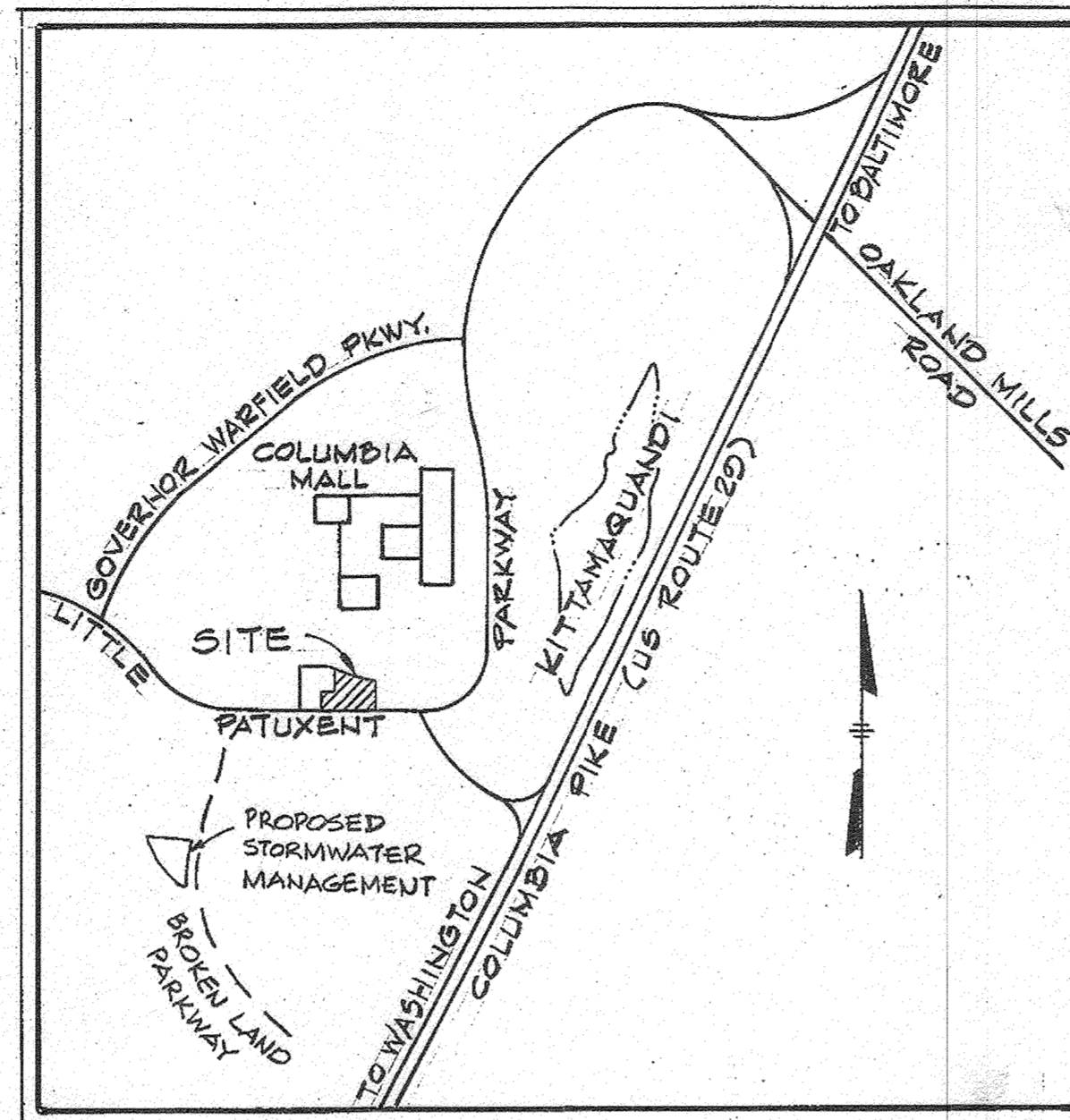
△ Parking Spaces Required:

- 115,252 sq. ft. net leasable office area @ 2 sp./1,000 (FDP-192)
- 4,725 sq. restaurant @ 14 sp./1,000 (133.0.B.4)
- 4,282 sq. restaurant outdoor seating @ 7 sp./1,000 (133.0.B.4)
- Maximum shared parking requirement (per 133.0.F.1) = 272 spaces

See Parking Analysis by Welles and Associates dated 4/4/2022 for additional info.

\* The building modification to add 477 sq. ft. of office area will not impact parking required for Merriweather events since office uses would not impact weekday evenings or weekend conditions when events occur.

PARKING SPACES PROVIDED IN GARAGE AND 4 SURFACE SPACES - 275 SPACES  
 THE ANALYSIS DOES NOT RELY UPON THE ABILITY TO SHARE PARKING SPACES WITH THE MALL PER THE EXISTING SHARED PARKING AGREEMENT

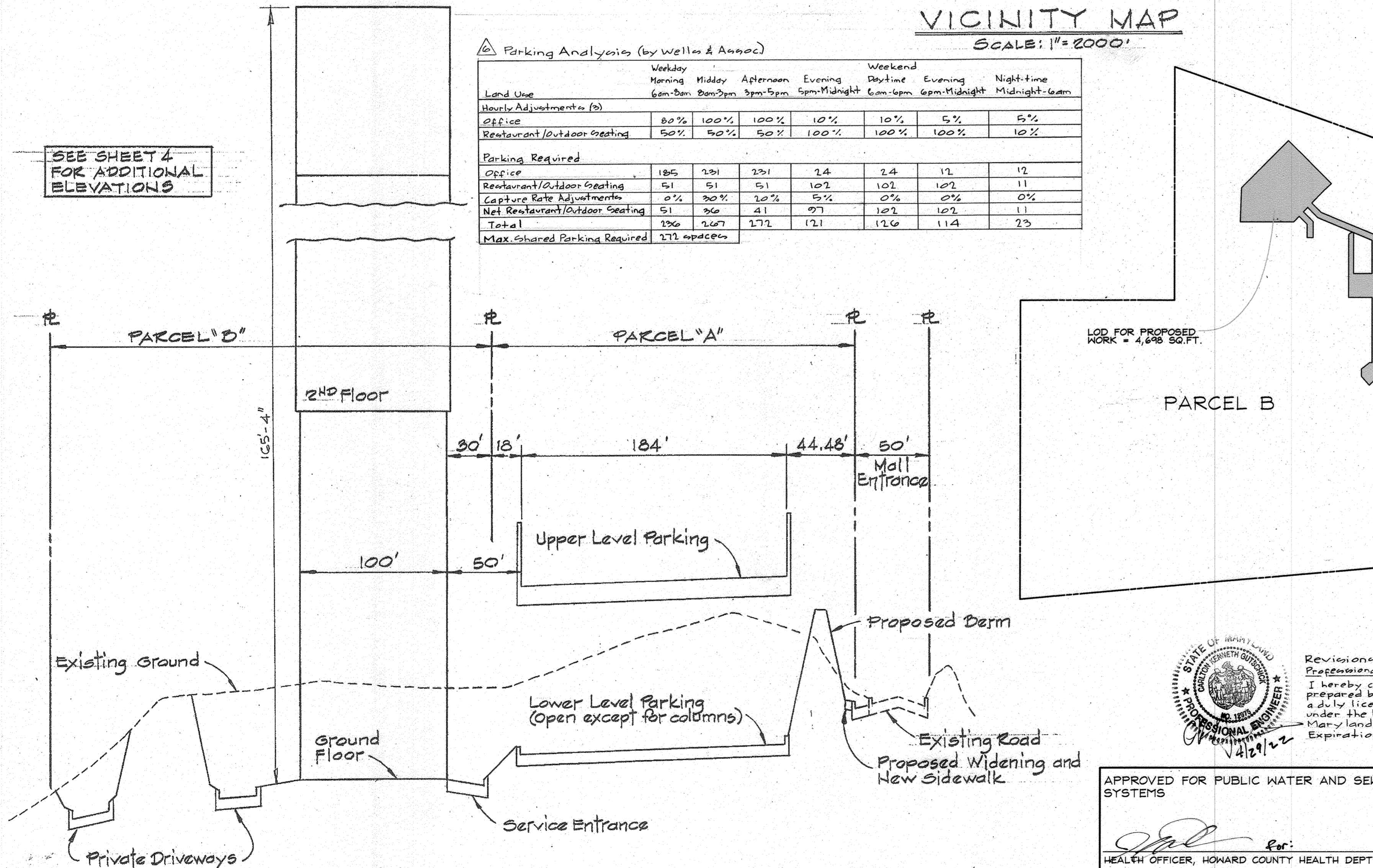


VICINITY MAP  
 SCALE: 1" = 2000'

△ Parking Analysis (by Welles & Assoc)

Land Use	Weekday				Weekend		
	Morning 6am-8am	Midday 8am-3pm	Afternoon 3pm-5pm	Evening 5pm-Midnight	Daytime 6am-6pm	Evening 6pm-Midnight	Night-time Midnight-6am
Office	80%	100%	100%	10%	10%	5%	5%
Restaurant/Outdoor Seating	50%	50%	50%	100%	100%	100%	10%
<b>Parking Required</b>							
Office	185	231	231	24	24	12	12
Restaurant/Outdoor Seating	51	51	51	102	102	11	11
Capture Rate Adjustments	0%	30%	20%	5%	0%	0%	0%
Net Restaurant/Outdoor Seating	51	36	41	97	102	11	11
<b>Total</b>	<b>286</b>	<b>267</b>	<b>272</b>	<b>121</b>	<b>126</b>	<b>114</b>	<b>23</b>
<b>Max. Shared Parking Required: 272 spaces</b>							

SEE SHEET 4 FOR ADDITIONAL ELEVATIONS



SOUTH ELEVATION ~ PROPOSED OFFICE BUILDING

Scale: Hor. 1" = 50'  
 Vert. 1" = 5'

AS-BUILT CERTIFICATION  
 I HEREBY CERTIFY, BY MY SEAL, THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE FACILITIES SHOWN ON THIS PLAN WERE CONSTRUCTED AS SHOWN ON THIS AS-BUILT PLAN AND MEET THE APPROVED PLANS AND SPECIFICATIONS. THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 CARL K. GUTSCHICK  
 PROFESSIONAL ENGINEER  
 MARYLAND REG. NO. 12475  
 DATE OF SURVEY: NOVEMBER 2022



08/28/2023  
 DATE

## General Notes (cont.)

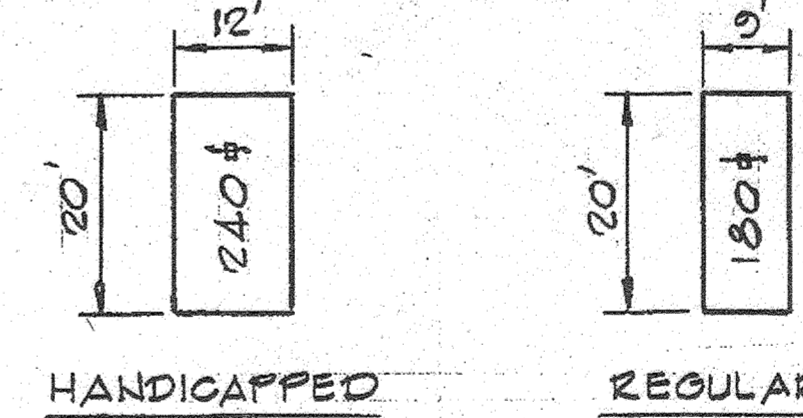
- This site, which comprises of Parcel A, B (Plot # 091 & 051), C1, C4 & E, is subject to development rights and responsibilities agreement (DRRA) recorded at L17457 F105. Said DRRA predates CB06-2021 (effective date 1/01/2022); therefore, this site is exempt from Forest Conservation requirements of Section 16.100 of the Howard County Code section in accordance with section 16.100.2(b)(1)(iv), as codified per CB4-1990a, which was in place at the time said DRRA was recorded in Feb. 2017.
- For the 2022 site improvements, financial surety for the required landscaping shall be posted with the developers agreement. The total surety amount will be \$21,000.00.

## GENERAL NOTES

- Topography taken from field-run topo prepared by Shariaberger and Lane in October, 1984
- Recording reference is plat #
- See Architectural Plans for details of proposed office building.
- All site work construction to be done in accordance with Howard County Road Code and Standard Specifications unless otherwise indicated.
- Public water and public sewer to be utilized.
- Any damage to public right-of-way or paving must be corrected at the developers expense.
- Grades have been established to insure positive drainage.
- Sidewalks shall be scored or otherwise textured to indicate to blind persons the location of doors of building.
- One handicapped parking sign shall be placed at each handicapped parking space in accordance with requirements of the Maryland Building Code.
- A stormwater management facility will be constructed off-site at Broken Land Parkway. See Vicinity Map.
- THE OWNER/DEVELOPER RESERVES THE RIGHT TO REEVALUATE THE PARKING NEEDS IN THE FUTURE TO SHOW FULL COMPLIANCE WITH PARKING REQUIREMENTS IN FDP-192A SECTION 9C-2.c.
- THE PLANNING BOARD HEARING IS NOT REQUIRED BECAUSE THE EXTERNAL ALTERATIONS ARE PROVIDED AS AN ENHANCEMENT OF AN EXISTING PATIO AND IS DEEMED A MINOR MODIFICATION NOT REQUIRING PLANNING BOARD APPROVAL BY THE PLANNING DIRECTOR IN ACCORDANCE WITH SECTION 125.0.G.3 OF THE ZONING REGULATIONS.

## SHEET INDEX

NO.	DESCRIPTION
1	TITLE SHEET
2	GRADING PLAN
3	STORM DRAIN PLAN AND 2ND LEVEL PARKING
4	ROAD SECTIONS AND DETAILS
5	STORM DRAIN PROFILES
6	DRAINAGE AREA MAP
7	DRAINAGE AREA MAP & STAKEOUT PLAN
8	SEDIMENT CONTROL PLAN
9	SEDIMENT CONTROL PLAN AND DETAILS
10	LANDSCAPE PLAN
11	REVISED SITE, GRADING & LANDSCAPE PLAN
12	PATIO CONTAINER ELEVATIONS
13	CONCRETE RETAINING WALL PLANS & ELEVATION
14	CONCRETE RETAINING WALL DETAILS
15	Overview of 2022 improvements
16	Grading, Sediment Control & Drainage Area Plan for 2022 improvements
17	Grading, Sediment Control & Drainage Area Plan for 2022 improvements
18	Sediment Control Notes and Details for 2022 improvements
19	Site Details for 2022 improvements
20	Storm Drain Details for 2022 improvements
21	Landscape Plan for 2022 improvements
22	Landscape Plan for 2022 improvements
23	Paving Plan and Details
24	Paving Plan and Details
25	Fergola Elevations



TYPICAL PARKING SPACE

No Scale

NOTE: HORIZONTAL DATUM FOR THIS AS-BUILT SURVEY IS BASED ON THE MARYLAND STATE REFERENCE SYSTEM (MAD83/101). AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS 10A AND 23CA.  
 VERTICAL DATUM FOR THIS AS-BUILT SURVEY IS NORTH AMERICA VERTICAL DATUM (NAVD) 1988 AS PROJECTED BY THE ABOVE REFERENCED GEODETIC CONTROL STATIONS.

THIS AS-BUILT SURVEY WAS PERFORMED BY GUTSCHICK, LITTLE & WEBER, P.A. THE FOLLOWING INSTRUMENTS WERE USED IN PERFORMING THIS AS-BUILT SURVEY:  
 3 SECOND TOTAL STATION & PRISM

PURPOSE STATEMENT:  
 THE PURPOSE OF THIS REVISION IS TO INCLUDE THE RESTAURANT USE AND OUTDOOR SEATING AREA



Revisions by GLW  
 Professional Certification  
 I hereby certify that these plans were prepared by me, and that I am under the laws of the state of Maryland. License No. 12475  
 Expiration Date: May 26, 2022

APPROVED FOR PUBLIC WATER AND SEWERAGE SYSTEMS

HEALTH OFFICER, HOWARD COUNTY HEALTH DEPT. 9/26/19 DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

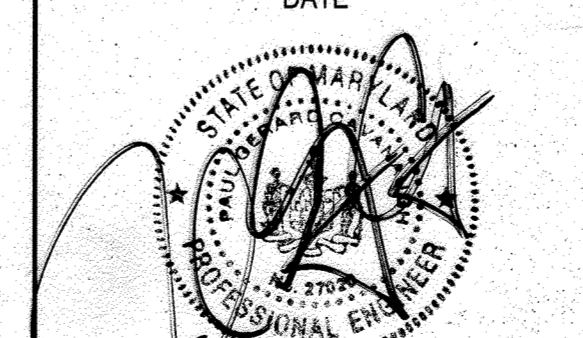
9/26/19 DATE  
 K. J. ... CHIEF DIVISION OF LAND DEVELOPMENT

9/27/19 DATE  
 ... CHIEF, DEVELOPMENT ENGINEERING DIVISION

10-3-19 DATE  
 ... DIRECTOR

PROFESSIONAL CERTIFICATION  
 THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 27020 EXPIRATION DATE: JANUARY 25, 2020

9/6/19 DATE



PAUL G. CAVANAUGH  
 PROFESSIONAL ENGINEER NO. 27020

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS; HOWARD COUNTY HEALTH DEPARTMENT

9-24-85 DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING

9-3-85 DATE  
 ... PLANNING DIRECTOR

8-30-85 DATE  
 ... CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION

APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

8-27-85 DATE  
 ... DIRECTOR

8-23-85 DATE  
 ... CHIEF, BUREAU OF ENGINEERING

APPROVED

PLANNING BOARD OF HOWARD COUNTY

DATE: 6-26-85

... CHIEF

## LEGEND

- 570 --- Existing Contours (2' Interval)
- 570 - Proposed Contours (2' Interval)
- 88,000.0 Proposed Finished Floor Elevation
- 570x0.0 Proposed Spot Elevation
- Existing Tree Line
- Tc/bc Top Curb / Bottom Curb
- Tufuminous Walks
- x x x Existing Curb (To Be Removed)
- Painted Lines
- Concrete Curb and Gutter
- Reserved for "Handicapped Persons" (Indicated)
- Handicapped Sign
- Building Entrance
- Traffic Flow

## ADDRESS CHART

Parcel	Street Address
B	10480 Little Patuxent Pkwy.

SUBDIVISION NAME	SEC./AREA	PARCELS
TOWN CENTER	2/5	A, B & C
PLAT #	BLOCK #	ZONE
G321	1	EC-COMM
TAX/ZONE MAP	ELEC. DIST.	CENSUS TR.
36	5th	G052.02
WATER CODE	SEWER CODE	
E-31	3321000	

NO.	DATE	DESCRIPTION OF REVISION
1	10/2/2022	Sheet 25 added to sheet index
2	6/1/2022	Update parking for additional office area
3	4/1/2022	Add sheets 15-14 for 2022 improvements
4	9/6/19	RESTAURANT USE, OUTDOOR SEATING, ADD SHEETS 11-14
5	7/23/85	As per Planning and D.P.W. Comments
6	6/17/85	As per Planning, DPW and SC5 comments

AS-BUILT

COLUMBIA  
 SITE DEVELOPMENT PLAN  
 FOR  
 TOWN CENTER  
 SECTION 2 AREA B  
 PARCELS A, B & C

## TITLE SHEET

AS-BUILT DATE: NOVEMBER, 2022  
 AS-BUILT SHEET 1 OF 3  
 SHEET 1 OF 25

5TH ELECTION DISTRICT, HOWARD COUNTY MARYLAND  
 DATE: 4-27-85  
 SCALE: AS SHOWN

SDP-85-196

WHITMAN, REQUARDT AND ASSOCIATES  
 ENGINEERS

2515 ST. PAUL STREET  
 BALTIMORE, MARYLAND 21218

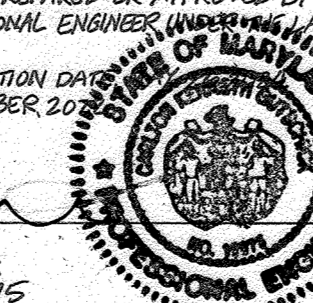
Kenneth A. McCord  
 KENNETH A. MCCORD P.E. NO. 1074

OWNER AND DEVELOPER

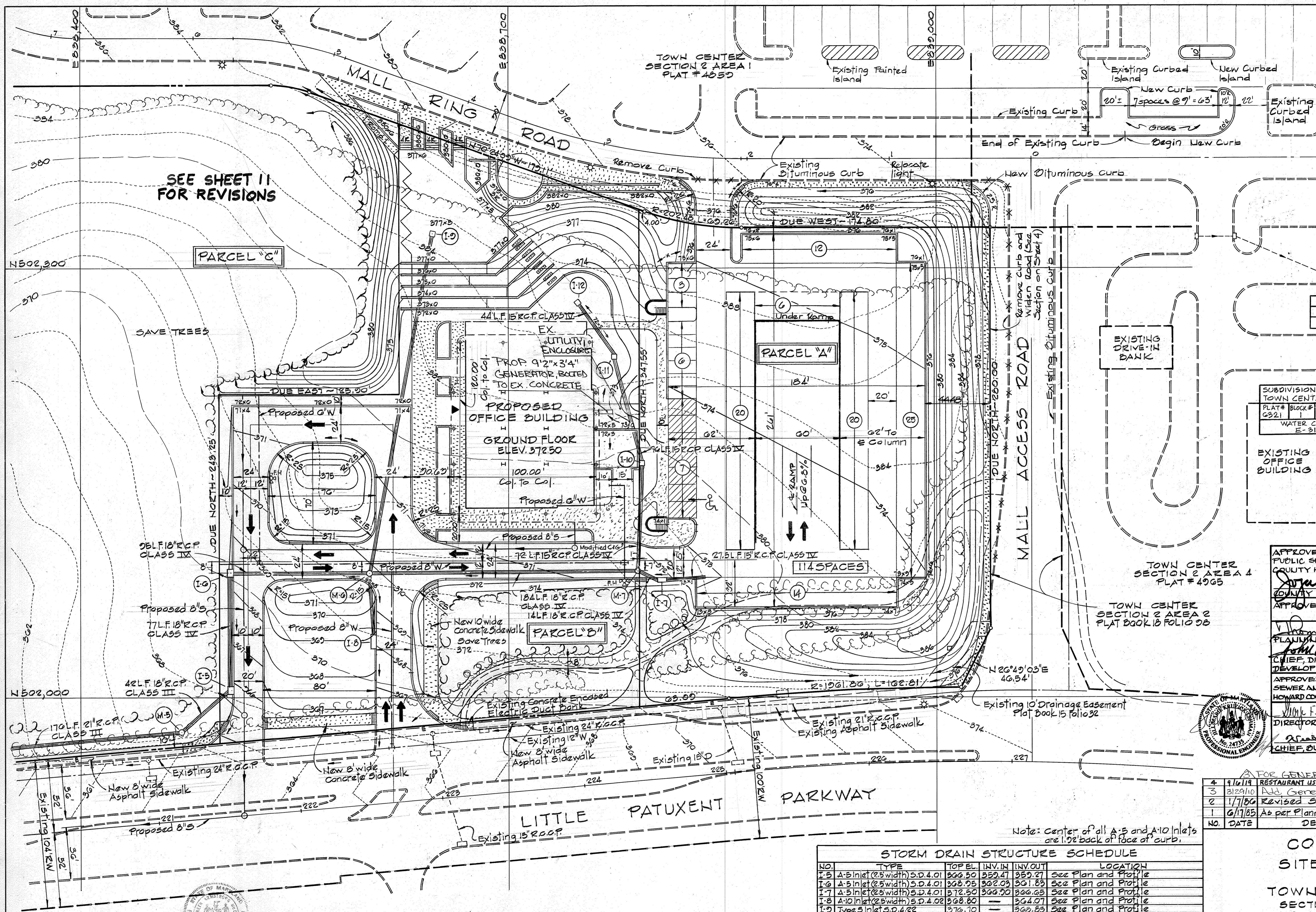
COLUMBIA MALL, INC.  
 10275 LITTLE PATUXENT PARKWAY  
 COLUMBIA, MARYLAND 21045



08/28/2023  
 DATE



PAUL G. CAVANAUGH  
 PROFESSIONAL ENGINEER NO. 27020



SEE SHEET 11 FOR REVISIONS

ADDRESS CHART

Parcel	Street Address
B	10480 Little Patuxent Pkwy

SUBDIVISION NAME TOWN CENTER	SEC./AREA 2/5	PARCELS A, B & C
PLAT# BLOCK# ZONE 0321 1 5th	TAX/ZONE MAP 36	ELEC. DIST. 5th
WATER CODE E-31	SEWER CODE 532.1000	

EXISTING OFFICE BUILDING

**APPROVED**  
PLANNING BOARD OF HOWARD COUNTY  
DATE 6-26-85

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT  
*Joyan Gulian* 8-28-85  
 COUNTY HEALTH OFFICER DATE

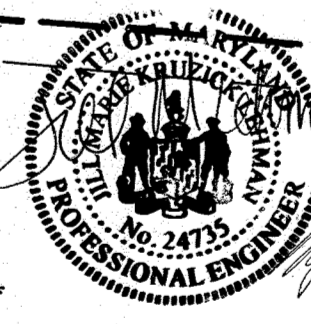
APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
*John W. Muschman* 8-30-85  
 PLANNING DIRECTOR DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*Mark F. Nemy* 8-23-85  
 DIRECTOR DATE

APPROVED: FOR GENERATOR ADDITION ONLY  
*William S. Ray* 8-23-85  
 CHIEF, BUREAU OF ENGINEERING DATE

TOWN CENTER SECTION 2 AREA 4 PLAT # 4965

TOWN CENTER SECTION 2 AREA 2 PLAT BOOK 16 FOLIO 08



STORM DRAIN STRUCTURE SCHEDULE

NO.	TYPE	TOP EL.	INV. IN	INV. OUT	LOCATION
I-5	A-5 Inlet (2.5 width) S.D. 4.01	300.50	302.47	302.27	See Plan and Profile
I-6	A-5 Inlet (2.5 width) S.D. 4.01	308.05	302.09	301.89	See Plan and Profile
I-7	A-5 Inlet (2.5 width) S.D. 4.01	312.50	306.00	306.65	See Plan and Profile
I-8	A-10 Inlet (2.5 width) S.D. 4.02	308.80	—	304.07	See Plan and Profile
I-9	Type 5 Inlet S.D. 4.02	310.10	—	308.85	See Plan and Profile
I-10	Type 5 Inlet S.D. 4.02	312.50	306.86	306.66	See Plan and Profile
M-3	Shallow Precast MH 65.13	355.00	340.13	340.23	See Plan and Profile
M-4	Standard Precast MH 65.12	355.30	350.05	350.45	See Plan and Profile
M-5	Standard Precast MH 65.12	300.50	307.45	307.80	See Plan and Profile
M-6	Shallow Precast MH 65.12	309.00	303.04	303.74	See Plan and Profile
M-7	Shallow Precast MH 65.12	311.70	305.85	305.65	See Plan and Profile
I-11	Type 5 Inlet S.D. 4.22	312.00	307.92	307.32	See Plan and Profile
I-12	Type 5 Inlet S.D. 4.22	312.00	—	307.80	See Plan and Profile

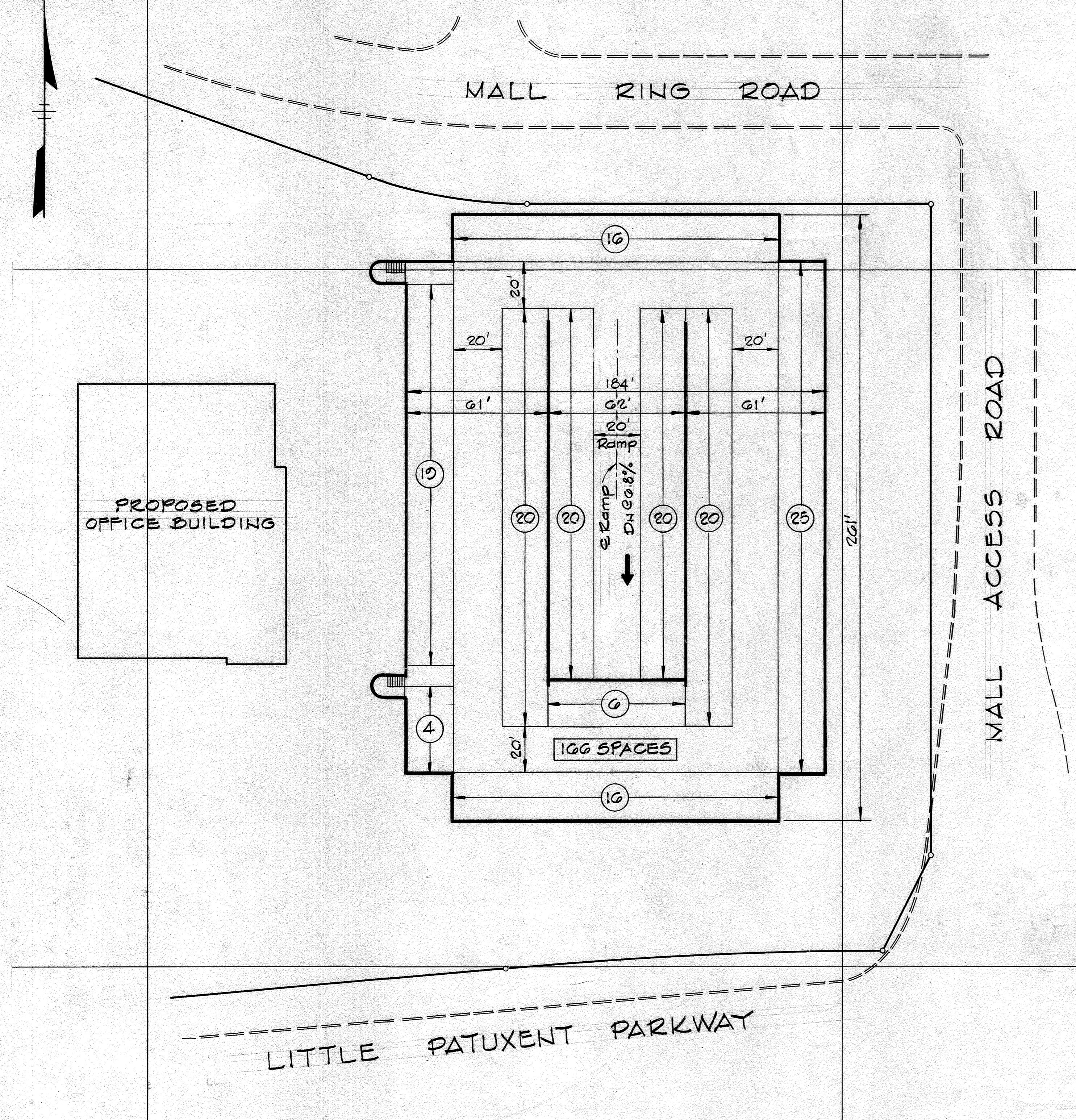
WHITMAN, REQUART AND ASSOCIATES ENGINEERS  
 2515 ST PAUL STREET  
 BALTIMORE, MARYLAND 21218  
*Herbert M. Reed*  
 KENNETH A. MCCORD P.E. NO. 1974

OWNER AND DEVELOPER  
 COLUMBIA MALL, INC.  
 10275 LITTLE PATUXENT PARKWAY  
 COLUMBIA, MARYLAND 21043

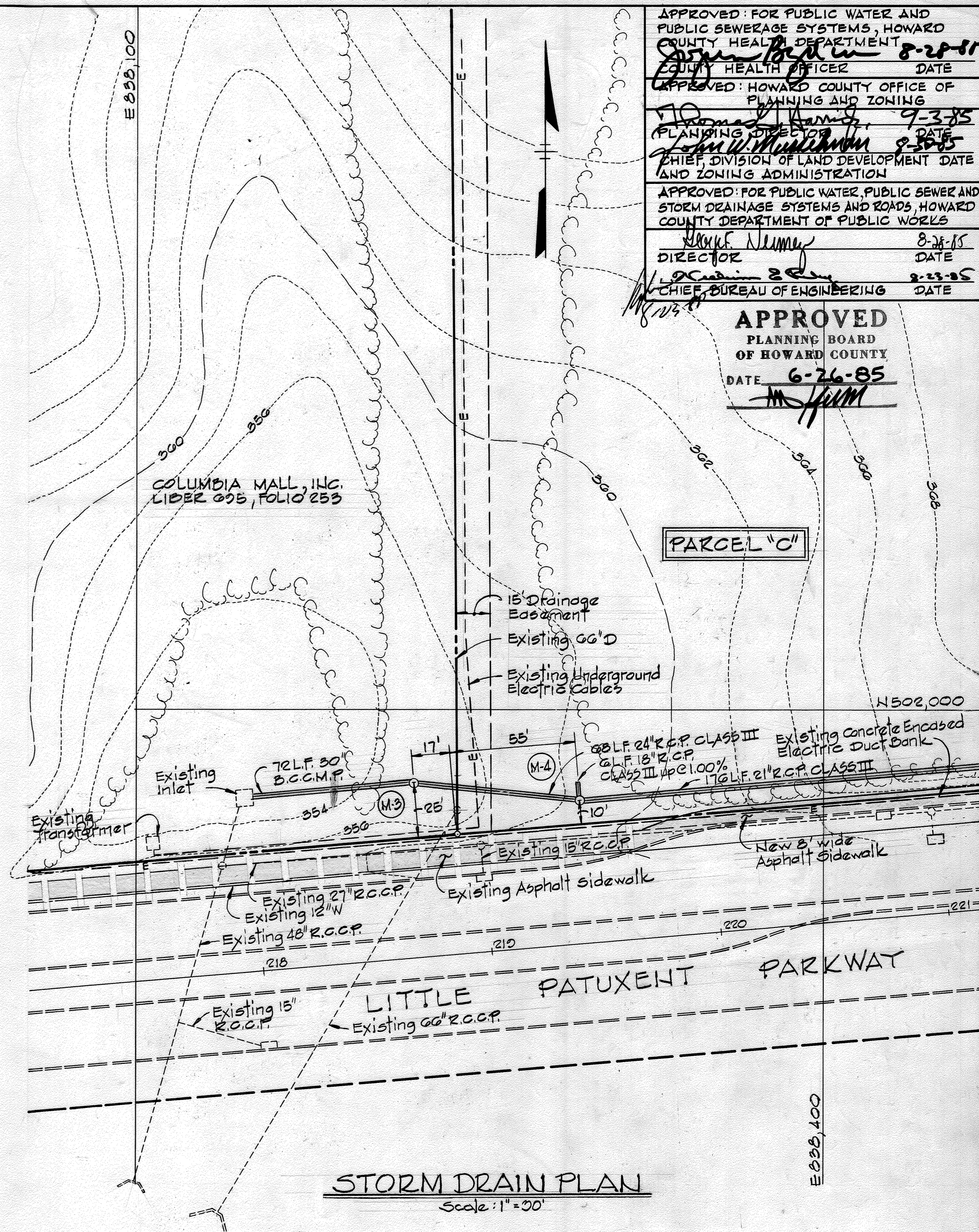
Note: See Road Construction Drawings (F 85-145) for new acceleration lane, deceleration lanes and storm drain work within the Little Patuxent Parkway right-of-way.

Note: Center of all A-5 and A-10 Inlets are 1.02' back of face of curb.

COLUMBIA SITE PLANS FOR TOWN CENTER SECTION 2 AREA 5 PARCELS A, B & C GRADING PLAN SHEET 2 OF 25  
 5TH ELECTION DISTRICT, HOWARD COUNTY MARYLAND  
 DATE: 6/6/85  
 SCALE: 1" = 30'



PLAN - 2ND LEVEL PARKING  
Scale: 1" = 30'



STORM DRAIN PLAN  
Scale: 1" = 30'

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT  
 EQUITY HEALTH OFFICER DATE 8-28-85  
 APPROVED FOR HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
 PLANNING DIRECTOR DATE 9-3-85  
 CHIEF DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE 9-3-85  
 APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIRECTOR DATE 8-28-85  
 CHIEF BUREAU OF ENGINEERING DATE 8-23-85

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE 6-26-85

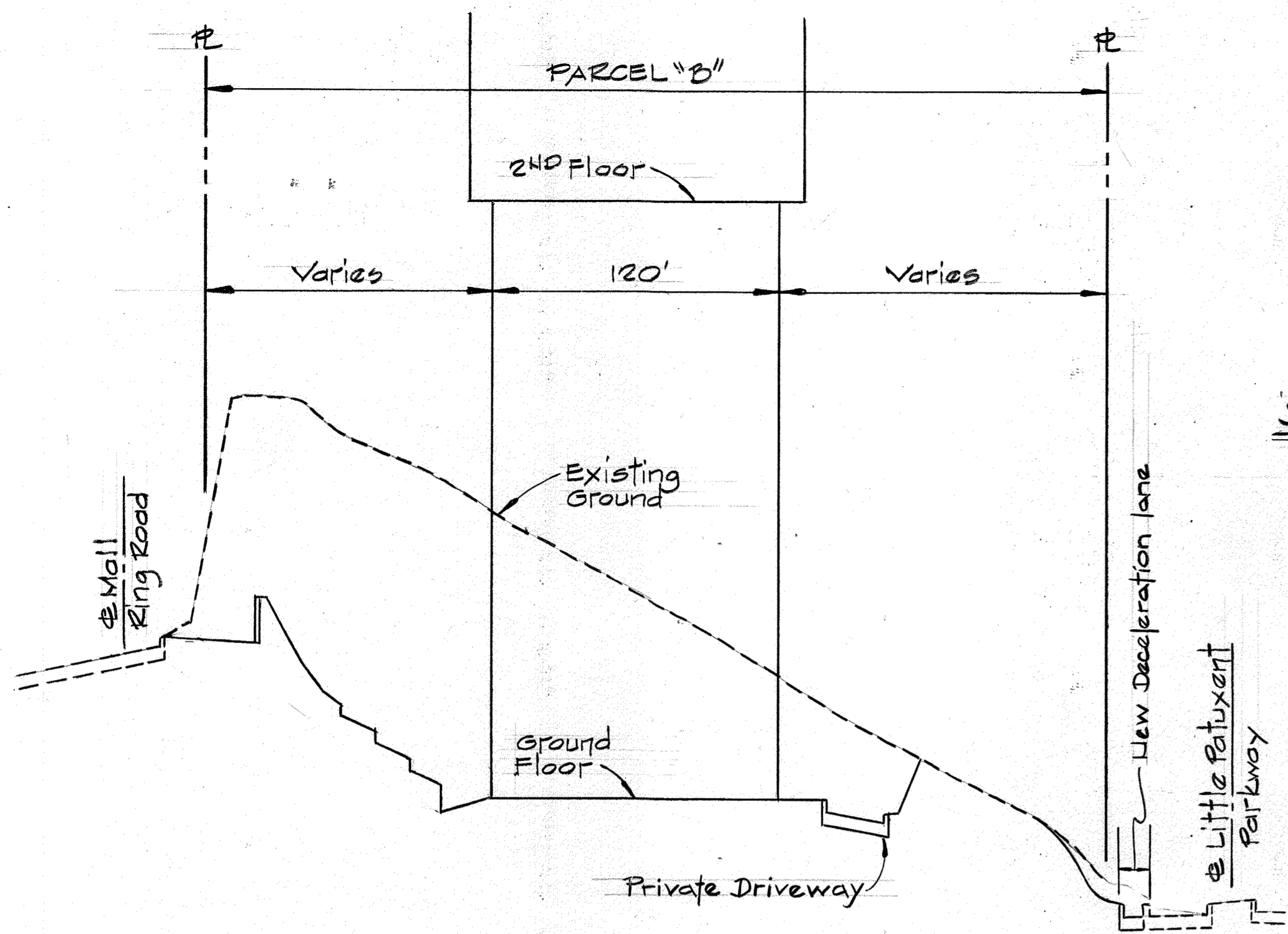
NO.	DATE	DESCRIPTION OF REVISION
4	9/6/85	RESTAURANT USE, OUTDOOR SEATING, ADD SHEETS 11-14
2	7/29/85	As per Planning and D.P.W. Comments
1	6/17/85	As per Planning, D.P.W. and S.C.S. Comments

COLUMBIA  
 SITE PLANS  
 FOR  
 TOWN CENTER  
 SECTION 2 AREA 5  
 PARCELS A, B & C  
 STORM DRAIN PLAN AND  
 2ND LEVEL PARKING  
 SHEET 3 OF 25  
 5TH ELECTION DISTRICT, HOWARD COUNTY MARYLAND  
 DATE: 6/6/85 SCALE: AS SHOWN  
 SDP-85-196.



