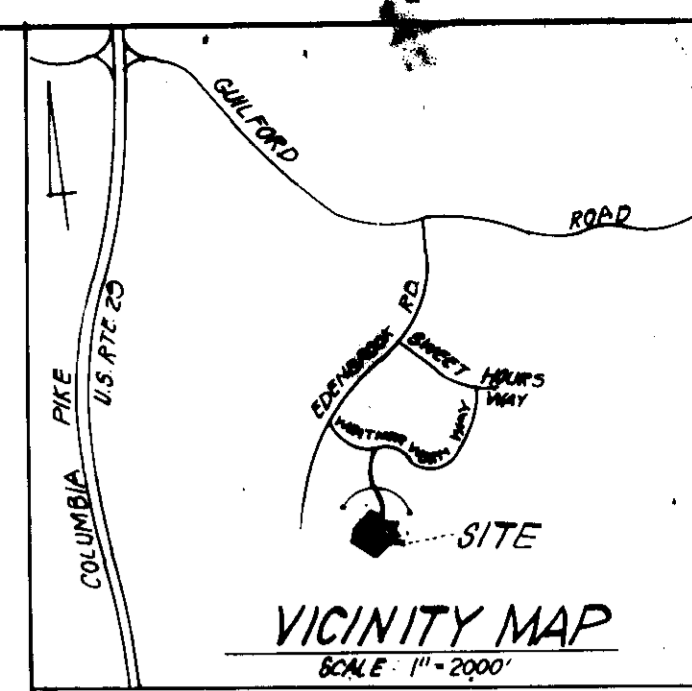
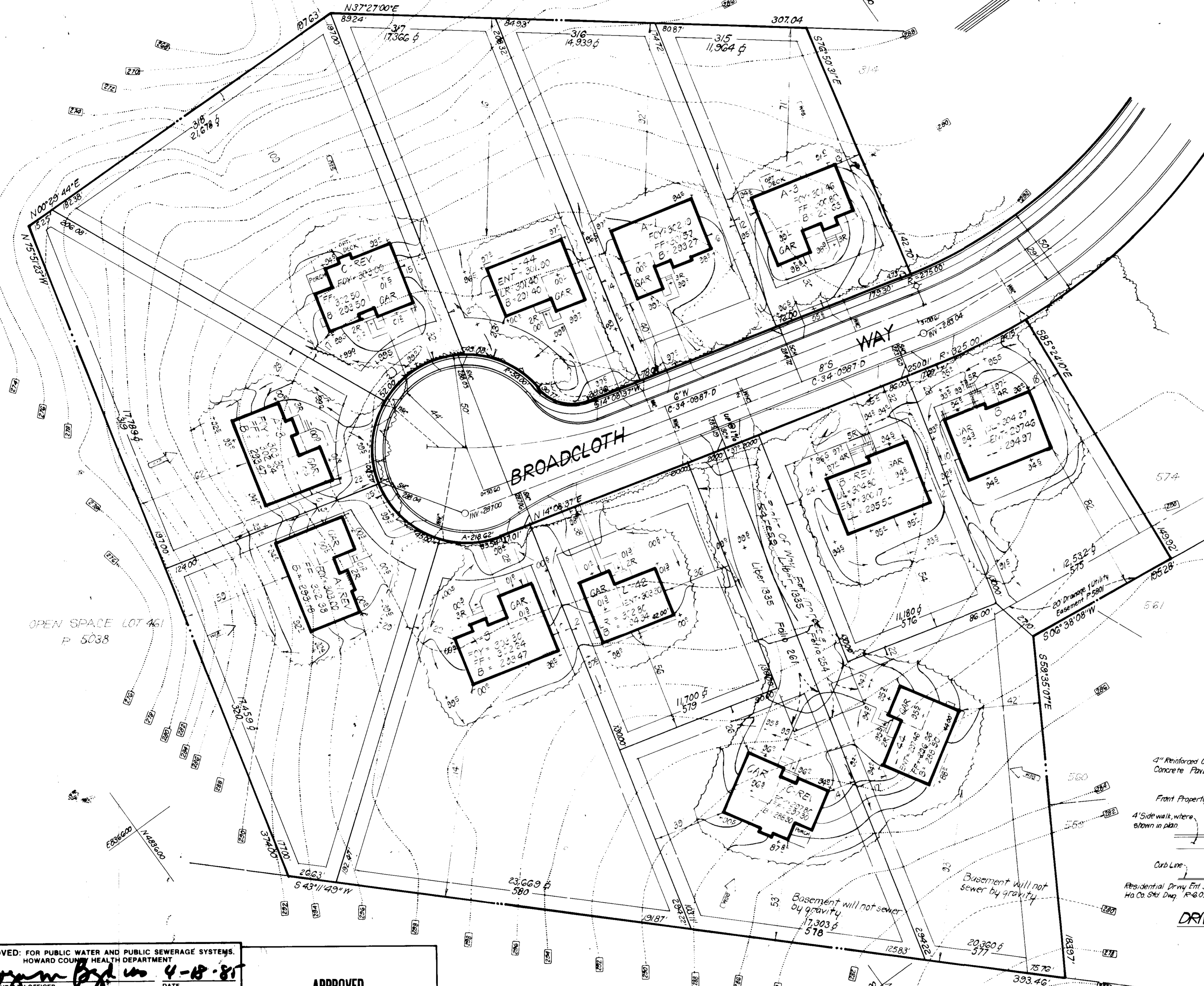


