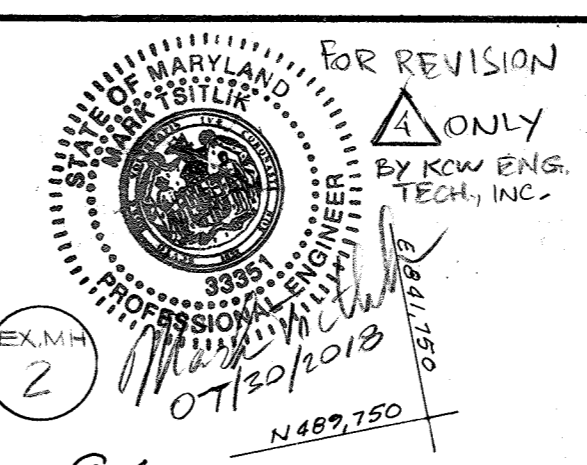


**ADDRESS CHART**

BUILDING NUMBER	STREET ADDRESS
1	9755 PATUXENT WOODS DRIVE
2	9765 " " " "
3	9830 " " " "
4	9810 " " " "
5	9770 " " " "
6	9820 " " " "
7	9800 " " " "
8	9790 " " " "
9	9780 PATUXENT WOODS DRIVE

**APPROVED**  
 PLANNING BOARD  
 OF HOWARD COUNTY  
 DATE: **5-15-85**

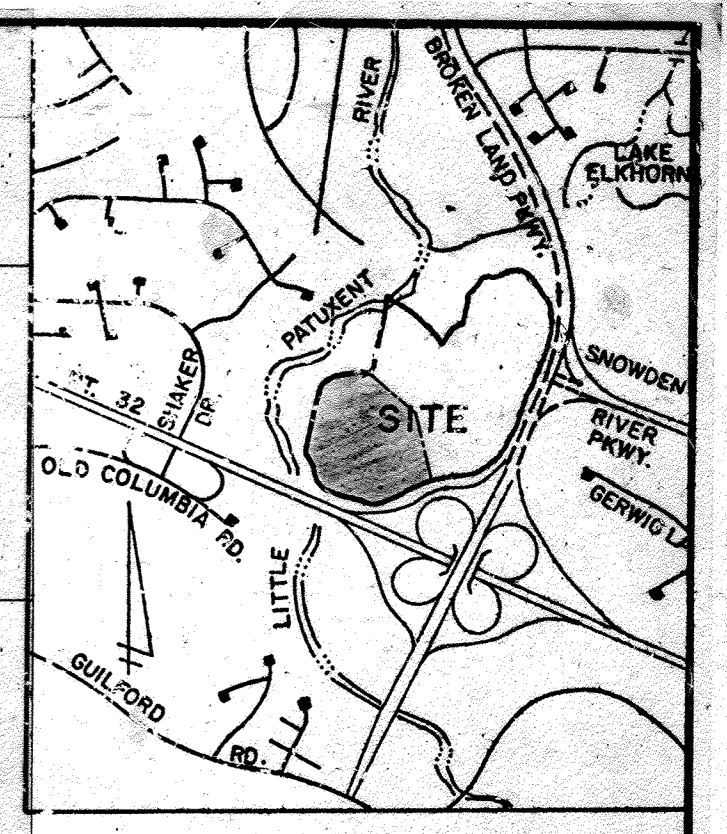
**PURPOSE STATEMENT: REVISED SITE DEVELOPMENT PLAN TO SHOW 1800 SF OUTDOOR ACTIVITY AREA ADJACENT TO BLDG #8.**  
 SEE SHEET 16 FOR MODIFICATION TO CUTFALL S-3



APPROVED: For Public Water and Public Sewerage Systems, Howard County Health Department.  
 Date: **7-12-85**

APPROVED: Howard County Department of Planning and Zoning.  
 Planning Director: **7-17-85**  
 Chief, Division of Land Development and Zoning Administration: **7-16-85**

APPROVED: For Public Water and Public Sewerage, Storm Drainage Systems and Public Roads, Howard County Department of Public Works.  
 Director: **7-11-85**  
 Chief, Bureau of Engineering: **7-10-85**



SUBDIVISION NAME VILLAGE OF OWEN BROWN	SEC./AREA G/1	LOT/PARCEL # PARCELS A&C
PLAT # OR L/F 6127	BLOCK # 2	ZONE INDUSTRIAL
TAX/ZONE MAP MAP 42	ELEC. DIST. 6TH	CENSUS TR. 6061.03
WATER CODE	SEWER CODE	

- NOTES:**
- SEE SHEET 9 OF 15 FOR DRAINAGE AREA MAP
  - PRELIMINARY WATER & SEWER LAYOUTS ARE CURRENTLY BEING REVIEWED BY HOWARD COUNTY DEPT. OF PUBLIC WORKS.
  - SEE SHEET 3 OF 15 FOR OCCUPANCY LOAD FOR R&D BUILDINGS



**JOYCE ENGINEERING CORPORATION**  
 CIVIL ENGINEERING: 10766 BALTIMORE AVENUE BELTSVILLE, MD 20705  
 LAND SURVEYING: MARYLAND 20705  
 LAND PLANNING: TEL: (301) 595-4353  
 CONSTRUCTION MANAGEMENT: FAX: (301) 595-4650  
 WEB: WWW.JOYCE.ENG.COM 2003 JOYCE ENGINEERING CORPORATION

PREPARED BY: M.A.L. DATE: 03.07.2022  
 NOTE: PLAN REVISIONS MADE ON 3.07.2022 BY JOYCE ENGINEERING CORPORATION ORIGINAL APPROVAL AND SUBSEQUENT REVISION(S) PRIORABLE BY OTHERS.

PROPOSED OUTDOOR ACTIVITY AREA TO REMAIN AS UNDISTURBED GRASS AREA = 3000 SF WITH 6' FOOT HIGH BLACK VINYL COATED CHAIN LINK FENCE. THE PROPOSED FENCE SHALL NOT OBSTRUCT EXIT ACCESS TO THE PUBLIC WAY OR BE LOCATED WITHIN THE PUBLIC UTILITY EASEMENT THE DISTURBED AREA (FENCE POST ONLY) = 285 SF. TYPICAL DISTURBANCE SWM BOL.

THE PROPOSED FENCE WILL BE LOCATED WHERE IT WILL NOT EFFECT DRAINAGE.

THE PROPOSED OUTDOOR ACTIVITY AREA SHALL BE ACCESSIBLE IN ACCORDANCE WITH THE MARYLAND ACCESSIBILITY CODE AND SECTION 240 OF THE 2010 ADA.

PROP. 1800 SF OUTDOOR ACTIVITY AREA W/ 6' HIGH WOODEN SHADOW BOX STYLE FENCE. FENCE SHALL NOT BE LOCATED WITHIN THE DRAINAGE EASEMENT. THE AREA SHALL MEET ALL ACCESSIBILITY STANDARDS.

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DUTY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. **12243** DATE **12-17-2022**

DATE	REVISION
9-29-87	ACCESS RAMP BLDG. #8
11-23-87	CHANGED FOOTPRINT BLDG. 7
6-6-06	ADDED 2 HC ENTRANCES TO BLDG 5
8-29-06	REVISED HC ENTRANCE @ BLDG 5

NOTE: THE DISTURBANCE PROPOSED UNDER REVISION 515 285 SF, WHICH CUMULATIVELY WITH REVISION NUMBER 4, NOW EQUALS 3,028 SF AND REMAINS UNDER 5,000 SF AND IS EXEMPT FROM STORMWATER MANAGEMENT. ANY FUTURE INCREASES IN THE CUMULATIVE LOD WHICH EXCEEDS 5,000 SF SHALL BE REQUIRED TO PROVIDE STORMWATER MANAGEMENT.

Match Line A-A (Sheet 3)  
 REVISION #4 LOD NOTE: TOTAL LOD IS 3000 SQ. FT. AND IT IS EXEMPT FROM SWM REQUIREMENTS. ANY CUMULATIVE INCREASE EXCEEDING 5,000 SQ. FT. SHALL REQUIRE THAT ESD BE PROVIDED.

**PURPOSE STATEMENT - MARCH 7, 2022**  
 THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO IDENTIFY KENNEDY KLEIGER INSTITUTE AS OCCUPYING 9800 PATUXENT WOODS DRIVE, UNIT #100 (BUILDING #P) AS OFFICE - DAYCARE FACILITY. IN ADDITION, ADDING AN OUTDOOR ACTIVITY AREA IMMEDIATELY ADJACENT TO BUILDING #9.

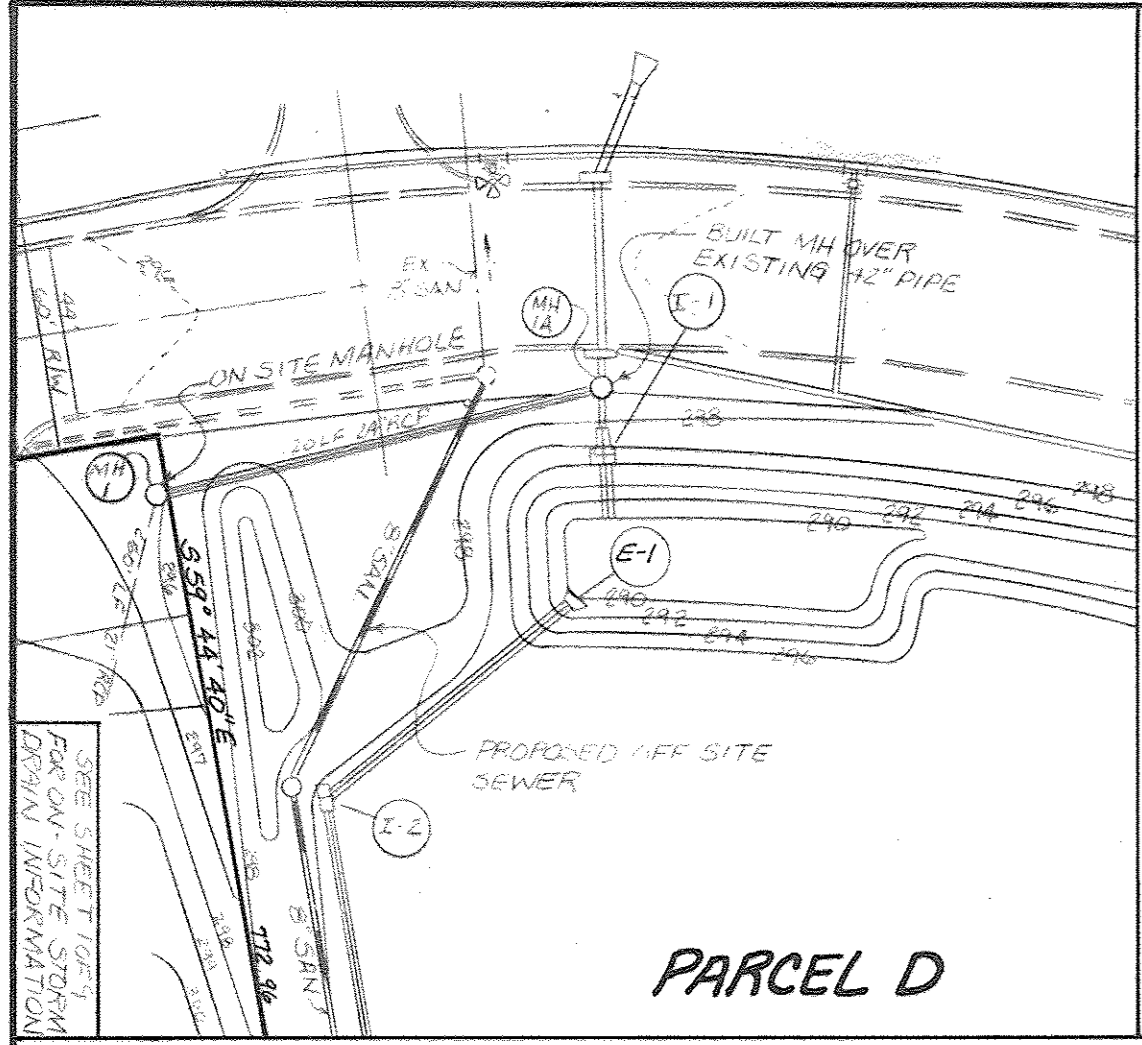
OWNER/DEVELOPER  
 LSOP 3 MD 3, LLC c/o JLL  
 7240 PARKWAY DRIVE, SUITE 360  
 HANOVER, MARYLAND  
 410-505-2709

**SITE DEVELOPMENT PLAN**  
 VILLAGE OF OWEN BROWN  
 SECTION G, AREA 1, PARCELS A, & C.  
 TAX MAP 42, PARCEL 18  
 G4 ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND  
 #9 FOR THE OFFICE - DAYCARE PRIVATE USE. THE SITE NOTES HAVE BEEN REVISED TO IDENTIFY UNIT 100 AS OFFICE - DAYCARE USE.

**KIDDE CONSULTANTS, INC.**  
 ENGINEERS, LAND PLANNERS & SURVEYORS  
 1052 WEST STREET / LAUREL, MD 20707  
 (301) 728-0665

DATE	REVISION	BY
8/28/85	2" RCP TO 24" RCP	MP
7/27/87	REVISED FOOTPRINTS AND SIZES	AW
11/17/87	REVS TO CUTFALLS S-1 & S-3	AG

DESIGNED BY: **RODOLPH MAY**  
 DRAWN BY: **D.S.P.**  
 CHECKED BY: **D.S.P.**  
 DATE: **2-8-84** SCALE: **1" = 30'**



**PARCEL D**

OFF-SITE STORM DRAIN  
SCALE: 1"=50'

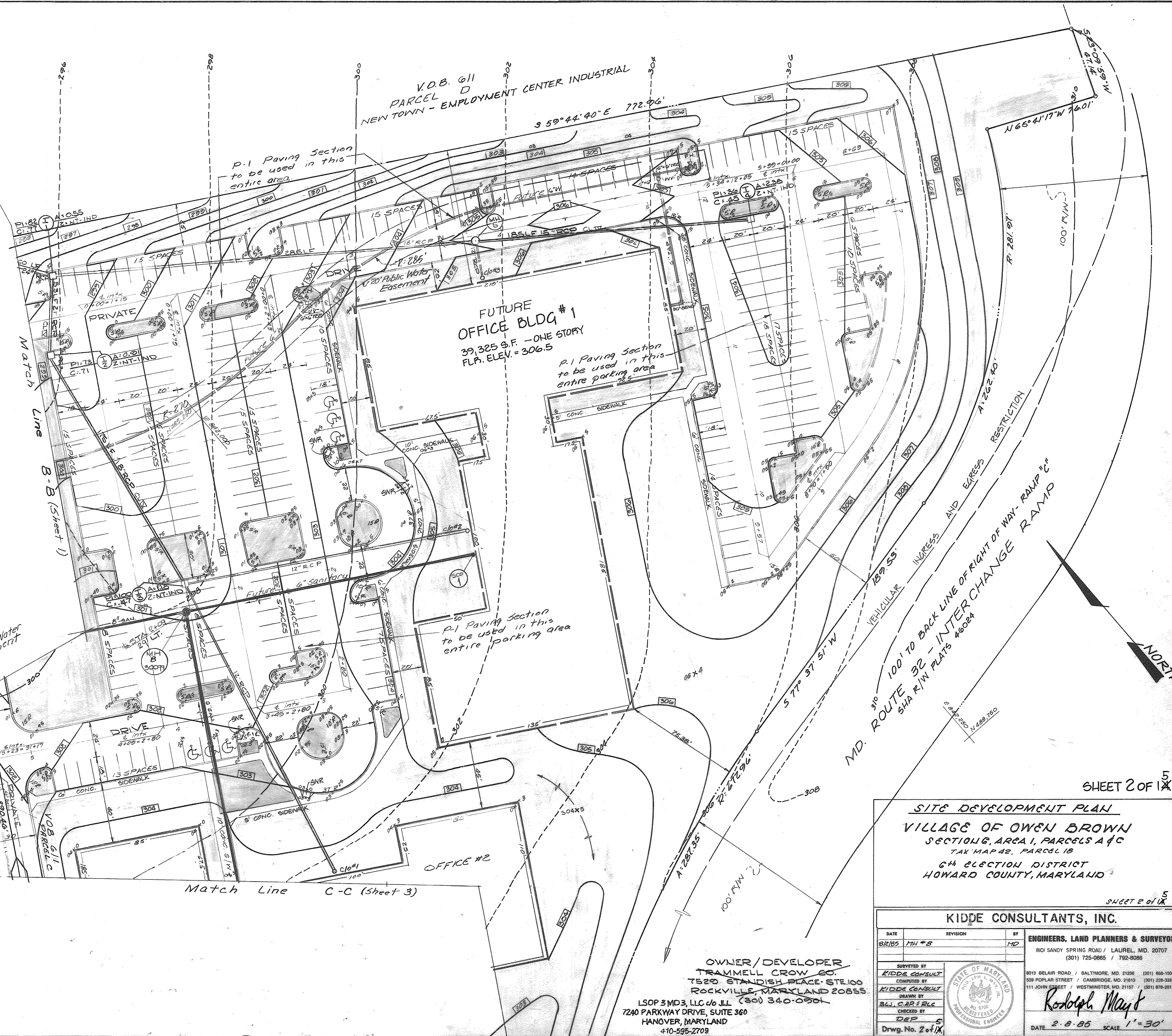
**APPROVED**  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE 5-15-85

APPROVED: For Public Water and Public Sewerage Systems.  
Howard County Health Department  
*[Signature]* 7-16-85  
Date

APPROVED: Howard County Department of Planning and Zoning.  
Planning Director  
*[Signature]* 7-17-85  
Date

APPROVED: For Public Water and Public Sewerage, Storm Drainage Systems and Public Roads.  
Howard County Department of Public Works  
*[Signature]* 7-11-85  
Date

*[Signature]* 7-16-85  
Date  
Chief, Bureau of Engineering



NOTES:  
1. See Sheet 9 of 5 for Drainage Area Map.  
2. Preliminary Water & Sewer layouts are currently being reviewed by Howard County Dept. of Public Works.

OWNER/DEVELOPER  
**TRAMMELL CROW CO.**  
7520 STANDISH PLACE, STE. 100  
ROCKVILLE, MARYLAND 20855  
LSOP 3 MD3, LLC d/o JLL (301) 340-0301  
7240 PARKWAY DRIVE, SUITE 360  
HANOVER, MARYLAND  
410-595-2709

SHEET 2 OF 5

**SITE DEVELOPMENT PLAN**  
VILLAGE OF OWEN BROWN  
SECTION 6, AREA 1, PARCELS A & C  
TAX MAP 42, PARCEL 1B  
6th ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

SHEET 2 OF 5

**KIDDE CONSULTANTS, INC.**  
ENGINEERS, LAND PLANNERS & SURVEYORS  
801 SANDY SPRING ROAD / LAUREL, MD. 20707  
(301) 725-0665 / 792-8086

DATE	REVISION	BY
8/1/85	MH #8	MD

SURVEYED BY  
KIDDE CONSULTANTS  
CONTRIBUTED BY  
KIDDE CONSULTANTS  
DRAWN BY  
B.L. CARLISLE  
CHECKED BY  
DEP  
Drwg. No. 2 of 1X

STATE OF MARYLAND  
REGISTERED PROFESSIONAL ENGINEER  
*[Signature]*  
DATE 2-8-85 SCALE 1"=30'

SDP-85-130c

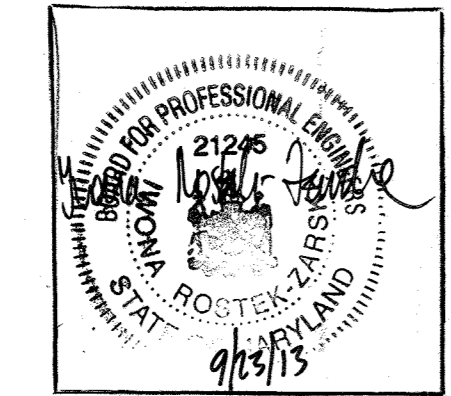
FOR REVISION ONLY  
 07-30-2018  
 ADD ENCLOSED CONNECTOR BETWEEN EX BLDGS. #8 & #9 BY K&E ENG. TECH. INC.  
 PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: 11-08-13.

**BALTIMORE LAND DESIGN GROUP, INC.**  
 BALTIMORE, MARYLAND  
 REVISION #2 ONLY 11-08-13

**'PURPOSE STATEMENT' - MARCH 7, 2022**  
 THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO IDENTIFY KENNEDY KRIEGER INSTITUTE AS OCCUPYING 9800 PATUXENT WOODS DRIVE, UNIT #100 (BUILDING #4) AS AN OFFICE - DAY CARE FACILITY. IN ADDITION, ADDING AN OUTDOOR ACTIVITY AREA IMMEDIATELY ADJACENT TO BUILDING #7 FOR THE OFFICE - DAY CARE PRIVATE USE. THE SITE NOTES HAVE BEEN REVISED TO IDENTIFY UNIT 100 AS OFFICE - DAY CARE USE. NOTE: THIS REVISED IS EXEMPT FOR THE REQUIREMENT OF PLANNING BOARD APPROVAL PER SECTION 125.03F OF THE ZONING REGULATIONS.

**PATUXENT WOODS - OCCUPANCY LOAD**

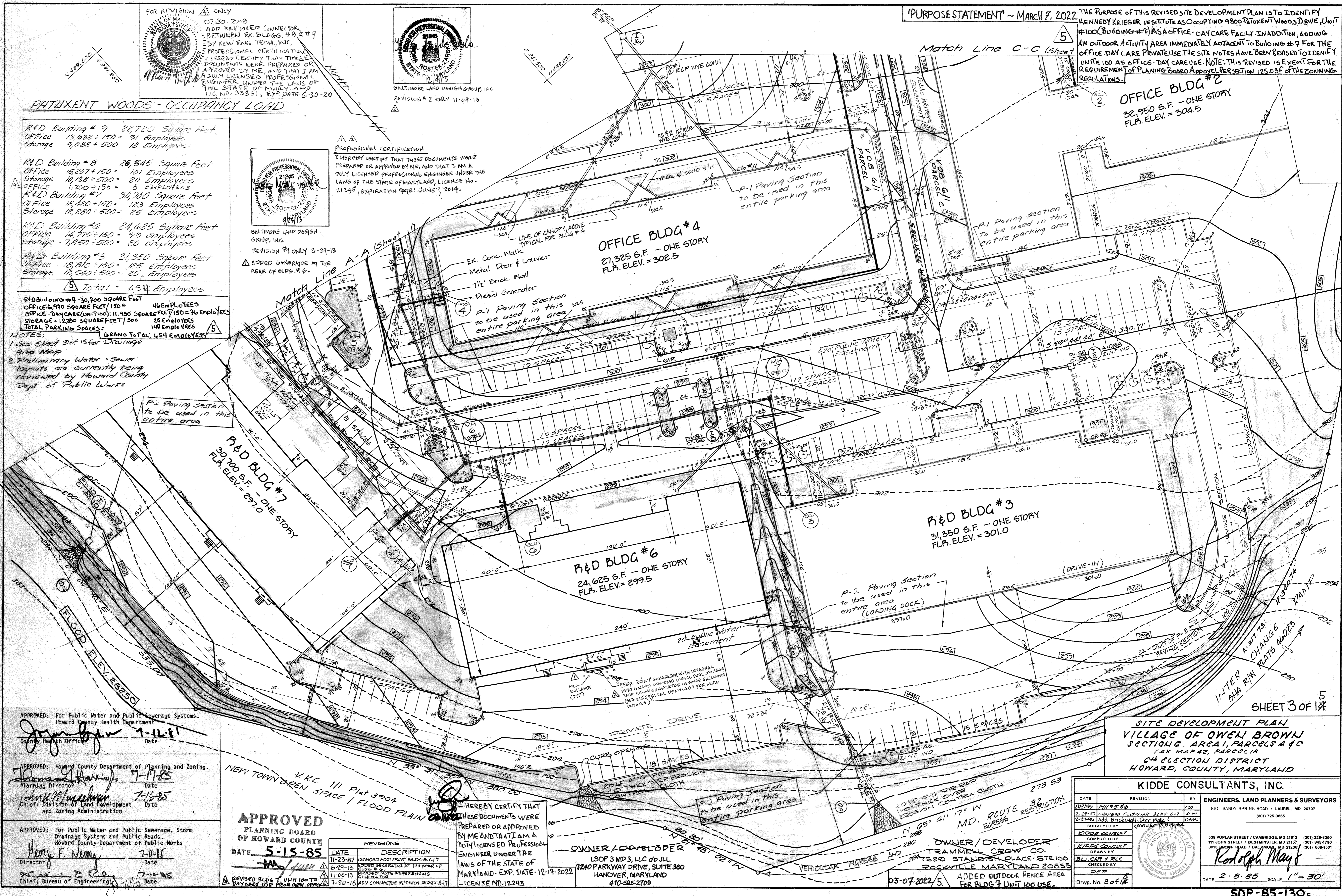
- R&D Building #9 28,780 Square Feet  
Office 13,632 ÷ 150 = 91 Employees  
Storage 9,088 ÷ 500 = 18 Employees
  - R&D Building #8 26,545 Square Feet  
Office 15,207 ÷ 150 = 101 Employees  
Storage 10,138 ÷ 500 = 20 Employees  
Office 1,200 ÷ 150 = 8 Employees
  - R&D Building #7 30,700 Square Feet  
Office 15,420 ÷ 150 = 103 Employees  
Storage 12,280 ÷ 500 = 25 Employees
  - R&D Building #6 24,625 Square Feet  
Office 14,775 ÷ 150 = 99 Employees  
Storage 7,850 ÷ 500 = 16 Employees
  - R&D Building #3 31,350 Square Feet  
Office 18,810 ÷ 150 = 125 Employees  
Storage 12,540 ÷ 500 = 25 Employees
- Total = 654 Employees**



PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2014.

BALTIMORE LAND DESIGN GROUP, INC.  
 REVISION #1 ONLY 8-24-13  
 ADDED GENERATOR AT THE REAR OF BLDG. #6

- NOTES:**
- See Sheet 0415 for Drainage Area Map
  - Preliminary Water & Sewer layouts are currently being reviewed by Howard County Dept. of Public Works



APPROVED: For Public Water and Public Sewerage Systems.  
 Howard County Health Department  
 County Health Officer: *[Signature]* Date: 7-11-85

APPROVED: Howard County Department of Planning and Zoning.  
 Planning Director: *[Signature]* Date: 7-17-85  
 Chief, Division of Land Development and Zoning Administration: *[Signature]* Date: 7-16-85

APPROVED: For Public Water and Public Sewerage, Storm Drainage Systems and Public Roads.  
 Howard County Department of Public Works  
 Director: *[Signature]* Date: 7-11-85  
 Chief, Bureau of Engineering: *[Signature]* Date: 7-10-85

**APPROVED**  
 PLANNING BOARD  
 OF HOWARD COUNTY  
 DATE: 5-15-85

DATE	REVISIONS
11-23-87	CHANGED FOOTPRINT BLDG. #4 & 7
8-29-13	ADDED GENERATOR AT THE REAR OF BLDG. #6
11-08-13	REVISED NOTE REFERENCING GENERATOR
7-30-18	ADD CONNECTOR BETWEEN BLDGS #8 & 9

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. EXP. DATE: 12-19-2022  
 LICENSE NO. 12243

OWNER / DEVELOPER  
 LSCOP 3 MD 3, LLC d/b/a  
 7240 PARKWAY DRIVE, SUITE 380  
 HANOVER, MARYLAND  
 410-585-2709

OWNER / DEVELOPER  
 TRAMMEL CROW CO.  
 1820 STANBISH PLACE, STE. 100  
 ROCKVILLE MARYLAND 20855  
 ADDED OUTDOOR FENCE AREA FOR BLDG #7 UNIT 100 USE.