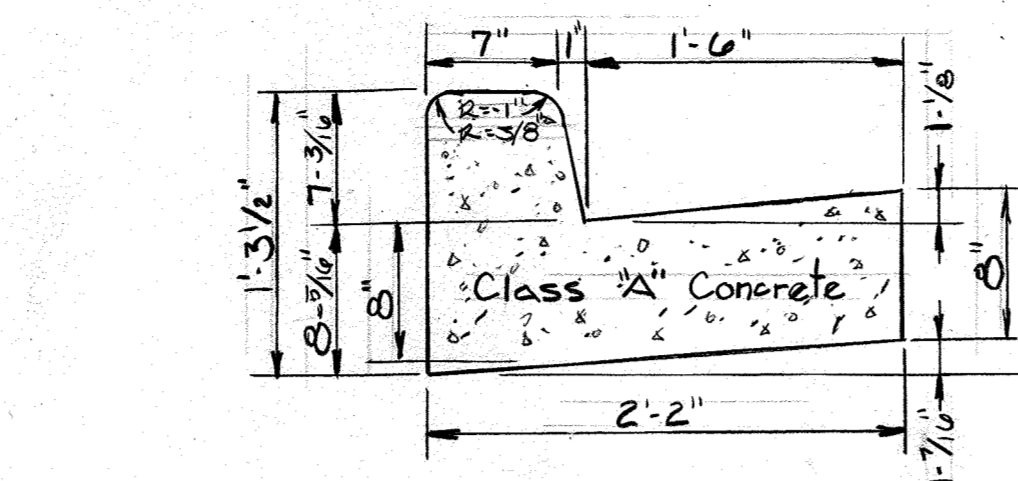
WHITMAN, REQUARDT AND ASSOCIATES  
 ENGINEERS  
 2315 ST. PAUL STREET  
 BALTIMORE, MARYLAND 21218  
 Kenneth A. McCord  
 KENNETH A. MCCORD P.E. NO. 1974

OWNER AND DEVELOPER  
 COLUMBIA MALL, INC.  
 10275 LITTLE PATUXENT PARKWAY  
 COLUMBIA, MARYLAND 21043



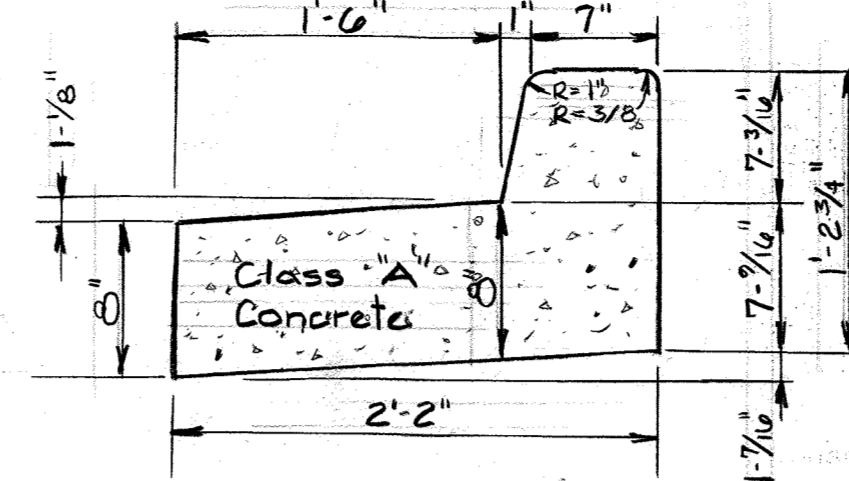
**WEST ELEVATION ~ OFFICE BUILDING**

Scale: Hor: 1" = 50'  
Vert: 1" = 5'



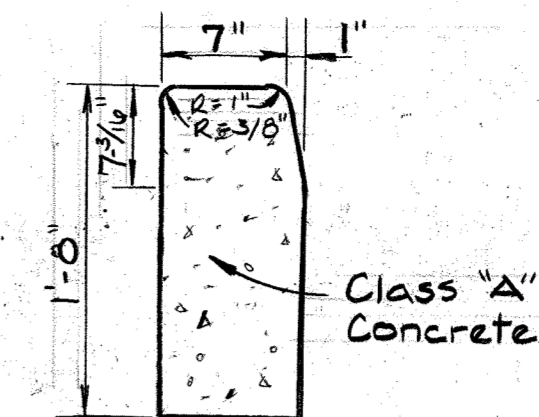
**STANDARD 7" COMBINATION CURB & GUTTER**

No Scale



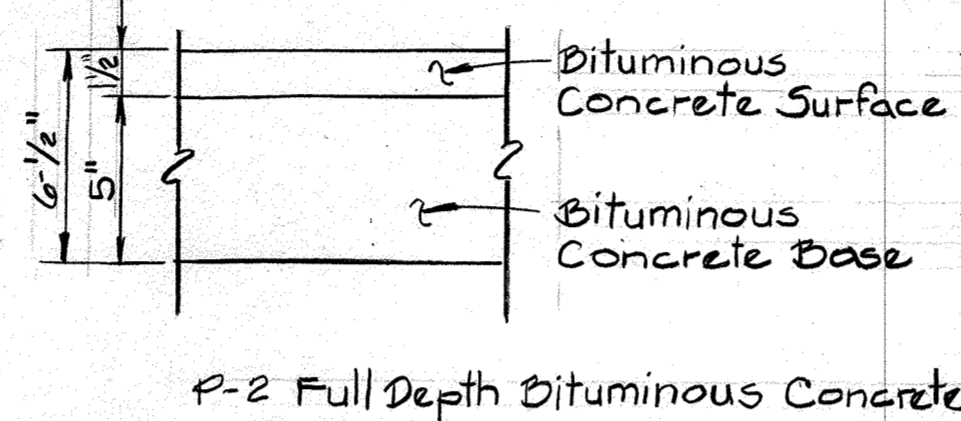
**REVERSE 7" COMBINATION CURB & GUTTER**

No Scale



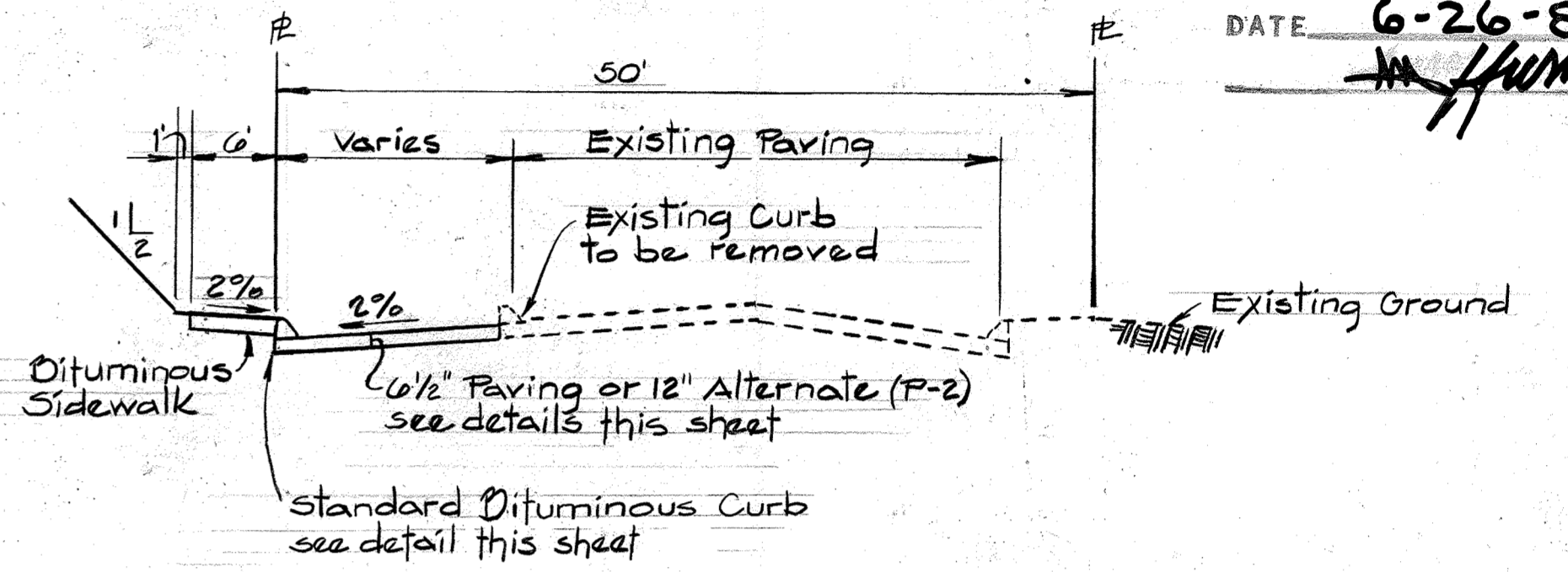
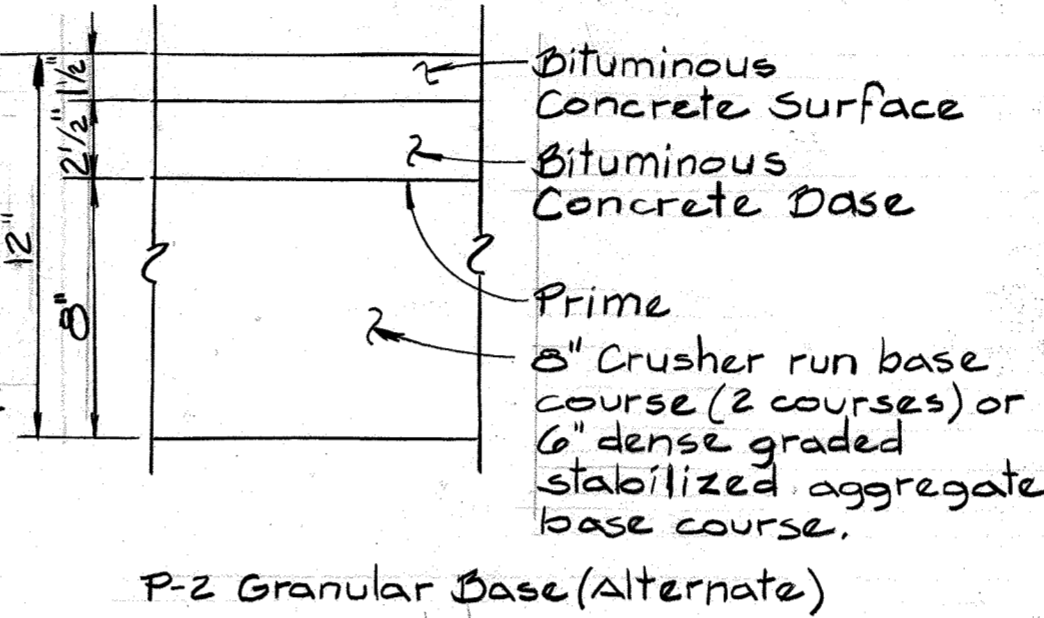
**STANDARD BARRIER CURB**

No Scale



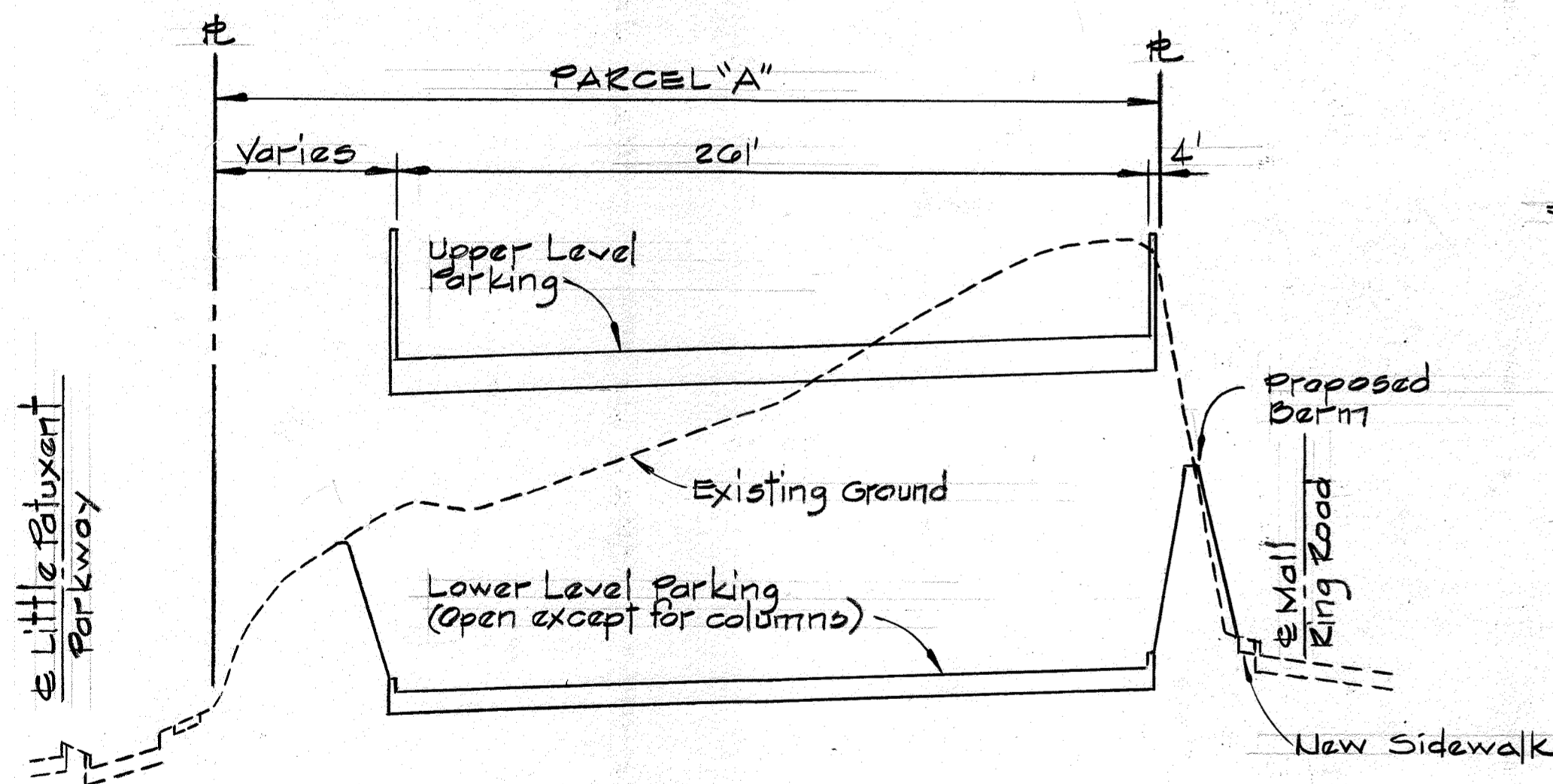
**TYPICAL PAVING SECTION**

No Scale



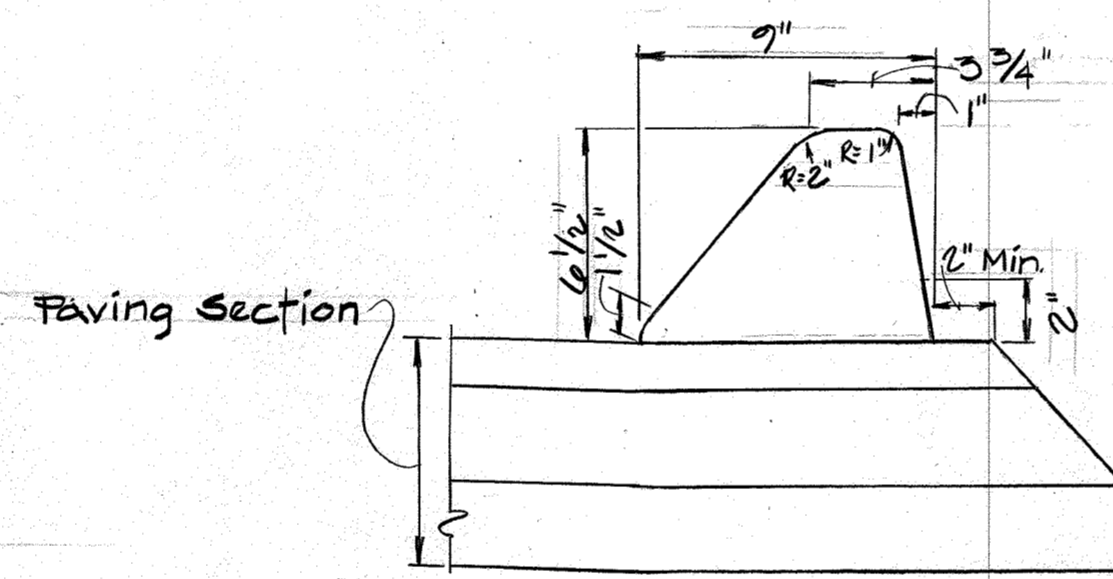
**TYPICAL SECTION: MALL ACCESS ROAD WIDENING**

Scale: Hor: 1" = 10'  
Vert: 1" = 5'



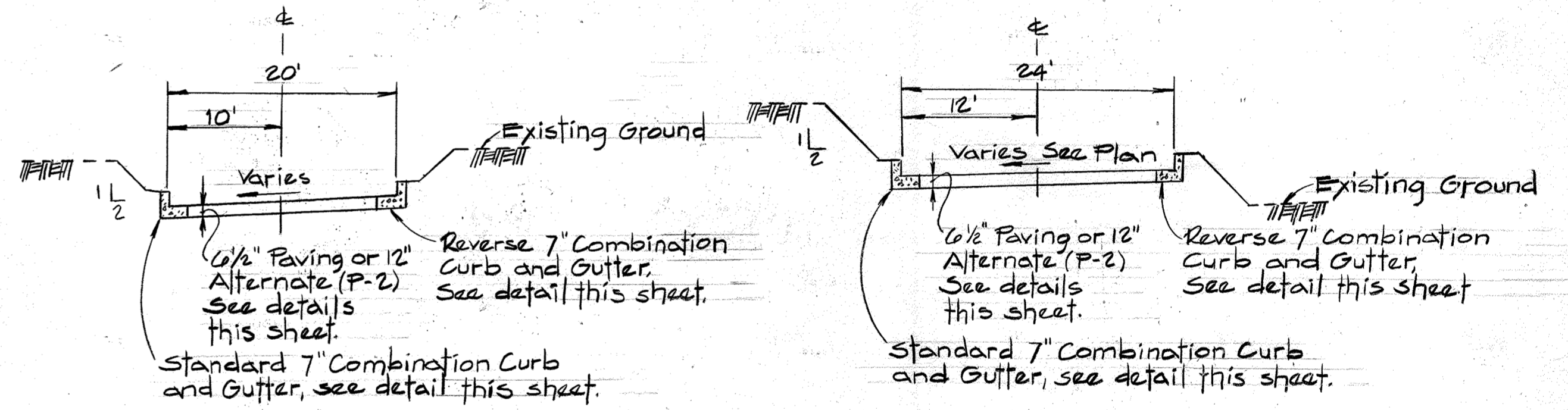
**EAST ELEVATION ~ PARKING DECK**

Scale: Hor: 1" = 50'  
Vert: 1" = 5'



**STANDARD BITUMINOUS CURB**

No Scale



**TYPICAL SECTION (20' PAVING)**

Scale: Hor: 1" = 10'  
Vert: 1" = 5'

**TYPICAL SECTION (24' PAVING)**

Scale: Hor: 1" = 10'  
Vert: 1" = 5'

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT  
 JAMES B. COLEMAN 8-28-85  
 JULY HEALTH OFFICER DATE  
 APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
 DONALD H. HAMMILL 9-3-85  
 PLANNING DIRECTOR DATE  
 JOHN W. MULLIKEN 8-28-85  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE AND ZONING ADMINISTRATION  
 APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 MURRAY N. NUNY 8-28-85  
 DIRECTOR DATE  
 GREGORY S. COLEMAN 8-23-85  
 CHIEF BUREAU OF ENGINEERING DATE

APPROVED  
 PLANNING BOARD  
 OF HOWARD COUNTY  
 DATE 6-26-85  
 M. HAMMILL

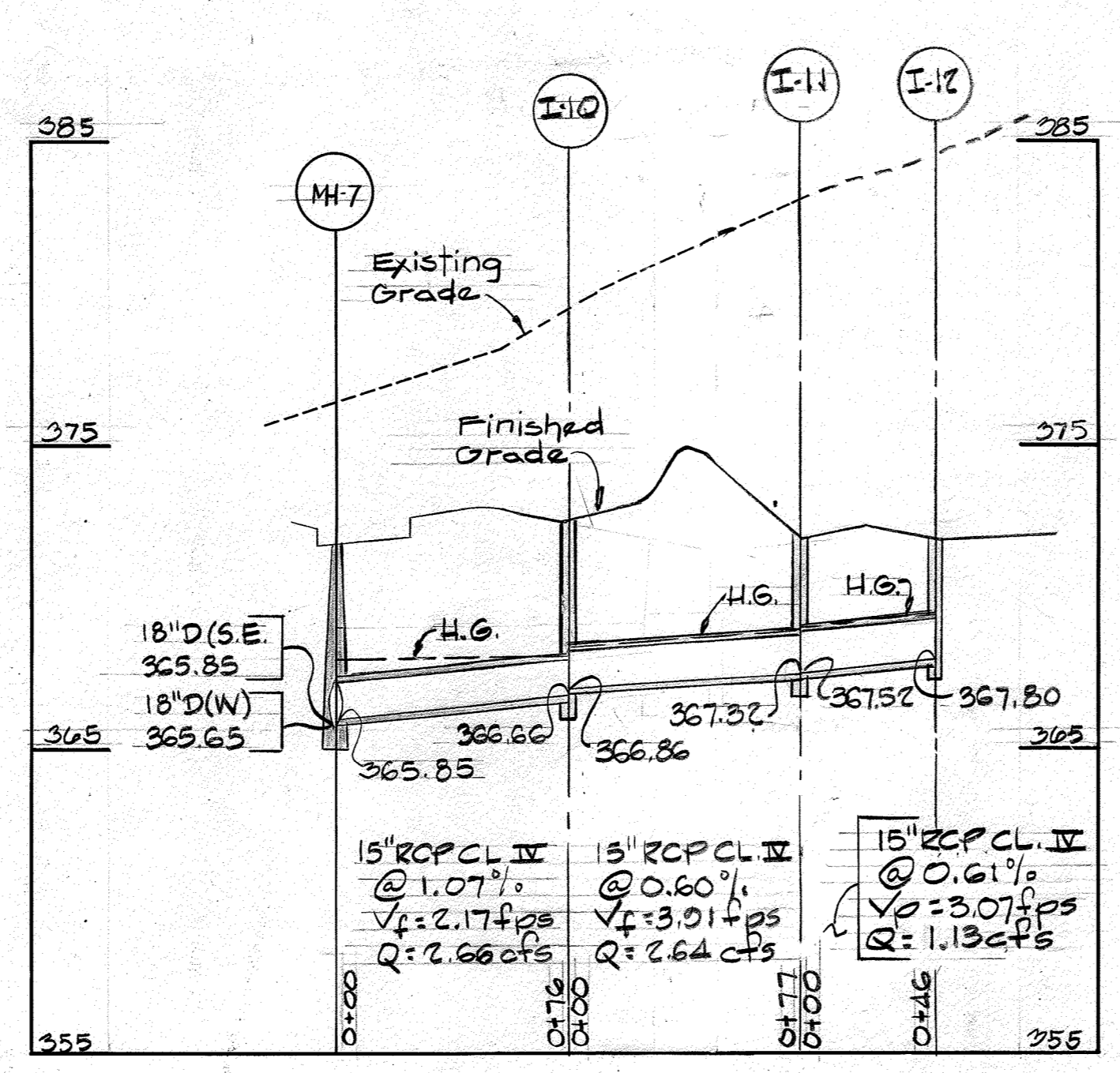
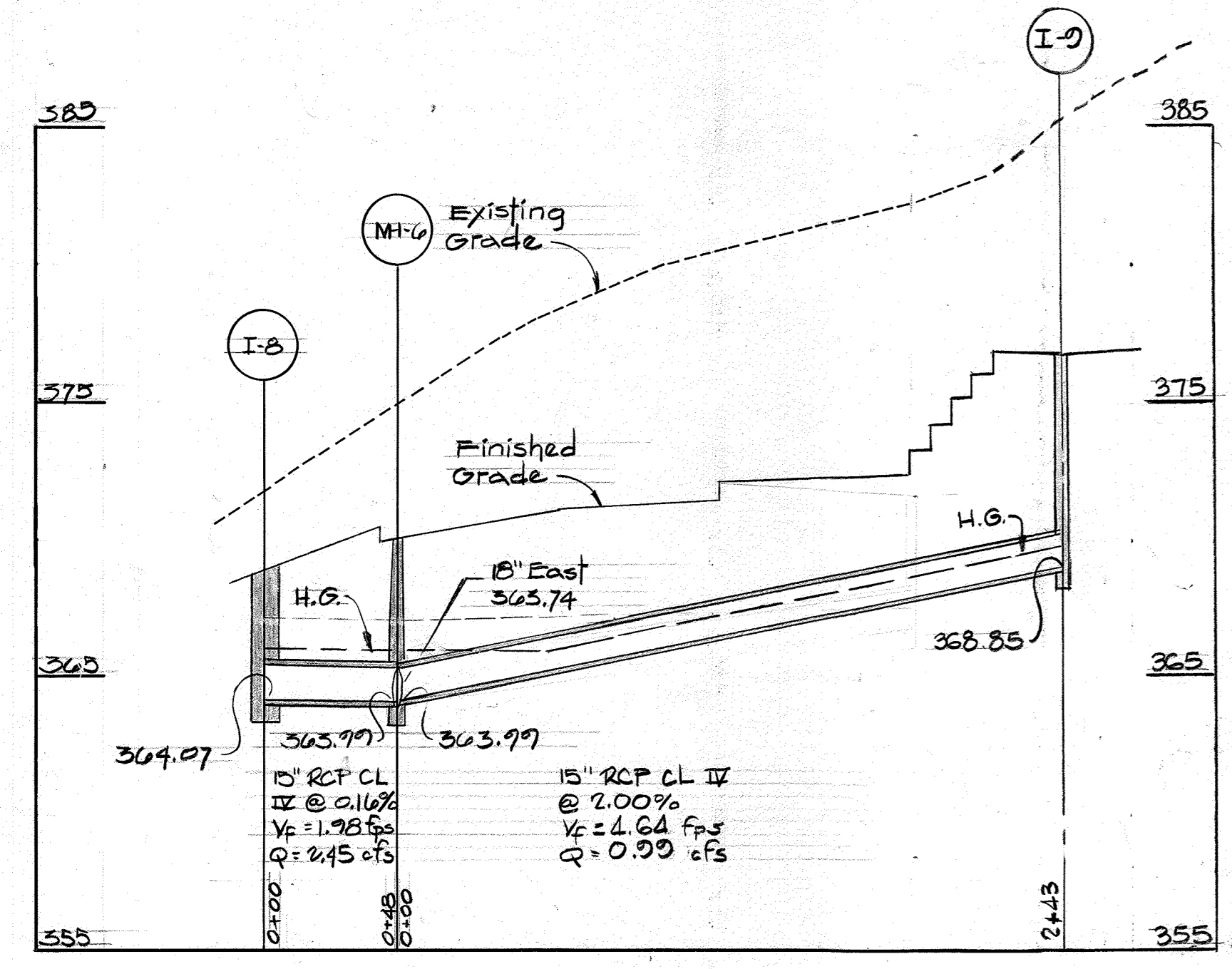
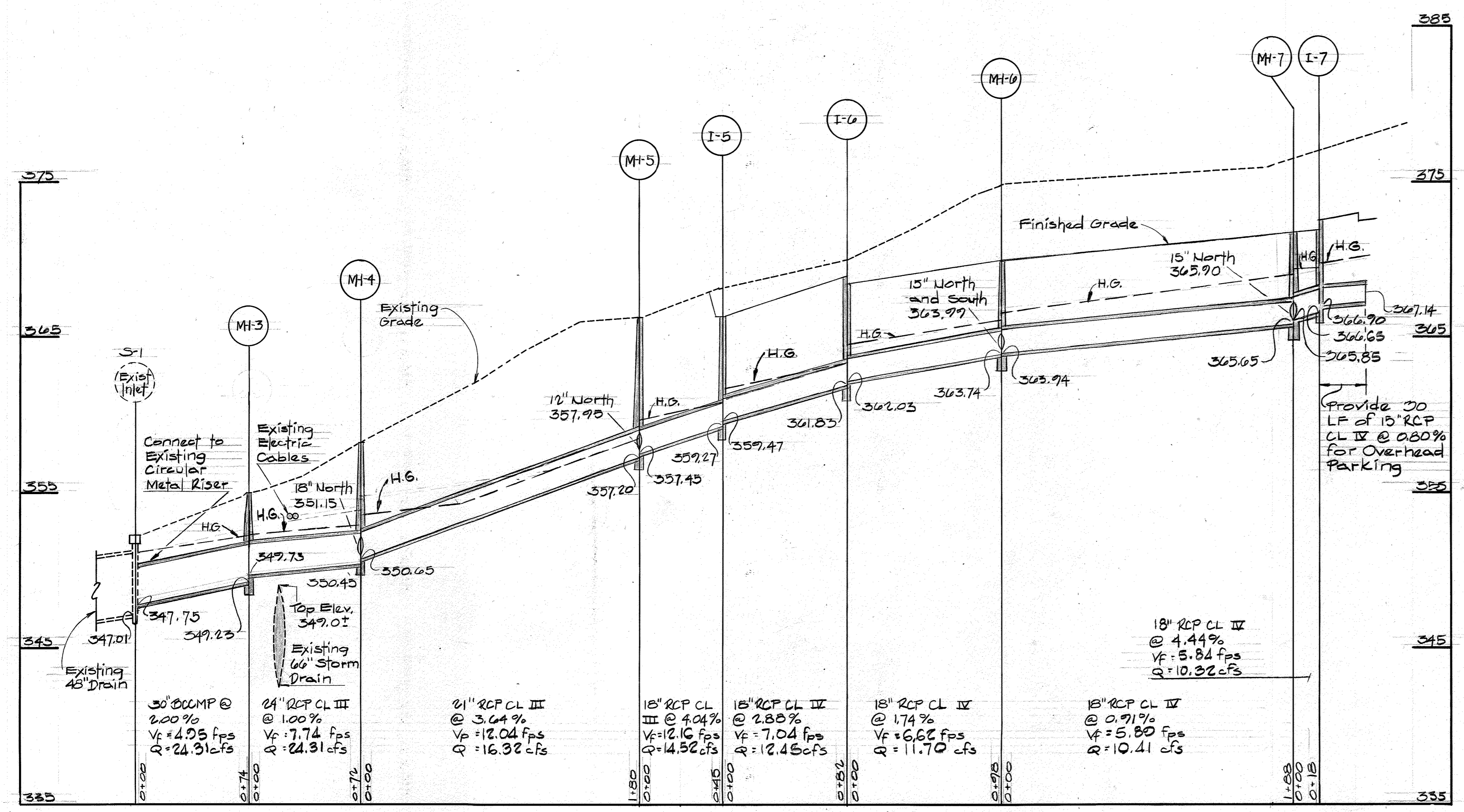
WHITMAN, REQUARDT AND ASSOCIATES ENGINEERS  
 2315 ST. PAUL STREET  
 BALTIMORE, MARYLAND 21218  
 OWNER AND DEVELOPER  
 COLUMBIA MALL, INC.  
 10275 LITTLE PATUXENT PARKWAY  
 COLUMBIA, MARYLAND 21043

NO.	DATE	DESCRIPTION OF REVISION
4	9/6/89	RESTAURANT USE, OUTDOOR SEATING, ADD SHEETS 11-14
2	7/27/85	As per Planning and P.W. comments
1	6/17/85	As per Planning, D.P.W. and S.C.S. comments

COLUMBIA  
 SITE PLANS  
 FOR  
 TOWN CENTER  
 SECTION 2 AREA B  
 PARCELS A, B & C  
 ROAD SECTIONS AND DETAILS  
 SHEET 4 OF 25  
 5TH ELECTION DISTRICT, HOWARD COUNTY MARYLAND  
 DATE: 4-27-85 SCALE: AS SHOWN  
 SDP-85-196.

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT  
 COUNTY HEALTH OFFICER DATE 8-28-85  
 APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
 PLANNING DIRECTOR DATE 9-23-85  
 CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION  
 APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIRECTOR DATE 8-28-85  
 CHIEF, BUREAU OF ENGINEERING DATE

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE 6-26-85



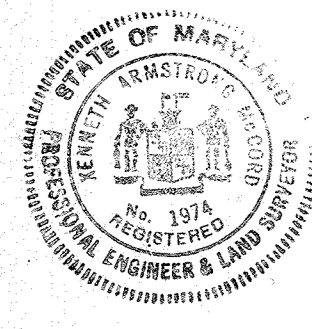
PROFILES  
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 Vert: 1"=5'

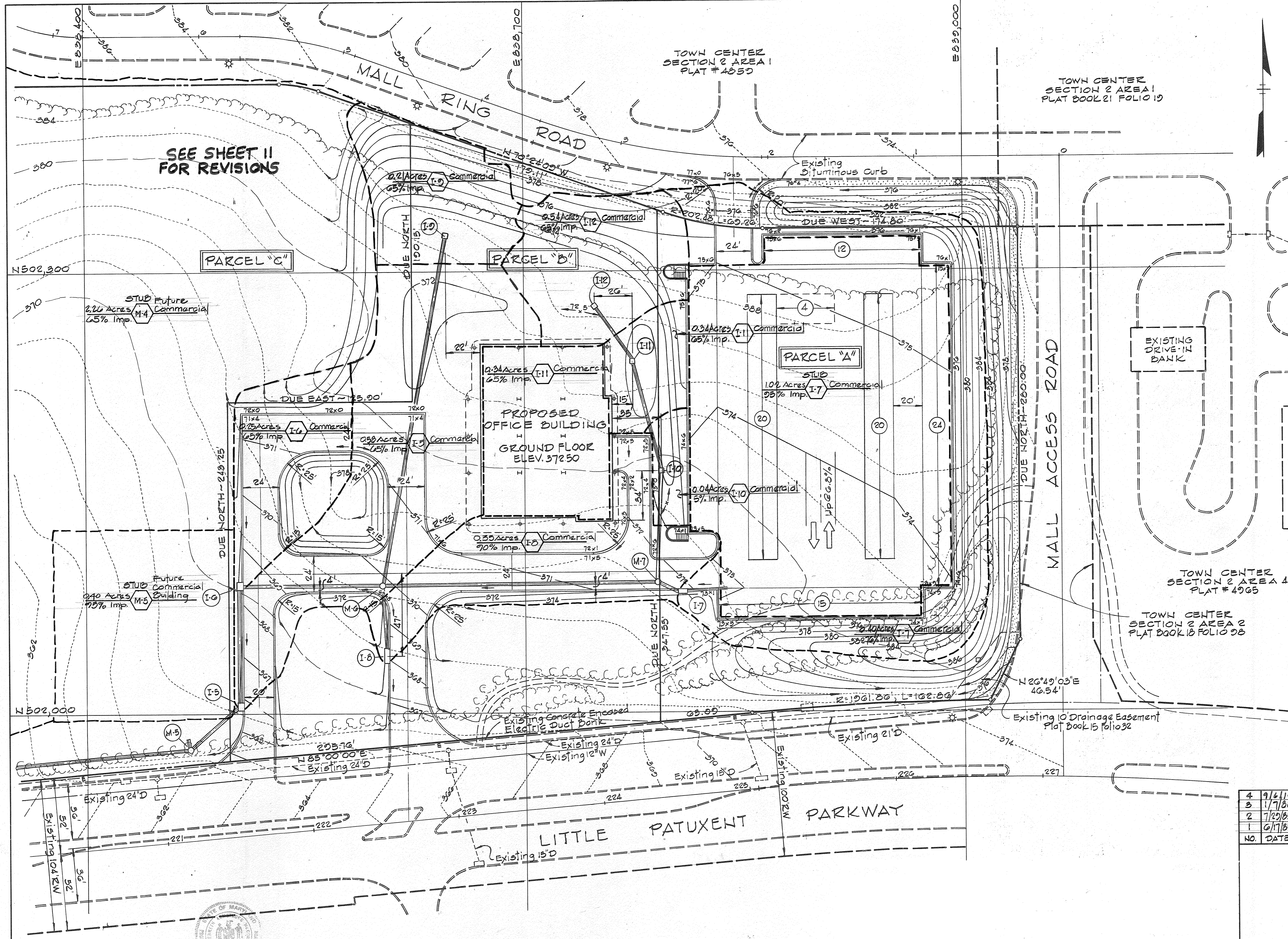
NO.	DATE	DESCRIPTION OF REVISION
4	9/6/89	RESTAURANT USE, OUTDOOR SEATING, ADD SHEETS 11-14
3	1/7/86	Revised Storm Drain Profiles
2	7/29/85	As per Planning and D.P.W. Comments
1	5/17/85	As per Planning, DPW and SCS Comments

COLUMBIA  
 SITE PLANS  
 FOR  
 TOWN CENTER  
 SECTION 2 AREA B  
 PARCELS A, B & C  
 STORM DRAIN PROFILES  
 SHEET 5 OF 25  
 5TH ELECTION DISTRICT, HOWARD COUNTY MARYLAND  
 DATE: 4-29-85 SCALE: AS SHOWN  
 SDP-85-196.