OPEN SPACE LOT 461
VILLAGE OF KINGS CONTRIVANCE
2/3 PHASE 2 P. 5037

OPEN SPACE LOT 461
P. 5037

OPEN SPACE LOT 461
P. 5038

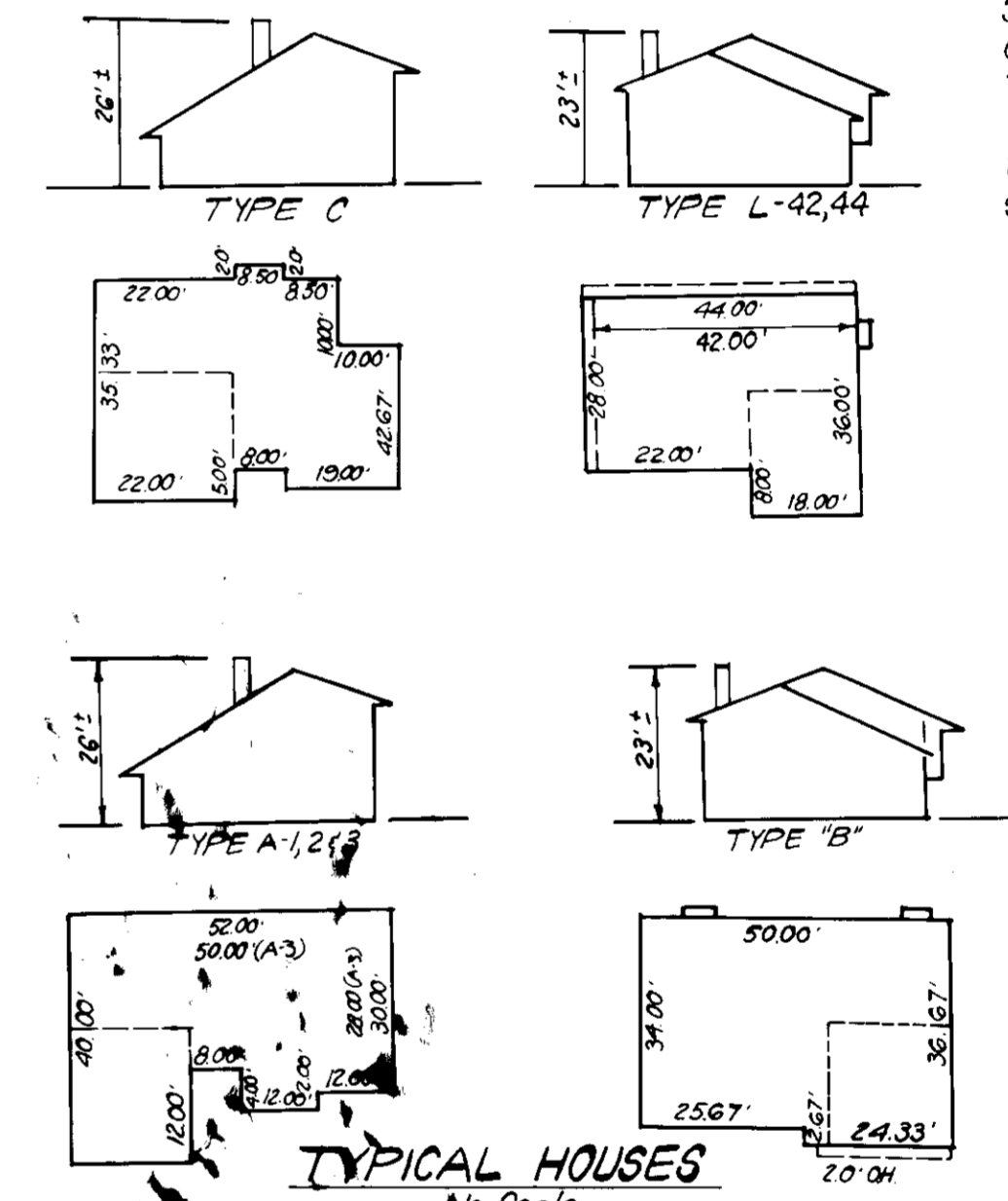


LEGEND:

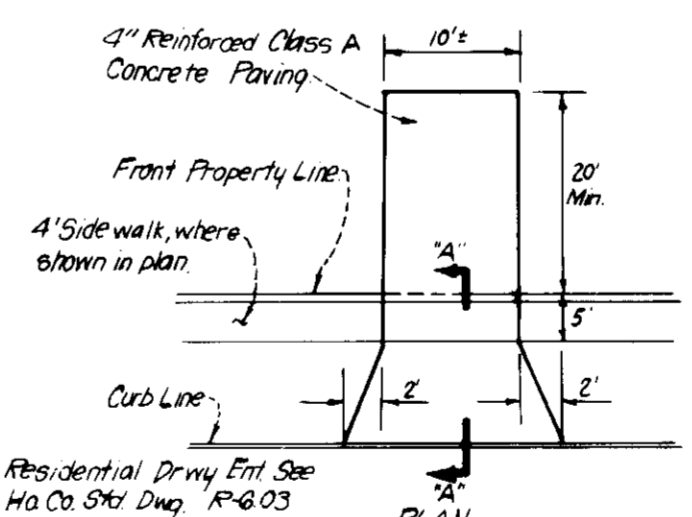
- 1 Contour Interval 2 Ft.
- 2 Existing Contour
- 3 Proposed Contour
- 4 Spot Elevation
- 5 Direction of Drainage
- 6 Existing Trees to be Retained
- 7 Walkout Basement

GENERAL NOTES:

- 1 The land included in this plan is zoned New Town (S.F.L.D.)
- 2 The lots shown on this plan are covered by Final Development Plan Phase 178-A-III Part II
- 3 All coordinates shown herein are based on Howard County Geodetic Control Traverse which is based upon the Maryland State Plane Coordinates System.
- 4 The area covered is located on Tax Map 415.42
- 5 The total area included in this plan is 4.544 Acres.
- 6 All roadways are public and existing
- 7 Any damage to County Owned rights-of-way or paving shall be corrected at the Developers Expense.
- 8 Total Number of Lots: 12
- 9 Storm Water Management provided in central facility in V.O.K.C. 2/3 Phase III, P. 81-82.



TYPICAL HOUSES
No Scale



DRIVEWAY ABUTTING MODIFIED COMB CURB & GUTTER
No Scale

Note: Use Residential Driveway Entrance Ho Co. Sta except where driveway abuts Modified Comb Curb & Gutter.
Note: Materials and Construction shall be in accordance with the Ho Co. Road Construction Code.
1/2" Preformed Bituminous Expansion Joint Filter
Class A Concrete
1/2" Preformed Bit. Exp. Joint Filter
Front Property Line
Class A Concrete
Mod. Comb. Curb & Gutter, Ho Co. Std. Drwg. R-301
6" x 6" #6 Wire Mesh

LOT	STREET ADDRESS
315	7542 Broadcloth Way
316	7548 " "
317	7554 " "
318	7560 " "
319	7568 " "
320	7569 " "
570	7565 " "
573	7561 " "
578	7557 " "
577	7553 " "
576	7549 " "
575	7545 " "

SUBDIVISION NAME - PHASE III		SRT./AREA	LOT/PARCEL #
COL - V.O.K.C. - PHASE III		2/3	315-580
PLAT	BLOCK #	ZONING	TAX./ZONE MAP/ELEC. DIST.
5009 & 5809	13	RFL.D	41 & 42 G 7H 6082
WATER CODE		SEWER CODE	
E-1G		G350000	

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
HOWARD COUNTY HEALTH DEPARTMENT
4-18-85

APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
4-19-85

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
6-12-85

APPROVED
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 3-28-85

OPEN SPACE LOT 294
VILLAGE OF KINGS CONTRIVANCE
2/3 PHASE 2 P. 4957



CLARK · FINEROCK & SACKETT
ENGINEERS · PLANNERS · SURVEYORS

11315 LOCKWOOD DRIVE SILVER SPRING, MARYLAND 20904 (301) 583-3400

DESIGNED JME	SITE DEVELOPMENT PLAN LOTS 315 THRU 320 AND LOTS 575 THRU 580 COLUMBIA VILLAGE OF KINGS CONTRIVANCE SECTION 2 AREA 3 PHASE 3 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 30'
DRAWN BAF VHL		DRAWING 1 OF 3
CHECKED JME		JOB NO. 84-026
DATE 2-28-85		FILE NO. 84-026X

