SITE ANALYSIS

Existing Zoning - New Town - Employment Center - Commercial Final Development Plan Phase 192 Plat #3054 A 743 thru 744 Area of Parcel "A"= 1.841 Ac., Parcel "B"= 2.178 Ac. TOTAL= 4.019 Ac. Proposed Use - OFFICE BUILDING: INCLUDING 4,725 sf RESTAURANT ON PARCEL "B" AND Parking Deck on Parcel "A"

A Parking Spaces Proposed = 186 (+ 8 new parallel spaces)

@ Parking Spaces Required: 115,252 o.f. \* net leanable office area @ 2 ap./1000 (FDP-102) 4,725 af. restaurant @ 14 op. /1000 (133.0.D.4) 4,882 sf. restaurant outdoor seating @ 7 sp. /1,000 (133.0.0.4) Maximum shared parking requirement (per 133.0.F.1) = 272 spaces

Ground

OWHER AND DEVELOPER

COLUMBIA MALL, INC.

COLUMBIA, MARYLAND 1043

Floor.

Private Driveways

WHITMAN, REQUARDT AND ASSOCIATES ENGINEERS

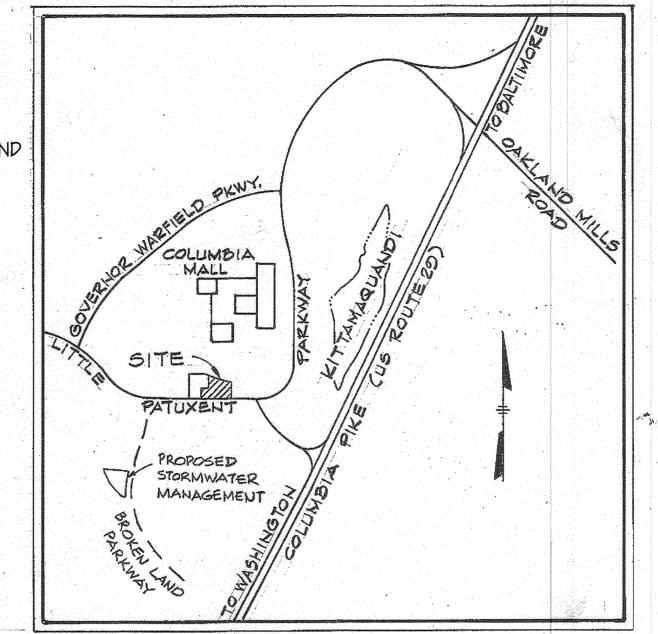
2315 ST. PAUL STREET

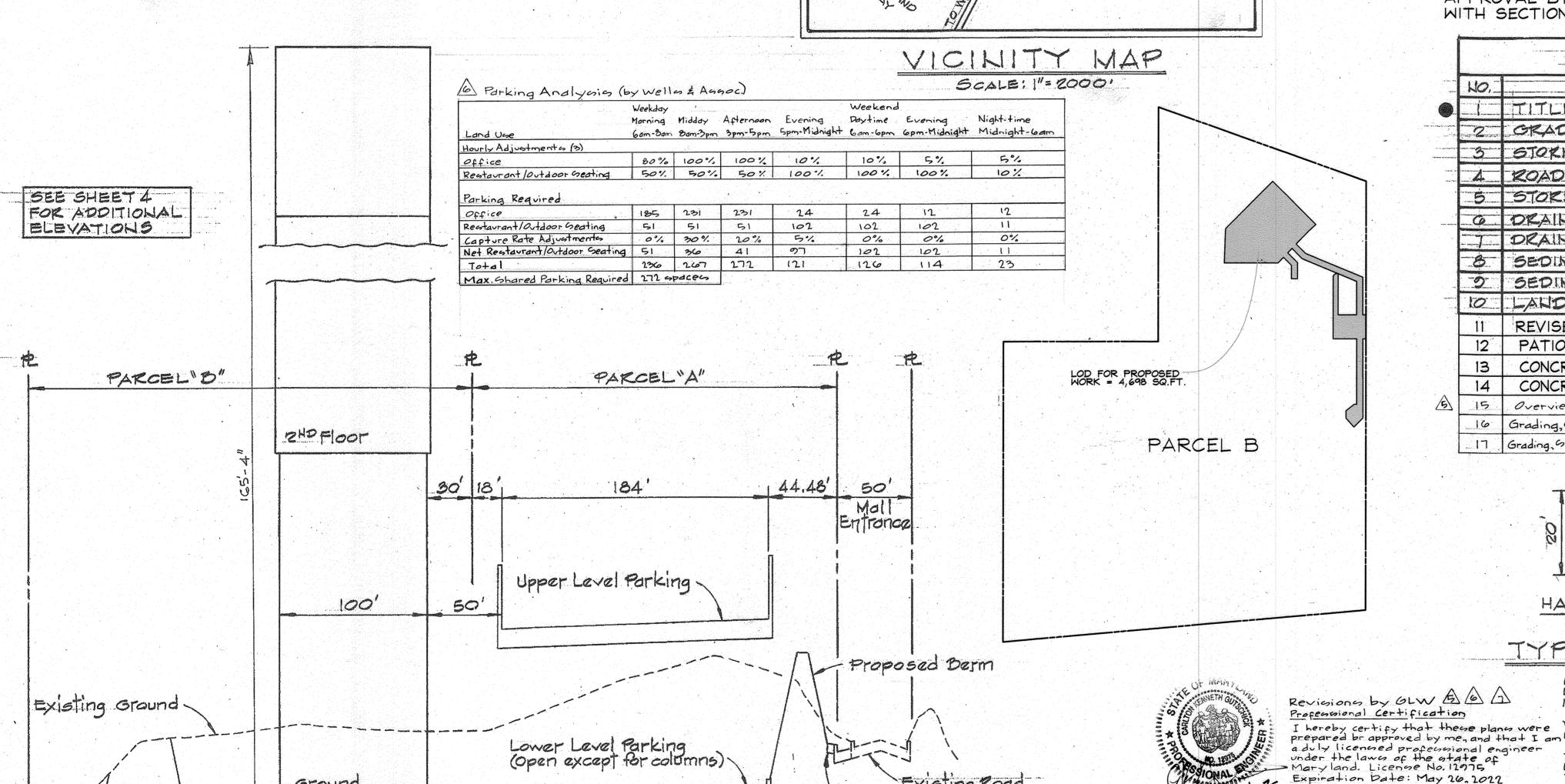
BALTIMORE, MARYLAND 21218

KENNETH A MCCORD PENO 1974

See Parking Analysis by Wells and Associates dated 4/4/2022 for additional info. \* The building modification to add A77 of of office area will not impact parking required for Merriweather events since office uses would not impact weekday evenings or weekend conditions when events occur.

PARKING SPACES PROVIDED IN GARAGE AND 4 SURFACE SPACES - 275 SPACES THE ANALYSIS DOES NOT RELY UPON THE ABILITY TO SHARE PARKING SPACES WITH THE MALL PER THE EXISTING SHARED PARKING AGREEMENT





14. For the 2022 site improvements, financial surety for the required landscaping shall be posted with the developers agreement. The total surety amount will be \$21,000.00; GENERAL NOTES

13. This site, which comprises of Parcels A, B (Pb+ \$6321 & 9512), C1, C4 & E, is subject to a development rights and responsibilities agreement (DRRA) recorded at L.17457 F.265. Gaid DRRA predates CB66-2021

(effective date 1/03/2022); therefore, this site is exempt from Forest Conservation requirements of Section 16.1200 of the Howard County code section in accordance with section 16.1202 (B) (1) (1) as codified per CB4-1996, which was in place at the time said DRRA was recorded in Feb. 2017.

- 22

1. Topography taken from field run tope prepared by Shanaberger and Lane in October, 1984
2. Recording reference is Plat #
3. See Architectural Plans for details of proposed affice building.
4. All site work construction to be done in accordance with Howard County Road Code and Standard Specifications unless affice wise indicated.

General Notes (cont.)

5. Public water and public sever to be utilized.
6. Any damage to public right of way or paving must be corrected at the developers expense.

. Grades have been established to insure positive drainage

8. Sidewalks shall be scored or otherwise textured to indicate to blind persons the location of doors at building.

9. One handicopped parking sign shall be placed at each handicopped parking space in accordance with requirements of the Maryland Building Code.

10. A stormwater management facility will be constructed off-site at Broken Land Parkway. See Vicinity Map.

11. THE OWNER/DEVELOPER RESERVES THE RIGHT TO REEVALUATE THE PARKING NEEDS IN THE FUTURE TO SHOW FULL COMPLIANCE WITH PARKING REQUIREMENTS IN FDP-192A SECTION 9C-2.c.

12. THE PLANNING BOARD HEARING IS NOT REQUIRED BECAUSE THE EXTERNAL ALTERATIONS ARE PROVIDED AS AN ENHANCEMENT OF AN EXISTING PATIO AND IS DEEMED A MINOR MODIFICATION NOT REQUIRING PLANNING BOARD APPROVAL BY THE PLANNING DIRECTOR IN ACCORDANCE WITH SECTION 125.0.G.3 OF THE ZONING REGULATIONS

	,
and the second second	
Ged	18
Git	19
Sto	20
Lan	21
Lan	12
Pav	23
Pav	24
re	25

liment Control Notes and Details for 2022 improvements te Details for 2022 improvements rm Drain Details for 2022 improvements ducape Plan for 2012 improvements discape Plan for 2022 improvements ing Plan and Detaile ing Plan and Details gold Elevationes

REGULAR

HANDICAPPED

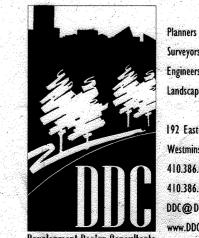
# TYPICAL PARKING SPACE

HORIZONTAL DATUM FOR THIS AS-BUILT SURVEY IS BASED ON THE MARYLAND STATE REPERENCE SYSTEM NAD'831(20H). AS PROJECTED BY HOWARD COUNTY GEDETIC CONTROL STATIONS IGIA AND 23CA, VERTICAL DATUM FOR THIS AS-BUYLT SURVEY IS NURTH AMERICA VERTICAL DATUM (NAVD) 1988 AS PROJECTED BY THE ABOVE REFERENCED GEODETIC CONTROL STATIONS.

THIS AS-BUILT SURVEY WAS PERFORMED BY GUTSCHICK, LITTLE & WEBER, P.A. THE FOLLOWING INSTRUMENTS WERE USED IN PERFORMING THIS AS-BUILT SURVEY: 3 SECOND TOTAL ROBOTIC STATION & PRISM

PURPOSE STATEMENT: THE PURPOSE OF THIS REVISION IS TO INCLUDE THE RESTAURANT USE AND OUTDOOR SEATING AREA

HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE AS-BUILT



PLAT # BLOCK # ZONE TAX/ZONE MAP ELEC. DIST. CENSUS TR. WATER CODE SEWER CODE 5321000 update parking for additional office area RESTAURANT USE, OUTDOOR SEATING, ADD SHEETS 11-14 Asper Planning and D.P.W. Comments As per Planning, DPW and SCS comments DESCRIPTION OF REVISION NO DATE

10480 Little Patuxent Pkwy

ADDRESS CHART

Parcel Street Address

SUBDIVISION NAME

TOWN CENTER

APPROVED: FOR PUBLIC WATER AND

COUNTY HEALTH PEPARTMENT

PLANHING DIRECTOR I

PUBLIC SEWERAGE SYSTEMS, HOWARD

APPROVED : HOWARD COUNTY OFFICE OF

STORM DEALNAGE SYSTEMS AND ROADS HOWARD

APPROVED

PLANNING BOARD

OF HOWARD COUNTY

DATE 6-26-85

LEGEND

--- 370 --- Existing Contours (2'Interval)

370x0 Proposed Spot Elevation

T.C./BC. Top Curb / Bottom Curb

7 Concrete Curb and Gutter

Handicapped Sign

building Entrance

"Reserved for

(Indicated)

CUCUS Existing Tree Line

Difuminous Walks

11111 Pointed Lines

- 370 - Proposed Contours (2'Interval)

FF.000.0 Proposed finished Floor Elevation

x x x Existing Curb (To Be Removed)

Handicapped Persons"

8-27-81

DATE

3.53.85

COUNTY DEPARTMENT OF PUBLIC WORKS

TCHIEF, BUREAU OF ENGINEERING

MAAHNING AND ZONING

COLUMBIA

SITE DEVELOPMENT PLAN

TOWN CENTER SECTION 2 AREA 5 PARCELS A, B & C

SHEE

SHEET ! OF 25 5TH ELECTION DISTRICT, HOWARD COUNTY MARYLAND SCALE: AS SHOWN

Proposed Widening and Hew Sidewalk APPROVED FOR PUBLIC WATER AND SEWERAGE HEALTH OFFICER, HOWARD COUNTY HEALTH DEPT. 2 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING

10-3-19

PAUL G. CAVANAUGH

9.27.19

DEVELOPMENT ENGINEERING DIVISION USP

Existing Road

LICENSE NO. 12975, EXPIRATION CARLK. GUTSCHICK PROFESSIONAL ENGINEER

Service Entrance

SOUTH ELEVATION ~ PROPOSED OFFICE BUILDING

Scale: Hor 11:50

AS-BULT CERTIFICATION

I HEREBY CERTIFY, BY MY SEAL, THAT TO THE BEST OF MY KNOWLEDGE AND
BELIEF, THE FACILITIES SHOWN ON THIS PLAN WERE CONSTRUCTED AS SHOWN ON

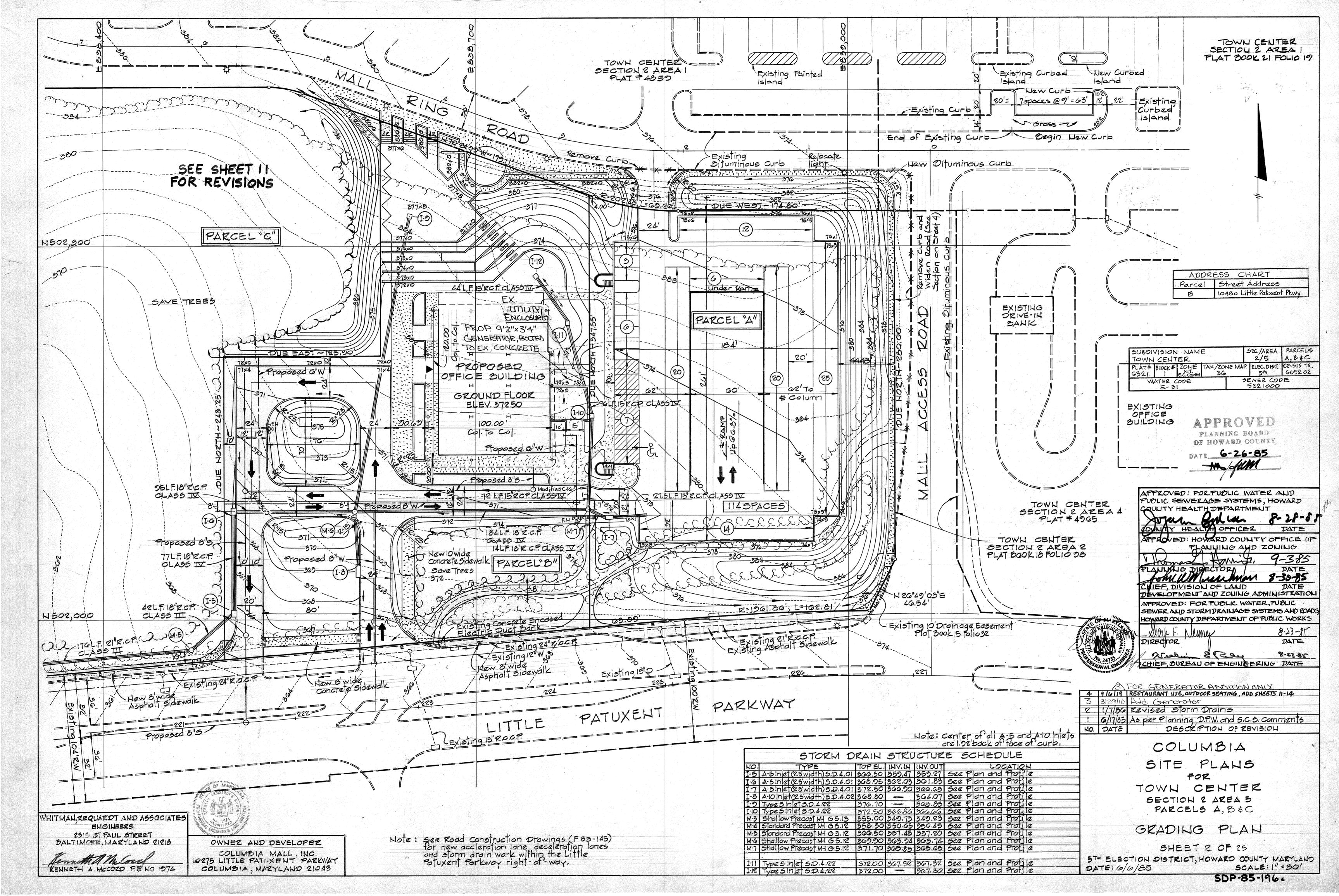
THIS "AS-BUILT" PLAN AND MEET THE APPROVED PLANS AND SPECIFICATIONS