WHITMAN, REQUARDT AND ASSOCIATES  
 ENGINEERS  
 2215 ST. PAUL STREET  
 BALTIMORE, MARYLAND 21218  
 Kenneth A. McCord  
 KENNETH A. McCORD P.E. NO. 1974

OWNER AND DEVELOPER  
 COLUMBIA MALL, INC.  
 10275 LITTLE PATUXENT PARKWAY  
 COLUMBIA, MARYLAND 21043





SEE SHEET 11 FOR REVISIONS

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT  
 COUNTY HEALTH OFFICER DATE 8-28-85  
 APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
 PLANNING DIRECTOR DATE 9-3-85  
 J. Paul Marshallman 9-30-85  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE AND ZONING ADMINISTRATION  
 APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIRECTOR DATE 8-22-85  
 CHIEF, BUREAU OF ENGINEERING DATE 8-23-85

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE 6-26-85  
 M. J. FUM

NO.	DATE	DESCRIPTION OF REVISION
4	9/6/85	RESTAURANT USE, OUTDOOR SEATING, ADD SHEETS 11-14
3	1/7/86	Revised Storm Drains
2	7/29/85	As per Planning and D.P.W. Comments
1	6/17/85	As per Planning, D.P.W. and S.C.S. Comments

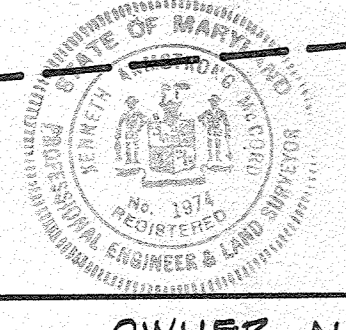
COLUMBIA  
 SITE PLANS  
 FOR  
 TOWN CENTER  
 SECTION 2 AREA 5  
 PARCELS A, B & C

DRAINAGE AREA MAP

SHEET 6 OF 25  
 5TH ELECTION DISTRICT, HOWARD COUNTY MARYLAND  
 DATE: 4-23-85  
 SCALE: 1" = 30'

WHITMAN, REQUART AND ASSOCIATES  
 ENGINEERS  
 2315 ST. PAUL STREET  
 BALTIMORE, MARYLAND 21218  
 Kenneth A. McCord P.E. NO. 1074

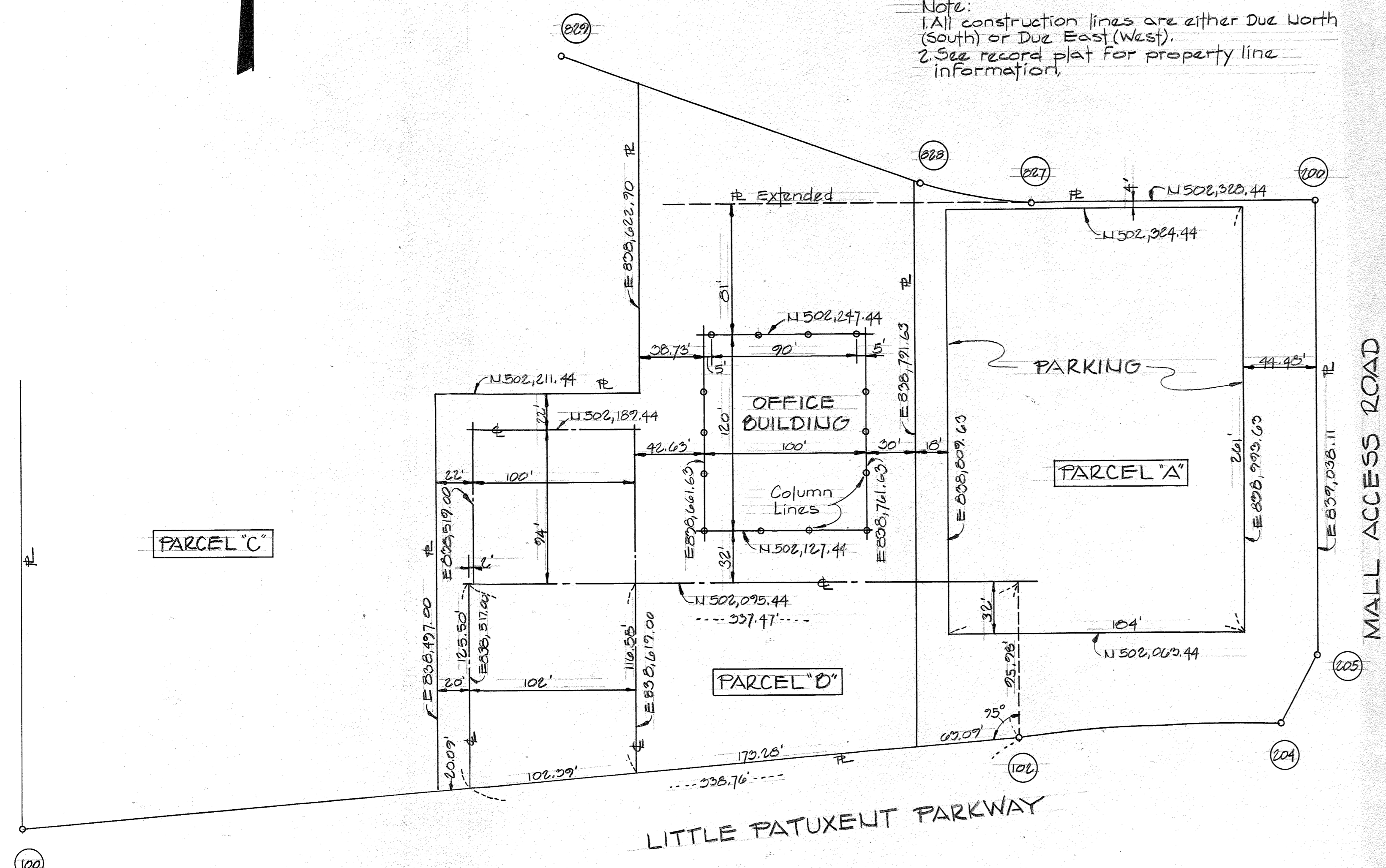
OWNER AND DEVELOPER  
 COLUMBIA MALL, INC.  
 10275 LITTLE PATUXENT PARKWAY  
 COLUMBIA, MARYLAND 21048



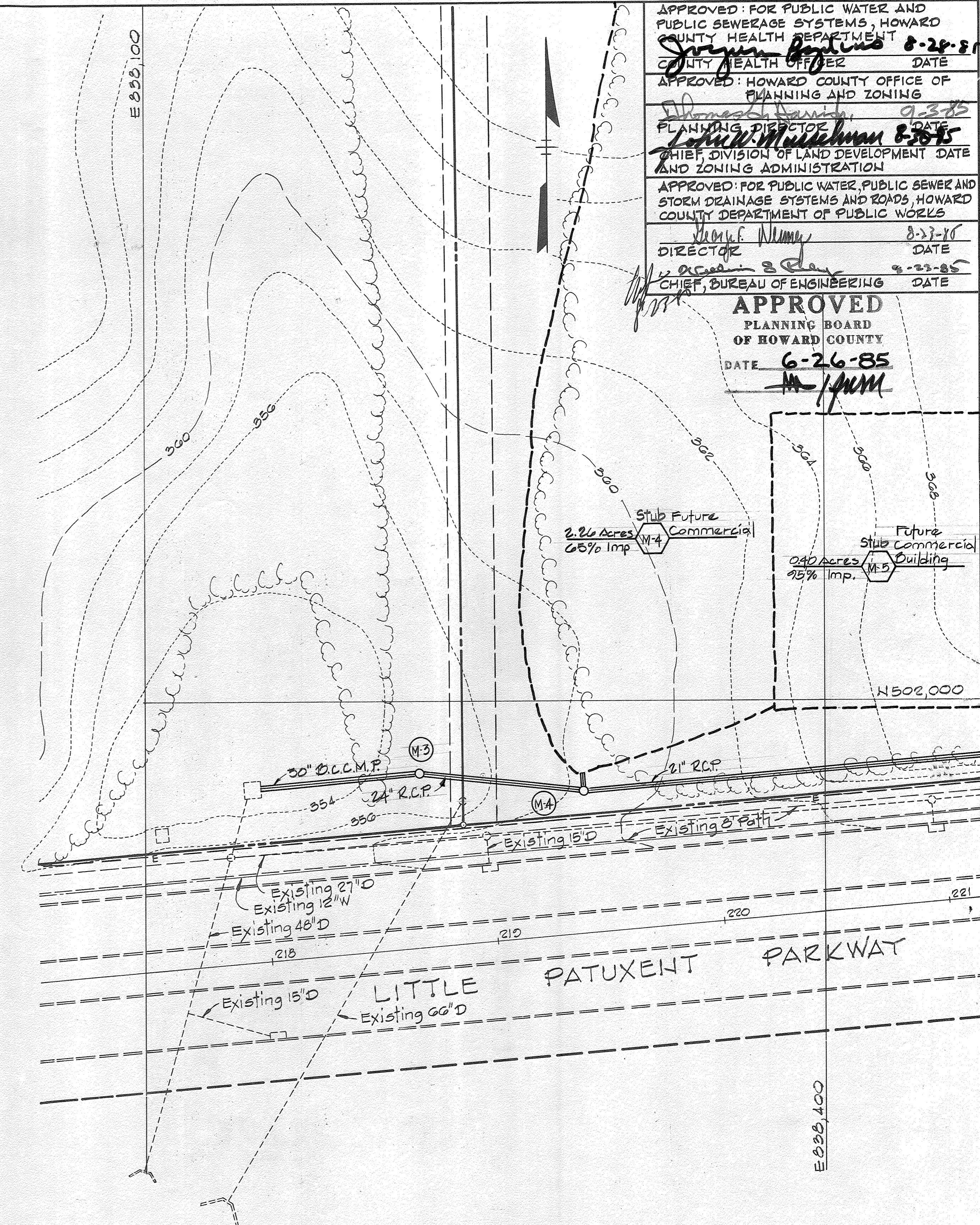
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT  
 COUNTY HEALTH OFFICER DATE 8-24-85  
 APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
 PLANNING DIRECTOR DATE 9-3-85  
 JOHN W. MULLERMAN 8-28-85  
 CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION  
 APPROVED: FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIRECTOR DATE 8-23-85  
 JAMES M. NUNY 8-23-85  
 CHIEF, BUREAU OF ENGINEERING DATE 9-23-85

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE 6-26-85  
 M. J. MUM

Note:  
 1. All construction lines are either Due North (South) or Due East (West).  
 2. See record plat for property line information.



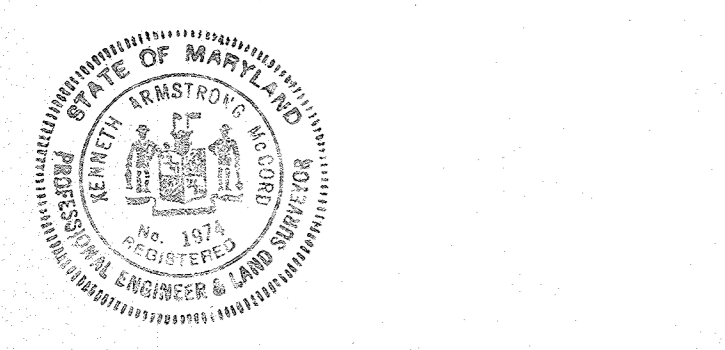
STAKEOUT PLAN  
 Scale: 1" = 50'



NO.	DATE	DESCRIPTION OF REVISION
4	9/6/85	RESTAURANT USE, OUTDOOR SEATING, ADD SHEETS 11-14
2	7/29/85	As per Planning and D.P.W. Comments
1	6/17/85	As per Planning, DPW and SCS Comments

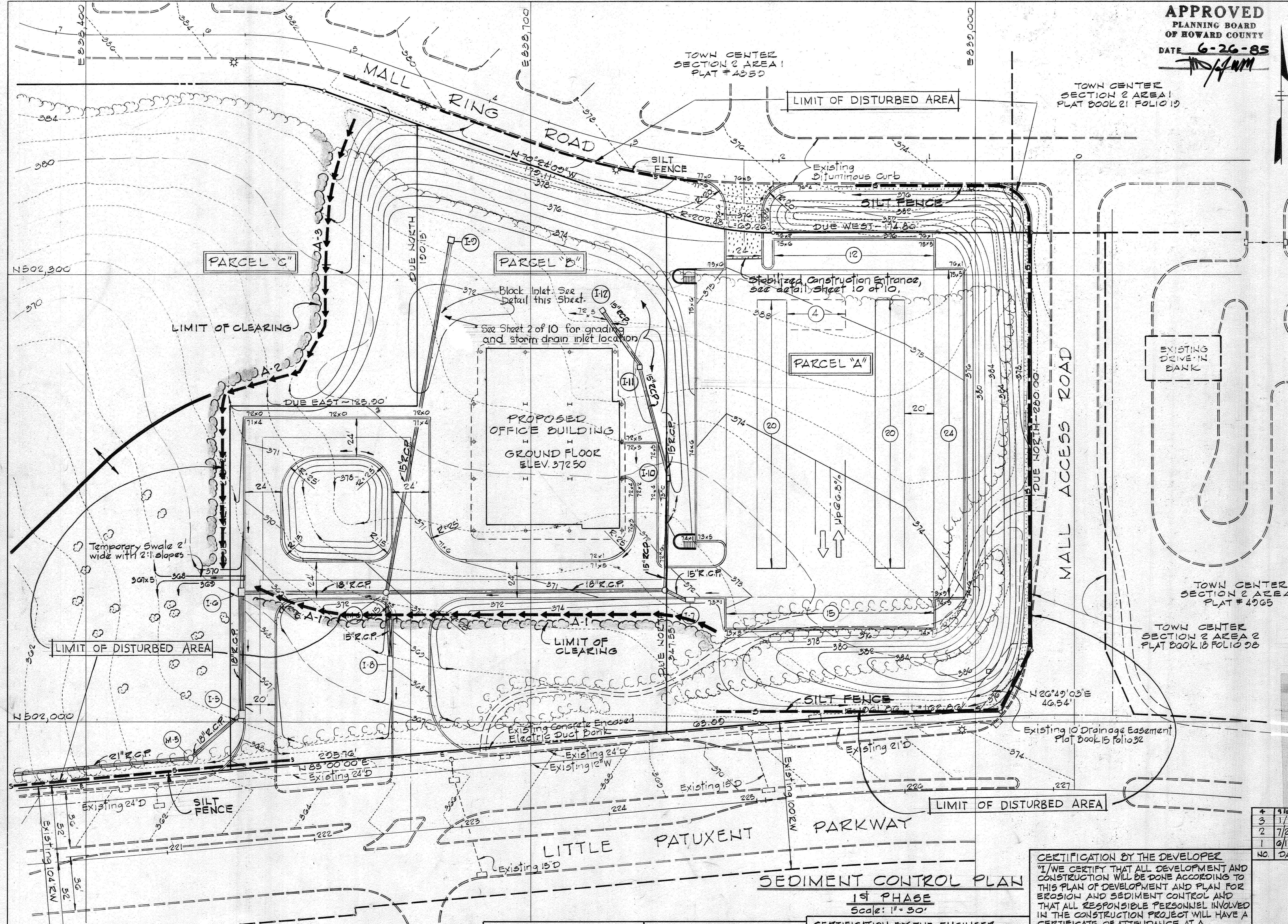
COLUMBIA  
 SITE PLANS  
 FOR  
 TOWN CENTER  
 SECTION 2 AREA 5  
 PARCELS A, B & C  
 STAKEOUT PLAN &  
 DRAINAGE AREA MAP  
 SHEET 7 OF 25

5TH ELECTION DISTRICT, HOWARD COUNTY MARYLAND  
 DATE: 4/23/85 SCALE: 1" = 30'



WHITMAN, REQUARDT AND ASSOCIATES  
 ENGINEERS  
 2315 ST. PAUL STREET  
 BALTIMORE, MARYLAND 21218  
 Kenneth A. McCord  
 KENNETH A. MCCORD P.E. NO. 1074

OWNER AND DEVELOPER  
 COLUMBIA MALL, INC.  
 10275 LITTLE PATUXENT PARKWAY  
 COLUMBIA, MARYLAND 21043



**APPROVED**  
**PLANNING BOARD**  
**OF HOWARD COUNTY**  
 DATE 6-26-85  
*[Signature]*

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT  
*[Signature]* DATE 7-28-85  
 COUNTY HEALTH OFFICER  
 APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
*[Signature]* DATE 9-3-85  
 PLANNING DIRECTOR  
*[Signature]* DATE 8-30-85  
 CHIEF DIVISION OF LAND DEVELOPMENT DATE AND ZONING ADMINISTRATION  
 APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*[Signature]* DATE 8-11-85  
 DIRECTOR  
*[Signature]* DATE 8-28-85  
 CHIEF BUREAU OF ENGINEERING

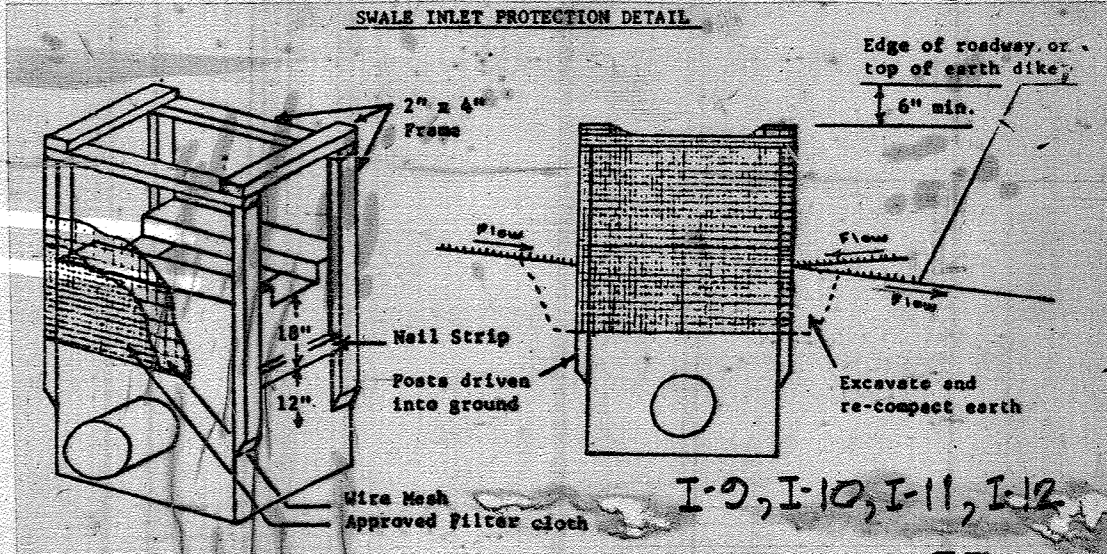
**SEQUENCE OF CONSTRUCTION**

- 1ST PHASE**
1. Obtain Grading Permit.
  2. Install stabilized Construction Entrance off Mall Ring Road. (2 Days)
  3. Clear and grub areas for sediment control facilities only. (3 Days)
  4. Construct sediment control facilities including grass outlet trap, silt fence, Earth Dikes and temporary swale. (4 Days)
  5. Stabilize Earth Dikes with temporary seeding, see specifications on Sbt. 9. (1 Day)
  6. Strip and rough grade limits of construction. (2 Weeks)
  - \* 7. Construct all utilities, office building and appurtenances. (9 months)
  8. Fine grade road and parking area, construct curb and gutter sidewalks and seed all disturbed areas with permanent seeding, see specifications on sheet 9. (2 Weeks)
  9. Pave roads and parking area. (2 Days)

**2ND PHASE**  
 See Road Construction Drawings for Little Patuxent Parkway Sheet 5 (P85-145)

- 3RD PHASE**
1. Construct sediment control facilities including silt fence and straw bales. (Straw Bales to be placed across driveway entrances at the end of each working day). (2 Days)
  2. Strip and fine grade entrance driveway areas. (2 Days)
  3. Construct curb and gutter, pave roadways and seed all disturbed areas with permanent seeding, see specifications on sheet 9. (3 Days)
  4. After grass is established in the contributing drainage area all sediment control facilities may be removed.

\* All storm drain inlets shall be blocked. See Details this sheet and sheet 9



NO	DATE	DESCRIPTION OF REVISION
4	9/11/85	RESTAURANT USE, OUTDOOR SEATING, AND SUBS II-14
3	1/7/86	Revised Storm Drains
2	7/22/85	As per Planning and D.P.W. Comments
1	6/17/85	As per Planning, D.P.W. and S.G.S. Comments

**CERTIFICATION BY THE DEVELOPER**  
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

*[Signature]* DATE 4-24-85  
 KENNETH A. MCCORD PE 1974

**CERTIFICATION BY THE ENGINEER**  
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

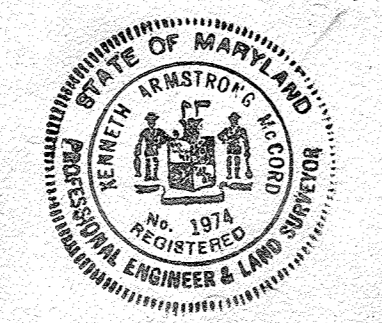
*[Signature]* DATE 4-23-85  
 WALTER E. WOODFORD

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS

*[Signature]* DATE 8/19/85  
 U.S. SOIL CONSERVATION SERVICE

**OWNER AND DEVELOPER**  
 COLUMBIA MALL, INC.  
 10275 LITTLE PATUXENT PARKWAY  
 COLUMBIA, MARYLAND 21048

**WHITMAN, REQUARDT AND ASSOCIATES ENGINEERS**  
 2315 ST. PAUL STREET  
 BALTIMORE, MARYLAND 21218  
*[Signature]*  
 KENNETH A. MCCORD PE NO. 1974



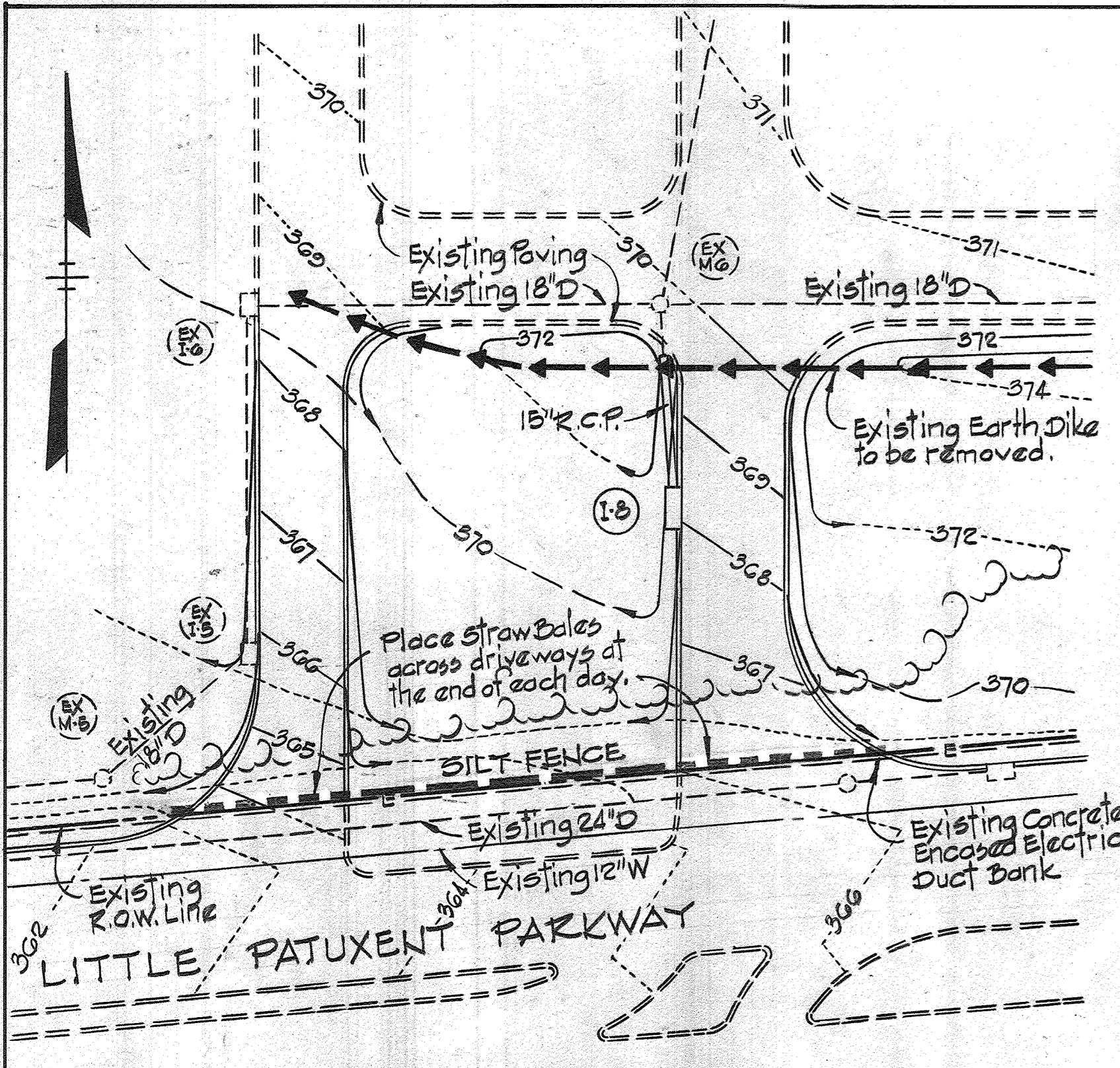
**COLUMBIA SITE PLANS FOR TOWN CENTER SECTION 2 AREA 5 PARCELS A, B & C**

**SEDIMENT CONTROL PLAN**

SHEET 8 OF 25  
 5TH ELECTION DISTRICT, HOWARD COUNTY MARYLAND  
 DATE: 4/23/85 SCALE: 1" = 30'

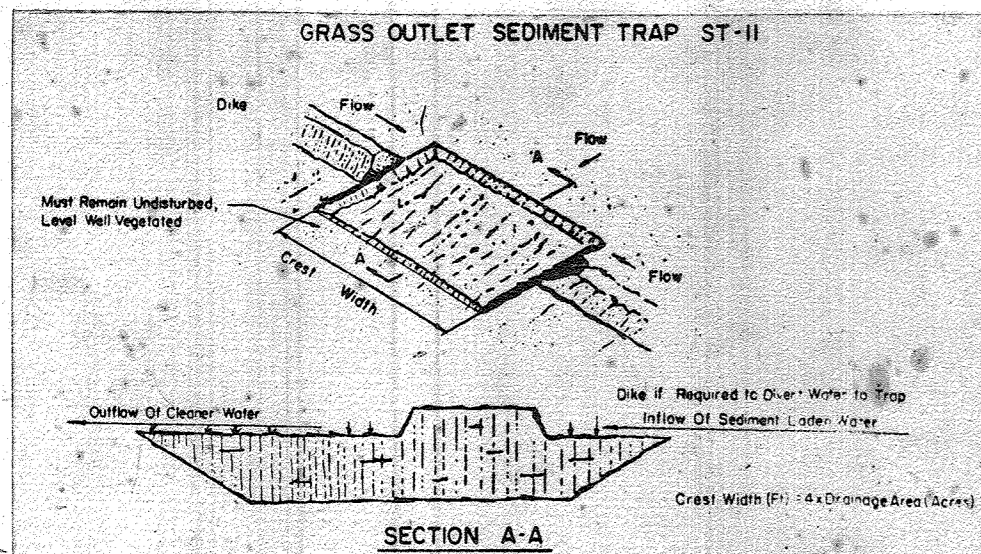
SDP-85-196c





**SEDIMENT CONTROL PLAN**

**3RD PHASE**  
Scale: 1" = 30'

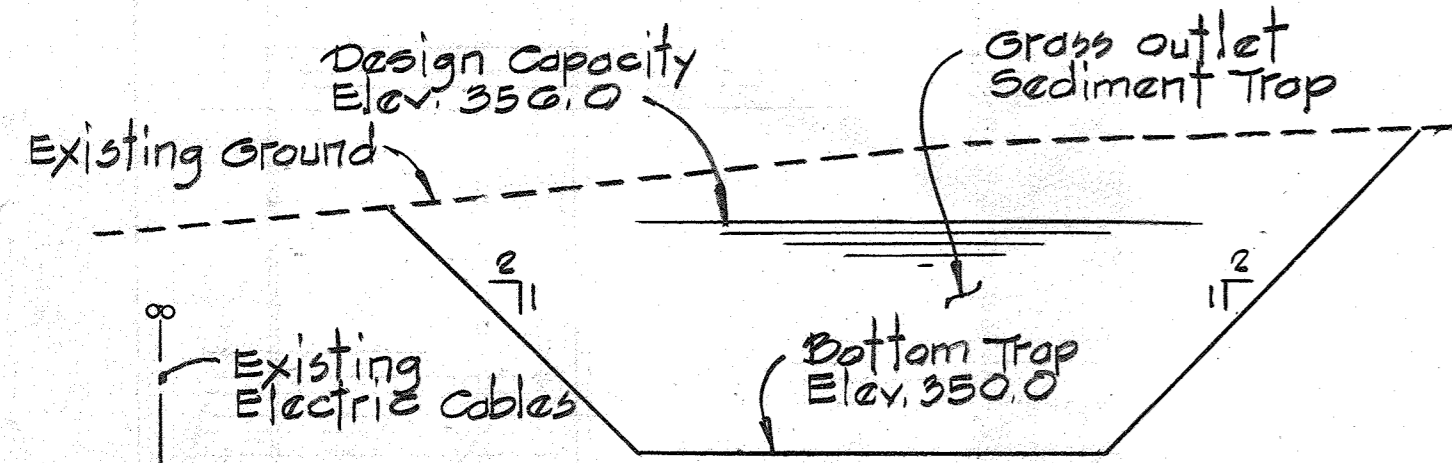


EXCAVATED GRASS OUTLET SEDIMENT TRAP

CONSTRUCTION SPECIFICATION FOR ST-II

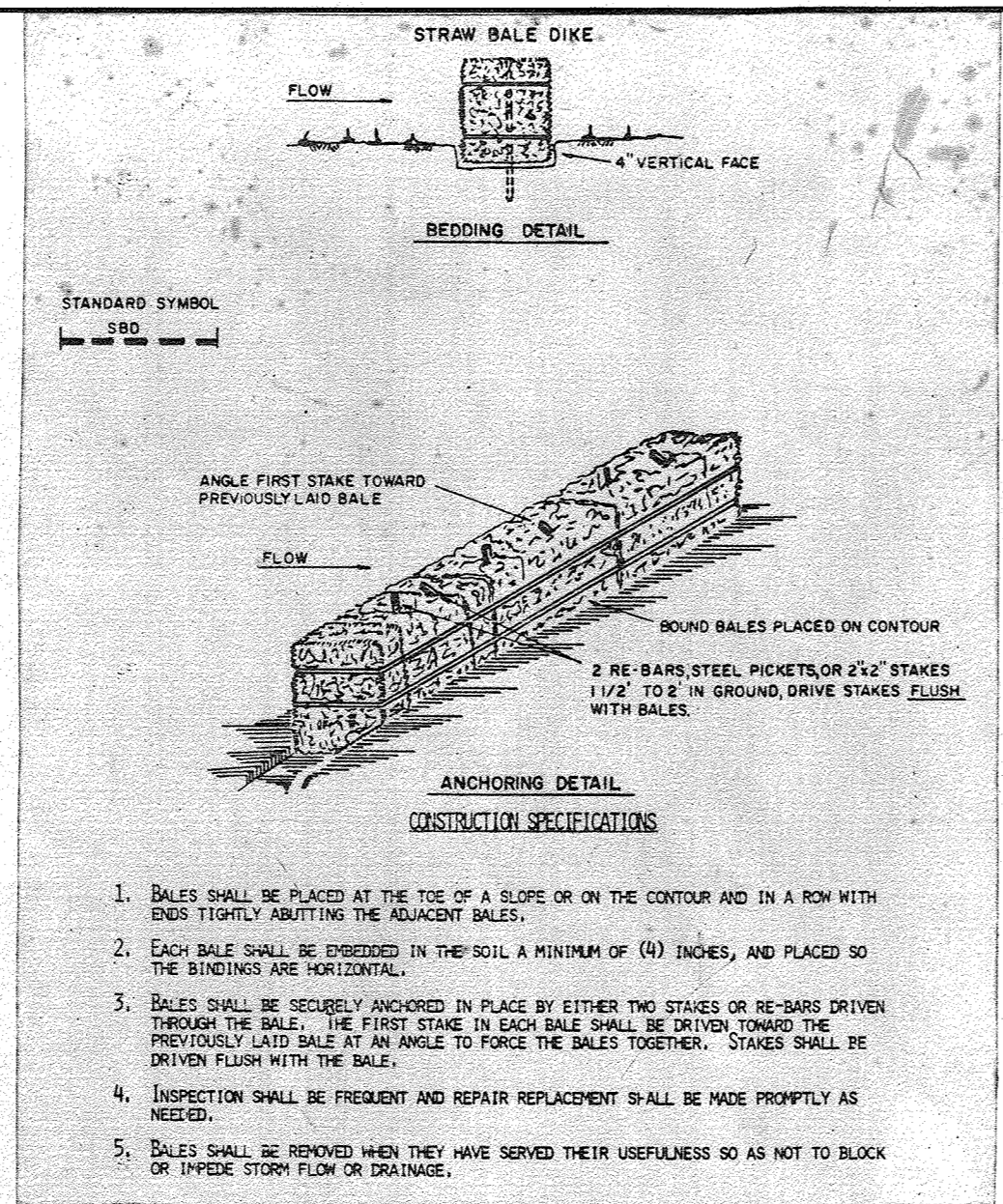
- Volume of sediment storage shall be 1800 cubic feet per acre of contributory drainage area.
- Minimum crest width shall be 4 X Drainage Area.
- Sediment shall be removed and trap returned to its original dimensions when the sediment has accumulated to 1/4 the design depth of the trap. Removed sediment shall be deposited in a suitable area and in such a manner that it will not erode.
- The structure shall be inspected after each rain and repairs made as needed.
- Construction operations shall be carried out in such a manner that erosion and water pollution shall be minimized.
- The sediment trap shall be removed and area stabilized when the remaining drainage area has been properly stabilized.
- All cut slopes shall be 1:1 or flatter.

Maximum Drainage Area: 5 Acres

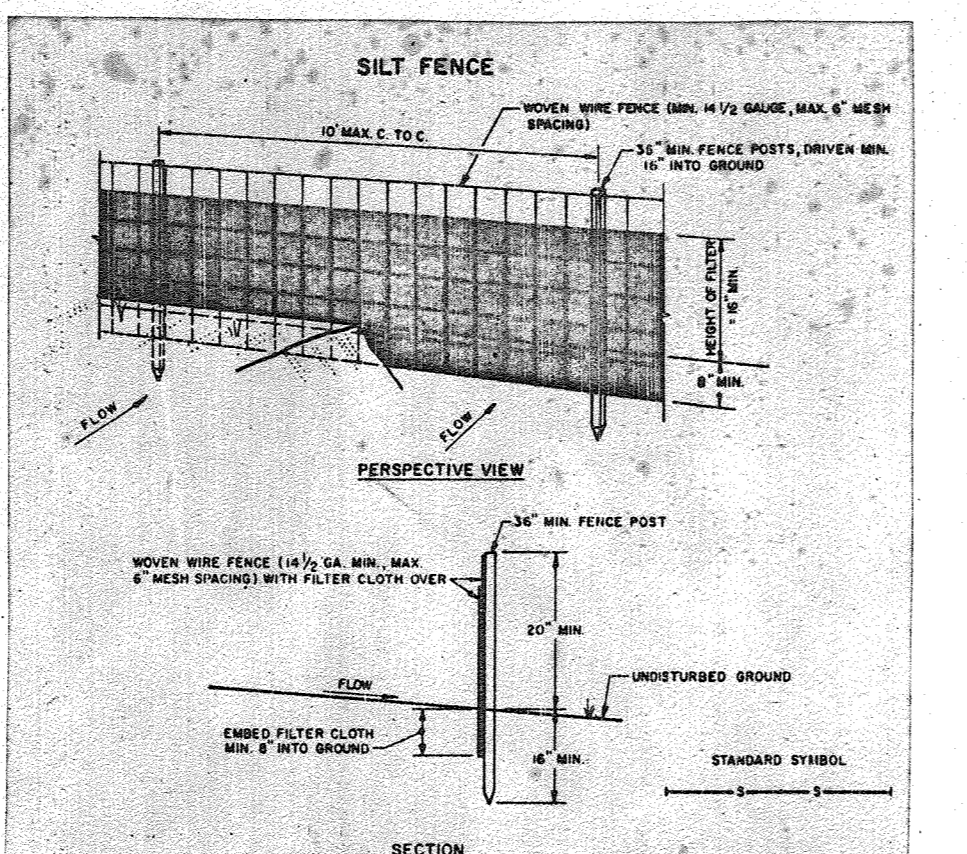


**SECTION "A-A"**

Scale: Hor. 1" = 10'  
Vert. 1" = 5'



- Bales shall be placed at the toe of a slope or on the contour and in a row with ends tightly abutting the adjacent bales.
- Each bale shall be embedded in the soil a minimum of (4) inches, and placed so the binding are horizontal.
- Bales shall be secured in place by either two stakes or re-bars driven through the bale. The first stake in each bale shall be driven toward the previously laid bale at an angle to force the bales together. Stakes shall be driven flush with the bale.
- Inspection shall be present and repair replacement shall be made promptly as needed.
- Bales shall be removed when they served their usefulness so as not to block or impede storm flow or drainage.



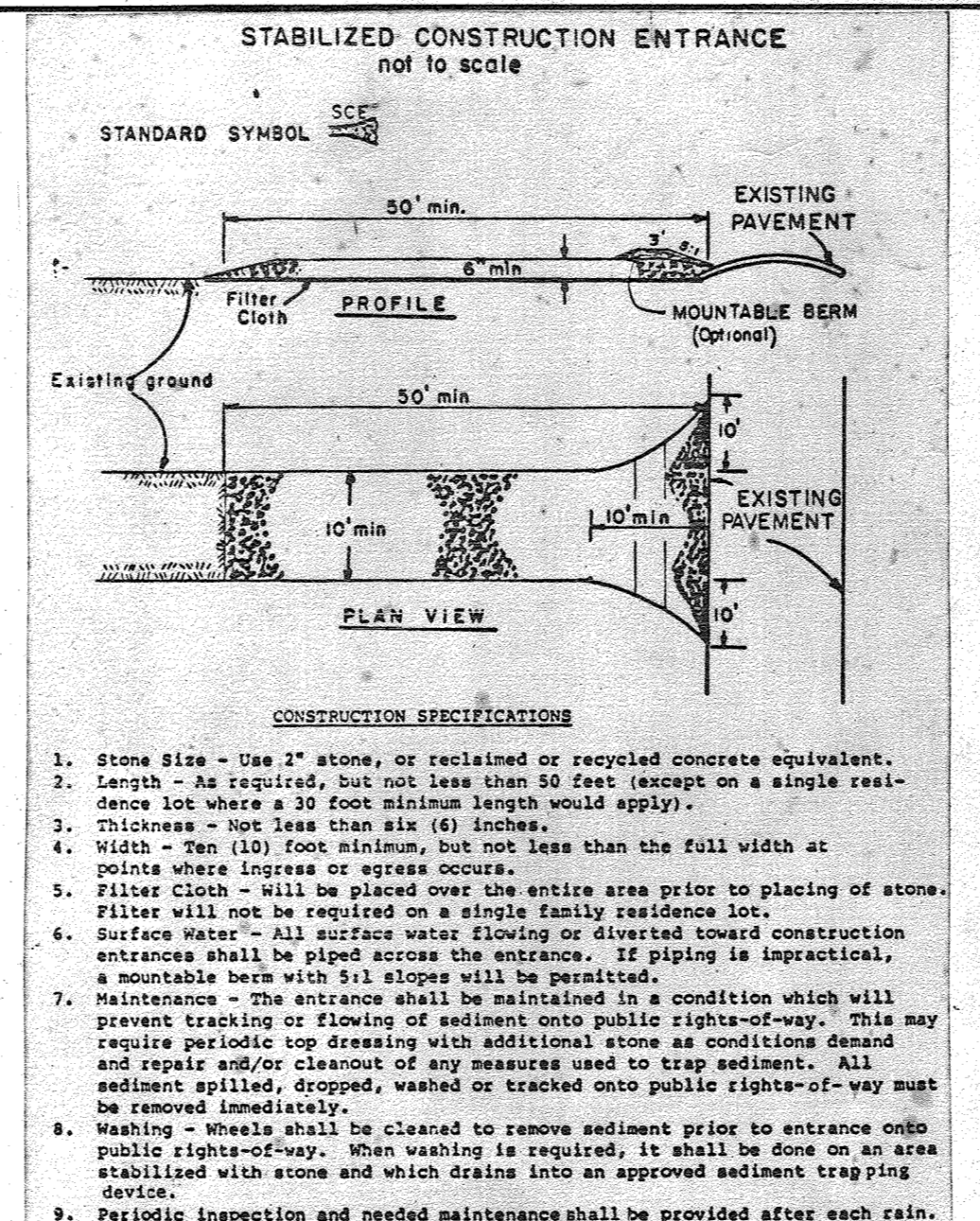
CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

- When wire fence to be fastened securely to fence posts with wire ties or staples.
- Filter cloth to be fastened securely to woven wire fence with ties spaced every 4" at top and bottom.
- When two sections of filter cloth adjoin each other they shall be overlapped by six inches and folded.
- Maintenance shall be performed as needed and material removed when bulges develop in the silt fence.