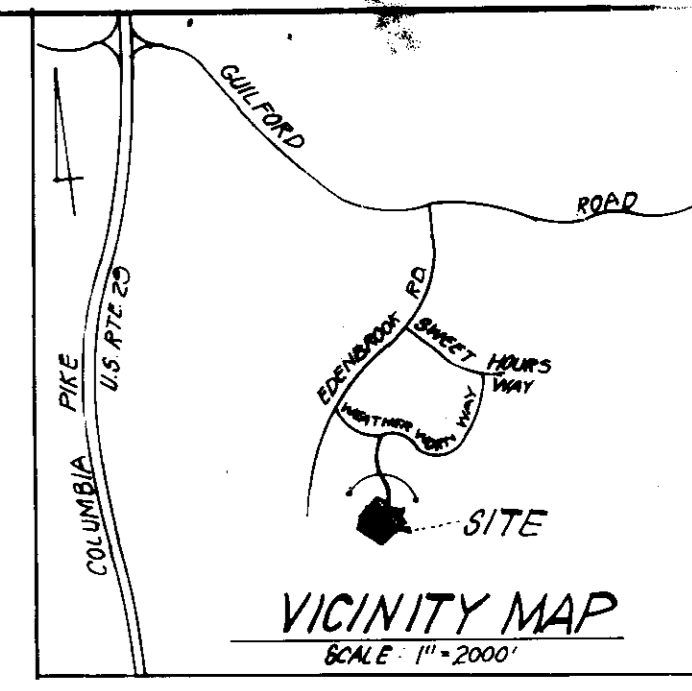
FOR: ALLAN HOMES, INC.
PO Box 1058
Columbia, MD 21044

SDP-85-140c

OPEN SPACE LOT 461
VILLAGE OF KINGS CONTRIVANCE
2/3 PHASE 2 P 5037

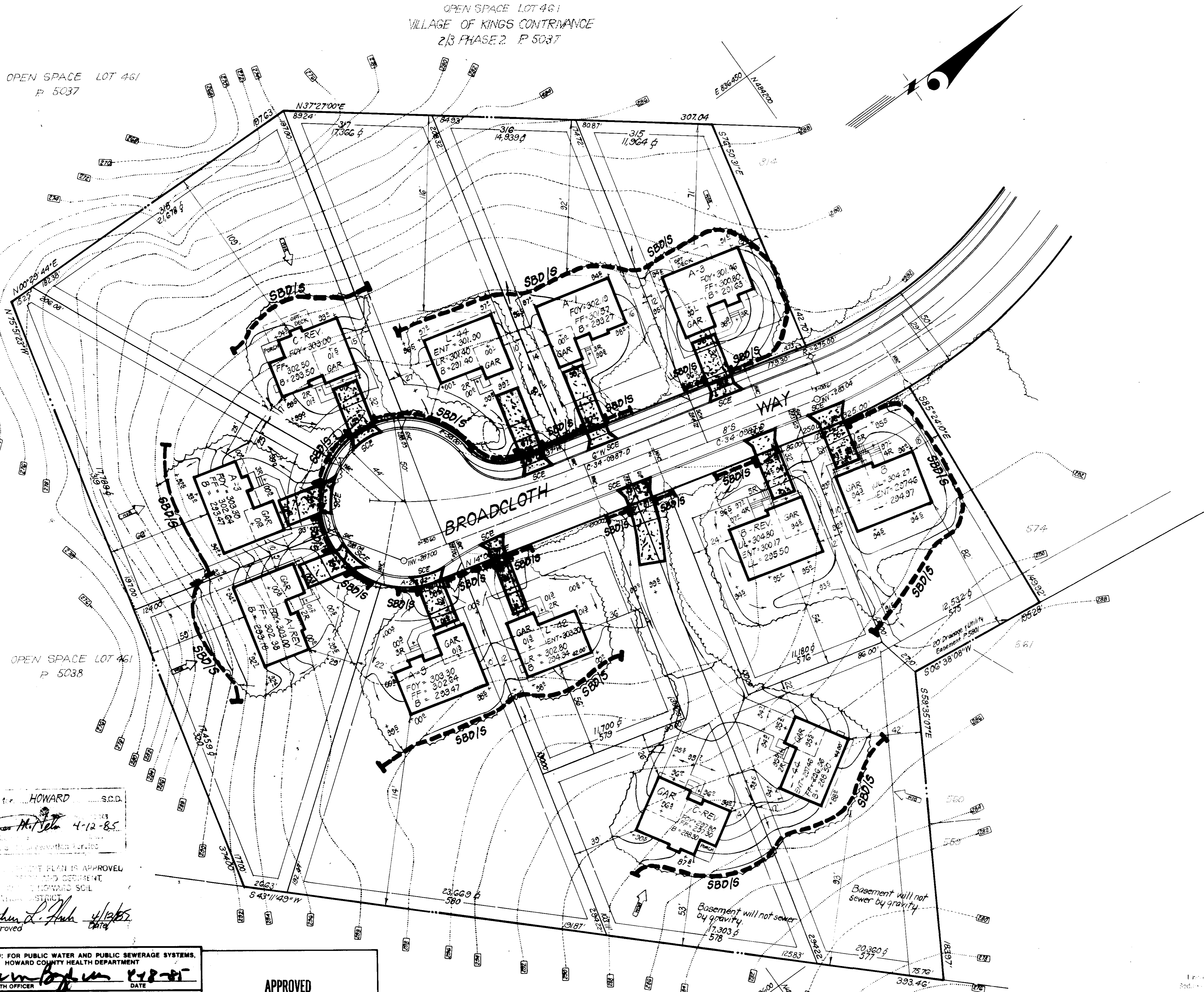
OPEN SPACE LOT 461
P 5037

OPEN SPACE LOT 461
P 5038



LEGEND:

- 1 Contour Interval 2 Ft.
- 2 Existing Contour
- 3 Proposed Contour
- 4 Spot Elevation
- 5 Direction of Drainage
- 6 Existing Trees to be Retained
- 7 Walkout Basement
- 8 Straw Bale Dike/Silt Fence
- 9 Stone Construction Entrance



Reviewed by HOWARD S.C.D.
4-12-85
U.S. Department of Health
Approved
4-12-85

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,
HOWARD COUNTY HEALTH DEPARTMENT
DATE 4-19-85
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE,
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DATE 4-12-85

APPROVED
DIVISION OF LAND DEVELOPMENT &
ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 3-28-85

OPEN SPACE LOT 294
VILLAGE OF KINGS CONTRIVANCE
2/3 PHASE 2 P 4957

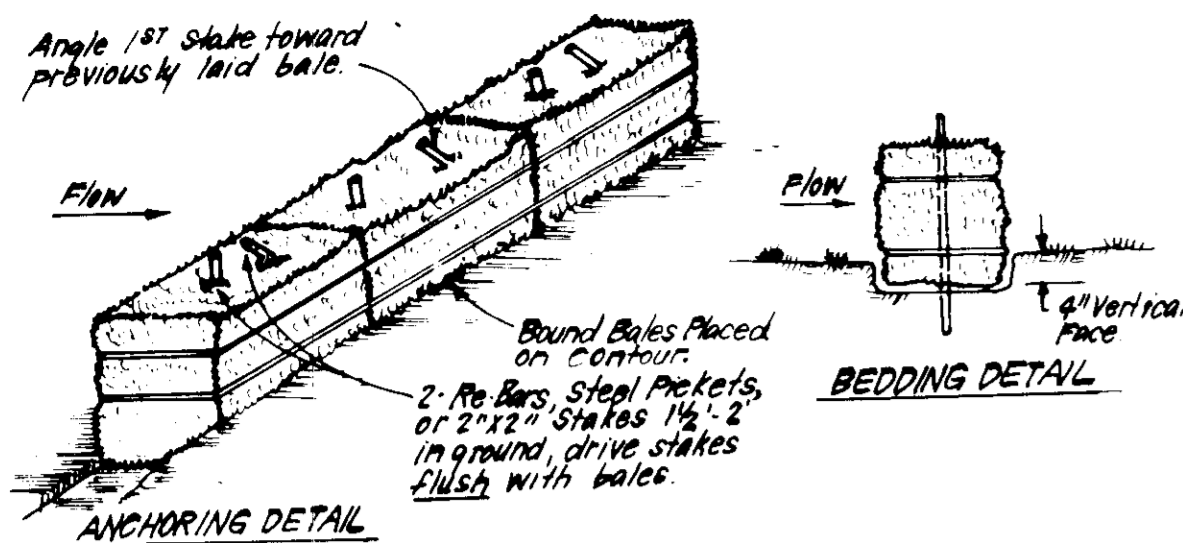
DEVELOPER'S/OWNER'S CERTIFICATE
I hereby certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that all responsibilities imposed in the construction permit will be a condition of a Certificate of Approval of Natural Resources...
ALLAN WASHAK
3-5-85

ENGINEER'S CERTIFICATE
I hereby certify that this plan for Erosion and Sediment Control...
G. Nelson, Chpt.
3-5-85

SUBDIVISION NAME COL - V.O.K.C. - PHASE III		SECT./AREA 2/3	LOT/PARCEL # 335-3234 575-580
PLAT 5039 & 5040	BLOCK # 5/310	TAX/ZONE MAP ELEC. DIST. A1 & 42 GTH	CENSUS TR. GTH
WATER CODE E-10		SEWER CODE G350000	

CLARK · FINEFROCK & SACKETT ENGINEERS · PLANNERS · SURVEYORS		11315 LOCKWOOD DRIVE SILVER SPRING, MARYLAND 20904 (301) 593-3400
DESIGNED R.P.	SEDIMENT AND EROSION CONTROL PLAN LOTS 315 THRU 320 AND LOTS 575 THRU 580	
DRAWN BAF VHL	COLUMBIA VILLAGE OF KINGS CONTRIVANCE SECTION 2 AREA 3 PHASE 3 GTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND	
CHECKED R.P.	SCALE 1" = 30'	
DATE 2-28-85	FOR: ALLAN HOMES, INC. PO Box 1058 Columbia, MD 21044	DRAWING 2 OF 3 JOB NO. 84-02G FILE NO. 84-02GSE