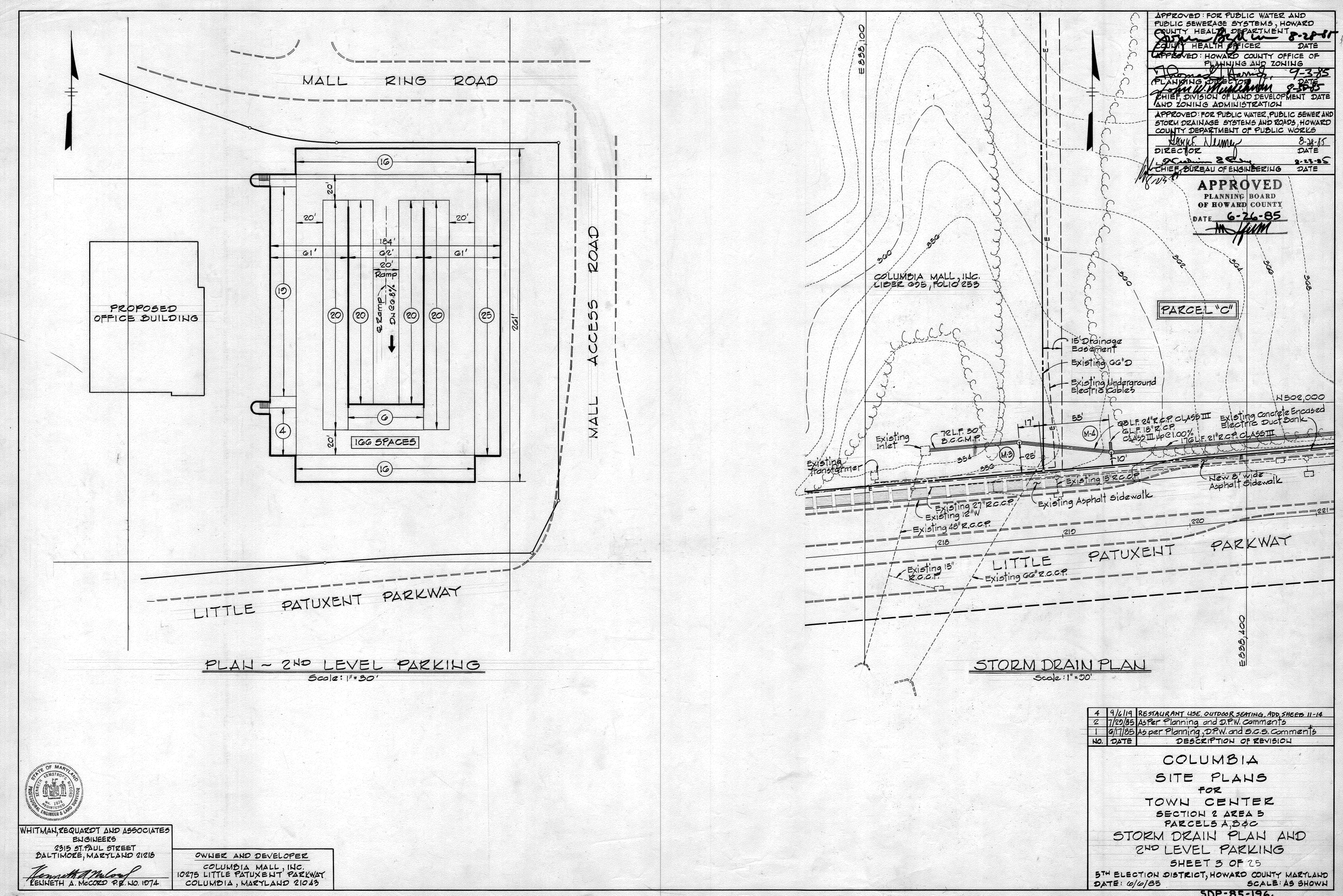
PROFESSIONAL ENGINEER NO. 27020

IS-BUILT DATE NOVEMBER 2022 AS-BUILT SHEET 10F3 DATE: 4-23-85

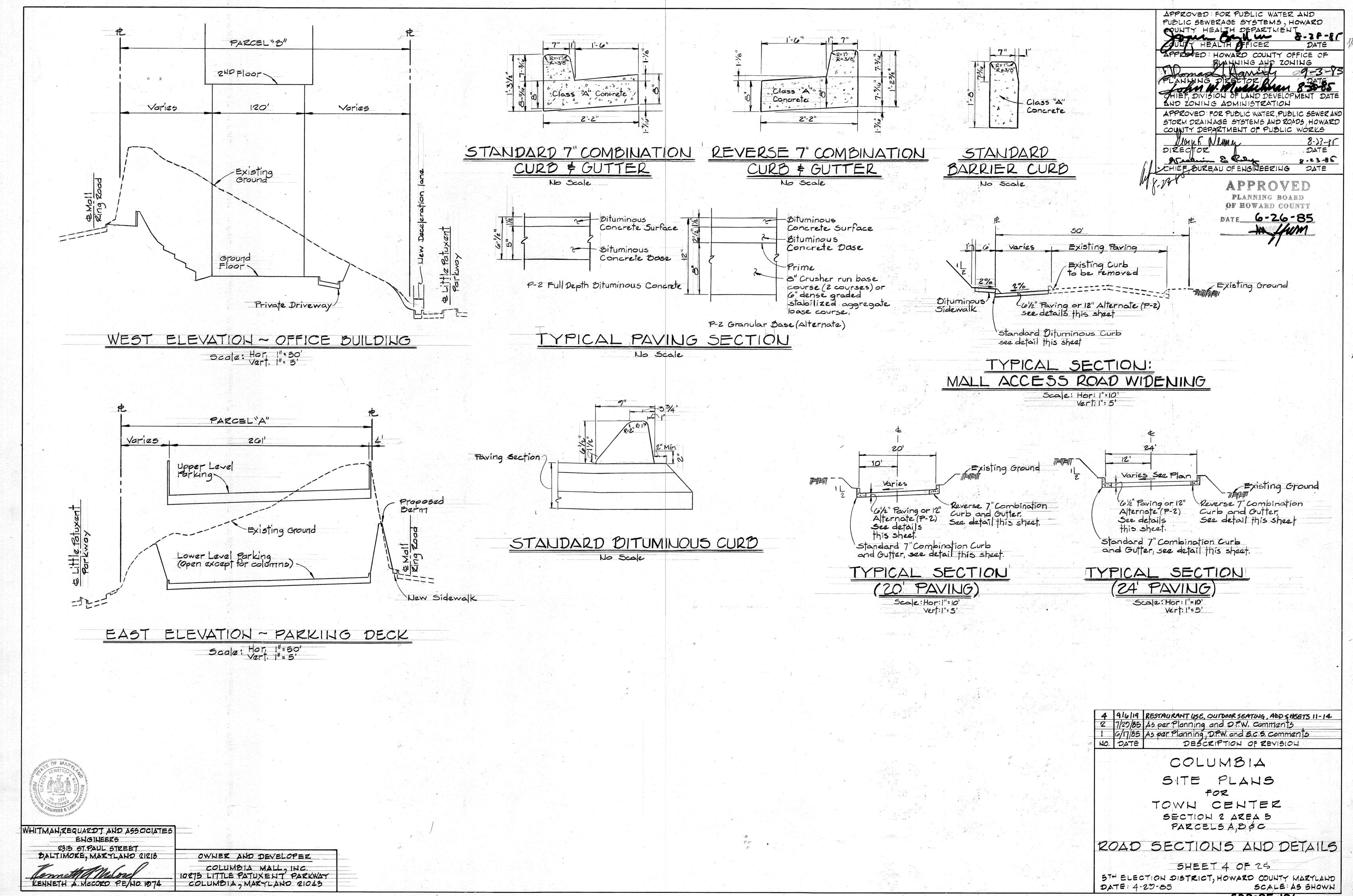
SDP-85-1964

SEC./AREA

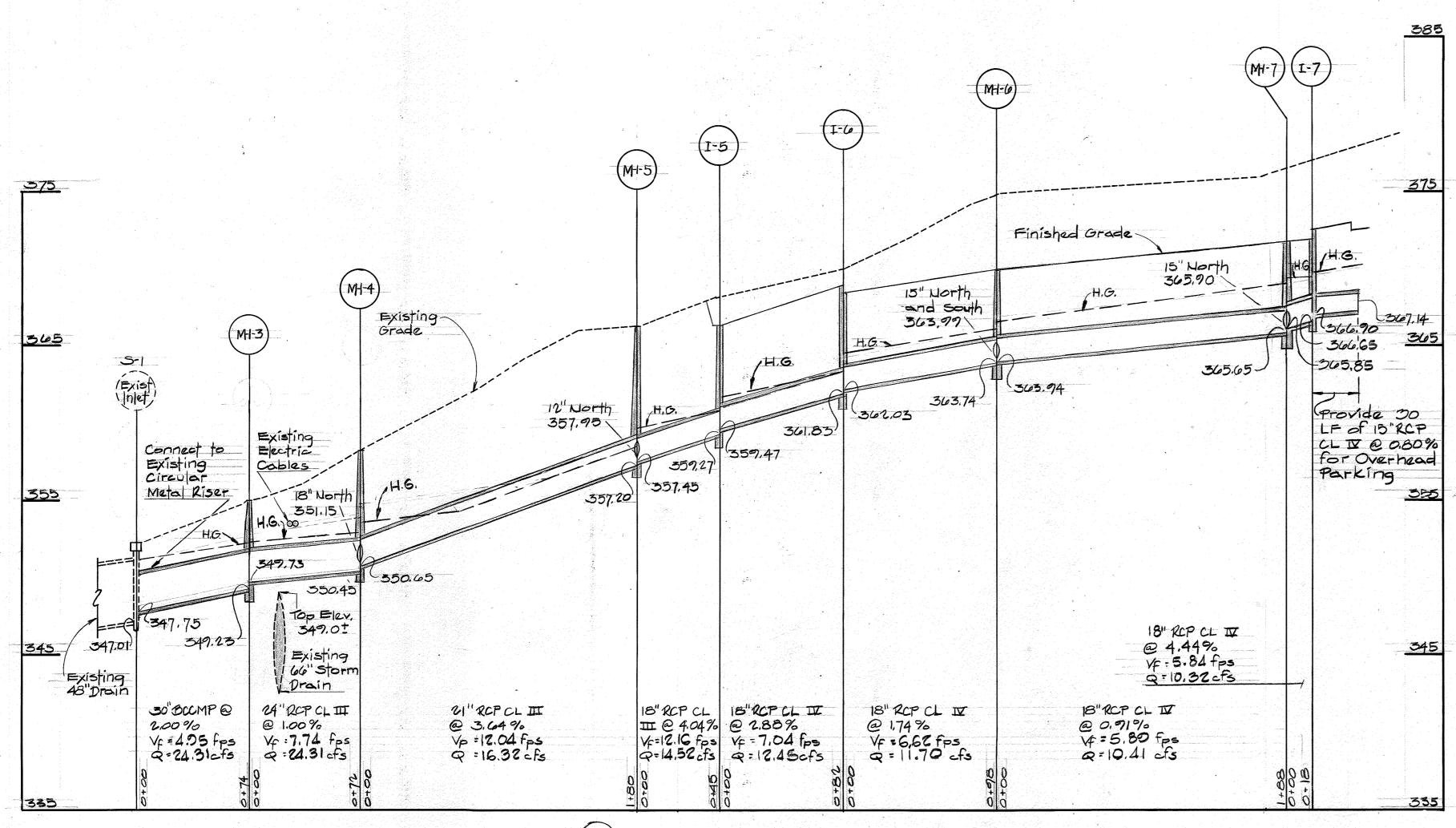


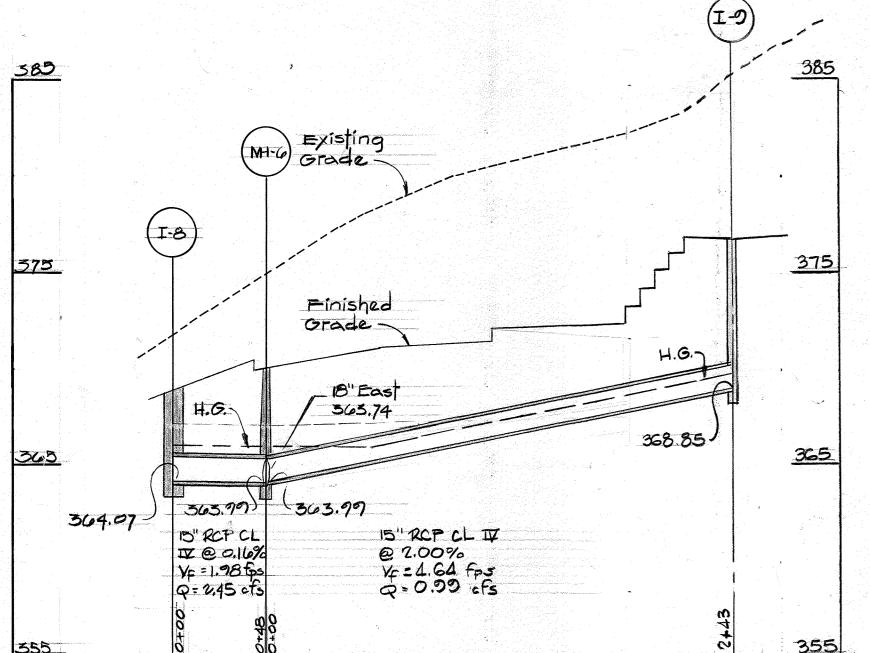


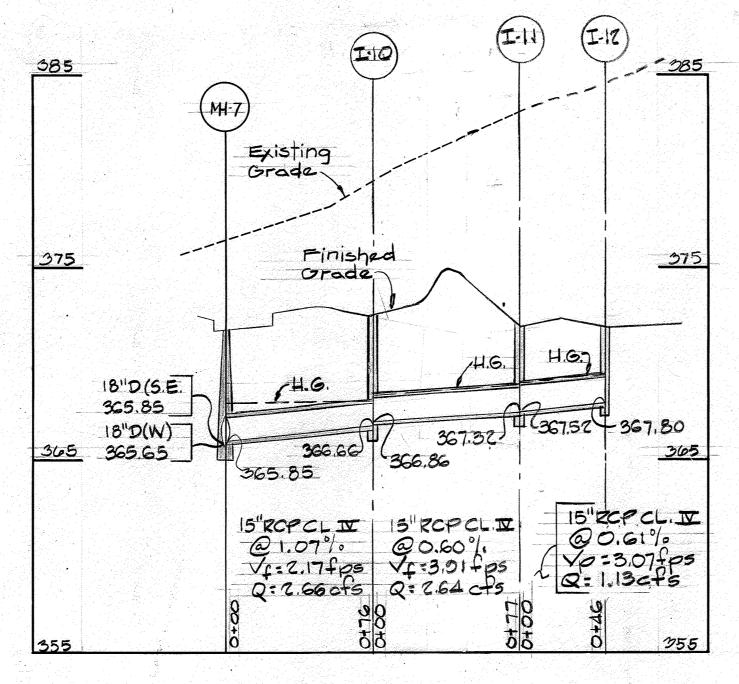
5DP-85-196.



SDP-85-196.









WHITMAN, REQUARDT AND ASSOCIATES ENGINEERS

2315 ST. PAUL STREET BALTIMORE, MARYLAND 21218

GENNETH A. McCORD P.E. NO. 1974

OWNER AND DEVELOPER. COLUMBIA MALL, INC.
10275 LITTLE PATUXENT PARKWAY COLUMBIA, MARYLAND 21043

PROFILES. Scale: Hor: 1"=50' Vert:1"=5'

PUBLIC SEWERAGE SYSTEMS, HOWARD CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DEAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS DATE 8-23-85 BUREAU OF ENGINEERING DATE OF HOWARD COUNTY

APPROVED : FOR PUBLIC WATER AND

4 91619 RESTAURANT USE, OUTDOOR SEATING, ADD SHEETS 11-14
3 1/7/86 Revised Storm Drain Profiles
2 7/29/85 As per Planning and D.P.W. Comments

1 G/17/85 As per Planning, DPW and SCS Comments
NO. DATE DESCRIPTION OF REVISION

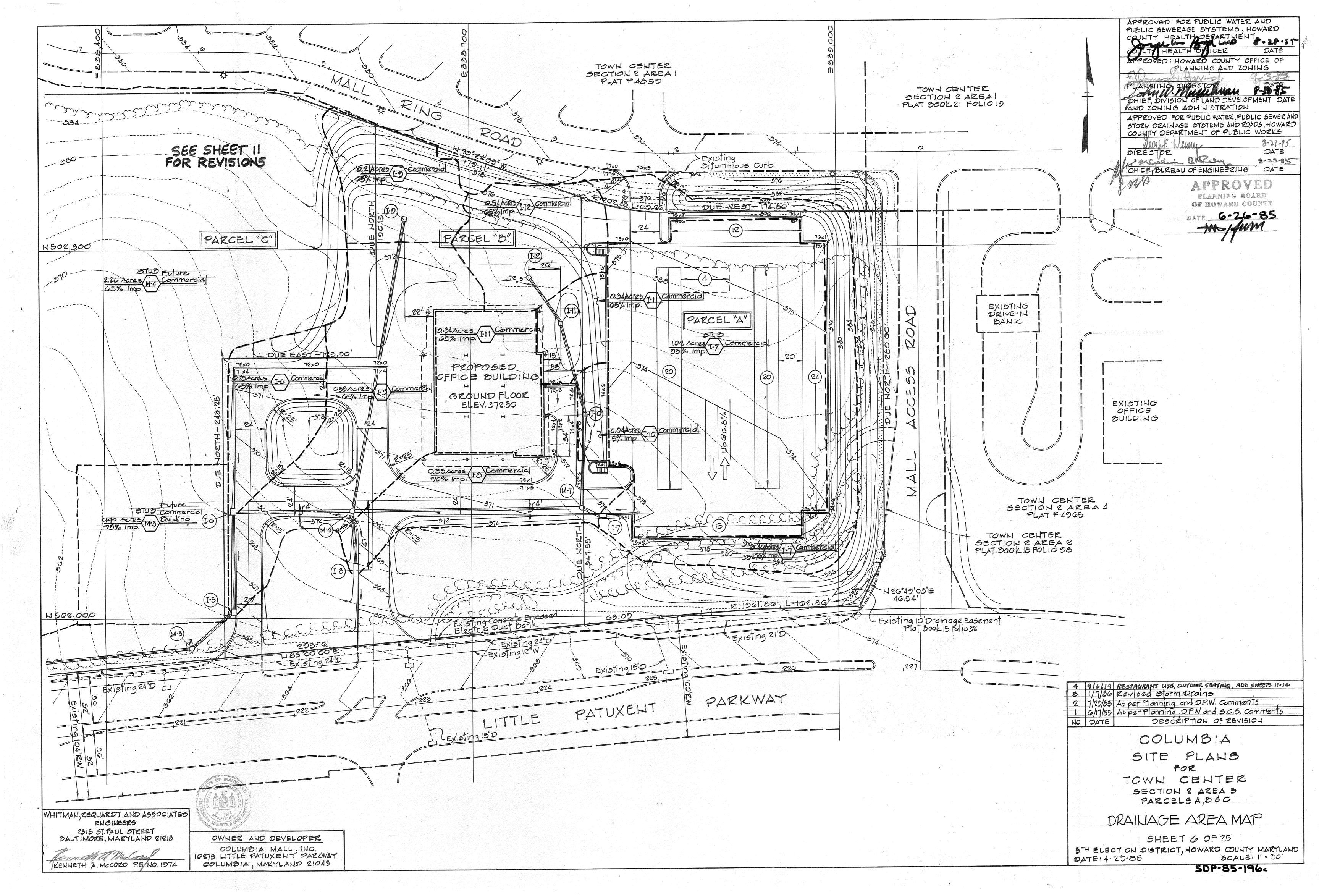
COLUMBIA

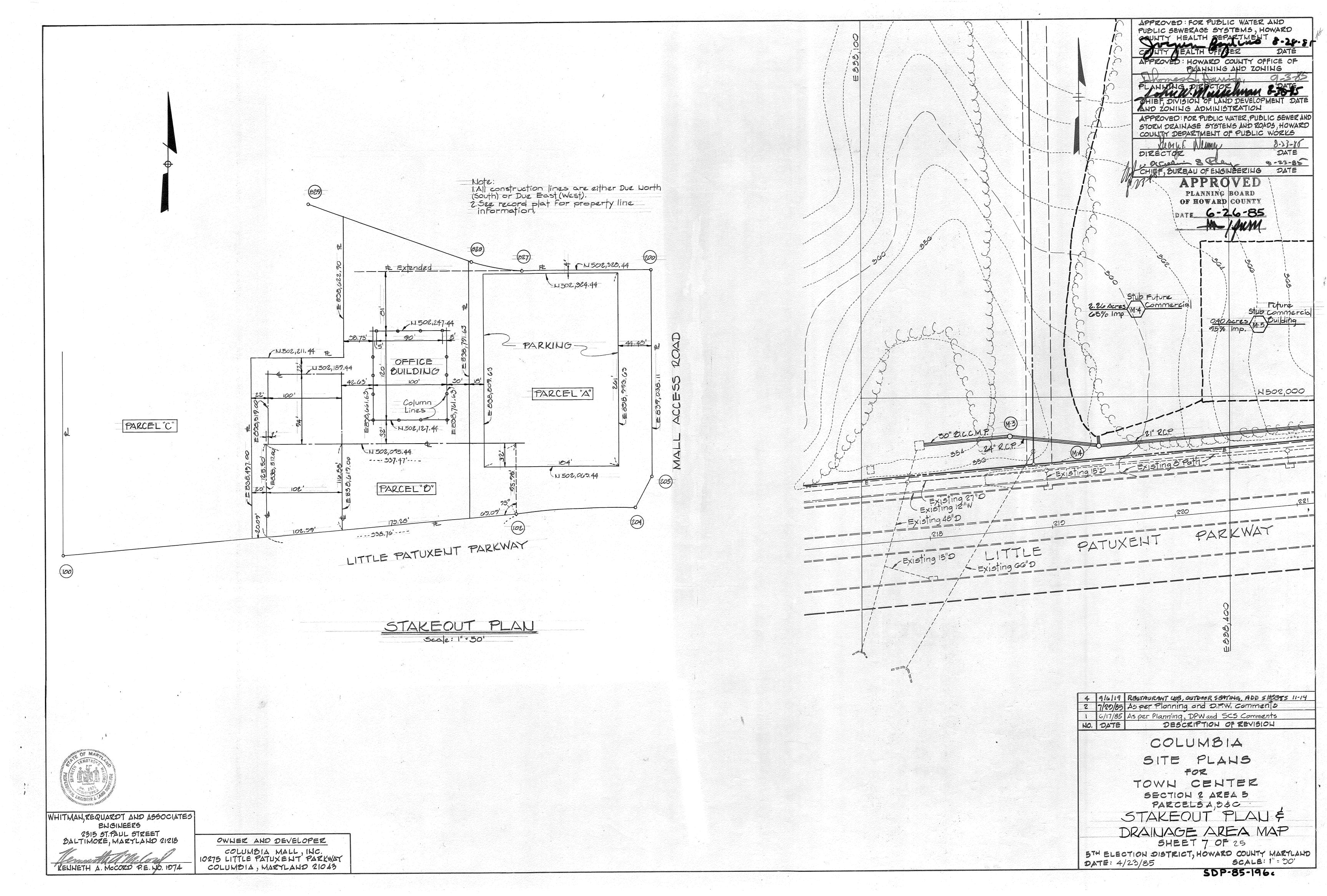
SITE PLANS FOR TOWN CENTER SECTION 2 AREA 5 PARCELS A, D&C