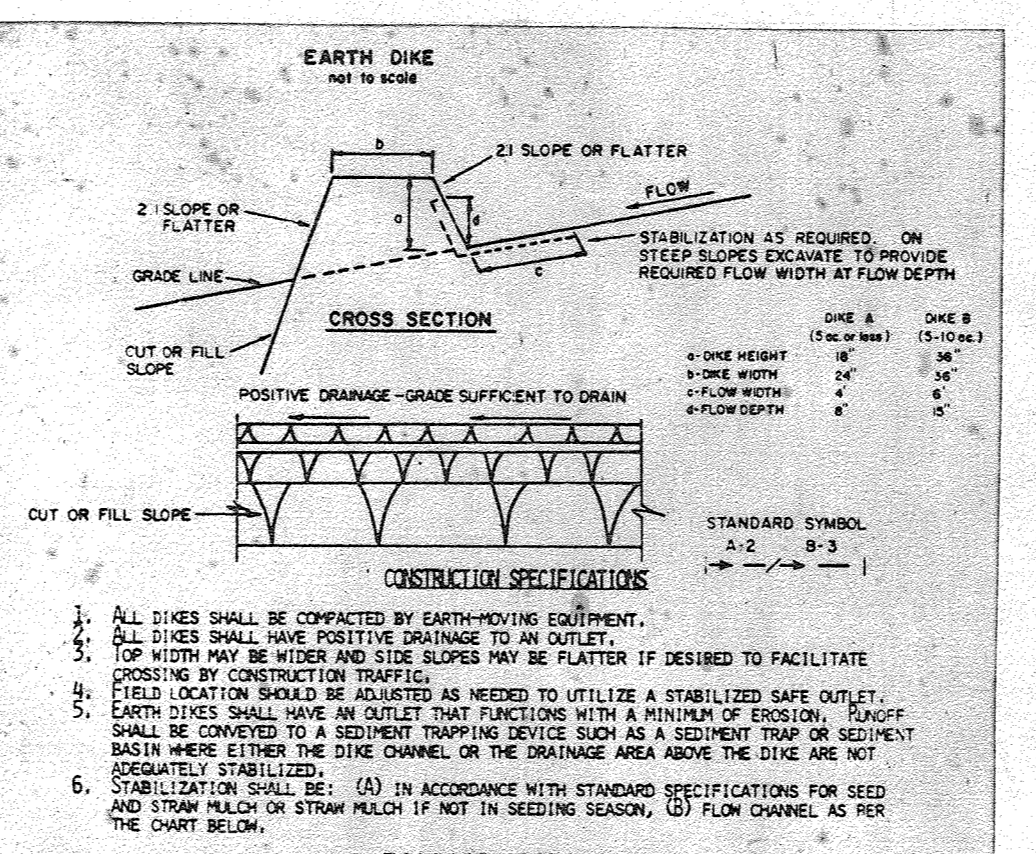
**SEDIMENT CONTROL NOTES**

- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (992-2437)
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within a 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 31) and (Sec. 34), temporary seedings (Sec. 30) and mulching (Sec. 52.) Temporary stabilization with mulch alone can only be done when recommended seedings rates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector
- Site Analysis:
 

Total Area of Site	4.6 Acres
Area to be roofed or paved	2.4 Acres
Area to be vegetatively stabilized	1.4 Acres
Total Cut	40,000 Cu. Yds
Total Fill	0 Cu. Yds
Offsite waste/borrow area location	SW. OF KING RD.
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment controls must be provided, if deemed necessary by the Howard County DPM sediment control inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.



- Stone Size - Use 2" stone, or reclaimed or recycled concrete equivalent.
- Length - As specified, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply).
- Thickness - Not less than six (6) inches.
- Width - Ten (10) feet minimum, but not less than the full width at points where ingress or egress occurs.
- Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residence lot.
- Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
- Maintenance - This entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanup of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
- Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
- Periodic inspection and needed maintenance shall be provided after each rain.

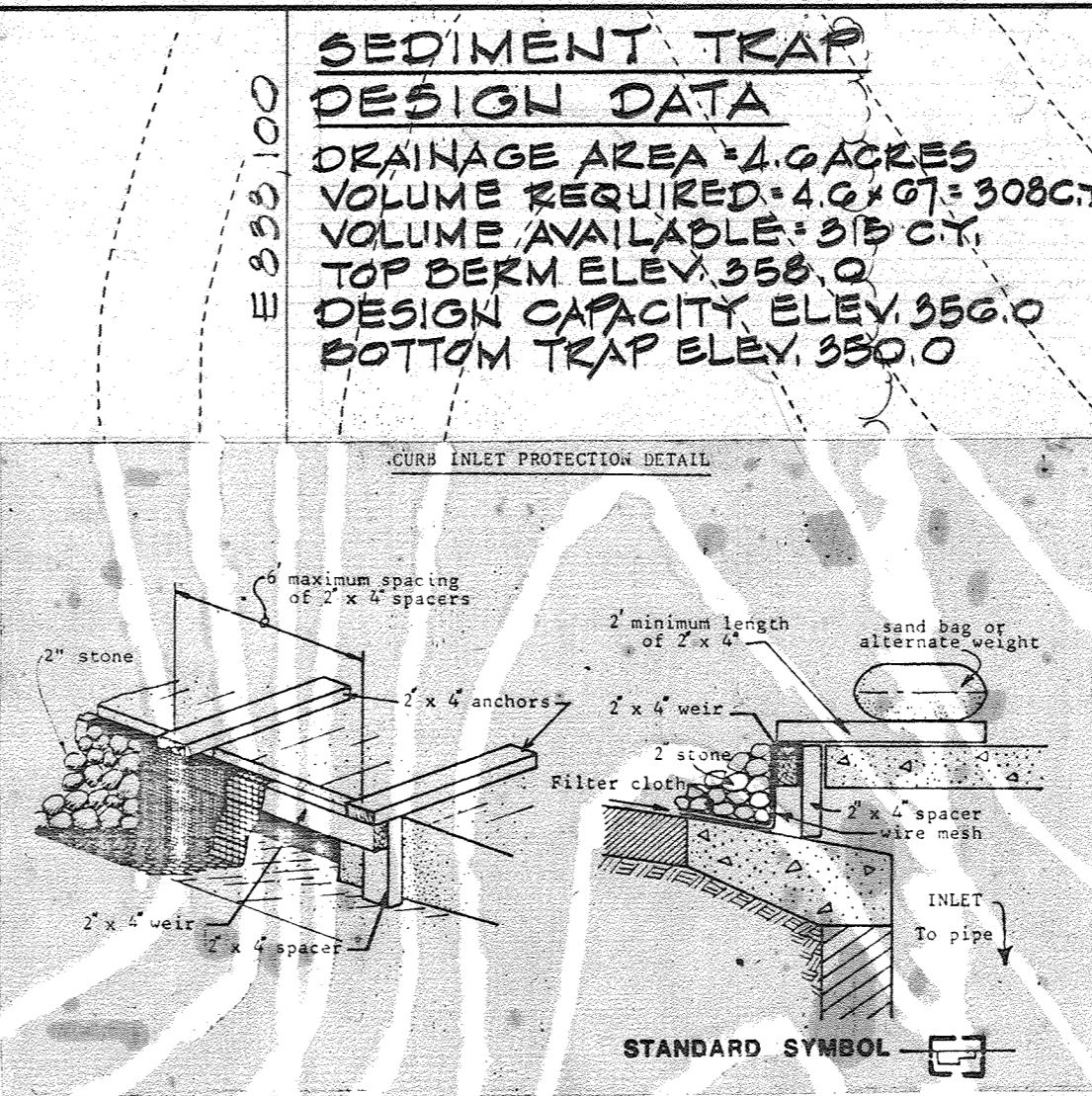


- All dikes shall be compacted by earth-moving equipment.
- Dike width shall have positive drainage to an outlet.
- Top width may be wider and side slopes may be flatter if desired to facilitate crossing by construction traffic.
- Earth dikes shall have an outlet that functions with a minimum of erosion. Runoff shall be conveyed to a sediment trapping device such as a sediment trap or sediment basin where either the dike channel or the drainage area above the dike are not susceptible to stabilization.
- Stabilization shall be: (a) in accordance with standard specifications for seed and straw mulch if not in seeding season, (b) flow channel as per the chart below.

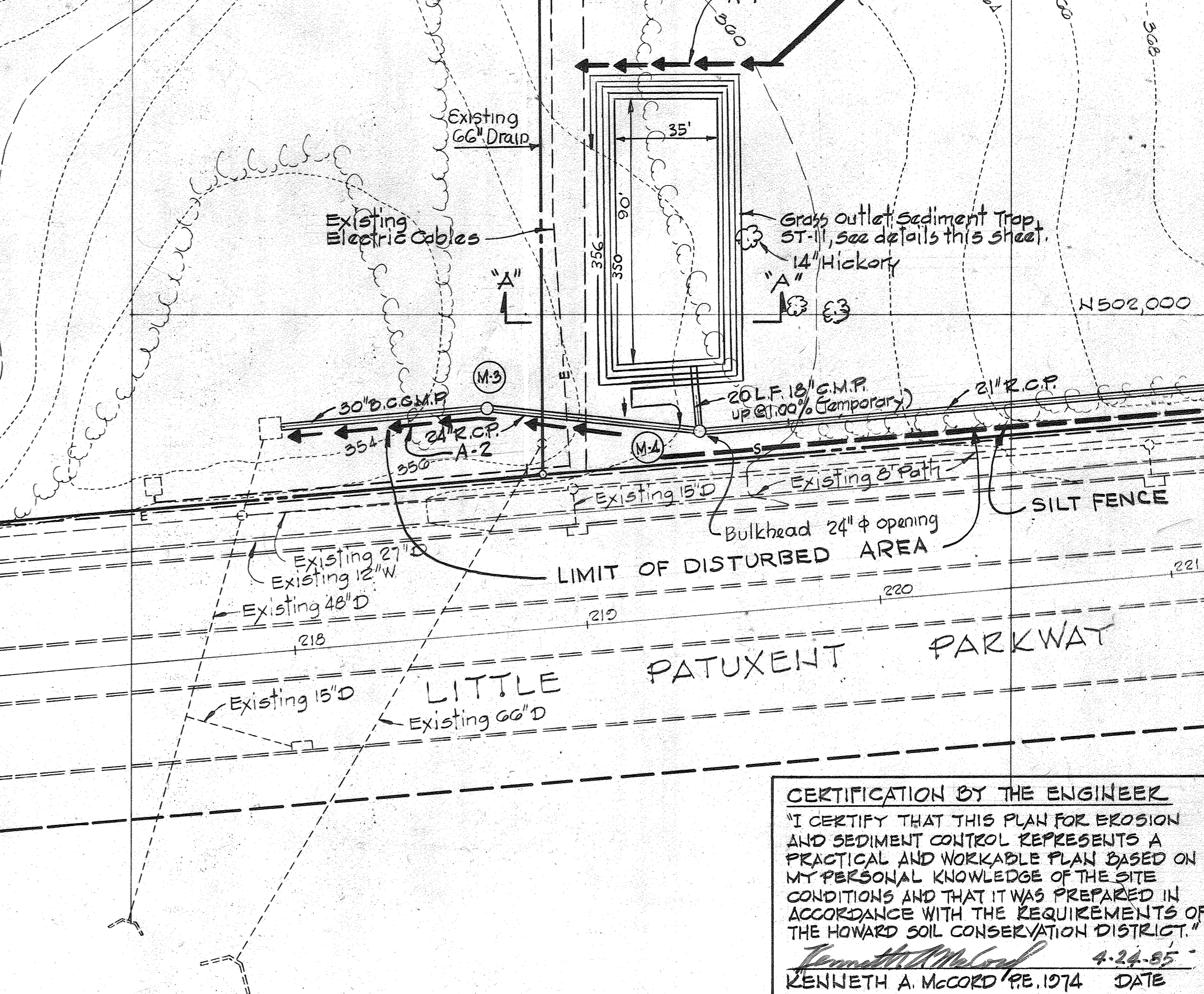
TYPE OF TREATMENT	CHANNEL SIZE	DIKE A	DIKE B
1	5-3.0M	SEED AND STRAW MULCH	SEED AND STRAW MULCH
2	3.1-5.0M	SEED AND STRAW MULCH	SEED USING RATE OF EXCESSIVE SEEDS OF STRAW
3	5.1-8.0M	SEED WITH LIME, OR SOIL	LINED RIP-RAP 4-8"
4	8.1-20M	LINED RIP-RAP 4-8"	ENGINEERING DESIGN

**PERMANENT SEEDING NOTES**

- Seeded Preparation: Loosen upper 3 inches of soil by raking, discing or other acceptable means before seeding.
- Soil Amendments: Use one of the following schedules:
- Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq. ft.) and 1000 lbs. per acre 10-10-10 fertilizer (23 lbs./1000 sq. ft.) before seeding. Harrow or disc into upper three inches of soil.
  - Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq. ft.) and 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq. ft.) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (9 lbs./1000 sq. ft.)
- Seeding - For the periods March 1 thru April 30, and August 1 thru October 15, seed with 50 lbs. per acre (14 lbs./1000 sq. ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (.05 lbs./1000 sq. ft.) of creeping lovegrass. During the period of October 16 thru February 28, protect site by Option (1) - 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) - use seed. Option (3) - seed with 60 lbs./acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.
- Mulching - Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq. ft.) of untreated small grain straw immediately after seeding. Anchor mulch immediately after application using 218 gallons per acre (5 gal./1000 sq. ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal./1000 sq. ft.) for anchoring.
- Maintenance - Inspect all seeded areas and make needed repairs, replacements, and reseedings.
- TEMPORARY SEEDING NOTES
- Seeded Preparation: Loosen upper 3 inches of soil by raking, discing or other acceptable means before seeding.
- Soil Amendments: Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq. ft.)
- Seeding: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 24 lbs. per acre of annual ryegrass (3.2 lbs./1000 sq. ft.). For the period May 1 thru August 14, seed with 30 lbs. per acre of creeping lovegrass (.07 lbs./1000 sq. ft.). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use seed.
- Mulching - Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq. ft.) of untreated small grain straw immediately after seeding. Anchor mulch immediately after application using 218 gallons per acre (5 gal./1000 sq. ft.) of emulsified asphalt on flat areas. On slopes 8 ft. or higher, use 348 gal. per acre (8 gal./1000 sq. ft.) for anchoring.



- Stone Size - Use 2" stone, or reclaimed or recycled concrete equivalent.
- Length - As specified, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply).
- Thickness - Not less than six (6) inches.
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- Maintenance - This entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanup of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
- Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
- Periodic inspection and needed maintenance shall be provided after each rain.



**SEDIMENT CONTROL PLAN**

**1ST PHASE**  
Scale: 1" = 30'

**CERTIFICATION BY THE DEVELOPER**  
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."

WALTER E. WOODFORD 4-23-85  
DATE

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS

James McNeil 8/19/85  
DATE

U.S. SOIL CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED [Signature] 8/19/85  
HOWARD S.C.D. DATE

**CERTIFICATION BY THE ENGINEER**  
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

KENNETH A. MCCORD 4-24-85  
DATE

NO.	DATE	DESCRIPTION OF REVISION
4	4/14/85	RESTAURANT USE, OUTDOOR SEATING, 700 VISITS 11-14
2	7/29/85	As per Planning and D.P.W. Comments
1	6/17/85	As per Planning, D.P.W. and S.C.S. Comments

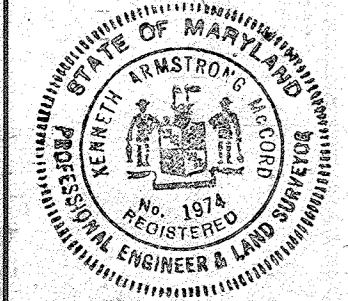
**COLUMBIA SITE PLANS FOR TOWN CENTER SECTION 2 AREA 5 PARCELS A, B & C SEDIMENT CONTROL PLAN AND DETAILS SHEET 9 OF 25**

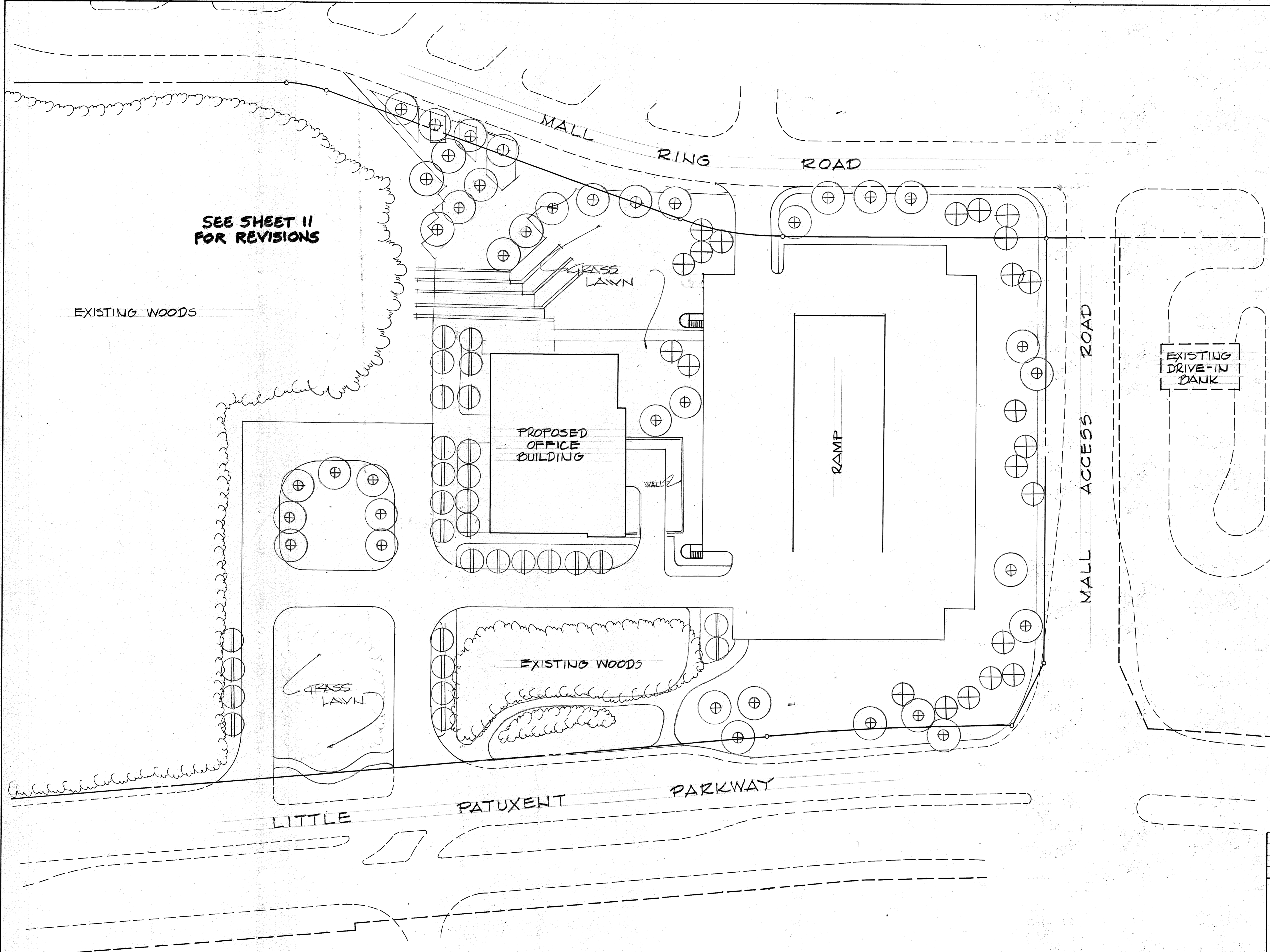
5TH ELECTION DISTRICT, HOWARD COUNTY MARYLAND  
DATE: 4/23/85 SCALE: AS SHOWN

WHITMAN, REQUARDT AND ASSOCIATES ENGINEERS  
2315 ST. PAUL STREET  
BALTIMORE, MARYLAND 21218

Kenneth A. McCord P.E. NO. 1074

OWNER AND DEVELOPER  
COLUMBIA MALL, INC.  
10275 LITTLE PATUXENT PARKWAY  
COLUMBIA, MARYLAND 21045





APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT  
 COUNTY HEALTH OFFICER DATE 8-22-84  
 APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
 PLANNING DIRECTOR DATE 9-3-85  
 APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
 CHIEF DIVISION OF LAND DEVELOPMENT DATE AND ZONING ADMINISTRATION 8-30-85  
 APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS WORKS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIRECTOR DATE 8-23-85  
 CHIEF BUREAU OF ENGINEERING DATE 8-22-85

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE 6-26-85  
 M/AUM

PLANT LIST

- ⊕ 38 - OVERHEAD CANOPY TREES  
2 1/2" - 3" CAL. 12'-14' HT.
- ⊕ 32 - INTERMEDIATE FOCUS TREE  
2" - 2 1/2" CAL. 8'-10' HT.
- ⊕ 22 - EVERGREEN  
6'-8' HT.

NO.	DATE	DESCRIPTION OF REVISION
4	9/6/84	RESTAURANT USE, OUTDOOR SEATING, ADD SHEETS 11-14

COLUMBIA  
 SITE PLANS  
 FOR  
 TOWN CENTER  
 SECTION 2 AREA 5  
 PARCELS A & B

LANDSCAPE PLAN

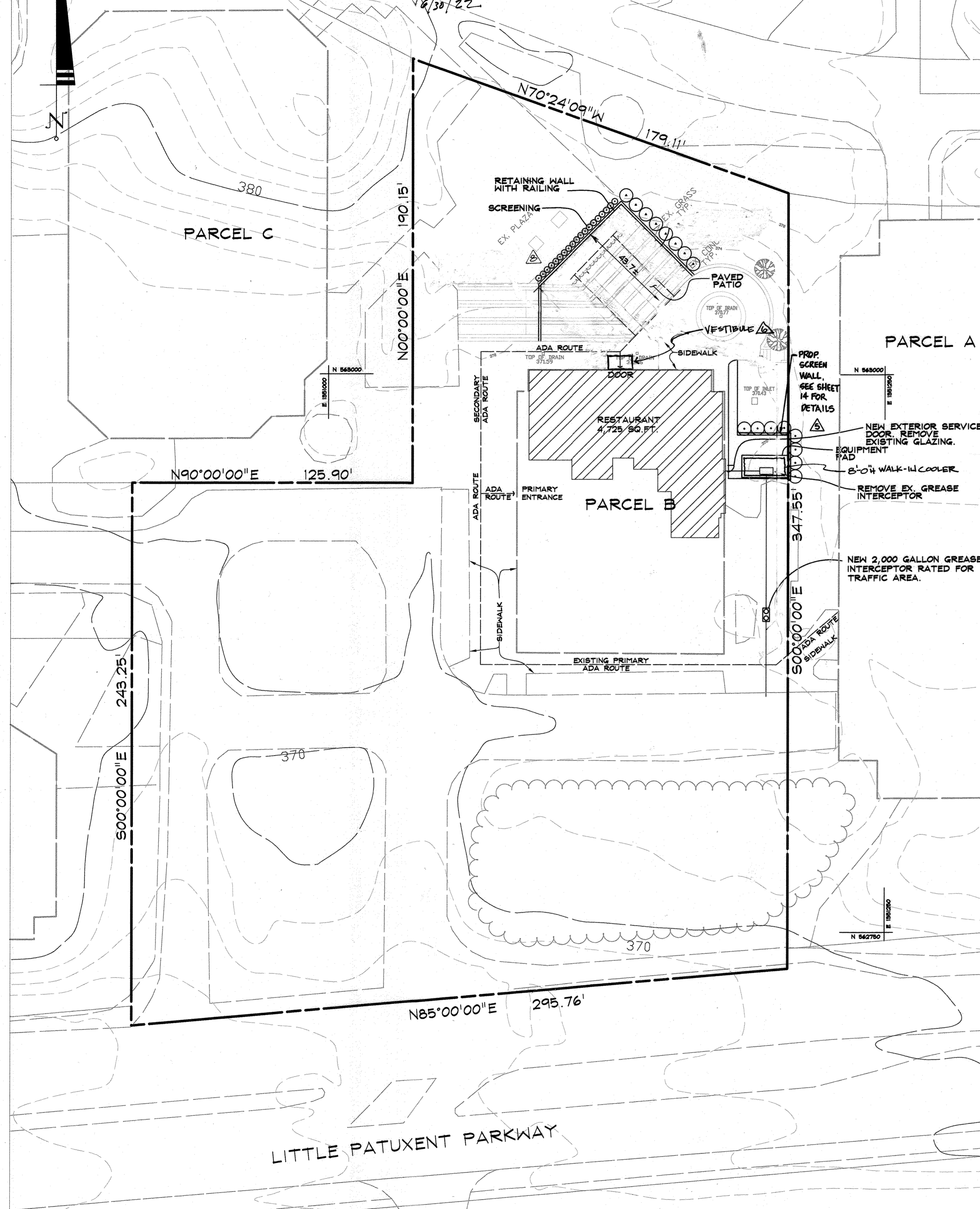
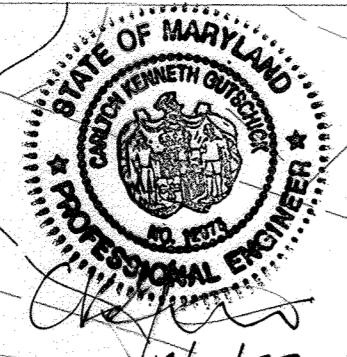
SHEET 10 OF 25  
 5TH ELECTION DISTRICT, HOWARD COUNTY MARYLAND  
 DATE: 4/23/85 SCALE: 1" = 30'

WHITMAN, REQUARDT AND ASSOCIATES  
 ENGINEERS  
 2315 ST. PAUL STREET  
 BALTIMORE, MARYLAND 21216  
 Kenneth A. McCord P.E. NO. 1974

OWNER AND DEVELOPER  
 COLUMBIA MALL, INC.  
 110275 LITTLE PATUXENT PARKWAY  
 COLUMBIA, MARYLAND 21043



For Revision Only  
I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland, license No. 12975, Expiration Date: May 26, 2024



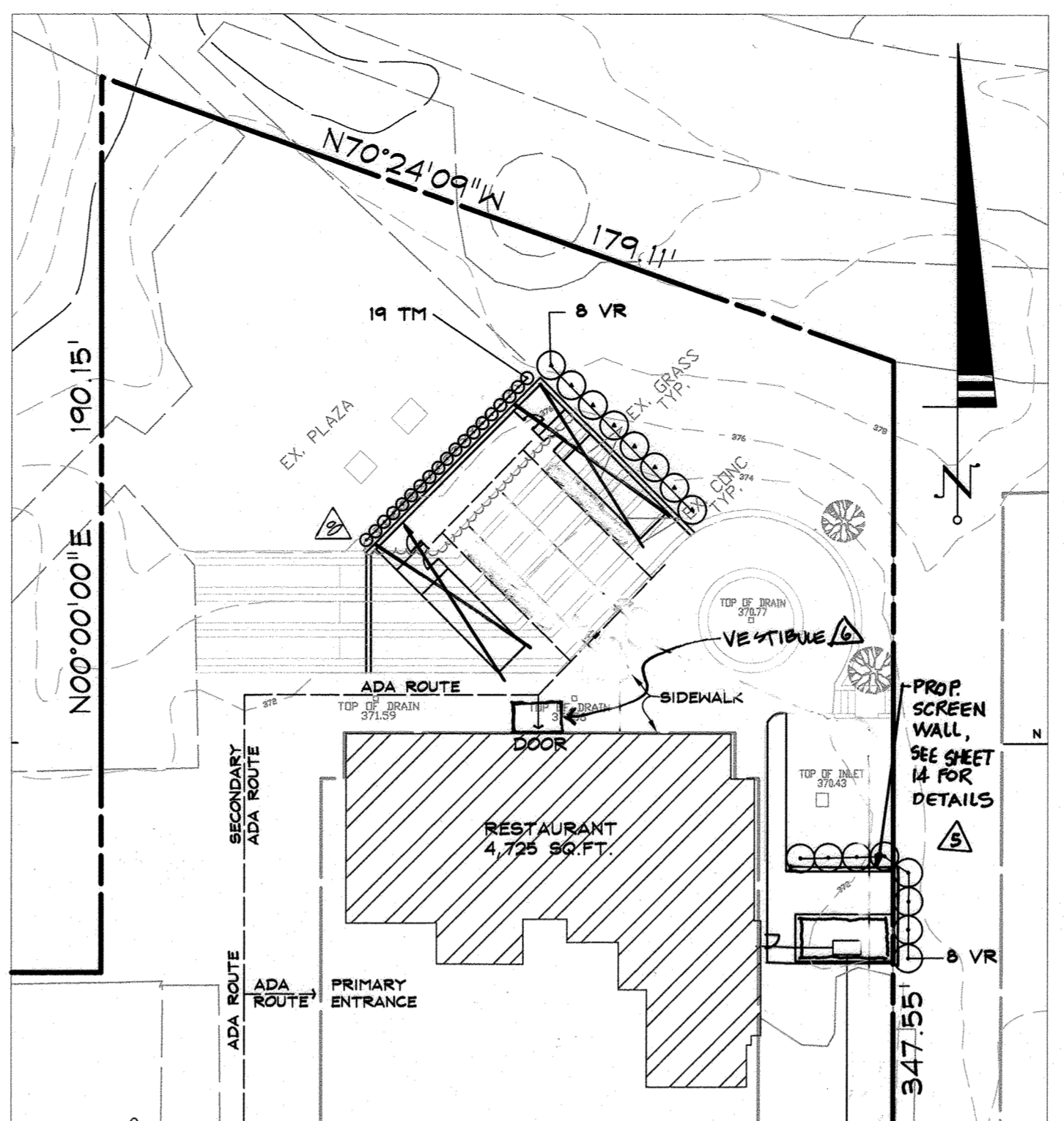
SITE PLAN  
SCALE: 1" = 30'

DAILY STABILIZATION NOTE:  
THIS NOTE SHALL BE USED FOR MINIMAL AREAS WITHIN THE LIMITS OF DISTURBANCE. ACCESS TO EXCAVATION SHALL BE BY RUBBER TIRE EQUIPMENT OR EQUIVALENT AND, WITH THE PRIOR APPROVAL OF THE SEDIMENT CONTROL INSPECTOR AND PROPERTY OWNER, AREA SHALL BE REGULARLY MAINTAINED BY SHEEPING ALL MATERIAL TRACKED ONTO CONCRETE.

CONTRACTOR SHALL ONLY DISTURB THAT AREA WHICH CAN BE COMPLETED AND STABILIZED BY THE END OF EACH WORKING DAY. STABILIZATION SHALL BE AS FOLLOWS:  
1. FOR AREAS TO BE PAVED, THE APPLICATION OF STONE BASE  
2. FOR AREAS TO BE VEGETATIVELY STABILIZED  
a. PERMANENT SEED AND SOIL STABILIZATION MATTING OR SOD FOR ALL STEEP SLOPES, CHANNELS OR SWALES  
b. PERMANENT SEED AND MULCH FOR ALL OTHER AREAS  
ANY AREAS WHICH CAN NOT BE STABILIZED BY THE END OF EACH WORKING DAY MUST HAVE SILT FENCE INSTALLED ON THE DOWNSLOPE SIDE.

- UTILITY NOTE:
- CONTRACTOR SHOULD OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWNSLOPE OF) THE TRENCH. PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.  
Kurt Schrock 10/03/19  
Chief, Development Engineering Division  
Paul G. Cavanaugh 9-27-19  
Director  
10-3-19

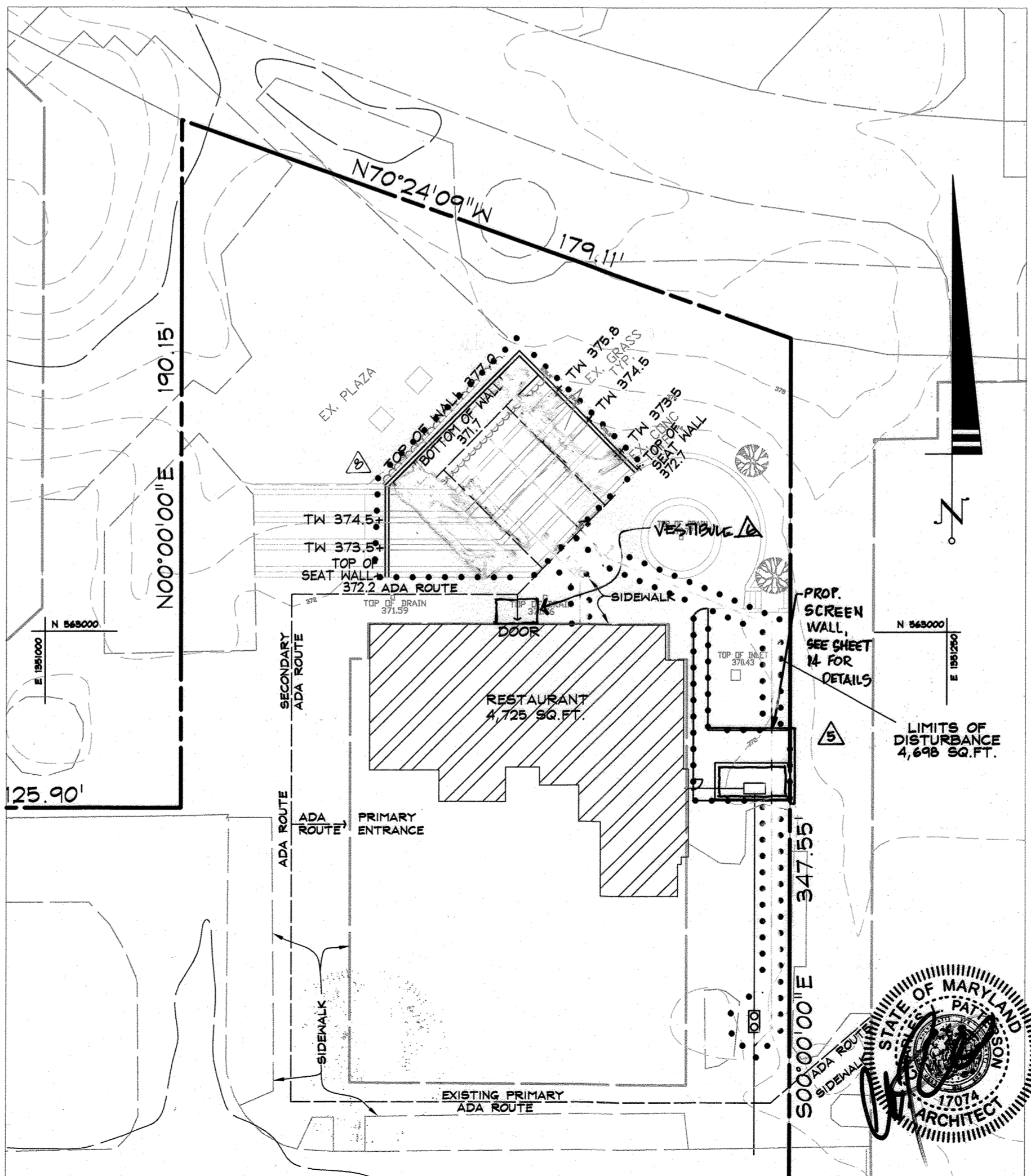


LANDSCAPE PLAN  
SCALE: 1" = 30'

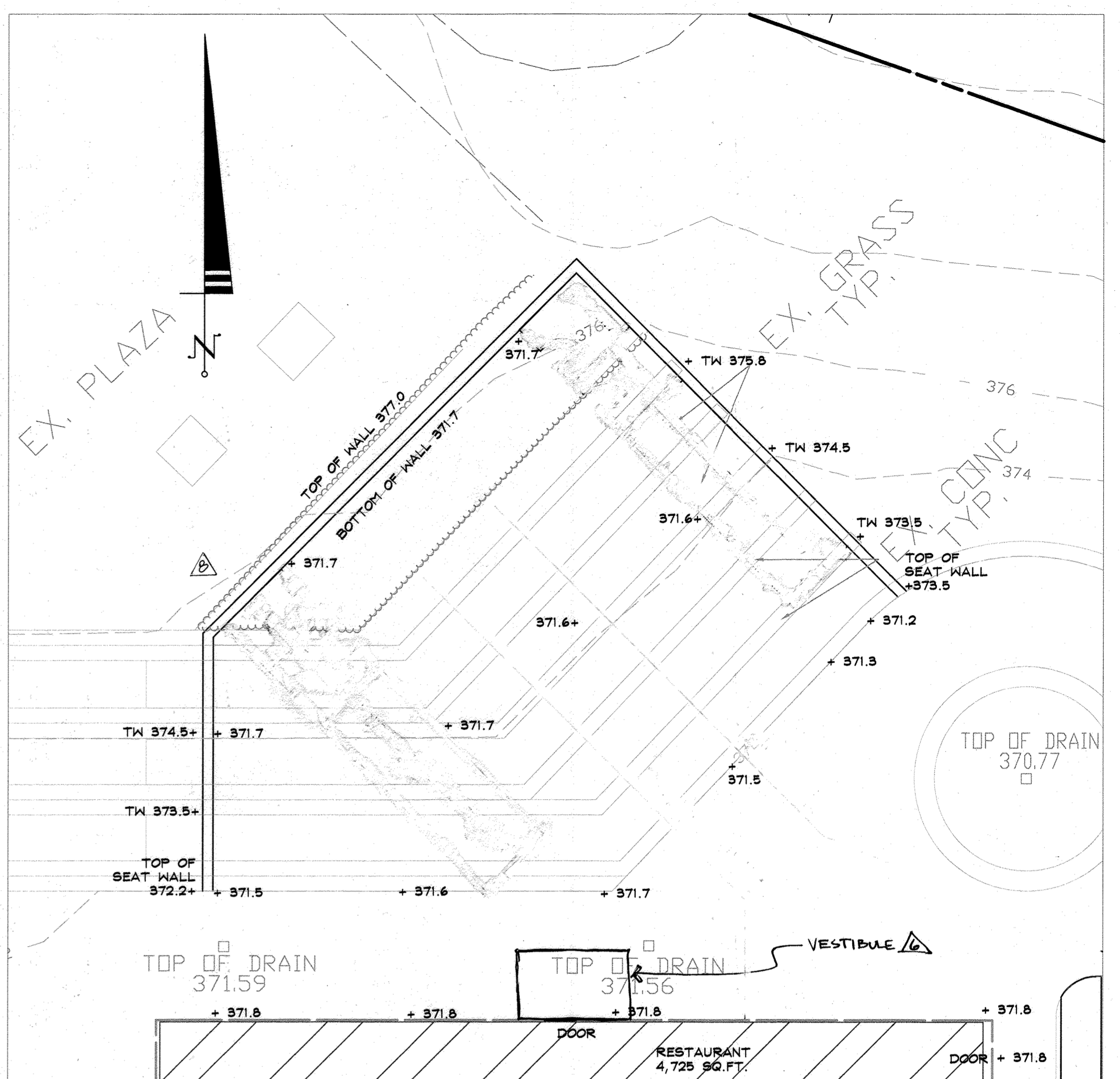
PLANT LIST

BOT./COMMON NAME	SIZE	QUANTITY	REMARKS
TAXUS XMEDIA 'DENSIFORMIS' / DENSIFORMIS YEW	24" HT	19	#5/#7, 3' O.C.
VIBURNUM RHYTIDOPHYLLUM / LEATHERLEAF VIBURNUM	5' HT	16	B & B, 6' O.C.