**SITE DEVELOPMENT PLAN**  
 VILLAGE OF OWEN BROWN  
 SECTION G, AREA 1, PARCELS A & C  
 TAX MAP #2, PARCELS 18  
 GM MAPLETON DISTRICT  
 HOWARD COUNTY, MARYLAND

**KIDDE CONSULTANTS, INC.**

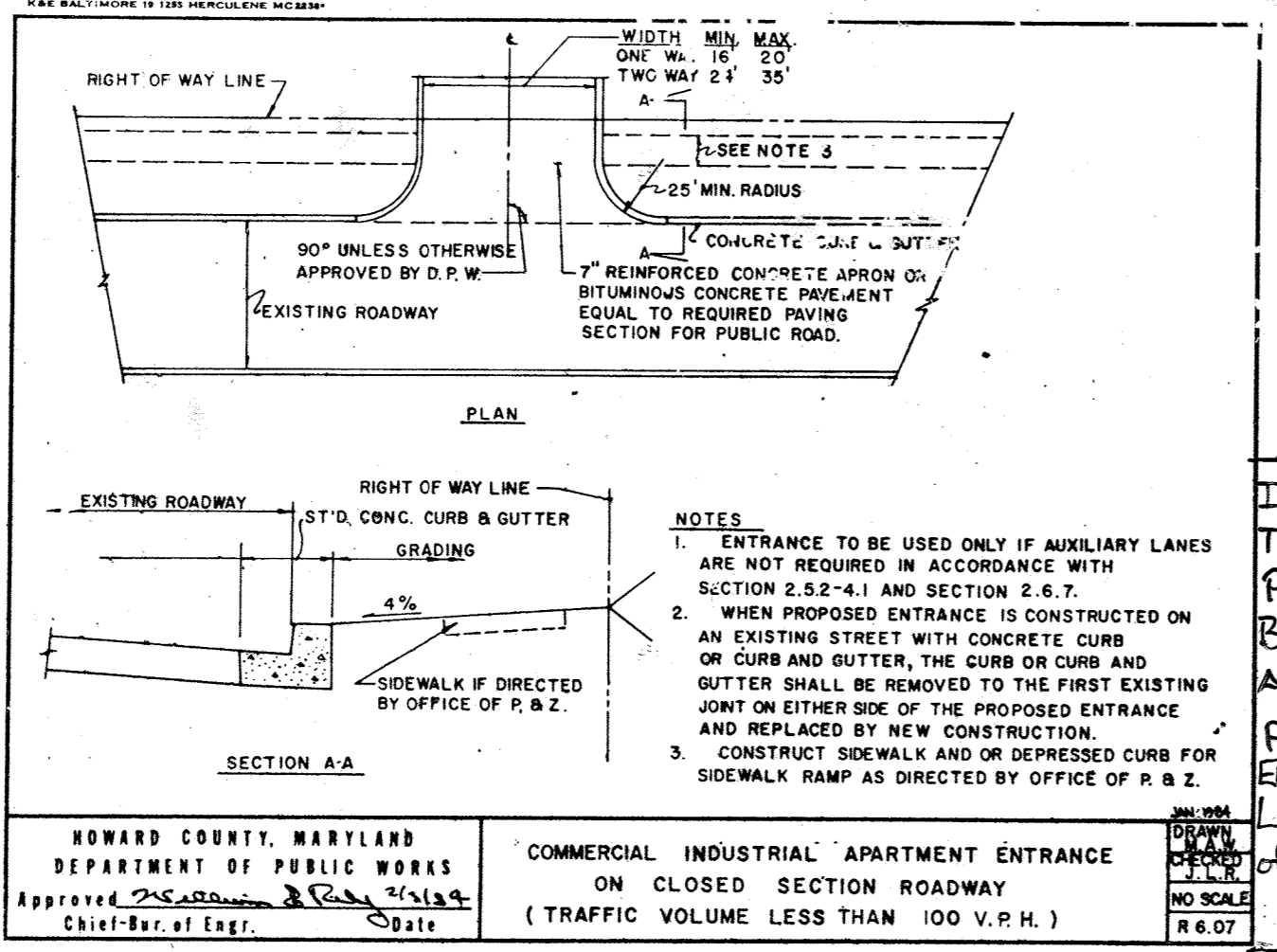
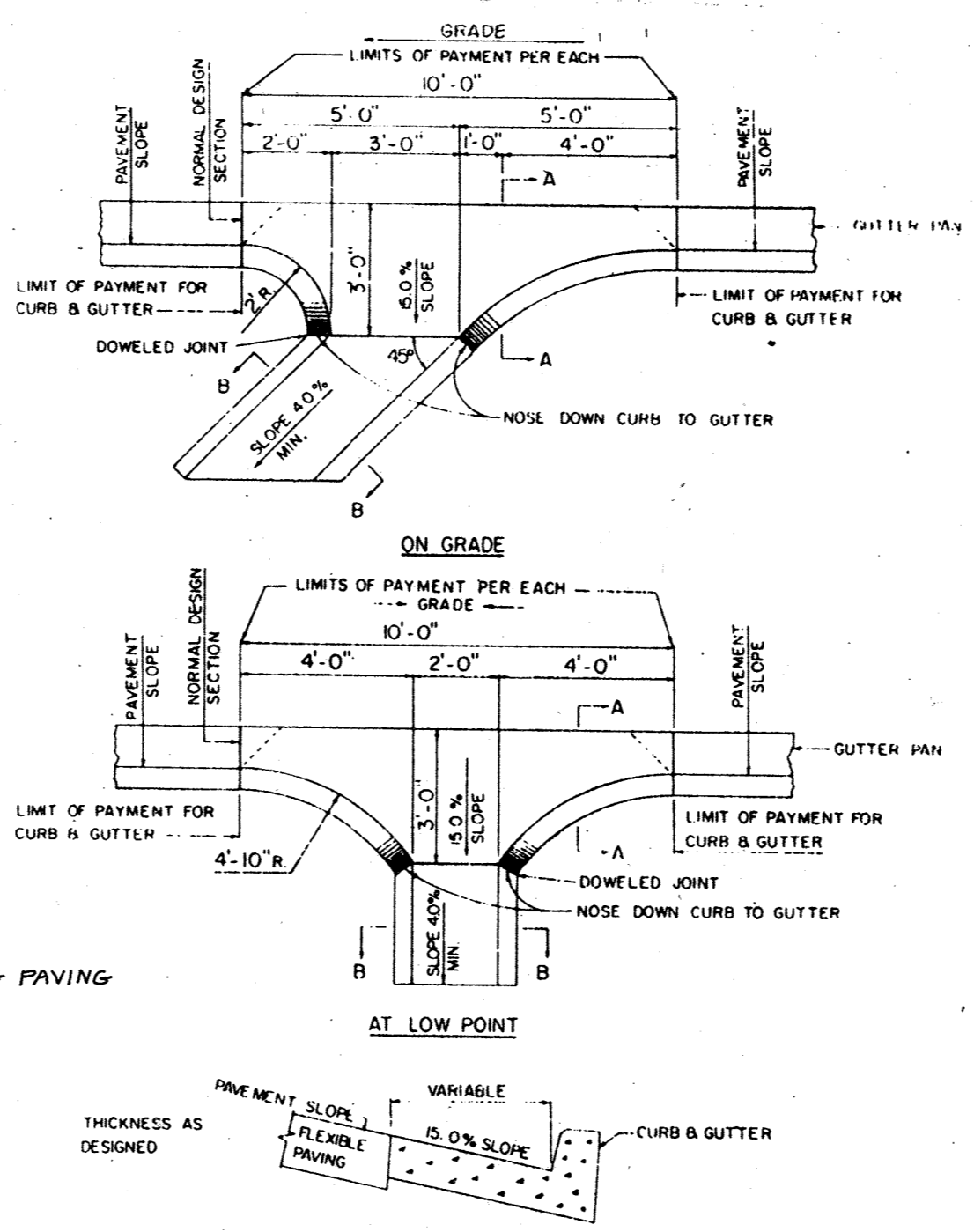
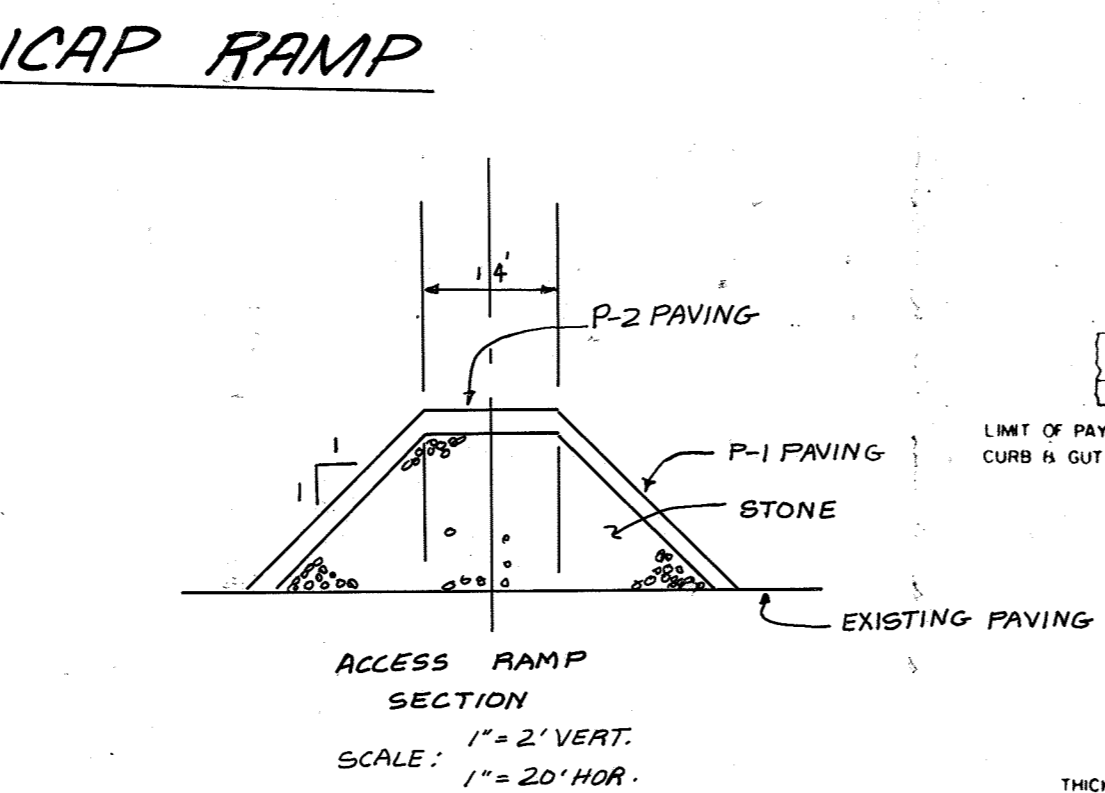
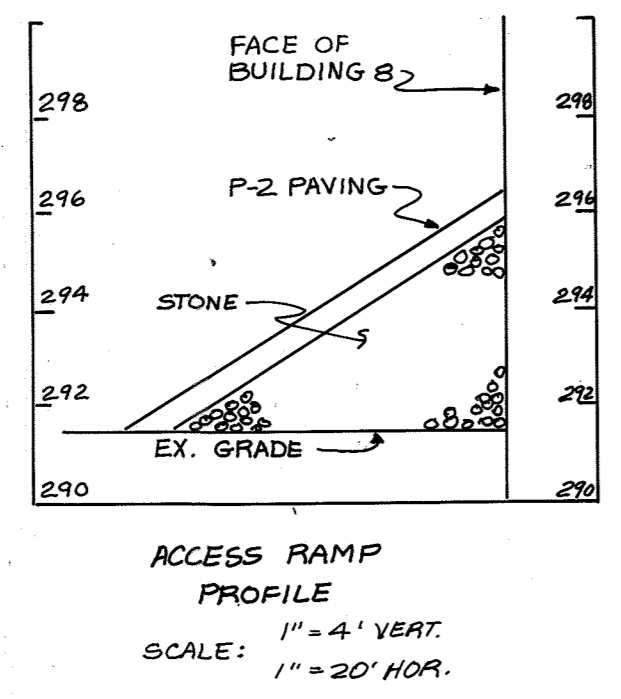
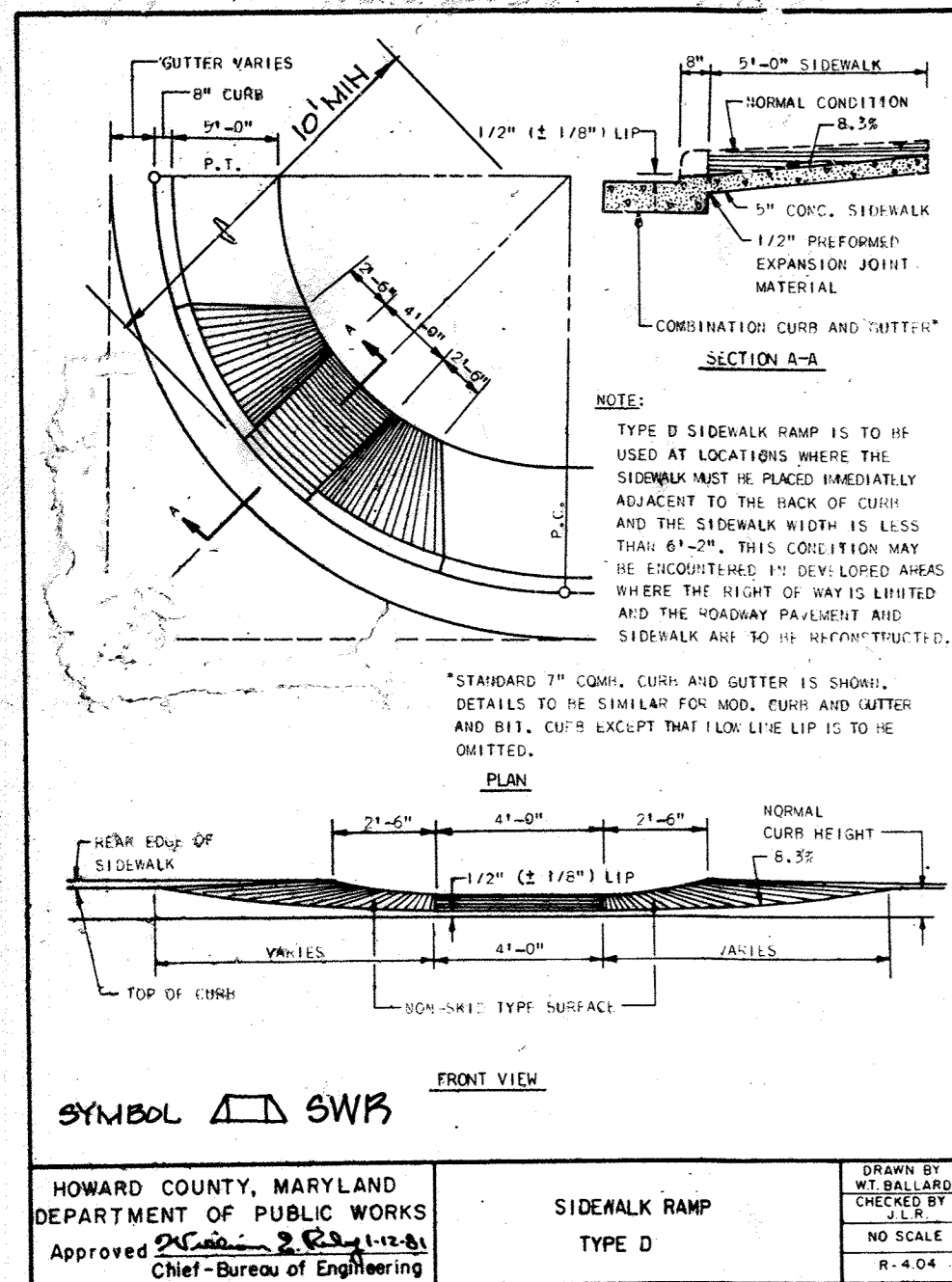
DATE	REVISION	BY
8/2/85	MH #5 & 6	MD
7-19-87	CHANGED FOOTPRINT BLDG. #7	COM
2-27-86	ADD BRICKWALL FOR WALKWAY	COM

SURVEYED BY: *[Signature]*  
 COMPUTED BY: *[Signature]*  
 DRAWN BY: *[Signature]*  
 CHECKED BY: *[Signature]*  
 DATE: 03-07-2022/5  
 Drwg. No. 3 of 12

ENGINEERS, LAND PLANNERS & SURVEYORS  
 8101 SANDY SPRING ROAD / LAUREL, MD 20707  
 (301) 725-0665

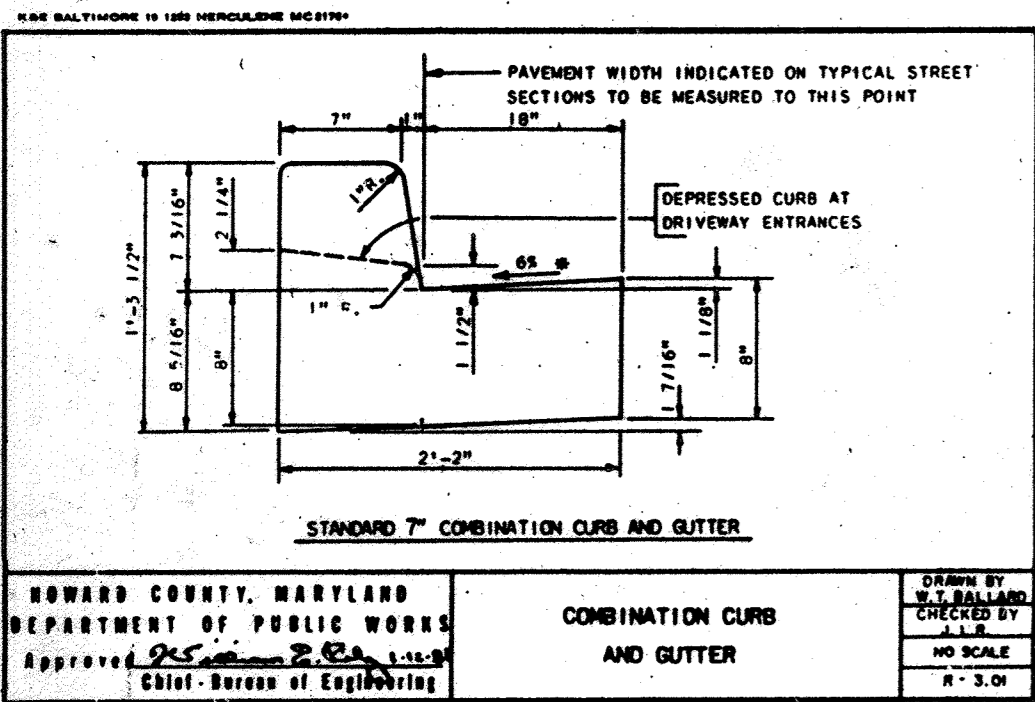
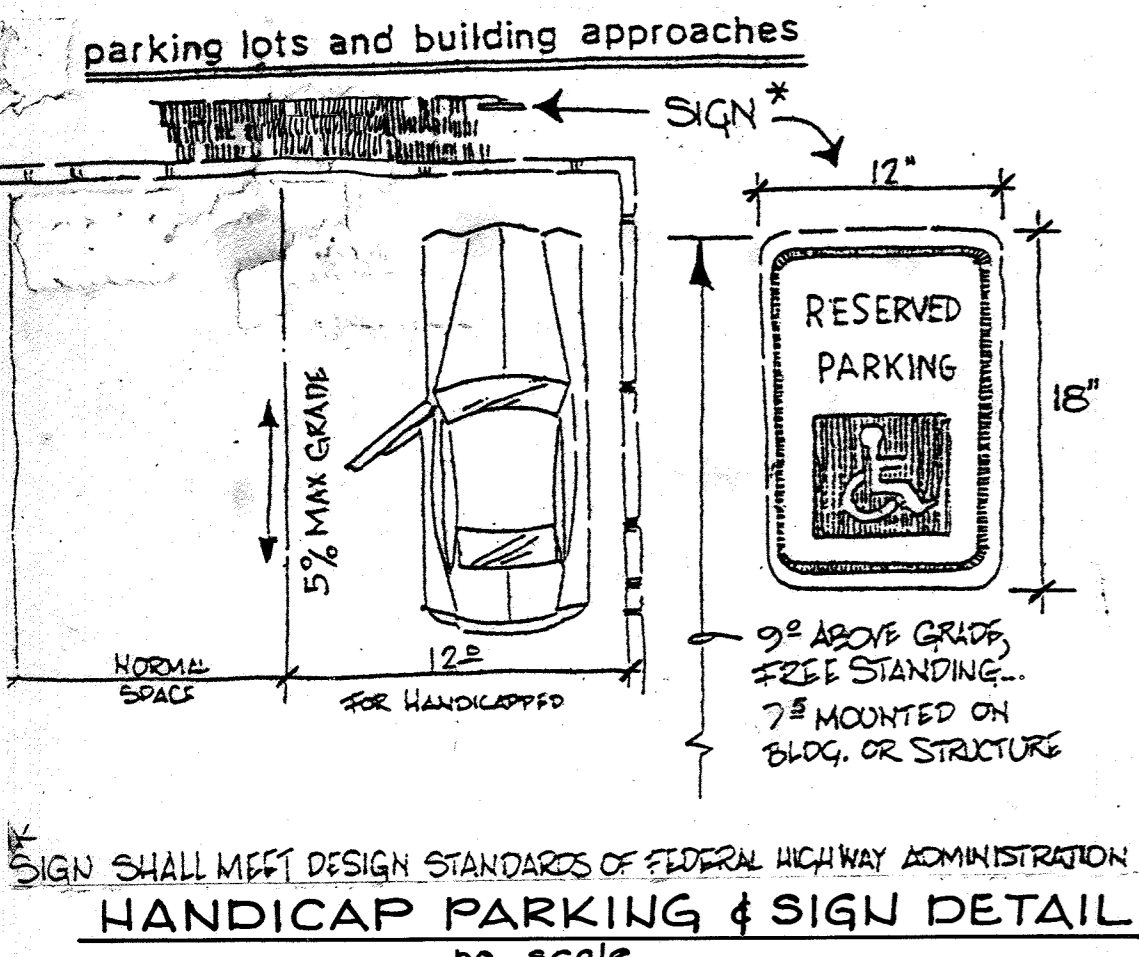
539 POPLAR STREET / CAMBRIDGE, MD 21613 (301) 229-3350  
 111 JOHN STREET / WESTMINSTER, MD 21157 (301) 843-1790  
 8013 BURNING WOOD ROAD / BALTIMORE, MD 21236 (301) 668-1501

*[Signature]*  
 DATE: 2-8-85 SCALE: 1" = 30'



I HERBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

*[Signature]*  
OB 10/82  
LICENSE NO. 12243  
EXP. DATE 12-19-2022

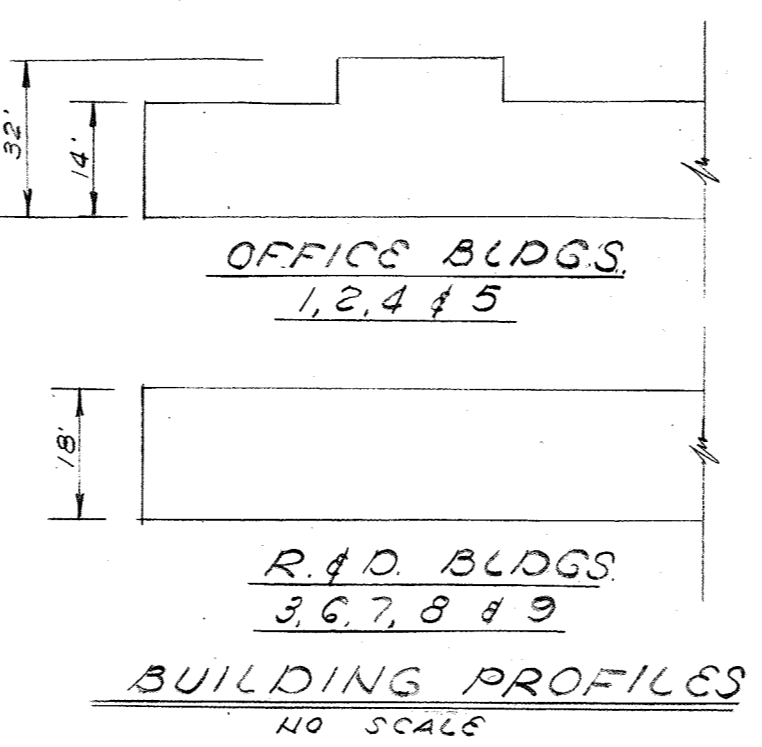


SECTION NUMBER	ROAD AND STREET CLASSIFICATION	PAVEMENT MATERIALS	
		FULL DEPTH BIT. CONC. ALTERNATE	GRANULAR BASE ALTERNATE
P-1	PARKING AREAS AND TRAVELWAYS APARTMENTS AND COMMERCIAL-INDUSTRIAL ZONES WITH NO HEAVY TRUCKS	1" BIT. CONC. SURFACE 4" BIT. CONC. BASE	1" BIT. CONC. SURFACE 2" BIT. CONC. BASE PRIME 5" CRUSHER RUN BASE COURSE OR 4" DENSE GRADED STABILIZED AGGREGATE BASE COURSE
P-2	RESIDENTIAL ZONES TRIPLES AND MEDIUM COLLECTORS COMMERCIAL-INDUSTRIAL ZONES LOCAL AND COLLECTOR-STREET ALLEYS	1 1/2" BIT. CONC. SURFACE 1 1/2" BIT. CONC. BASE 5" BIT. CONC. BASE	1 1/2" BIT. CONC. SURFACE 1 1/2" BIT. CONC. BASE PRIME 6" CRUSHER RUN BASE COURSE OR 4 1/2" DENSE GRADED STABILIZED AGGREGATE BASE COURSE
P-3	PARKING AREAS APARTMENTS AND COMMERCIAL-INDUSTRIAL ZONES WITH MORE THAN 10 HEAVY TRUCKS PER DAY	1 1/2" BIT. CONC. SURFACE 1 1/2" BIT. CONC. BASE 5" BIT. CONC. BASE	1 1/2" BIT. CONC. SURFACE 1 1/2" BIT. CONC. BASE PRIME 6" CRUSHER RUN BASE COURSE OR 4 1/2" DENSE GRADED STABILIZED AGGREGATE BASE COURSE

HOWARD COUNTY, MARYLAND  
DEPARTMENT OF PUBLIC WORKS  
Approved: *[Signature]* Chief-Bureau of Engineering

PAVING SECTIONS

DRAWN BY: *[Signature]*  
CHECKED BY: *[Signature]*  
NO SCALE  
R-20



OFF-SITE STRUCTURE SCHEDULE				
NO.	TYPE	INV. IN	INV. OUT	REMARKS
M-1A	BRICK MANHOLE	287.50	286.00	SEE HO. CO. STD. DETAIL 6.503
ON-SITE STRUCTURE SCHEDULE				
NO.	TYPE	INV. IN	INV. OUT	REMARKS
I-1	5" INLET	291.47	291.22	See Ho. Co. Std. Detail S.D. 4.22
I-2	5" INLET	291.95	291.73	See Ho. Co. Std. Detail S.D. 4.22
I-3	5" INLET	~	293.47	See Ho. Co. Std. Detail S.D. 4.22
I-4	DOUBLE 5" INLET	~	298.50	See Ho. Co. Std. Detail S.D. 4.23
I-5	5" INLET	~	295.00	See Ho. Co. Std. Detail S.D. 4.22
I-6	5" INLET	288.51	288.51	See Ho. Co. Std. Detail S.D. 4.22
I-7	OPEN CURB	~	~	~
I-8	DOUBLE 5" INLET	292.70	292.20	See Ho. Co. Std. Detail S.D. 4.23
I-9	5" INLET	284.25	284.00	See Ho. Co. Std. Detail S.D. 4.22
I-10	5" INLET	~	285.00	See Ho. Co. Std. Detail S.D. 4.22
I-11	DOUBLE 5" INLET	289.00	288.50	See Ho. Co. Std. Detail S.D. 4.23
I-12	5" INLET	~	291.00	See Ho. Co. Std. Detail S.D. 4.22
I-13	5" INLET	284.67	284.67	See Ho. Co. Std. Detail S.D. 4.22
I-14	DOUBLE 5" COMBINATION INLET	287.28	287.07	See Ho. Co. Std. Detail S.D. 4.23
I-15	5" INLET	291.29	290.79	See Ho. Co. Std. Detail S.D. 4.21
I-16	5" INLET	~	293.29	See Ho. Co. Std. Detail S.D. 4.22
I-17	YARD INLET	~	293.25	See Ho. Co. Std. Detail S.D. 4.14
I-18	5" INLET	291.25	291.00	See Ho. Co. Std. Detail S.D. 4.22
MH-1	PRECAST MANHOLE (shallow)	290.19	290.19	See Ho. Co. Std. Detail G.5.12 (shallow)
MH-3	PRECAST MANHOLE (shallow)	289.70	289.45	See Ho. Co. Std. Detail G.5.12 (shallow)
MH-4	PRECAST MANHOLE (shallow)	285.75	285.75	See Ho. Co. Std. Detail G.5.12 (shallow)
MH-5	PRECAST MANHOLE	296.53	296.28	See Ho. Co. Std. Detail G.5.12
MH-6	PRECAST MANHOLE (shallow)	289.58	289.58	See Ho. Co. Std. Detail G.5.12 (shallow)
MH-7	PRECAST MANHOLE (shallow)	292.71	292.71	See Ho. Co. Std. Detail G.5.12 (shallow)
C/O1	C/O16 - CLEAN OUTS	~	~	See Ho. Co. Std. Detail S-2.22
C.O.1	CLEAN OUTS	~	~	See Ho. Co. Std. Detail S-2.22
S-1	24" END SECTION	287.45	287.45	See Ho. Co. Std. Detail S.D. 5.52
S-2	TYPE 'A' HEADWALL CIRCULAR	284.75	284.75	See Ho. Co. Std. Detail S.D. 5.11
S-3	27" END SECTION	283.00	283.00	See Ho. Co. Std. Detail S.D. 5.52
S-4	21" END SECTION	284.75	284.75	See Ho. Co. Std. Detail S.D. 5.52

APPROVED: For Public Water and Public Sewerage Systems.  
Howard County Health Department  
*[Signature]* 7-12-85  
County Health Officer Date

APPROVED: Howard County Department of Planning and Zoning.  
*[Signature]* 7-17-85  
Planning Director Date

APPROVED: *[Signature]* 7-16-85  
Chief, Division of Land Development and Zoning Administration Date

APPROVED: For Public Water and Public Sewerage, Storm Drainage Systems and Public Roads.  
Howard County Department of Public Works  
*[Signature]* 7-11-85  
Director Date

APPROVED: *[Signature]* 7-10-85  
Chief, Bureau of Engineering Date

APPROVED  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE 5-15-85  
*[Signature]*

'PURPOSE STATEMENT - MARCH 3, 2022

THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO IDENTIFY KENNEDY KRIEGER INSTITUTE AS OCCUPYING 9800 PATIENT WOODS DRIVE, UNIT #100 (BUILDING #?) AS AN OFFICE-DAY CARE FACILITY. IN ADDITION, ADDING OUTDOOR ACTIVITY AREA IMMEDIATELY ADJACENT TO BUILDING #? FOR THE OFFICE-DAY CARE PRIVATE USE. THE SITE NOTES HAVE BEEN REVISED TO IDENTIFY UNIT 100 AS OFFICE-DAY CARE USE. NOTE: THIS REVISION IS EXEMPT FOR THE REQUIREMENT OF PLANNING BOARD APPROVAL PER SECTION 125.03.F OF THE ZONING REGULATIONS

DATE	REVISION
9-29-87	ACCESS RAMP PROFILE AND SECTION
03-09-2022	ADDED OUTDOOR FENCED AREA FOR BLDG #? FOR DAY CARE USE - GENERAL OFFICE.

DEVELOPERS CERTIFICATE

"I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project."

*[Signature]* 7/2/1985  
Signature of Developer Date

ENGINEERS CERTIFICATE

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard County Soil Conservation District."

*[Signature]* 6/19/85  
Signature of Engineer Date

KIDDE CONSULTANTS, INC.

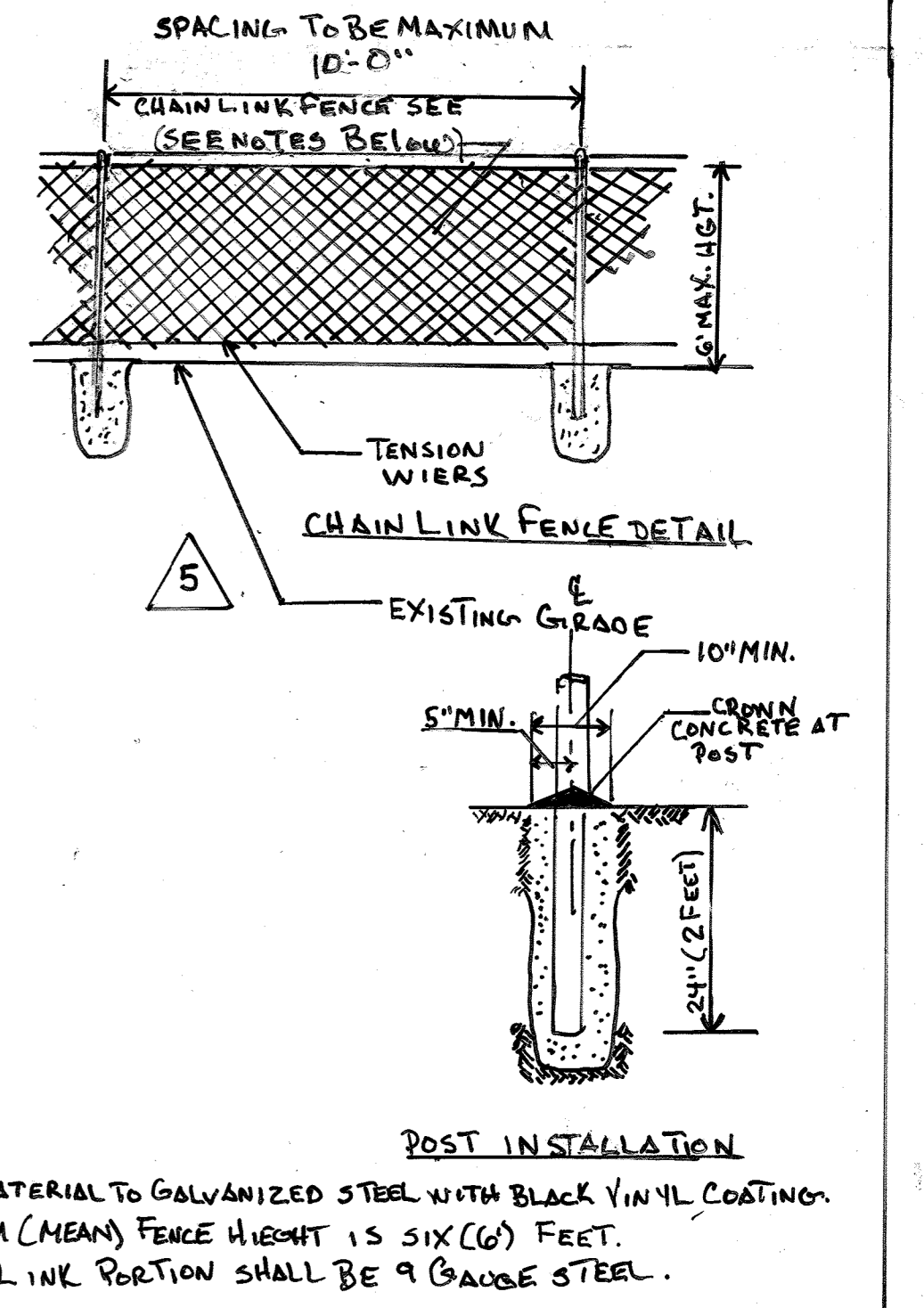
ENGINEERS, LAND PLANNERS & SURVEYORS  
8101 SAMMY SPRING RD / LAUREL, MD. 20707  
(301) 725-0665 / 792-8086

DESIGNED: D.E.P.  
DRAWN: C.A.P.  
CHECKED: D.E.P.  
DATE: 2-8-85

DETAIL PLAN  
VILLAGE OF OWEN BROWN  
SECTION G, AREA 1, PARCELS A & C  
TAX MAP #2, PARCEL 18  
G# COLLECTION DISTRICT  
HOWARD COUNTY, MARYLAND

SCALE: AS SHOWN  
JOB NO. 130  
FILE NO.  
SHEET NO. 4 OF 15

DATE: 2-8-85 SCALE: AS SHOWN



- GENERAL NOTES:
- Total Area: 25.76 ± Acres
  - Existing zoning: New Town, Employment Center, Industrial - I47
  - Deed reference: 1080/758  
Plat No.: 6127 Sheet 3 of 4
  - Public Water & Sewer Are Available at the site.
  - Tax map 42, Parcel 18.
  - Site Analysis  
Building coverage: limitation - 50 %  
Office/R&D Bldgs.  
Building coverage: 269,415 square feet or 24 %
  - Parking required: 943 spaces  
Parking provided: 954 spaces
  - Contractor or Developer shall contact the Construction Inspection Survey Division 24 hours in advance of commencement of work at 792-7272.
  - All Paving shall be P-1 Paving Section unless otherwise noted.

