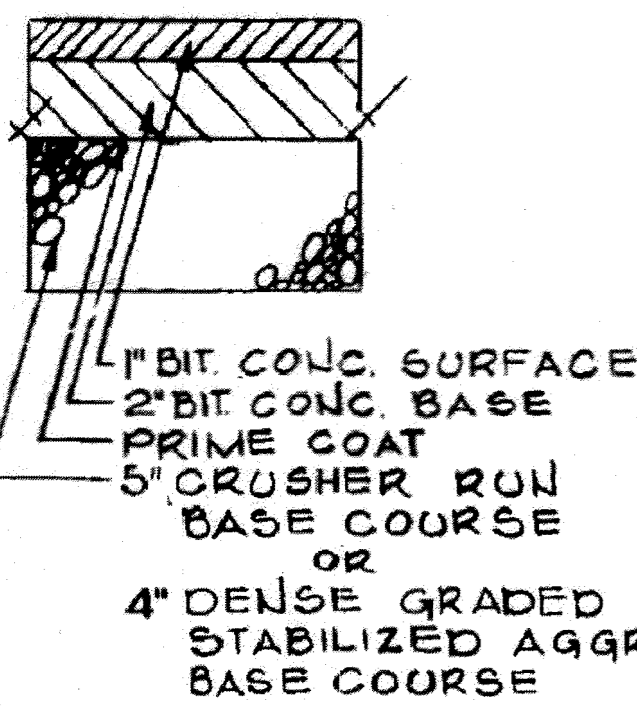
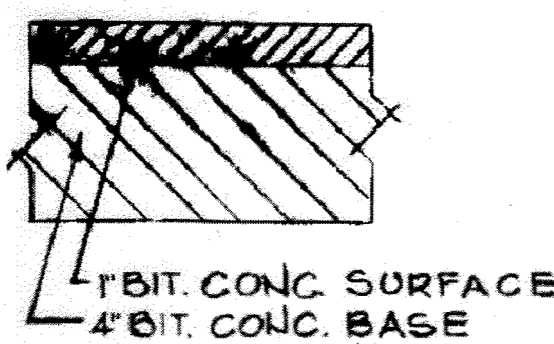


PAVING DETAIL



PAVING DETAIL - ALTERNATE



PROPOSED STORMWATER CONCEPT DESIGN APPROACH

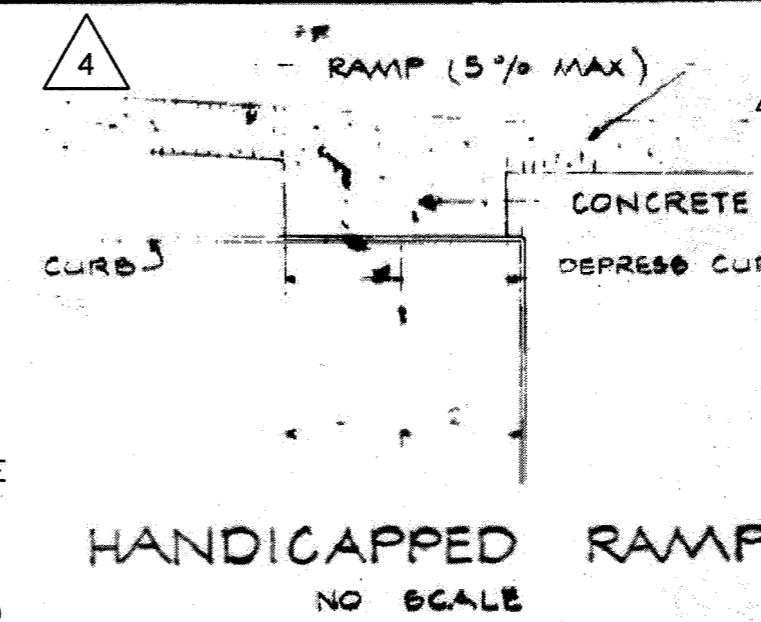
- REQUIRED ENVIRONMENTAL SITE DESIGN VOLUME (ESDV) = 380 CF
- ONE (1) STRUCTURED MICRO-BIO WILL BE PROVIDED TO CAPTURE ROOF DRAINAGE AS SHOWN ON PLAN. APPROXIMATELY 0.13 AC OF DRAINAGE WILL BE COLLECTED INTO THIS FACILITY PROVIDING 465 CF OF STORAGE.

FOREST CONSERVATION AND LANDSCAPING NOTES

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. FINANCIAL SURETY IN THE AMOUNT OF \$8,000 FOR 8 SHADE TREES, 15 EVERGREEN TREES, AND 74 SHRUBS HAS BEEN POSTED WITH THE DEVELOPER'S AGREEMENT.