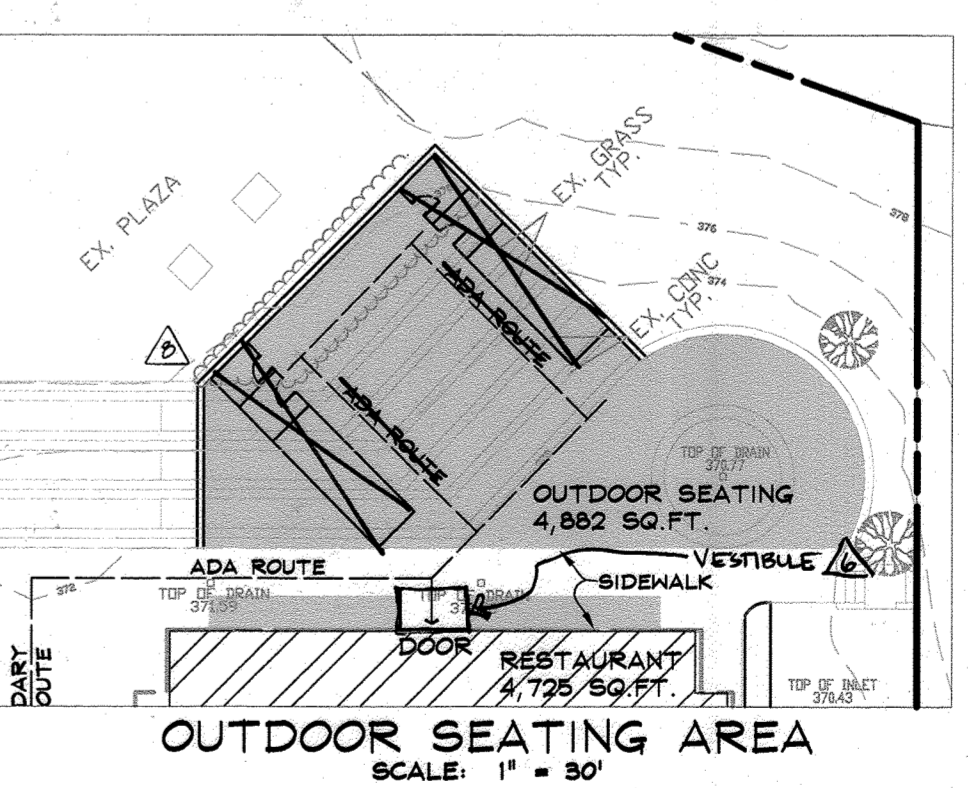
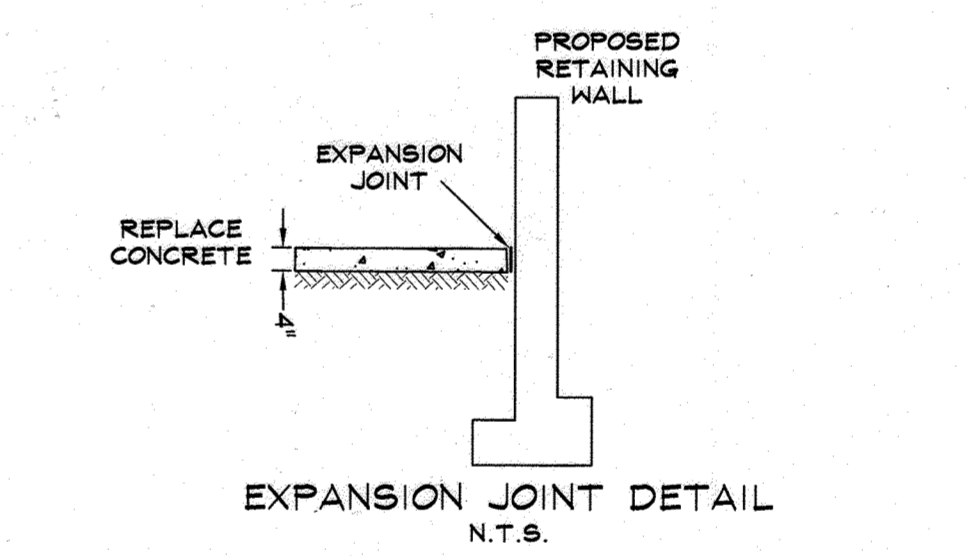
Note: See sheet 12 for revised outdoor stand layout & utility connections



GRADING PLAN  
SCALE: 1" = 30'



DETAILED GRADING  
SCALE: 1" = 10'



OUTDOOR SEATING AREA  
SCALE: 1" = 30'

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND  
LICENSE NO. 27020 EXPIRATION DATE: JANUARY 25, 2020

9/6/19  
DATE  
PAUL G. CAVANAUGH  
PROFESSIONAL ENGINEER NO. 27020



Planners  
Surveyors  
Engineers  
Landscape Architects

192 East Main Street  
Westminster, MD 21157  
410.386.0560  
410.386.0564 (Fax)  
DDC@DDCinc.us  
www.DDCinc.us

**DDC**  
Development Design Consultants

OWNER: 40 CCC LLC  
DEVELOPER: C/O THE HOWARD HUGHES CORP  
SAME  
PO BOX 131298  
CARLSBAD, CA 92013

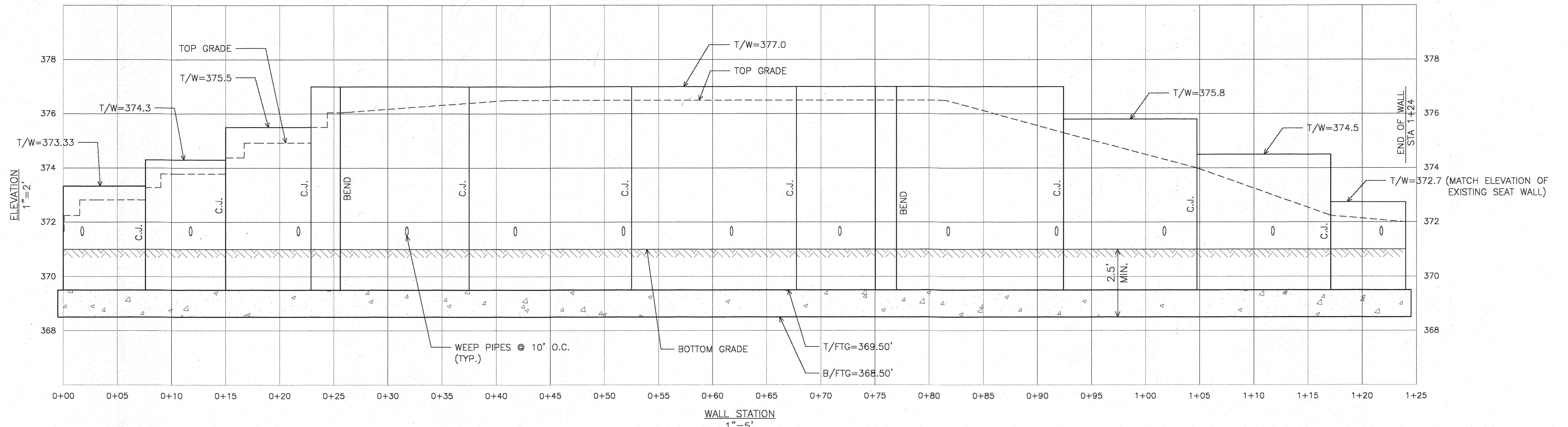
SITE ADDRESS:  
10480 LITTLE PATUXENT PARKWAY  
COLUMBIA, MARYLAND 21044

SITE DEVELOPMENT PLAN  
COLUMBIA TOWN CENTER  
SECTION 2 AREA B  
PARCEL B  
SITE, GRADING & LANDSCAPE PLAN  
8TH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

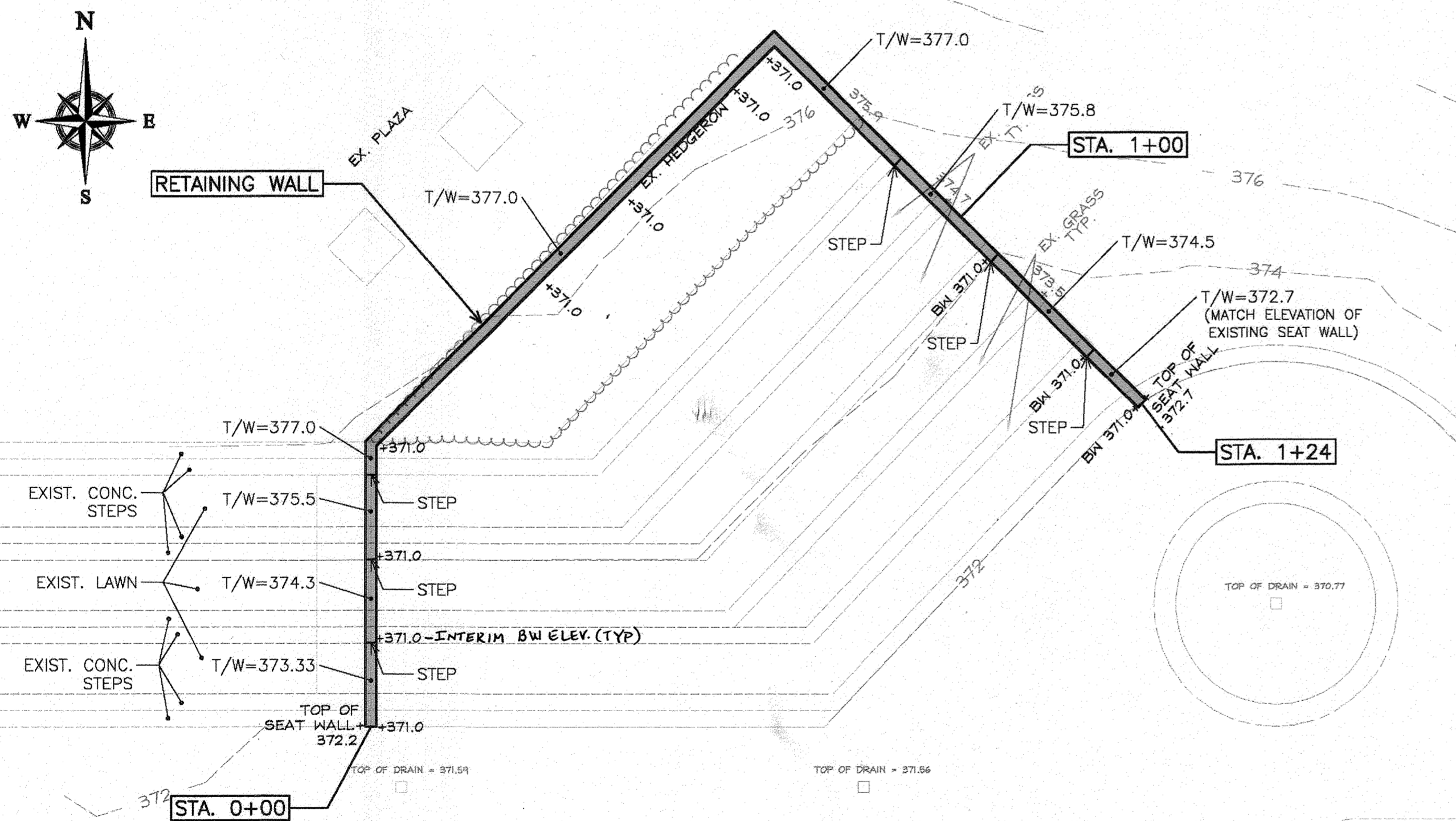
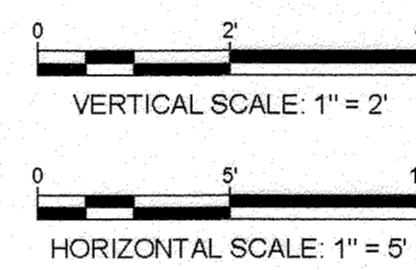
NO.	DESCRIPTION OF CHANGES	DRN.	REV.	DATE
1	Outdoor seating area	JAP	CLP	8/19/19
2	Outdoor layout removed from sheet	JAP	CLP	8/19/19
3	ADD ENTRY VESTIBULE	JAP	CLP	8/19/19
4	ADD SCREEN WALL TO EQUIP. PAD	AJS	PGC	11/19/19
5	ADD SHEET FOR CLARITY	LJC	PGC	7/2/19

CO. FILE #: SDP-85-196 DES. BY: PGC/LJC  
TAX ACC. #: 15-077972 DRN. BY: LJC  
TAX MAP: 36 CHK. BY: PGC  
BLOCK / GRID: 2 DATE: 9/6/19  
PARCEL #: 490 DDC JOB#: 18032.1  
ZONE / USE: COMMERCIAL SHEET NUMBER:  
DWG. SCALE: 1" = 30' 11 of 25

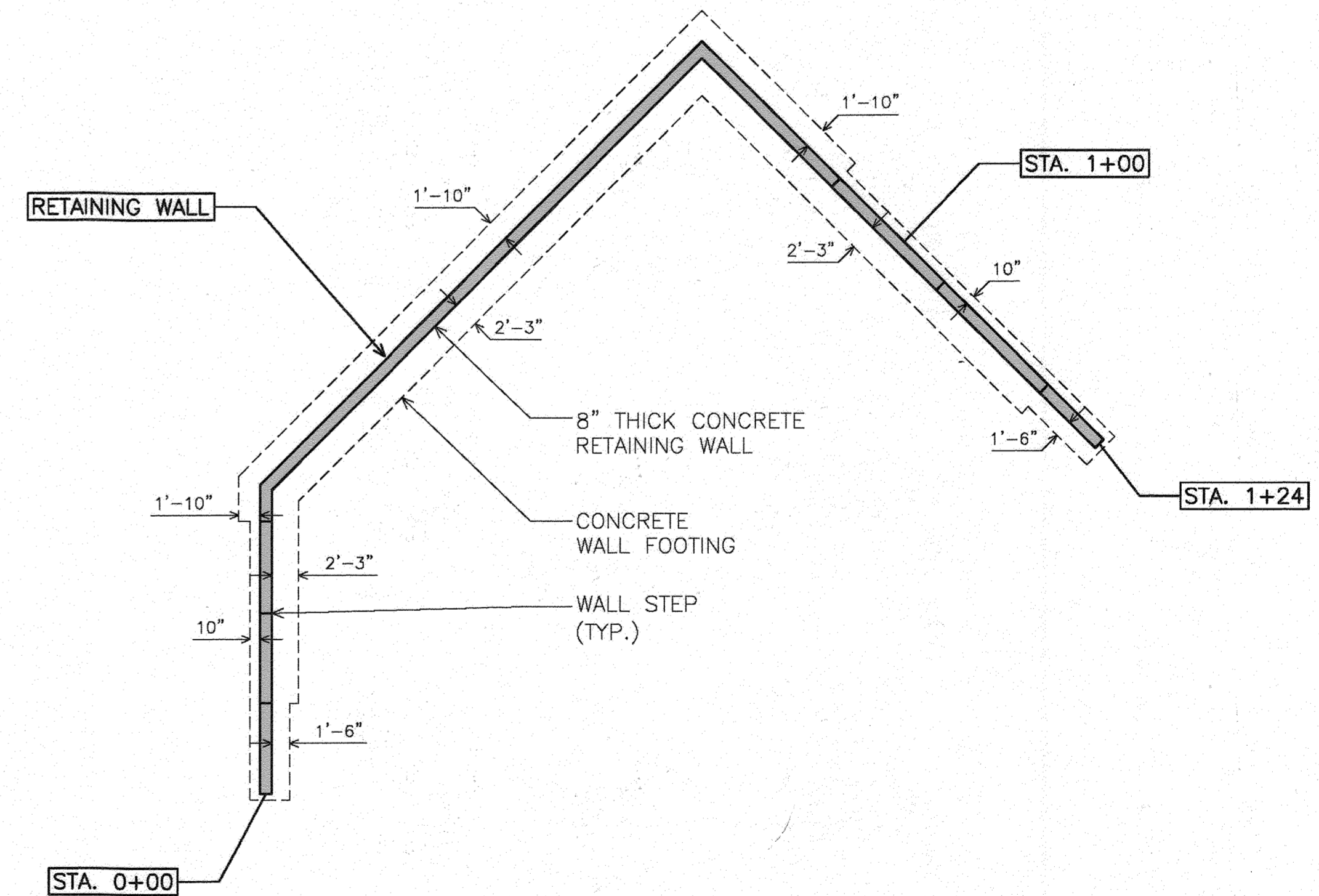
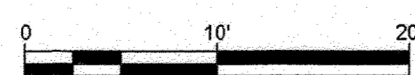




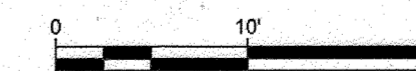
**WALL ELEVATION**



**RETAINING WALL LOCATION PLAN**  
SCALE: 1" = 10'



**RETAINING WALL PLAN VIEW**  
SCALE: 1" = 10'



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

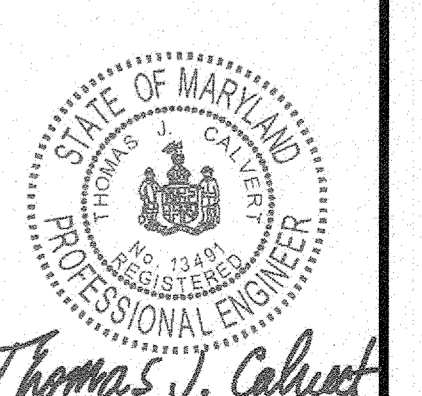
*Karl L. ...* 10-03-19  
 CHIEF DIVISION OF LAND DEVELOPMENT  
*Paul ...* 9-27-19  
 CHIEF DEVELOPMENT ENGINEERING DIVISION  
*William J. ...* 10-3-19  
 DIRECTOR

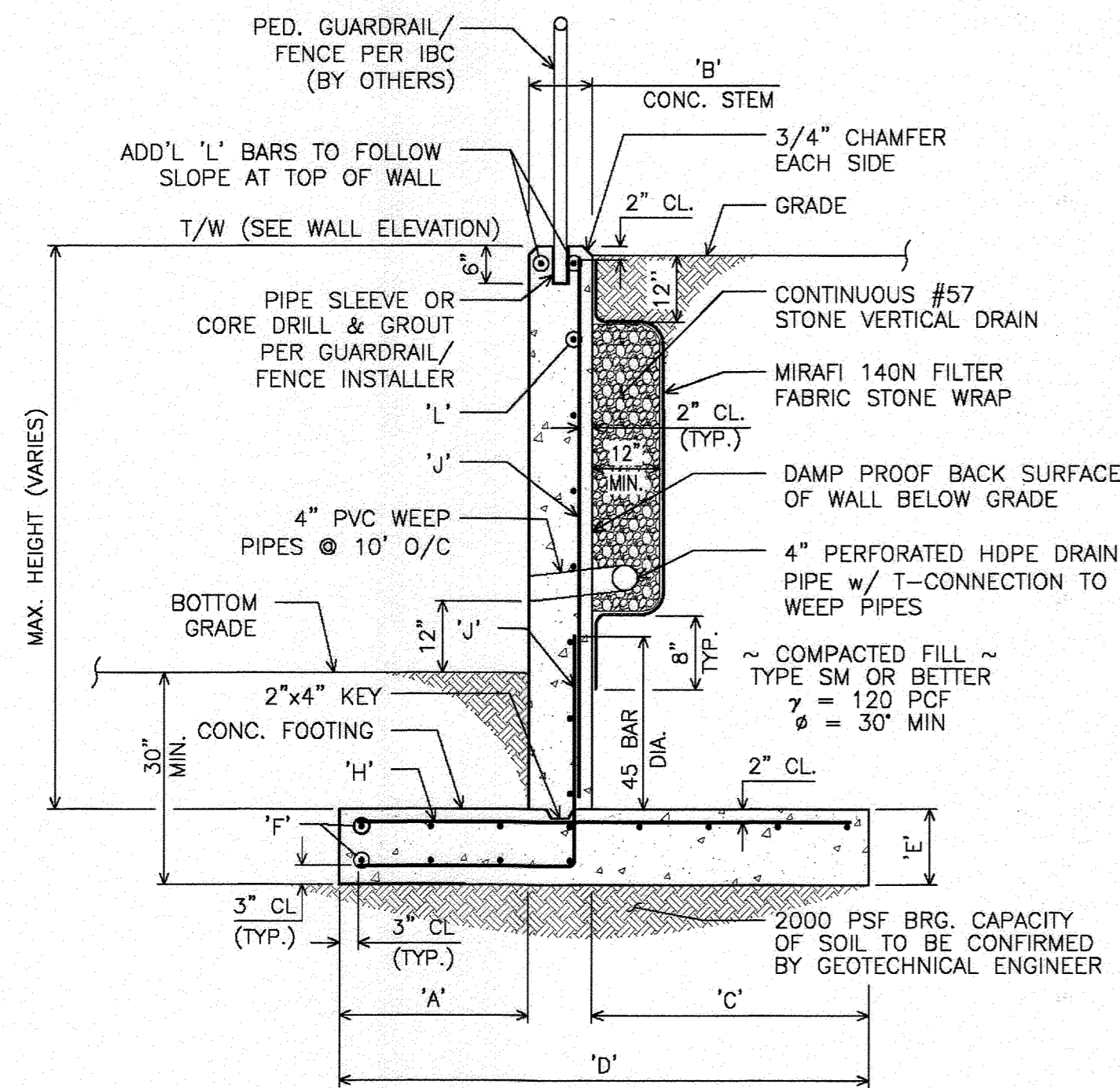
**HILLIS-CARNES**  
**ENGINEERING ASSOCIATES**  
 10975 Guilford Road, Suite A Annapolis Junction, Maryland  
 Phone: (410) 880-4788 www.hcea.com Fax: (410) 880-4098

**CONCRETE RETAINING WALL PLANS AND ELEVATION**  
**10480 LITTLE PATUXENT PARKWAY**  
**COLUMBIA, MARYLAND**

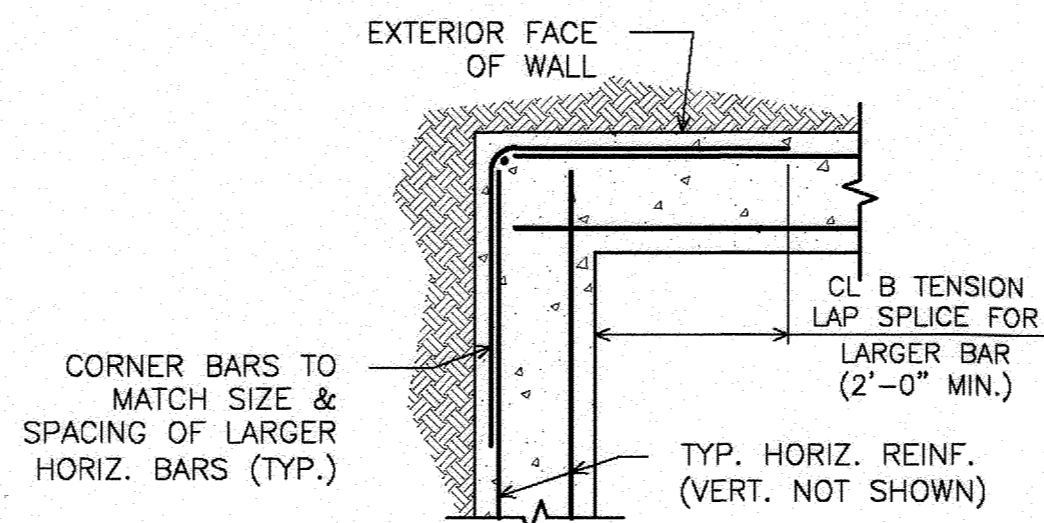
REVISION NO.	DESCRIPTION	DATE	JOB NUMBER:	DESIGNED BY:	SCALE:	DRAWN BY:	APPROVED BY:	SHEET
			19217A	AM	AS SHOWN	AM	TJC	13 of 25
			4/23/19					

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 13491. EXPIRATION DATE: 06/18/19

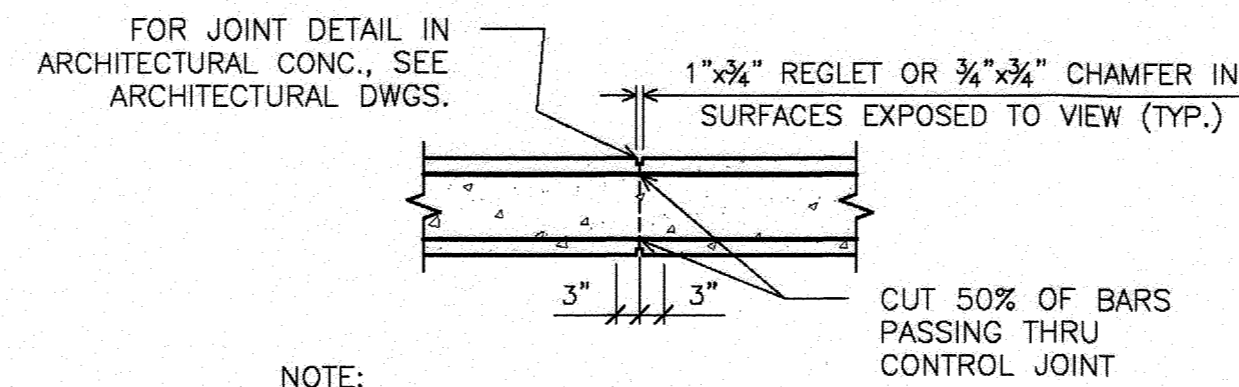




**TYPICAL CONCRETE WALL SECTION**  
NOT TO SCALE



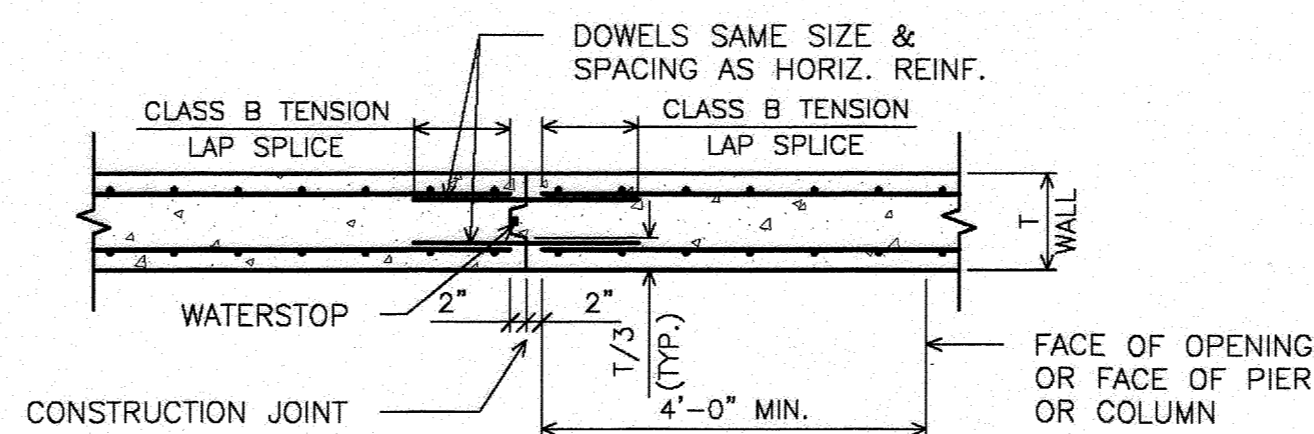
**OUTSIDE CORNER**  
**CONCRETE WALL BAR BENDING DETAIL**  
NOT TO SCALE



NOTE:  
PROVIDE CONTROL JOINTS AT LOCATIONS SHOWN ON WALL ELEVATION.

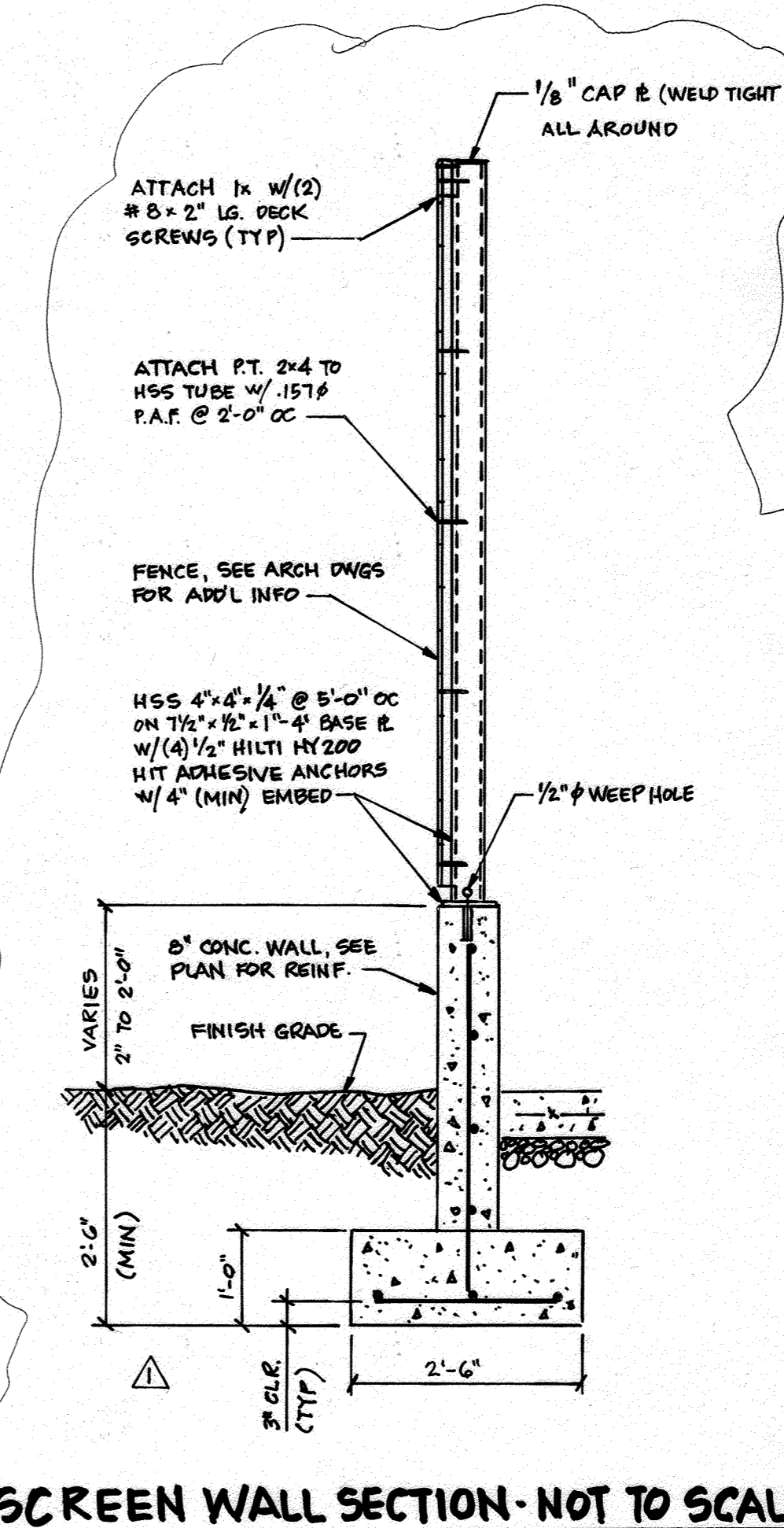
**VERTICAL CONTROL JOINT**  
**IN CONCRETE WALL**  
NOT TO SCALE

CONCRETE WALL SCHEDULE										
WALL TYPE	WALL MAX. HT.	WALL STEM & FOOTING DIMENSION					FOOTING REINF.		STEM REINF.	
		TOE 'A'	STEM 'B'	HEEL 'C'	WIDTH 'D'	THICK 'E'	'F'	'H'	'J'	'L'
A	7'-6"	2'-3"	8"	1'-10"	4'-9"	12"	#4@12"	#4@12"	#5@12"	#4@12"
B	5'-0"	2'-3"	8"	10"	3'-9"	12"	#4@12"	#4@12"	#5@12"	#4@12"
C	4'-0"	1'-6"	8"	10"	3'-0"	12"	#4@12"	#4@12"	#5@12"	#4@12"



NOTE:  
SEE CONTROL JOINT DETAIL IF CONSTRUCTION JOINT OCCURS AT C.J. LOCATION.

**TYPICAL VERTICAL**  
**CONSTRUCTION JOINT IN WALL**  
NOT TO SCALE



**SCREEN WALL SECTION - NOT TO SCALE**

**GENERAL NOTES**

**CONCRETE**

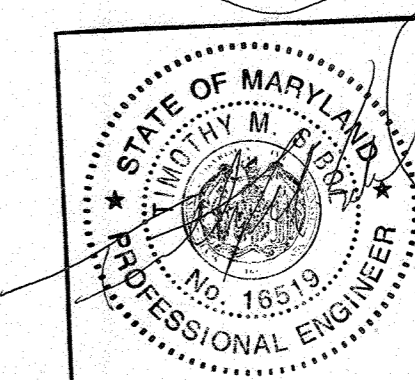
1. CONCRETE WORK SHALL CONFORM TO ACI 301 SPECIFICATIONS FOR STRUCTURAL CONCRETE.
2. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS WITH A MINIMUM CEMENT CONTENT OF 600 POUNDS PER CUBIC YARD.
3. ALL CONCRETE SHALL HAVE A SLUMP OF NO GREATER THAN 4" TO WITHIN A TOLERANCE OF 1".
4. ALL EXPOSED CONCRETE SHALL BE AIR-ENTRAINED, 6% (WITHIN 1% TOLERANCE), CONFORMING TO ASTM C260.
5. ALL EXPOSED CONCRETE CORNERS SHALL BE FORMED WITH 3/4" x 3/4" MILLED CHAMFERED STRIPS.
6. REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60.
7. ALL REINFORCING STEEL LAP SPLICES NOT SHOWN SHALL BE A MINIMUM OF 45 BAR DIAMETERS.

**SOILS**

1. FOOTING DESIGN BASED ON ASSUMED MINIMUM ALLOWABLE SOIL BEARING CAPACITY OF 2000 PSF. BEARING CAPACITY OF SUBGRADE SHALL BE CONFIRMED BY GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION. NOTIFY ENGINEER IF SOIL BEARING CAPACITY IS NOT ADEQUATE AT FOOTING ELEVATIONS INDICATED.
2. SUBGRADE TO BE FREE OF ORGANICS AND BE SUITABLE, COMPACTED MATERIAL.
3. BACKFILL SHALL BE PERFORMED IN 8" LIFTS COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR COMPACTION TEST (ASTM D 698).
4. BACKFILL MATERIAL SHALL BE SM OR MORE GRANULAR IN ACCORDANCE WITH ASTM D2487.

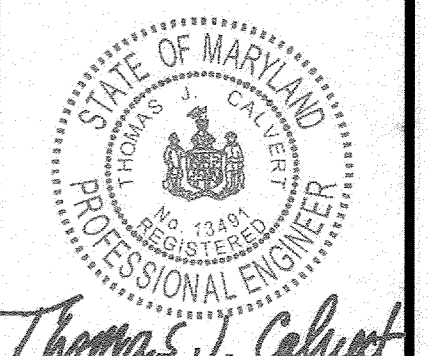
**CONSTRUCTION**

1. RESTORE BRICK PLAZA AT TOP OF WALL TO MATCH THE EXISTING CONDITION.
2. SAWCUT EXISTING CONCRETE STEPS AND RESTORE TO MATCH EXISTING CONDITION. PROVIDE NEW CONCRETE STEPS AS REQUIRED.
3. TOP OF CONCRETE WALL TO HAVE HORIZONTAL RUSTICATION STRIP TO MATCH EXISTING WALL.
4. CONTRACTOR TO VISIT SITE PRIOR TO SUBMITTING BID.
5. SEE CIVIL DETAIL FOR GUARDRAIL.
6. PROVIDE COLOR AND FINISH ON EXPOSED PORTION OF WALLS PER ARCHITECT.