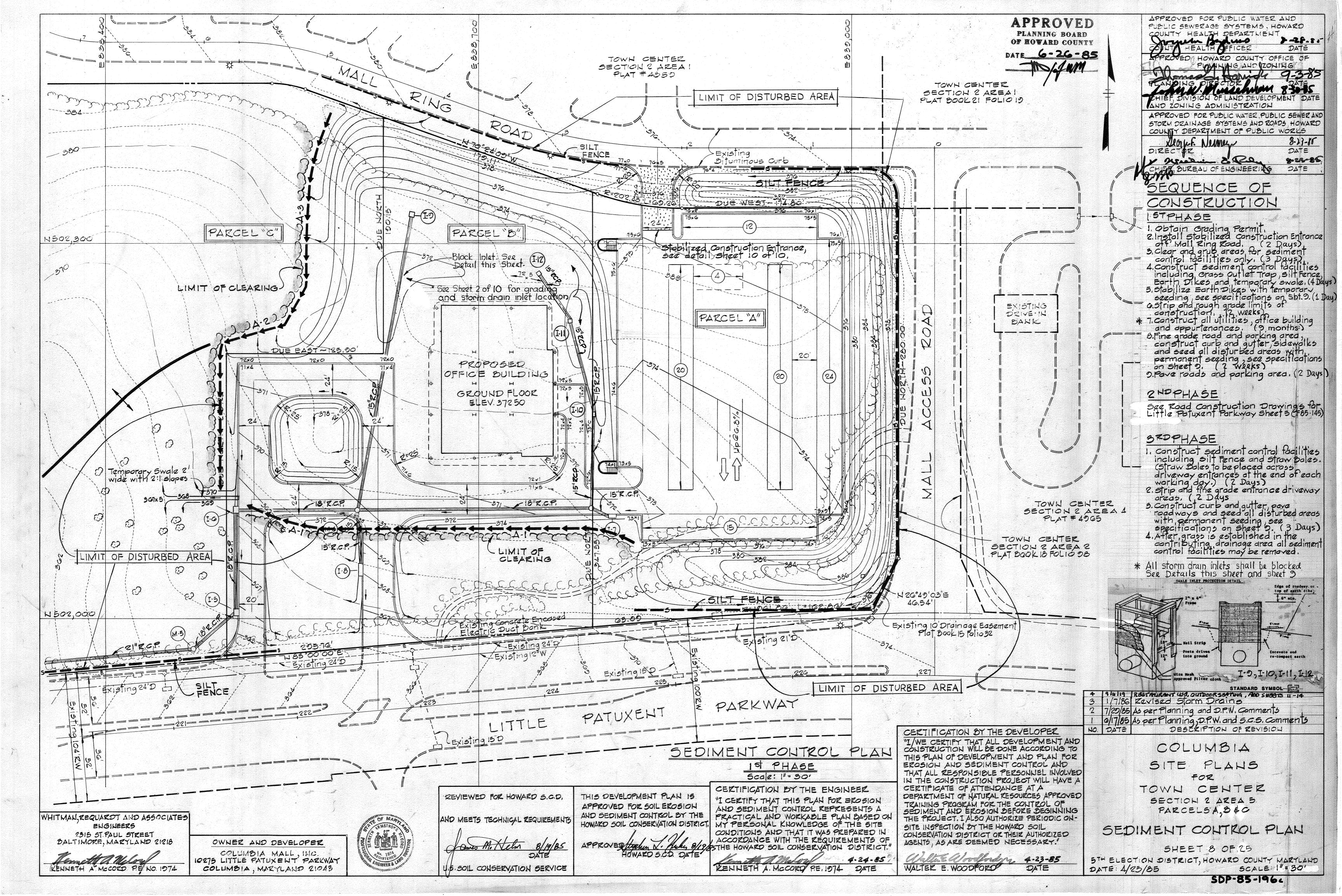
STORM DRAIN PROFILES

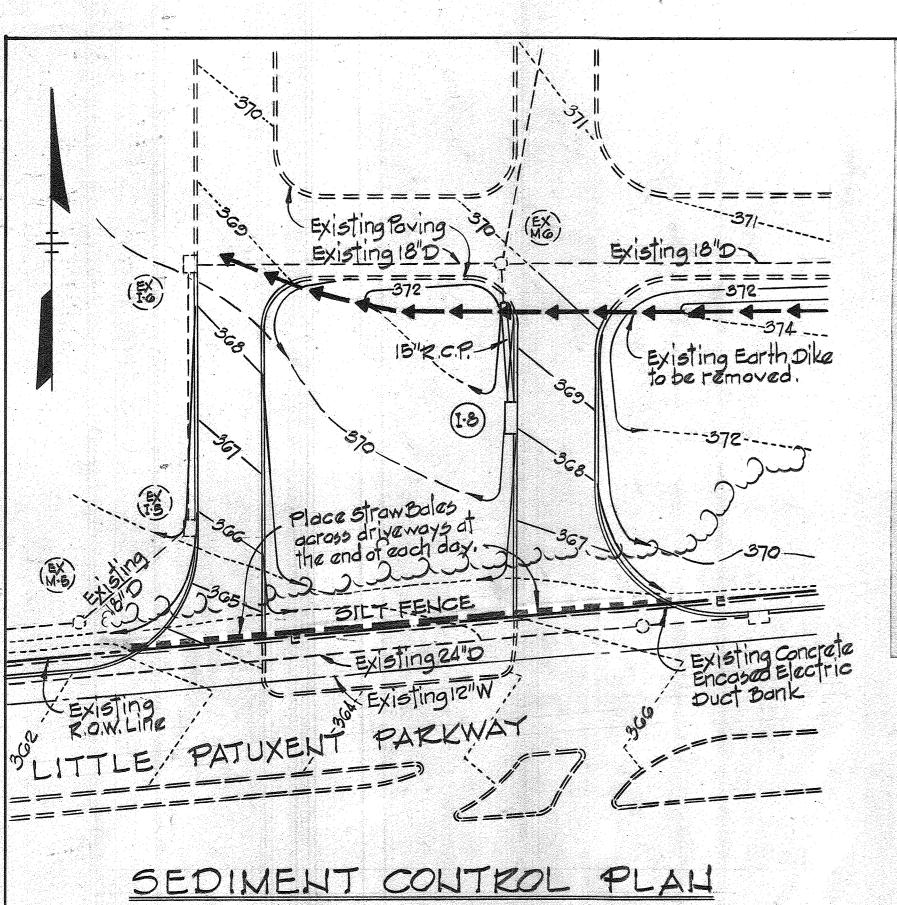
SHEET 5 OF 25 5TH ELECTION DISTRICT, HOWARD COUNTY MARYLAND DATE: 4-23-85 SCALE: AS SHOWN

SDP-85-196

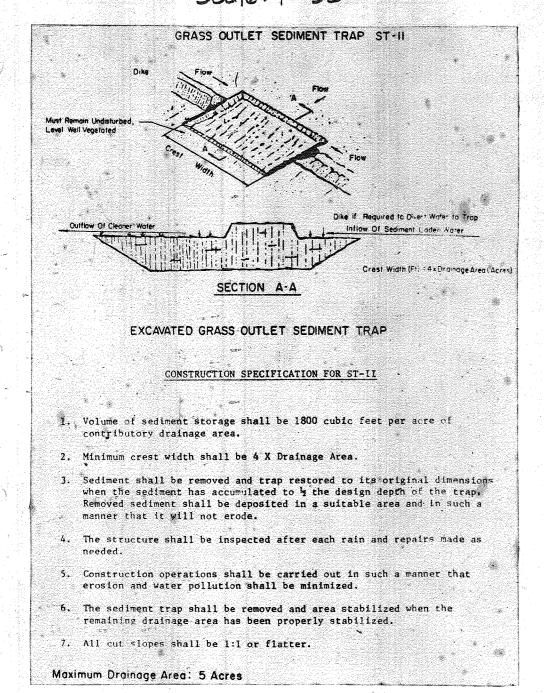


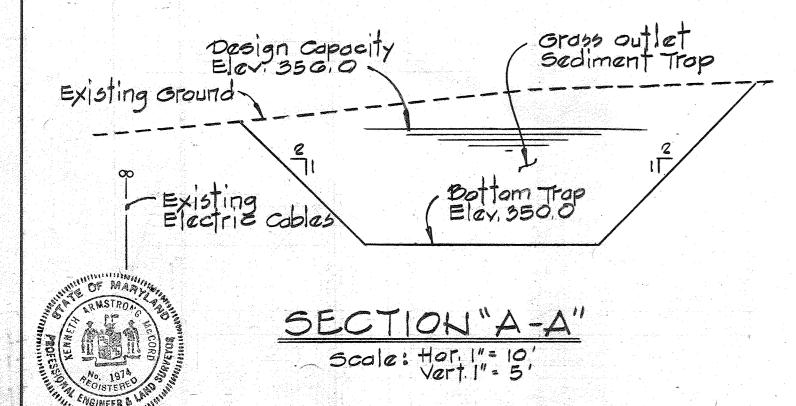






# 3FP PHASE Scale: 1"=30'

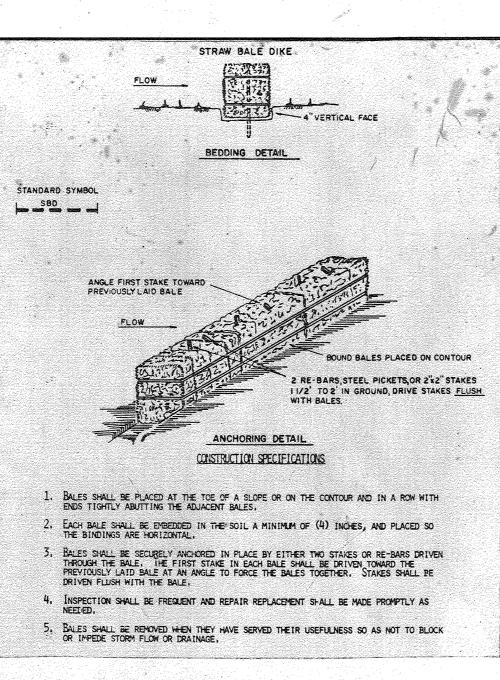


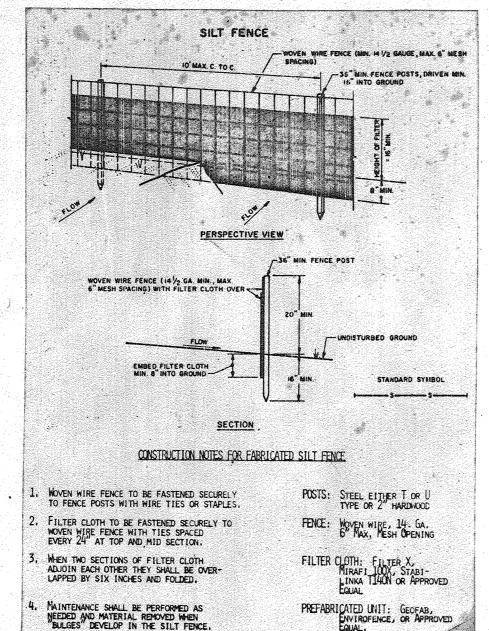


WHITMAN, REQUARDT AND ASSOCIATES ENGINEERS 2315 ST. PAUL STREET BALTIMORE, MARYLAND 21218

VENNETH A. MCCORD P.E. NO. 1974

OWNER AND DEVELOPER COLUMBIA MALL, INC. 10275 LITTLE PATUXENT PARKWAY COLUMBIA, MARYLAND 21043





# SEDIMENT CONTROL NOTES

- . 1) A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits
- 2) All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND
- 3) Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
- 4) All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chaper 12, of the HOWARD COUNTY DESIGN MANUAL. Storm
- 5) All disturbed areas must be stabilized within the time period specified above in accordance with the (Sec. 51) sod (Sec. 54), temporary seeding (Sec. 50) an mulching (Sec. 52.) Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and estab-
- 6) All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector
- 7) Site Analysis: Total Area of Site

  Area Disturbed

  Area to be roofed or pa ed

  Area to be vegetatively stabilized

  Total Cut

  Total Fill

  Offsite waste/borrow area location

  Acres

  Total Cut

  OCU. yds

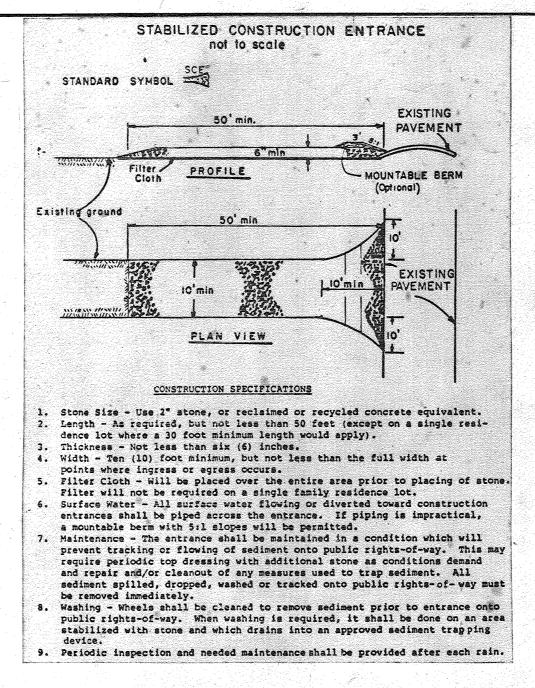
  OCU. yds

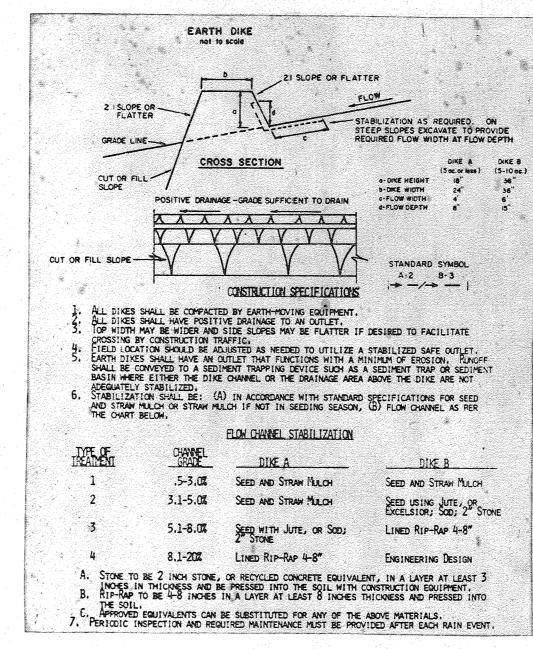
  OCU. yds

  OCU. yds

  OCU. yds

  OCU. yds
- 8) Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- 9) Additional sediment controls must be provided, if
- of the inspection agency shall be requested upon completion of proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.





# PERMANENT SEEDING NOTES

Seedbed Preparation: Loosen upper 3 inches of soil by raking, discing or other

1) Apply 2 tons per scre dolomitic limestone (92 lbs./1000 sq. ft.) and 1000 , lbs. per scre 10-10-10 fertilizer (23 lbs./1000 sq.ft.) before seeding.

2) Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq.ft.) and 600 lbs. per acre 10-10-10 fertilizer (14 lbs/1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs. per acre 30-0-0 ureafors fertilizer (9lbs./1000 sq. ft.)

Seeding -For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs. per acre (1.4 lbs/1000 sq.ft.) of Kentucky 31 Tall Fescus. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescus per acre and 2 lbs per acre (.05 lbs/1000 sq.ft.) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1)-2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) use sod. Option (3) - seed with 60 lbs./scre Kentucky 31 Tall Fescus and mulch with 2 tons/acre well anchored straw.

Mulching - Apply 1% to 2 tons per acre (70 to 90 lbs./1000 sq.ft.) of unrotted small grain atrew immediately after seeding. Anchor mulch immediately after application using 218 gallons per acre (5 gallons/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gallons/1000 sq.ft.) for anchoring.

Maintenance - Inspect all seeded areas and make needed repairs, replacements, and

TEMPORARY SEEDING NOTES Seedbed Preparation: Loosen upper } inches of soil by raking, discing or other acceptable means before seeding.

Seeding: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2½ bu. per scre of annual rye (3.2 lbs./1000 sq. ft.) For the period May 1 thru August 14, seed with 3 lbs. per scre of weeping lovegrass (.07 lbs./1000 sq.ft.) For the period November 16 thru February 28 protect site by applying 2 tons per scre of well anchored straw mulch and seed as soon as possible in the spring or screened.

Mulching - Apply 14 to 2 tons per acre (70 to 90 lbs./1000 sq.ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using 218gallons per acre (5 gal./1,000 sq. ft.) of emulsified asphalt on flat areas. On slopes, 8 ft. or higher, use 348 gal. per acre (8 gal./1000 sq.ft.)

THIS DEVELOPMENT PLAN IS

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT

IST PHASE

5cole: 1"= 30'

OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED HEGESSARY," WALTER E. WOODFORD DATE

Grass outlet sediment Trop, ST-11, see details this sheet Hickory N502,000 LBulkhead 24" & opening - LIMIT OF DISTURBED AREA. CERTIFICATION BY THE ENGINEER "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. 4.24.85 KENNETH A. MCCORD PE. 1974 DATE SEDIMENT CONTROL PLAN 4 1419 RESTAURANT USB, OUTDOOR SEATING, 400 SESSETS 11-14 2 7/29/85 As per Planning and D.P.W. Comments 1 6/17/85 As per Planning, D.P.W. and S.C.S. comments DESCRIPTION OF REVISION NO. DATE CERTIFICATION BY THE DEVELOPER COLUMBIA PLANS

APPROVED : FOR PUBLIC WATER AND

COUNTY HEALTH DEPARTMENT

AND ZONING ADMINISTRATION

CHIEF BUREAU OF ENGINEERING

PUBLIC SEWERAGE SYSTEMS, HOWARD

APPROVED : HOWARD COUNTY OFFICE OF

APPROVED: FOR PUBLIC WATER PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD

8-23-M

DATE

8-68-85

DATE

COUNTY DEPARTMENT OF PUBLIC WORKS

FOR

TOWN CENTER SECTION 2 AREA 5 PARCELS A, B&C SEDIMENT CONTROL PLAN

AND DETAILS

SHEET 9 OF 25 5TH ELECTION DISTRICT, HOWARD COUNTY MARYLAND DATE: 4/23/85 SCALE: AS SHOWN

REVIEWED FOR HOWARD S.C.D

AND MEETS TECHNICAL REQUIREMENTS

U.S. SOIL CONSERVATION SERVICE

APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT,

APPROVEDENDEN X. fully 8/1; HOWARD 5.0.D. DATE

Existing 15"D

SED MENT TRAP

DRAINAGE AREA -4. GACKES

VOLUME AVAILABLE : 315 CY

DESIGN CAPACITY ELEV. 356.0 BOTTOM TRAP ELEV. 350.0

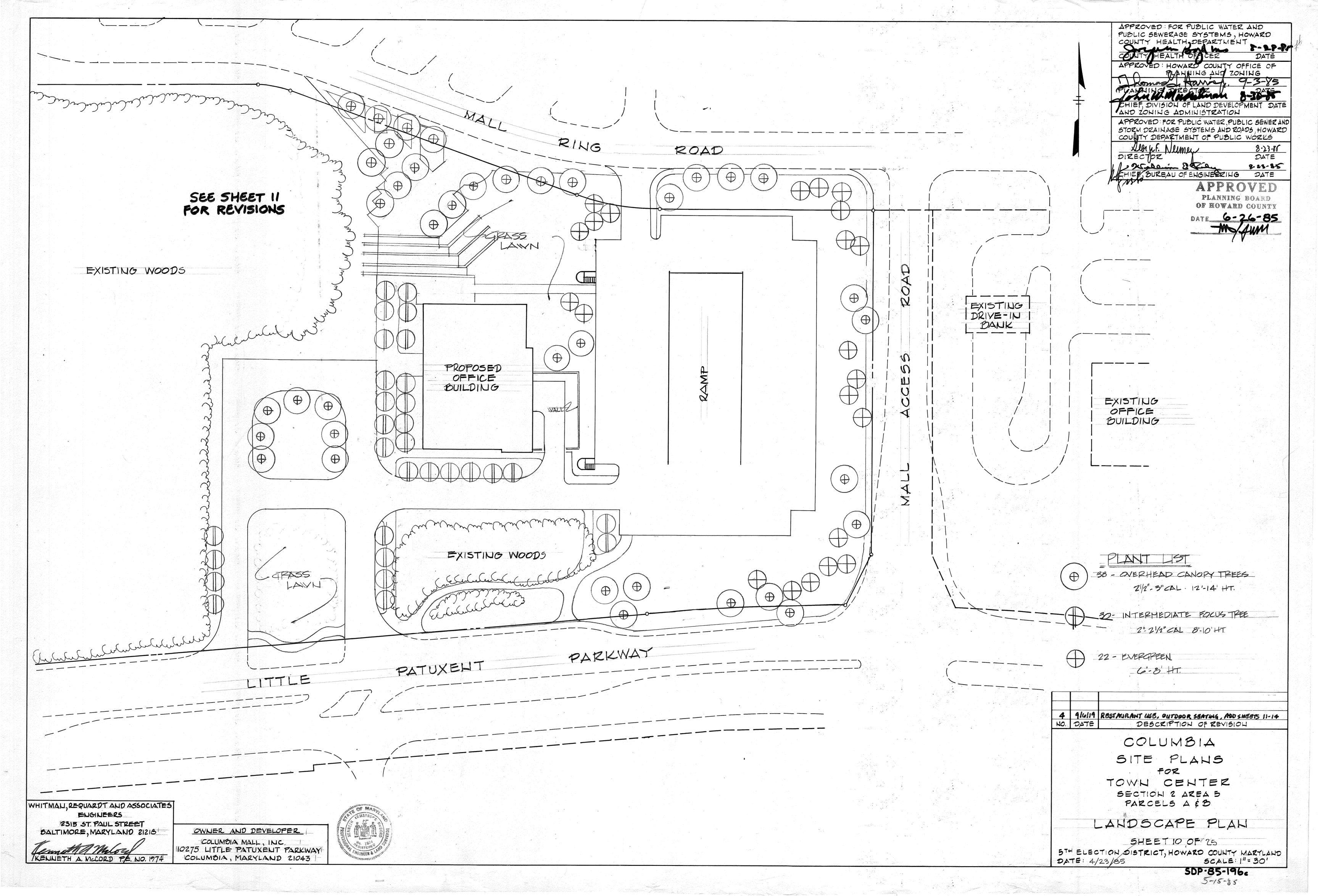
TOP BERM ELEV, 358, Q

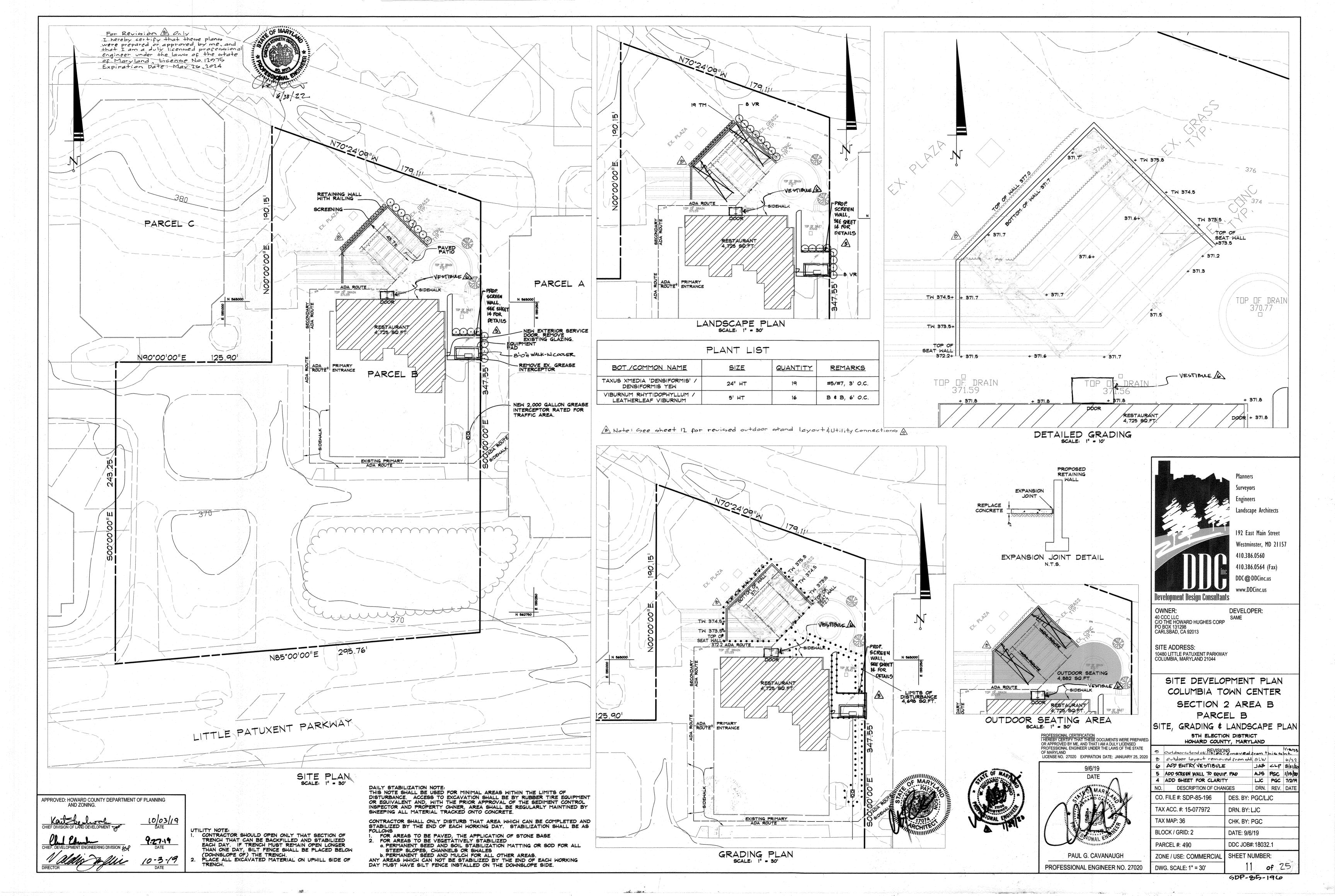
CURB INLET PROTECTION DETAIL

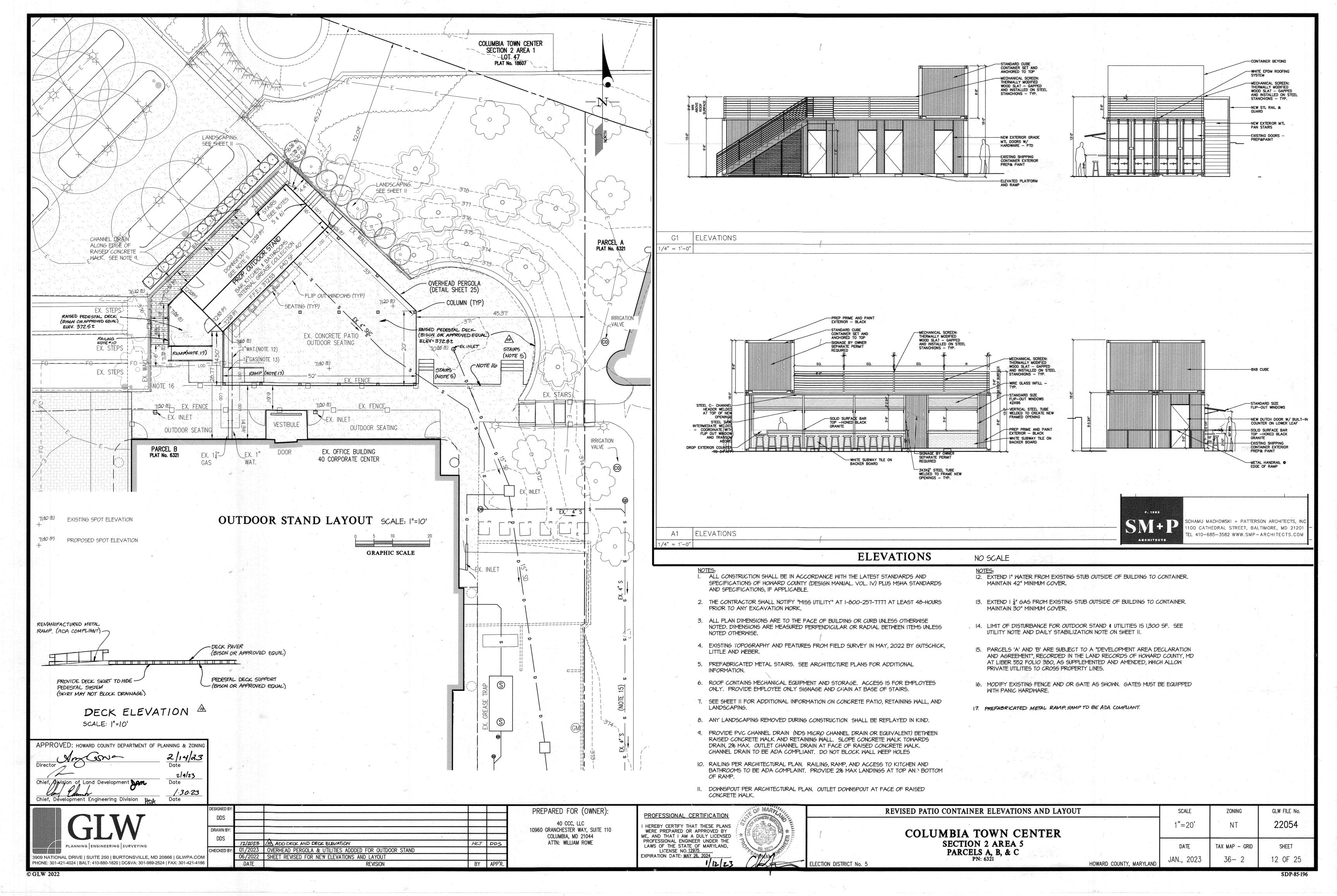
VOLUME REQUIRED - 4.6 x 67 = 308C.T.

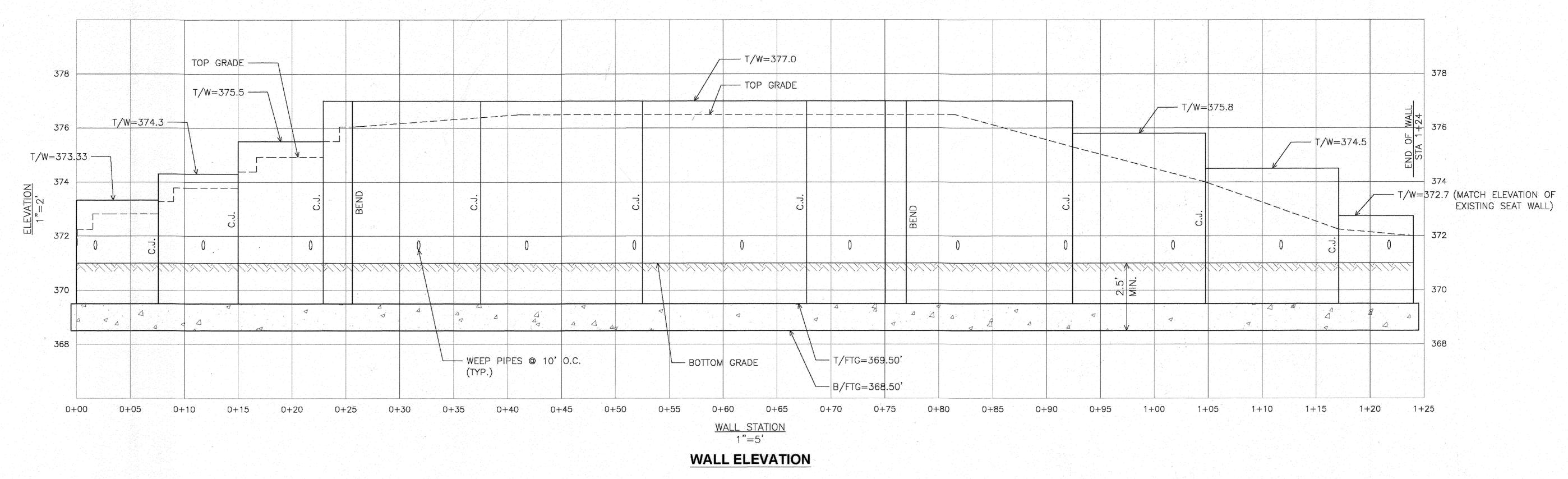
DESIGN DATA

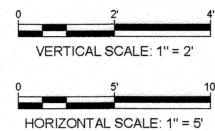
SDP-85-196C

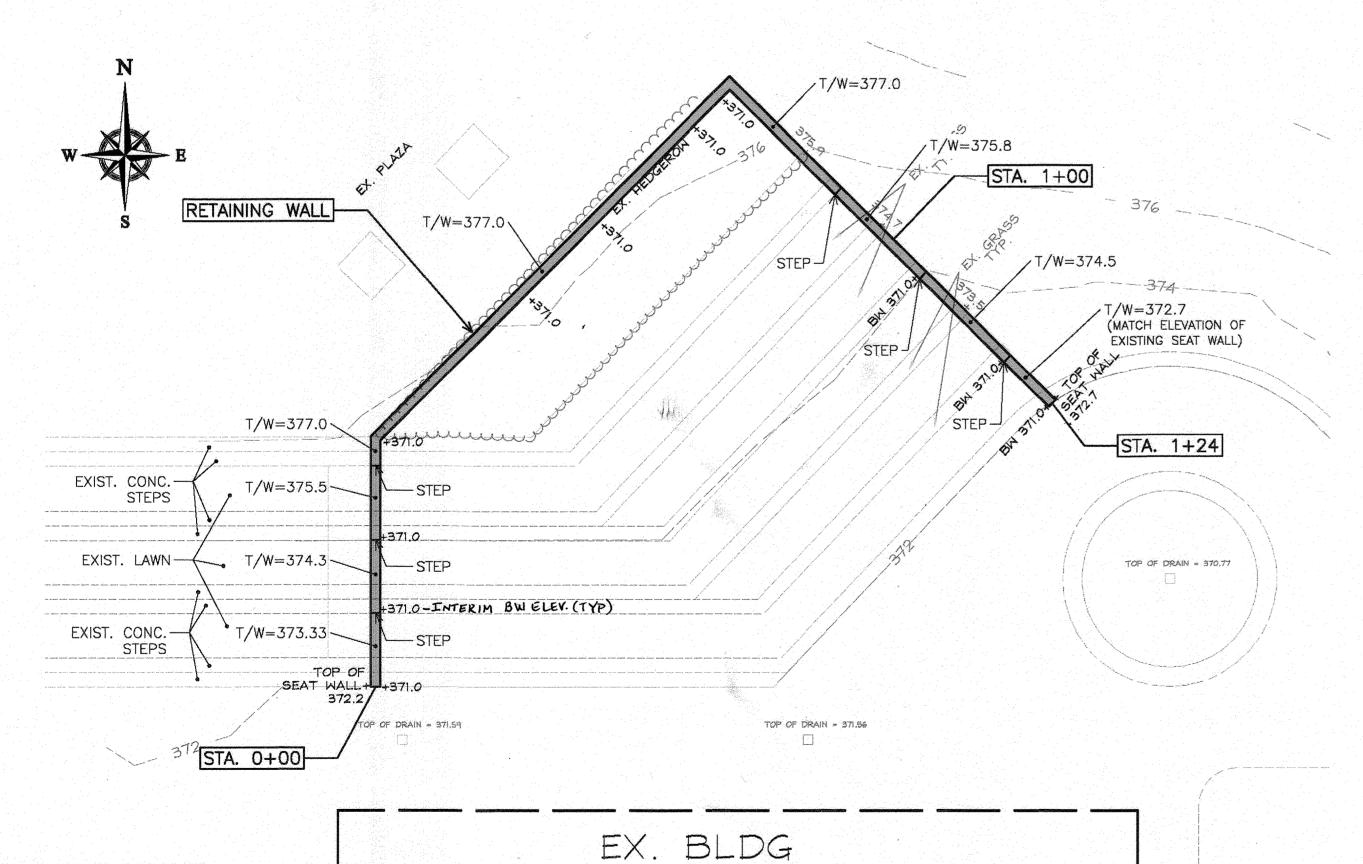












APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

10975 Guilford Road, Suite A Annapolis Junction, Maryland

Phone: (410) 880-4788 www.hcea.com Fax: (410) 880-4098

10-03-19 DATE RETAINING WALL

1'-10"

8" THICK CONCRETE
RETAINING WALL

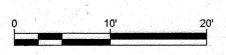
1'-6"

STA. 1+24

STA. 1+24

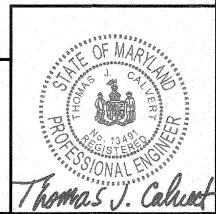
STA. 0+00

RETAINING WALL PLAN VIEW SCALE: 1" = 10'



PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS
WERE PREPARED OR APPROVED BY ME,
AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE
LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 13491,
EXPIRATION DATE: 06/16/19.



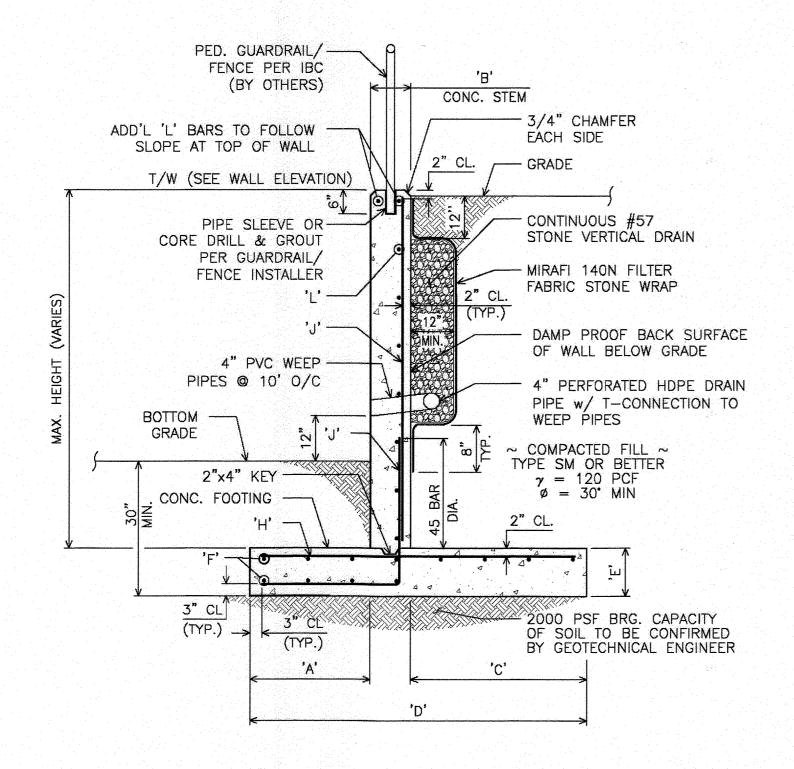
CONCRETE RETAINING WALL PLANS AND ELEVATION
10480 LITTLE PATUXENT PARKWAY

COLUMBIA, MARYLAND

RETAINING WALL LOCATION PLAN

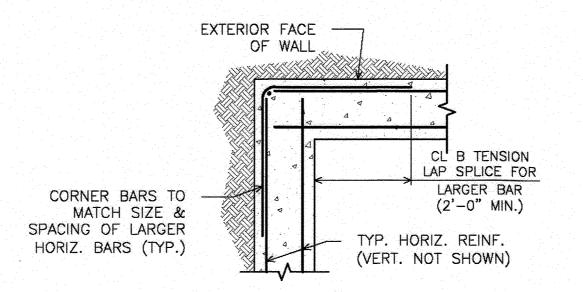
SCALE: 1" = 10'

/ISION NO.	DESCRIPTION	DATE	JOB NUMBER: 19217A	DESIGNED BY:	AM	
			SCALE: AS SHOWN	DRAWN BY:		13 of
					Alvi	25
			DATE: 4/23/19	APPROVED BY:	TJC	SHEET



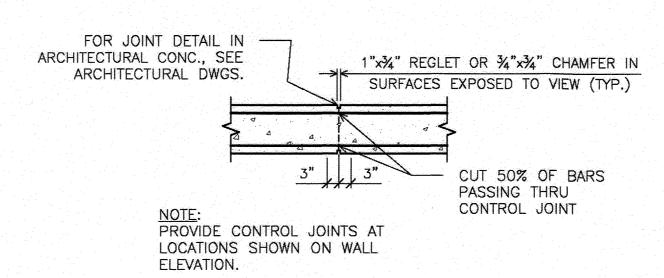
# TYPICAL CONCRETE WALL SECTION NOT TO SCALE

					CONCRE	TE WALL S	SCHEDULE				
WALL	<b>ALL</b>	WALL MAX. HT.	WALL STEM & FOOTING DIMENSION				FOOTING REINF.		STEM REINF.		
TY	PE		TOE 'A'	STEM'B'	HEEL 'C'	WIDTH 'D'	THICK 'E'	'F'	'H'	IJ	<b>"L</b>
	Δ	7'-6"	2'-3"	8"	1'-10"	4'-9"	12"	#4@12"	#4@12"	#5@12"	#4@12"
E	3	5'-0"	2'-3"	8"	10"	3'-9"	12"	#4@12"	#4@12"	#5@12"	#4@12"
(	c	4'-0"	1'-6"	8"	10"	3'-0"	12"	#4@12"	#4@12"	#5@12"	#4@12"

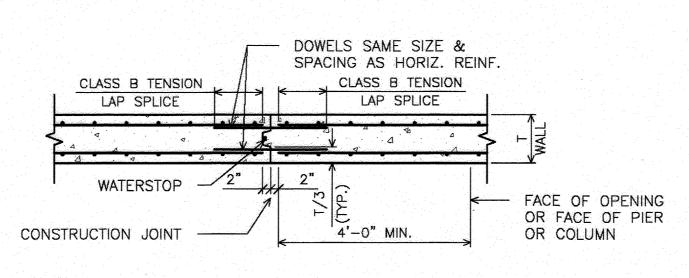


# **OUTSIDE CORNER**

## CONCRETE WALL BAR BENDING DETAIL NOT TO SCALE



## **VERTICAL CONTROL JOINT** IN CONCRETE WALL NOT TO SCALE



NOTE: SEE CONTROL JOINT DETAIL IF CONSTRUCTION JOINT OCCURS AT C.J. LOCATION.

### TYPICAL VERTICAL **CONSTRUCTION JOINT IN WALL** NOT TO SCALE

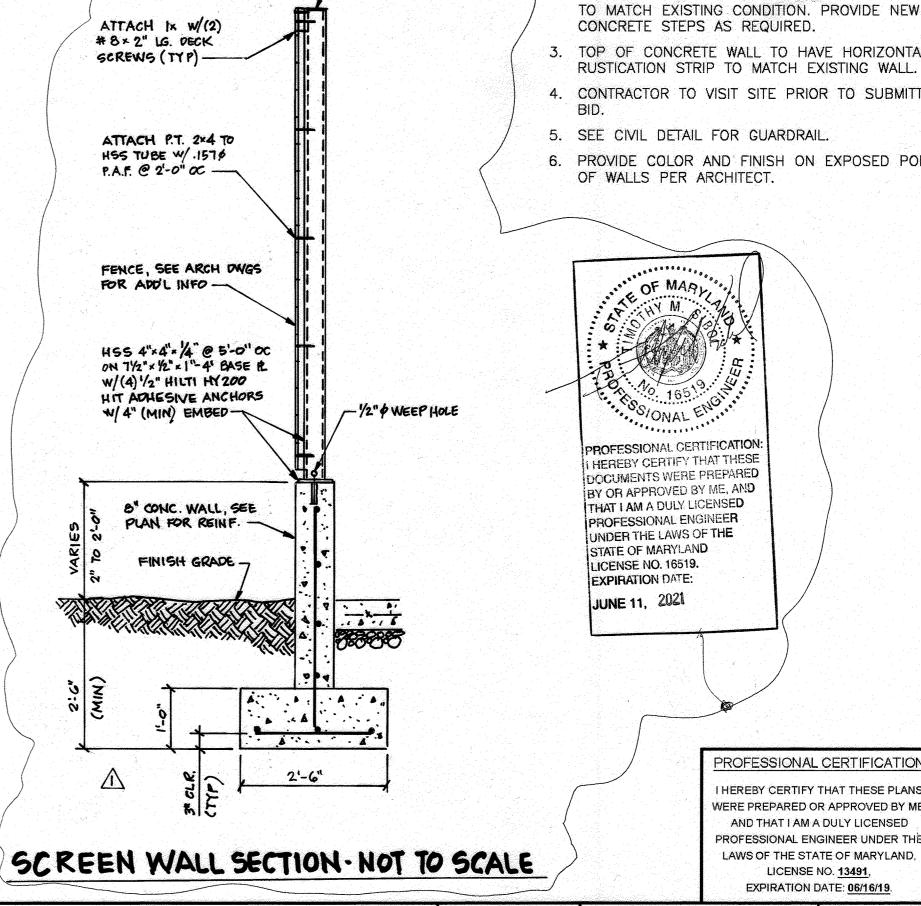
### GENERAL NOTES

- CONCRETE WORK SHALL CONFORM TO ACI 301 SPECIFICATIONS FOR STRUCTURAL CONCRETE.
- 2. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS WITH A MINIMUM CEMENT CONTENT OF 600 POUNDS PER CUBIC YARD.
- 3. ALL CONCRETE SHALL HAVE A SLUMP OF NO GREATER THAN 4" TO WITHIN A TOLERANCE OF 1".
- 4. ALL EXPOSED CONCRETE SHALL BE AIR-ENTRAINED, 6% (WITHIN 1% TOLERANCE), CONFORMING TO ASTM
- 5. ALL EXPOSED CONCRETE CORNERS SHALL BE FORMED WITH 3/4" x 3/4" MILLED CHAMFERED
- 6. REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60.
- 7. ALL REINFORCING STEEL LAP SPLICES NOT SHOWN SHALL BE A MINIMUM OF 45 BAR DIAMETERS.