SDP-85-140

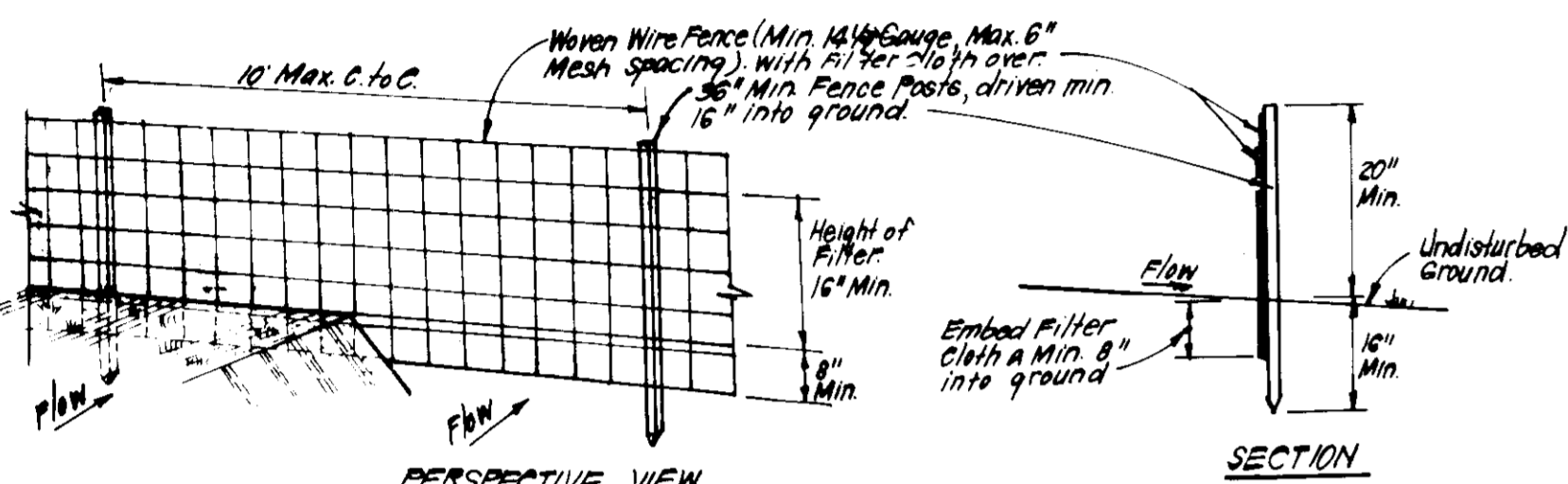


CONSTRUCTION SPECIFICATIONS:

- Bales shall be placed at the top of a slope or on the contour and in a row with ends tightly abutting the adjacent bales.
- Each bale shall be embedded in the soil a min. of 4" and placed so the bindings are horizontal.
- Bales shall be securely anchored in place by either 2 stakes or re-bars driven thru the bale. The 1st stake in each bale shall be driven toward the previously laid bale at an angle to force the bales together. Stakes shall be driven flush with the bale.
- Inspection shall be frequent and repair/replacement shall be made promptly as needed.
- Bales shall be removed when they have served their usefulness so as not to block or impede storm flow or drainage.

STRAW BALE DIKE DETAIL (SBD)