PROFESSIONAL CERTIFICATION:  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16519. EXPIRATION DATE: JUNE 11, 2021

PROFESSIONAL CERTIFICATION:  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 13491. EXPIRATION DATE: 05/16/19



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.  
 [Signature] 10/02/19  
 CHIEF DIVISION OF LAND DEVELOPMENT  
 [Signature] 9-27-19  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 [Signature] 10-3-19  
 DIRECTOR

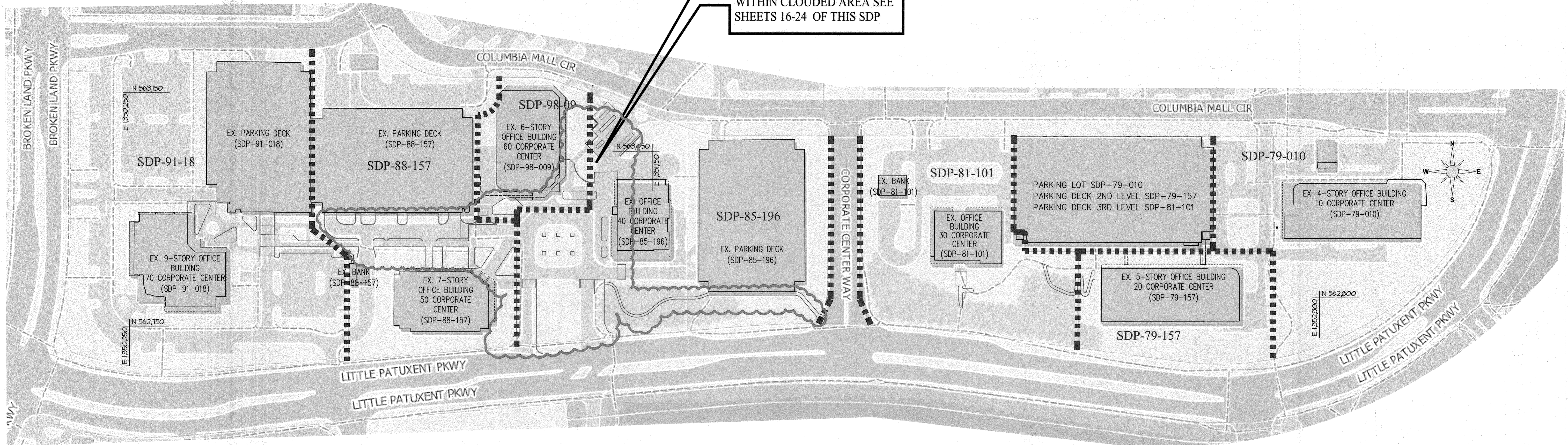
**HILLIS-CARNES**  
ENGINEERING ASSOCIATES  
10975 Gullford Road, Suite A Annapolis Junction, Maryland  
Phone: (410) 880-4788 www.hcea.com Fax: (410) 880-4098

**CONCRETE RETAINING WALL DETAILS**  
**10480 LITTLE PATUXENT PARKWAY**  
COLUMBIA, MARYLAND

REVISION NO.	DESCRIPTION	DATE	JOB NUMBER:	DESIGNED BY:
1	ADD DETAIL FOR SCREEN WALL	4/23/19	19217A	AM
			SCALE: AS SHOWN	DRAWN BY: AM
			DATE: 4/23/19	APPROVED BY: TJC

14 of 25 SHEET

FOR IMPROVEMENTS SHOWN WITHIN CLOUDED AREA SEE SHEETS 16-24 OF THIS SDP



**SITE ANALYSIS FOR THE 2022 IMPROVEMENT REDLINES**  
 THIS SITE ANALYSIS IS FOR THE 2022 IMPROVEMENTS SHOWN ON THE RED LINE REVISIONS TO SDP-85-196, SDP-88-157, SDP-91-018 AND SDP-98-009

- PROJECT BACKGROUND:**  
 ZONING: NEW TOWN (PER THE OCTOBER 6, 2013 COMPREHENSIVE ZONING PLAN)  
 ELECTION DISTRICT: FIFTH  
 PROPOSED SITE USE: MIXED USE
- APPLICABLE DPZ FILE REFERENCE:**  
 SDP-79-157, SDP-79-010, SDP-81-101, SDP-85-196, SDP-88-157, SDP-90-213, SDP-91-018, SDP-98-009, S-85-04, FDP-011, FDP-02A, FDP-01A-1, P.N. 7896, P.N. 8377, P.N. 6321, P.N. 9512, P.N. 4965 & P.N. 4542
- THIS SITE WHICH IS COMPRISED OF PARCELS A, B (PLAT 6321 & 9512), C1, C4 AND E, PARCELS A-2 & A-4 AND A-6 & A-7 IS SUBJECT TO A DEVELOPMENT RIGHTS AND RESPONSIBILITIES AGREEMENT (DRRA) RECORDED AT L. 17457 F. 265. SAID DRRA PREDATES CB66-2021 (EFFECTIVE DATE OF 01/03/2022). THEREFORE, THIS SITE IS EXEMPT FROM FOREST CONSERVATION REQUIREMENTS OF SECTION 16.02(2)(A) (IV), AS CODIFIED PER CB4-1996, WHICH WAS IN PLACE AT THE TIME SAID DRRA WAS RECORDED ON FEBRUARY, 2017.**
- THIS AREA IS WITHIN THE DOWNTOWN REVITALIZATION BOUNDARY. ALL FURNISHINGS SHOULD REFLECT THE DESIGN PRINCIPLES AND STYLES OUTLINE IN THE DOWNTOWN-WIDE DESIGN GUIDELINES.**
- THERE ARE NO ENVIRONMENTAL FEATURES ON THE SITE.**
- THE SITE IS A RE-DEVELOPMENT OF AN EXISTING OFFICE PARK. ALL STEEP SLOPES IN THE VICINITY OF THE LIMIT OF DISTURBANCE (LOD) ARE MAN MADE.**
- PARKING GAIN/LOSS ANALYSIS:**

SDP #s	NUMBER OF EXCESS SPACES (Prior to Redline)	SPACES LOST (with Redline)	SPACES GAINED (with redline)	NET NUMBER
SDP-85-196	4	0	8	12
SDP-88-157	148	16	10	142
SDP-91-018	288	12	4	280
SDP-98-009	NO PARKING CHANGES WITH 2022 IMPROVEMENTS			

AS A RESULT OF THE 2022 IMPROVEMENTS WE WILL STILL HAVE EXCESS PARKING FOR EACH OF THE SITE DEVELOPMENT PLANS

**SEE SHEET 21 FOR LANDSCAPE SURVEY INFORMATION.**

**STORMWATER MANAGEMENT FOR THE 2022 IMPROVEMENT REDLINES**  
 STORMWATER MANAGEMENT HAS BEEN PROVIDED FOR THE 2022 IMPROVEMENTS SHOWN ON THE RED LINE REVISIONS TO SDP-85-196, SDP-88-157, SDP-91-018 AND SDP-98-009

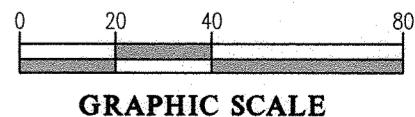
THE REQUIRED VOLUMES AND THE MANNER IN WHICH THOSE VOLUMES HAVE BEEN PROVIDED ARE:

- SITE AREA:** 14.4 ACRES
- LIMIT OF DISTURBANCE:** 2.6 ACRES
- STORMWATER MANAGEMENT STUDY AREA:** 2.1 ACRES  
 THE STUDY AREA IS LESS THAN THE LIMIT OF DISTURBANCE DUE TO A DECISION MADE BY THE DEVELOPMENT ENGINEERING DIVISION THAT SOME OF THE IMPROVEMENTS SHOWN WOULD BE CONSIDERED "REMOVE AND REPLACE" AND WOULD NOT BE INCLUDED WHEN DETERMINING THE STORMWATER MANAGEMENT OBLIGATION FOR THE PROPOSED IMPROVEMENTS
- EXISTING IMPERVIOUS AREA:** 56,808 S.F.
- PROPOSED IMPERVIOUS AREA:** 61,775 S.F.
- INCREASED IMPERVIOUS AREA:** 4,967 S.F.
- TOTAL VOLUME REQUIRED:** 3,035 C.F.
- TOTAL VOLUME PROVIDED:**  
 STONE RESERVOIR UNDER PERMEABLE PAVERS: 1,169 C.F.  
 STORMCEPTORS: 1,904 C.F.  
 TOTAL: 3,073 C.F.

**LEGEND**

■■■■■■■■ SDP DELINEATION LINE

==== 2022 IMPROVEMENTS



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director *W. G. G. G.* 9-6-22  
 Date

Chief, Division of Land Development *S.M.* 9/6/22  
 Date

Chief, Development Engineering Division *H.P.* 9-24-22  
 Date

**GLW**  
 PLANNING | ENGINEERING | SURVEYING

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM  
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-1186

DESIGNED BY:	DATE:	REVISION:	BY:	APP'R:
KLP	4/2022	ADDITIONAL SHEET ADDED TO SHOW OVERVIEW OF 2022 IMPROVEMENTS		
CKG	4/2022			

PREPARED FOR:  
 THE HOWARD HUGHES CORPORATION  
 10900 Grantchester Way, Suite 110  
 COLUMBIA, MD 21044  
 ATTN: WILLIAM ROWE

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975

EXPIRATION DATE: MAY 28, 2024

*5/16/22*

NO AS-BUILT INFORMATION - 08-28-2023

**(REVISED) OVERVIEW OF 2022 IMPROVEMENTS**

**COLUMBIA TOWN CENTER**  
 SECTION 2 AREA 5  
 Parcels A & B (Plat No. 6321), Parcels C-1 & C-4 (Plat No. 8577) and Parcel E (Plat No. 14022)

ELECTION DISTRICT No. 5

SCALE	ZONING	GLW FILE No.
1"=80'	NT	2119
DATE	TAX MAP - GRID	SHEET
FEB. 2022	36-1&2	15 OF 25

### LEGEND

- 500 --- EXISTING CONTOUR
- 600 --- PROPOSED CONTOUR
- + 363.33 PROPOSED SPOT ELEVATION
- + (363.33) EXISTING SPOT ELEVATION
- EX 15" SD EXISTING STORM DRAIN
- PROPOSED STORM DRAIN  
M - MANHOLE  
I - INLET  
CLEANOUT
- EX 8" S EXISTING SANITARY SEWER
- EX 8" W WATERLINE (PUBLIC)
- WATERLINE (PRIVATE)
- EXISTING FIRE HYDRANT
- EXISTING EASEMENT AREA (SHADED)
- EXISTING BOE TRANSFORMER
- EXISTING ADA ACCESSIBLE DOOR
- EXISTING BUILDING OVERHANG
- EXISTING BUILDING COLUMN
- NEW LIGHT
- EXISTING CURB & GUTTER TO BE REMOVED
- EXISTING CURB & GUTTER TO REMAIN
- PROPOSED BARRIER CURB
- HANDICAPPED PARKING DESIGNATION  
CONCRETE CURB & GUTTER, UNLESS OTHERWISE NOTED CURB WILL BE 6" HIGH  
GUTTER PAN  
PT/PC  
FACE OF CURB  
BACK OF CURB
- CURB TAPER
- HANDICAP SIGNS PER DETAILS THIS SHEET
- EXISTING PARKING SPACE STRIPING
- NUMBER OF NEW PARKING SPACES
- NEW PARKING SPACE STRIPING
- NEW VEHICULAR CONCRETE PAVING, SEE SHEET 23 & 24 FOR DETAILS
- NEW VEHICULAR PAVERS, SEE SHEET 23 & 24 FOR DETAILS
- NEW PEDESTRIAN CONCRETE PAVING, SEE SHEET 23 & 24 FOR DETAILS
- NEW PEDESTRIAN PAVERS, SEE SHEET 23 & 24 FOR DETAILS
- NEW PERMEABLE PAVEMENT, SEE SHEET 20, 23&24 FOR DETAILS
- LOD LIMIT OF DISTURBANCE FOR 2022 IMPROVEMENTS (Grading & includes milling & overlay paving of existing pavement)
- SC PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- SF SUPER SILT FENCE
- SF SILT FENCE ON PAVEMENT
- CIP CURB INLET PROTECTION
- SIP-A STANDARD INLET PROTECTION, TYPE-A
- AGIP AT GRADE INLET PROTECTION
- FL-18 FILTER LOG (18" DIA.)

#### OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMCEPTOR WATER QUALITY DEVICE

- THE STORMCEPTOR WATER QUALITY STRUCTURE SHALL BE PERIODICALLY INSPECTED AND CLEANED TO MAINTAIN OPERATION AND FUNCTION. THE OWNER SHALL INSPECT THE STORMCEPTOR UNIT YEARLY AT A MINIMUM, UTILIZING THE STORMCEPTOR INSPECTION/MONITORING FORM. INSPECTIONS SHALL BE DONE BY USING A CLEAR PLEXIGLAS TUBE ("SLUDGE JUDGE") TO EXTRACT A WATER COLUMN SAMPLE. WHEN THE SEDIMENT DEPTHS EXCEED THE LEVEL SPECIFIED IN TABLE 6 OF THE STORMCEPTOR TECHNICAL MANUAL, THE UNIT MUST BE CLEANED.
- THE STORMCEPTOR WATER QUALITY STRUCTURE SHALL BE CHECKED AND CLEANED IMMEDIATELY AFTER PETROLEUM SPILLS. THE OWNER SHALL CONTACT THE APPROPRIATE REGULATORY AGENCIES.
- THE MAINTENANCE OF THE STORMCEPTOR UNIT SHALL BE DONE USING A VACUUM TRUCK WHICH WILL REMOVE THE WATER, SEDIMENT, DEBRIS, FLOATING HYDROCARBONS AND OTHER MATERIALS IN THE UNIT. PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIALS AND LIQUID MUST BE FOLLOWED BY THE OWNER.
- THE INLET AND OUTLET PIPES SHALL BE CHECKED FOR ANY OBSTRUCTIONS AT LEAST ONCE EVERY SIX MONTHS. IF OBSTRUCTIONS ARE FOUND THE OWNER SHALL HAVE THEM REMOVED. STRUCTURAL PARTS OF THE STORMCEPTOR UNIT SHALL BE REPAIRED AS NEEDED.
- THE OWNER SHALL RETAIN AND MAKE THE STORMCEPTOR INSPECTION/MONITORING FORMS AVAILABLE TO THE HOWARD COUNTY OFFICIALS UPON THEIR REQUEST.

#### OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED PERMEABLE PAVEMENT (A-2)

- THE OWNER SHALL PERIODICALLY SWEEP (OR VACUUM POROUS CONCRETE PAVEMENT) THE PAVEMENT SURFACES TO REDUCE SEDIMENT ACCUMULATION AND ENSURE CONTINUED SURFACE POROSITY. SWEEPING SHOULD BE PERFORMED AT LEAST TWICE ANNUALLY WITH A COMMERCIAL CLEANING UNIT. WASHING OR COMPRESSED AIR UNITS SHOULD NOT BE USED TO PERFORM SURFACE CLEANING.
- THE OWNER SHALL PERIODICALLY CLEAN DRAINAGE PIPES, INLETS, STONE EDGE DRAINS AND OTHER STRUCTURES WITHIN OR DRAINING TO THE SUBBASE.
- THE OWNER SHALL USE DEICERS IN MODERATION. DEICERS SHOULD BE NON-TOXIC AND BE APPLIED EITHER AS CALCIUM MAGNESIUM ACETATE OR AS PRETREALED SALT.
- THE OWNER SHALL ENSURE SNOW PLOWING IS PERFORMED CAREFULLY WITH BLADES SET ONE-INCH ABOVE THE SURFACE. PLOWED SNOW PILES AND SNOWMELT SHOULD NOT BE DIRECTED TO PERMEABLE PAVEMENT.

#### STORM DRAIN PIPE SIZE & L.F. CHART

FROM NO.	TO NO.	DIA. (IN.) & TYPE OF PIPE	L (ft)
MH-101	TD-102	6" HDPE	25
TD-102	SC-101	8" HDPE	9
I-102	I-101	6" HDPE	25
I-101	EX. MH 1	8" HDPE	10
TD-101	FC-101	6" HDPE	3
I-103	FC-102	6" HDPE	7
I-104	FC-103	6" HDPE	24
TD-103	FC-107	6" HDPE	32
I-106	MH-102	15" HDPE	23
TD-104	6" x 6" WYE	6" HDPE	8
I-107	MH-102	6" HDPE	99
MH-102	I-105	15" HDPE	58
I-105	SC-102	15" HDPE	13
SC-102	EX. MH 4c	15" HDPE	24

#### K<sub>c</sub> FACTOR COMPUTATIONS

STRUCTURE	AREA (AC.)	K <sub>c</sub>	IMPERVIOUS	PREVIOUS SDP FILE NO.
I-101	0.17	0.71	75%	---
I-103	0.06	0.62	60%	---
I-104	0.04	0.40	25%	---
I-105	0.06	0.46	35%	---
I-106	0.20	0.61	90%	---
I-107	0.02	0.40	25%	---
TD-101	0.26	0.81	90%	---
TD-102	0.57	0.81	90%	---
TD-103	0.23	0.71	75%	---
TD-104	0.09	0.62	60%	---
EX. I-3	0.05	0.66	67%	SDP 88-157
EX. I-3	0.35	0.66	67%	SDP 88-157
EX. I-5	0.22	0.65	65%	SDP 85-196
EX. I-8	0.27	0.81	95%	SDP 85-196

NOTE: 'D' TYPE SOILS ASSUMED FOR ALL DRAINAGE AREAS DUE TO MASS GRADING.

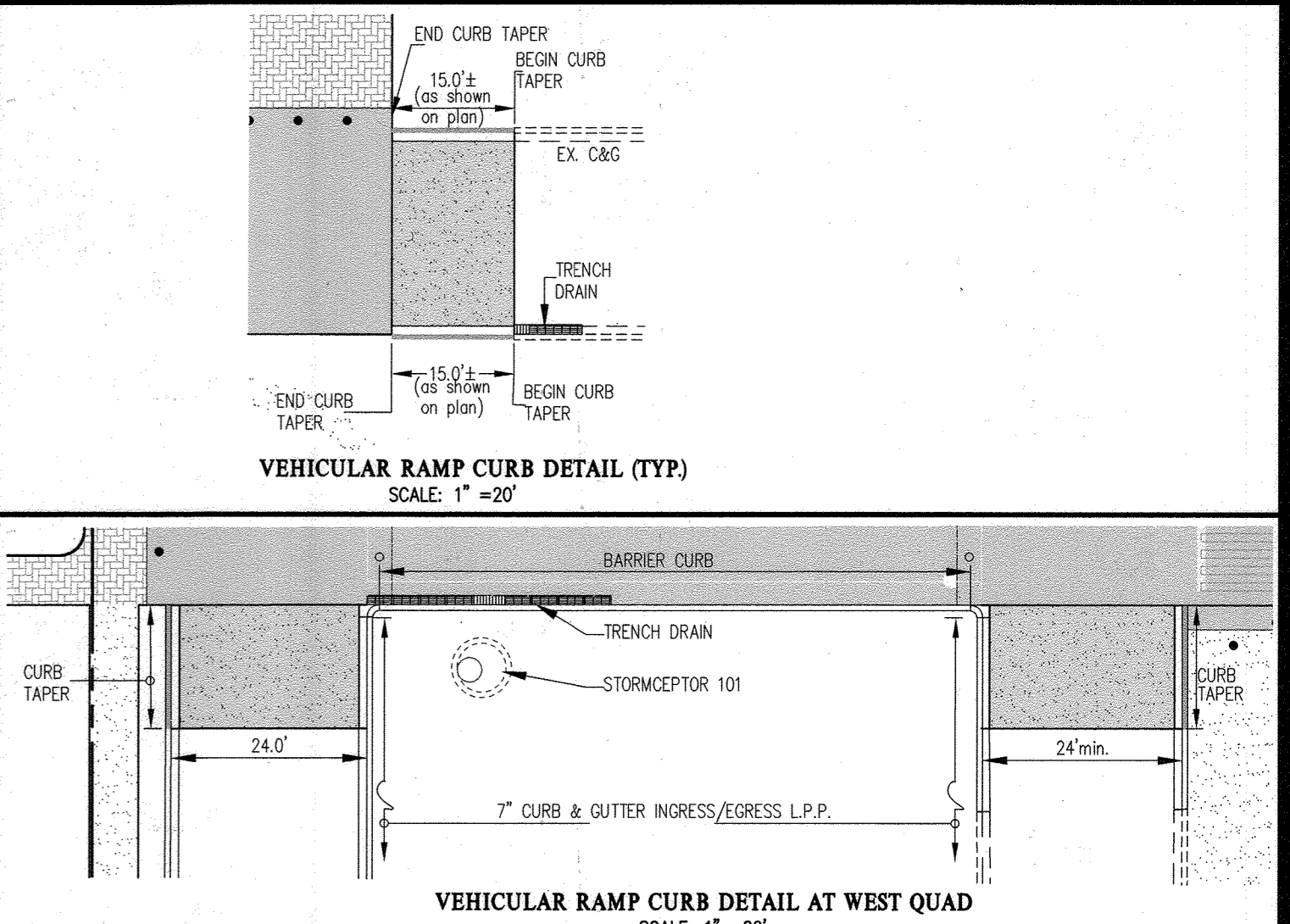
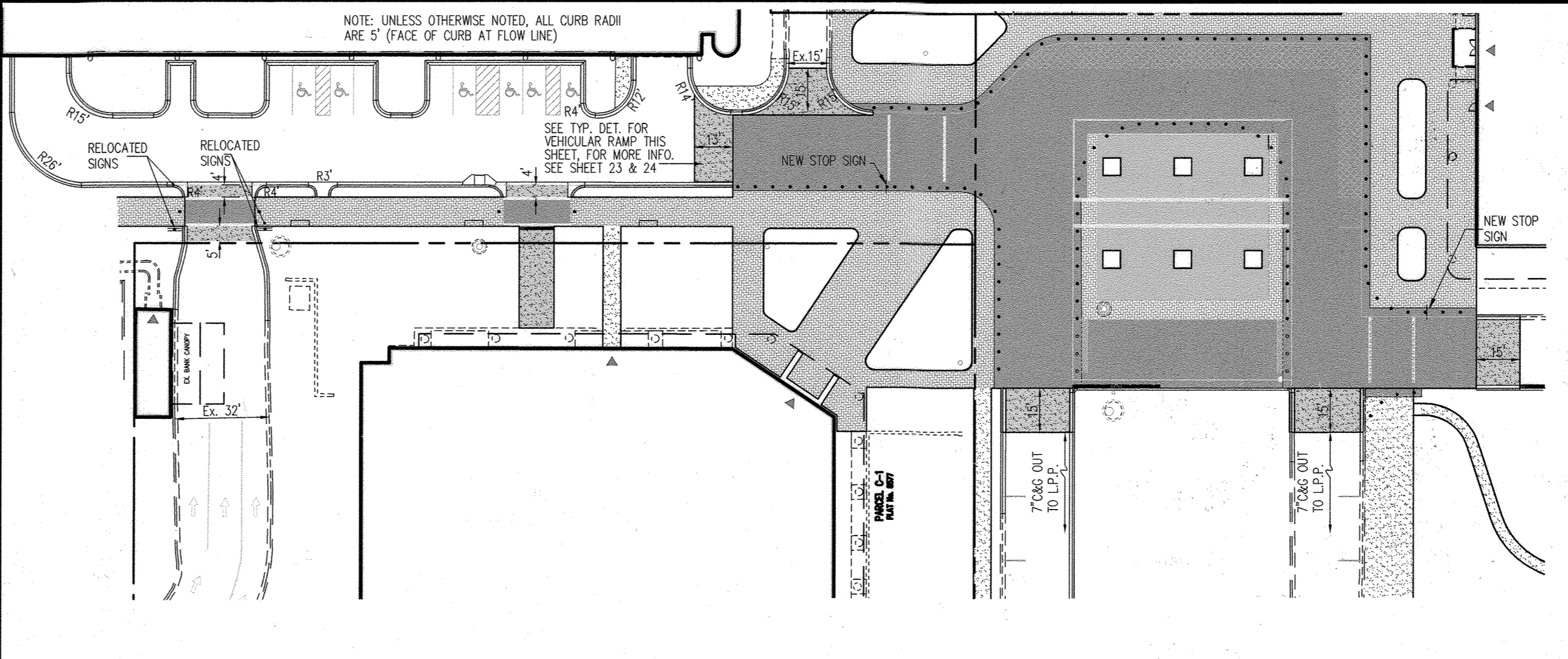
#### SOILS LEGEND

SOIL	NAME	CLASS	K <sub>c</sub> FACTOR
UuB	Urban Land-Urthentics complex, 0 to 8 percent slopes	D	0.28

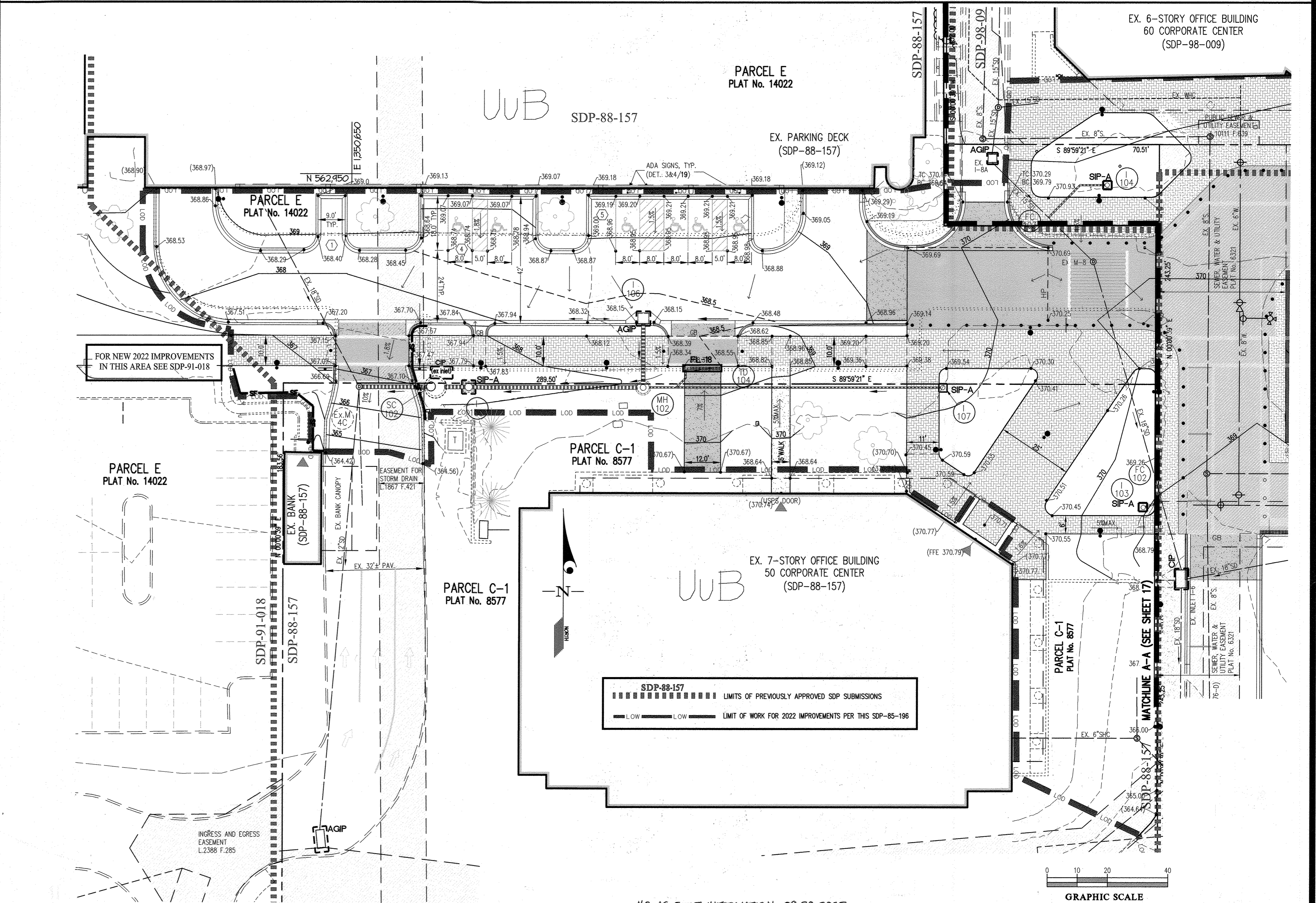
#### LIGHTING SCHEDULE

SYMBOL	MANUFACTURER / CAT. NUMBER	NUMBER OF LEDS	LUMENS/WATT	MOUNTING
●	VSR-S-15-16L-35-40K-SINGLE	16	10	14" POLE

NOTES:  
 1. UNLESS NOTED OTHERWISE, PROPOSED SPOT ELEVATIONS ALONG THE CONCRETE CURB & GUTTER ARE TO THE FLOW LINE (BOTTOM OF CURB) AT THE PC'S/PT'S, CORNERS AND TERMINUSES.  
 2. ALL ON-SITE PAVING IS PRIVATE.  
 3. UNLESS NOTED OTHERWISE, ALL PLAN DIMENSIONS ARE TO THE FACE OF STRUCTURE (CURB, ETC.). DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL BETWEEN ITEMS, UNLESS NOTED OTHERWISE.



#### CURB DELINEATION PLAN SCALE: 1" = 40'



#### ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*CKL* 5/12/22  
DATE

#### DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD.

*W. D. ...* 5-17-2022  
SIGNATURE OF DEVELOPER/BUILDER DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Alonzo Britcher* 08/17/22  
HOWARD S.C.D. DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Angie ...* 9-6-22  
Director Date

*...* 9/6/22  
Chief, Division of Land Development Date

*...* 8-24-22  
Chief, Development Engineering Division Date

**GLW**  
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PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	DATE:	REVISION:	BY:	APP'R:

PREPARED FOR:  
 THE HOWARD HUGHES CORPORATION  
 10902 BRANCHESTER WAY, SUITE 110  
 COLUMBIA, MD 21044  
 ATTN: WILLIAM ROWE

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12972, EXPIRATION DATE: MAY 26, 2024.

5/12/22 *CKL*

(REVISED) GRADING, SEDIMENT CONTROL and DRAINAGE AREA PLAN FOR 2022 IMPROVEMENTS

**COLUMBIA TOWN CENTER**  
 SECTION 2 AREA 5  
 Parcels A & B (Plat No. 6321), Parcels C-1 & C-4 (Plat No. 8577) and Parcel E (Plat No. 14022)

ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND

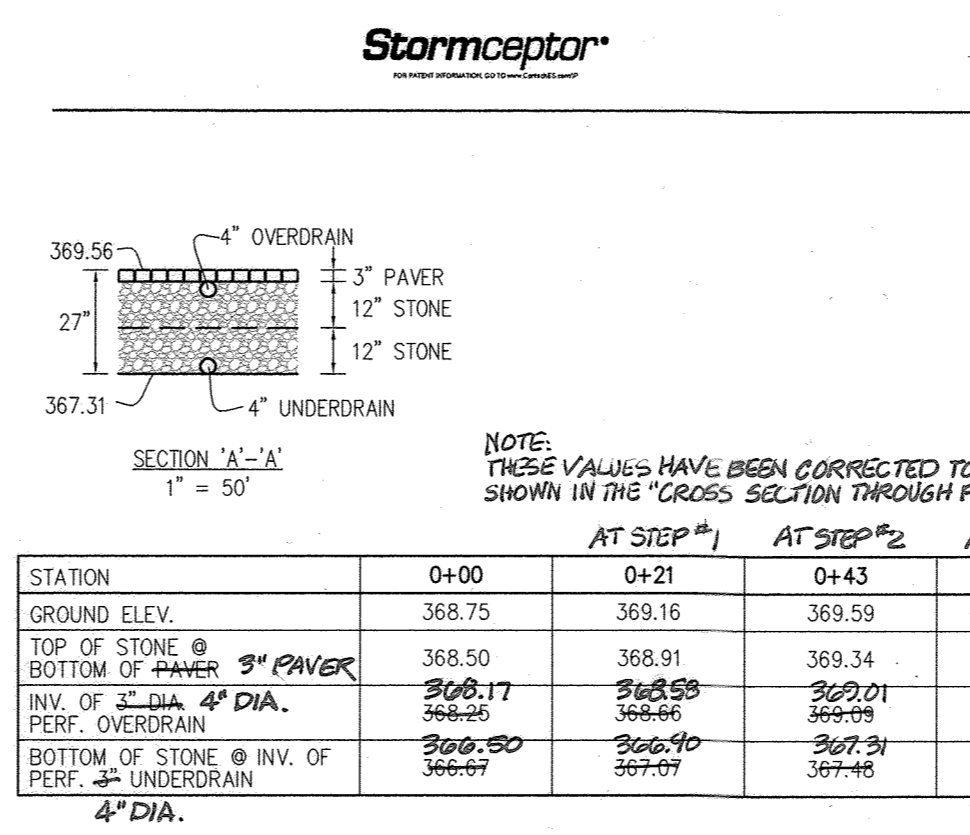
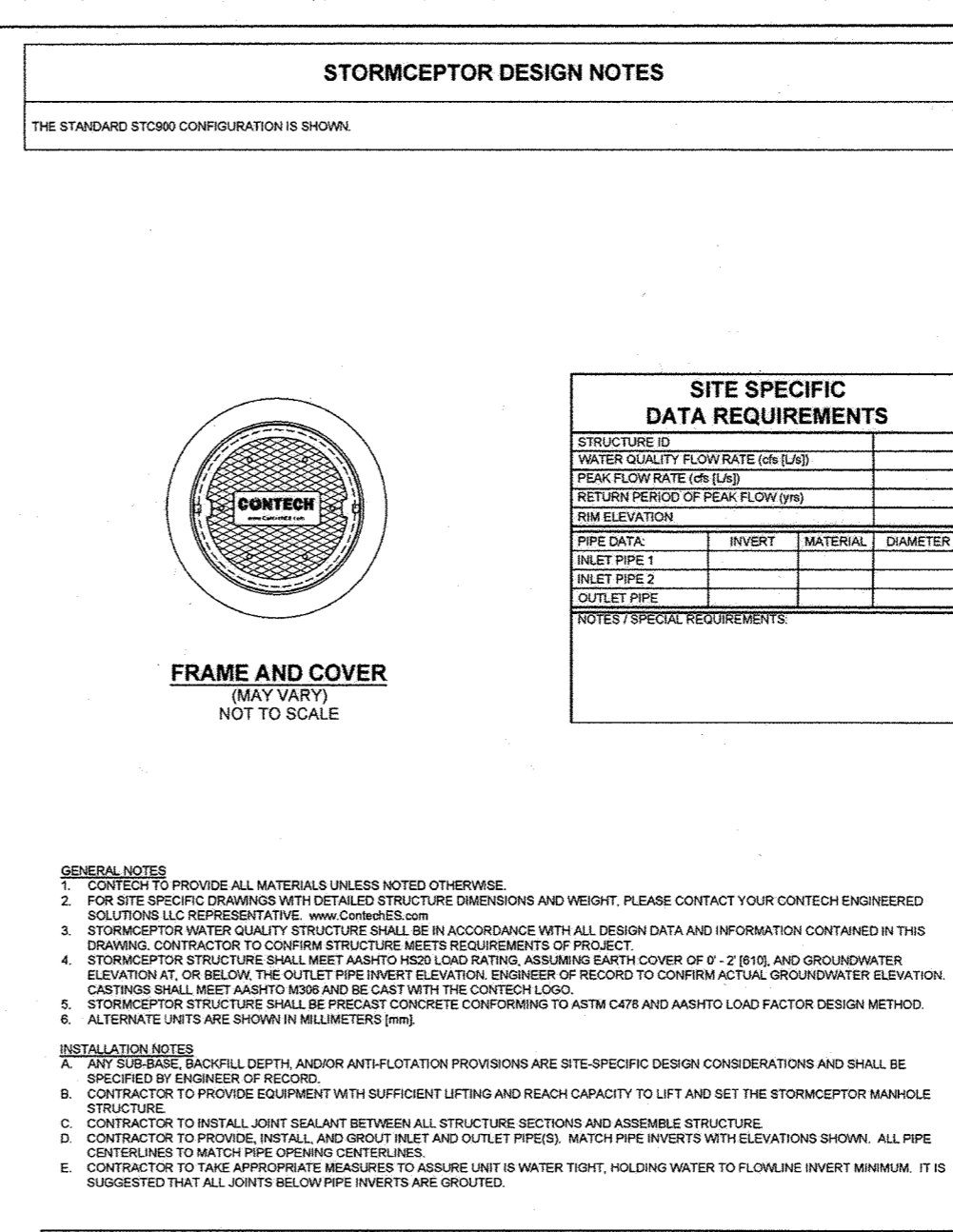
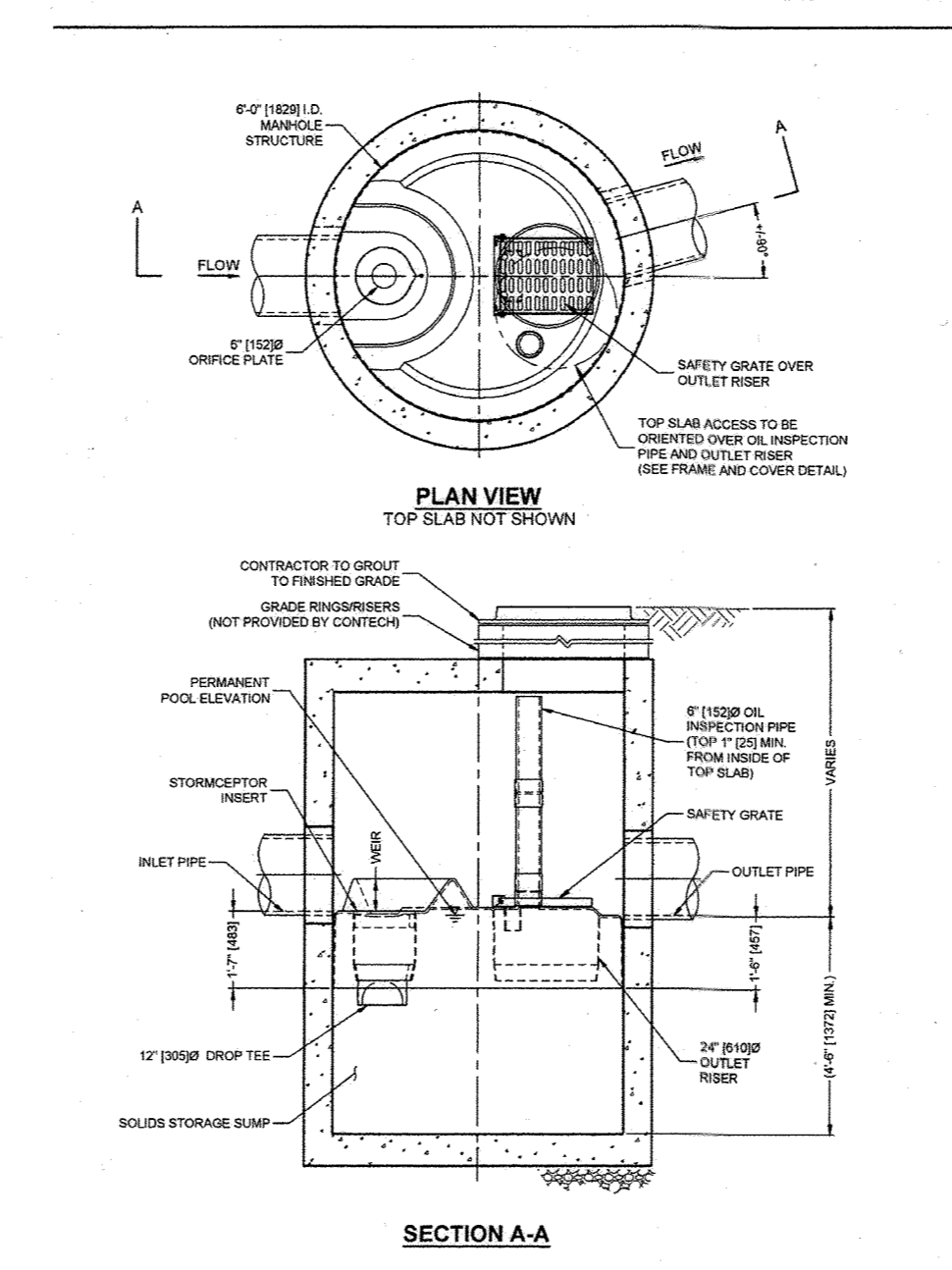
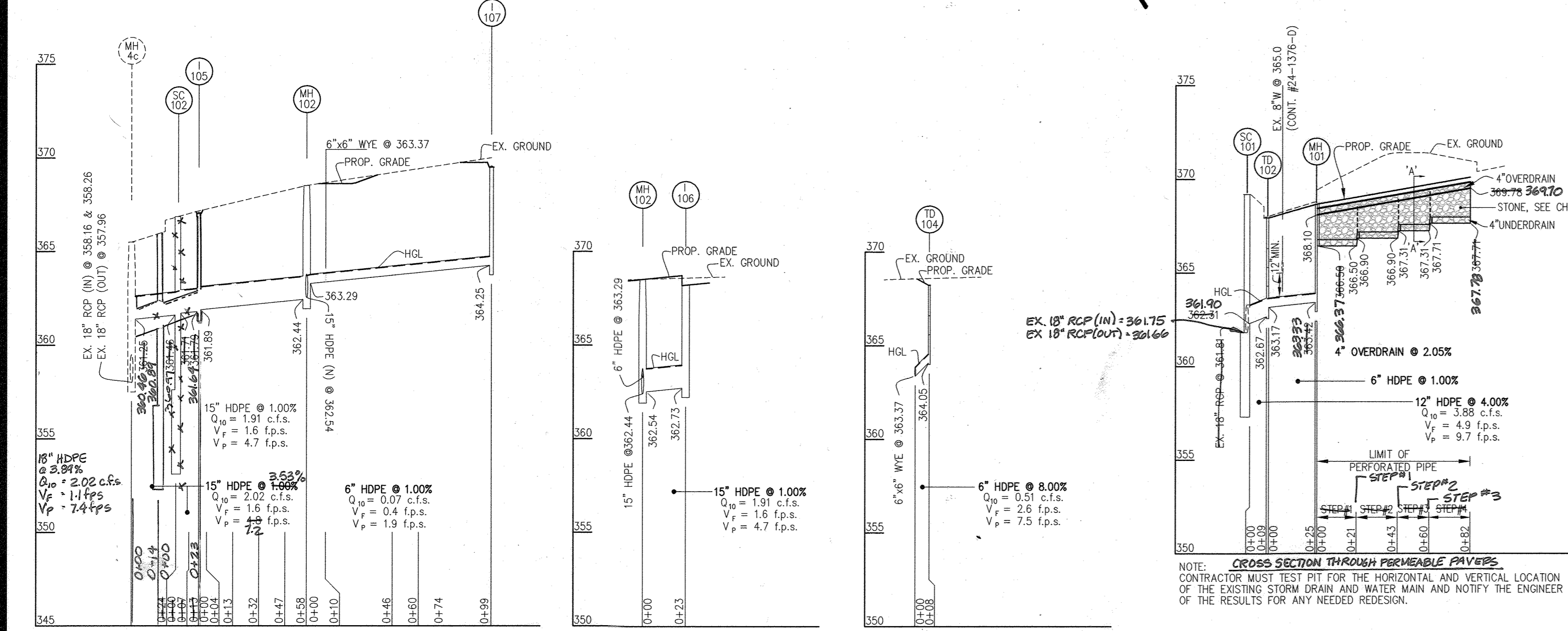
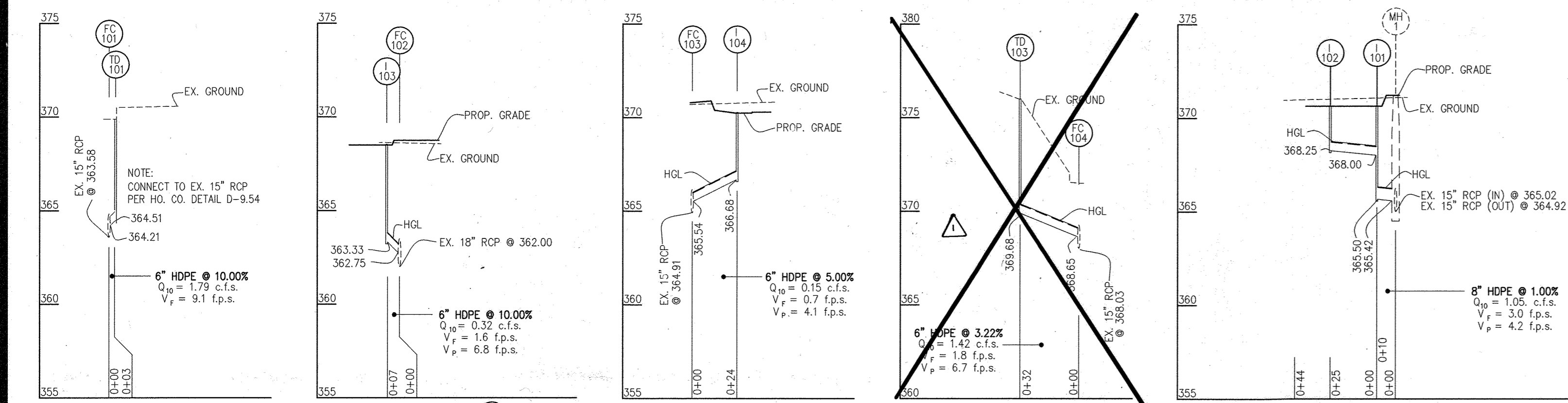
SCALE	ZONING	GLW FILE No.
1" = 20'	NT	21119
DATE	TAX MAP - GRID	SHEET
APRIL 2022	36-1&2	16 OF 25