OWNER/DEVELOPER  
TRAMMELL CROW CO.  
7520 STANDISH PLACE, STE. 100  
ROCKVILLE, MARYLAND 20855  
(301) 340-0901  
LSOP 3 MD 3, LLC 06 JUL  
7240 PARKWAY DRIVE, SUITE 360  
HANDOVER, MARYLAND  
410-595-2709

APPROVED: For Public Water and Public Sewerage Systems,  
Howard County Health Department  
*James M. Boyd, M.D.* 7/15/85  
County Health Officer Date

APPROVED: Howard County Department of Planning and Zoning,  
Planning Director  
*Thomas J. Hornig* 7-17-85  
*Jerry W. Hirschman* 7-16-85  
Chief, Division of Land Development  
and Zoning Administration Date

APPROVED: For Public Water and Public Sewerage, Storm  
Drainage Systems and Public Roads,  
Howard County Department of Public Works  
*Wayne F. Nemmer* 7-11-85  
Director Date  
*William S. Ryan* 7-16-85  
Chief, Bureau of Engineering Date

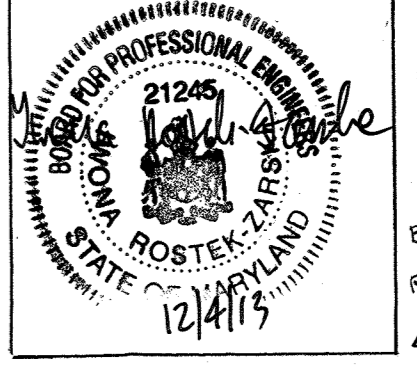
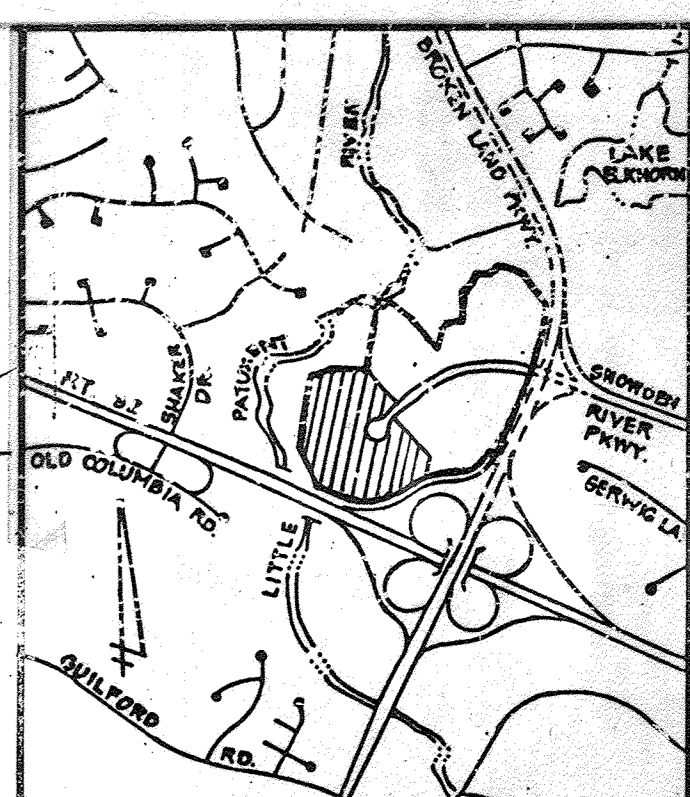
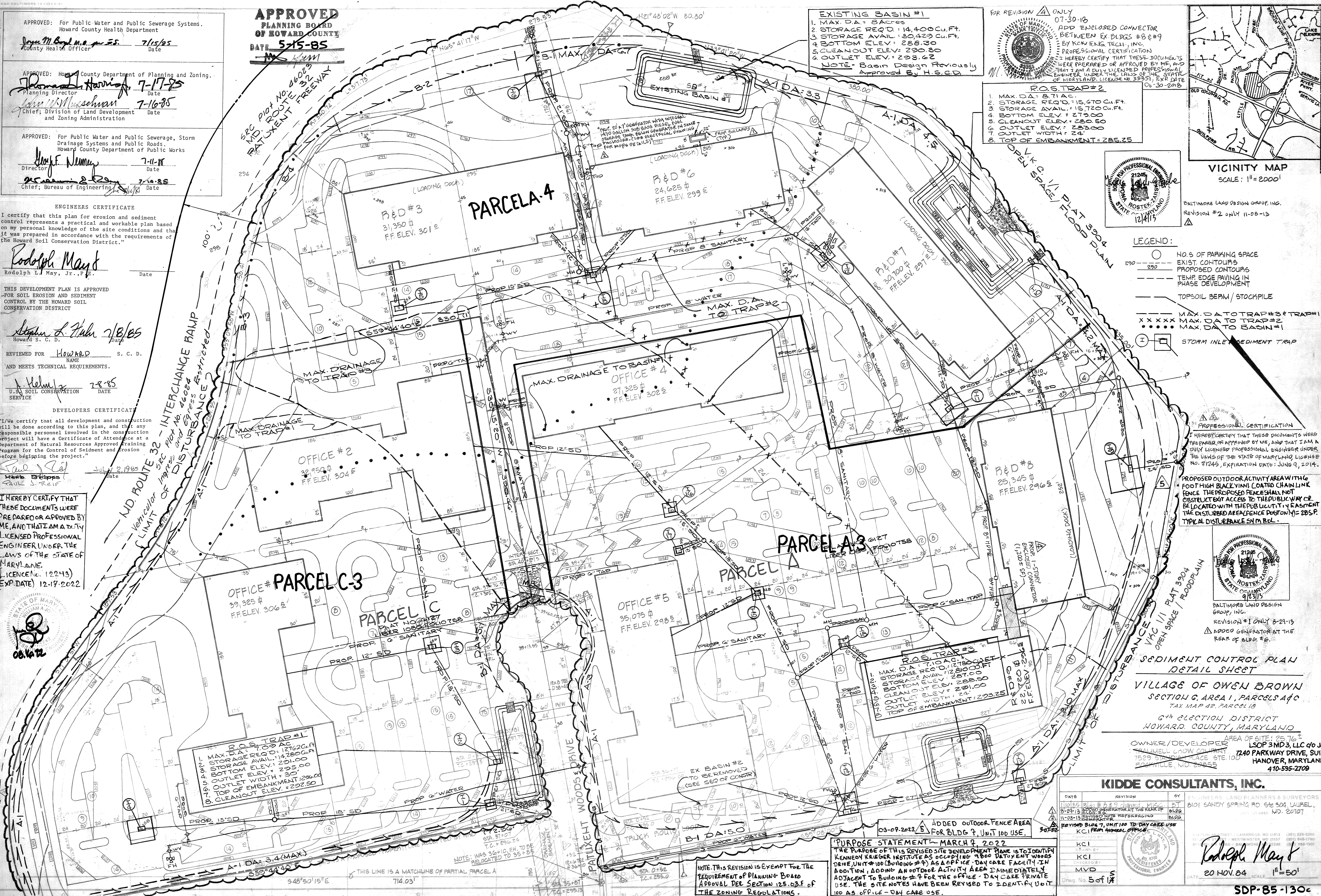
ENGINEERS CERTIFICATE  
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.  
*Rodolph May Jr.*  
Rodolph L. May, Jr., P.E. Date

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT  
*Stephen L. Fahn* 7/8/85  
Howard S. C. D. Date  
REVIEWED FOR HOWARD S. C. D. NAME AND MEETS TECHNICAL REQUIREMENTS.  
*J. Helm* 7-8-85  
U.S. SOIL CONSERVATION SERVICE DATE

DEVELOPERS CERTIFICATE  
"I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project."  
*Paul S. Kemp* July 2, 1985  
Date

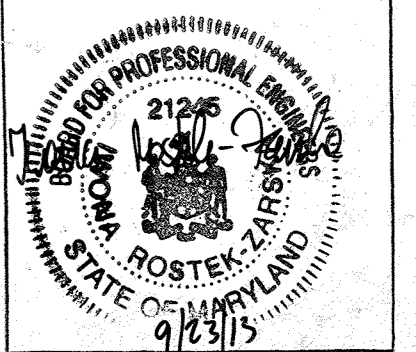
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DUTY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. (LICENSE NO. 12243) (EXP. DATE) 12-17-2022  
*Paul S. Kemp* 08/12/85

APPROVED  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE 5-15-85



- LEGEND:
- NO. OF PARKING SPACE
  - EXIST. CONTOURS
  - - - PROPOSED CONTOURS
  - - - TEMP. EDGE PAVING IN PHASE DEVELOPMENT
  - TOPSOIL BERM / STOCKPILE
  - MAX. D.A. TO TRAP #3 & TRAP #1
  - MAX. D.A. TO TRAP #2
  - MAX. D.A. TO BASIN #1
  - STORM INLET / SEDIMENT TRAP

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DUTY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2014.  
PROPOSED OUTDOOR ACTIVITY AREA WITH 6' FOOT HIGH BLACK VINYL COATED CHAIN LINK FENCE. THE PROPOSED FENCE SHALL NOT OBSTRUCT ACCESS TO THE PUBLIC WAY OR BE LOCATED WITHIN THE PUBLIC UTILITY EASEMENT. THE DISTURBED AREA (FENCE FOOTING) = 285 SF. TYPICAL DISTURBANCE 5 IN. M.B.L.



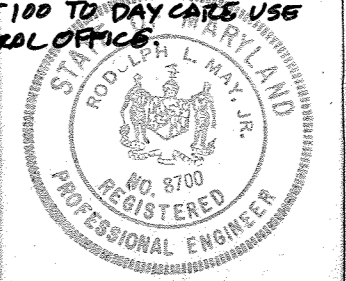
BALTIMORE LAND DESIGN GROUP, INC.  
REVISION #1 ONLY 8-29-13  
ADDED GENERATOR AT THE REAR OF BLDG #6.

SEDIMENT CONTROL PLAN  
DETAIL SHEET

VILLAGE OF OWEN BROWN  
SECTION G, AREA 1, PARCELS A-C  
TAX MAP 42, PARCEL 13  
6th ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND  
OWNER/DEVELOPER: LSP 3 MD3, LLC d/b/a LSP  
1529 S. PLACE STE. 100  
ROCKVILLE, MD 20855  
7240 PARKWAY DRIVE, SUITE 360  
HANOVER, MARYLAND  
410-595-2709

KIDDE CONSULTANTS, INC.

DATE	REVISION	BY	FOR
01/15/85	PLAN # 85-130	KCI	FOR THE VILLAGE OF OWEN BROWN
01/24/85	BLDG #2	KCI	FOR THE VILLAGE OF OWEN BROWN
11/08/13	GENERATOR	MVD	FOR THE VILLAGE OF OWEN BROWN
03-07-2022	ADDED OUTDOOR FENCE AREA FOR BLDG #7 UNIT 100 USE.	MVD	FOR THE VILLAGE OF OWEN BROWN



*Rodolph May Jr.*  
20 NOV. 84  
SCALE: 1" = 50'

PURPOSE STATEMENT - MARCH 7, 2022  
THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO IDENTIFY KENNEDY KRIEGER INSTITUTE AS OCCUPYING 7000 DATOXENT WOODS DRIVE, UNIT #100 (BUILDING #9) AS AN OFFICE - DAY CARE FACILITY. IN ADDITION, ADDING AN OUTDOOR ACTIVITY AREA IMMEDIATELY ADJACENT TO BUILDING #9 FOR THE OFFICE - DAY CARE PRIVATE USE. THE SITE NOTES HAVE BEEN REVISED TO IDENTIFY UNIT 100 AS OFFICE - DAY CARE USE.

NOTE: THIS REVISION IS EXEMPT FOR THE REQUIREMENT OF PLANNING BOARD APPROVAL PER SECTION 125.03.F OF THE ZONING REGULATIONS.

NO	DATE	REVISION
1	6-6-06	ADDED 2 HANDICAP ENTRANCES TO BLDG 5
2	8-29-06	REVISED HC. ENTRANCE @ BLDG 5
3	7-30-18	ADD ENCLOSED CONNECTOR BETWEEN EX. BLDGS. #8 AND #7

**NOTES**  
 1. See Sheet 3 of 3 for Drainage Area Map.  
 2. Preliminary Water & Sewer layouts are currently being reviewed by Howard County Dept. of Public Works.

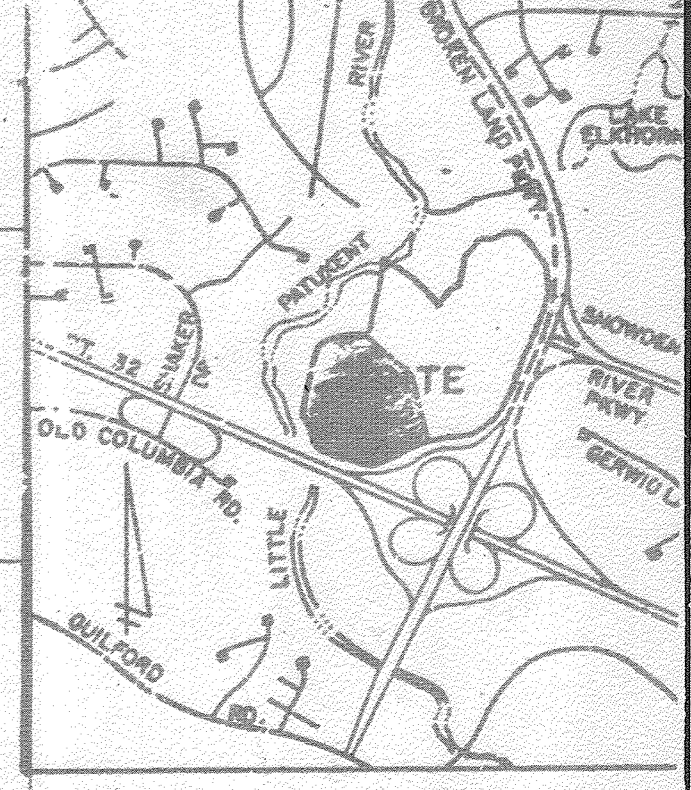
7/31/18  
 Mark V. Vothel  
 KCM ENG. TECH.  
 PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 33351  
 EXP. DATE: 06/30/20 (2) T-5

**APPROVED**  
**PLANNING BOARD**  
**OF HOWARD COUNTY**  
 DATE: 5-15-85  
 M. J. JUM

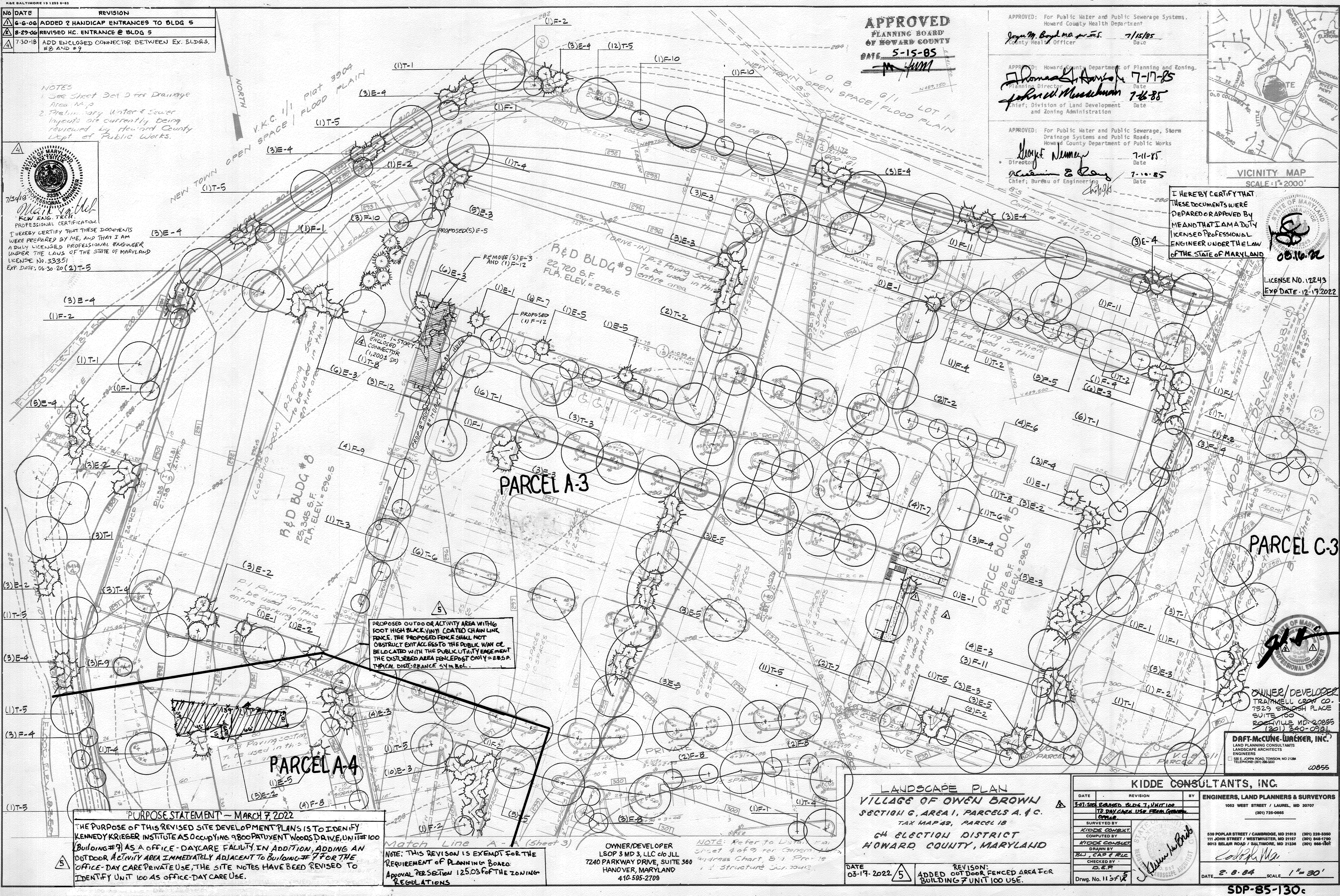
APPROVED: For Public Water and Public Sewerage Systems,  
 Howard County Health Department  
 Jayne M. Boyd, M.D. 7/15/85  
 County Health Officer Date

APPROVED: Howard County Department of Planning and Zoning.  
 Planning Director Date  
 Thomas A. Hancock 7-17-85  
 Chief, Division of Land Development and Zoning Administration Date  
 John W. Muschman 7-16-85

APPROVED: For Public Water and Public Sewerage, Storm Drainage Systems and Public Roads,  
 Howard County Department of Public Works  
 Director Date  
 Dwight Newmyer 7-11-85  
 Chief, Bureau of Engineering Date  
 William S. Kay 7-10-85



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND  
 License No. 12243  
 Exp. Date: 12-17-2022



**PURPOSE STATEMENT - MARCH 7, 2022**  
 THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLANS IS TO IDENTIFY KENNEDY KRIEGER INSTITUTE AS Occupying 9800 PATUXENT WOODS DRIVE, UNIT #100 (Building #9) AS AN OFFICE-DAYCARE FACILITY. IN ADDITION, ADDING AN OUTDOOR ACTIVITY AREA IMMEDIATELY ADJACENT TO BUILDING #7 FOR THE OFFICE-DAY CARE PRIVATE USE. THE SITE NOTES HAVE BEEN REVISED TO IDENTIFY UNIT 100 AS OFFICE-DAY CARE USE.

NOTE: THIS REVISION IS EXEMPT FOR THE REQUIREMENT OF PLANNING BOARD APPROVAL PER SECTION 125.03 OF THE ZONING REGULATIONS

OWNER/DEVELOPER  
 LSOP 3 MD 3, LLC c/o JLL  
 7240 PARKWAY DRIVE, SUITE 380  
 HANOVER, MARYLAND  
 410-595-2708

NOTE: Refer to Utility Map, Sheet 4 of 9 for General Utility Address Chart, B-3. Provide structure per 20412.

**LANDSCAPE PLAN**  
**VILLAGE OF OWEN BROWN**  
 SECTION G, AREA 1, PARCELS A & C  
 TAX MAP 42, PARCEL 1B  
 6th ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

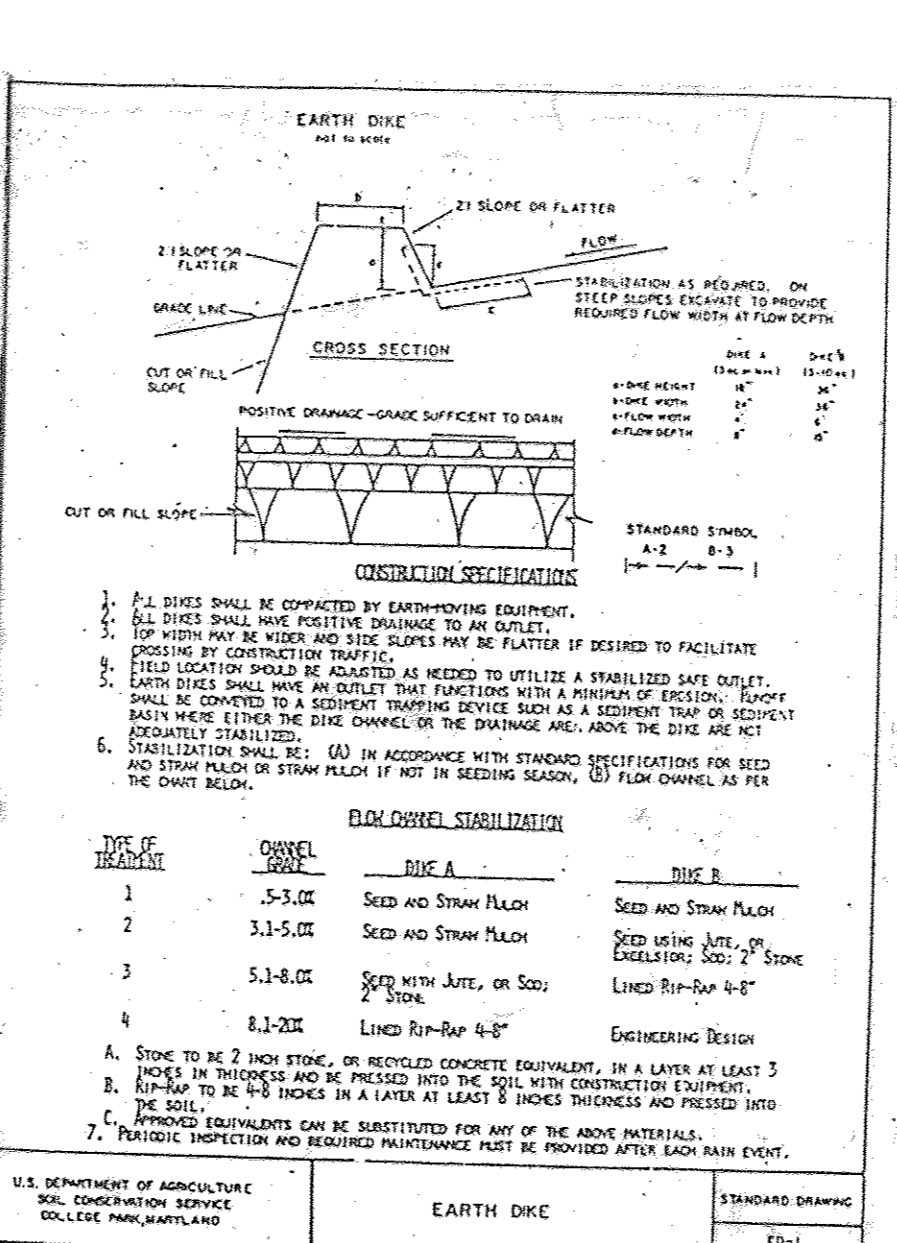
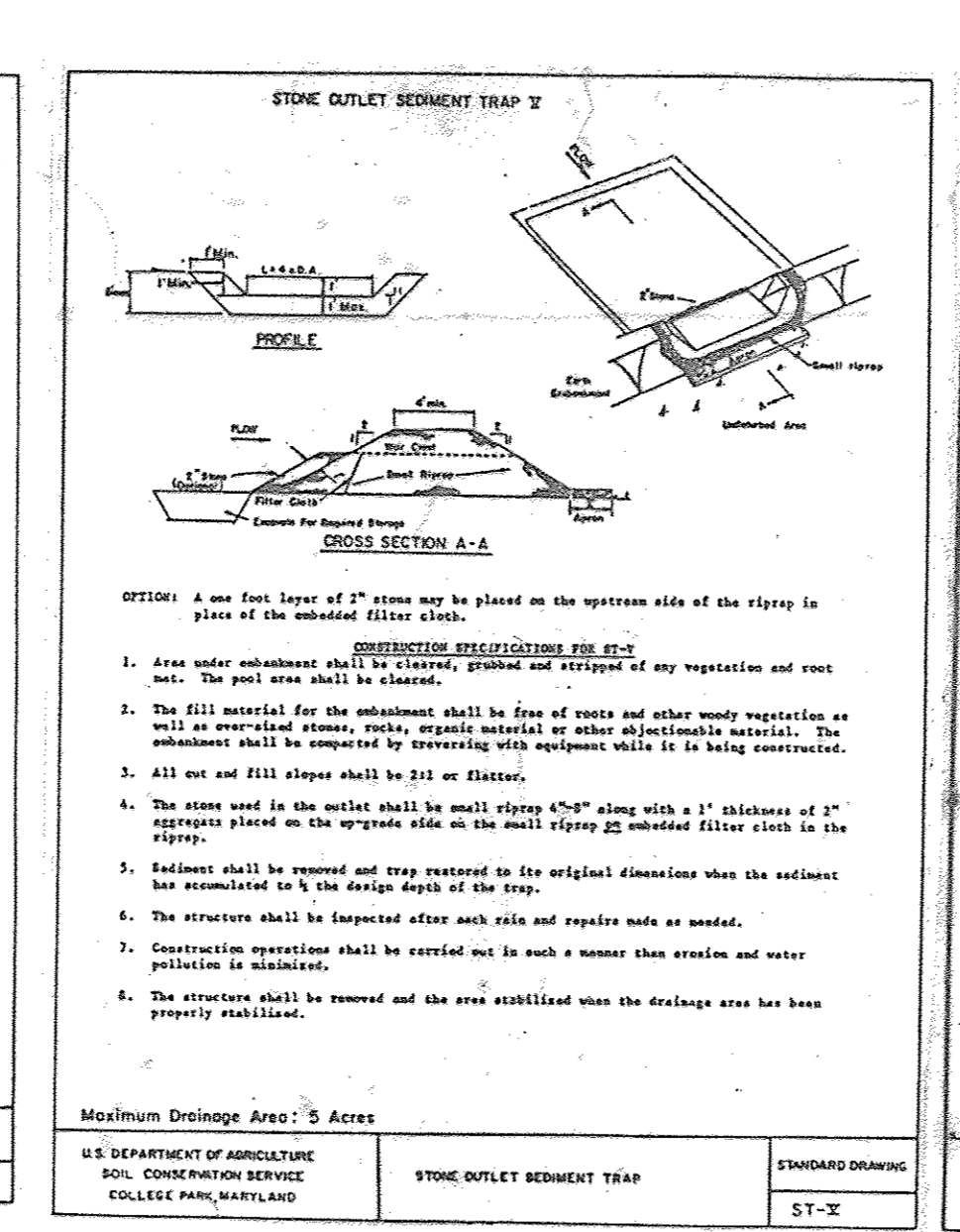
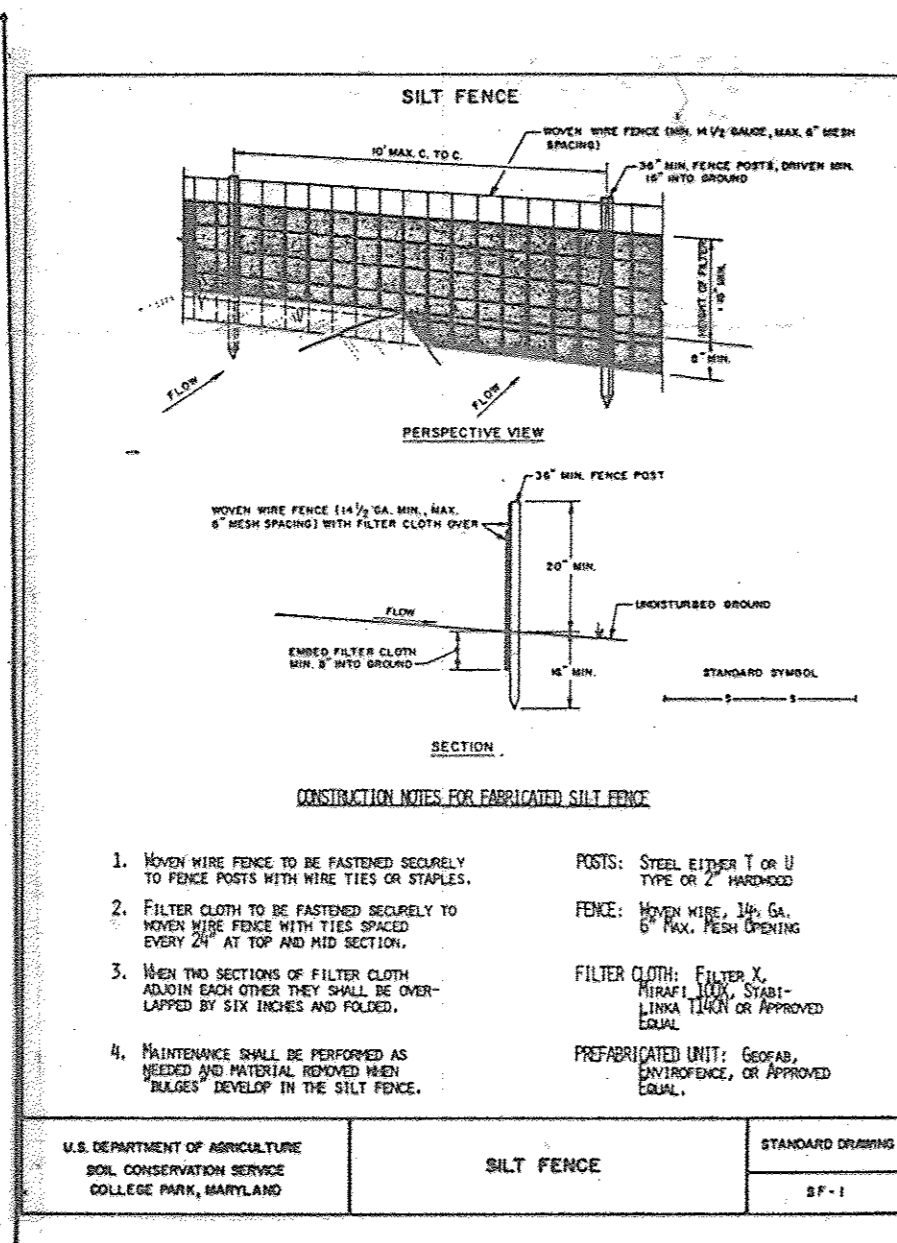
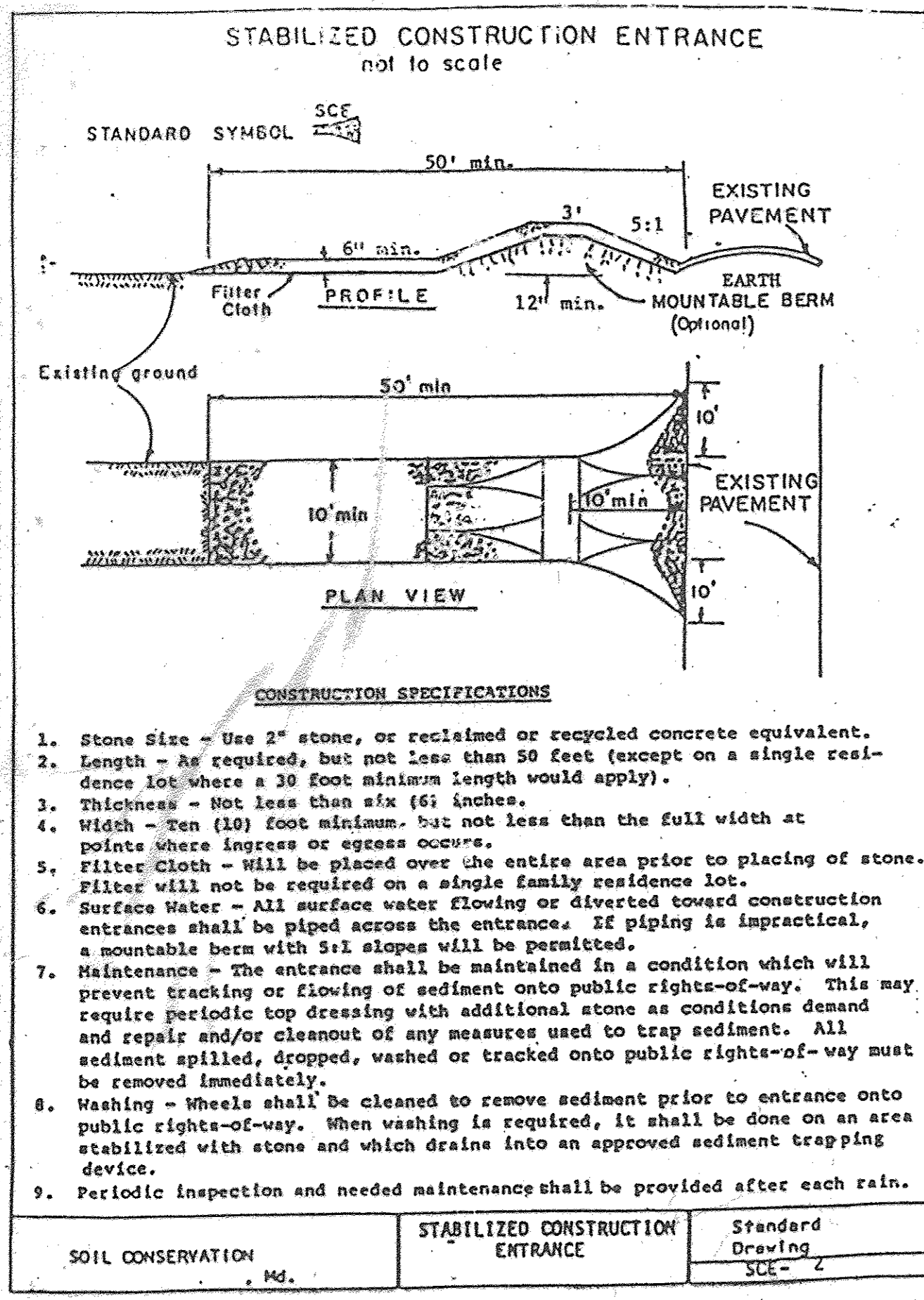
DATE: 03-17-2022  
 REVISION: 5  
 ADDED OUTDOOR FENCED AREA FOR BUILDING 7 UNIT 100 USE.