NO SCALE



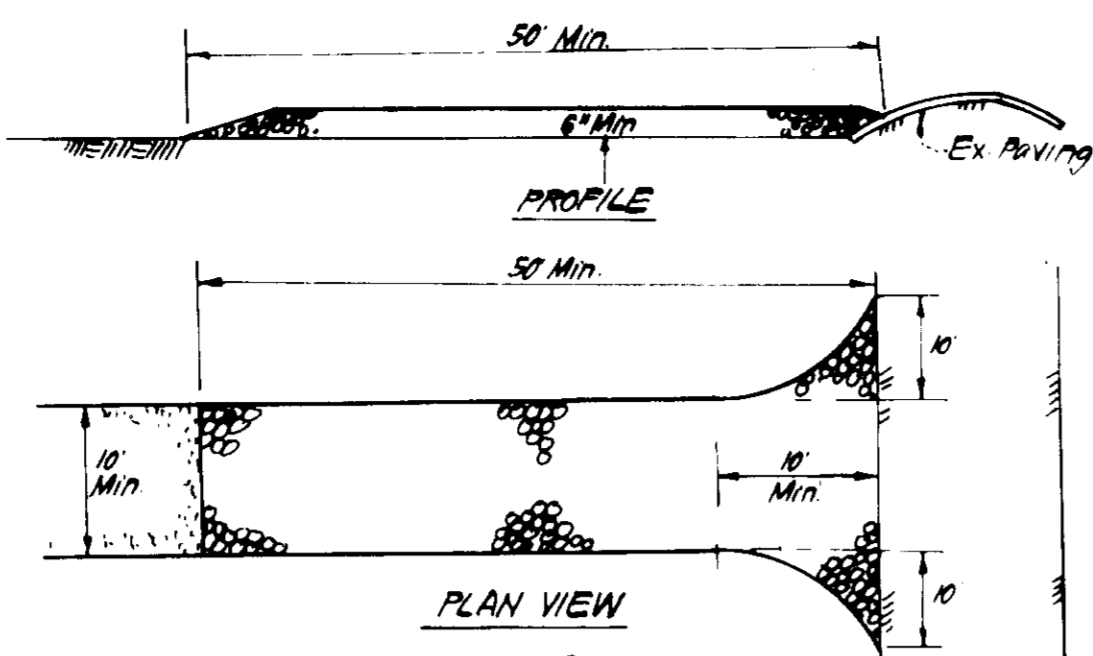
CONSTRUCTION SPECIFICATIONS:

- Woven wire fence to be fastened securely to fence posts with wire ties or staples.
- Filter cloth to be fastened securely to woven wire fence with ties spaced every 24" at top and mid section.
- When 2 sections of filter cloth adjoin each other they shall be overlapped by 6" and folded.
- Maintenance shall be performed as needed and material removed when "bulges" develop in Silt Fence.

POSTS: Steel, either T or U Type or 2" Hardwood
 FENCE: Woven Wire, 14-gauge
 FILTER CLOTH: Filterx, Mirafix 100X, Stabilink, T140N or Approx. equal
 PREFABRICATED UNIT: Geotels, Envirofence, or Approx. equal

SILT FENCE DETAIL (S)

NO SCALE



CONSTRUCTION SPECIFICATIONS:

- Stone Size - Use 2" stone, or reclaimed or recycled concrete equivalent.
- Length - As required, but not less than 50 feet (except on a single residence lot where a 30' min. length would apply).
- Thickness - Not less than 6".
- Width - Ten foot min, but not less than the full width at point where ingress occurs.
- Filter cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residence lot.
- Surface Water - All surface water flowing or directed toward construction entrances shall be piped across the entrance.
- Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights of way. This may require periodic top dressing with additional stone as conditions dictate and repair and/or breakout of any material used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights of way must be removed immediately.
- Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public rights of way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
- Periodic inspection and needed maintenance shall be provided after each rain.

STABILIZED CONSTRUCTION ENTRANCE (S.C.E.)

NO SCALE

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding.

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:

- Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft).
- Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.

Seeding - For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching - Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using straw anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

Maintenance - Inspect all seeded areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding.

Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft)

Seeding - For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2 1/2 bushel per acre of annual rye (3.2 lbs/1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (.07 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching - Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes, 8 ft or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.

Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

SEDIMENT CONTROL NOTES

- A minimum of 24 hours notice must be given to the Howard County Office of Inspections and Permits prior to the start of any construction (992-2437).
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 51) and temporary seeding (Sec. 50) (Sec. 51) sod (Sec. 54), temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:

Total Area of Site	4544 acres
Area Disturbed	2060 acres
Area to be roofed or paved	0.718 acres
Area to be vegetatively stabilized	7342 acres
Total Cut	1348.50 Cu. yds
Total Fill	431.07 Cu. yds
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment controls must be provided, if deemed necessary by the Howard County DPW sediment control inspector.
- If houses are to be constructed on an "As-Sold" basis, at random, Single Lot Sediment Control as shown below shall be implemented.
- All pipes to be blocked at the end of each day (see detail below).
- The total amount of straw bale dikes/silt fence equals 1455 L.F.

CONSTRUCTION SEQUENCE:

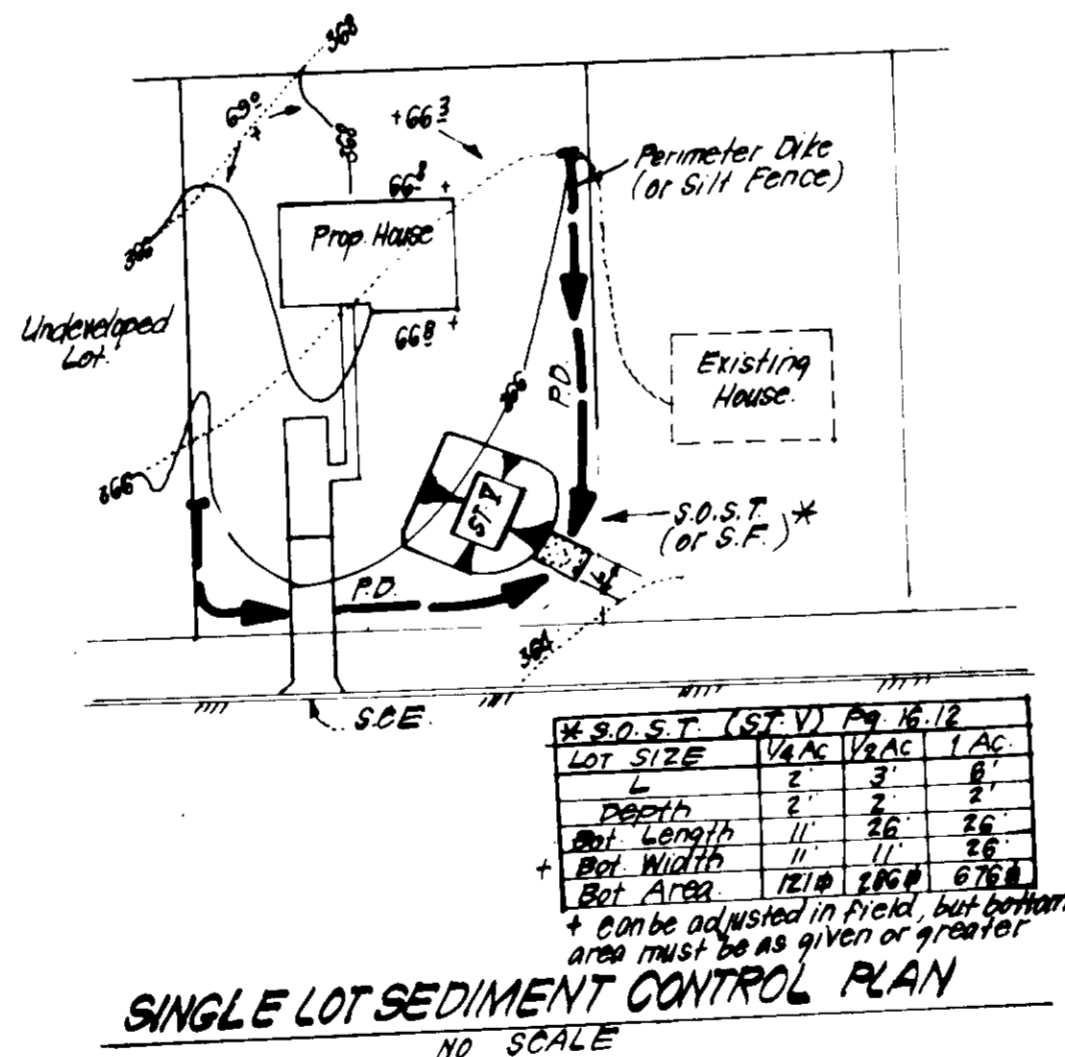
- Obtain Grading Permit and Install Sediment and Erosion Control Devices and Stabilize.
- Excavate for foundations and Rough Grade.
- Construct Structures, Sidewalks and Driveways.
- Final Grade and Stabilize in accordance with Sds & Specs.
- Upon approval of the sediment control inspector, remove sediment and erosion control and stabilize.

APPROVED
 DIVISION OF LAND DEVELOPMENT &
 ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE 3-28-85

Reviewed for HOWARD S.C.D.
 Name
 and meets Technical Requirements
 Signature Date 4-12-85
 U.S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED
 FOR SOIL EROSION AND SEDIMENT
 CONTROL BY THE HOWARD SOIL
 CONSERVATION DISTRICT.

Signature Date 4/12/85
 Approved



SINGLE LOT SEDIMENT CONTROL PLAN

NO SCALE

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that all responsible personnel involved in the construction project have a Certificate of Attendance at a Dept. of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their representative as deemed necessary."

Signature of Developer/Builder
 ALLAN WASHAK
 Date 4-2-85

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Erosion and Sediment Control meets all practical and workable requirements and that my knowledge of the site and the plan was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature
 G. Nelson
 Date 4-2-85

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,
 HOWARD COUNTY HEALTH DEPARTMENT
 Signature Date 4-8-85
 APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
 Signature Date 4-12-85
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE,
 STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Signature Date 4-12-85
 Signature Date 4-2-85

CLARK · FINEFROCK & SACKETT
 ENGINEERS · PLANNERS · SURVEYORS
 11315 LOCKWOOD DRIVE SILVER SPRING, MARYLAND 20904 (301) 593-3400

DESIGNED R.P.
 DRAWN BAF
 CHECKED R.P.
 DATE 4-2-85

SCALE As Shown
 DRAWING 3013
 JOB NO. 84-026
 FILE NO. 84-026 BE

FOR: ALLAN HOMES
 P.O. Box 1058
 Columbia, MD 21044