- 1. FOOTING DESIGN BASED ON ASSUMED MINIMUM ALLOWABLE SOIL BEARING CAPACITY OF 2000 PSF. BEARING CAPACITY OF SUBGRADE SHALL BE CONFIRMED BY GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION. NOTIFY ENGINEER IF SOIL BEARING CAPACITY IS NOT ADEQUATE AT FOOTING ELEVATIONS INDICATED.
- 2. SUBGRADE TO BE FREE OF ORGANICS AND BE SUITABLE, COMPACTED MATERIAL.
- 3. BACKFILL SHALL BE PERFORMED IN 8" LIFTS COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR COMPACTION TEST (ASTM D 698).
- 4. BACKFILL MATERIAL SHALL BE SM OR MORE GRANULAR IN ACCORDANCE WITH ASTM D2487.

### CONSTRUCTION

- RESTORE BRICK PLAZA AT TOP OF WALL TO MATCH THE EXISTING CONDITION.
- SAWCUT EXISTING CONCRETE STEPS AND RESTORE TO MATCH EXISTING CONDITION. PROVIDE NEW
- TOP OF CONCRETE WALL TO HAVE HORIZONTAL
- 4. CONTRACTOR TO VISIT SITE PRIOR TO SUBMITTING
- PROVIDE COLOR AND FINISH ON EXPOSED PORTION



- 1/8 " CAP & (WELD TIGHT

ALL AROUND

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING 10/03/19 DATE 9.27.19 DATE

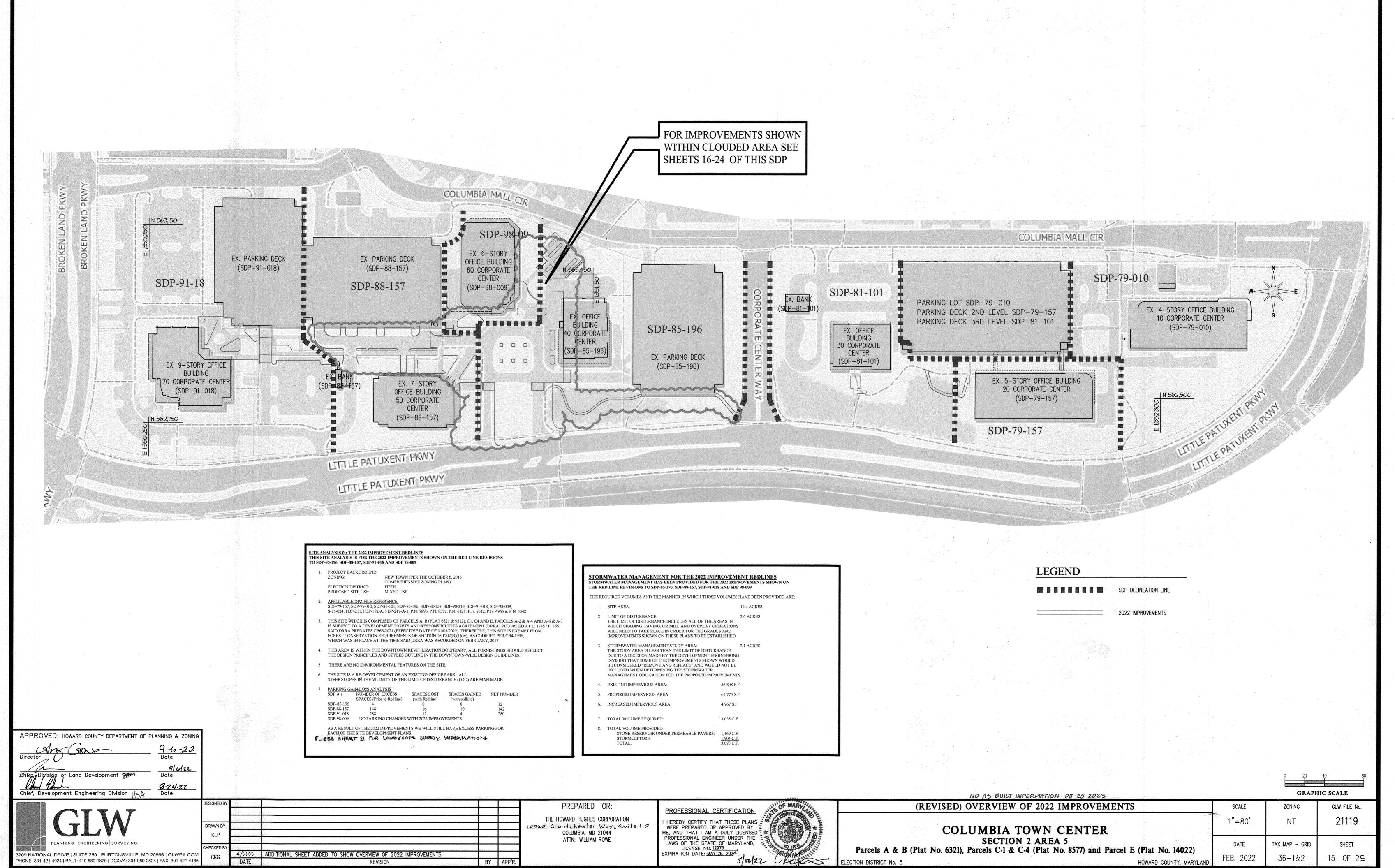
10975 Guilford Road, Suite A Annapolis Junction, Maryland

Phone: (410) 880-4788 www.hcea.com Fax: (410) 880-4098

**CONCRETE RETAINING WALL DETAILS** 10480 LITTLE PATUXENT PARKWAY COLUMBIA, MARYLAND

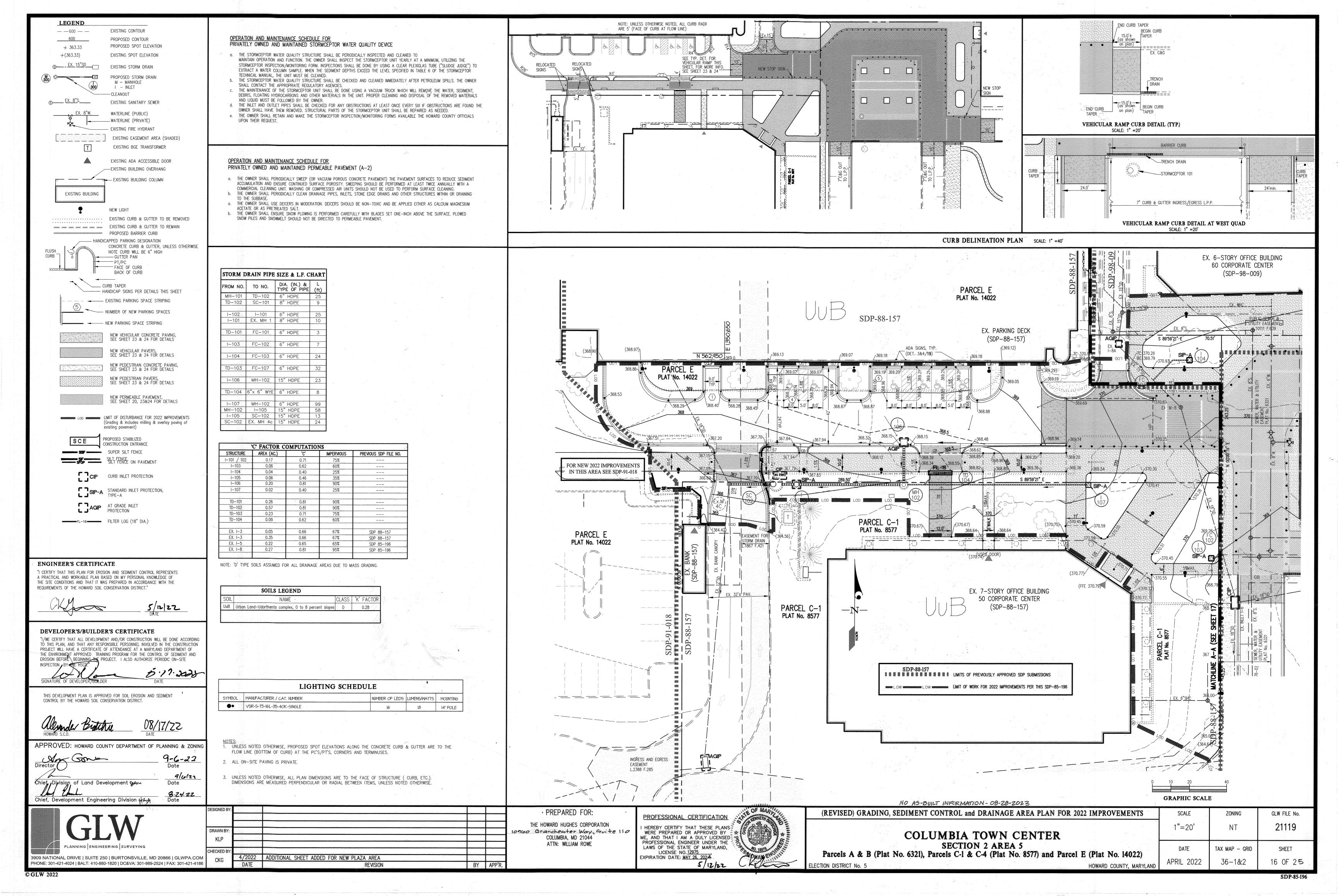
REVISION NO. JOB NUMBER DESCRIPTION 19217A 14 of AS SHOWN 25 APPROVED BY ADD DETAIL FOR SCREEN WALL SHEET

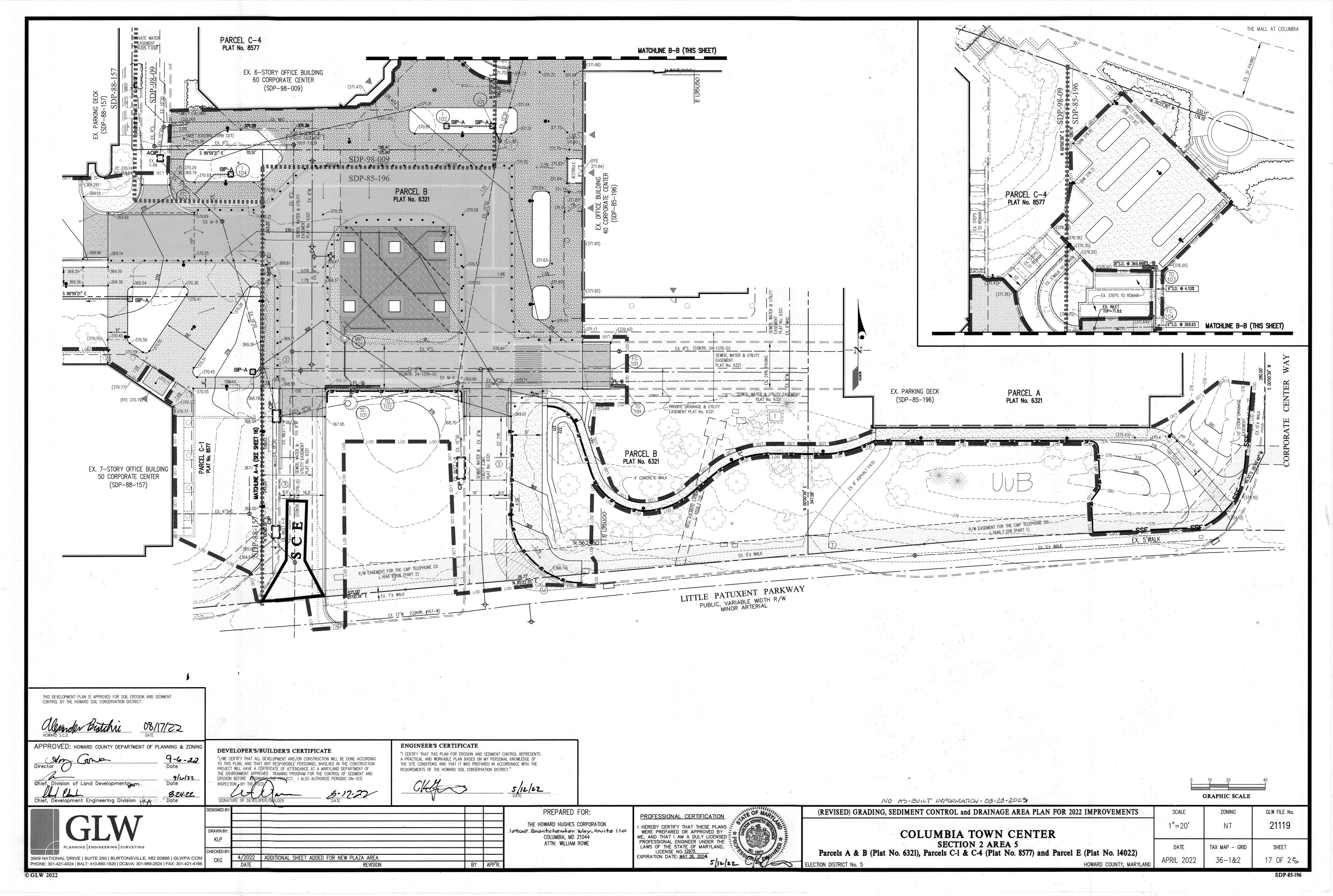
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SDP-85-196