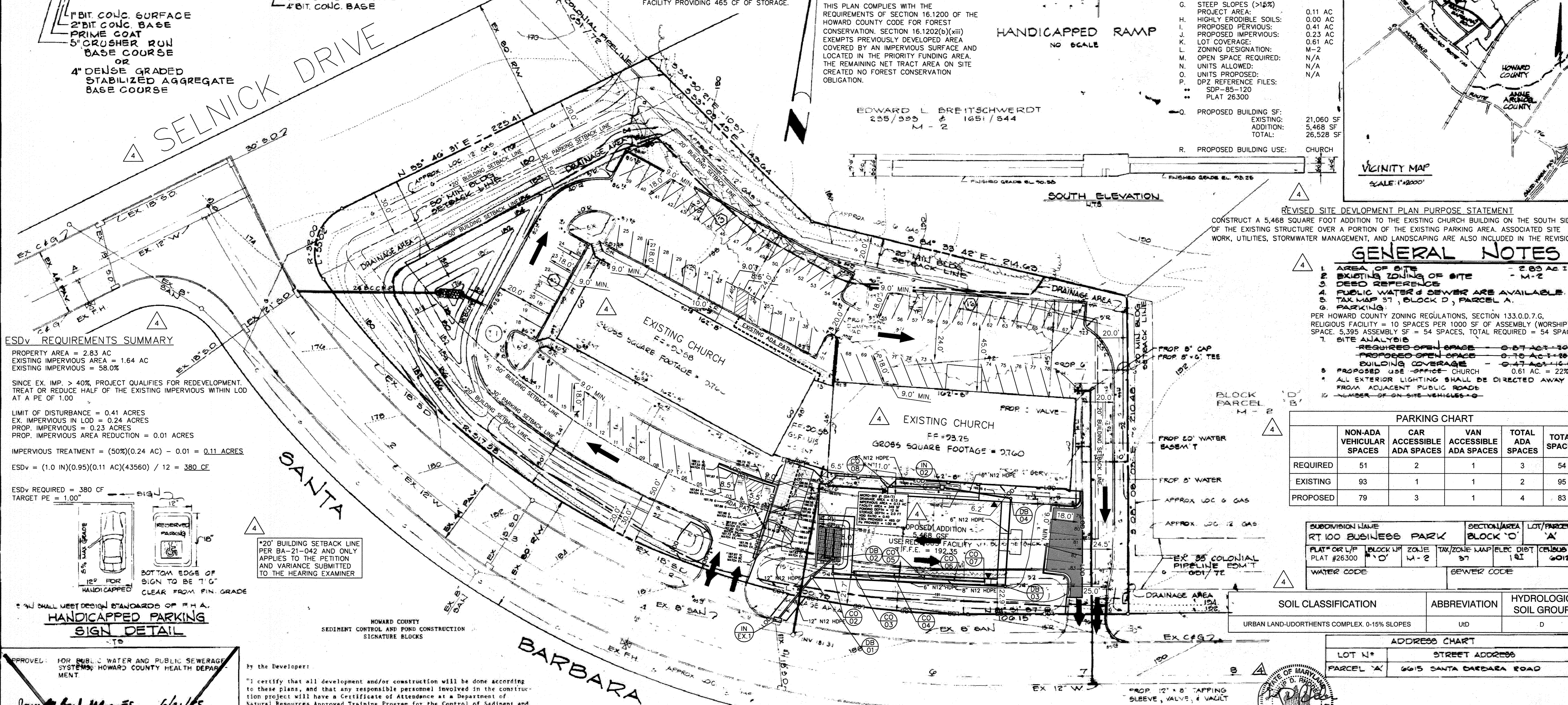
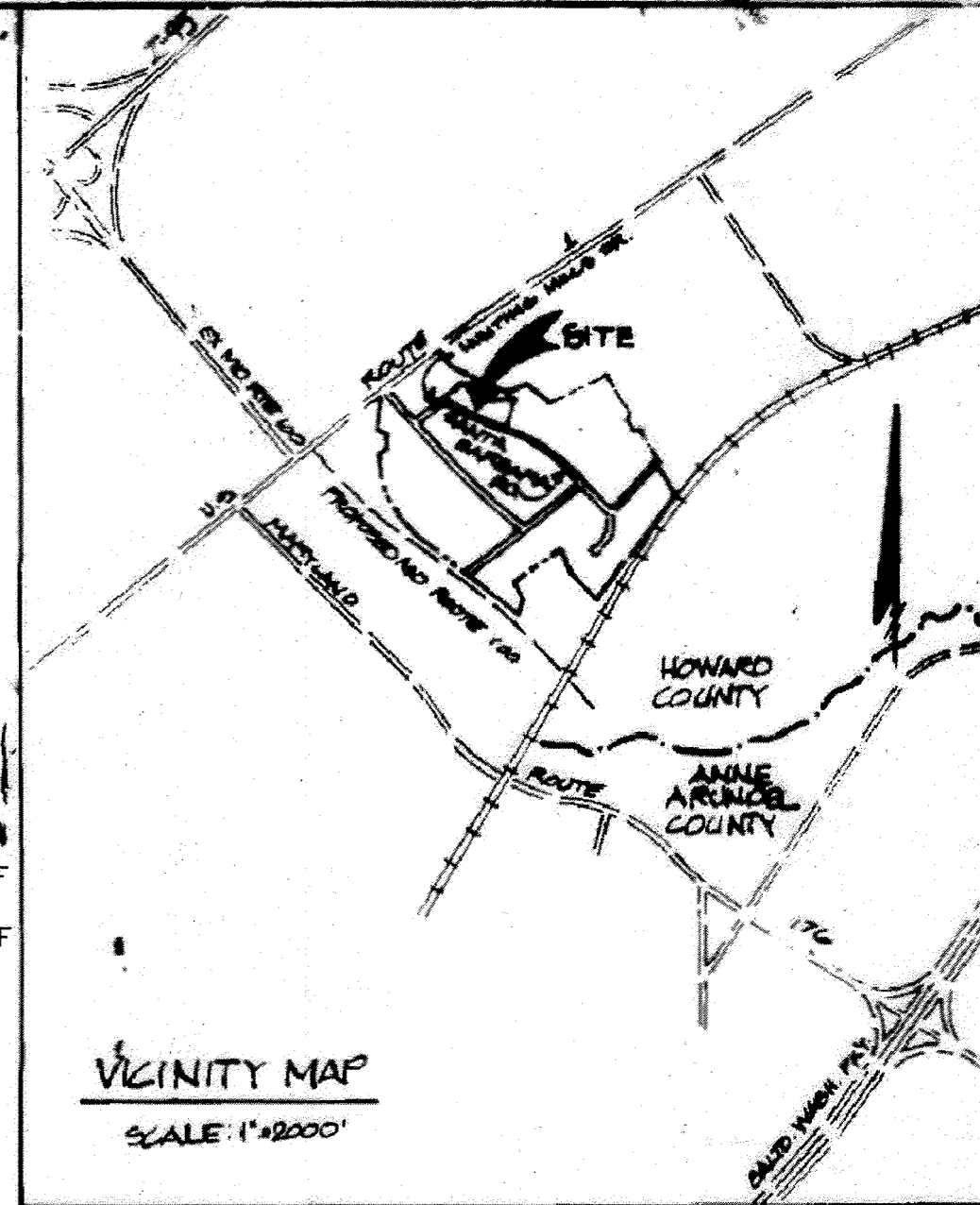
THIS PLAN COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION. SECTION 16.1202(b)(xiii) EXEMPTS PREVIOUSLY DEVELOPED AREA COVERED BY AN IMPERVIOUS SURFACE AND LOCATED IN THE PRIORITY FUNDING AREA. THE REMAINING NET TRACT AREA ON SITE CREATED NO FOREST CONSERVATION OBLIGATION.

EDWARD L. BREITSCHWERDT  
235/333 M-2 1651/544



SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA:	2.83 AC
B. PROJECT AREA (LOD):	0.41 AC
C. STREAM & BUFFERS:	0.00 AC
D. STREAM BUFFER:	0.00 AC
E. WETLAND:	0.00 AC
F. FLOODPLAIN:	0.00 AC
G. FOREST CONSERVATION: PROJECT AREA:	0.11 AC
H. STEEP SLOPES (>15%): PROJECT AREA:	0.41 AC
I. HIGHLY ERODIBLE SOILS:	0.41 AC
J. PROPOSED PERVIOUS:	0.23 AC
K. PROPOSED IMPERVIOUS:	0.23 AC
L. LOT COVERAGE:	0.61 AC
M. ZONING DESIGNATION:	M-2
N. OPEN SPACE REQUIRED:	N/A
O. UNITS ALLOWED:	N/A
P. UNITS PROPOSED:	N/A
Q. DPZ REFERENCE FILES: SDP-85-120 PLAT 26300	
R. PROPOSED BUILDING SF:	21,060 SF
S. EXISTING BUILDING SF:	5,468 SF
T. ADDITION BUILDING SF:	5,468 SF
U. TOTAL BUILDING SF:	26,528 SF
V. PROPOSED BUILDING USE:	CHURCH