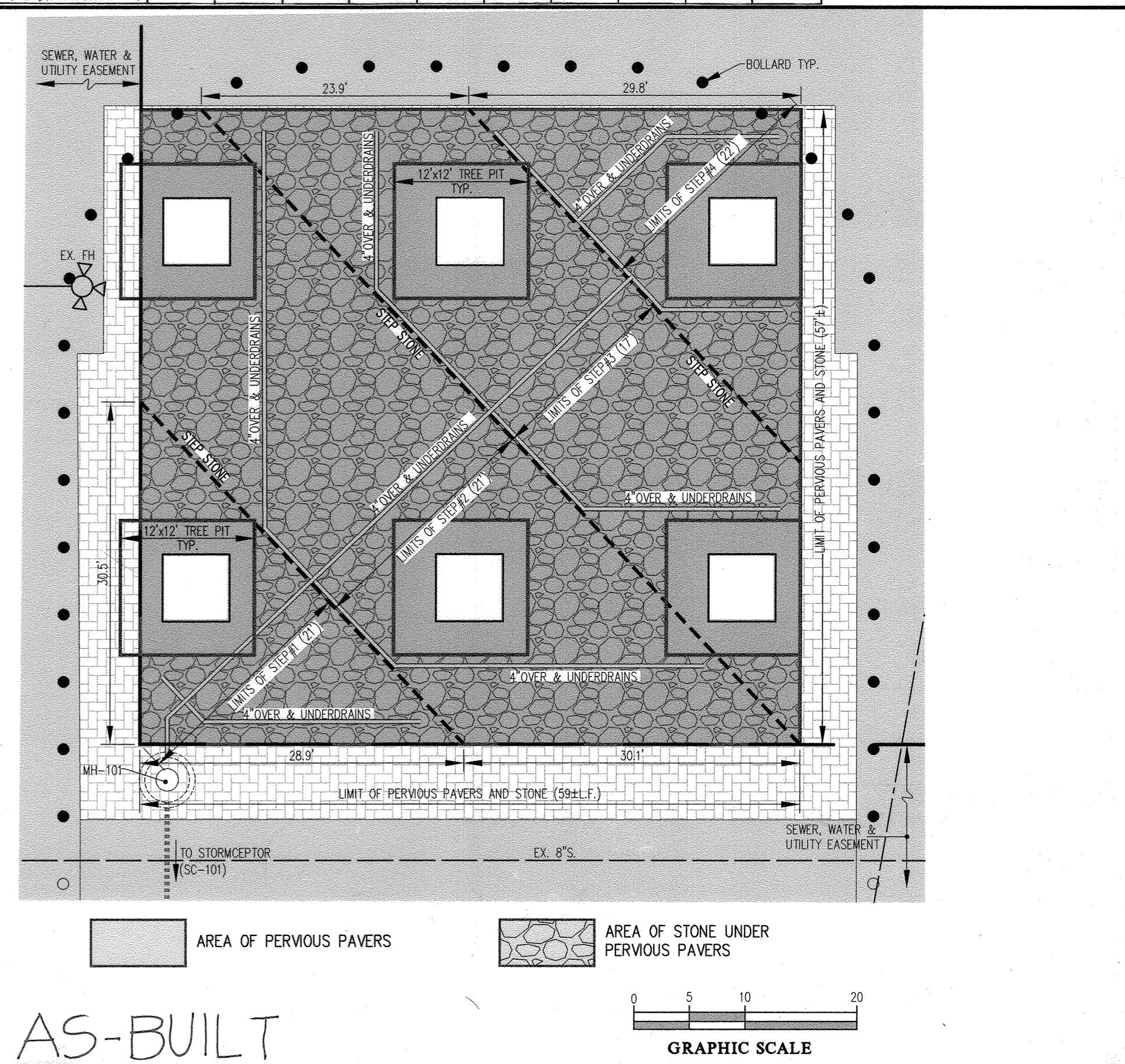
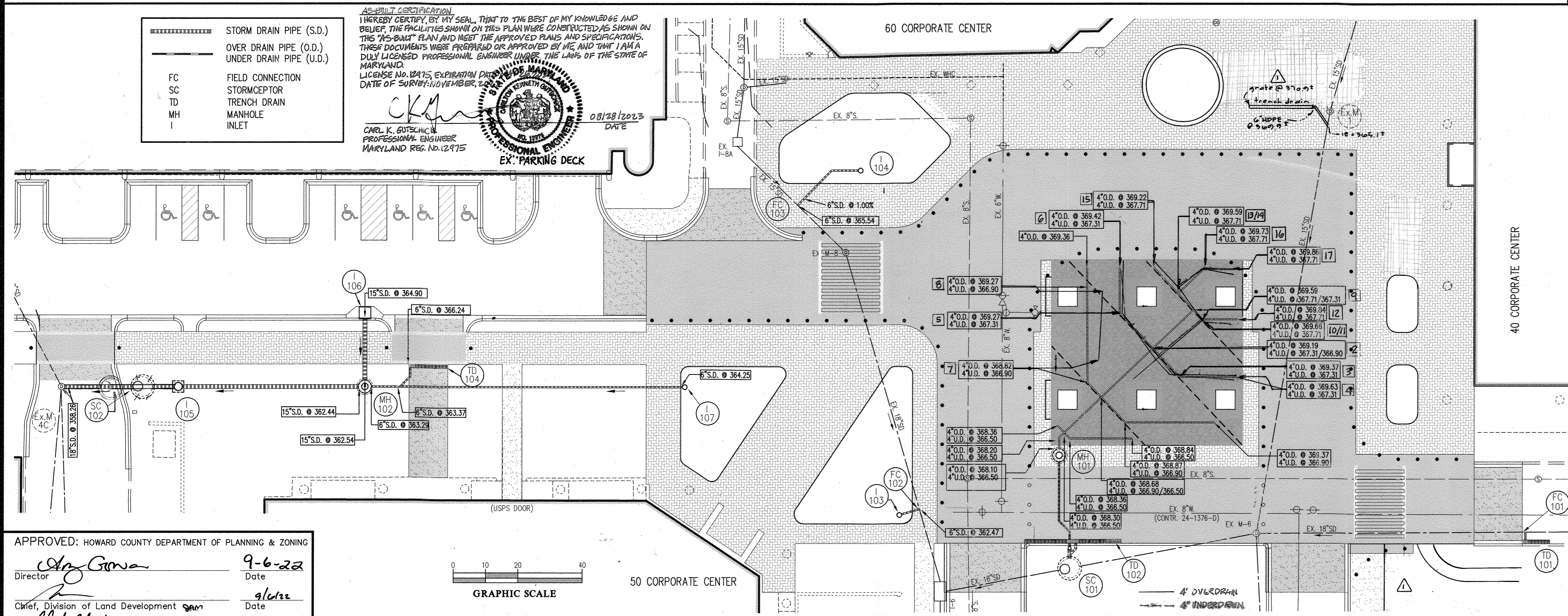


**AS-BUILT ELEVATIONS**

PT #	OVERDRAIN		UNDERDRAIN	
	PER PLAN	AS-BUILT	PER PLAN	AS-BUILT
1	369.19	369.12	367.81	367.15
2	369.19	369.12	367.81	367.15
3	369.19	369.12	367.81	367.15
4	369.19	369.12	367.81	367.15
5	369.19	369.12	367.81	367.15
6	369.19	369.12	367.81	367.15
7	369.19	369.12	367.81	367.15
8	369.19	369.12	367.81	367.15
9	369.19	369.12	367.81	367.15

**AS-BUILT ELEVATIONS**

STATION	0+00		0+21 @ STEP#1		0+43 @ STEP#2		0+60 @ STEP#3		0+82	
	PLAN	AS-BUILT	PLAN	AS-BUILT	PLAN	AS-BUILT	PLAN	AS-BUILT	PLAN	AS-BUILT
GROUND ELEV.	368.75	368.75	369.16	369.16	369.59	369.59	369.93	369.93	370.36	370.36
TOP OF STONE	368.50	368.50	368.91	368.91	369.34	369.34	369.68	369.68	370.11	370.11
BOTTOM OF PAVEMENT	368.17	368.17	368.58	368.58	369.01	369.01	369.42	369.42	369.85	369.85
INV. OF 4" DIA. PERFOR. OVERDRAIN	368.50	368.50	368.90	368.90	369.31	369.31	369.65	369.65	370.08	370.08
BOTTOM OF STONE	368.27	368.27	368.67	368.67	369.08	369.08	369.42	369.42	369.85	369.85
INV. OF 4" DIA. UNDERDRAIN	368.27	368.27	368.67	368.67	369.08	369.08	369.42	369.42	369.85	369.85



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**COLUMBIA TOWN CENTER**  
 SECTION 2 AREA 5  
 Parcels A & B (Plat No. 6321), Parcels C-1 & C-4 (Plat No. 8577) and Parcel E (Plat No. 14022)

AS-BUILT DATE: NOVEMBER, 2022  
 AS-BUILT SHEET 2 OF 3

SCALE: AS SHOWN

DATE: APRIL 2022

ZONING: NT

TAX MAP - GRID: 36-1&2

GLW FILE No.: 21119

SHEET: 20 OF 25

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

**LANDSCAPE NOTES**

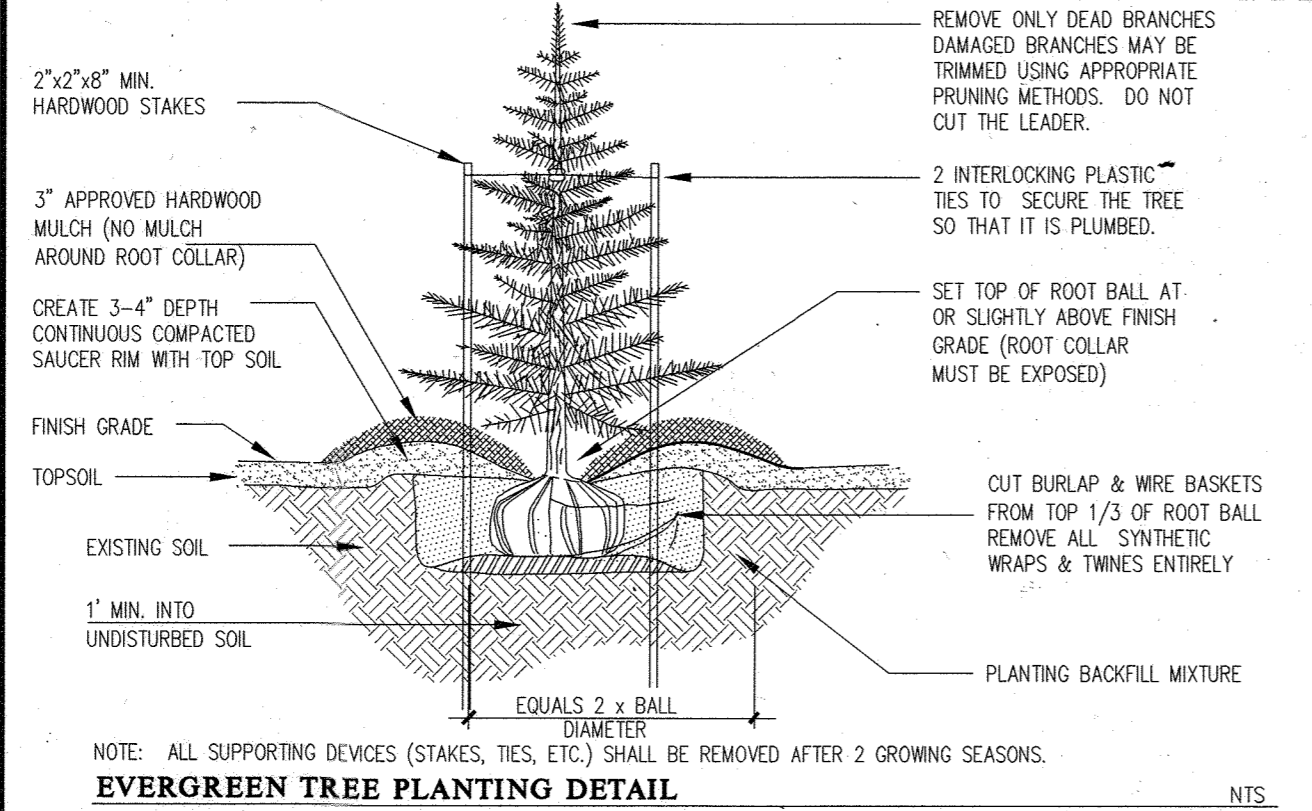
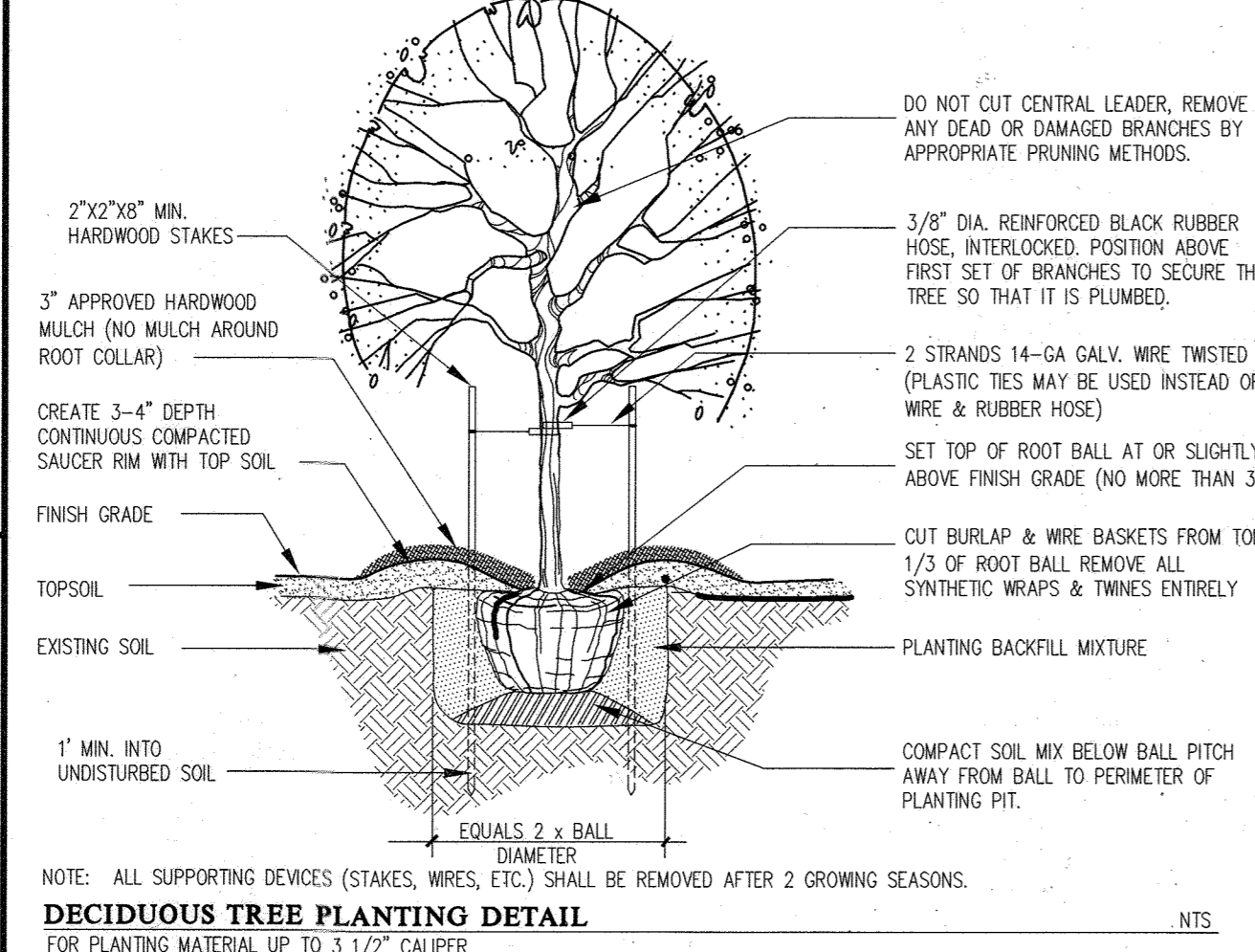
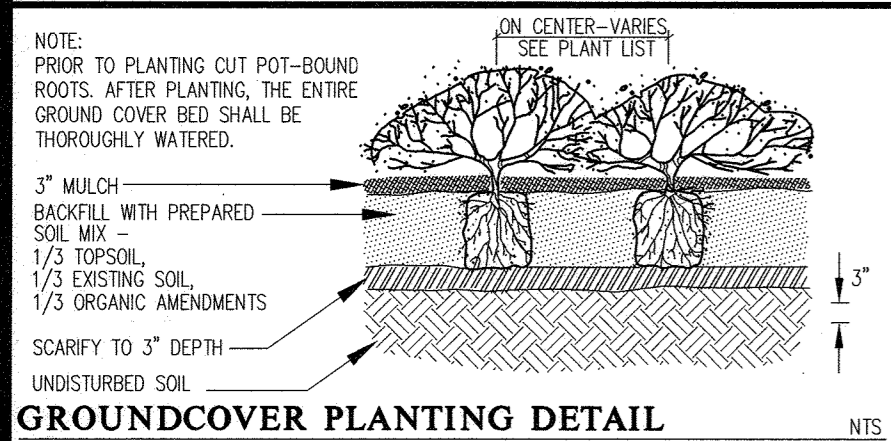
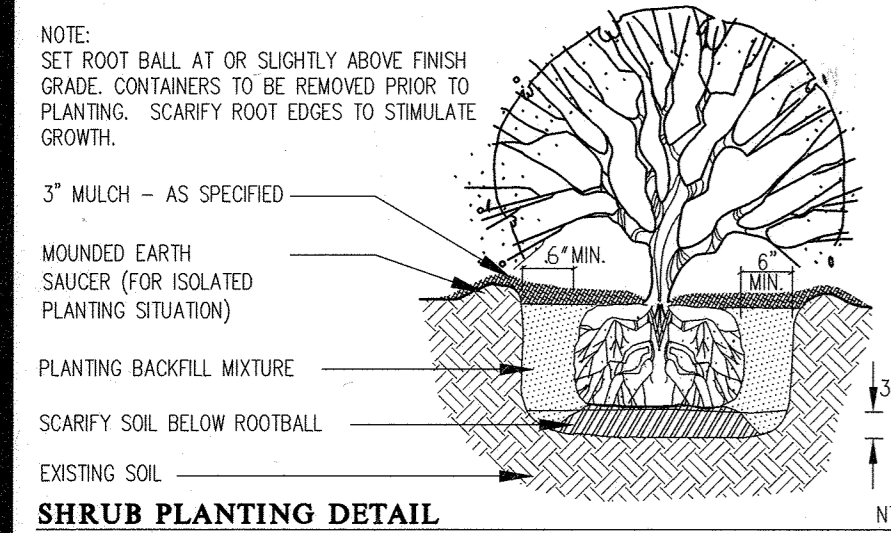
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE & THE HOWARD COUNTY LANDSCAPE MANUAL.
- CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET No.1 SHALL APPLY.
- FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT CONSTRUCTION MANAGER OR OWNER IF ANY RELOCATIONS ARE REQUIRED.
- PLANT QUANTITIES SHOWN ON THE PLANT LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE.
- ALL PLANT MATERIAL SHALL BE FULL, HEAVY, WELL-FORMED, SYMMETRICAL, AND CONFORM TO THE A.A.N. SPECIFICATIONS. IN ADDITION, ALL REQUIRED PLANTING FOR THE LANDSCAPE ISLANDS IN THE PARKING LOT SHALL CONFORM TO THE HOWARD COUNTY LANDSCAPE MANUAL. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THIS PLAN. SEE SHEET 21 FOR PLANTING DETAILS.
- NO SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL FROM HOWARD COUNTY DPZ AND THE OWNER OR HIS REPRESENTATIVE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAVED, OR MULCHED SHALL BE SOODED OR SEEDING IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATION. A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED TO ALL PLANTING AREAS.
- THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF HE/SHE ENCOUNTERS SOIL DRAINAGE CONDITIONS THAT MAY BE DETRIMENTAL TO THE GROWTH OF THE PLANTS.
- ALL EXPOSED EARTH WITHIN THE LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDED HARDWOOD MULCH PER THE PLANTING DETAILS.
- DO NOT PLANT WITHIN THE PUBLIC WATER, SEWER AND UTILITY EASEMENT.
- VERIFY THE LOCATION AND DEPTH OF THE COMMUNICATION LINE(S) WITHIN THE A&T R/W PRIOR TO ANY PLANTING WITHIN THIS R/W. THE CONTRACTOR SHALL CONTACT GLW FOR ANY NECESSARY RELOCATION OF PLANT MATERIALS.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING SHALL BE POSTED WITH THE DEVELOPER'S AGREEMENT. *The total surety amount will be \$3,100,000 which includes the amount of \$1,000,000 for this SDP and \$2,100,000 for SDP-91-018*

FOR LANDSCAPE INSPECTION TO OBTAIN THE RELEASE OF THE SURETY, CONTACT HOWARD COUNTY DEPT. OF PLANNING & ZONING AT 410-313-2350.

PLANT LIST				
SYMBOL	QUANT.	SIZE (MIN.)	NAME (BOTANICAL/COMMON) OF PLANTS FOR SELECTION BY OWNER/BUYER	COMMENTS
SHADE/DECIDUOUS TREES				
	9	6'-8" HT.	Toxodum distichum var. Distichum / BALD CYPRESS	ALL B&B, WELL FORMED W/CENTRAL LEADER
	25	2.5" - 3" CAL.	GLEDITSIA TRICANTHOS / THORNLESS HONEYLOCUST	ALL B&B, WELL FORMED W/CENTRAL LEADER
	6	2.5" - 3" CAL.	GINKGO BILOBA / GINKGO	ALL B&B, WELL FORMED W/CENTRAL LEADER
	4	2.5" - 3" CAL.	QUERCUS PALUSTRIS / PIN OAK or FAGUS GRANDIFOLIA / AMERICAN BEECH	ALL B&B, WELL FORMED W/CENTRAL LEADER

NOTE: FOR THE 2022 IMPROVEMENTS, 26 EXISTING SHADES ARE BEING REMOVED AND REPLACED WITH 24 SHADE/DECIDUOUS TREES

**PLANTING LEGEND**



**DEVELOPER'S/BUILDER'S CERTIFICATE**

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE-YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: *[Signature]* DATE: *5-12-2022*

**APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING**

Director: *[Signature]* Date: *9-6-22*

Chief, Division of Land Development: *[Signature]* Date: *9/6/22*

Chief, Development Engineering Division: *[Signature]* Date: *8-24-22*

**SPECIFICATIONS: PLANT MATERIALS AND PLANTING METHODS**

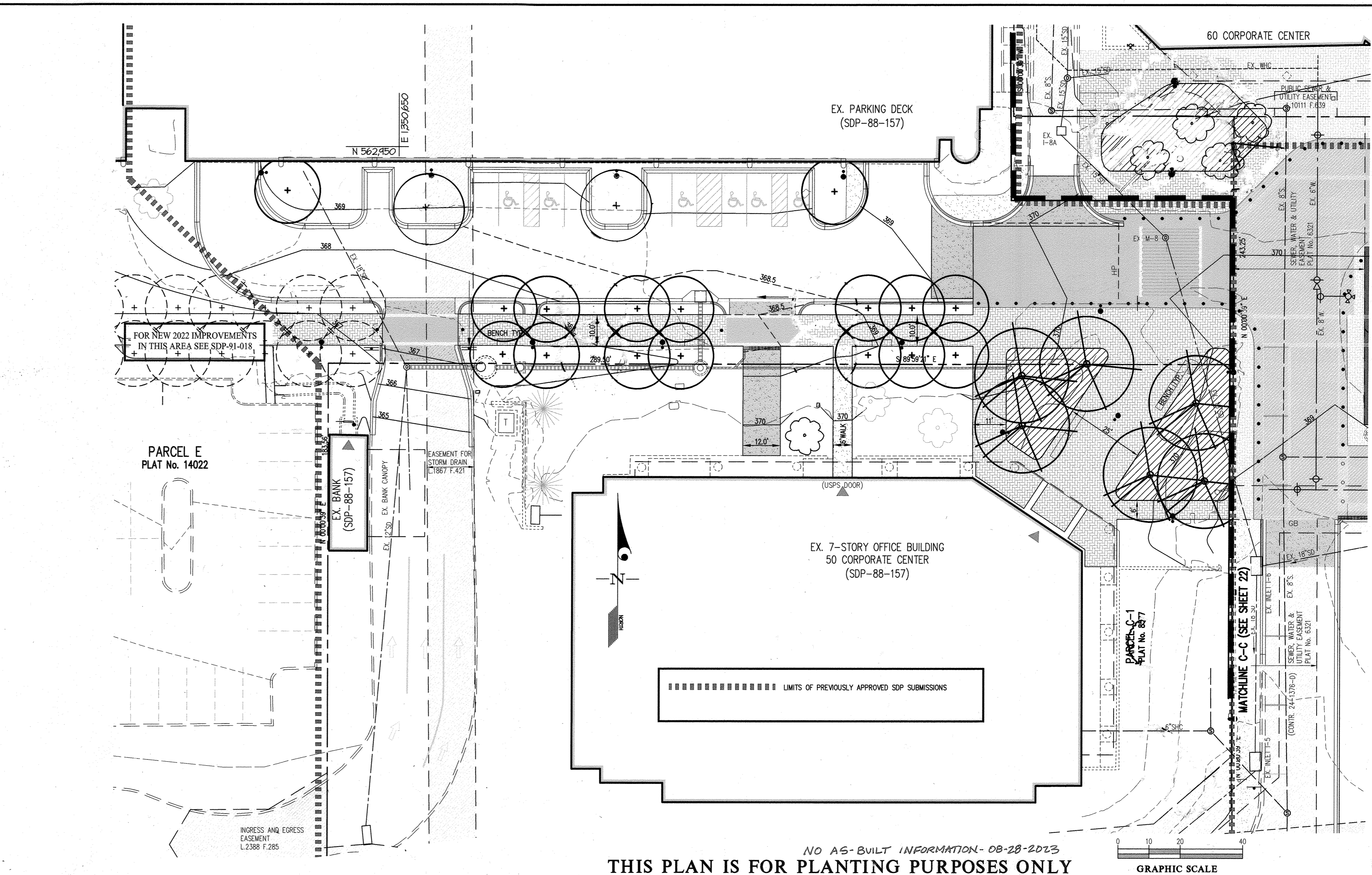
- PLANT MATERIALS**  
THE LANDSCAPE CONTRACTOR SHALL FURNISH AND INSTALL AND/OR DIG, BALL, BURLAP AND TRANSPLANT ALL OF THE PLANT MATERIALS CALLED FOR ON DRAWINGS AND/OR LISTED IN THE PLANT SCHEDULE.
  - PLANT NAMES**  
PLANT NAMES USED IN THE PLANT SCHEDULE SHALL CONFORM WITH "AAN" STANDARDS.
  - PLANT STANDARDS**  
ALL PLANT MATERIAL SHALL BE EQUAL TO OR BETTER THAN THE REQUIREMENTS OF THE "USA STANDARD FOR NURSERY STOCK" LATEST EDITION, AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN (HERE-AFTER REFERRED TO AS "AAN" STANDARDS). ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, SHALL HAVE A NORMAL HABIT OF GROWTH AND SHALL BE FIRST QUALITY, SOUND, VIGOROUS, WELL-BRANCHED AND WITH HEALTHY, WELL-FURNISHED ROOT SYSTEMS. THEY SHALL BE FREE OF DISEASE, INSECT PESTS AND MECHANICAL INJURIES.
  - PLANT MEASUREMENTS**  
ALL PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED IN THE PLANT SCHEDULE.
    - CALIPER MEASUREMENTS SHALL BE TAKEN SIX INCHES (6") ABOVE GRADE FOR TREES UP TO FOUR-INCH (4") CALIPER AND TWELVE (12") ABOVE GRADE FOR TREES GREATER THAN FOUR INCHES (4") IN CALIPER.
    - MINIMUM BRANCHING HEIGHT FOR ALL SHADE TREES SHALL BE SIX FEET (6'), MAXIMUM EIGHT FEET (8').
    - CALIPER, HEIGHT, SPREAD AND SIZE OF BALL SHALL BE GENERALLY AS FOLLOWS:
 

CALIPER	HEIGHT	SPREAD	SIZE OF BALL
2" - 2.5"	12'-14'	5'-6"	28" DIAMETER
3" - 3.5"	14'-16'	6'-8"	32" DIAMETER
3.5" - 4"	14'-16'	8'-10"	36" DIAMETER
4" - 4.5"	16'-18'	8'-10"	40" DIAMETER
4.5" - 5"	16'-17'	10'-12"	44" DIAMETER
5" - 5.5"	16'-20'	10'-12"	48" DIAMETER
5.5" - 6"	18'-20'	12'-14"	52" DIAMETER
- ALL PLANTS SHALL BE NURSERY GROWN AND SHALL HAVE BEEN GROWN UNDER THE SAME CLIMATE CONDITIONS AS THE LOCATION OF THIS PROJECT FOR AT LEAST TWO YEARS BEFORE PLANTING. NEITHER HEED-IN PLANTS NOR PLANTS FROM COLD STORAGE WILL BE ACCEPTED.

- PLANTING METHODS**  
ALL PROPOSED PLANT MATERIALS THAT MEET THE SPECIFICATIONS IN SECTION A ARE TO BE PLANTED IN ACCORDANCE WITH THE FOLLOWING METHODS DURING THE PROPER PLANTING SEASONS AS DESCRIBED IN THE FOLLOWING:  
    - PLANTING SEASONS**  
THE PLANTING OF DECIDUOUS TREES, SHRUBS AND VINES SHALL BE FROM MARCH 1ST TO JUNE 15TH AND FROM SEPTEMBER 15TH TO DECEMBER 15TH. PLANTING OF DECIDUOUS MATERIAL MAY BE CONTINUED DURING THE WINTER MONTHS PROVIDING THERE IS NO FROST IN THE GROUND AND FROST-FREE TOPSOIL PLANTING MIXTURES ARE USED.  
THE PLANTING OF EVERGREEN MATERIAL SHALL BE FROM MARCH 15TH TO JUNE 15TH AND FROM AUGUST 15TH TO DECEMBER 15TH. NO PLANTING SHALL BE DONE WHEN THE GROUND IS FROZEN OR EXCESSIVELY MOIST. NO FROZEN OR WET TOPSOIL SHALL BE USED AT ANY TIME.
    - DIGGINGS**  
ALL PLANT MATERIAL SHALL BE DIG, BALLED AND BURLAPPED (B&B) IN ACCORDANCE WITH THE "AAN STANDARDS".
    - EXCAVATION OF PLANT PITS**  
THE LANDSCAPING CONTRACTOR SHALL EXCAVATE ALL PLANT PITS, VINE PITS, HEDGE TRENCHES AND SHRUB BEDS IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:
      - LOCATIONS OF ALL PROPOSED PLANT MATERIAL SHALL BE STAKED AND APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT BEFORE ANY OF THE PROPOSED PLANT MATERIAL IS INSTALLED BY THE LANDSCAPE CONTRACTOR.
      - ALL PITS SHALL BE GENERALLY CIRCULAR IN OUTLINE, VERTICAL SIDES, DEPTH SHALL NOT BE LESS THAN 6" DEEPER THAN THE ROOT BALL. DIAMETER SHALL NOT BE LESS THAN TWO TIMES THE DIAMETER OF THE ROOT BALL AS SET FORTH IN THE FOLLOWING SCHEDULE.
      - IF AREAS ARE DESIGNATED AS SHRUB BEDS OR HEDGE TRENCHES, THEY SHALL BE EXCAVATED TO AT LEAST 18" DEPTH MINIMUM. AREAS DESIGNATED FOR GROUND COVERS AND VINES SHALL BE EXCAVATED TO AT LEAST 12" IN DEPTH MINIMUM.
      - DIAMETER AND DEPTH OF TREE PITS SHALL GENERALLY BE AS FOLLOWS:
 

PLANT SIZE	ROOT BALL	PIT DIA.	PIT DEPTH
2" - 2.5" CAL.	28"	56"	24"
3" - 3.5" CAL.	32"	64"	28"
3.5" - 4" CAL.	36"	72"	32"
4" - 4.5" CAL.	40"	80"	36"
4.5" - 5" CAL.	44"	88"	40"
5" - 5.5" CAL.	48"	96"	44"
5.5" - 6" CAL.	52"	104"	48"
- ALL PLANT MATERIAL SHALL GENERALLY AVERAGE THE MEDIAN FOR THE SIZE RANGES INDICATED ABOVE AS INDICATED IN THE "AAN" STANDARDS.

- STAKING, GUYING AND WRAPPING**  
ALL PLANT MATERIAL SHALL BE STAKED OR GUYED, AND WRAPPED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
  - STAKES: SHALL BE SOUND WOOD 2" X 2" ROUGH SAWN OAK OR SIMILAR DURABLE WOODS, OR LENGTHS, MINIMUM 7'-0" FOR MAJOR TREES AND 5'-0" MINIMUM FOR MINOR TREES.
  - WIRE AND CABLE: WIRE SHALL BE #10 GA. GALVANIZED OR BETHANIZED ANNEALED STEEL WIRE. FOR TREES OVER 3" CALIPER, PROVIDE 5/16" TURN BUCKLES, EYE AND EYE WITH 4 TAKE-UP. FOR TREES OVER 5" CALIPER, PROVIDE 3/16", 7 STRAND CABLE CADMIUM PLATED STEEL WITH GALVANIZED "EYE" THIMBLES OF WIRE AND HOSE ON TREES UP TO 3" IN CALIPER.
  - HOSE: SHALL BE NEW, 2 PLY REINFORCED RUBBER HOSE, MINIMUM 1/2" I.D. "PLASTIC LOCK TIES" OR "PAUL'S TREES BRACES" MAY BE USED IN PLACE OF WIRE AND HOSE ON TREES UP TO 3" IN CALIPER.
  - ALL TREES UNDER 3" IN CALIPER ARE TO BE PLANTED AND STAKED IN ACCORDANCE WITH THE ATTACHED PLANTING DETAILS.
- PLANT PRUNING, EDGING AND MULCHING**
  - EACH TREE, SHRUB OR VINE SHALL BE PRUNED IN AN APPROPRIATE MANNER TO ITS PARTICULAR REQUIREMENTS, IN ACCORDANCE WITH ACCEPTED STANDARD PRACTICE. BROKEN OR BRUISED BRANCHES SHALL BE REMOVED WITH CLEAN CUTS. FLUSH WITH THE ADJACENT TRUNK OR BRANCHES. ALL CUTS OVER 1" IN DIAMETER SHALL BE PAINTED WITH AN APPROVED ANTISEPTIC TREE WOUND DRESSING.
  - ALL TRENCHES AND SHRUB BEDS SHALL BE EDGED AND CULTIVATED TO THE LINES SHOWN ON THE DRAWING. THE AREAS AROUND ISOLATED PLANTS SHALL BE EDGED AND CULTIVATED TO THE FULL DIAMETER OF THE PIT. SOIL WHICH HAS BEEN REMOVED AND STACKED SHALL BE USED TO TRIM THE EDGES OF ALL EXCAVATED AREAS TO THE NEAT LINES OF THE PLANT PIT SAUCERS, THE EDGES OF SHRUB AREAS, HEDGE TRENCHES AND VINE POCKETS.
  - AFTER CULTIVATION, ALL PLANT MATERIALS SHALL BE MULCHED WITH A 3" LAYER OF FINE, SHREDED PINE BARK, PEAT MOSS, OR ANOTHER APPROVED MATERIAL OVER THE ENTIRE AREA OF THE BED OR SAUCER.
- PLANT INSPECTION AND ACCEPTANCE**  
THE DESIGN REVIEW COMMITTEE SHALL BE RESPONSIBLE FOR INSPECTING ALL PLANTING PROJECTS ON A PERIODIC BASIS TO ASSURE THAT ALL WORK IS PROCEEDING IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.
- PLANT GUARANTEE**  
ALL PLANT MATERIAL SHALL BE GUARANTEED FOR THE DURATION OF ONE FULL GROWING SEASON, AFTER FINAL INSPECTION AND ACCEPTANCE OF THE WORK IN THE PLANTING PROJECT. PLANTS SHALL BE ALIVE AND IN SATISFACTORY GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD.
  - FOR THIS PURPOSE, THE "GROWING SEASON" SHALL BE THAT PERIOD BETWEEN THE END OF THE "SPRING" PLANTING SEASON, AND THE COMMENCEMENT OF THE "FALL" PLANTING SEASON.
  - GUARANTEE FOR PLANTING PERFORMED AFTER THE SPECIFIED END OF THE "SPRING" PLANTING SEASON, SHALL BE EXTENDED THROUGH THE END OF THE NEXT FOLLOWING "SPRING" PLANTING SEASON.