#### STABILIZED CONSTRUCTION **B-4-2 STANDARD AND SPECIFICATIONS FOR SOIL B-4-3 STANDARDS AND SPECIFICATIONS FOR B-4-4 STANDARDS AND SPECIFICATIONS** SEDIMENT CONTROL NOTES DETAIL E-9-3 CURB INLET PROTECTION DETAIL E-3 SUPER SILT FENCE ENTRANCE FOR TEMPORARY STABILIZATION PREPARATION, TOPSOILING, AND SOIL AMENDMENTS **B-4-5 STANDARDS AND SPECIFICATIONS** SEEDING and MULCHING A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CID), 410-313-1855 AFTER THE FUTURE LOD AND PROTECTED AREAS ARE MARKED MOUNTABLE BERM (6 IN MIN:) FOR PERMANENT STABILIZATION DEFINITION DEFINITION CLEARLY IN THE FIELD. A MINIMUM OF 48 HOUR NOTICE TO CID MUST BE GIVEN THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION. THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER. TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS. F6 FT MAX. SPACING OF % TO 1% STONE T TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION. NONWOVEN GEOTEXTILE MIN. 6 IN OF 2 TO 3 IN AGGREGATE OVER LENGTH AND WIDTH OF ENTRANCE -PIPE (SEE NOTE 6) UPON COMPLETION OF THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING, PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OR OPENING. OF ANOTHER PROBLEMS. 2 IN x 4 IN ANCHORS, 2 FT MIN. LENGTH GROUND SURFACE PROFILE TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS. TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR CONDITIONS WHERE PRACTICE APPLIES OF ANOTHER GRADING I GALVANIZED CHAIN LINK FENCE WIT WOVEN SLIT FILM GEOTEXTILE ON DISTURBED SOILS. A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION CONDITIONS WHERE PRACTICE APPLIES d. PRIOR TO THE REMOVAL OR MODIFICATION OF SEDIMENT CONTROL WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED. CONDITIONS WHERE PRACTICE APPLIES TO THE SURFACE OF ALL PERIMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED NOT UNDER ACTIVE GRADING. EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE. - 2 IN x 4 IN WEIR UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE. OTHER RELATED STATE AND FEDERAL PERMITS SHALL BE REFERENCED, TO ENSURE COORDINATION AND TO AVOID CONFLICTS WITH THIS PLAN. LEDGE OF GUTTER PAN WOVEN SLIT FILM GEOTEXTILE -FLOW SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR THE . SOIL PREPARATION PLAN VIEW APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3). AND ENTER THEM IN THE A. SEEDING CONSTRUCTION SPECIFICATIONS ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDIN TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE . TEMPORARY STABILIZATION USE NOMINAL 2 INCH x 4 INCH LUMBER TEMPORARY SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES, SEEDING DATES . USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS. AND SEEDING DEPTHS. IF THIS SUMMARY IS NOT PUT ON THE PLAN AND COMPLETED. 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THERETO. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: 3 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1,7 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE CROSS SECTION CONSTRUCTION SPECIFICATIONS SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY 3. NAIL THE 2x4 WEIR TO 9 INCH LONG VERTICAL SPACERS (MAXIMUM 6 FEET APART). THEN TABLE B.1 PLUS FERTILIZER AND LIME RATES MUST BE PUT ON THE PLAN. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (\*30 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS. MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT, SUCH AS DISC a. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE a. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. . ATTACH A CONTINUOUS PIECE OF 1/2 INCH GALVANIZED HARDWARE CLOTH, WITH A MINIMUM WIDTH O 30 INCHES AND A MINIMUM LENGTH OF 4 FEET LONGER THAN THE THROAT OPENING, TO THE 2x4 WEIR, EXTENDING IT 2 FEET BEYOND THROAT ON EACH SIDE. FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATES I HARROWS OR CHISEL PLOWS OR RIPPERS MOUNTED ON CONSTRUCTION EQUIPMENT. AFTER APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED INSTALL 2% INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX F LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND. HE SOIL IS LOOSENED, IT MUST NOT BE ROLLED OR DRAGGED SMOOTH BUT LEFT IN THE THE TESTING AGENCY SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDING. LABORATORY, ALL SEED USED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS CONDITION OR PURPOSE FOUND ON TABLE B.2. ENTER SELECTED MIXTURE(S). APPLICATION PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 5-1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAG TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT. ROUGHENED CONDITION. SLOPES 3:1 OR FLATTER ARE TO BE TRACKED WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS. . PLACE A CONTINUOUS PIECE OF NONWOVEN GEOTEXTILE OF THE SAME DIMENSIONS AS THE HARDWARE CLOTH OVER THE HARDWARE CLOTH AND SECURELY ATTACH TO THE 2x4 WEIR. IMMEDIATELY PRECEDING THE DATE OF SOWING SUCH MATERIAL ON ANY PROJECT WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO FASTEN 9 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2% INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR HUG RINGS. MULCH OR STRAW MULCH ALONE AS PRESCRIBED IN SECTION B-4-3.A.1.B AND MAINTAIN REFER TO TABLE B.4 REGARDING THE QUALITY OF SEED. SEED TAGS MUST BE BE PLACED ON THE PLAN. PLACE THE ASSEMBLY AGAINST THE INLET THROAT AND NAIL TO 2x4 ANCHORS (MINIMUM 2 FEE' LENGTH), EXTEND THE ANCHORS ACROSS THE INLET TOP AND HOLD IN PLACE BY SANDBAGS OR OTHER APPROVED ANCHORING METHOD. AVAILABLE UPON REQUEST TO THE INSPECTOR TO VERIFY TYPE OF SEED AND ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR . INSTALL END SPACERS A MINIMUM OF 1 FOOT BEYOND THE ENDS OF THE THROAT OPENING PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIAL DATES MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING MIXTURE MUST BE TEMPORARY STABILIZATION IS REQUIRED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE GUIDE, SECTION 342 WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDIMENT BY PASS. . FORM THE HARDWARE CLOTH AND THE GEOTEXTILE TO THE CONCRETE GUTTER AND FACE OF CURB TO SPAN THE INLET OPENING, COVER THE HARDWARE CLOTH AND GEOTEXTILE WITH CLEAN ¾ TO 1½ INCH STONE OF REQUIYALENT RECYCLED CONCRETE. PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOU REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE. CRITICAL AREA PLANTING. EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE. PERMANENT STABILIZATIO TEMPORARY SEEDING SUMMARY APPLIED WHEN THE GROUND THAWS. 5. MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT, ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. MAMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUDI TRACKED ONTO ADVANENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACMENT. FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES . AT NON-SUMP LOCATIONS, INSTALL A TEMPORARY SANDBAG OR ASPHALT BERM TO PREVENT INLET BYPASS. INOCULANTS: THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES VERTICAL (3:1); AND SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE EXCEPT FOR THOSE AREAS UNDER ACTIVE . A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE. THE RECOMMENDED BY THE SOIL TESTING AGENCY. PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS. MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA PREPARED SPECIFICALL' FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 3 D. STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGIN INLET PROTECTION DOES NOT COMPLETLY ORAIN WITHIN 24 HOURS AFTER A STORM EVENT, CLOGGED. WHEN THIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND STONE. MINIMUM SOIL CONDITIONS RÉQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT ARE Fertilizer | FOR THE SPECIES. INOCULANTS MUST NOT BE USED LATER THAN THE DATE SEED MIXTURE 1/2 POUNDS PER 1000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE. RATE INDICATED ON THE CONTAINER. ADD FRESH INOCULANTS AS DIRECTED ON THE I. SOIL PH BETWEEN 6.0 AND 7.0. IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY. PACKAGE. USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEEDING. NOTE SEEDING ABOVE IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND IT IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS POSSIBLE UNTIL USED II. SOLUBLE SALTS LESS THAN 500 PARTS PER MILLION (PPM). MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR TOPSOIL (Sec. TEMPERATURES ABOVE 75 TO 80 DEGREES FAHRENHEIT CAN WEAKEN BACTERIA 2011 MARYLAND DEPARTMENT OF ENVIRONMEN WATER MANAGEMENT ADMINISTRATION U.S. DEPARTMENT OF AGRICULTURE TURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMEN WATER MANAGEMENT ADMINISTRATION Mar. 1 to May 15. -4-2), PERMANENT SEEDING (Sec.B-4-5), TEMPORARY SEEDING (SEC. B-4-4) U.S. DEPARTMENT OF AGRICULTURE TURAL RESOURCES CONSERVATION SERVICE D MAKE THE INOCULANT LESS FFF III. SOIL CONTAINS LESS THAN 40 PERCENT CLAY BUT ENOUGH FINE GRAINED MATERIA 40 lb/ac 6 0.5 INCHES 436 lb./ac. 2 tons/ AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND AND MÜLCHING (SEC. B-4-3). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES IF THE RYEGRASS Aug. 1 to Oct. 15 . SOD OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH (GREATER THAN 30 PERCENT SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF MOISTURE. AN EXCEPTION: IF LOVEGRASS WILL BE PLANTED, COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE. SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME 1,000 sf) 1,000 sf) DETAIL E-9-2 AT-GRADE INLET PROTECTION DETAIL E- 9-1 STANDARD INLET PROTECTION DETAIL E- 9-1 STANDARD INLET PROTECTION GROUND IS FROZEN. INCREMENTAL STABILIZATION (SEC. B-4-1) SPECIFICATIONS THEN A SANDY SOIL (LESS THAN 30 PERCENT SILT PLUS CLAY) WOULD BE ACCEPTABLE. HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS. 20 lb/ac May 16 to July 31 0.5 INCHES PEARL MILLET SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE SHALL BE ENFORCED IN AREAS WITH >15'OF CUT AND/OR FILL. STOCKPILES (SE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE B-4-8) IN EXCESS OF 20 FT, MUST BE BENCHED WITH STABLE OUTLET ALL CONCENTRATED FLOW, STEEP SLOPE, AND HIGHLY ERODIBLE AREAS SHALL APPLICATION MAXIMUM DRAINAGE AREA = 1 ACR IV. SOIL CONTAINS 1.5 PERCENT MINIMUM ORGANIC MATTER BY WEIGHT TYPE A MAXIMUM DRAINAGE AREA = 1 ACRE . USE WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS. a. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST V. SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION. EXCAVATE COMPLETELY AROUND THE INLET TO A DEPTH OF 18 INCHES BELOW THE NOTCH ELEVATIO **B-4-8 STANDARDS AND SPECIFICATIONS** ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE, AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE - % TO 1% IN STONE INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON . APPLICATION OF AMENDMENTS OR TOPSOIL IS REQUIRED IF ON-SITE SOILS DO NOT MEET FOR STOCKPILE AREA INTENSIVE MANAGEMENT, IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND TEMPORARY SEEDING TABLE B.1, PERMANENT SEEDING TABLE B.3, OR BEEN OBTAINED FROM THE CID. AND EASTERN SHORE. RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS TE-SPECIFIC SEEDING SUMMARIES APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY NONWOVEN GEOTEXTILE SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF APPROVED PLAN, THEN SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 E SEEDING RATE IN EACH DIRECTION. ROLL THE SEEDED AREA WITH A THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 -16 IN MIN. -NOTCH ELEVATION A MOUND OR PILE OF SOIL PROTECTED BY APPROPRIATELY DESIGNED EROSION AND WEIGHTED ROLLER TO PROVIDE GOOD SEED TO SOIL CONTACT. PERCENT OF THE TOTAL MIXTURE BY WEIGHT. SEDIMENT CONTROL MEASURES. APPLY SOIL AMENDMENTS AS SPECIFIED ON THE APPROVED PLAN OR AS INDICATED BY DRILL OR CULTIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER SEED WITH SOIL. KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE: FOR USE IN FULL SUN TO PROVIDE A DESIGNATED LOCATION FOR THE TEMPORARY STORAGE OF SOIL THAT ARFAS WHERE RAPID ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE Area Disturbed CONTROLS THE POTENTIAL FOR EROSION, SEDIMENTATION, AND CHANGES TO DRAINAGE BACKFILL AROUND THE INLET IN LOOSE 4 INCH LIFTS AND COMPACT UNTIL SOIL IS LEVEL WITH THE NOTCH ELEVATION ON THE ENDS AND TOP ELEVATION ON THE SIDES. CULTIPACKING SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A MEDIUM TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL RYEGRASS Area to be Roofed or Paved MIX SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER FASHION AS TO PROVIDE AT LEAST 1/4 INCH OF SOIL COVERING. SEEDBED CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS MIXTURE PER SUITABLE MEANS. RAKE LAWN AREAS TO SMOOTH THE SURFACE, REMOVE LARGE OBJECTS LIKE STONES AND BRANCHES, AND READY THE AREA FOR SEED APPLICATION. LOOSEN CONDITIONS WHERE PRACTICE APPLIES 1000 SQUÁRE FEET, CHOOSE A MINIMUM OF THREE KENTUCKY BUJEGRASS CULTIVARS 0.69 AC WOVEN SLIT FI STOCKPILE AREAS ARE UTILIZED WHEN IT IS NECESSARY TO SALVAGE AND STORE SOIL FOR WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER, APPLY JRFACE SOIL BY DRAGGING WITH A HEAVY CHAIN OR OTHER EQUIPMENT TO ROUGHEN 1045 C.Y. HALF THE SEEDING RATE IN EACH DIRECTION. - % TO 1% IN STONE PURPOSES ONLY HE SURFACE WHERE SITE CONDITIONS WILL NOT PERMIT NORMAL SEEDBED PREPARATION TYPE A TYPE B 0 C.Y. CONTRACTOR TRACK SLOPES 3:1 OR FLATTER WITH TRACKED EQUIPMENT LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. iii. TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN DROUGHT ISOMETRIC VIEW HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES Off-site Waste/Borrow Area Location | GP 21-102 | VALUES. VERIFY ACTUAL PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL THE STOCKPILE LOCATION AND ALL RELATED SEDIMENT CONTROL PRACTICES MUST BE - NONWOVEN GEOTEXTILE THE TOP 1 TO 3 INCHES OF SOIL LOOSE AND FRIABLE. SEEDBED LOOSENING MAY SUN TO MEDIUM SHADE CLEARLY INDICATED ON THE ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY BE UNNECESSARY ON NEWLY DISTURBED AREAS. IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION RECOMMENDED MIXTURE INCLUDES; CERTIFIED TALL FESCUE CULTIVARS 95 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE EROSION AND SEDIMENT CONTROL PLAN. PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN, 100 POUNDS PER ACRE THE FOOTPRINT OF THE STOCKPILE MUST BE SIZED TO ACCOMMODATE THE TOTAL OF SOLUBLE NITROGEN; P205 (PHOSPHOROUS), 200 POUNDS PER ACRE; ANTICIPATED VOLUME OF MATERIAL K20 (POTASSIUM), 200 POUNDS PER ACRE. ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE CID. THE SITE AND ALL CONTROLS SHALL BE INSPECTED BY THE CONTRACTOR WEEKLY; AND THE NEXT DAY AFTER EACH RAIN EVENT. A WRITTEN REPORT BY THE CONTRACTOR, MADE AVAILABLE UPON REQUEST, IS PART OF EVERY INSPECTION AND SHOULD INCLUDE: • INSPECTION DATE AND BASED ON A SIDE SLOPE RATIO NO STEEPER THAN 2:1, BENCHING MUST BE LIME: USE ONLY GROUND AGRICULTURAL LIMESTONE (UP TO 3 TONS PER CONSTRUCTION SPECIFICATION PROVIDED IN ACCORDANCE TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT ACRE MAY BE APPLIED BY HYDROSEEDING). NORMALLY, NOT MORE THAN 2 TONS ARE APPLIED BY HYDROSEEDING AT ANY ONE TIME. DO NOT USE BURNT OR KENTUCKY BLUFGRASS/FINE FESCUE: SHADE MIXTURE: FOR USE IN AREAS WITH SHAD EGETATION. THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE WITH SECTION B-3 LAND GRADING . USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS IN BLUEGRASS LAWNS. FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY MANAGED GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW RUNOFF FROM THE STOCKPILE AREA MUST DRAIN TO A SUITABLE SEDIMENT CONTROL LIFT GRATE AND WRAP WITH NONWOVEN GEOTEXTILE TO COMPLETELY COVER ALL OPENINGS. SECURE WITH WIRE TIES AND SET GRATE BACK IN PLACE. HYDRATED LIME WHEN HYDROSEEDING URF AREA. MIXTURE INCLUDES; CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO PRACTICE. PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION. PLACE CLEAN % TO 1% INCH STONE OR EQUIVALENT RECYCLED CONCRETE 6 INCHES THICK ON THE INSPECTION DATE iii. MIX SEED AND FERTILIZER ON SITE AND SEED IMMEDIATELY AND WITHOUT ACCESS THE STOCKPILE AREA FROM THE UPGRADE SIDE. 40 PERCENT AND CERTIFIED FINE FESCUE AND 60 TO 70 PERCENT. SEEDING RATE: INSPECTION TYPE (ROUTINE, PRE-STORM EVENT, DURING RAIN EVENT) NAME AND TITLE OF INSPECTOR TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THI CLEAR WATER RUNOFF INTO THE STOCKPILE AREA MUST BE MINIMIZED BY USE OF A 1/2 TO 3 POUNDS PER 1000 SQUARE FEET. iv. WHEN HYDROSEEDING DO NOT INCORPORATE SEED INTO THE SOIL. STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL DIVERSION DEVICE SUCH AS SECTION FOR TYPE A AND I · WEATHER INFORMATION (CURRENT CONDITIONS AS WELL AS TIME AND AMOUN' AN EARTH DIKE, TEMPORARY SWALE OR DIVERSION FENCE. PROVISIONS MUST BE OF LAST RECORDED PRECIPITATION) PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-NRCS. MADE FOR DISCHARGING BRIEF DESCRIPTION OF PROJECT'S STATUS (E.G., PERCENT COMPLETE) AND/OR CURRENT ACTIVITIES SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY CONCENTRATED FLOW IN A NON-EROSIVE MANNER MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTRO TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE: WHERE RUNOFF CONCENTRATES ALONG THE TOE OF THE STOCKPILE FILL, AN OF MARYLAND PUBLICATION, AGRONOMY MEMO #77, "TURFGRASS CULTIVAR 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION EVIDENCE OF SEDIMENT DISCHARGES 2011 WARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION MULCH MATERIALS (IN ORDER OF PREFERENCE) DENTIFICATION OF PLAN DEFICIENCIES IDENTIFICATION OF SEDIMENT CONTROLS THAT REQUIRE MAINTENANCE IDENTIFICATION OF MISSING OR IMPROPERLY INSTALLED SEDIMENT CONTROLS COMPLIANCE STATUS REGARDING THE SEQUENCE OF CONSTRUCTION AND APPROPRIATE EROSION/SEDIMENT RECOMMENDATIONS FOR MARYLAND" HE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO CONTROL PRACTICE MUST BE USED TO INTERCEPT THE DISCHARGE. 1. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT RYE OAT OR BARLEY AND STANDARD SYMBOL STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITH THE 3/7 DAY STABILIZATION CHOOSE CERTIFIED MATERIAL. CERTIFIED MATERIAL IS THE BEST GUARANTEE REASONABLY BRIGHT IN COLOR. STRAW IS TO BE FREE OF NOXIOUS WEED SEEDS HE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO DETAIL E-1 SILT FENCE DETAIL E-6 FILTER LOG -----SF-------DETAIL E-6 FILTER LOG CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF REQUIREMENT AS WELL AS UPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS AS SPECIFIED IN THE MARYLAND SEED LAW AND NOT MUSTY, MOLDY, CAKED DESIGNATION FL-18 REFERS TO 18 INCH DIAMETER FILTER LOG. AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER DECAYED. OR EXCESSIVELY DUSTY. NOTE: USE ONLY STERILE STRAW MULCH IN STANDARD B-4-1 INCREMENTAL STABILIZATION AND STANDARD B-4-4 TEMPORARY HE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH. PHOTOGRAPHS CENTER TO CENTER DRIVEN MIN. FENCE POST LENGTH DRIVEN MIN. 16 IN INTO GROUND PROTECTION AND ASSURES A PURE GENETIC LIN STABILIZATION. CONSTRUCTION SPECIFICATIONS THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE. AREAS WHERE ONE SPECIES OF GRASS IS DESIRED MONITORING/SAMPLING IF THE STOCKPILE IS LOCATED ON AN IMPERVIOUS SURFACE, A LINER SHOULD BE FILTER LOG PRIOR TO INSTALLATION, CLEAR ALL OBSTRUCTIONS INCLUDING ROCKS, CLODS, AND DEBRIS GREATER THAN ONE INCH THAT MAY INTERFERE WITH PROPER FUNCTION OF FILTER LOG. WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOOD MAINTENANCE AND/OR CORRECTIVE ACTION PERFORMED OTHER INSPECTION ITEMS AS REQUIRED BY THE GENERAL PERMIT FOR AREA TO BE PROTECTED FLOW \_\_ 45 AREA TO BE PROTECTED PROVIDED BELOW THE STOCKPILE TO FACILITATE CLEANUP. STOCKPILES CONTAINING i. IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN. FILL LOG NETTING UNIFORMLY WITH COMPOST (IN ACCORDANCE WITH SECTION H-1 MATERIALS), OR OTHER APPROVED BIODEGRADABLE MATERIAL TO DESIRED LENGTH SUCH THAT LOGS DO NOT DEFORM. CONTAMINATED MATERIAL MUST BE COVERED WITH IMPERMEABLE SHEETING. WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDINESS ZONES: 5B 16 IN MIN. HEIGHT OF WOVEN SLIT FILM GEOTEXTILE WCFM IS TO BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES (NPDES, MDE). TOPSOIL SPECIFICATIONS: SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING APPROPRIATE COLOR TO FACILITATE INSTALL FILTER LOGS PERPENDICULAR TO THE FLOW DIRECTION AND PARALLEL TO THE SLOPE WITH THE BEGINNING AND END OF THE INSTALLATION POINTING SLIGHTLY UP THE SLOPE CREATING A "J" SHAPE AT EACH END TO PREVENT BYPASS. Te IN MIN. DEPTH TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN AND SHALL BE BACK-FILLED AND STABILIZED BY VISUAL INSPECTION OF THE UNIFORMLY SPREAD SLURRY. CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONE: 6B SOUTHERN MD, EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 SECTION SECTION THE STOCKPILE AREA MUST CONTINUOUSLY MEET THE REQUIREMENTS FOR ADEQUATE FOR UNTRENCHED INSTALLATION BLOW OR HAND PLACE MULCH OR COMPOST ON UPHILL SIDE OF THE SLOPE ALONG LOG. WCFM, INCLUDING DYE, MUST CONTAIN NO GERMINATION OR GROWTH INHIBITING TOPSOIL MUST BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, CLOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION HE END OF EACH WORKDAY, WHICHEVER IS SHORTER. 5. STAKE FILTER LOG EVERY 4 FEET OR CLOSER ALONG ENTIRE LENGTH OF LOG OR TRENCH LOG INTO GROUND A MINIMUM OF 4 INCHES AND STAKE LOG EVERY 8 FEET OR CLOSER. SIDE SLOPES MUST BE MAINTAINED AT NO STEEPER THAN A 2:1 RATIO. THE STOCKPILE WCFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. TOPSOIL MUST AREA MUST BE KEPT FREE OF EROSION. IF THE VERTICAL HEIGHT OF A STOCKPILE MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH OF USE STAKES WITH A MINIMUM NOMINAL CROSS SECTION OF 2X2 INCH AND OF SUFFICIENT LENGTH TO ATTAIN A MINIMUM OF 12 INCHES INTO THE GROUND AND 3 INCHES PROTRUDING ABOVE LOG. OT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND MUST CONTAIN LESS CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE HSCD PRIOR TO PROCEEDING WITH CONSTRUCTION, MINOR REVISIONS MAY ALLOWED BY THE CID EXCEEDS 20 FEET FOR 2:1 SLOPES, 30 FEET FOR 3:1 SLOPES, OR 40 FEET FOR 4:1 SUSPENSION IN WATER UNDER AGITATION AND WILL BLEND WITH SEED 2 TO 4 INCHES, LEVEL AND RAKE THE AREAS TO PREPARE A PROPER SEEDBED. REMOVE 5 PERCENT BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1.5 INCHES IN DIAMETER. FENCE POST 18 IN MIN. ABOVE GROUND WOVEN SLIT FILM -----GEOTEXTILE WHEN MORE THAN ONE LOG IS NEEDED, OVERLAP ENDS 12 INCHES MINIMUM AND STAKE. FERTILIZER AND OTHER ADDITIVES TO FORM A HOMOGENEOUS SLURRY. THE SLOPES, BENCHING MUST BE PROVIDED IN ACCORDANCE WITH SECTION B-3 LAND GRADING STONES AND DEBRIS OVER 1 1/2 INCHES IN DIAMETER. THE RESULTING SEEDBED MUST BE 3. REMOVE SEDIMENT WHEN IT HAS ACCUMULATED TO A DEPTH OF X-THE EXPOSED HEIGHT OF LOG AND REPLACE MULCH. REPLACE FILTER LOG IF TORN. REINSTALL FILTER LOG IF UNDERWINING OR DISLODGING OCCURS. REPLACE CLOGGED FILTER LOGS. FOR PERMANENT APPLICATIONS, ESTABLISH AND CONTINUOUSLY MEET REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION B -4 VEGETATIVE STABILIZATION. MATERIAL MUST FORM A BLOTTER-LIKE GROUND COVER, ON IN SUCH CONDITION THAT FUTURE MOWING OF GRASSES WILL POSE NO DIFFICULTY GROUND 4 IN MIN. APPLICATION, HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES TOPSOIL MUST BE FREE OF NOXIOUS PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, DISTURBANCE SHALL NOT OCCUR OUTSIDE THE L.O.D. A PROJECT IS TO BE AND MUST COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL WITHOUT INHIBITING THE GROWTH OF THE GRASS SEEDLINGS. QUACK GRASS, JOHNSON GRASS, NUT SEDGE, POISON IVY, THISTLE, OR OTHERS AS k. IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT SEQUENCED SO THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM WOOD MULCH OR COMPOST TO 1/2 HEIGHT OF LOG ACREAGE OF 20 AC. PER GRADING UNIT) AT A TIME, WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE CID. UNLESS OTHERWISE SPECIFIED AND APPROVED BY HSCD, NO MORE THAN GROWTH (1/2 TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE) UNTIL THEY UNTRENCHED INSTALLATION ENTRENCHED INSTALLATION WCFM MATERIAL MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT STANDARDS AND SPECIFICATIONS ARE FIRMLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN CONCENTRATION LEVELS THAT WILL BE PHYTO-TOXIC SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST THE PLANTING SEASON, IN ABNORMALLY DRY OR HOT SEASONS, OR ON ADVERSE SITES. FOR DUST CONTROL WCFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE ISOMETRIC VIEW USED IN LIEU OF NATURAL TOPSOIL. 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME. <u>DEFINITION</u> CONTROLLING THE SUSPENSION OF DUST PARTICLES FROM CONSTRUCTION ACTIVITIES. APPROXIMATELY 10 MILLIMETERS, DIAMETER APPROXIMATELY 1 MILLIMETER, PH PERMANENT SEEDING SUMMARY RANGE OF 4.0 TO 8.5, ASH CONTENT OF 1.6 PERCENT MAXIMUM AND WATER WASH WATER FROM ANY EQUIPMENT, VEHICLES, WHEELS, PAVEMENT, AND OTHER SOURCES MUST BE TREATED IN A SEDIMENT BASIN OR OTHER APPROVED WASHOUT STRUCTURE. TOPSOIL APPLICATION MULCH OR COMPOST FOR UNTRENCHED LOGS HOLDING CAPACITY OF 90 PERCENT MINIMUM. HARDINESS ZONE: 6b ROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED WHEN APPLYING TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES TO REDUCE ON AND SEED MIXTURE: #9 (Tall Fescue/ Kentucky Bluegrass) **FERTILIZER** OFF-SITE DAMAGE INCLUDING HEALTH AND TRAFFIC HAZARDS. UNIFORMLY DISTRIBUTE TOPSOIL IN A 5 TO 8 INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM THICKNESS OF 4 INCHES. SPREADING IS TO BE PERFORMED IN SUCH A MANNER RATE TOPSOIL SHALL BE STOCKPILED AND PRESERVED ON—SITE FOR REDISTRIBUTION ONTO FINAL GRADE. SHEET FLOW DEPTHS (10-20-20) RATE APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING SPECIES DATES b. WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDED AREAS AT THE RATE OF 2 TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES. APPLY MULCH TO ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE SOIL IAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON AND OFF-SITE DAMAGE IS LIKELY WITHOUT ALL SILT FENCE AND SUPER SILT FENCE SHALL BE PLACED ON—THE—CONTOUR; AND BE IMBRICATED AT 25 MINIMUM INTERVALS, WITH LOWER ENDS CURLED PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM WORK AREA \*Certified Tall Fescue blend TREATMENT. TOPSOILING OR OTHER OPERATIONS MUST BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS. (95% by weight): Falcon I SURFACE IS NOT EXPOSED. WHEN USING A MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE. TOPSOIL MUST NOT BE PLACED IF THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY **SPECIFICATIONS** Penn 1901 & Rebel Exeda Mar. 1 to May 15, 1/4 - 1.0 lb/ 1000 90 lb Aug. 15 to Oct. 15 1/2 IN. s.f. 1000 s.t. STREAM CHANNELS MUST NOT BE DISTURBED DURING THE FOLLOWING RESTRICTED 1000 s.f. WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT TIME PERIODS (INCLUSIVE): • USE I AND IP MARCH 1 - JUNE 15 MULCHES: SEE SECTION B-4-2 SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS, SECTION OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION. OF 1500 POUNDS PER ACRE, MIX THE WOOD CELLULOSE FIBER WITH WATER TO ATTAIN A MIXTURE WITH A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER Certified Kentucky Bluegras (45 lb/acre) MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL FROSION AND SEDIMENT CONTROL MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL B-4-3 SEEDING AND MULCHING, AND SECTION B-4-4 TEMPORARY STABILIZATION. MULCH MUST BE blend (5% by weight): U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE U.S. DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION ANCHORED TO PREVENT BLOWING. U.S. DEPARTMENT OF AGRICULTURE TURAL RESOURCES CONSERVATION SERVICE MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS) PER 100 GALLONS OF WATER, Courtyard, Raven & Yankee • USE IV MARCH 1 - MAY 31 VEGETATIVE COVER: SEE SECTION'B-4-4 TEMPORARY STABILIZATION SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES TILLAGE: TILL TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, SPRING-TOOTHED FOR SOIL EROSION AND SEDIMENT CONTROL, AND ASSOCIATED PERMITS SHALL BE ON-SITE AND AVAILABLE WHEN THE SITE IS ACTIVE. \* Other cultivars listed as "proven" in the most current UMD TT-77 may also be used OR MORE. SOIL ANALYSIS MAY BE PERFORMED BY A RECOGNIZED PRIVATE OR COMMERCIA STANDARD SYMBOL HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT THAT MAY PRODUCE THE DESIRED a. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO DETAIL E-1 SILT FENCE ABORATORY. SOIL SAMPLES TAKEN FOR ENGINEERING PURPOSES MAY ALSO BE USED FOR -----SF----MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING . SOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER). IRRIGATION: SPRINKLE SITE WITH WATER UNTIL THE SURFACE IS MOIST, REPEAT AS NEEDED. THE CHEMICAL ANALYSE METHODS (LISTED BY PREFERENCE), DEPENDING UPON THE SIZE OF THE AREA AND RTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR SITE MUST NOT BE IRRIGATED TO THE POINT THAT RUNOFF OCCURS. ONSTRUCTION SPECIFICATION CURATE APPLICATION BY APPROPRIATE EQUIPMENT. MANURE MAY BE SUBSTITUTED FOR GENERAL SPECIFICATIONS BARRIERS: SOLID BOARD FENCES, SILT FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALES, USE WOOD POSTS 1% X 1% ± 1% INCH (MINIMUM) SQUARE CUT OF SOUND QUALITY HARDWOOD. AS AN ALTERNATIVE TO WOODEN POST USE STANDARD "T" OR "U" SECTION STEEL POSTS WEIGHING NOT LESS THAN 1 POUND PER LINEAR FOOT. A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO ERTILIZER WITH PRIOR APPROVAL FROM THE APPROPRIATE APPROVAL AUTHORITY. AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF 2 INCHES. a. CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE ERTILIZERS MUST ALL BE DELIVERED TO THE SITE FULLY LABELED ACCORDING TO THE APPLICABLE LAWS AND MUST BEAR THE NAME, TRADE NAME OR TRADEMARK AND CHEMICAL TREATMENT: USE OF CHEMICAL TREATMENT REQUIRES APPROVAL BY THE APPROPRIATE HIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS, BUT IS LIMITED TO FLATTER MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR. PLAN REVIEW AUTHORITY. SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY. IF USED ON SLOPING LAND, USE WOVEN SUIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS AND FASTEN GEOTEXTILE SECURELY TO UPSLOPE SIDE OF FENCE POSTS WITH WIRE TIES OR STAPLES AT TOP AND MILE-SECURED. b. SOD MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4 INCH, PLUS OR MINUS HIS PRACTICE SHOULD FOLLOW THE CONTOUR. LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE 1/4 INCH, AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. MIX THE WOOD SUBSTITUTED EXCEPT WHEN HYDROSEEDING) WHICH CONTAINS AT LEAST 50 PERCENT PROVIDE MANUFACTURER CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT THE GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS. GROWTH AND THATCH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE). LIMESTONE MUST BE GROUND SUCH FINENESS THAT AT LEAST 50 PERCENT WILL PASS THROUGH A #100 MESH SIEVE EMBED GEOTEXTILE A MINIMUM OF 8 INCHES, VERTICALLY INTO THE GROUND, BACKFILL AND COMPACT THE SOIL ON BOTH SIDES, OF FABRIC. ELLULOSE FIBER WITH WATER AT A MAXIMUM OF 50 POUNDS OF WOOD STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN ID 98 TO 100 PERCENT WILL PASS THROUGH A #20 MESH SIEVE. WE AND FERTILIZER ARE TO BE EVENLY DISTRIBUTED AND INCORPORATED INTO THE TO ELLULOSE FIBER PER 100 GALLONS OF WATER WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM WHERE TWO SECTIONS OF GEOTEXTILE ADJOIN: OVERLAP, TWIST, AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL. . SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRO-TACK), DCA-70, PETROSET, TERRA TAX II, TERRA MANUFACTURER. APPLICATION OF LIQUID GRASP ON THE UPPER 10 PERCENT OF THE SECTION. 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. WHERE THE SUBSOIL EXTEND BOTH ENDS OF THE SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SILT FENCE. d. SOD MUST NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (EXCESSIVELY BINDERS NEEDS TO BE HEAVIER AT THE EDGES WHERE WIND EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD GROUND LIMESTONE A DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL THE AT THE RATE OF 4 TO 8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF BANKS. USE OF REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN SILT FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, BEINSTALL SERVICE. SOD MUST BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOUND TRANSPLANTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH **BGE NOTIFICATION** SCIENTIST PRIOR TO ITS INSTALLATION. ACCORDING TO MANUFACTURER RECOMMENDATIONS. NETTING IS USUALLY MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AVAILABLE IN ROLLS 4 TO 15 FEET WIDE AND 300 TO 3,000 FEET LONG. THIS DOCUMENT INCLUDES INFORMATION AND DEPICTIONS OF BALTIMORE GAS AND . SOD INSTALLATION U.S. DEPARTMENT OF AGRICULTURE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT VATURAL RESOURCES CONSERVATION SERVICE 2011 EQUENCE OF CONSTRUCTION ELECTRIC COMPANY'S ("BGE") ELECTRIC AND/OR GAS UTILITIES LOCATED WITHIN THE DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, PROJECT AREA (THE "BGE UTILITY INFORMATION"). LOCATIONS, DIMENSIONS, DEPTHS AND APPLY FOR A GRADING PERMIT AND SCHEDULE AN ON-SITE PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR. OBTAIN THE GRADING LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD. PERMIT FROM THE INSPECTOR AT THE MEETING. OTHER DETAILS OF ANY SUCH UTILITIES MAY NOT BE AS-BUILT. AND THE INFORMATION. LAY THE FIRST ROW OF SOD IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED SHALL NOT BE RELIED UPON WITHOUT FIELD VERIFICATION. EXCAVATORS MUST EMPLOY THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT PARALLEL TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAGGER LATERAL JOINTS T INSTALL THE STABILIZED CONSTRUCTION ENTRANCE (SCE), CURB INLET PROTECTION (CIP), STANDARD INLET PROTECTION (SIP-A), AND SUPER SILT FENCE SAFE DIGGING BEST PRACTICES WHEN APPROACHING BGE ELECTRIC AND GAS UTILITIES AND CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT. PROMOTE MORE UNIFORM GROWTH AND STRENGTH, ENSURE THAT SOD IS NOT STRETCHED COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, INCLUDING, BUT NOT OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS (-SSF-) AT THE EXISTING STRUCTURES. WHERE SSF IS NEXT TO NEW CURB TO BE INSTALL, OFFSET THE SSF INSTALLATION BEHIND THE NEW CURB TO FACILITATE CURB INSTALLATION. DURATION: 1-2 days. LIMITED TO, THE "MISS UTILITY LAW." NO REPRESENTATIONS, GUARANTEES, OR WHICH WOULD CAUSE AIR DRYING OF THE ROOTS WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WARRANTIES, EXPRESS OR IMPLIED, ARE MADE BY BGE AS TO THE QUALITY, WITH STAGGERING JOINTS. ROLL AND TAMP, PEG OR OTHERWISE SECURE THE SOD TO OBTAIN PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR TO PROCEED WITH SITE GRADING, THEN GRADE THE SITE TO AN APPROPRIATE SUBGRADE FOR COMPLETENESS, OR ACCURACY OF THE BGE UTILITY INFORMATION, AND IN ACCEPTING TH PREVENT SLIPPAGE ON SLOPES. ENSURE SOLID CONTACT EXISTS BETWEEN SOD ROOTS AND DOCUMENT, THE RECIPIENT EXPRESSLY ACKNOWLEDGES AND AGREES THAT IT IS NOT THE UNDERLYING SOIL SURFACE RELYING ON THE ACCURACY OF THE SAME. WATER THE SOD IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE O INSTALL STORM DRAIN SYSTEMS. AS INLETS AND DRAINS ARE INSTALLED, INSTALL STANDARD INLET PROTECTION (SIP-A) OR FILTER LOGS (FL-18) THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET, COMPLETE DURATION: 1 week. THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD WITHIN APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING INSTALL LANDSCAPE MATERIAL AND POST PARKING/DIRECTIONAL SIGNS. ALL REMAINING PERVIOUS AREAS THAT ARE NOT PAVED OR PLANTED/MULCHED SHALL **ENGINEER'S CERTIFICATE** DEVELOPER'S/BUILDER'S CERTIFICATE BE SODDED OR ESTABLISHED WITH PERMANENT SEEDING. ONCE THE SITE IS STABILIZED, OBTAIN PERMISSION FROM THE INSPECTOR TO REMOVE ANY REMAINING SEDIMENT CONTROL DEVICES. DURATION: 1-2 days. "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION INSTALL PAVEMENT SURFACE COURSE WITH THE MILLING AND OVERLAY PAWING OPERATION, THEN APPLY PAVEMENT MARKINGS (parking stripes, one-way OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF arrow, etc). DURATION: 2-3 days. INCHES. WATER SOD DURING THE HEAT OF THE DAY TO PREVENT WILTING. REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT." THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND AFTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN EROSION BEFORE BEGINNING THE PROJECT. 1 ALSO AUTHORIZE PERIODIC ON-SITE AS PART OF THE CONSTRUCTION, AN AREA MAY BE DISTURBED THAT DOES NOT DRAIN TO A SEDIMENT CONTROL DEVICE. THESE AREAS MUST ADEQUATE MOISTURE CONTENT vision of Land Development 🥍 🎮 INSPECTION BY THE HISCO BE STABILIZED AT THE END OF ÉACH WORKING DAY AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. DO NOT MOW UNTIL THE SOD IS FIRMLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF NO AS-BUILT INFORMATION-08-28-2023 MUST BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED. THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY Chief, Development Engineering Division Date DESIGNED B (REVISED) SEDIMENT CONTROL NOTES and DETAILS FOR 2022 IMPROVEMENTS PREPARED FOR: SCALE OF MAR PROFESSIONAL CERTIFICATION THE HOWARD HUGHES CORPORATION NO SCALE HEREBY CERTIFY THAT THESE PLANS 10900 Grantchester Way, Svite 110 DRAWN BY WERE PREPARED OR APPROVED BY COLUMBIA TOWN CENTER COLUMBIA, MD 21044 ME, AND THAT I AM A DULY LICENSED KLP PROFESSIONAL ENGINEER UNDER THE ATTN: WILLIAM ROWE SECTION 2 AREA 5 PLANNING ENGINEERING SURVEYING LAWS OF THE STATE OF MARYLAND, TAX MAP - GRID Parcels A & B (Plat No. 6321), Parcels C-1 & C-4 (Plat No. 8577) and Parcel E (Plat No. 14022) CHECKED E LICENSE NO. 12975 EXPIRATION DATE: MAY 26, 2024 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM 4/2022 | ADDITIONAL SHEET ADDED FOR NEW PLAZA AREA