ESDV REQUIREMENTS SUMMARY

PROPERTY AREA = 2.83 AC  
EXISTING IMPERVIOUS AREA = 1.64 AC  
EXISTING IMPERVIOUS = 58.0%

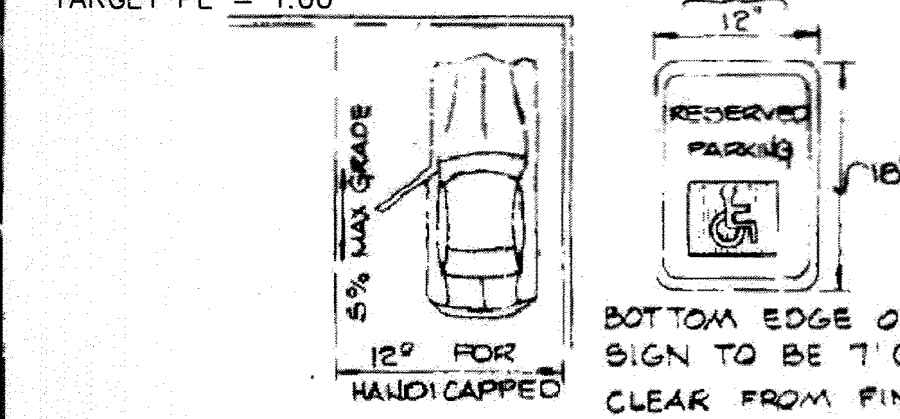
SINCE EX. IMP. > 40%, PROJECT QUALIFIES FOR REDEVELOPMENT. TREAT OR REDUCE HALF OF THE EXISTING IMPERVIOUS WITHIN LOD AT A PE OF 1.00

LIMIT OF DISTURBANCE = 0.41 ACRES  
EX. IMPERVIOUS IN LOD = 0.24 ACRES  
PROP. IMPERVIOUS = 0.23 ACRES  
PROP. IMPERVIOUS AREA REDUCTION = 0.01 ACRES

IMPERVIOUS TREATMENT = (50%)(0.24 AC) - 0.01 = 0.11 ACRES

ESDV = (1.0 IN)(0.95)(0.11 AC)(43560) / 12 = 380 CF

ESDV REQUIRED = 380 CF  
TARGET PE = 1.00"



HANDICAPPED PARKING SIGN DETAIL

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS; HOWARD COUNTY HEALTH DEPARTMENT  
*John P. Boyd* 6/21/85  
COUNTY HEALTH OFFICER

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
*James A. Harris* 6-25-85  
PLANNING DIRECTOR

APPROVED: DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION  
*William M. ...* 6-25-85  
CHIEF

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS  
*John F. ...* 6-20-85  
DIRECTOR

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*Michael ...* 6-18-85  
CHIEF, BUREAU OF ENGINEERS

by the Developer:  
"I certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project. I will provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion."  
*Martin Verat* 6-5-85  
Signature of Developer  
Print name below signature  
MARTIN VERAT, GENERAL PARTNER

These plans have been revised for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.  
*James M. ...* 6-18-85  
L.S. Soil Conservation District

These plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.  
*Robert ...* 6-18-85  
Howard Soil Conservation District

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Gerald F. ...* 6-1-85  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

APPROVED: DIVISION OF LAND DEVELOPMENT  
*Gerald F. ...* 6/6/85  
CHIEF, DIVISION OF LAND DEVELOPMENT

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Gerald F. ...* 6-1-85  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

APPROVED: DIVISION OF LAND DEVELOPMENT  
*Gerald F. ...* 6/6/85  
CHIEF, DIVISION OF LAND DEVELOPMENT

TARGET PE (INCHES)	PE PROVIDED (INCHES)	TARGET ESD VOLUME (CF)	ESDV (CF)
1.00	1.00	380	465

GENERAL NOTES

- AREA OF SITE - 2.83 AC ±
- EXISTING ZONING OF SITE - M-2
- DEED REFERENCE
- PUBLIC WATER & SEWER ARE AVAILABLE.
- TAX MAP: 37, BLOCK D, PARCEL A.
- PARKING: 83 SPACES
- PER HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D.7.G, RELIGIOUS FACILITY = 10 SPACES PER 1000 SF OF ASSEMBLY (WORSHIP) SPACE. 5,395 ASSEMBLY SF = 54 SPACES, TOTAL REQUIRED = 54 SPACES.
- SITE ANALYSIS:
  - REQUIRED OPEN SPACE - 0.07 AC ±
  - PROPOSED OPEN SPACE - 0.11 AC ±
  - BUILDING COVERAGE - 0.41 AC ±
  - PROPOSED USE - CHURCH - 0.61 AC ±
  - ALL EXTERIOR LIGHTING SHALL BE DIRECTED AWAY FROM ADJACENT PUBLIC ROADS
  - NUMBER OF ON-SITE VEHICLES - 0

PARKING CHART

	NON-ADA VEHICULAR SPACES	CAR ACCESSIBLE ADA SPACES	VAN ACCESSIBLE ADA SPACES	TOTAL ADA SPACES	TOTAL SPACES
REQUIRED	51	2	1	3	54
EXISTING	93	1	1	2	95
PROPOSED	79	3	1	4	83

SUBDIVISION NAME: RT 100 BUSINESS PARK  
SECTION/AREA: BLOCK 'D'  
LOT/PARCEL: 'A'

PLAT OR L/P	BLOCK	ZONE	TAX/ZONE MAP	ELEC. DIST.	CENSUS TR.
PLAT #26300	'D'	M-2	37	181	6012

WATER CODE: SEWER CODE:

SOIL CLASSIFICATION: URBAN LAND-UDORTMENTS COMPLEX, 0-15% SLOPES  
ABBREVIATION: UID  
HYDROLOGIC SOIL GROUP: D

ADDRESS CHART

LOT #	STREET ADDRESS
PARCEL 'A'	6615 SANTA BARBARA ROAD

DESIGNED: M.E.B.  
DRAWN: M.E.B.  
CHECKED: G.M.S.  
DATE: FOR:

SITE DEVELOPMENT PLAN  
ROUTE ONE HUNDRED  
BUSINESS PARK  
BLOCK 'D' PARCEL 'A'  
ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

SCALE: 1" = 30'  
DRAWING: 1 OF 10  
JOB NO.: 10611  
FILE #:

EVANS, HAGAN & HOLDEFER, INC.  
8013 BELAIR ROAD BALTIMORE MD 21286  
301-666-1501

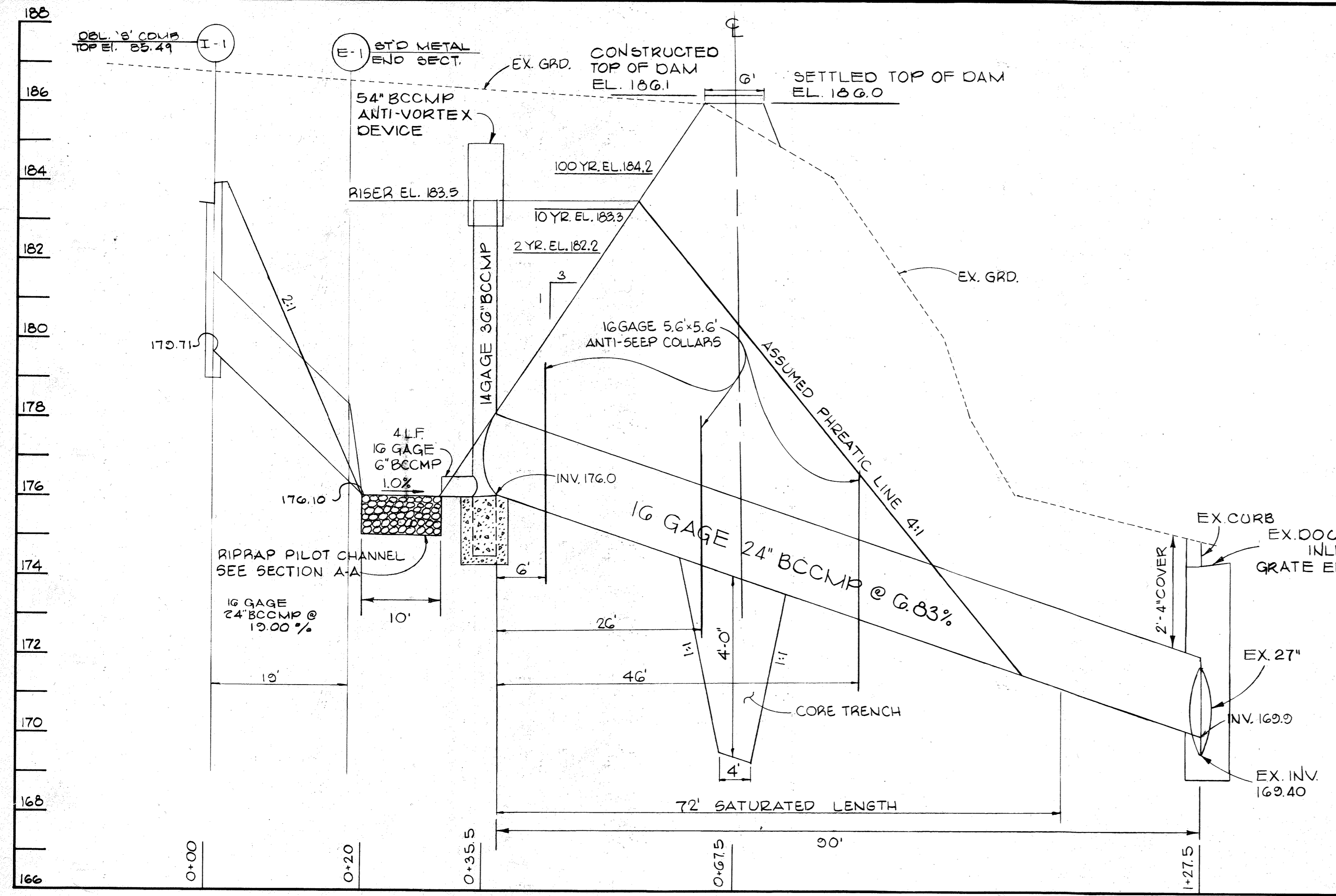
ENGINEERS, LAND PLANNERS & SURVEYORS

DATE: 12/1/84  
REVISION: 1  
BY: *Gerald F. ...*

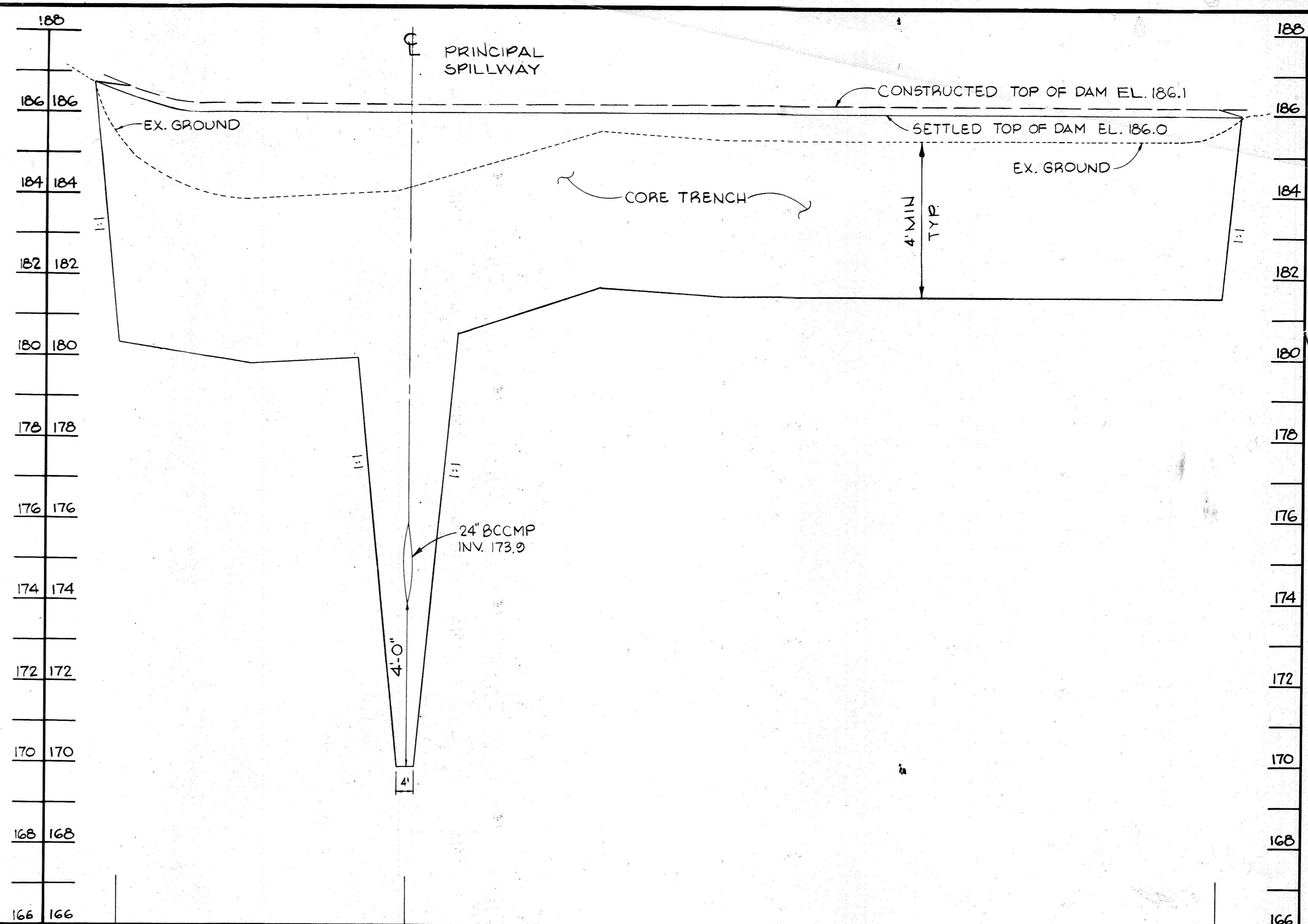
CONSTRUCTION MANAGER: SIMONS BUILDERS INC.  
515 E JOPPA ROAD BALTO, MD 21204