DATE	REVISION	BY
3-17-2022	5	ADD OUTDOOR FENCED AREA FOR BUILDING 7 UNIT 100 USE

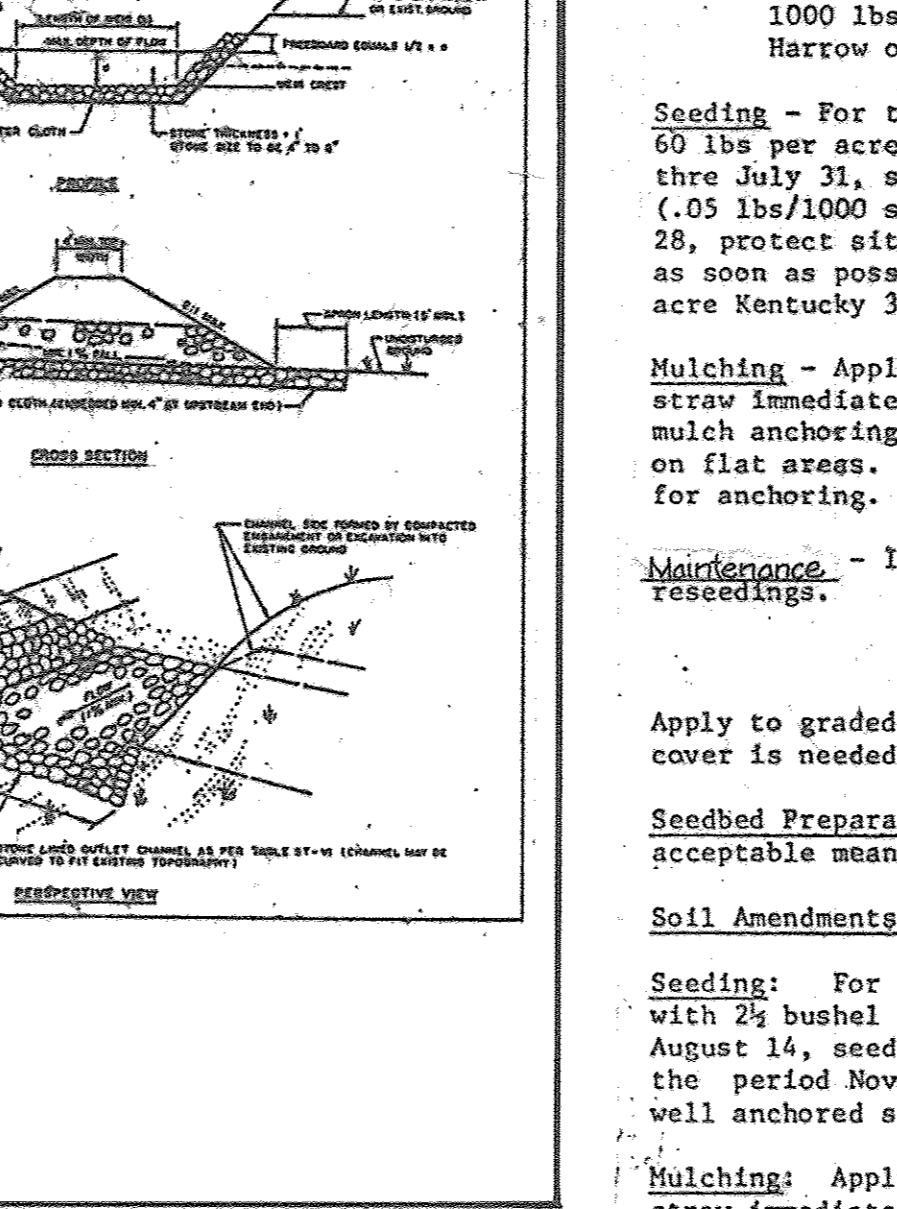
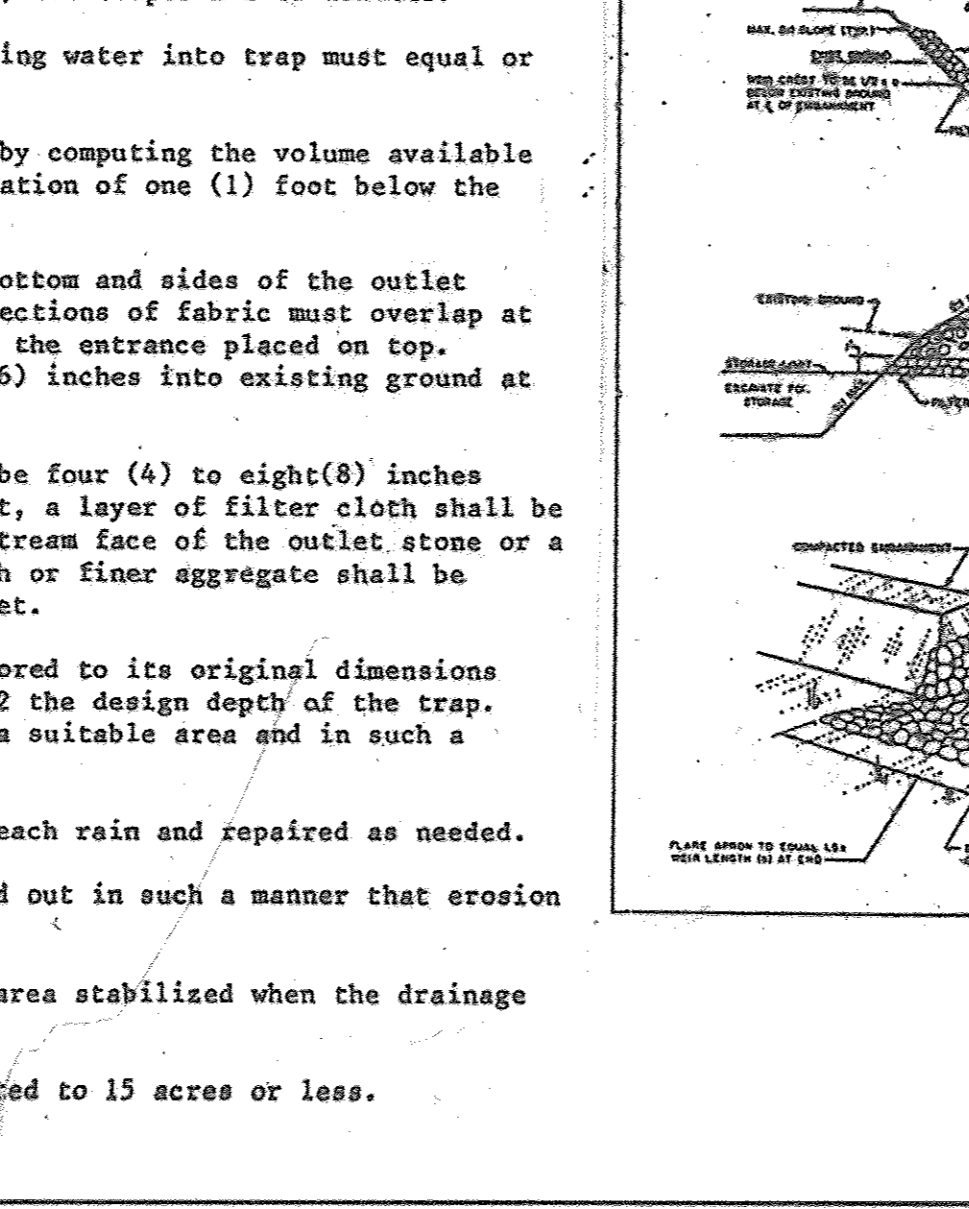
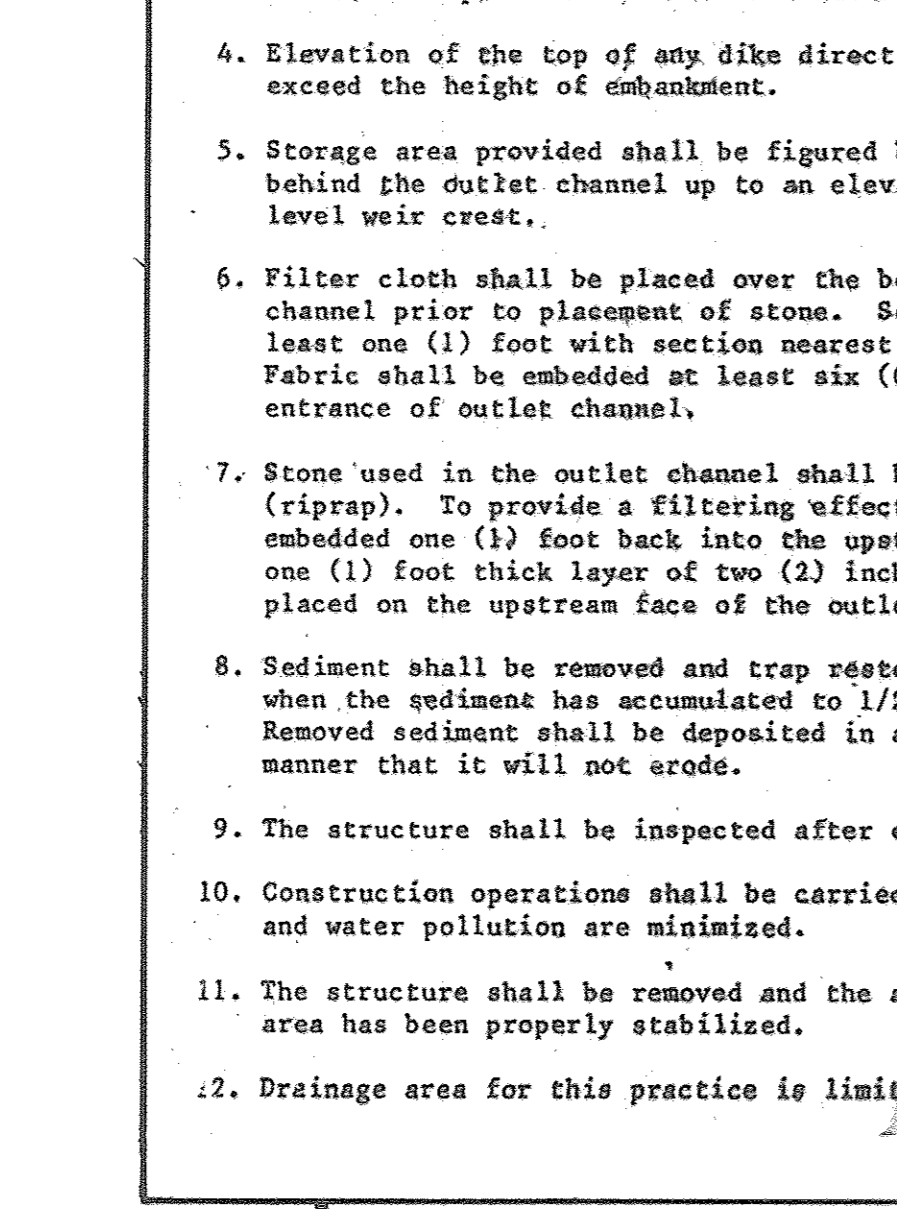
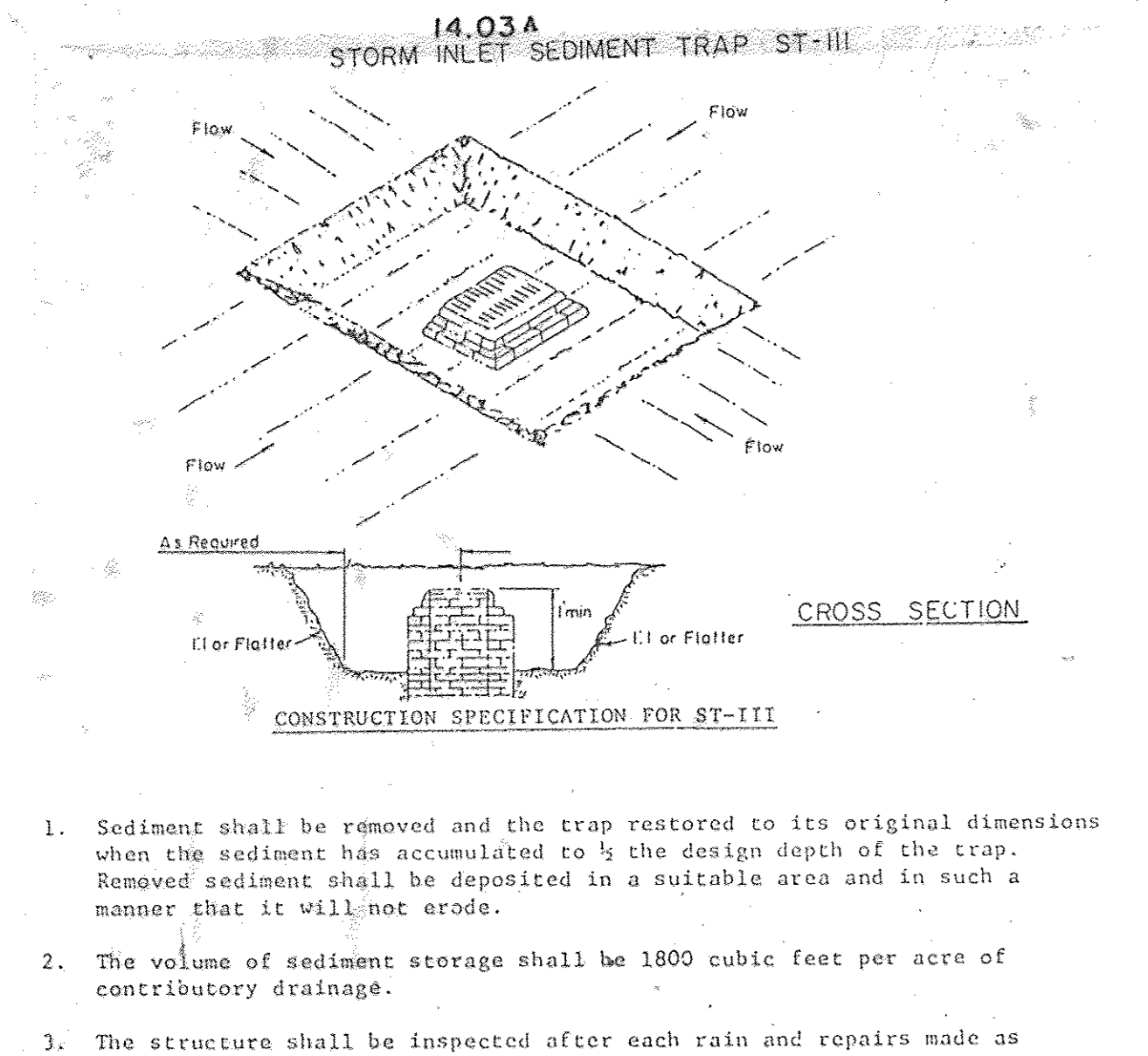
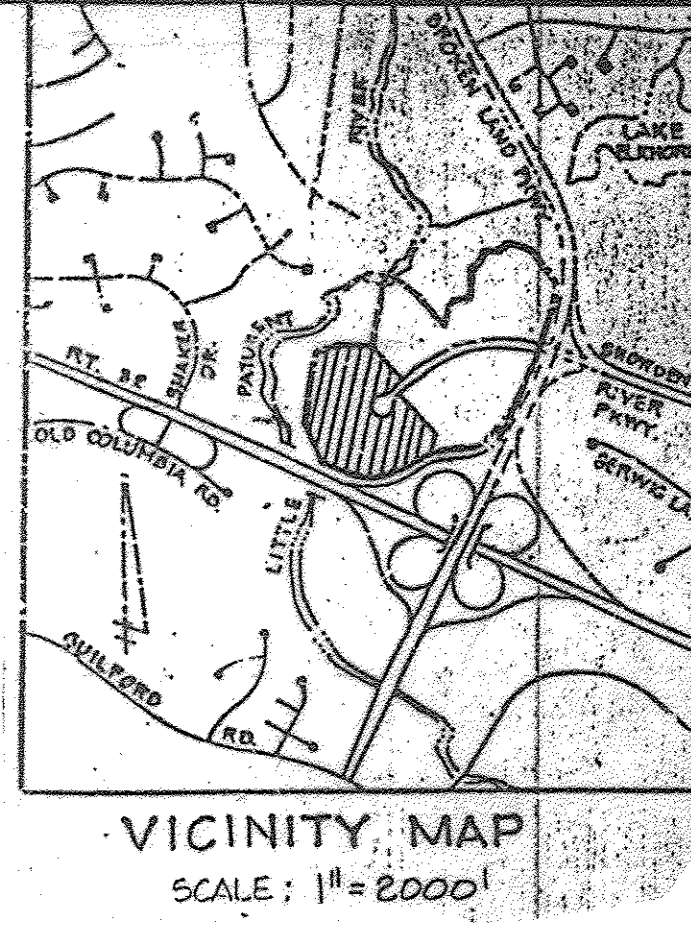
**KIDDE CONSULTANTS, INC.**  
 ENGINEERS, LAND PLANNERS & SURVEYORS  
 1052 WEST STREET / LAUREL, MD 20707  
 (301) 725-0665

530 POPLAR STREET / CAMBRIDGE, MD 21613 (301) 228-3350  
 111 JOHN STREET / WESTMINSTER, MD 21157 (301) 648-1700  
 6015 BELAIR ROAD / BALTIMORE, MD 21286 (301) 668-0071

DATE: 2-8-04 SCALE: 1"=30'  
 SDP-85-130c



- ### Sequence Of Construction
- Notify Howard County Bureau Of Inspection & Permits at least 24 hours before starting any work.
  - Construct all sediment control measures as shown. Clean and/or repair as necessary the existing sediment basin #1. "Limits of Disturbance" noted on plan shall be inside along property line. Install dikes as berm is removed, maintaining positive drainage to traps).
  - Continue using existing Basin #1. Remove existing Basin #2.
  - Install utilities. Construct storm drainage system, except lines crossing sediment control devices. Construct Storm Drain Inlet Traps.
  - Install all curb and gutter which does not conflict with sediment control.
  - Construct buildings.
  - Fine grade site.
  - Construct final paving which does not conflict with sediment control.
  - Stabilize all disturbed areas remaining.
  - With approval of sediment control inspector, remove sediment control devices and construct remainder of storm drain system, curb and gutter, and final paving. Stabilize disturbed areas, and unblock inlets.
  - Maintenance.



- ### PERMANENT SEEDING NOTES
- Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.
- Seedbed Preparation:** Loosen upper three inches of soil by raking, disking or other acceptable means before seeding.
- Soil Amendments:** In lieu of soil test recommendations, use one of the following schedules:
- Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 square ft) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft).
  - Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.
- Seeding -** For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.
- Mulching -** Apply 1/4 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.
- Maintenance -** Inspect all seeded areas and make needed repairs, replacements and reseedings.
- ### TEMPORARY SEEDING NOTES
- Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.
- Seedbed Preparation:** Loosen upper three inches of soil by raking, disking or other acceptable means before seeding.
- Soil Amendments:** Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft)
- Seeding -** For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2 1/2 bushel per acre of annual rye (3.2 lbs/1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (.07 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.
- Mulching -** Apply 1/4 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes, 8 ft or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.
- Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

- ### SEDIMENT CONTROL NOTES
- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (992-2437)
  - All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
  - Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
  - All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
  - All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 51) and (Sec. 54), temporary seeding (Sec. 50) and mulching (Sec. 52.) Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
  - All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
  - Site Analysis:
 

Total Area of Site	25.76 Acres
Area Disturbed	25.76 Acres
Area to be roofed or paved	24.54 Acres
Area to be vegetatively stabilized	1.22 Acres
Total Cut	22,517 Cu. Yds
Total Fill	77,227 Cu. Yds

 Offsite waste/borrow area location: Borrow will be taken from a Howard County approved site.
  - Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
  - Additional sediment controls must be provided, if deemed necessary by the Howard County DPW sediment control inspector.

APPROVED: For Public Water and Public Sewerage Systems. Howard County Health Department  
 Date: 7-12-85  
 County Health Officer

APPROVED: Howard County Department of Planning and Zoning.  
 Date: 7-17-85  
 Planning Director

APPROVED: Howard County Department of Public Works, Storm Drainage Systems and Public Roads.  
 Date: 7-16-85  
 Chief, Division of Land Development and Zoning Administration

APPROVED: For Public Water and Public Sewerage, Storm Drainage Systems and Public Roads.  
 Date: 7-11-85  
 Director

APPROVED: For Public Water and Public Sewerage, Storm Drainage Systems and Public Roads.  
 Date: 7-10-85  
 Chief, Bureau of Engineering

### INLET TRAP SCHEDULE

INLET	D.A.	CLEANOUT	BOTTOM EL.	BOTTOM DIM.	DEPTH	CAP. REQ.	CAP. AVAIL.
I-1	.55	302.3	300.5	13x13	3'	990	1083
I-2	.91	302.3	300.5	18x18	3'	1638	1728
I-3	1.18	299.3	297.5	21x21	3'	2124	2187
I-4	2.38	299.8	298.00	32x32	3'	4284	4332
I-5	.98	298.3	296.50	19x19	3'	1764	1875
I-6	1.86	292.8	291.00	28x28	3'	3348	3468
I-8	1.12	296.3	294.50	20x20	3'	2016	2028
I-9	5.26	289.3	287.50	41x41	4'	9468	9604
I-10	.79	288.3	286.50	16x16	3'	1422	1452
I-11	3.95	287.3	285.50	34x35	3'	7110	7224
I-12	1.39	294.3	292.50	23x23	3'	2502	2523
I-13	.73	289.3	287.50	15x15	3'	1314	1323
I-14	1.72	291.3	289.50	27x27	3'	3096	3267
I-15	.76	294.8	293.00	16x16	3'	1368	1452
I-16	.91	296.8	295.00	18x18	3'	1638	1728
I-17	.11	296.3	294.50	6x6	1.5'	198	216
I-18	.59	294.3	292.50	13x13	3'	1062	1083

### DEVELOPERS CERTIFICATE

"I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project."

Signature of Developer: *Tash J. Reif*  
 Date: July 28, 1985

### ENGINEERS CERTIFICATE

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard County Department of Planning and Zoning.

Signature of Engineer: *Rodolph L. May Jr.*  
 Date: 6/19/85

LSOP 3MD 3, LLC c/o JLL  
 7240 PARKWAY DRIVE, SUITE 360  
 HANOVER, MARYLAND  
 410-596-2709

OWNER/DEVELOPER  
 TRAMMELL CROW CO.  
 7520 STANDISH PLACE, STE. 100  
 ROCKVILLE, MARYLAND 20855  
 (301) 340-0901

### SEDIMENT CONTROL PLAN DETAIL SHEET

#### VILLAGE OF OWEN BROWN SECTION G, AREA 1, PARCELS A & C TAX MAP 42, PARCEL 18

6th ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

SHEET 6 OF 12

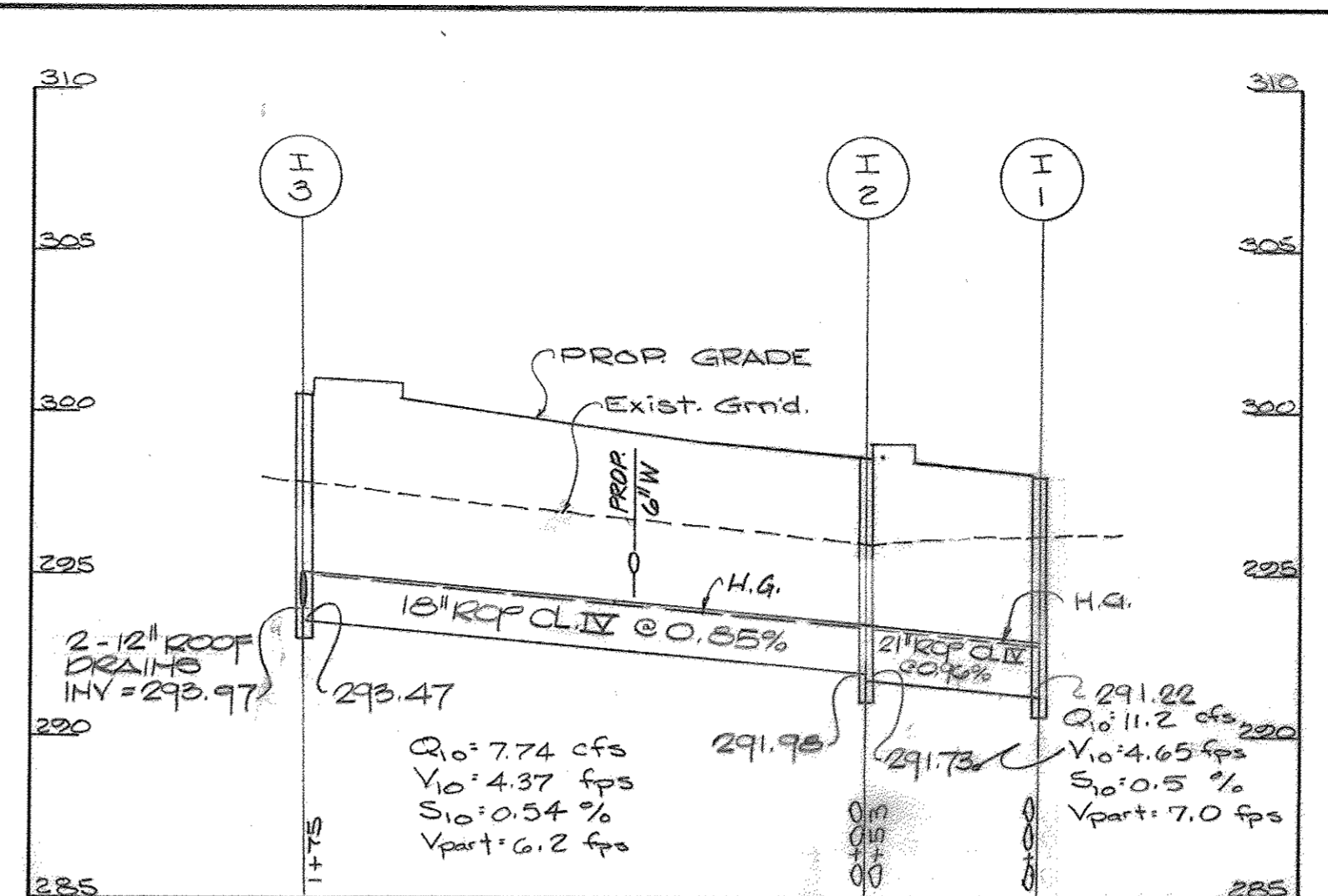
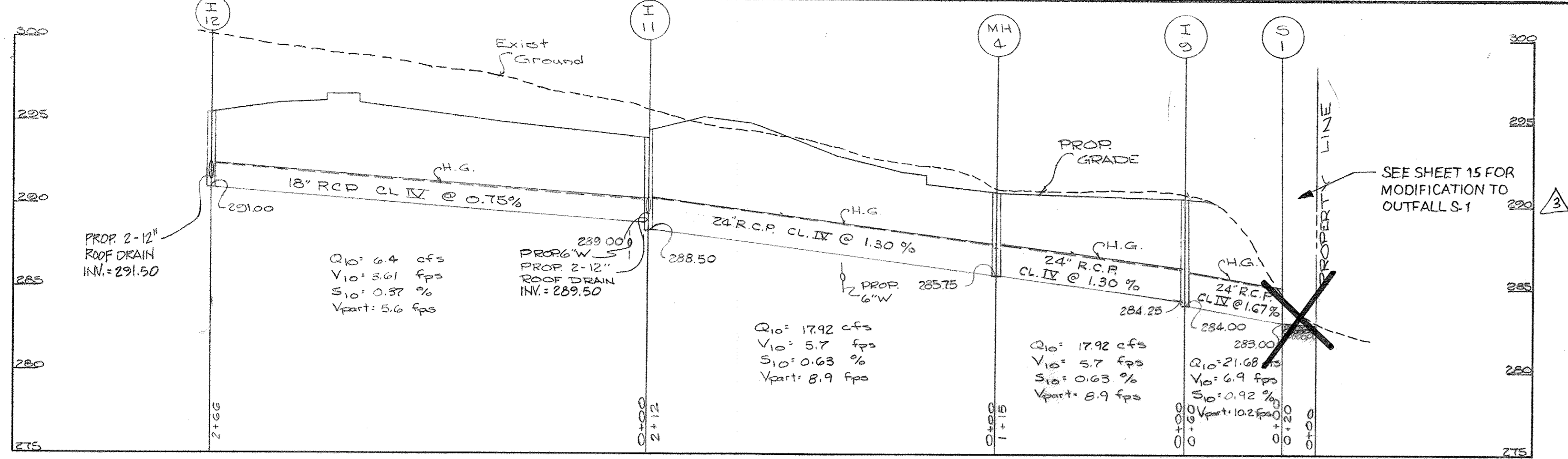
### KIDDE CONSULTANTS, INC.