BY APP'F

LECTION DISTRICT No. !

CKG

DATE

PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

GLW FILE No.

21119

SHEET

18 OF 25

ZONING

36-1&2

APRIL 2022

HOWARD COUNTY, MARYLAND

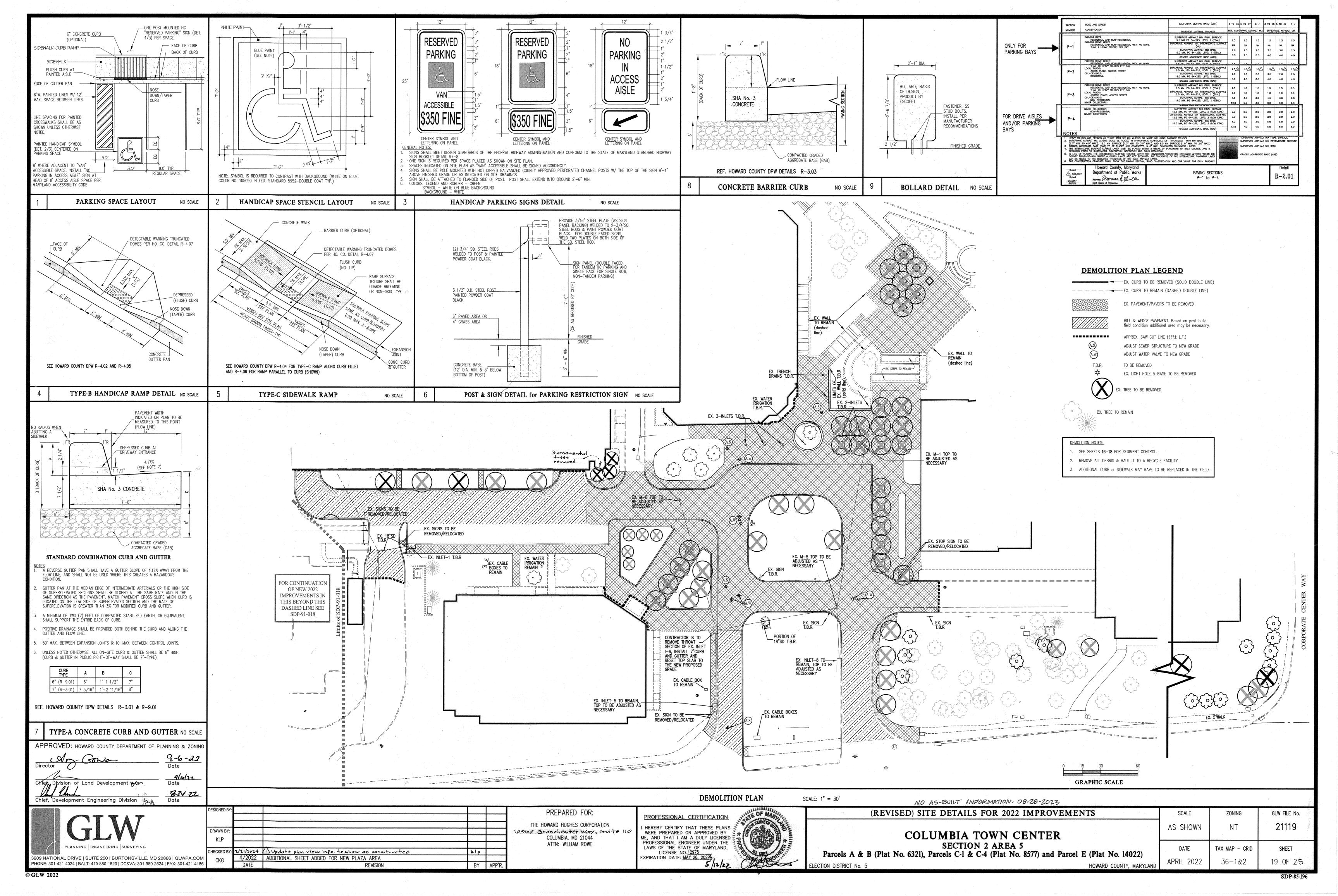
MAXIMUM DRAINAGE AREA = 1/4 ACR

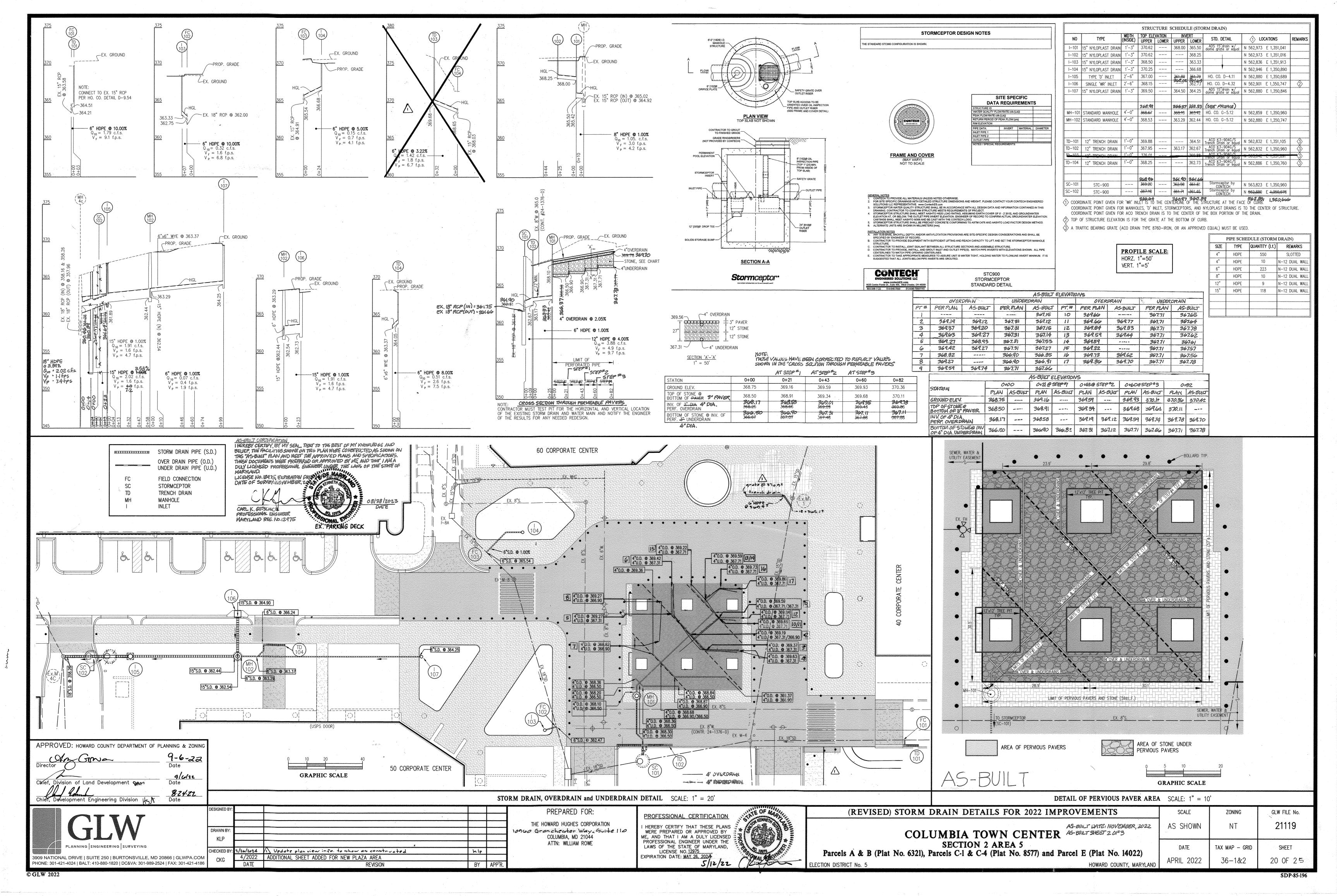
SECTION A-A

2011 MARYLAND DEPARTMENT OF ENVIRONME
WATER MANAGEMENT ADMINISTRATION

DESIGNATION FL-18 REFERS TO 18 INCH DIAMETER FILTER LOG.