DATE: 12/1/84  
REVISION: 1  
BY: *Gerald F. ...*

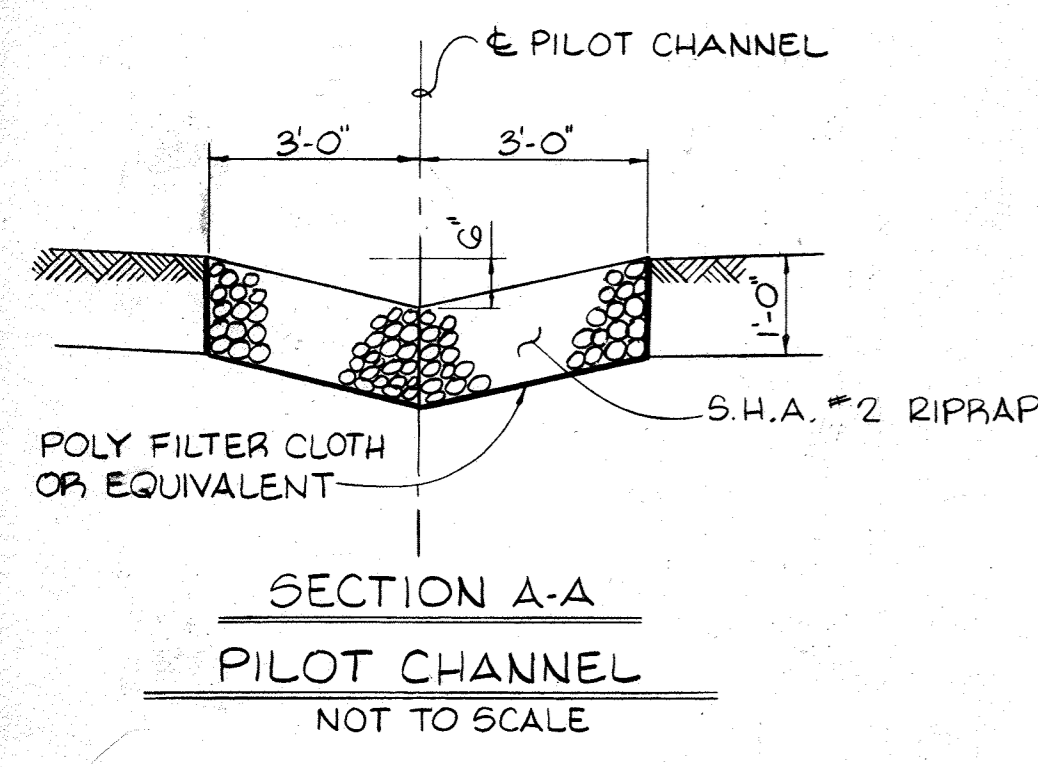




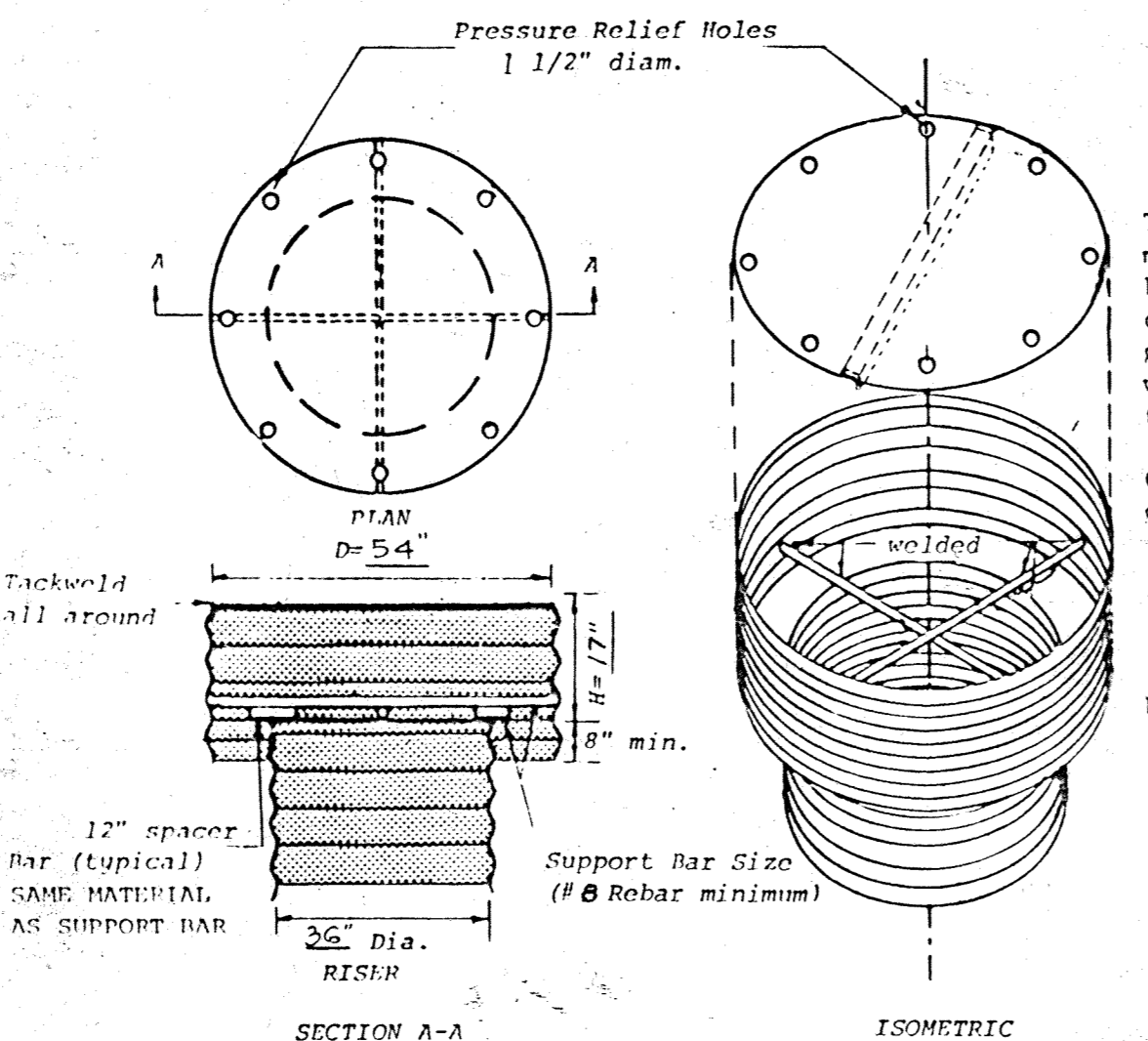
PROFILE ALONG PRINCIPAL SPILLWAY



PROFILE ALONG TOP OF DAM

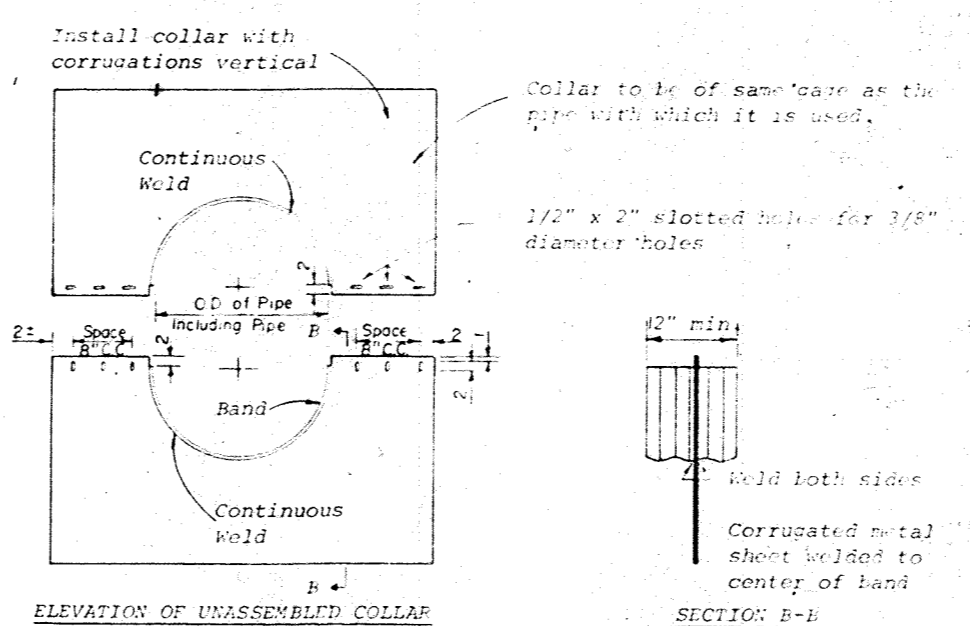


Scale: Hor. 1"=10'  
Ver. 1"=2'

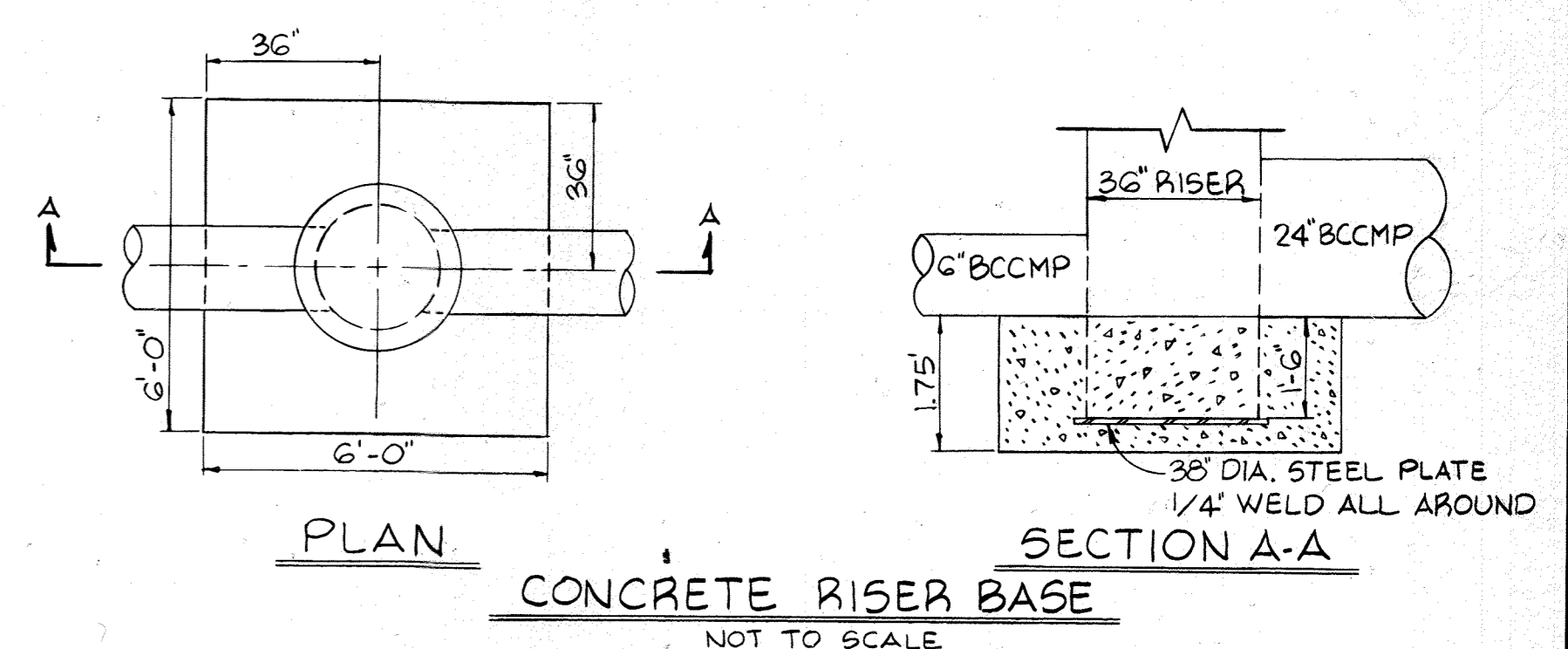


Top is 12 gage corrugated metal or 1/8" steel plate. Pressure relief holes may be omitted, if ends of corrugations are left fully open when corrugated top is welded to cylinder.  
Cylinder is 14 gage corrugated metal pipe or fabricated from 1/8" steel plate.

- Notes:
- 1) The cylinder must be firmly fastened to the top of the riser.
  - 2) Support bars are welded to the top of the riser or attached by straps bolted to top of riser.



- NOTES FOR COLLARS:
1. All materials to be in accordance with construction and construction material specifications.
  2. When specified on the plans, coating of collars shall be in accordance with construction and construction material specifications.
  3. Unassembled collars shall be marked by painting or tagging to identify matching pairs.
  4. The lap between the two half sections and between the pipe and connecting band shall be caulked with asphalt mastic at time of installation.
  5. Each collar shall be furnished with 1/2" diameter rods with standard tank Jugs for connecting collars to pipe.



Scale: Hor. 1"=20'  
Ver. 1"=2'

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

*James M. Boyd, M.D.* 6/2/85  
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

*Donald L. Kamin* 6-25-85  
PLANNING DIRECTOR DATE

*John W. Murchman* 6-25-85  
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

*Debra F. Neuman* 6-20-85  
DIRECTOR DATE

*William B. Riley* 6-19-85  
CHIEF, BUREAU OF ENGINEERING DATE

By the Developer:  
"I certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project. I will provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion."  
*Martin Veron*  
Signature of Developer  
MARTIN VERON, GENERAL PARTNER  
Date: 6-6-85

By the Engineer:  
"I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he must provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion."  
*Gerald P. Maragos*  
Signature of Engineer  
GERALD P. MARAGOS  
Date: 6/6/85

APPROVED  
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE 4-1-85  
*John W. Murchman*

These plans have been revised for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

*James M. Holden* 6-18-85  
U.S. Soil Conservation District Date

These plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.