ENGINEERS, LAND PLANNERS & SURVEYORS

8101 SANDY SPRING RD. / LAUREL, MD. 20707  
 (301) 725-0665 / 792-8086

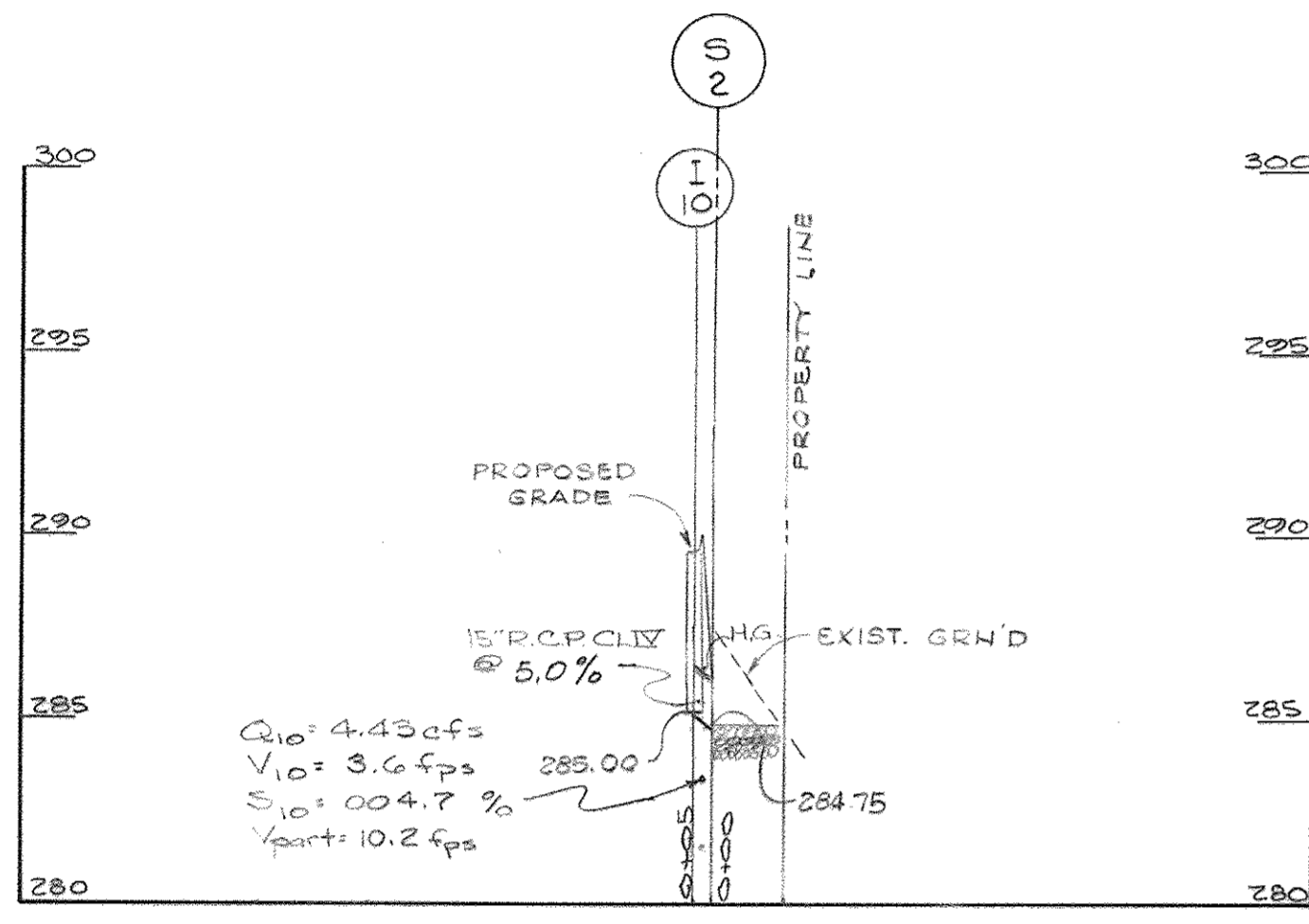
8013 BELAIR ROAD / BALTIMORE, MD. 21286 (301) 666-1501  
 539 FORPLAN STREET / CAMBRIDGE, MD. 21613 (301) 228-3300  
 111 JOHN STREET / WESTMINSTER, MD. 21157 (301) 876-2017

Checked by: *Kodolph May Jr.*  
 Date: 1/85  
 Scale: AS SHOWN

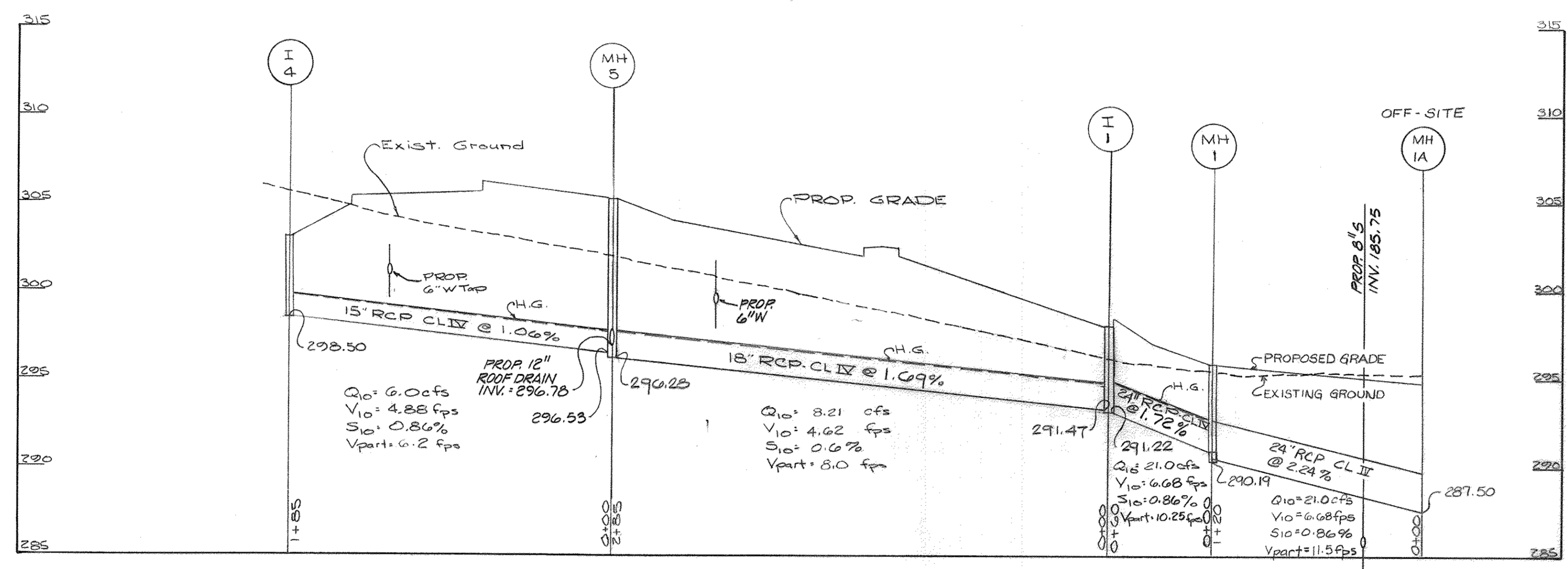


INLET 12 TO OUTLET

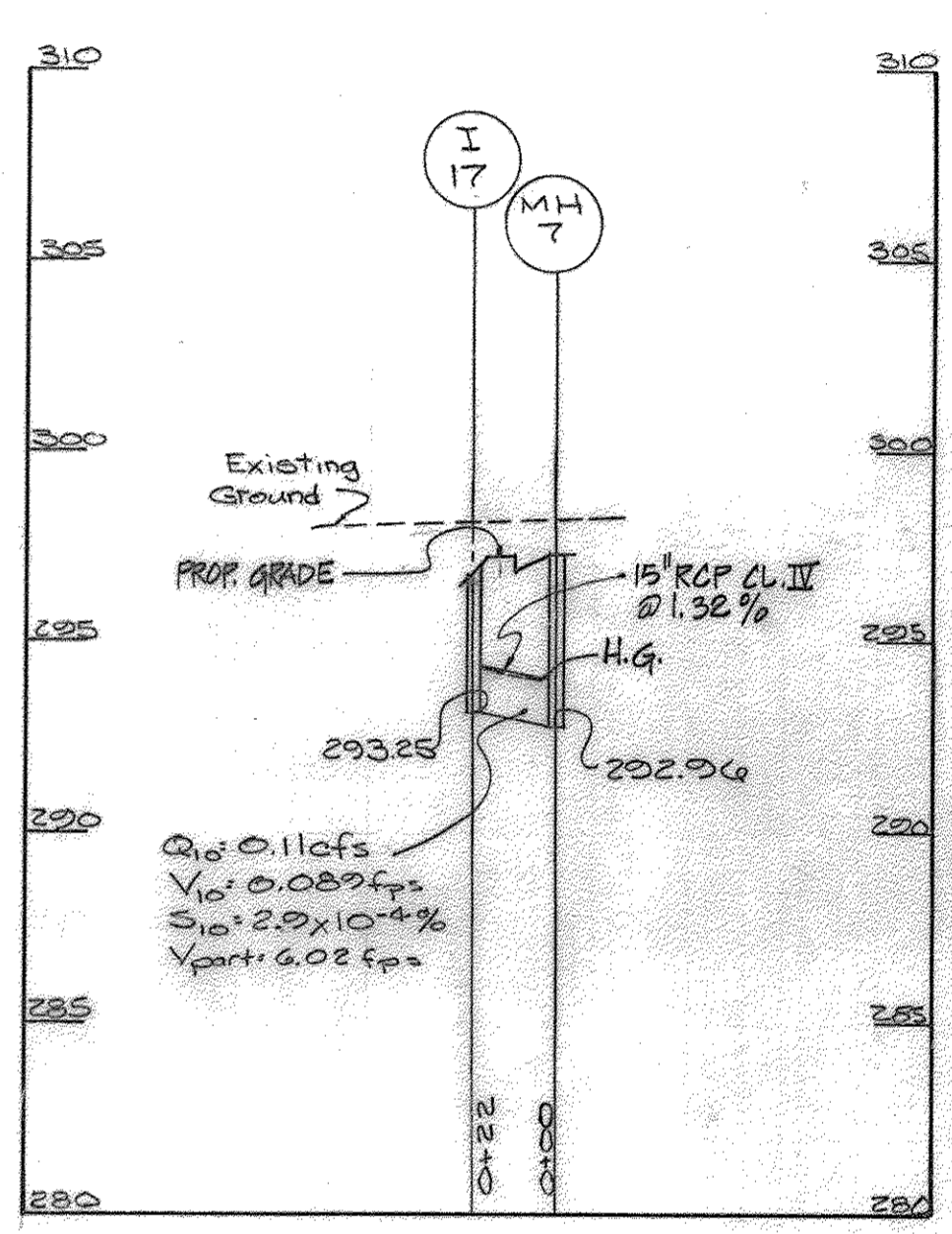
INLET 3 TO INLET 1



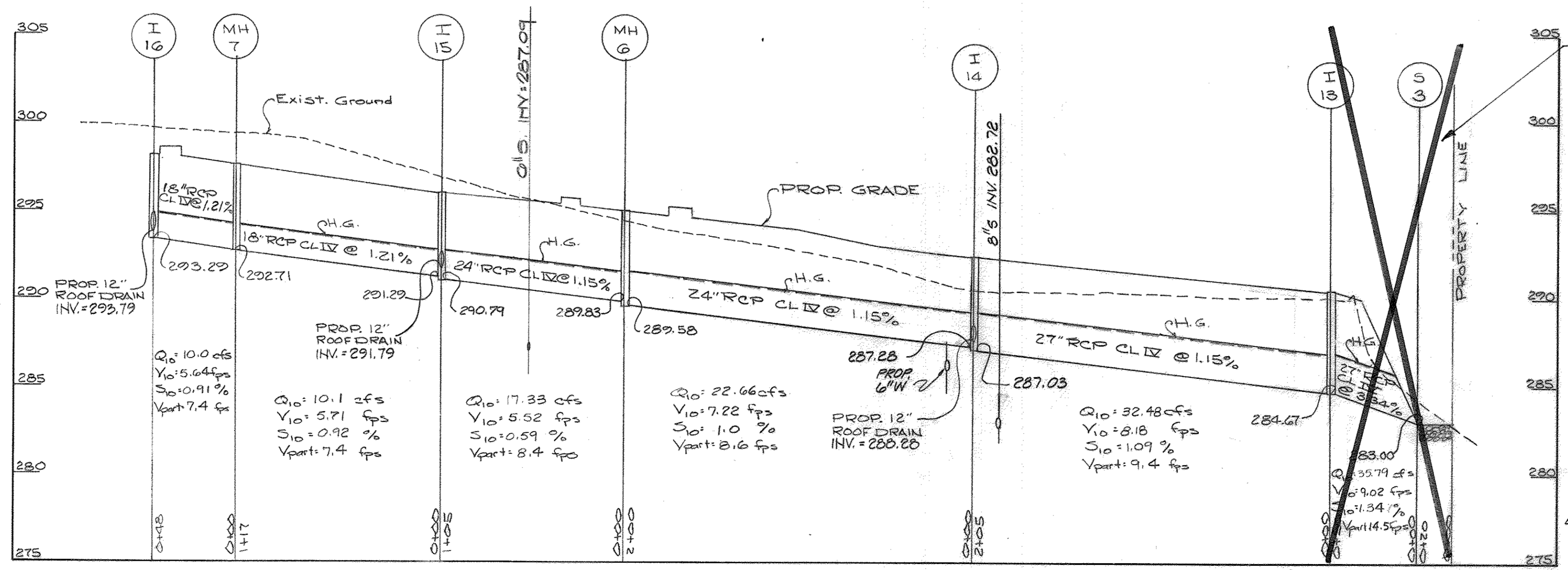
INLET 10 TO OUTLET



INLET 4 TO MANHOLE 1



INLET 17 TO FIELD CONNECTION



INLET 16 TO INLET 13

SEE SHEET 15 FOR MODIFICATION TO OUTFALLS S-3

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License No. 32602, Expiration Date: 1/15/20  
 12/1/17

APPROVED: For Public Water and Public Sewerage Systems, Howard County Health Department.  
 [Signature] 7-16-85  
 Chief, Health Officer

APPROVED: Howard County Department of Planning and Zoning.  
 [Signature] 7-12-85  
 Planning Director

APPROVED: [Signature] 7-16-85  
 Chief, Division of Land Development and Zoning Administration

APPROVED: For Public Water and Public Sewerage, Storm Drainage Systems and Public Roads, Howard County Department of Public Works.  
 [Signature] 7-11-85  
 Director

Chief, Bureau of Engineering

**APPROVED**  
**PLANNING BOARD**  
**OF HOWARD COUNTY**  
 DATE 5-15-85

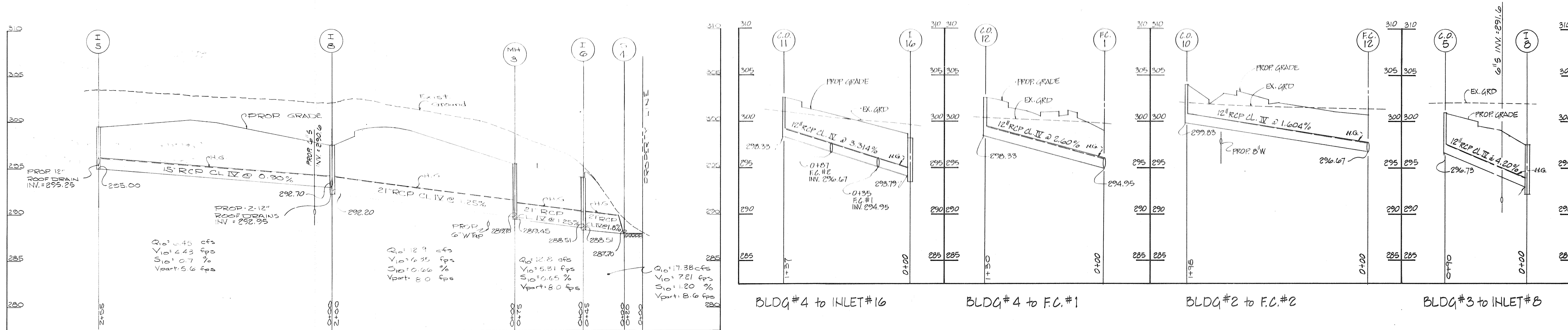
**STORM DRAIN PROFILES**  
**VILLAGE OF OWEN BROWN**  
**SECTION C, AREA 1, PARCELS A & C**  
 TAX MAP 42, PARCEL 1B  
 SIXTH ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

**KIDDE CONSULTANTS, INC.**  
 ENGINEERS, LAND PLANNERS & SURVEYORS  
 1052 WEST STREET / LAUREL, MD. 20707  
 (301) 725-0665 / 792-9086

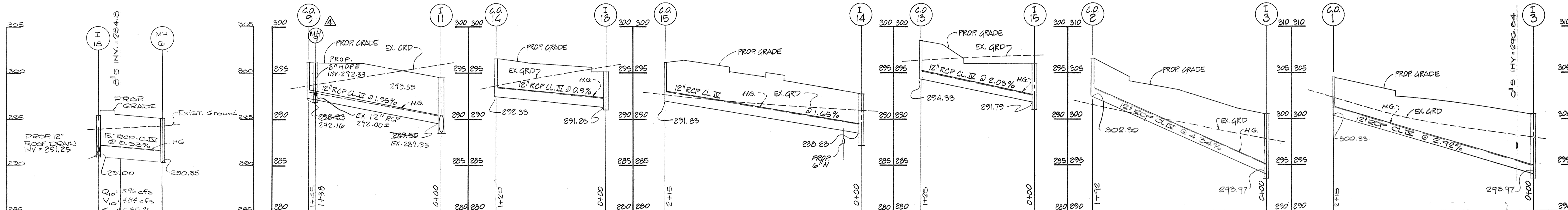
2015 BELAIR ROAD / BALTIMORE, MD. 21286 (301) 668-1501  
 530 POPLAR STREET / CAMBRIDGE, MD. 21613 (301) 228-3300  
 111 JOHN STREET / WESTMINSTER, MD. 21157 (301) 876-2017

Drwg. No. T of K



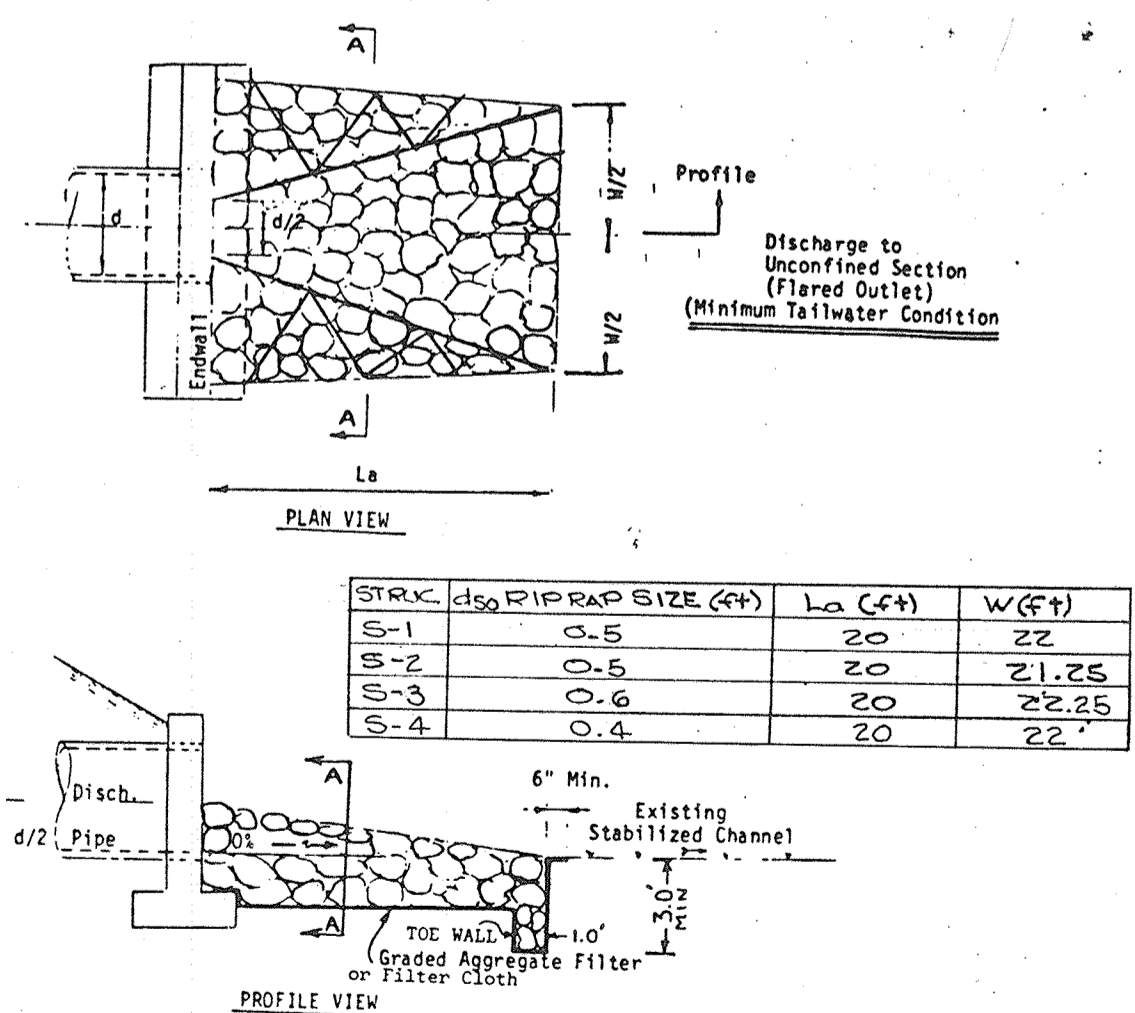


INLET 5 TO OUTFALL

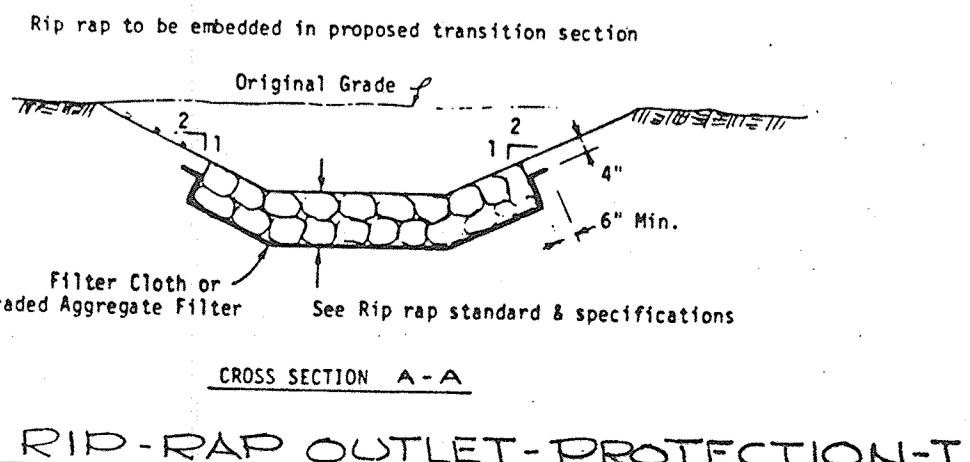


BLDG #8 TO INLET #11 BLDG #9 TO INLET #18 BLDG #5 TO INLET #14 BLDG #5 TO INLET #15 BLDG #1 TO INLET #3 BLDG #2 TO INLET #3

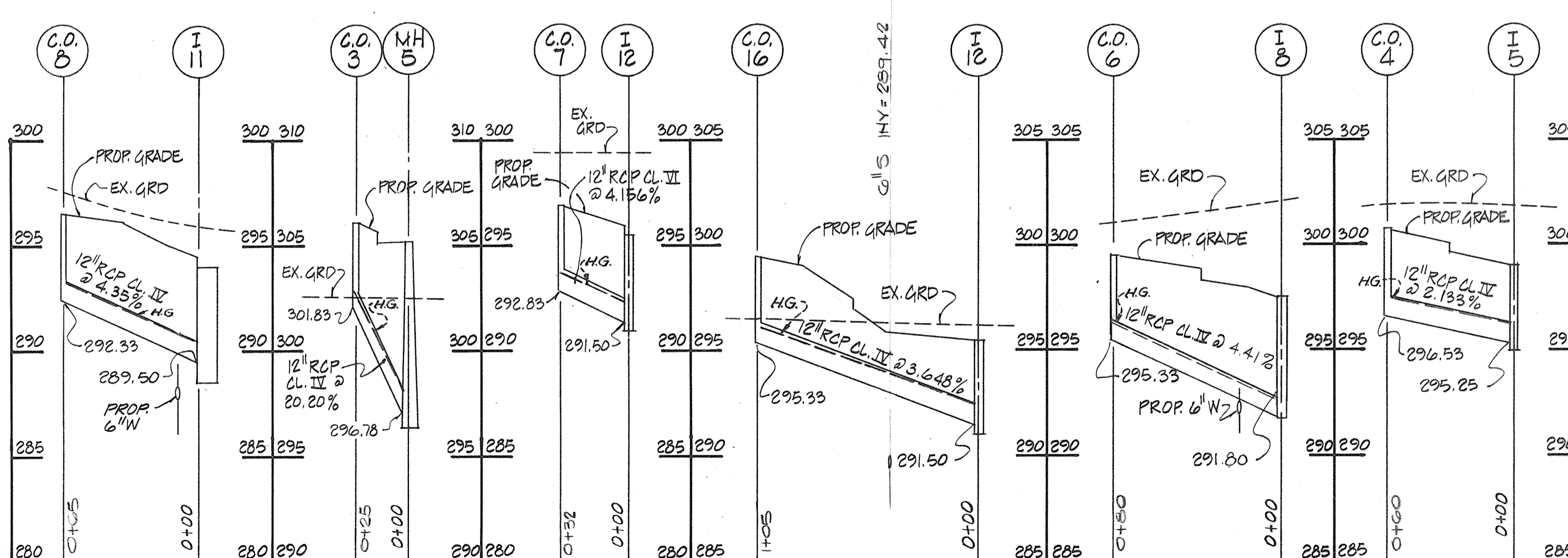
INLET 18 TO MANHOLE 6



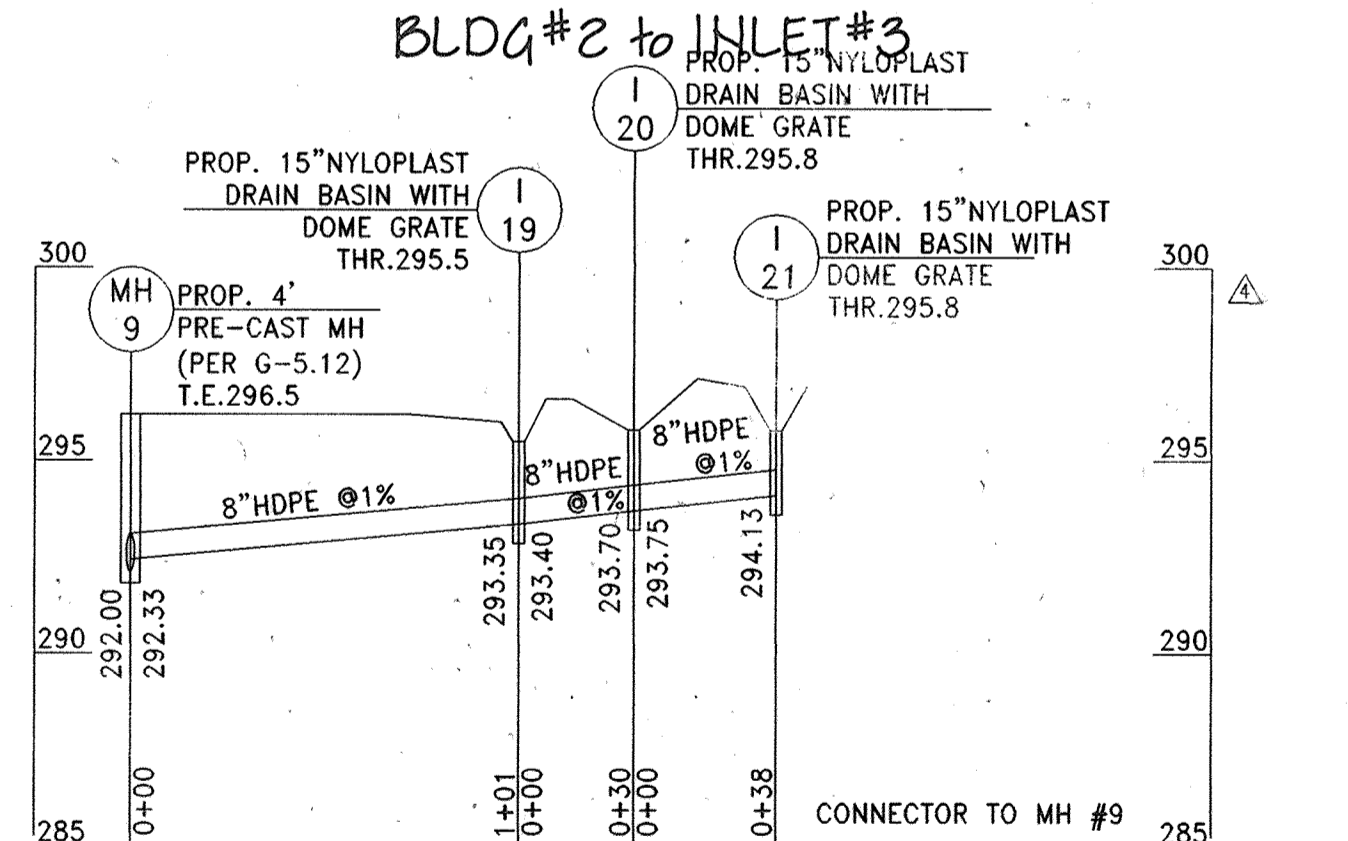
STR.	DIS.	RIPPRAP SIZE (4")	La (4")	W (4")
S-1	0.5	20	22	
S-2	0.5	20	21.25	
S-3	0.6	20	22.25	
S-4	0.4	20	22.2	



RIIP-RAP OUTLET-PROTECTION-I



BLDG #7 TO INLET #11 BLDG #1 TO MH #5 BLDG #7 TO INLET #12 BLDG #6 TO INLET #12 BLDG #6 TO INLET #8 BLDG #3 TO INLET #5



STORM DRAIN PROFILES VILLAGE OF OWEN BROWN SECTION G, AREA 1, PARCELS A & C TAX MAP 42, PARCEL 1B SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

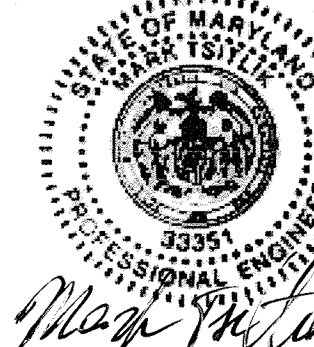
**APPROVED**  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE 5-15-85

APPROVED: For Public Water and Public Sewerage Systems.  
Howard County Health Department  
County Health Officer *Joyce Boyer* 7-12-81 Date

APPROVED: Howard County Department of Planning and Zoning.  
Planning Director *John W. Maclean* 7-17-85 Date  
Chief, Division of Land Development and Zoning Administration *John W. Maclean* 7-16-85 Date

APPROVED: For Public Water and Public Sewerage, Storm Drainage Systems and Public Roads.  
Howard County Department of Public Works  
Director *John F. Nummy* 7-14-85 Date  
Chief, Bureau of Engineering *John F. Nummy* 7-10-85 Date

Professional Certification.  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 33351.  
Expiration Date 06-30-2020.  
07-30-2018  
ADD ENCLOSED CONNECTOR BETWEEN EX. BUILDINGS #8 AND #9  
BY KOW ENGINEERING TECHNOLOGIES, INC.



OWNER / DEVELOPER  
TRAMMELL CROW CO  
7520 STANDISH PLACE, STE. 100  
ROCKVILLE, MARYLAND 20855  
(301) 340-0901

OWNER / DEVELOPER  
TRAMMELL CROW CO  
7520 STANDISH PLACE, STE. 100  
ROCKVILLE, MARYLAND 20855  
(301) 340-0901

**KIDDE CONSULTANTS, INC.**  
ENGINEERS, LAND PLANNERS & SURVEYORS  
1052 WEST STREET / LAUREL, MD. 20707  
(301) 725-0665 / 792-8086

2013 BELAIR ROAD / BALTIMORE, MD. 21236 (301) 668-1501  
539 POPLAR STREET / CAMBRIDGE, MD. 21613 (301) 228-3350  
111 JOHN STREET / WESTMINSTER, MD. 21157 (301) 876-2017

*Kathleen May*  
DATE FEB. 1985 SCALE 1"=50' VERT. 1"=5'

APPROVED: For Public Water and Public Sewerage Systems,  
Howard County Health Department

*Joyce Bya* 7-16-81  
Date

APPROVED: Howard County Department of Planning and Zoning,  
Planning Director

*James L. Harris* 7-17-85  
*John W. Muschman* 7-16-85  
Date

APPROVED: For Public Water and Public Sewerage, Storm  
Drainage Systems and Public Roads,  
Howard County Department of Public Works

*Walter F. Neumaier* 7-11-85  
*William J. Kelly* 7-10-85  
Date

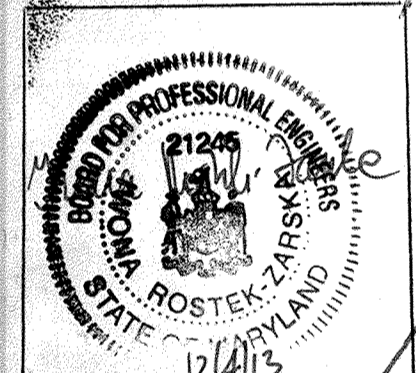
Reviewed for Howard S.C.D. and meets  
technical requirements.