**GLW**  
PLANNING | ENGINEERING | SURVEYING

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM  
PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4188

DESIGNED BY:	
DRAWN BY:	KLP
CHECKED BY:	2/16/2024 Update tree planted quantities in plan & plant list (total surety amount remain the same) klp
DATE:	4/2022
REVISION:	ADDITIONAL SHEET ADDED FOR NEW PLAZA AREA
BY:	APP'R

PREPARED FOR:  
THE HOWARD HUGHES CORPORATION  
10000 Grantcenter Way, Suite 110  
COLUMBIA, MD 21044  
ATTN: WILLIAM ROWE

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975.

EXPIRATION DATE: MAY 26, 2024

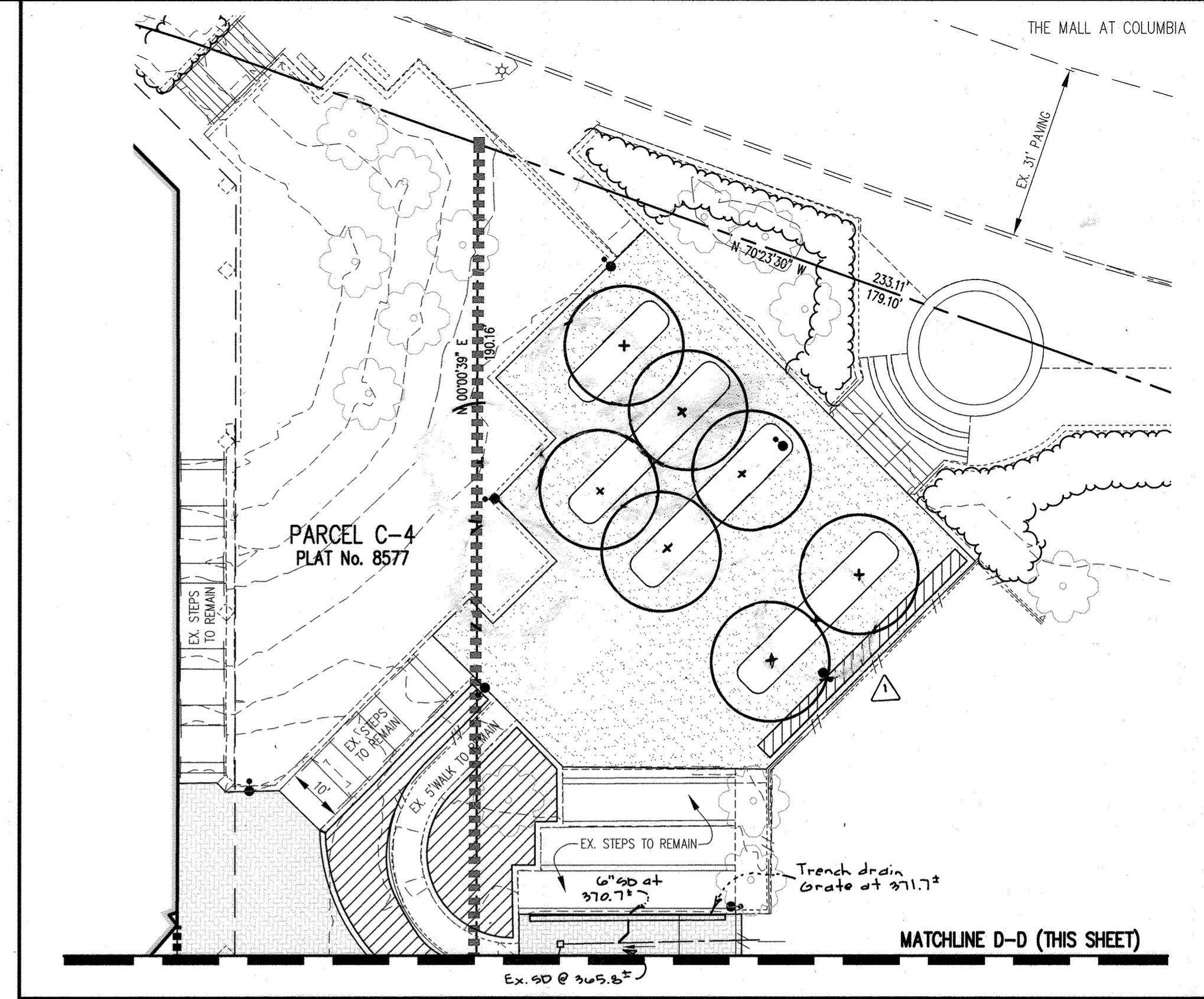
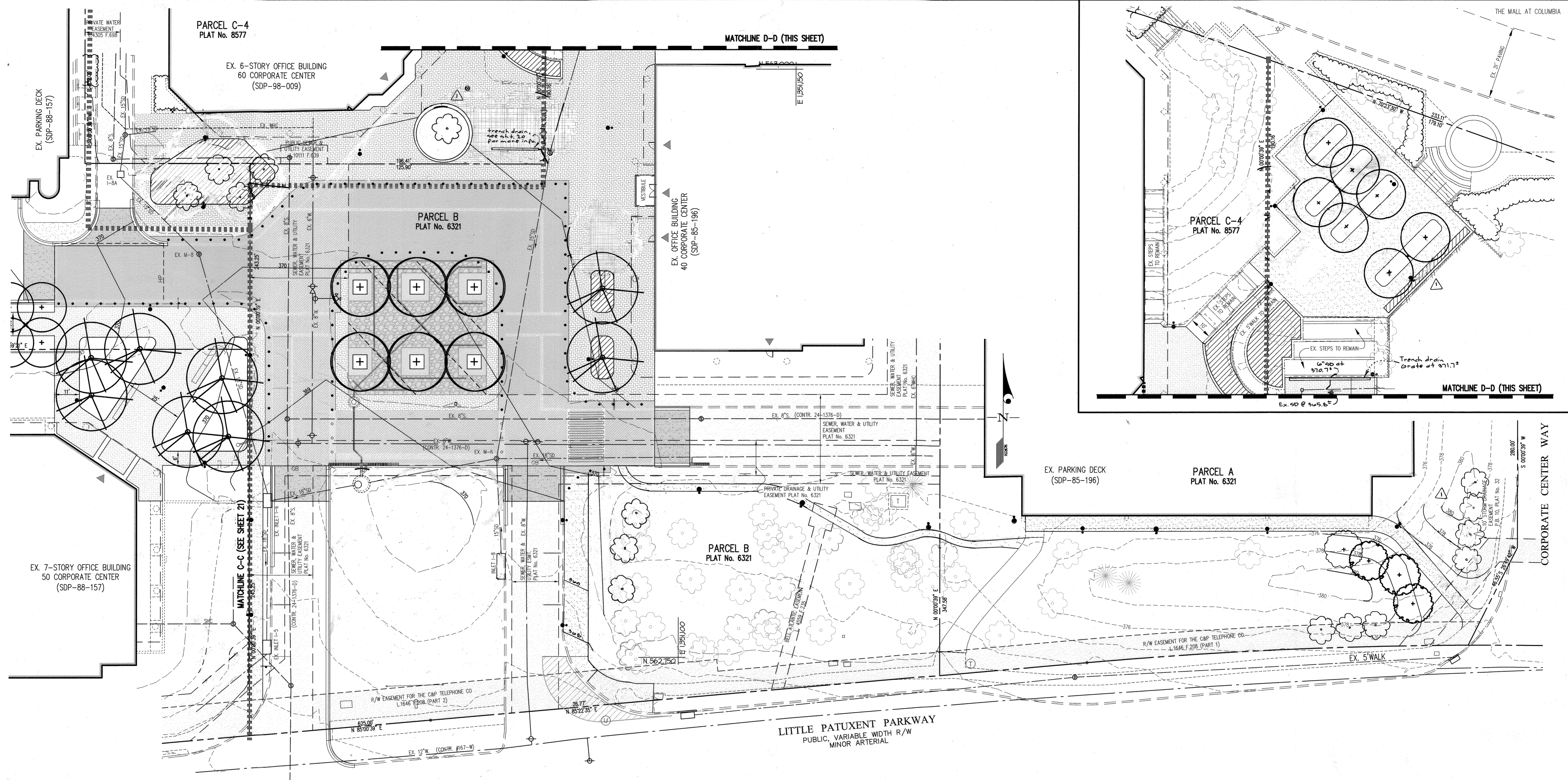
5/12/22

(REVISED) LANDSCAPE PLAN FOR 2022 IMPROVEMENTS

**COLUMBIA TOWN CENTER**  
SECTION 2 AREA 5  
Parcels A & B (Plat No. 6321), Parcels C-1 & C-4 (Plat No. 8577) and Parcel E (Plat No. 14022)

ELECTION DISTRICT No. 5

SCALE	ZONING	GLW FILE No.
1"=20'	NT	21119
DATE	TAX MAP - GRID	SHEET
APRIL 2022	36-1&2	21 OF 25



**DEVELOPER'S/BUILDER'S CERTIFICATE**  
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE-YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: *William Rowe* DATE: *5-12-22*

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Greg Gorman* Date: *9-6-20*

Chief, Division of Land Development: *John L. ...* Date: *9/16/22*

Chief, Development Engineering Division: *...* Date: *3-24-22*

DESIGNED BY:	
DRAWN BY:	KLP
CHECKED BY:	<i>2/26/2024</i>
DATE:	4/2022
REVISION:	Update tree quantities in plan & plant list (total quantity amount remains the same)
BY:	KLP
APPR:	

PREPARED FOR:  
 THE HOWARD HUGHES CORPORATION  
 10902 Grantchester Way, Suite 110  
 COLUMBIA, MD 21044  
 ATTN: WILLIAM ROWE

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12876, EXPIRATION DATE: MAY 28, 2024.

*William Rowe*  
 5/12/22

NO AS-BUILT INFORMATION - 08-28-2023

**THIS PLAN IS FOR PLANTING PURPOSES ONLY**

(REVISED) LANDSCAPE PLAN FOR 2022 IMPROVEMENTS

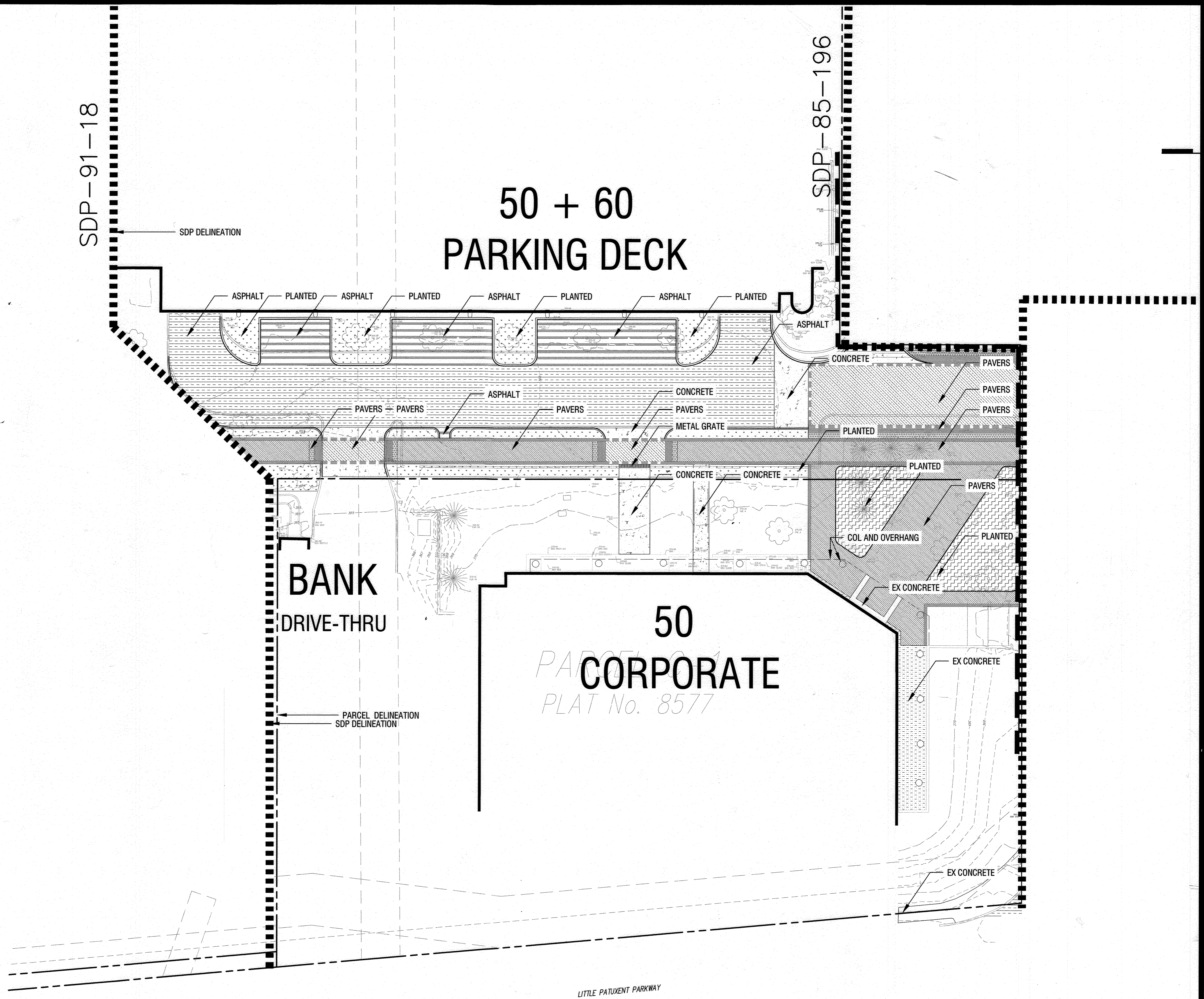
**COLUMBIA TOWN CENTER**  
 SECTION 2 AREA 5  
 Parcels A & B (Plat No. 6321), Parcels C-1 & C-4 (Plat No. 8577) and Parcel E (Plat No. 14022)

ELECTION DISTRICT No. 5 HOWARD COUNTY, MARYLAND

SCALE	ZONING	GLW FILE No.
1"=20'	NT	21119
DATE	TAX MAP - GRID	SHEET
APRIL 2022	36-1&2	22 OF 25

**PAVING DETAILS**

PAVING DETAILS IN SDP 85-196 A EQUATE TO PAVING DETAILS IN SDP 91-018

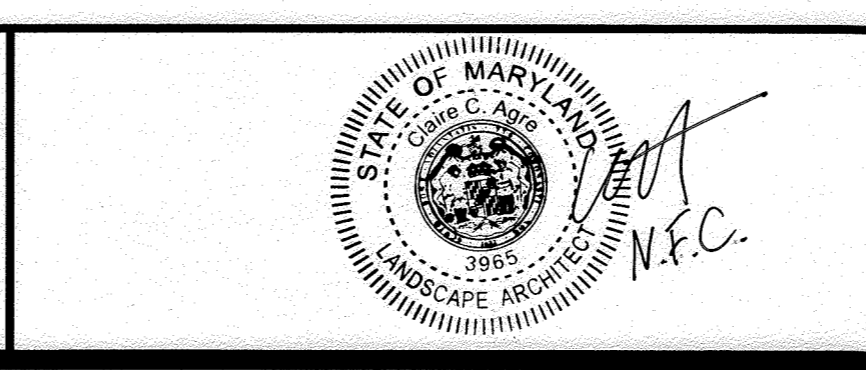


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director *Steve Gower* 9-6-22  
 Chief, Division of Land Development *gmm* 9/6/22  
 Chief, Development Engineering Division *ASD* 8/24/22

**Unknown Studio**  
 2219 Saint Paul Street / Baltimore, MD 21218  
 P: 410.246.2946

DESIGNED BY	CA/SP				
DRAWN BY	SP/LDR				
CHECKED BY	ES/CA	4/2022	ADDITIONAL SHEET ADDED FOR NEW PLAZA AREA		
		DATE	REVISION	BY	APP'R.

PREPARED FOR:  
 THE HOWARD HUGHES CORPORATION  
 10960 GRANCHESTER WAY, SUITE 110  
 COLUMBIA, MD 21044  
 ATTN: WILLIAM ROWE



NO AS-BUILT INFORMATION - 08-28-2023  
 (REVISED) PAVING PLAN AND DETAILS  
 COLUMBIA TOWN CENTER  
 SECTION 2 AREA 5  
 Parcels A & B (Plat No. 6321), Parcels C-1 & C-4 (Plat No. 8577) & Parcel E (Plat No. 14022)  
 ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND

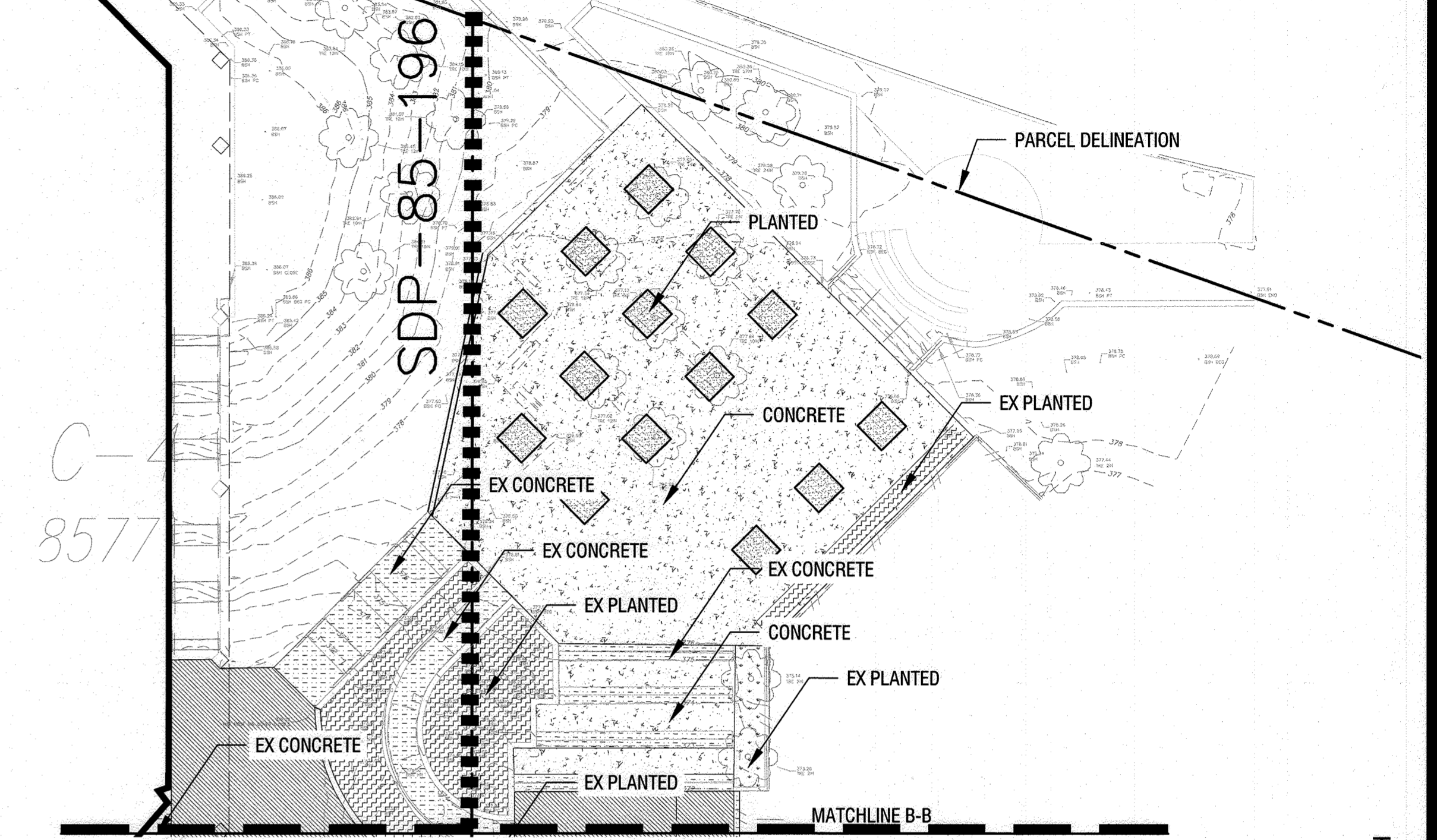
SCALE 1"=20'	ZONING NT	FILE No.
DATE FEB. 2022	TAX MAP - GRID 36-1&2	SHEET 23 OF 25

SDP-85-196

PARCEL C-4  
PLAT No. 8577

60  
CORPORATE

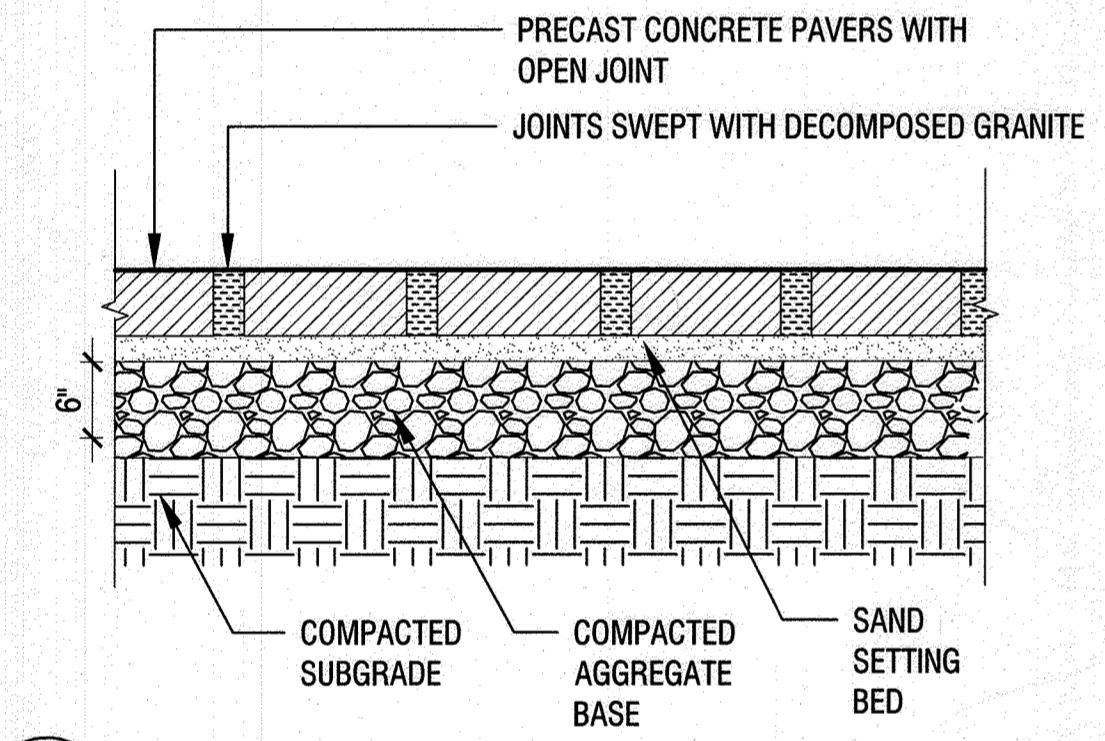
PARCEL B  
PLAT No. 6321  
40  
CORPORATE



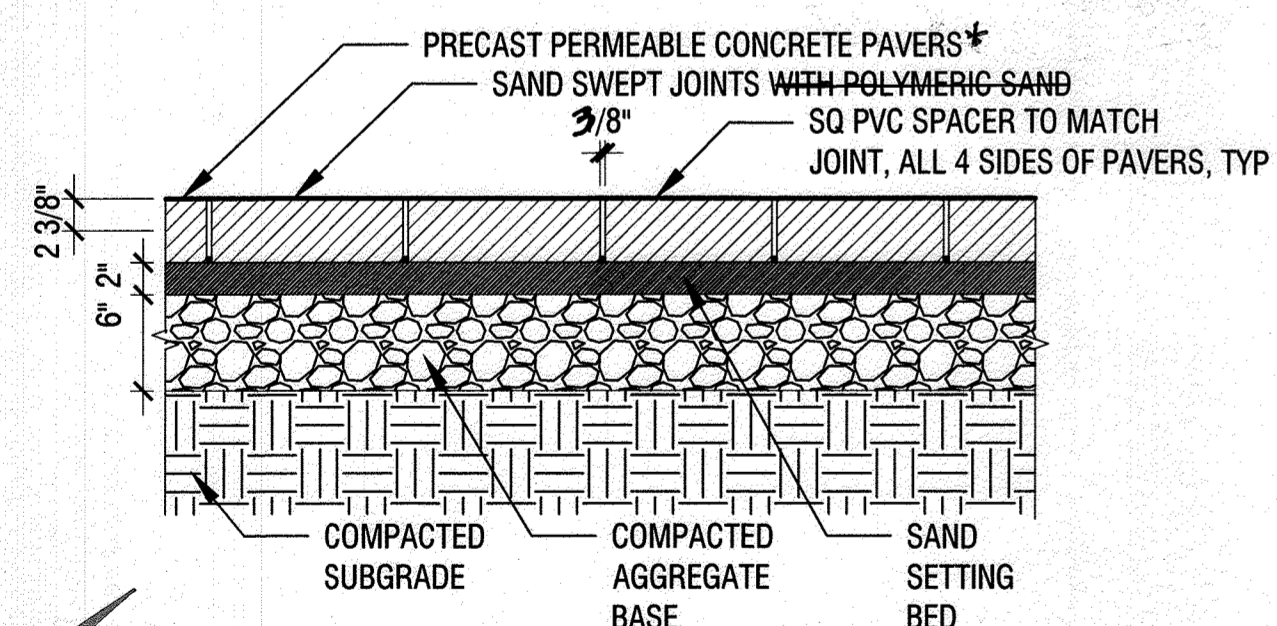
40  
PARKING DECK

PAVING DETAILS

PAVING DETAILS IN SDP 85-196 B EQUATE TO PAVING DETAILS IN SDP 91-018 AND SDP 85-196 A, PLUS TWO ADDITIONAL DETAILS INTRODUCED (below)



1 PAVEN - OPEN JOINT  
SCALE: 1" = 1'-0"



2 PAVEN - PERMEABLE  
SCALE: 1" = 1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: *[Signature]* Date: 9-6-22  
Chief, Division of Land Development: *[Signature]* Date: 9/6/22  
Chief, Development Engineering Division: *[Signature]* Date: 8-24-22

**Unknown Studio**  
2219 Saint Paul Street / Baltimore, MD 21218  
P: 410.246.2946

DESIGNED BY	CA/SP		
DRAWN BY	SP/LDR		
CHECKED BY	ES/CA	2/2022	DATE
		ADDITIONAL SHEET ADDED FOR NEW PLAZA AREA	REVISION
			BY APPR.

PREPARED FOR:  
THE HOWARD HUGHES CORPORATION  
10960 GRANCHESTER WAY, SUITE 110  
COLUMBIA, MD 21044  
ATTN: WILLIAM ROWE

STATE OF MARYLAND  
LANDSCAPE ARCHITECT  
M.F.C.

AS-BUILT CERTIFICATION  
I HEREBY CERTIFY, BY MY SEAL, THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THE FACILITIES SHOWN ON THIS PLAN WERE CONSTRUCTED AS SHOWN ON THIS "AS-BUILT" PLAN AND MEET THE APPROVED PLANS AND SPECIFICATIONS. THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE No. 12475, EXPIRATION DATE: MAY 26, 2024.  
DATE OF SURVEY: NOVEMBER, 2022.

CARL V. GUTCHICK  
PROFESSIONAL ENGINEER  
MARYLAND REG No. 12475  
DATE: 08/29/2023

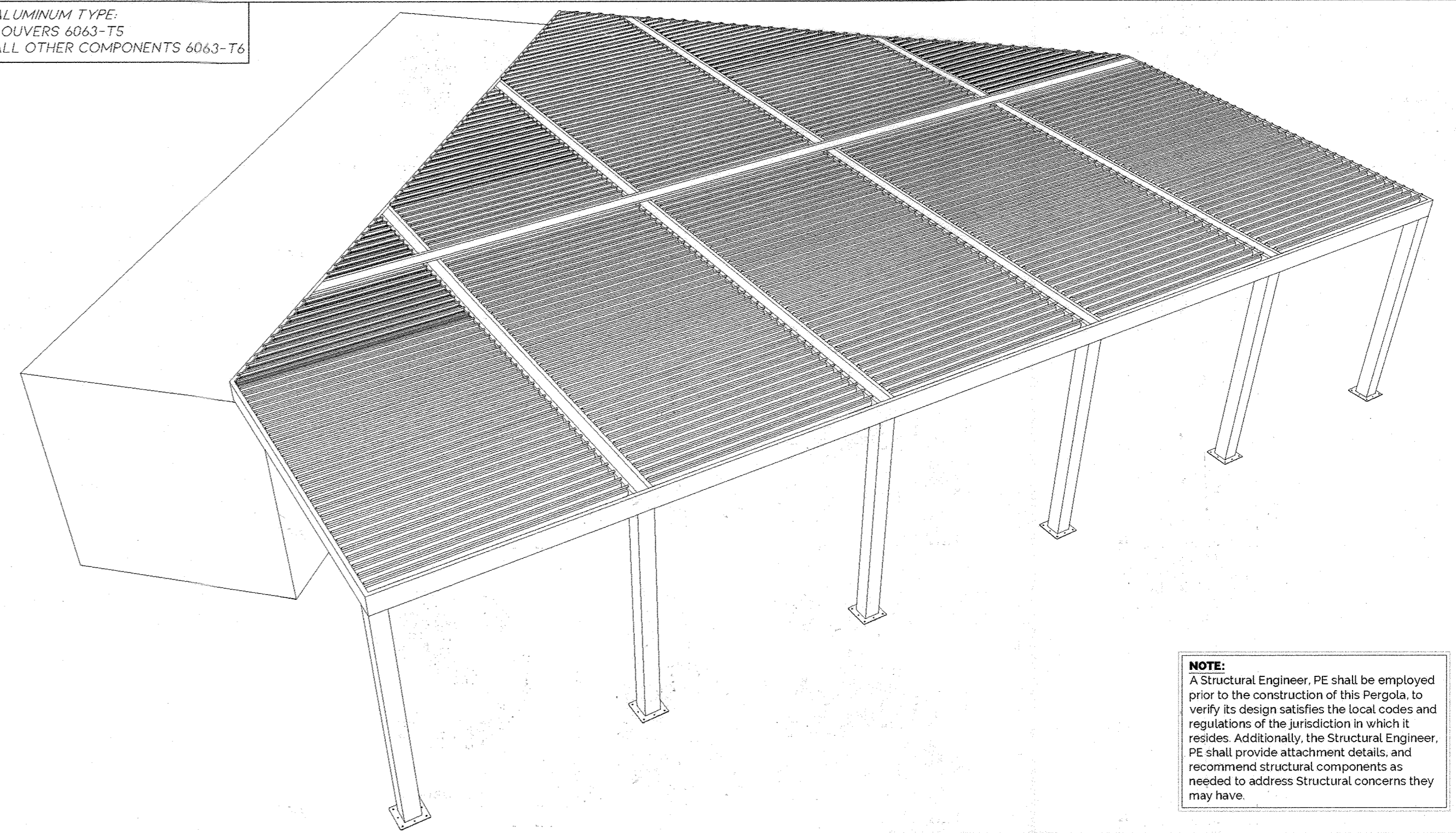
AS-BUILT

(REVISED) PAVING PLAN AND DETAILS  
COLUMBIA TOWN CENTER  
SECTION 2 AREA 5  
Parcels A & B (Plat No. 6321), Parcels C-1 & C-4 (Plat No. 8577) & Parcel E (Plat No. 14022)  
ELECTION DISTRICT No. 5  
HOWARD COUNTY, MARYLAND

SCALE	ZONING	FILE No.
1" = 20'	NT	
DATE	TAX MAP - GRID	SHEET
FEB. 2022	36-1&2	24 OF 25



ALUMINUM TYPE:  
LOUVERS 6063-T5  
ALL OTHER COMPONENTS 6063-T6



**NOTE:**  
A Structural Engineer, PE shall be employed prior to the construction of this Pergola, to verify its design satisfies the local codes and regulations of the jurisdiction in which it resides. Additionally, the Structural Engineer, PE shall provide attachment details, and recommend structural components as needed to address structural concerns they may have.

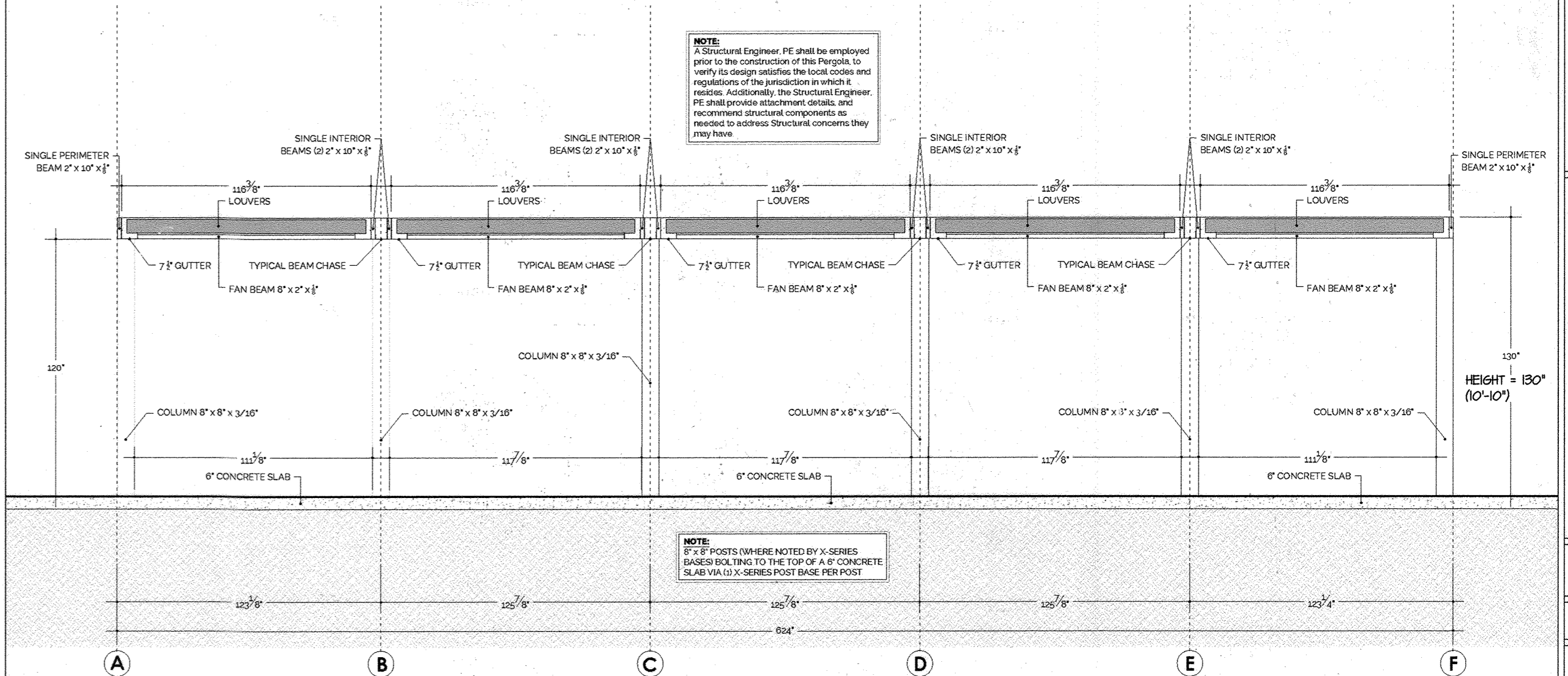
LEGEND

**STRUXURE™**  
154 E THAN ALLEN DR.  
DAHLONGESA, GA 30533  
(601) 303-5248

THE FOOD MARKET  
(SHAROKY)  
10480 LITTLE PATUXENT  
PARKWAY COLUMBIA, MD 21029

DESCRIPTION  
PERSPECTIVE  
VIEW  
DATE  
10/04/22  
DRAWN BY  
I&S  
SCALE  
N.T.S.  
SHEET NO.  
A 101

ALUMINUM TYPE:  
LOUVERS 6063-T5  
ALL OTHER COMPONENTS 6063-T6



**NOTE:**  
A Structural Engineer, PE shall be employed prior to the construction of this Pergola, to verify its design satisfies the local codes and regulations of the jurisdiction in which it resides. Additionally, the Structural Engineer, PE shall provide attachment details, and recommend structural components as needed to address structural concerns they may have.

**NOTE:**  
8" X 8" POSTS (WHERE NOTED BY X-SERIES) BASED SOLID TO THE TOP OF A 6" CONCRETE SLAB VIA 10 X-SERIES POST BASE PER POST

SECTION 1-1  
SCALE 1/4" = 1'-0"

**STRUXURE™**  
154 E THAN ALLEN DR.  
DAHLONGESA, GA 30533  
(601) 303-5248

THE FOOD MARKET  
(SHAROKY)  
10480 LITTLE PATUXENT  
PARKWAY COLUMBIA, MD 21029

DESCRIPTION  
SECTION 1-1  
DATE  
10/04/22  
DRAWN BY  
I&S  
SCALE  
1/4" = 1'-0"  
SHEET NO.  
A 200

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director *[Signature]* Date 2/14/23  
Chief, Division of Land Development *[Signature]* Date 2/14/23  
Chief, Development Engineering Division *[Signature]* Date 1/30/23

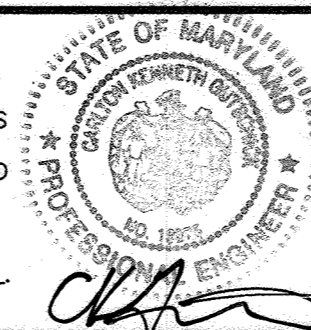
**GLW**  
PLANNING | ENGINEERING | SURVEYING  
3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM  
PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4188

DESIGNED BY:	DATE	SHEET ADDED	REVISION	BY	APPR.
DDS					
DRAWN BY:					
DDS					
CHECKED BY:					

NO AS-BUILT INFORMATION - 08-28-2023

PREPARED FOR (OWNER):  
40 CCC, LLC  
10960 GRANCHESTER WAY, SUITE 110  
COLUMBIA, MD 21044  
ATTN: WILLIAM ROWE

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12875  
EXPIRATION DATE: MAY 28, 2024  
4/6/23 *[Signature]*



PERGOLA ELEVATIONS NO SCALE

PERGOLA ELEVATIONS  
COLUMBIA TOWN CENTER  
SECTION 2 AREA 5  
PARCELS A, B, & C  
PN: 6321  
ELECTION DISTRICT No. 5

SCALE	ZONING	GLW FILE No.
1" = 20'	NT	22054
DATE	TAX MAP - GRID	SHEET
JAN., 2023	36- 2	25 OF 25

HOWARD COUNTY, MARYLAND