*Robert W. Zieher* 6-18-85  
Howard Soil Conservation District Date

OWNER/DEVELOPER  
MAROJOT LIMITED PARTNERSHIP  
C/O GEREN SALES, INC.  
17 CHELSEA HOUSE, 2411 CROFTON LANE  
CROFTON, MD. 21114

CONSTRUCTION MANAGER  
SILMON'S BUILDERS INC.  
515 E. JOPPA ROAD  
BALTO., MD. 21204

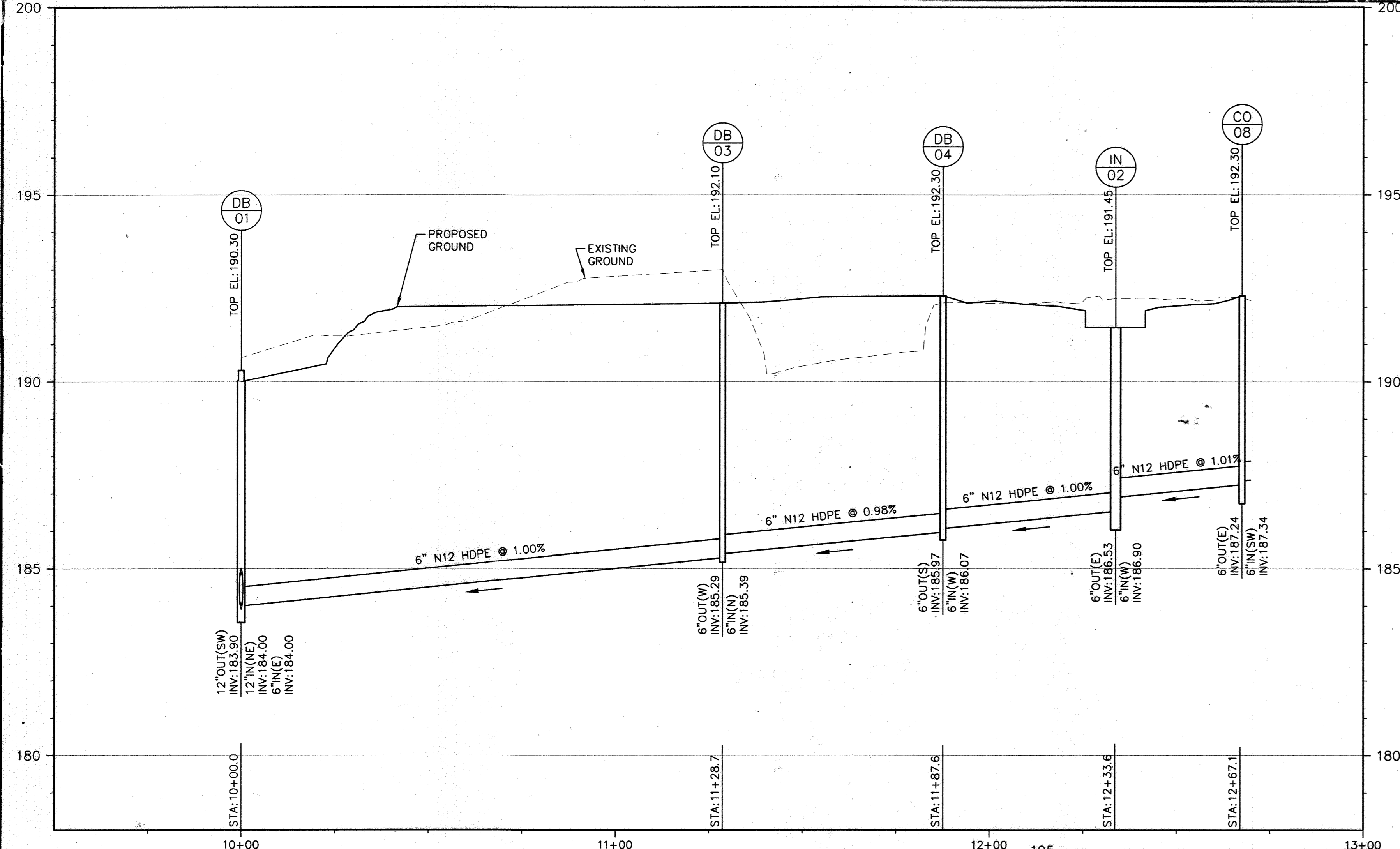
DESIGNED SKB	STORM WATER MANAGEMENT	SCALE
DRAWN MLV	ROUTE ONE HUNDRED BUSINESS PARK	DRAWING
CHECKED RLU	BLOCK 'D' PARCEL 'A'	2-27
DATE	1 <sup>ST</sup> ELECTION DISTRICT	JOB NO.
	HOWARD COUNTY, MARYLAND	FILE NO.

EVANS, HAGAN & HOLDEFER, INC.  
ENGINEERS, LAND PLANNERS AND SURVEYORS

8015 BELAIR ROAD / BALTIMORE, MD 21286 (301) 888-1501  
539 POPLAR STREET / CAMBRIDGE, MD 21613 (301) 228-8550  
1052 WEST STREET / LAUREL, MD 20707 (301) 725-0965  
111 JOHN STREET / WESTMINSTER, MD 21157 (301) 848-1790

DATE 1/11/85 SCALE AS SHOWN





**DRAINAGE BASIN 01 TO CLEANOUT 08**  
 SCALE: HORIZ 1"=20'  
 VERT 1"=2'

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Paul J. Forgie* 5/1/85  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 5/1/85  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 5/3/85  
 DIRECTOR DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

*James M. ...* 6/21/85  
 COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

*Donald J. ...* 6-25-85  
 PLANNING DIRECTOR DATE

*[Signature]* 6-25-85  
 CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

*[Signature]* 6-28-85  
 DIRECTOR DATE

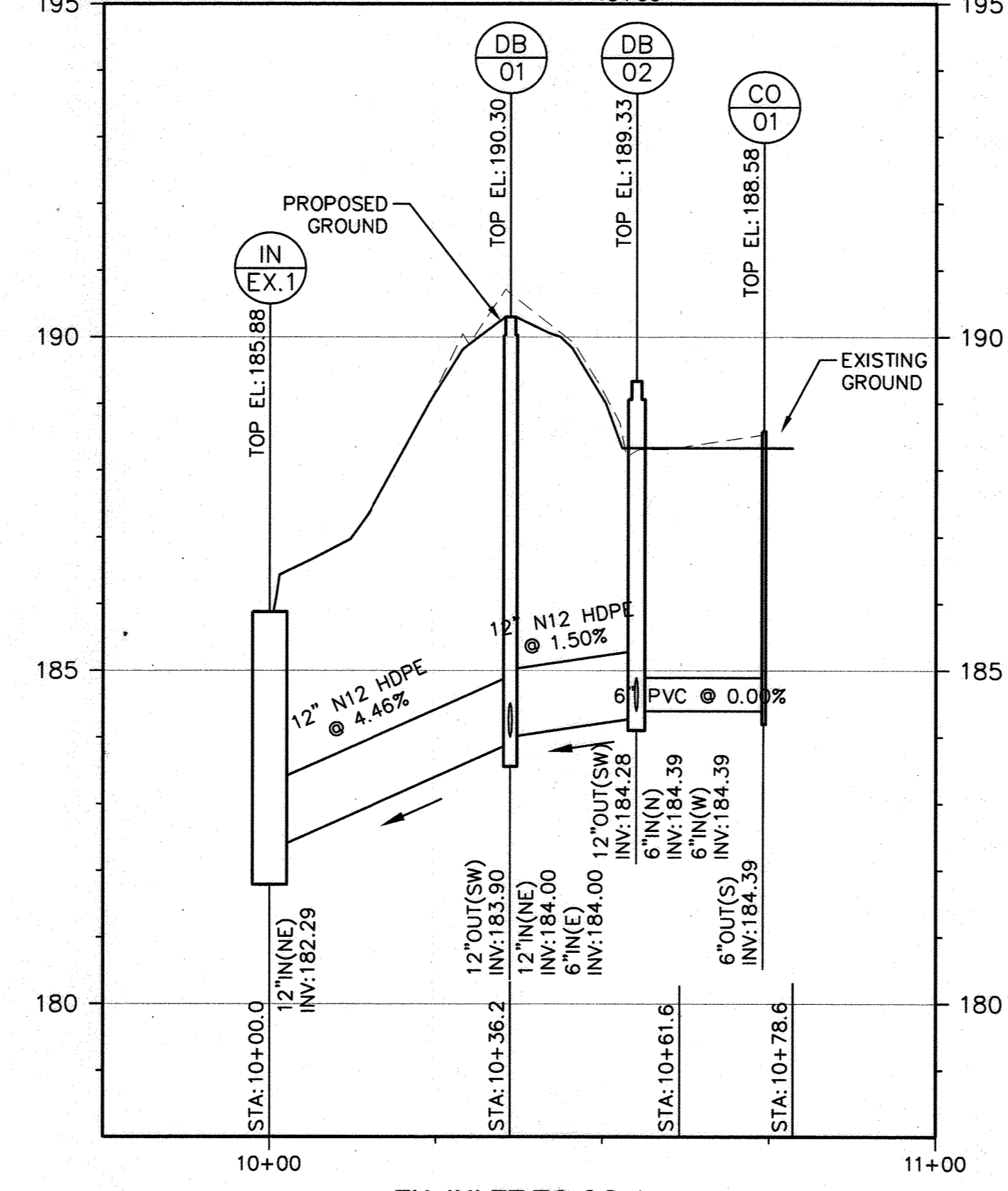
*[Signature]* 6-19-85  
 CHIEF, BUREAU OF ENGINEERS DATE