*J. Helm* 7-9-85  
Date  
U.S. Soil Conservation Service

This development plan is approved for  
soil erosion and sediment control by  
The Howard Soil Conservation District.

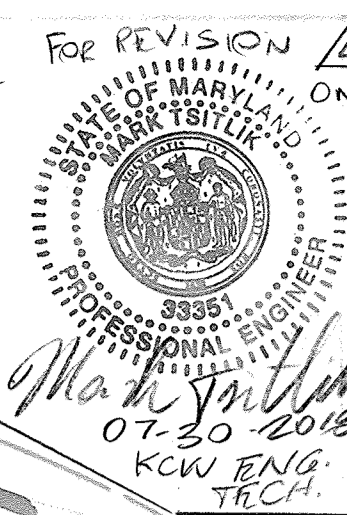
*Stephen L. Hahn* 7-8-85  
Date  
Howard S.C.D.

**APPROVED**  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE 5-15-85



BALTIMORE LAND DESIGN  
GROUP, INC.  
REVISION #2 ONLY  
11-08-13  
N 1483, 750

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE  
PREPARED OR APPROVED BY ME, AND THAT I AM  
A DULY LICENSED PROFESSIONAL ENGINEER  
UNDER THE LAWS OF THE STATE OF MARYLAND,  
LICENSE # 33351  
EXP. DATE 1-06-30-2020



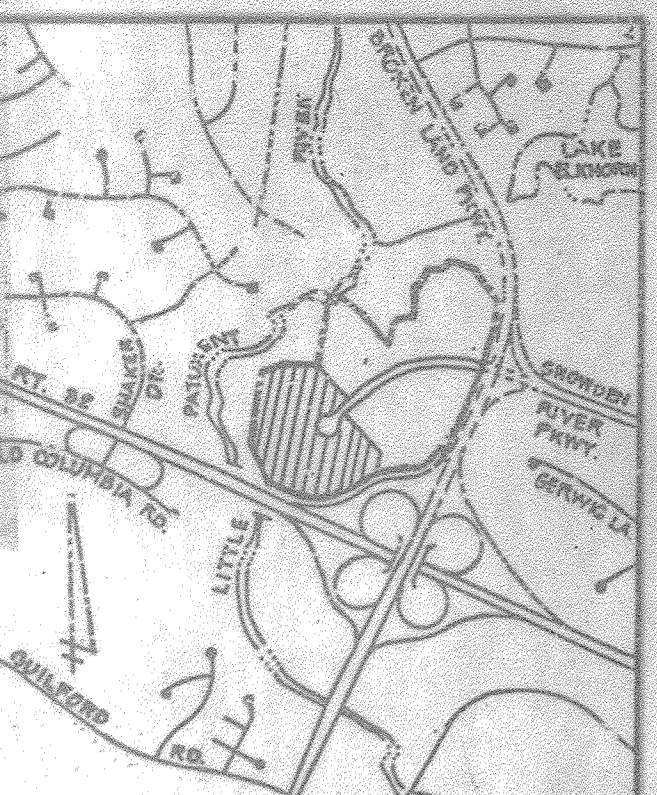
FOR REVISION ONLY  
APP. ENCL. COMMENTOR  
SETW. EX. BLDGS 8#9  
DEVELOPER'S CERTIFICATE  
I/we certify that all development and construction will  
be done according to this plan of development and plan for  
erosion and sediment control and that all responsible person-  
nel involved in the construction project will have a  
certificate of attendance at a Dept. Of Natural Resources  
Approved Training Program For The Control Of Sediment And  
Erosion before beginning the project. I also authorize  
periodic on site inspection by the Howard Soil Conservation  
District or their authorized agents, as are deemed necessary

*Paul J. Reich*  
Signature of Developer  
Date July 2, 1985

Engineer's Certificate

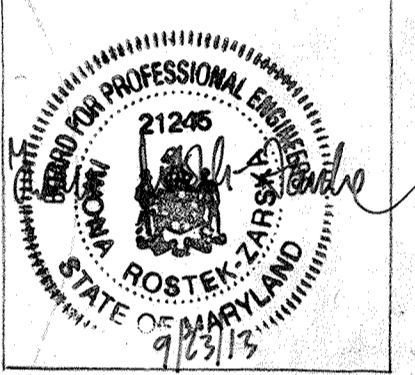
I hereby certify that this plan for erosion and  
sediment control represents a practical and work-  
able plan based on my personal knowledge of the  
site conditions and that it was prepared in ac-  
cordance with the requirements of the Howard Soil  
Conservation District

*Rodolph May Jr.* 6/19/85  
Date



VICINITY MAP  
SCALE: 1" = 2000'

- LEGEND:
- NO. OF PARKING SPACE
  - EXIST. CONTOURS
  - PROPOSED CONTOURS
  - DRAINAGE SUB-AREA
  - LIMIT OF 04 SITE DRAINAGE
  - TOPSOIL BERM / STOCKPILE



REVISION #1 ONLY 8-21-13

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE  
PREPARED OR APPROVED BY ME, AND THAT I AM  
A DULY LICENSED PROFESSIONAL ENGINEER UNDER  
THE LAWS OF THE STATE OF MARYLAND, LICENSE  
NO 21245, EXPIRATION DATE: JUNE 9, 2014.

NOTE:  
SOME BUILDINGS UTILIZE  
2 ROOF DRAINS.

**DRAINAGE AREA MAP**  
VILLAGE OF OWEN BROWN  
SECTION G, AREA 1, PARCELS A & C  
TAX MAP 42, PARCEL 18  
6th ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

AREA OF SITE: 25.76 ±  
L5OP 3 MD 3, LLC c/o JLL  
7240 PARKWAY DRIVE, SUITE 300  
HANOVER, MARYLAND  
410-565-2700

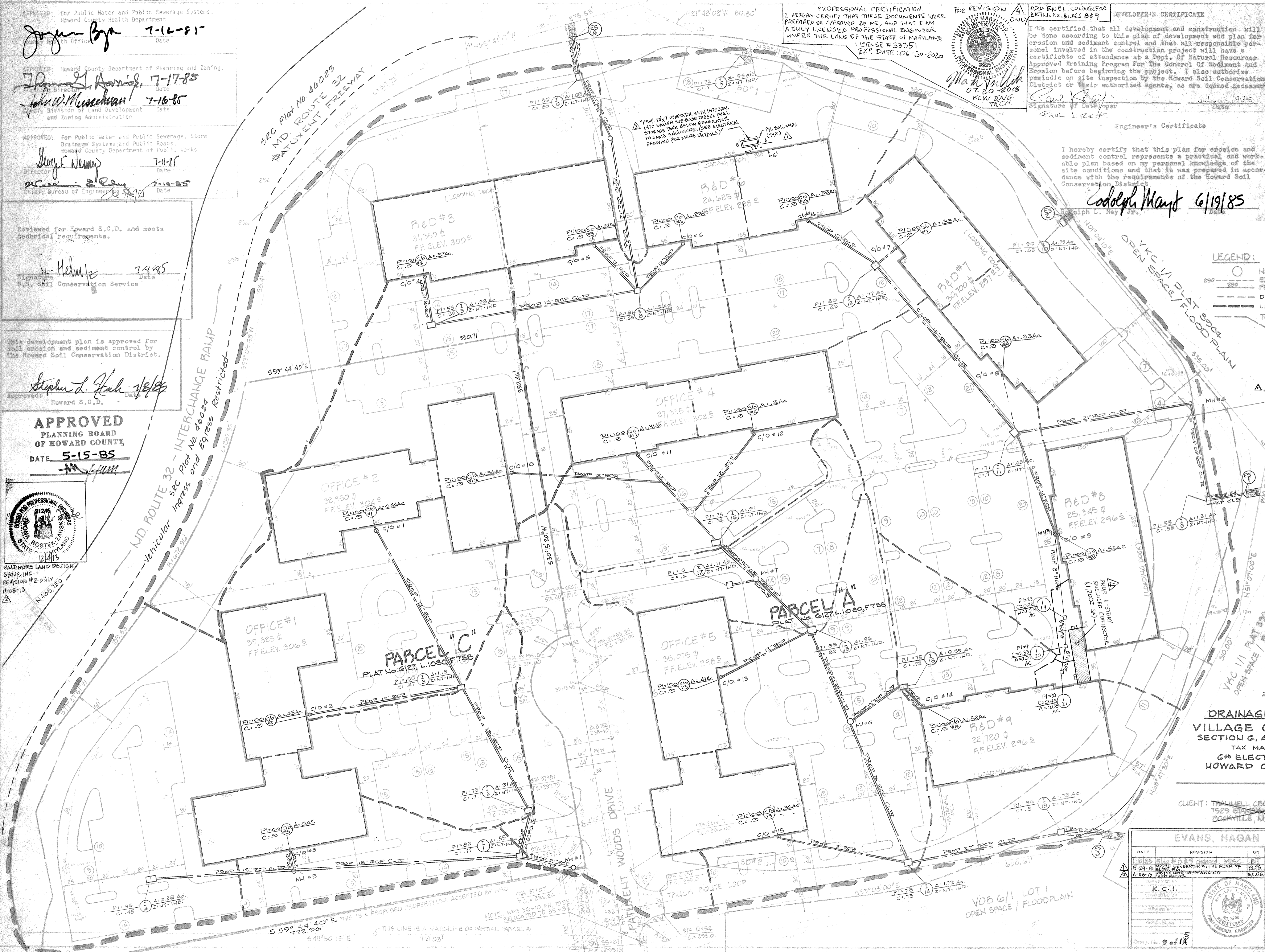
CLIENT: TRAVELL CROW COMPANY  
7529 SHILOH PLACE STE. 100  
BOONVILLE, MD. 20855

EVANS, HAGAN & HOLDEFER, INC.  
ENGINEERS, LAND PLANNERS & SURVEYORS  
8101 SANDY SPRING RD. STE. 504, LAUREL,  
MD. 20707  
(301) 733-0800 FAX: (301) 733-0801

DATE	REVISION	BY
10-05-85	1	EV
10-21-85	2	EV
11-05-85	3	EV

COMPUTED BY: K.C.I.  
DRAWN BY: K.C.I.  
CHECKED BY: K.C.I.  
DATE: 2.8.85  
SCALE: 1" = 50'  
Draw No: 9 of 18

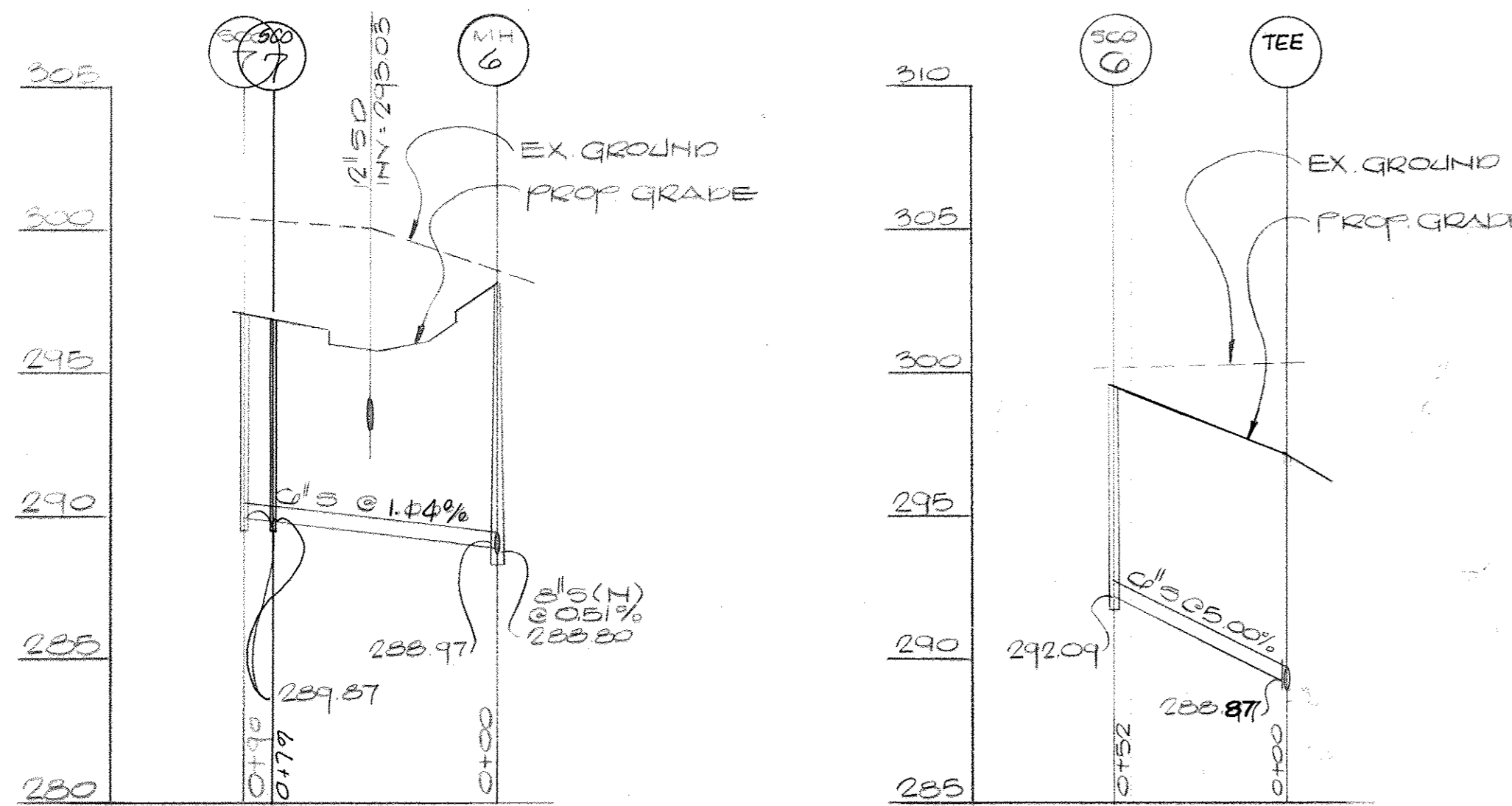
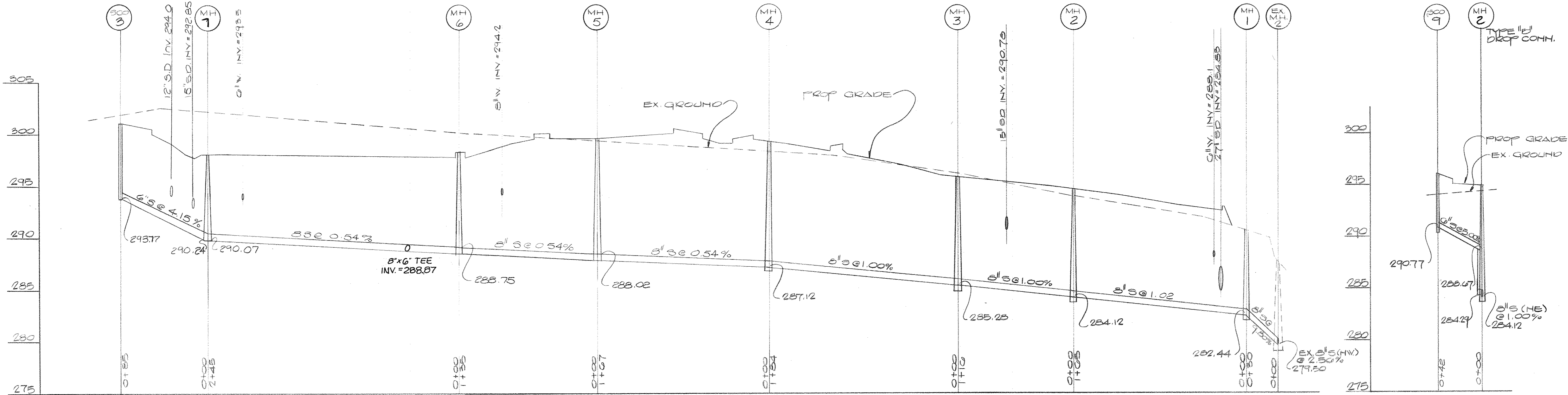
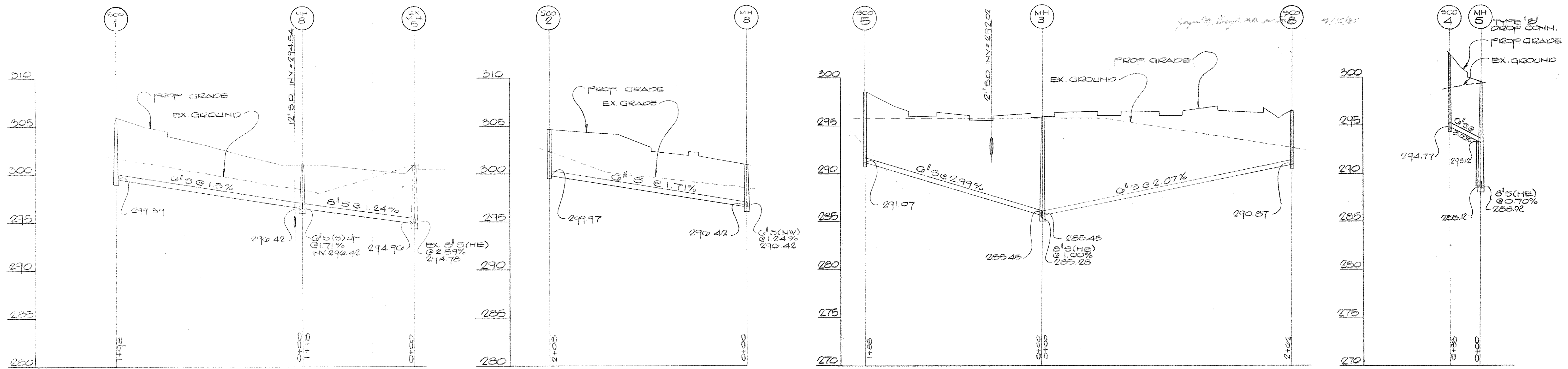
SDP-85-130c



5 59° 44' 40" E THIS IS A PROPOSED PROPERTY LINE ACCEPTED BY HAD  
772.96  
548° 50' 15" E THIS LINE IS A MATCHLINE OF PARTIAL PARCEL A  
714.03'

NOTE: WAS 36+10.6H TO BE  
RELOCATED TO 35+8.5

VOB 6/1 LOT 1  
OPEN SPACE / FLOODPLAIN



**APPROVED**  
**PLANNING BOARD**  
**OF HOWARD COUNTY**  
 DATE **5-15-85**  
*[Signature]*

APPROVED: For Public Water and Public Sewerage Systems.  
 Howard County Health Department  
*[Signature]* 7-12-85  
 County Health Officer Date

APPROVED: Howard County Department of Planning and Zoning.  
*[Signature]* 7-17-85  
 Planning Director Date  
*[Signature]* 7-16-85  
 Chief, Division of Land Development and Zoning Administration Date

APPROVED: For Public Water and Public Sewerage, Storm Drainage Systems and Public Roads.  
 Howard County Department of Public Works  
*[Signature]* 7-11-85  
 Director Date  
*[Signature]* 7-10-85  
 Chief, Bureau of Engineering Date

**OWNER/DEVELOPER**  
**FRAMMELL CROW CO**  
 7829 STANDISH PLACE STE. 100  
 ROCKVILLE, MARYLAND 20855  
 (301) 340-0901  
 LSOP 3 MD 3, LLC c/o JLL  
 7240 PARKWAY DRIVE, SUITE 360  
 HANOVER, MARYLAND  
 410-595-2700

**SANITARY SEWER PROFILES**  
**VILLAGE OF OWEN DROWN**  
 SECTION C, AREA 1, PARCELS A & C  
 TAX MAP 42, PARCEL 15  
 0<sup>TH</sup> ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND SHEET 10 of 14

**KIDDE CONSULTANTS, INC.**  
 ENGINEERS, LAND PLANNERS & SURVEYORS  
 8101 SANDY SPRING ROAD / LAUREL, MD. 20707  
 (301) 725-0665 / 792-8086

DATE	REVISION	BY
8/2/85	5007 Profile, MH 2 & 7	MD
7/12/87	CHANGE 7-3-87	PW

SURVEYED BY  
 COMPUTED BY JMF  
 DRAWN BY JMF  
 CHECKED BY JMF

SHT 10 of 14

*[Professional Engineer Seal]*  
*[Signature]*  
 DATE \_\_\_\_\_ SCALE VERT 1" = 5'

NO. DATE REVISION  
 6-6-08 ADDED 2 HANDICAP ENTRANCES TO BLDG 5  
 8-29-08 REVISED HC ENTRANCE @ BLDG 5  
 7-30-18 ADD ENCLOSED CONNECTOR BETWEEN EX. BLDGS. #8 AND #9  
 NOTE: THE DISTURBANCE PROPOSED UNDER REVISION #6 IS 1800SF WHICH CUMULATIVELY WITH REVISION #5 EQUALS 4828SF AND REMAINS UNDER 5000SF AND IS EXEMPT FROM SWM. ANY FUTURE INCREASES IN CUMULATIVE LOD THAT EXCEEDS 5000SF SHALL REQUIRE SWM.  
 2 Preliminary water & sewer inputs are currently being reviewed by Howard County Dept. of Public Works.

PROF. CERT. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MD. LICENSE # 23165 EXP 7/18/23

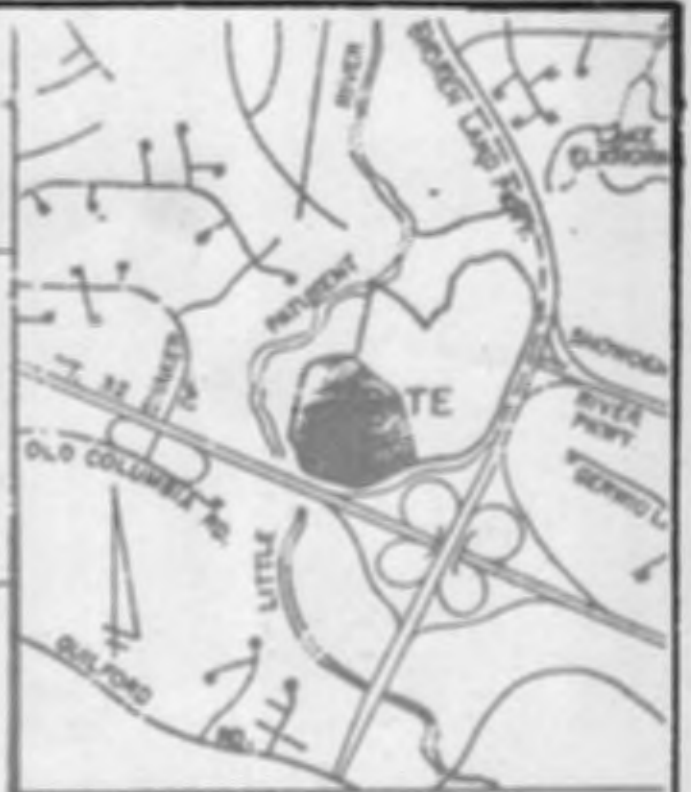
PURPOSE STATEMENT: REVISED SITE DEVELOPMENT PLAN TO SHOW AN 1800SF OUTDOOR ACTIVITY AREA ADJACENT TO BLDG #8.

APPROVED  
 PLANNING BOARD  
 BY HOWARD COUNTY  
 DATE 5-15-85  
 [Signature]

APPROVED: For Public Water and Public Sewerage Systems, Howard County Health Department  
 [Signature] 7-15-85  
 Date

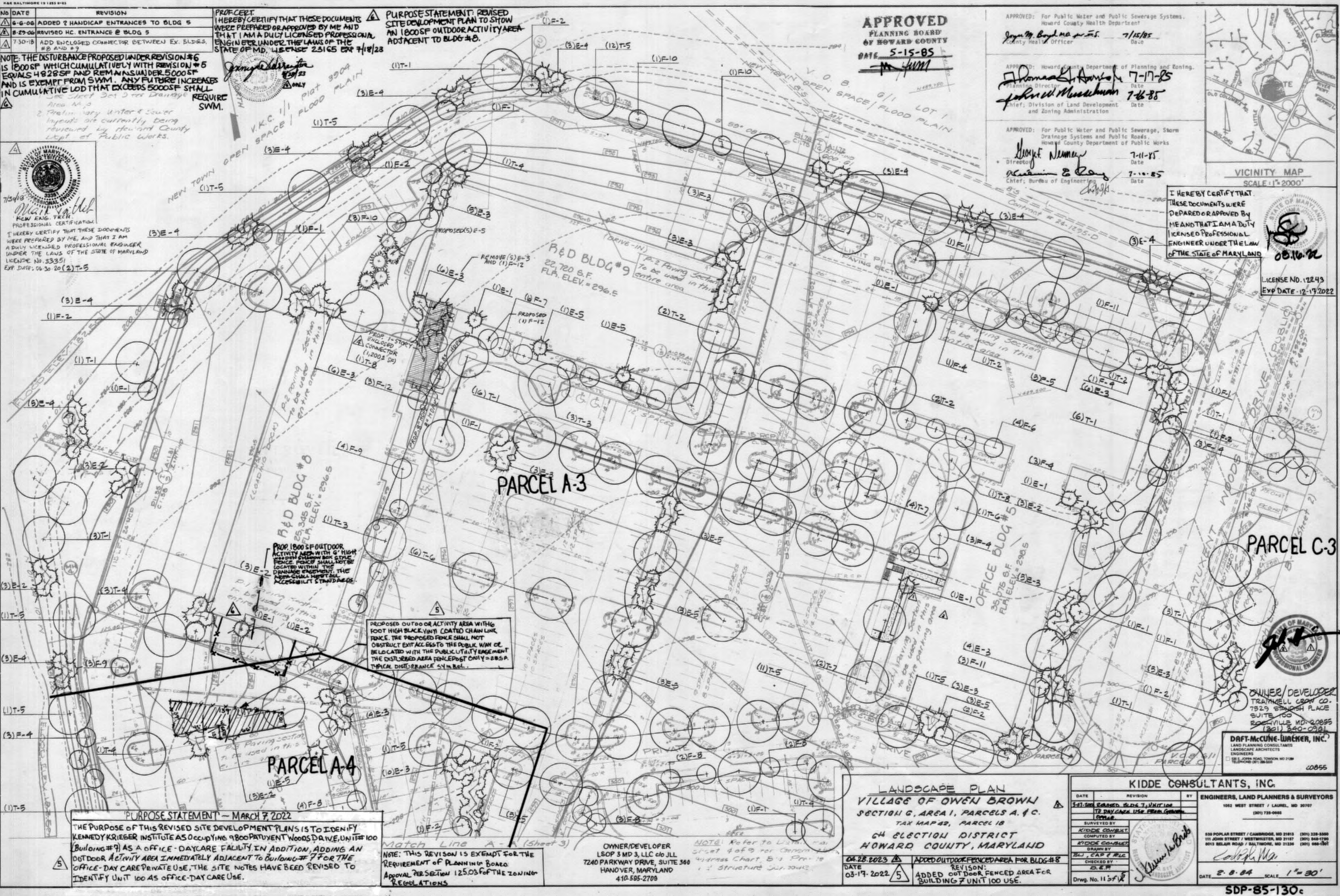
APPROVED: Howard County Department of Planning and Zoning  
 [Signature] 7-17-85  
 [Signature] 7-16-85  
 Date

APPROVED: For Public Water and Public Sewerage, Storm Drainage Systems and Public Roads, Howard County Department of Public Works  
 [Signature] 7-11-85  
 [Signature] 7-10-85  
 Date



7/30/18 Mark A. Miller  
 RCW REG. NO. 12345  
 PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 33351  
 EXP. DATE: 06/30/2022

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND  
 [Signature] 08.16.22  
 LICENSE NO. 12243  
 EXP. DATE: 12-17-2022



PURPOSE STATEMENT - MARCH 7, 2022  
 THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO IDENTIFY KENNEDY KRIEGER INSTITUTE AS OCCUPYING 9800 PATUYENT WOODS DRIVE, UNIT #100 (BUILDING #9) AS AN OFFICE-DAYCARE FACILITY. IN ADDITION, ADDING AN OUTDOOR ACTIVITY AREA IMMEDIATELY ADJACENT TO BUILDING #7 FOR THE OFFICE-DAYCARE PRIVATE USE. THE SITE NOTES HAVE BEEN REVISED TO IDENTIFY UNIT 100 AS OFFICE-DAYCARE USE.

NOTE: THIS REVISION IS EXEMPT FOR THE REQUIREMENT OF PLANNING BOARD APPROVAL PER SECTION 125.03 OF THE ZONING REGULATIONS.

OWNER/DEVELOPER  
 LSOP 3 MD 3, LLC c/o JLL  
 7240 PARKWAY DRIVE, SUITE 360  
 HANOVER, MARYLAND  
 410.595.2708

LANDSCAPE PLAN  
 VILLAGE OF OWEN BROWN  
 SECTION G, AREA 1, PARCELS A, & C.  
 TAX MAP #2, PARCEL 18  
 64 ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND  
 DATE 03-17-2022  
 REVISION: 5  
 ADDED OUTDOOR FENCED AREA FOR BLDG #8  
 ADDED OUTDOOR FENCED AREA FOR BUILDING 7 UNIT 100 USE.