2 IN x 4 IN WEIR-





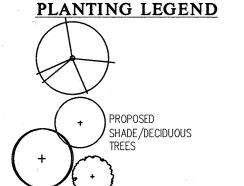
#### LANDSCAPE NOTES

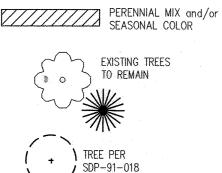
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE & THE HOWARD COUNTY LANDSCAPE MANUAL.
- CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET No.1 SHALL APPLY.
- FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT CONSTRUCTION MANAGER OR OWNER IF ANY RELOCATIONS ARE REQUIRED.
- PLANT QUANTITIES SHOWN ON THE PLANT LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE.
- ALL PLANT MATERIAL SHALL BE FULL, HEAVY, WELL FORMED, SYMMETRICAL, AND CONFORM TO THE A.A.N. SPECIFICATIONS. IN ADDITION, ALL REQUIRED PLANTING FOR THE LANDSCAPE ISLANDS IN THE PARKING LOT SHALL CONFORM TO THE HOWARD COUNTY LANDSCAPE MANUAL. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THIS PLAN. SEE SHEET 21 FOR PLANTING DETAILS.
- NO SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL FROM HOWARD COUNTY DPZ AND THE OWNER OR HIS REPRESENTATIVE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAVED, OR MULCHED SHALL BE SODDED OR SEEDED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATION. A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED TO ALL PLANTING AREAS.
- THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF HE/SHE ENCOUNTERS SOIL DRAINAGE CONDITIONS THAT MAY BE DETRIMENTAL TO THE GROWTH OF THE PLANTS.
- ALL EXPOSED EARTH WITHIN THE LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH PER THE PLANTING DETAILS
- DO NOT PLANT WITHIN THE PUBLIC WATER, SEWER AND UTILITY EASEMENT.
- VERIFY THE LOCATION AND DEPTH OF THE COMMUNICATION LINE(S) WITHIN THE AT&T R/W PRIOR TO ANY PLANTING WITHIN THIS R/W. THE CONTRACTOR SHALL CONTACT GLW FOR ANY NECESSARY RELOCATION OF PLANT
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING SHALL BE POSTED WITH THE DEVELOPERS AGREEMENT. The total surety amount will be 431,200.00 which includes the amount of \$21900.00 for this SDP and \$9900.00 for SDP-91-018

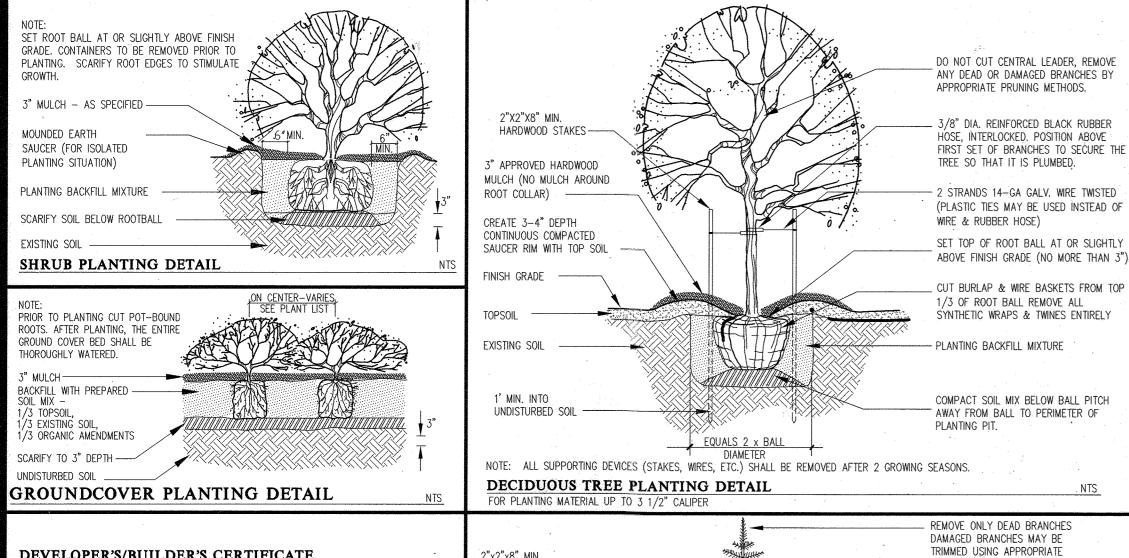
FOR LANDSCAPE INSPECTION TO OBTAIN THE RELEASE OF THE SURETY, CONTACT HOWARD COUNTY DEPT. OF PLANNING & ZONING AT 410-313-2350.

PLANT LIST											
SYMBOL	BOL QUANT. SIZE (MIN.) NAME (BOTANICAL/COMMON) OF PLANTS FOR SELECTION BY OWNER/BUYER										
SHADE/DECIDUOUS	TREES										
	g	6'-8' HT.	Taxodium distichum var. Distichum / BALD CYPRESS	ALL B&B, WELL FORMED W/CENTRAL LEADER							
+	25	2.5" – 3" CAL.	GLEDITSIA TRICANTHOS / THORNLESS HONEYLOCUST	ALL B&B, WELL FORMED W/CENTRAL LEADER							
+	y	2.5" — 3" CAL.	GINKGO BILOBA / GINKGO	ALL B&B, WELL FORMED W/CENTRAL LEADER							
$\odot$	Å	2.5" – 3" CAL.	QUERCUS PALUSTRIS / PIN OAK or FAGUS GRANDIFOLIA / AMERICAN BEECH	ALL B&B, WELL FORMED W/CENTRAL LEADER							

NOTE: FOR THE 2022 IMPROVEMENTS, 58 EXISTING SHADES ARE BEING REMOVED AND REPLACED WITH 78 SHADE/DECIDUOUS TREES

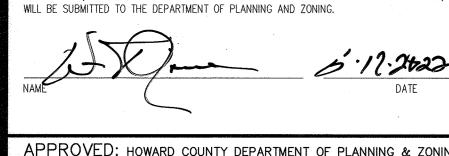


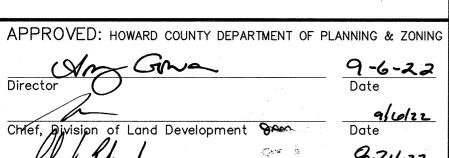


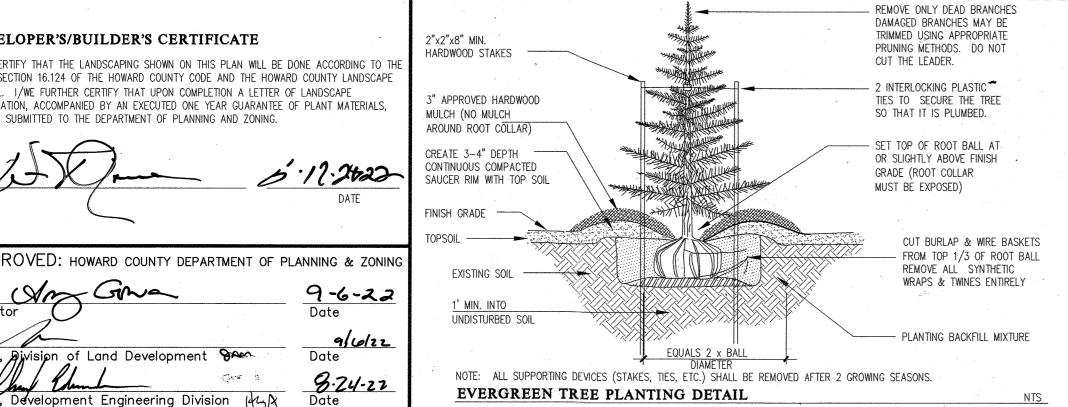


# DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS,







DRAWN B KLP 1/26/2024 ADDITIONAL SHEET ADDED FOR NEW PLAZA AREA 909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM CKG PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

#### SPECIFICATIONS: PLANT MATERIALS AND PLANTING METHODS

THE LANDSCAPE CONTRACTOR SHALL FURNISH AND INSTALL AND/OR DIG, BALL, BURLAP AND TRANSPLANT ALL OF THE PLANT MATERIALS CALLED FOR ON DRAWINGS AND/OR LISTED IN THE PLANT SCHEDULE.

PLANT NAMES USED IN THE PLANT SCHEDULE SHALL CONFORM WITH "AAN" STANDARDS.

ALL PLANT MATERIAL SHALL BE EQUAL TO OR BETTER THAN THE REQUIREMENTS OF THE "USA STANDARD FOR NURSERY STOCK" LATEST EDITION, AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (HERE- AFTER REFERRED TO AS AAN STANDARDS). ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, SHALL HAVE A NORMAL HABIT OF GROWTH AND SHALL BE FIRST QUALITY, SOUND, VIGOROUS, WELL-BRANCHED AND WITH HEALTHY, WELL-FURNISHED ROOT SYSTEMS. THEY SHALL BE FREE OF DISEASE, INSECT PESTS AND MECHANICAL INJURIES.

ALL PLANTS SHALL BE NURSERY GROWN AND SHALL HAVE BEEN GROWN UNDER THE SAME CLIMATE CONDITIONS AS THE LOCATION OF THIS PROJECT FOR AT LEAST TWO YEARS BEFORE PLANTING. NEITHER HEELED-IN PLANTS NOR PLANTS FROM COLD STORAGE

- PLANT MEASUREMENTS:
   ALL PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED IN THE PLANT SCHEDULE.
  - A. CALIPFR MEASUREMENTS SHALL BE TAKEN SIX INCHES (6") ABOVE GRADE FOR TREES UP TO FOUR-INCH (4") CALIPER AND TWELVE (12") ABOVE GRADE FOR TREES GREATER THAN FOUR INCHES (4") IN CALIPER.
  - B. MINIMUM BRANCHING HEIGHT FOR ALL SHADE TREES SHALL BE SIX FEET (6'), MAXIMUM EIGHT FEET (8').

C. CALIPER, HEIGHT, SPREAD AND SIZE OF BALL SHALL BE GENERALLY AS FOLLOWS: CALIPER HEIGHT SPREAD SIZE OF BALL 2" - 2.5" 12'-14' 5'-6' 28" DIAMETER

3" - 3.5" 14'-16' 6'-8' 32" DIAMETER 3.5" - 4" 14'-16' 8'-10' 36" DIAMETER 16'-18' 8'-10' 40" DIAMETER 4.5" - 5" 16'-17' 10'-12' 44" DIAMETER 5" - 5.5" 16'-20' 10'-12' 48" DIAMETER 5.5"- 6" 18'-20' 12'-14' 52" DIAMETER

ALL PLANT MATERIAL SHALL GENERALLY AVERAGE THE MEDIAN FOR THE SIZE RANGES INDICATED ABOVE AS INDICATED IN THE "AAN" STANDARDS.

BY APP'R

4. PLANT IDENTIFICATION:

LEGIBLE LABELS SHALL BE ATTACHED TO ALL SHADE TREES, MINOR TREES, SPECIMEN SHRUBS AND BUNDLES OR BOXES OF OTHER PLANT MATERIAL GIVING THE BOTANICAL AND COMMON NAMES, SIZE AND QUANTITY OF EACH. EACH SHIPMENT OF PLANTS SHALL BEAR CERTIFICATES OF INSPECTION AS REQUIRED BY FEDERAL, STATE AND COUNTY AUTHORITIES.

THE OWNER MAY REQUEST, AT LEAST TEN (10) DAYS PRIOR TO THE INSTALLATION OF ANY PROPOSED PLANT MATERIAL, TO INSPECT ALL PROPOSED PLANT MATERIAL AT THE SOURCE OF ORIGIN.

PLANTING METHODS:

ALL PROPOSED PLANT MATERIALS THAT MEET THE SPECIFICATIONS IN SECTION A ARE TO BE PLANTED IN ACCORDANCE WITH THE FOLLOWING METHODS DURING THE PROPER PLANTING SEASONS AS DESCRIBED IN THE FOLLOWING:

<u>PLANTING SEASONS:</u>
THE PLANTING OF DECIDUOUS TREES, SHRUBS AND VINES SHALL BE FROM MARCH 1ST TO JUNE 15TH AND FROM SEPTEMBER 15TH TO DECEMBER 15TH. PLANTING OF DECIDUOUS MATERIAL MAY BE CONTINUED DURING THE WINTER MONTHS PROVIDING THERE IS NO FROST IN THE GROUND AND FROST-FREE TOPSOIL PLANTING MIXTURES ARE USED. THE PLANTING OF EVERGREEN MATERIAL SHALL BE FROM MARCH 15TH TO JUNE 15TH AND FROM AUGUST 15TH TO DECEMBER ST. NO PLANTING SHALL BE DONE WHEN THE GROUND IS FROZEN OR EXCESSIVELY MOIST. NO FROZEN OR WET TOPSOIL

ILL PLANT MATERIAL SHALL BE DUG, BALLED AND BURLAPPED (B&B) IN ACCORDANCE WITH THE "AAN STANDARDS".

EXCAVATION OF PLANT PITS:
THE LANDSCAPING CONTRACTOR SHALL EXCAVATE ALL PLANT PITS, VINE PITS, HEDGE TRENCHES AND SHRUB BEDS IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

- A. LOCATIONS OF ALL PROPOSED PLANT MATERIAL SHALL BE STAKED AND APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT BEFORE ANY OF THE PROPOSED PLANT MATERIAL IS INSTALLED BY THE LANDSCAPE CONTRACTOR.
- B. ALL PITS SHALL BE GENERALLY CIRCULAR IN OUTLINE, VERTICAL SIDES; DEPTH SHALL NOT BE LESS THAN 6" DEEPER THAN THE ROOT BALL, DIAMETER SHALL NOT BE LESS THAN TWO TIMES THE DIAMETER OF THE ROOT BALL AS SET FORTH
- C. IF AREAS ARE DESIGNATED AS SHRUB BEDS OR HEDGE TRENCHES, THEY SHALL BE EXCAVATED TO AT LEAST 18" DEPTH MINIMUM. AREAS DESIGNATED FOR GROUND COVERS AND VINES SHALL BE EXCAVATED TO AT LEAST 12" IN DEPTH

DIAMETER AND DEPTH OF TREE PITS SHALL GENERALLY BE AS FOLLOWS:

SHALL BE USED AT ANY TIME.

" - 3.5"CAL. 3.5"- 4" CAL. 4" - 4.5"CAL. 4.5"- 5" CAL. 5" - 5.5"CAL. 48" 96" 5.5"- 6" CAL.

LECTION DISTRICT No. 5

A 20 % COMPACTION FIGURE OF THESOIL TO BE REMOVED IS ASSUMED AND WILL BE ALLOWED IN CALCULATION OF EXTRA TOPSOIL. THE TABULATED PIT SIZES ARE FOR PURPOSES OF UNIFORM CALCULATION AND SHALL NOT OVERRIDE THE SPECIFIED DEPTHS BELOW THE BOTTOMS OF THE ROOT BALLS.

4. STAKING, GUYING AND WRAPPING:
ALL PLANT MATERIAL SHALL BE STAKED OR GUYED, AND WRAPPED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS

- A. STAKES: SHALL BE SOUND WOOD 2" X 2" ROUGH SAWN OAK OR SIMILAR DURABLE WOODS, OR LENGTHS, MINIMUM 7'-0" FOR MAJOR TREES AND 5'-0" MINIMUM FOR MINOR TREES.
- B. WIRE AND CABLE: WIRE SHALL BE #10 GA. GALVANIZED OR BETHANIZED ANNEALED STEEL WIRE. FOR TREES OVER 3" CALIPER, PROVIDE 5/16" TURN BUCKLES, EYE AND EYE WITH 4" TAKE-UP. FOR TREES OVER 5" CALIPER, PROVIDE 3/16", 7 STRAND CABLE CADMIUM PLATED STEEL, WITH GALVANIZED "EYE" THIMBLES OF WIRE AND HOSE ON TREES UP TO 3" IN CALIPER.
- C. HOSE: SHALL BE NEW, 2 PLY REINFORCED RUBBER HOSE, MINIMUM 1/2" I.D. "PLASTIC LOCK TIES" OR "PAUL'S TREES BRACES" MAY BE USED IN PLACE OF WIRE AND HOSE ON TREES UP TO 3" IN CALIPER.
- D. ALL TREES UNDER 3" IN CALIPER ARE TO BE PLANTED AND STAKED IN ACCORDANCE WITH THE ATTACHED PLANTING DETAILS.

5. PLANT PRUNING, EDGING AND MULCHING:

A. EACH TREE, SHRUB OR VINE SHALL BE PRUNED IN AN APPROPRIATE MANNER TO ITS PARTICULAR REQUIREMENTS, IN ACCORDANCE WITH A EACH TREE, SHRUB OR VINE SHALL BE PRUNED BRANCHES SHALL BE PEMOVED WITH CLEAN CHIES FLUSH WITH THE ADJACENT TRUNK ACCEPTED STANDARD PRACTICE. BROKEN OR BRUISED BRANCHES SHALL BE REMOVED WITH CLEAN CUTS FLUSH WITH THE ADJACENT TRUNK OR BRANCHES. ALL CUTS OVER 1" IN DIAMETER SHALL BE PAINTED WITH AN APPROVED ANTISEPTIC TREE WOUND DRESSING.

B. ALL TRENCHES AND SHRUB BEDS SHALL BE EDGED AND CULTIVATED TO THE LINES SHOWN ON THE DRAWING. THE AREAS AROUND ISOLATED PLANTS SHALL BE EDGED AND CULTIVATED TO THE FULL DIAMETER OF THE PIT. SOD WHICH HAS BEEN REMOVED AND STACKED SHALL BE USED TO TRIM THE EDGES OF ALL EXCAVATED AREAS TO THE NEAT LINES OF THE PLANT PIT SAUCERS, THE EDGES OF SHRUB AREAS, HEDGE TRENCHES

C. AFTER CULTIVATION, ALL PLANT MATERIALS SHALL BE MULCHED WITH A 3" LAYER OF FINE, SHREDDED PINE BARK, PEAT MOSS, OR ANOTHER APPROVED MATERIAL OVER THE ENTIRE AREA OF THE BED OR SAUCER.

6. PLANT INSPECTION AND ACCEPTANCE:
THE DESIGN REVIEW COMMITTEE SHALL BE RESPONSIBLE FOR INSPECTING ALL PLANTING PROJECTS ON A PERIODIC BASIS TO ASSURE THAT ALL WORK IS

PROCEEDING IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.

. PLANT GUARANTEE:
ALL PLANT MATERIAL SHALL BE GUARANTEED FOR THE DURATION OF ONE FULL GROWING SEASON, AFTER FINAL INSPECTION AND ACCEPTANCE OF THE WORK IN THE PLANTING PROJECT. PLANTS SHALL BE ALIVE AND IN SATISFACTORY GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD.

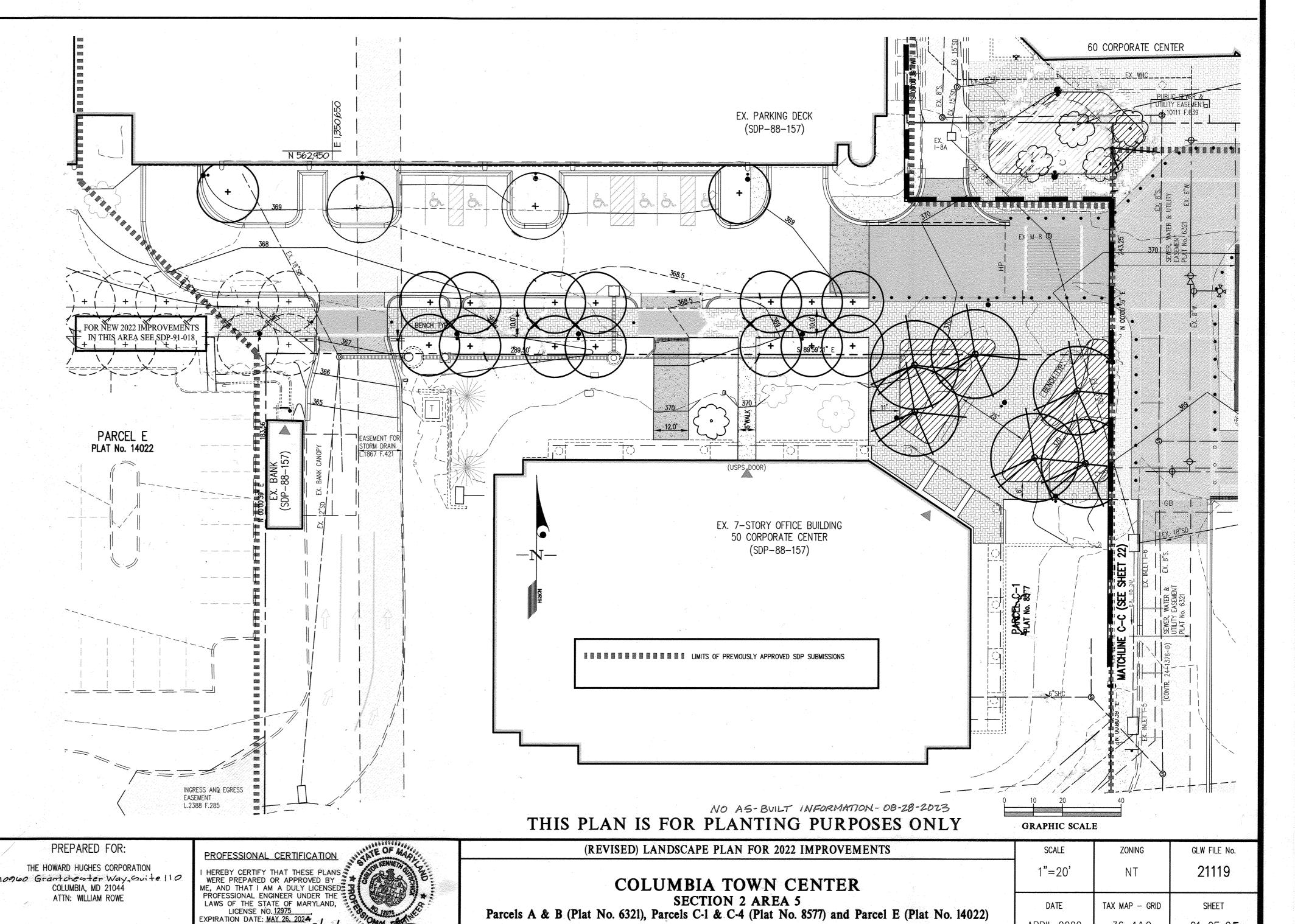
A. FOR THIS PURPOSE, THE "GROWING SEASON" SHALL BE THAT PERIOD BETWEEN THE END OF THE "SPRING" PLANTING SEASON, AND THE

COMMENCEMENT OF THE "FALL" PLANTING SEASON. B. GUARANTEE FOR PLANTING PERFORMED AFTER THE SPECIFIED END OF THE "SPRING" PLANTING SEASON, SHALL BE EXTENDED THROUGH THE END OF

THE NEXT FOLLOWING "SPRING" PLANTING SEASON.

ALL SODDING SHALL BE IN ACCORDANCE TO THE "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS" LATEST EDITION, APPROVED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF METROPOLITAN WASHINGTON AND THE AMERICAN SOCIETY OF LANDSCAPE

ALL SOD SHALL BE STRONGLY ROOTED SOD, NOT LESS THAN TWO YEARS OLD AND FREE OF WEEDS AND UNDESIRABLE NATIVE GRASSES. PROVIDE ONLY SOD CAPABLE OF GROWTH DEVELOPMENT WHEN PLANTED AND IN STRIPS NOT MORE THAN 18" WIDE X 4" LONG. PROVIDE SOD COMPOSED PRINCIPALLY OF IMPROVED STRAIN KENTUCKY BLUEGRASS, SUCH AS, COLUMBIA, VICTA, OR ESCORT.



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