DATE	REVISION	BY
03-17-2022	5	[Signature]

KIDDE CONSULTANTS, INC.  
 ENGINEERS, LAND PLANNERS & SURVEYORS  
 1022 WEST STREET / LAUREL, MD 20787  
 (301) 730-0665

538 POPULAR STREET / CAMBRIDGE, MD 21613 (301) 338-8380  
 111 JOHN STREET / WESTMINSTER, MD 21157 (301) 946-1761  
 8013 BELLEVUE ROAD / BELTSVILLE, MD 21152 (301) 946-1761

DATE 2-8-84 SCALE 1" = 30'  
 SDP-85-130c

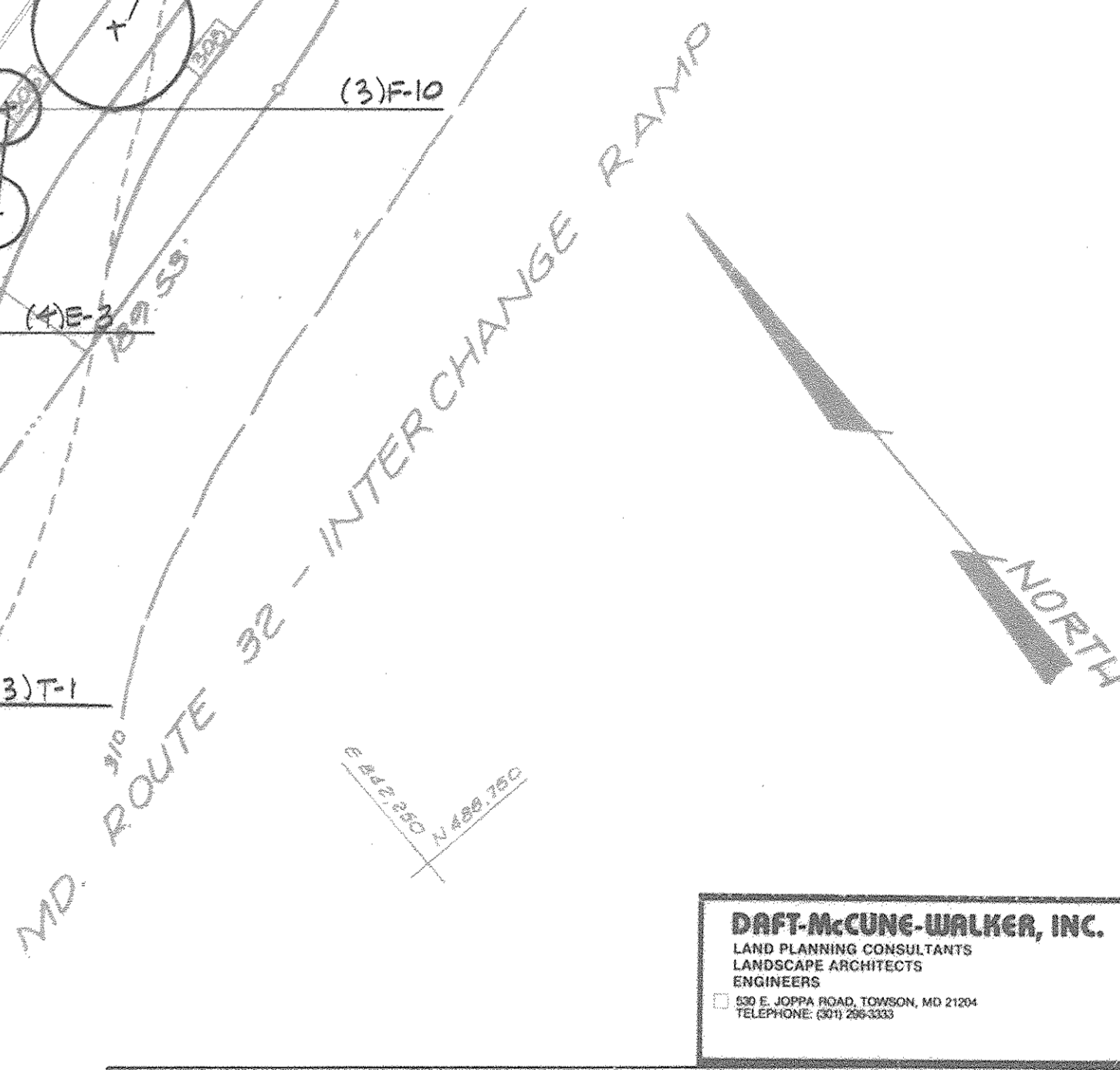
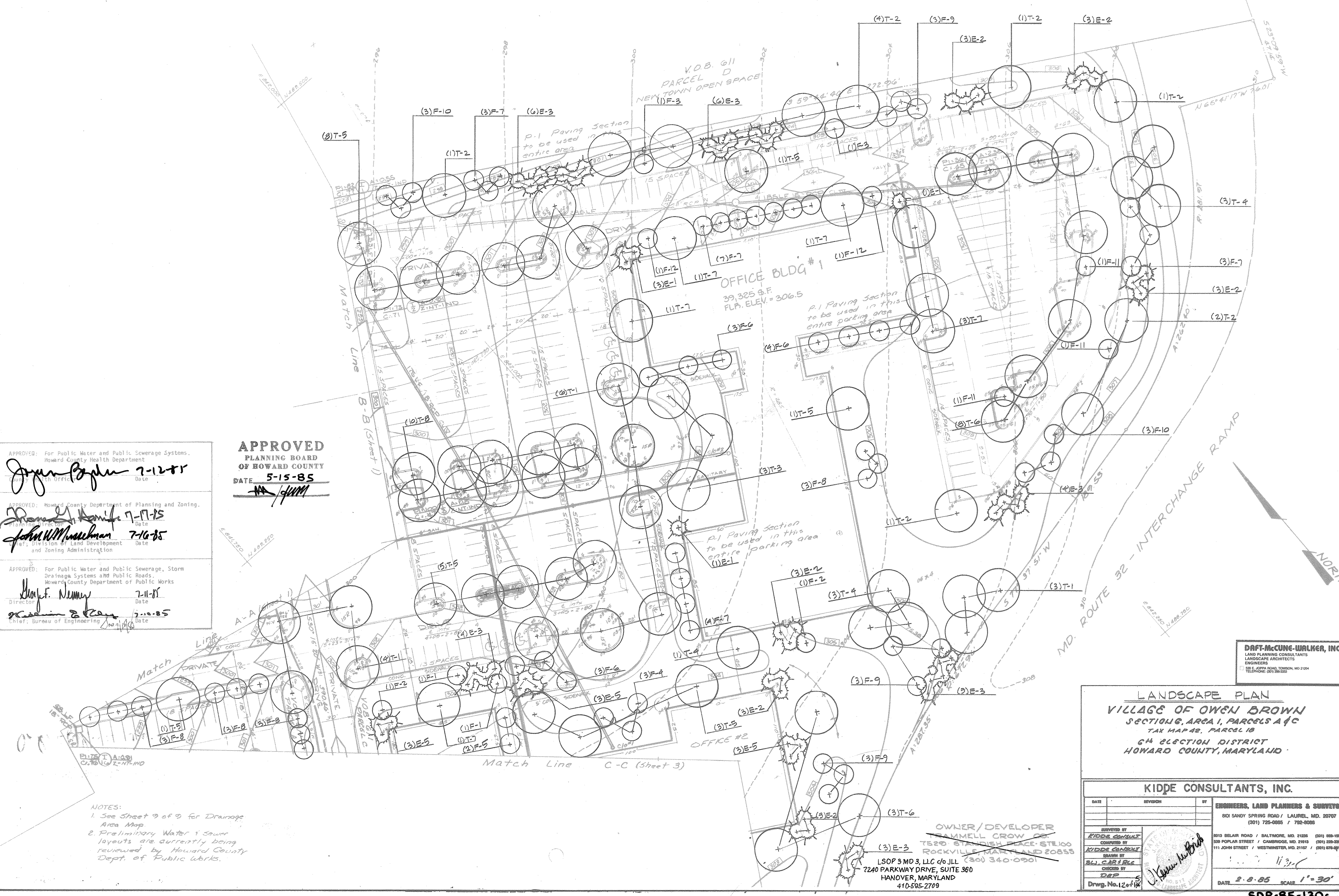
APPROVED: For Public Water and Public Sewerage Systems,  
Howard County Health Department  
*Jayne Byler* 7-12-85  
County Health Officer Date

APPROVED: Howard County Department of Planning and Zoning,  
*Shirley Annife* 7-17-85  
Planning Director Date  
*John W. Muschman* 7-16-85  
Chief, Division of Land Development and Zoning Administration Date

APPROVED: For Public Water and Public Sewerage, Storm  
Drainage Systems and Public Roads,  
Howard County Department of Public Works  
*Walter F. Nummy* 7-11-85  
Director Date  
*Richard E. Ryan* 7-10-85  
Chief, Bureau of Engineering Date

**APPROVED**  
**PLANNING BOARD**  
**OF HOWARD COUNTY**  
DATE 5-15-85  
*MM/gmm*

NOTES:  
1. See Sheet 9 of 9 for Drainage Area Map.  
2. Preliminary Water & Sewer layouts are currently being reviewed by Howard County Dept. of Public Works.



**DAFT-McCUNE-WALKER, INC.**  
LAND PLANNING CONSULTANTS  
LANDSCAPE ARCHITECTS  
ENGINEERS  
552 E. JOPPA ROAD, TOWSON, MD 21284  
TELEPHONE: (410) 281-2333

**LANDSCAPE PLAN**  
**VILLAGE OF OWEN BROWN**  
SECTION 6, AREA 1, PARCELS A & C  
TAX MAP 48, PARCEL 18  
6th ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

DATE	REVISION	BY

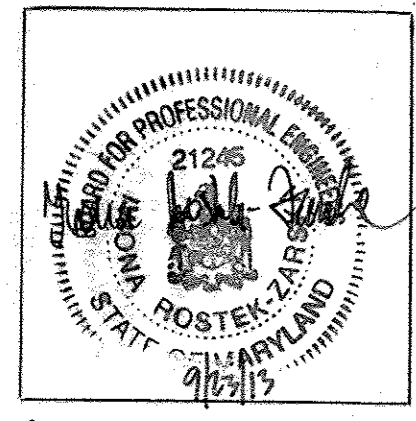
**KIDDE CONSULTANTS, INC.**  
ENGINEERS, LAND PLANNERS & SURVEYORS  
801 SANDY SPRING ROAD / LAUREL, MD. 20707  
(301) 725-0855 / 792-5085

1131

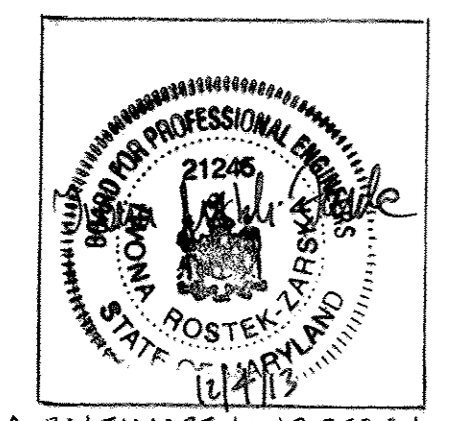
DATE 2-8-85 SCALE 1"=30'

**OWNER/DEVELOPER**  
**TAMMELL CROW CO.**  
7520 STARBUCK PLACE-STE 100  
ROCKVILLE, MARYLAND 20855  
**LSOP 3 MD 3, LLC d/b JLL**  
7240 PARKWAY DRIVE, SUITE 360  
HANOVER, MARYLAND  
410-595-2709

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2014.



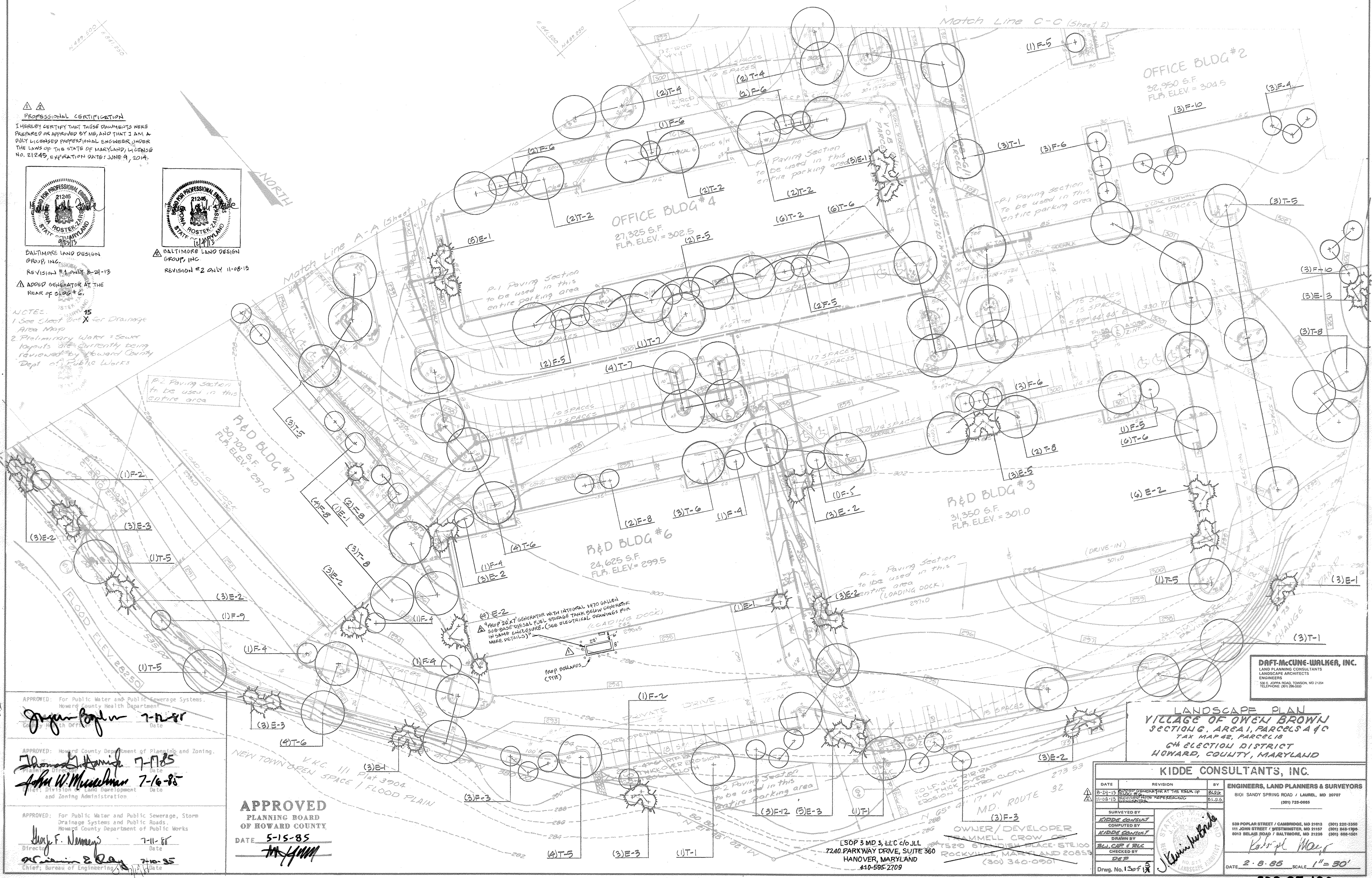
BALTIMORE LAND DESIGN GROUP, INC.  
REVISION #1 ONLY 8-24-13



BALTIMORE LAND DESIGN GROUP, INC.  
REVISION #2 ONLY 11-08-13

ADD'D GENERATOR AT THE REAR OF BLDG #6.

**NOTES:**  
1. See Sheet SDP-15 for Drainage Area Map  
2. Preliminary Water & Sewer layouts are currently being reviewed by Howard County Dept. of Public Works



APPROVED: For Public Water and Public Sewerage Systems.  
Howard County Health Department  
*Jayne Poplar* 7-1-88

APPROVED: Howard County Department of Planning and Zoning.  
*Thomas J. Harris* 7-1-85  
*John W. Muschman* 7-16-85

APPROVED: For Public Water and Public Sewerage, Storm Drainage Systems and Public Roads.  
Howard County Department of Public Works  
*Wayne F. Nemmers* 7-11-86  
*William S. Ray* 7-10-85

**APPROVED**  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE 5-15-85  
*M. J. H. H.*

**LANDSCAPE PLAN**  
VILLAGE OF OWEN BROWN  
SECTION G, AREA 1, PARCELS A & C  
TAX MAP 42, PARCEL 18  
6th ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

**KIDDE CONSULTANTS, INC.**  
ENGINEERS, LAND PLANNERS & SURVEYORS  
8101 SANDY SPRING ROAD / LAUREL, MD 20707  
(301) 725-0985

DATE	REVISION	BY
8-24-13	ADD'D GENERATOR AT THE REAR OF BLDG #6	BLP
11-08-13	REVISION #2 REFERENCING	BLP, D.G.

SURVEYED BY: KIDDE CONSULTANT  
COMPUTED BY: KIDDE CONSULTANT  
DRAWN BY: BLP  
CHECKED BY: DEB  
Drwg. No. 13 of 18

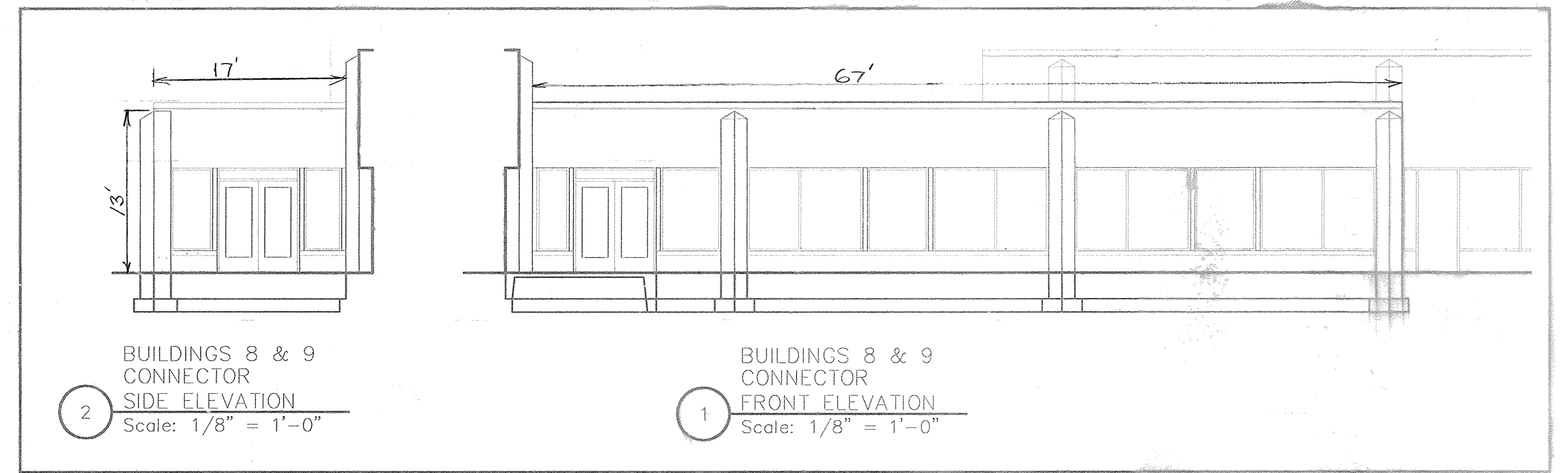
OWNER/DEVELOPER  
RAMMELL CROW CO.  
1520 STARBUCK PLACE, STE 100  
ROCKVILLE, MARYLAND 20855  
(301) 340-0901

339 POPLAR STREET / CAMBRIDGE, MD 21613 (301) 231-5350  
111 JOHN STREET / WESTMINSTER, MD 21157 (301) 848-1990  
8013 BELLAIR ROAD / BALTIMORE, MD 21236 (301) 886-1501

DATE: 2-8-85 SCALE: 1" = 30'

# PLANT LIST

Canopy Trees					Flowering Trees						
KEY	QUANTITY	BOTANICAL NAME/ COMMON NAME	SIZE	ROOT	REMARKS	KEY	QUANTITY	BOTANICAL NAME/ COMMON NAME	SIZE	ROOT	REMARKS
T-1	53	ACER SACCHARUM 'GREEN MOUNTAIN' GREEN MOUNTAIN SUGAR MAPLE	2-1/2"-3"	B&B		F-1	10	CORNUS FLORIDA FLOWERING DOGWOOD	7'-8'	B&B	HEAVY
T-2	29	ACER RUBRUM 'RED SUNSET' RED SUNSET GLORY MAPLE	2-1/2"-3"	B&B		F-2	13	CORNUS FLORIDA 'RUBRA' PINK DOGWOOD	7'-8'	B&B	
T-3	7	CLEDITSIA TRIACANTHOS INERMIS SHADEMASTER	3"-3-1/2"	B&B	SPECIMEN	F-3	11	KOELREUTERIA PANICULATA GOLDENRAIN TREE	8'-10'	B&B	
T-4	17	FRAXINUS LANCEOLATA MARSHALL'S MARSHALL'S SEEDLESS ASH	2"-2-1/2"	B&B		F-4	25	MAGNOLIA SOULANGIANA 'ALEXANDRIA' SAUCER MAGNOLIA	8'-10'	B&B	HEAVY
T-5	70	QUERCUS PALUSTRIS PIN OAK	2-1/2"-3"	B&B		F-5	16	MALUS RADIANT RADIANT CRABAPPLE	6'-7'	B&B	
T-6	41	QUERCUS PHellos WILLOW OAK	2-1/2"-3"	B&B		F-6	25	MALUS SNOWDRIFT SNOWDRIFT CRABAPPLE	6'-7'	B&B	
T-7	18	TYLIA CORDATA 'GREENSPIRE' GREENSPIRE LINDEN	2"-2-1/2"	B&B		F-7	23	PRUNUS SERRULATA KWANZAN KWANZAN CHERRY	2"-2-1/2"	B&B	HEAVY
T-8	20	ZELKOVA SERRATA JAPANESE ZELKOVA	2"-2-1/2"	B&B		F-8	31	PYRUS CALLERYANA BRADFORD BRADFORD PEAR	2"-2-1/2"	B&B	
Evergreen Trees											
KEY	QUANTITY	BOTANICAL NAME/ COMMON NAME	SIZE	ROOT	REMARKS	KEY	QUANTITY	BOTANICAL NAME/ COMMON NAME	SIZE	ROOT	REMARKS
E-1	29	ILEX OPACA AMERICAN HOLLY	6'-7'	B&B	1 MALE/ 10 FEMALE	F-9	17	SOPHORA JAPONICA 'REGENT' REGENT SCHOLARTREE	2"-2-1/2"	B&B	
E-2	67	PICEA ABIES NORWAY SPRUCE	6'-7'	B&B		F-10	17	PRUNUS YEDOENSIS YOSHINO CHERRY	2"-2-1/2"	B&B	
E-3	102	PINUS STROBUS EASTERN WHITE PINE	6'-7'	B&B		F-11	8	CORNUS KOUSA KOUSA DOGWOOD	6'-7'	B&B	
E-4	32	PINUS THUNBERGII JAPANESE BLACK PINE	5'-6'	B&B		F-12	8	CERCIS CANADENSIS REDBUD	8'-10'	B&B	
E-5	32	TSUGA CANADENSIS CANADIAN HEMLOCK	6'-7'	B&B							



FOR REVISION ONLY

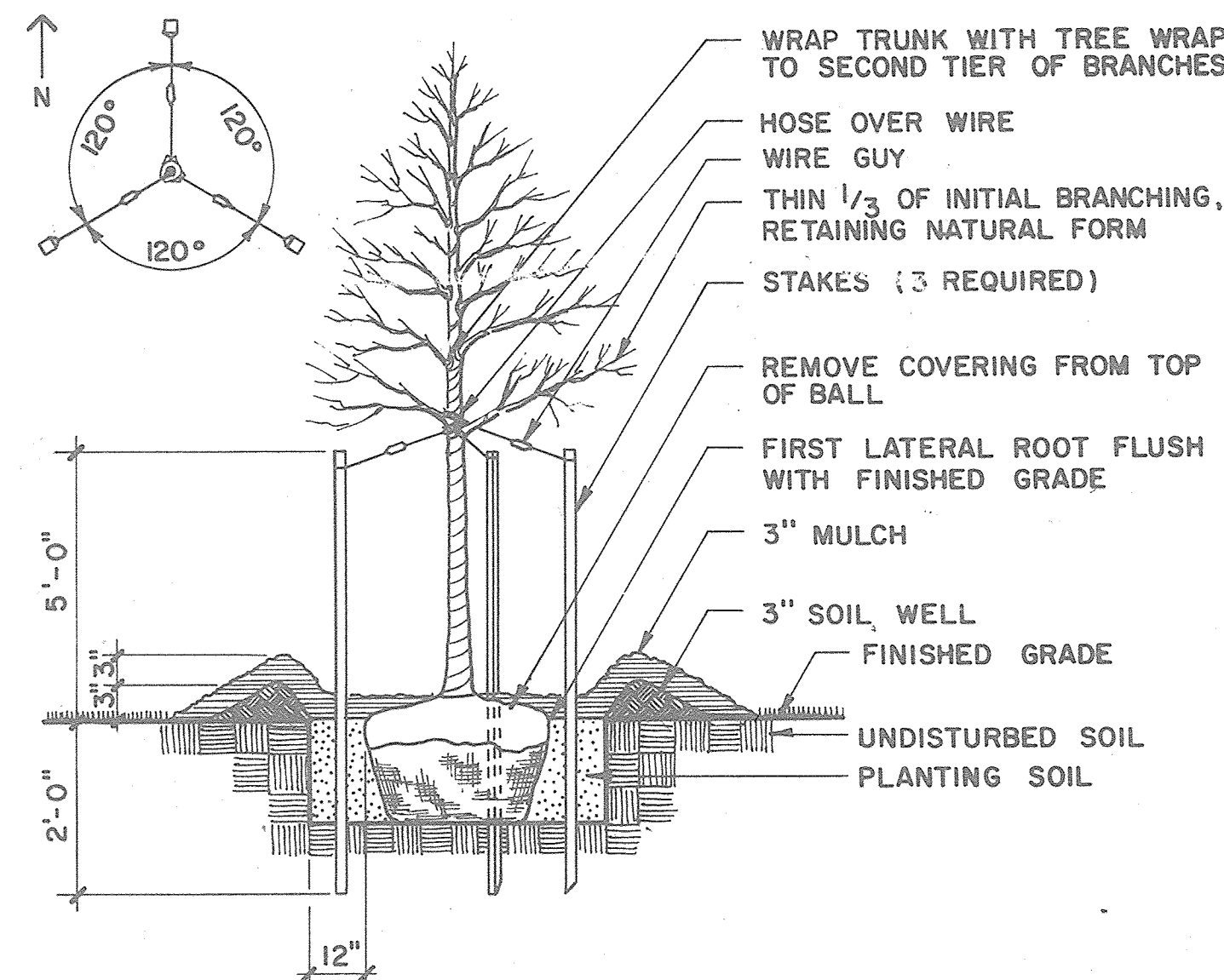
07-30-2018  
ADD ENCLOSED CONNECTOR  
BETWEEN EX. BUILDINGS #8 AND #9  
BY KCW ENGINEERING  
TECHNOLOGIES, INC.

Professional Certification:  
I hereby certify that these  
documents were prepared or  
approved by me, and that I  
am a duly licensed professional  
engineer under the laws of the  
State of Maryland.  
License No. 33351  
Expiration Date 06-30-2020.

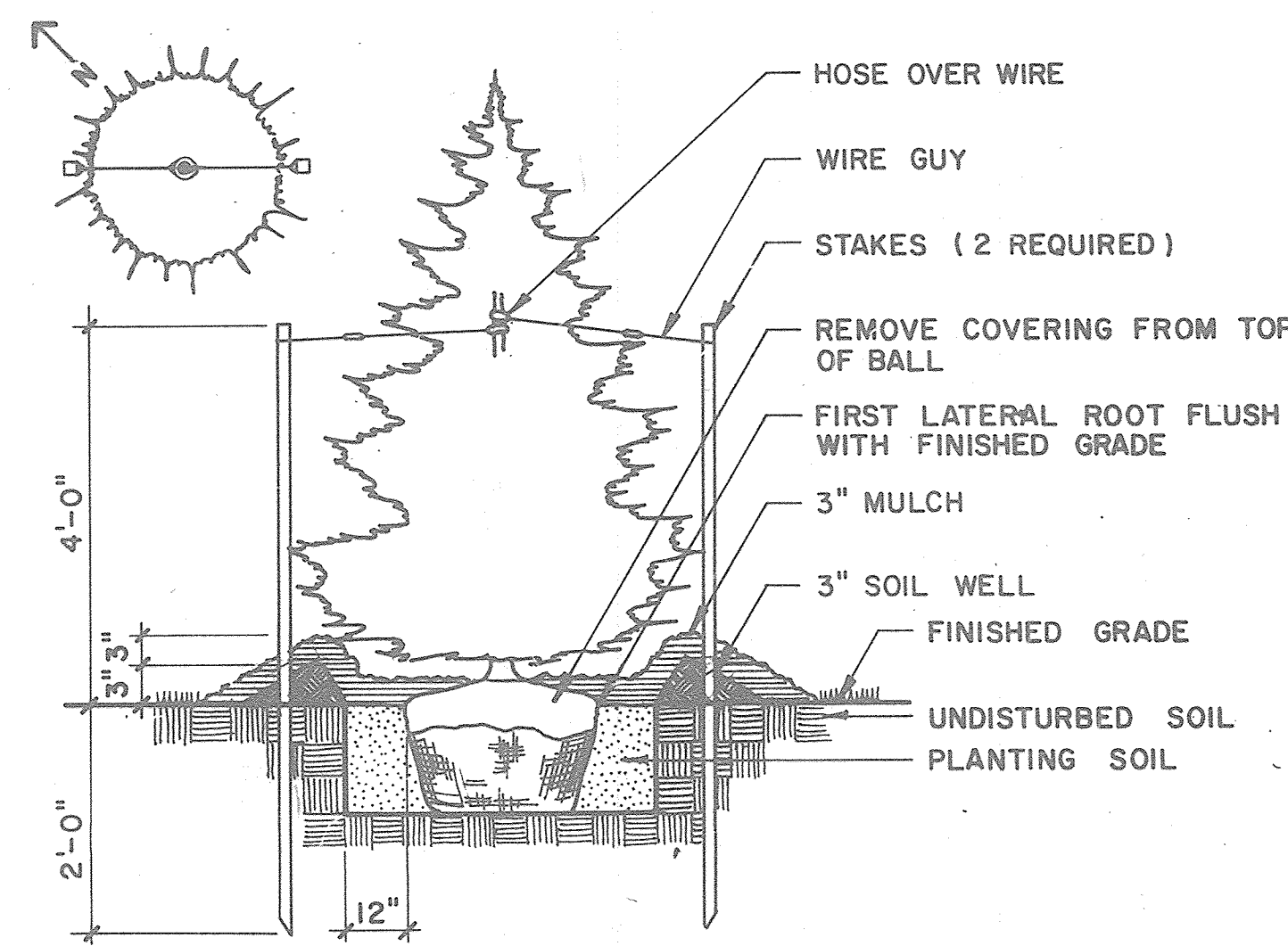
Mark Miller

4

**APPROVED**  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE 5-15-85  
*[Signature]*



**DECIDUOUS TREE DETAIL**  
N.T.S.



**EVERGREEN TREE DETAIL**  
N.T.S.

OWNER/DEVELOPER  
~~TRAMMELL CROW CO~~  
1520 STANDISH PLACE, STE. 100  
ROCKVILLE, MARYLAND 20855  
(301) 340-0901

LSPD 3 MD 3, LLC c/o JLL  
7240 PARKWAY DRIVE, SUITE 360  
HANOVER, MARYLAND  
410-595-2709

**DAFT-McCUNE-WALKER, INC.**  
LAND PLANNING CONSULTANTS  
LANDSCAPE ARCHITECTS  
ENGINEERS  
100 E. JOPPA ROAD, TOWSON, MD 21286  
TELEPHONE: 410-288-2222

**LANDSCAPE PLAN**  
VILLAGE OF OWEN BROWN  
SECTION 8, AREA 1, PARCELS A & C  
TAX MAP 48, PARCEL 18  
6th ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

**KIDPE CONSULTANTS, INC.**  
ENGINEERS, LAND PLANNERS & SURVEYORS  
801 SANDY SPRING ROAD / LAUREL, MD. 20707  
(301) 785-0885 / 782-8085

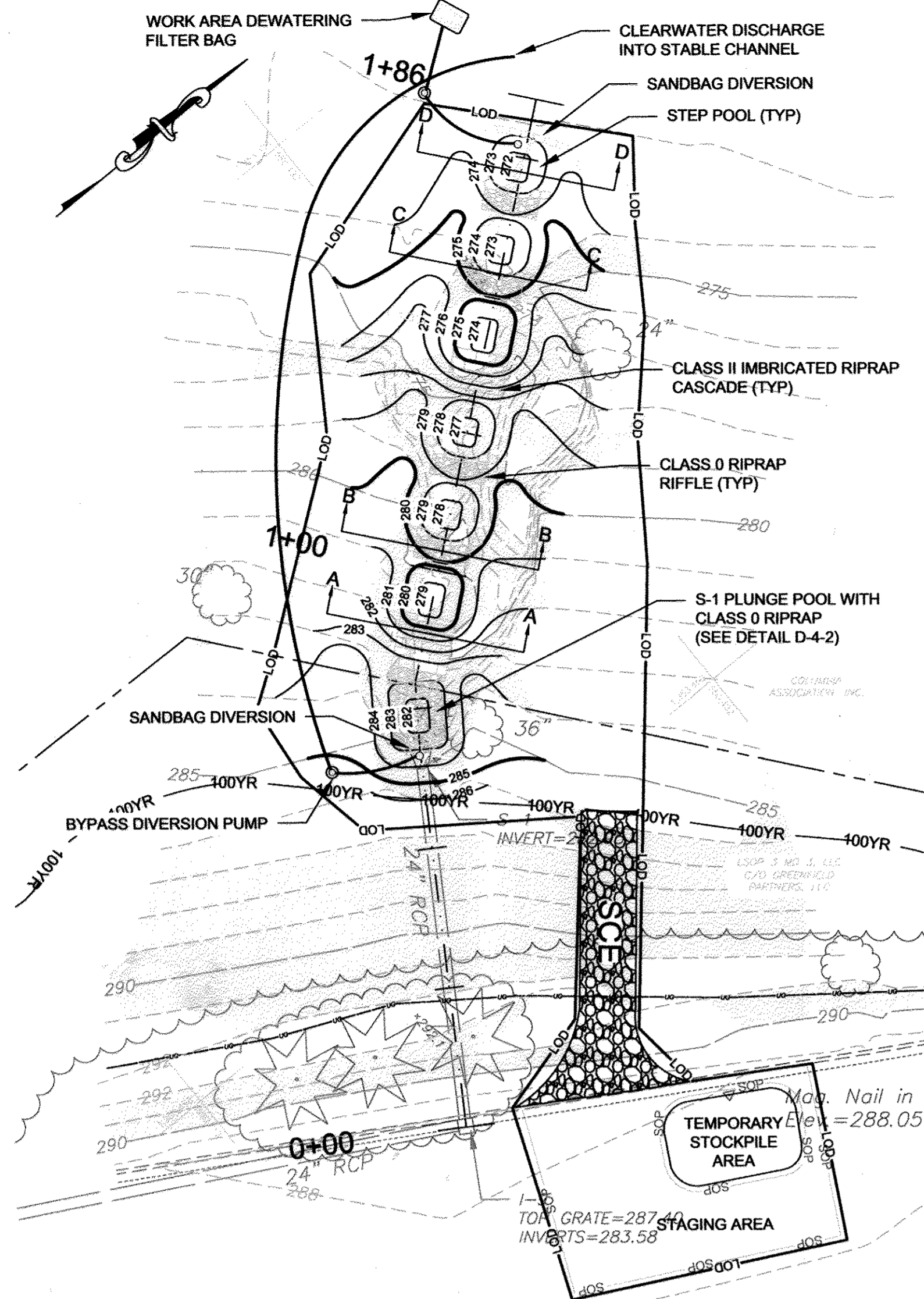
1015 BELAIR ROAD / BALTIMORE, MD. 21206 (410) 685-1851  
888 POPLAR STREET / CAMBRIDGE, MD. 21613 (410) 282-8888  
111 JOHN STREET / WESTMINSTER, MD. 21157 / (410) 670-8942

DATE 2-8-85 SCALE 1"=30'

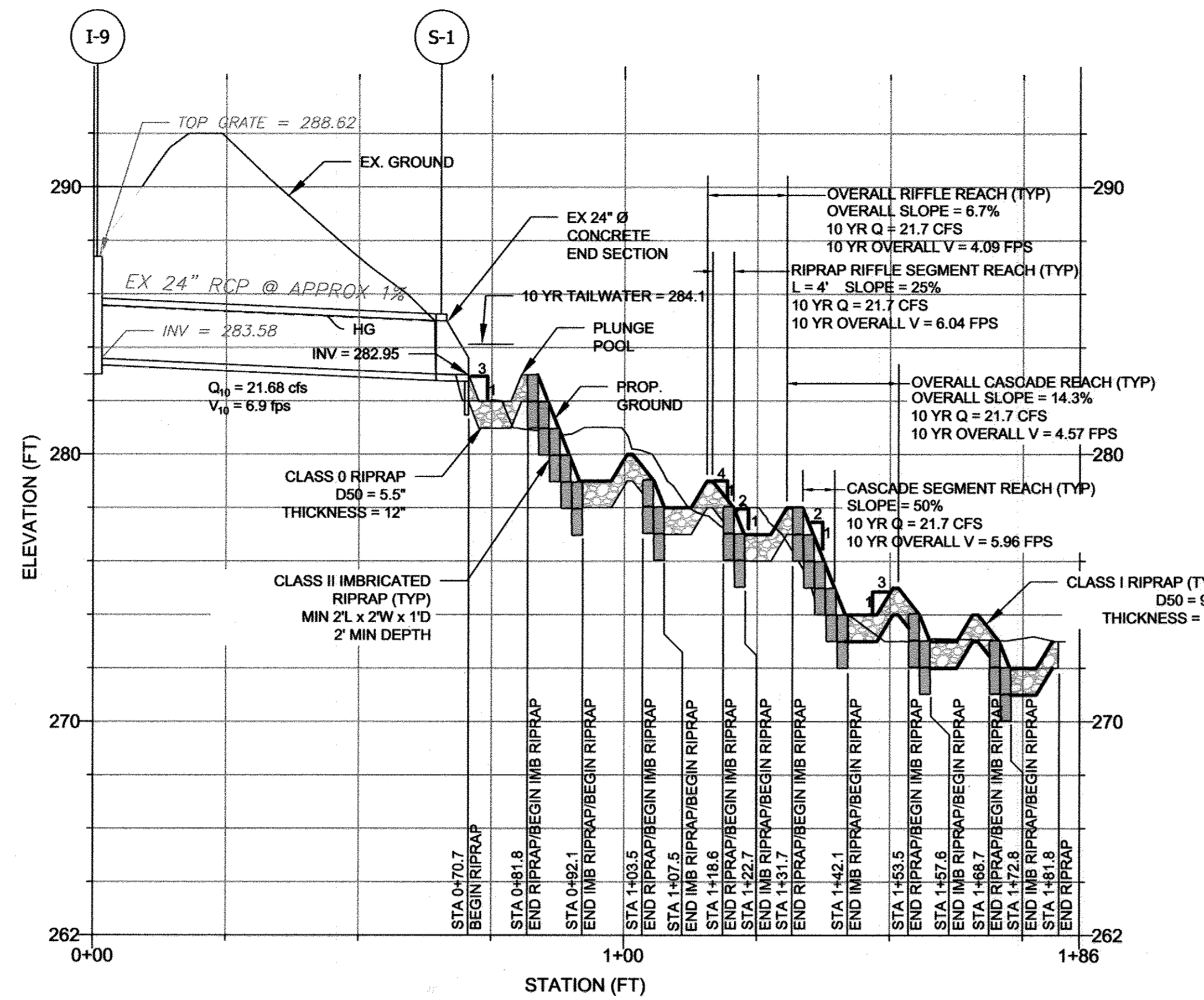
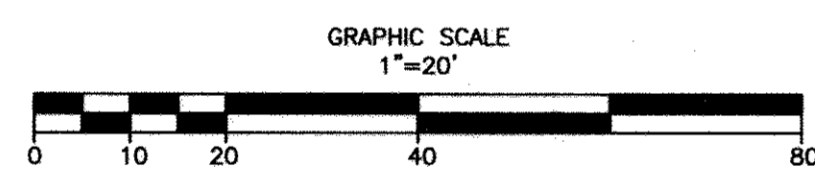
APPROVED: For Public Water and Public Sewerage Systems,  
Howard County Health Department  
*[Signature]* 7-12-81  
Date

APPROVED: Howard County Department of Planning and Zoning,  
*[Signature]* 7-17-85  
Date  
*[Signature]* 7-16-85  
Date

APPROVED: For Public Water and Public Sewerage, Storm  
Drainage Systems and Public Roads,  
Howard County Department of Public Works  
*[Signature]* 7-11-85  
Date  
*[Signature]* 7-10-85  
Date

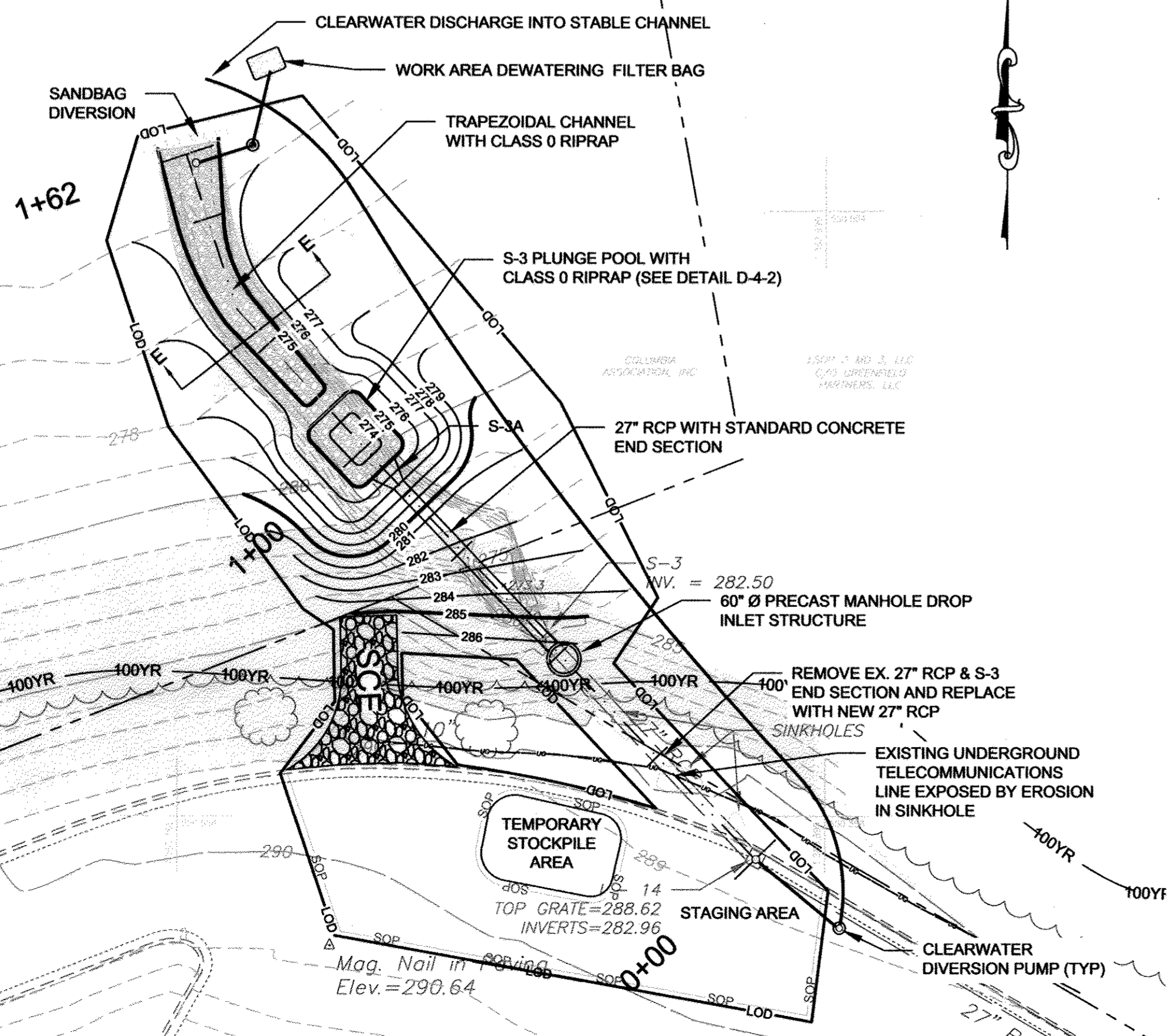


OUTFALL S-1 PLAN VIEW

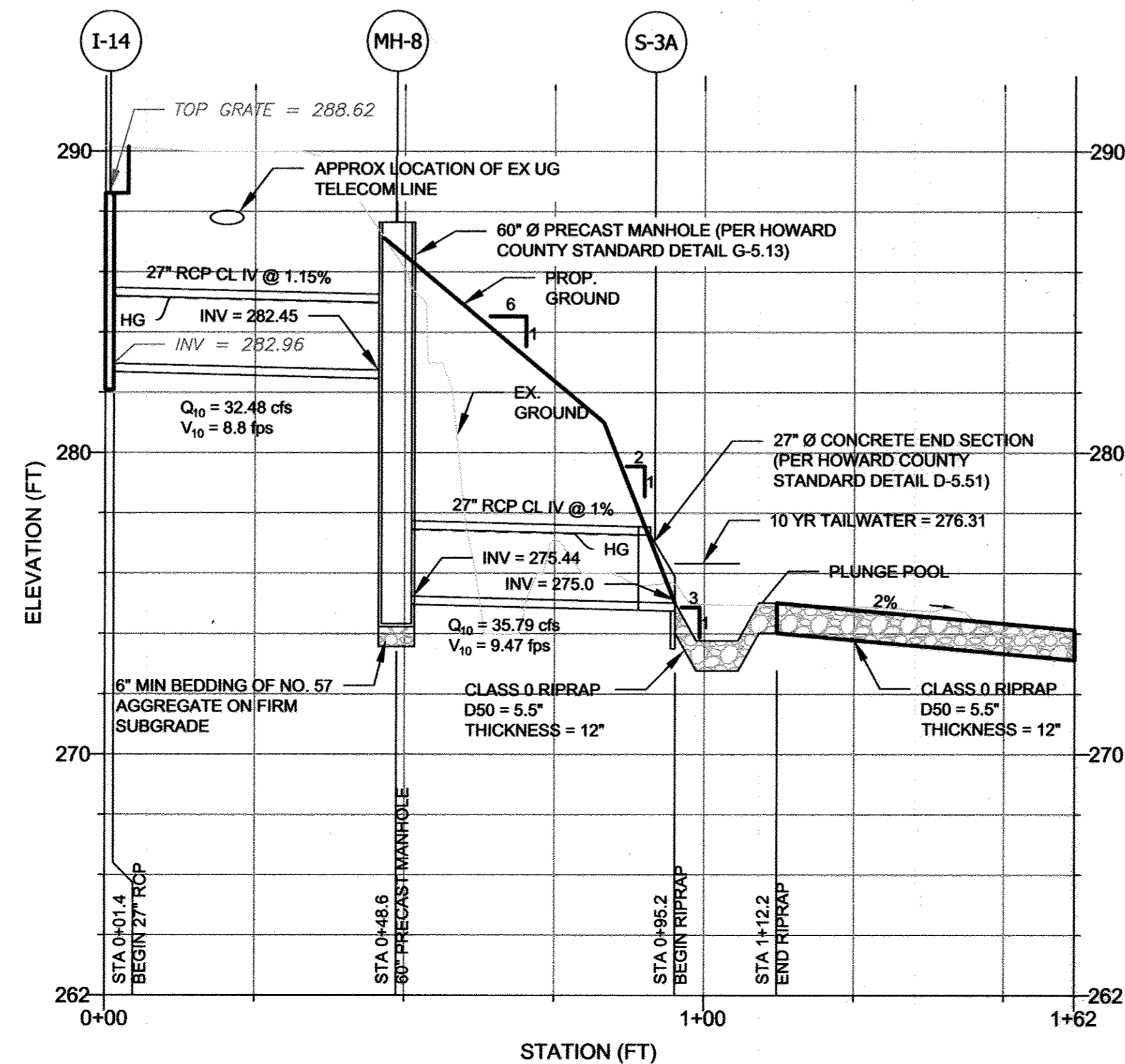


PROFILE VIEW OF OUTFALL S-1

SCALE: H: 1' = 20' V: 1' = 4'

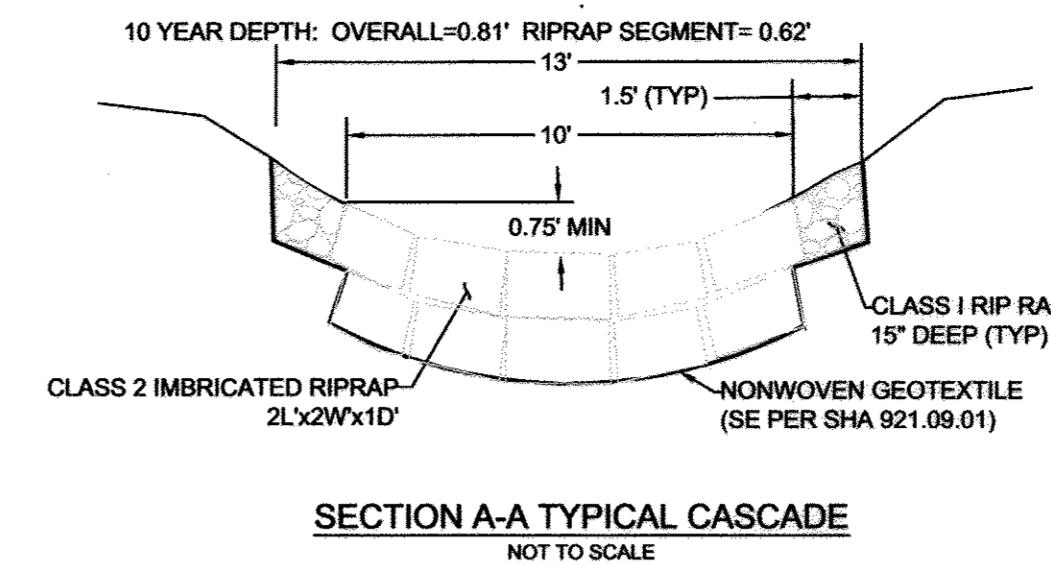


OUTFALL S-3 PLAN VIEW



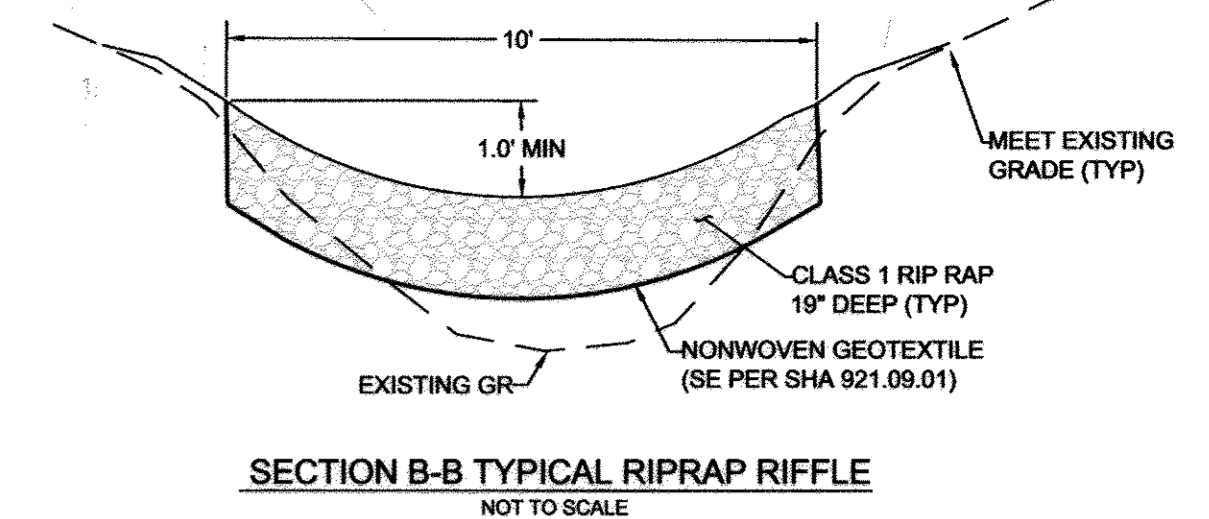
PROFILE VIEW OF OUTFALL S-3

SCALE: H: 1' = 20' V: 1' = 4'



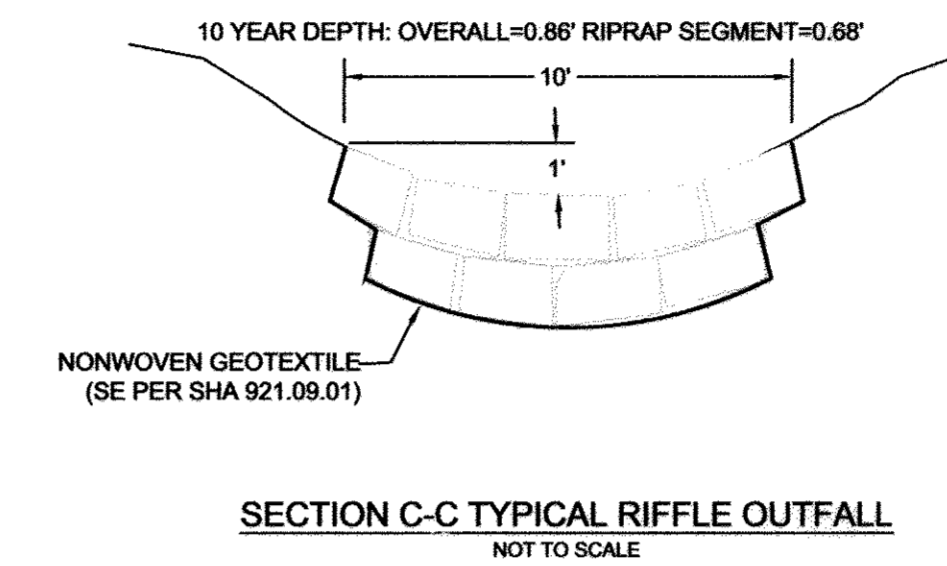
SECTION A-A TYPICAL CASCADE

NOT TO SCALE



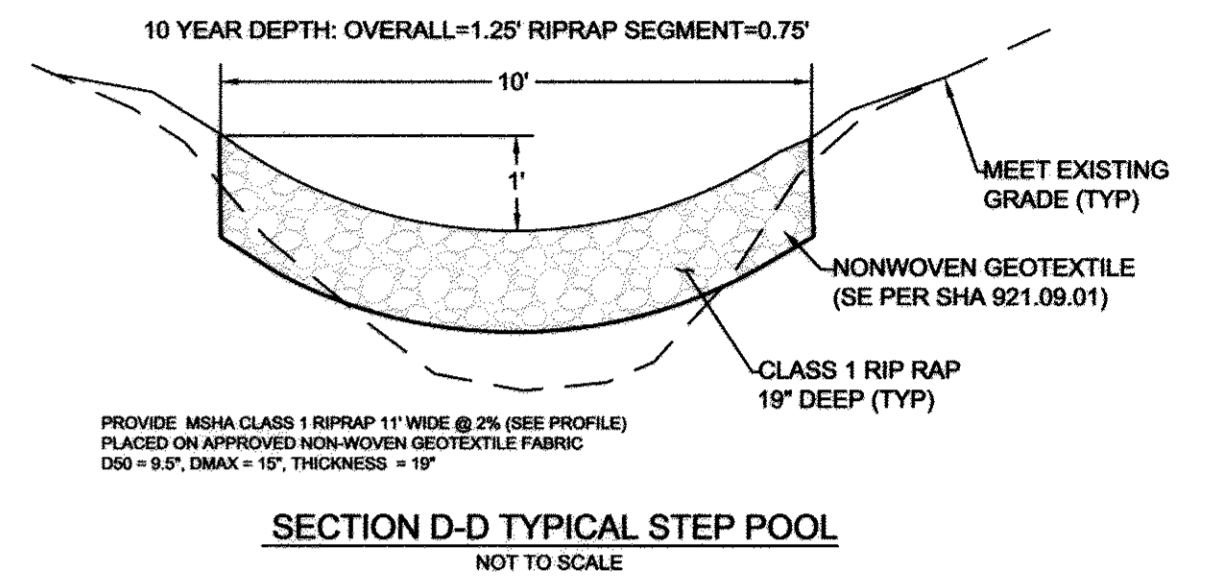
SECTION B-B TYPICAL RIPRAP RIFFLE

NOT TO SCALE



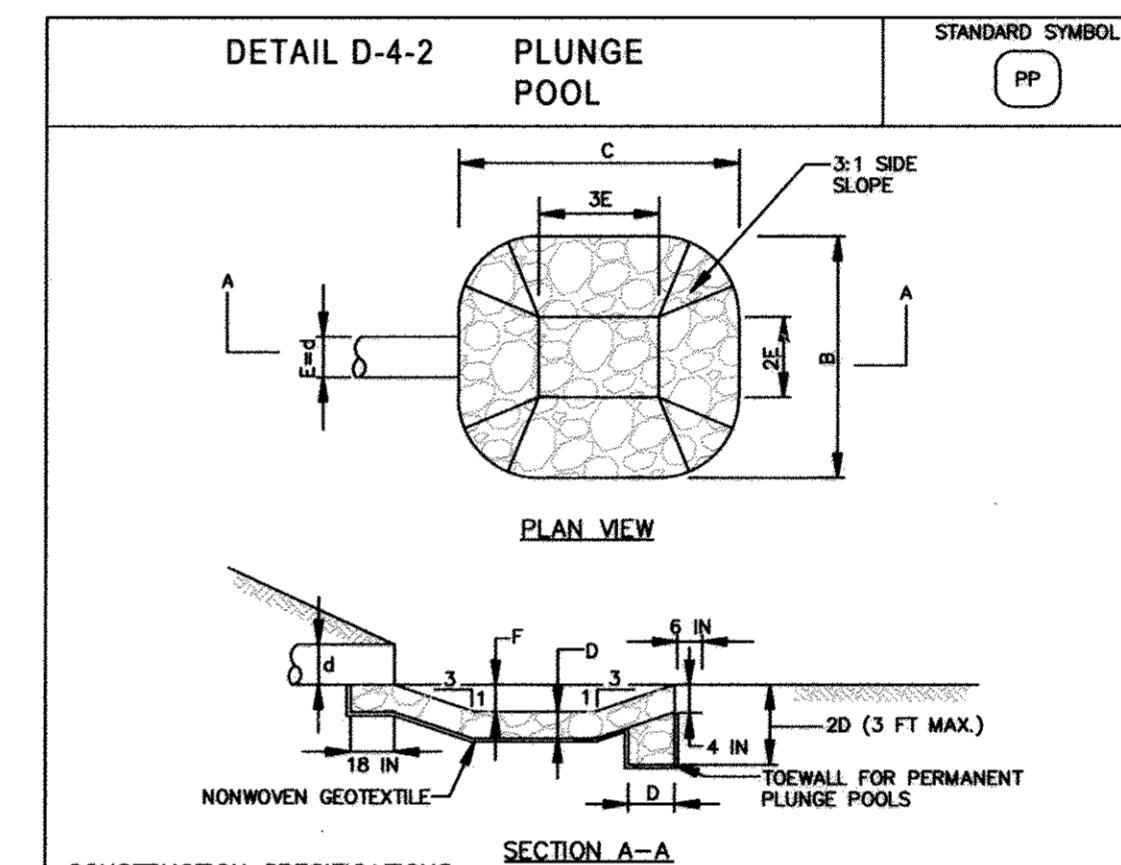
SECTION C-C TYPICAL RIFFLE OUTFALL

NOT TO SCALE



SECTION D-D TYPICAL STEP POOL

NOT TO SCALE



DETAIL D-4-2 PLUNGE POOL

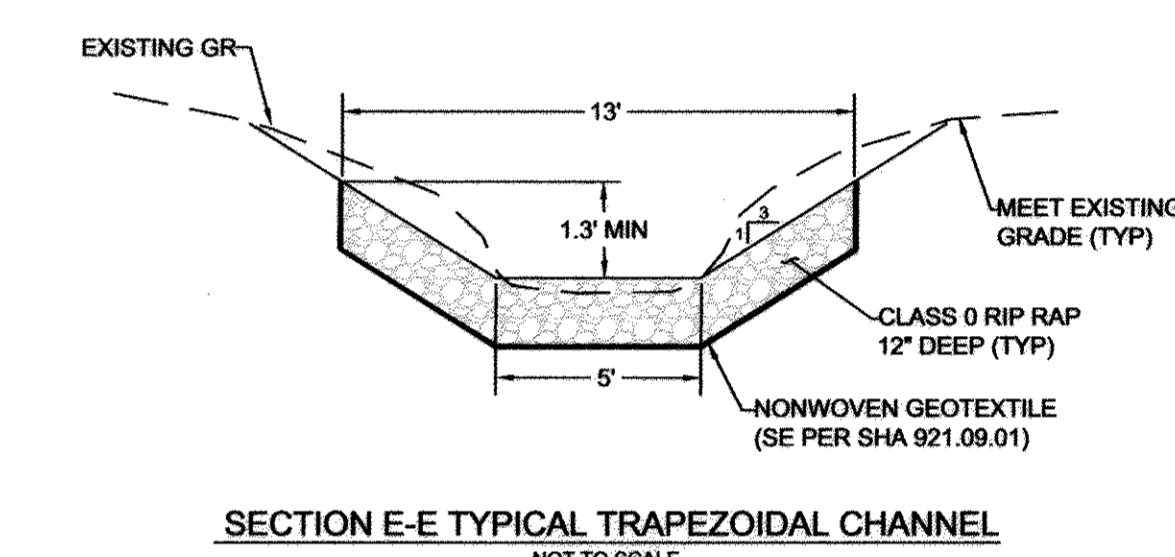
- CONSTRUCTION SPECIFICATIONS:
- USE SPECIFIED CLASS OF RIPRAP.
  - USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, AND PROTECT FROM PUNCHING, CUTTING, OR TEARING. REPAIR ANY DAMAGE OTHER THAN AN OCCASIONAL SMALL HOLE BY PLACING ANOTHER PIECE OF GEOTEXTILE OVER THE DAMAGED PART OR BY COMPLETELY REPLACING THE GEOTEXTILE. PROVIDE A MINIMUM OF ONE FOOT OVERLAP FOR ALL REPAIRS AND FOR JOINING TWO PIECES OF GEOTEXTILE.
  - PREPARE THE SUBGRADE FOR THE PLUNGE POOL TO THE REQUIRED LINES AND GRADES. COMPACT ANY FILL REQUIRED IN THE SUBGRADE TO A DENSITY OF APPROXIMATELY THAT OF THE SURROUNDING UNDISTURBED MATERIAL.
  - EMBED THE GEOTEXTILE A MINIMUM OF 4 INCHES AND EXTEND THE GEOTEXTILE A MINIMUM OF 6 INCHES BEYOND THE EDGE OF THE SCOUR HOLE.
  - STONE FOR THE PLUNGE POOL MAY BE PLACED BY EQUIPMENT. CONSTRUCT TO THE FULL CROWN THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO AVOID DISPLACEMENT OF UNDERLYING MATERIALS. DELIVER AND PLACE THE STONE FOR THE PLUNGE POOL IN A MANNER THAT WILL ENSURE THAT IT IS REASONABLY HOMOGENEOUS WITH THE SMALLER STONES AND SPALLS FILLING THE VOIDS BETWEEN THE LARGER STONES. PLACE STONE FOR THE PLUNGE POOL IN A MANNER TO PREVENT DAMAGE TO THE GEOTEXTILE. HAND PLACE TO THE EXTENT NECESSARY.
  - AT THE PLUNGE POOL OUTLET, PLACE THE STONE SO THAT IT MEETS THE EXISTING GRADE.
  - MAINTAIN LINE, GRADE, AND CROSS SECTION. KEEP OUTLET FREE OF EROSION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. AFTER HIGH FLOWS INSPECT FOR SCOUR AND DISLOADED RIPRAP. MAKE NECESSARY REPAIRS IMMEDIATELY.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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E&S NOTES:  
REVIEW AND COMPLY WITH ALL NOTES PER STANDARD EROSION AND SEDIMENT CONTROL PLAN APPLICATION AND APPROVAL. ALL DETAIL REFERENCES PER MARYLAND E&S MANUAL 2011 AND OR MARYLAND WATERWAY CONSTRUCTION GUIDELINES.

- EX TREE / EX TREE REMOVED
- TREE PROTECTION FENCING
- EX. CONTOUR/CONTOUR MAJOR
- EX. STORM DRAIN
- EX. UNDERGROUND UTILITY
- EX. TREE LINE
- EX. GIS PROPERTY BOUNDARY
- PROPOSED CONTOUR
- PROPOSED RIPRAP
- LIMIT OF DISTURBANCE
- 100 YEAR FLOODPLAIN
- SILT FENCE ON PAVEMENT
- STEEP SLOPES (≥15%)



SECTION E-E TYPICAL TRAPEZOIDAL CHANNEL

NOT TO SCALE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Ch. P. ...* 12-27-17  
CHIEF, DEVELOPMENT ENGINEERING DIVISION / DATE

*Keat ...* 1-2-18  
CHIEF, DIVISION OF LAND DEVELOPMENT / DATE

*N. ...* 1-3-18  
DIRECTOR / DATE

PLUNGE POOL SIZING

DIM	S-1	S-3
B	10'	12'
C	12'	14'
D	1'	1'
E	2'	2.25'

OWNER/DEVELOPER  
LSOP 3 MD 3, LLC c/o JLL  
7240 PARKWAY DRIVE, SUITE 360  
HANOVER, MARYLAND  
410-595-2709

FOR CONSTRUCTION BY STORMWATER MAINTENANCE, LLC ONLY

11/17/17	3	REVS TO OUTFALLS S-1 & S-3
Date	No.	Revision Description
<b>SITE DEVELOPMENT PLAN</b>		
VILLAGE OF OWEN BROWN SECTION G, AREA 1, PARCELS A&C TAX MAP 42, PARCEL 18 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND		
<b>STORMWATER MAINTENANCE &amp; CONSULTING</b>		
www.swmaintenance.com   www.mdswm.com 10944 Beaver Dam Rd. Suite C p: 410.785.0875 Hunt Valley, MD 21030 f: 443.269.0216		
<b>GRADING &amp; DRAINAGE PLANS, PROFILES &amp; DETAILS</b>		
Designed By: ACG	Scale: VARIES	Project No.: 27005
Drawn By: ACG	Date: 11-01-2017	
Checked By: ELF	Approved:	SHEET: 15 OF 15