APPROVED  
 DIVISION OF LAND DEVELOPMENT &  
 ZONING ADMINISTRATION  
 HOWARD COUNTY, MARYLAND  
 DATE 4-1-85

By the Developer:

"I certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project. I will provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion."

*[Signature]* 6-6-85  
 Signature of Developer  
 Print name below signature  
**MARTIN VERON, GENERAL PARTNER**



**EX. INLET TO CO-1**  
 SCALE: HORIZ 1"=20'  
 VERT 1"=2'

By the Engineer:

"I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have certified the design plan of the pond within 30 days of completion."

*[Signature]* 6/6/85  
 Signature of Engineer  
 Print name below signature  
**GERALD P. MAKAGOS**

**CONSTRUCTION SPECIFICATIONS**

**I. SITE PREPARATION**

Areas under the embankment and structural works shall be cleared, grubbed and the topsoil stripped to remove all trees, vegetation, roots or other objectionable material. To facilitate clean out and restoration, it is recommended that the permanent pool area be cleared of all brush and trees.

**II. EARTH FILL**

**Material**

The fill material shall be taken from approved designated borrow area or areas. It shall be free from roots, stumps, wood, rubbish, over-size stones, frozen or other objectionable materials. The embankment shall be constructed to an elevation which provides for anticipated settlement to the design elevation. The fill height all along the length of the embankment shall be increased at least 10 percent above the design elevation (including freeboard) unless otherwise shown on the plans.

**Placement**

Areas on which fill is to be placed shall be scarified prior to placement of fill. Fill materials shall be placed in 8-inch maximum thickness (before compaction) layers which are to be continuous over the entire length of the fill. The most porous borrow material shall be placed in the downstream portions of the embankment.

**Compaction**

The movement of the hauling and spreading equipment over the fill shall be controlled so that the entire surface of each lift shall be traversed by not less than one tread track of the equipment or compaction shall be achieved by a minimum of four complete passes of a sheepfoot, rubber tired or vibratory roller. Fill material shall contain sufficient moisture so that it can be formed into a ball without crumbling. If water can be squeezed out of the ball, it is too wet to compact properly.

**Cure Trench**

Where specified, a cure trench shall be excavated along or parallel to the centerline of the embankment as shown on the plans. The bottom width of the trench shall be governed by the equipment used for excavation, with the minimum width being four feet. The depth shall be at least four feet or as shown on the plans. The side slopes of the trench shall be 2 to 1 or flatter. The backfill material for the cutoff trench shall be the most impervious material available and shall be compacted with equipment or rollers to assure maximum density and minimum permeability.

**III. STRUCTURAL BACKFILL**

Backfill material shall be of the type and quality conforming to that specified for the adjoining fill material. The fill shall be placed in horizontal layers not to exceed four inches in thickness and compacted by hand tampers or other compaction equipment. The material needs to fill completely all spaces under and adjacent to the pipe. At no time during the backfilling operation shall driven equipment be allowed to operate closer than four feet, measured horizontally, to any part of a structure. Under no circumstances shall the contractor drive equipment over any part of a concrete structure or pipe unless there is a compacted fill of twenty-four inches or greater over the structure or pipe.

**IV. PIPE DETAILS**

**A. GALVANIZED METAL PIPE**

1. Materials - (Steel Pipe) - This pipe and its appurtenances shall be galvanized and fully bituminous coated and shall conform to the requirements of AASHTO Specification M-190 Type A with watertight coupling bands. Any bituminous coating damaged or otherwise removed shall be replaced with cold applied bituminous coating compound.

Materials - (Aluminum Pipe) - This pipe and its appurtenances shall conform to the requirements of AASHTO Specification M-190 or M-211 with watertight coupling bands. Coupling bands, anti-seep collars, and sections, etc. must be composed of the same material as the pipe. Metals must be insulated from dissimilar material with use of rubber or plastic insulating materials at least 24 mils in thickness. Aluminum surfaces that are to be in contact with concrete shall be painted with a coat of zinc chromate primer. All dip galvanized pipe may be used for connection to the pipe of the surrounding fill shall be less than 4 and greater than 6.

Locally manufactured pipe in addition to the requirements above shall have either completely welded seams or have lock seams which are caulked with a neoprene lead.

OWNER/DEVELOPER  
**MARJOIT LIMITED PARTNERSHIP**  
 C/O GEREN SALES, INC.  
 17 CHELSEA HOUSE, 2411 CROFTON LAKE  
 CROFTON, MD. 21114

CONSTRUCTION MANAGER  
**SIMONS BUILDERS INC.**  
 515 E. JOPPA ROAD  
 BALTO, MD. 21204

These plans have been revised for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

*[Signature]* 6-18-85  
 Date

*[Signature]* 6-18-85  
 Date

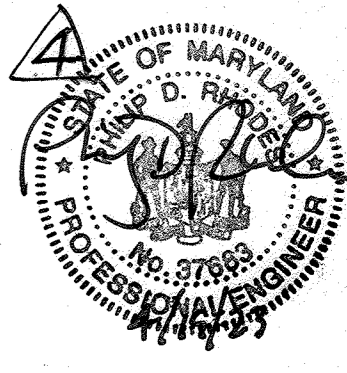
- Connections - All connections with pipes must be completely watertight. The drain pipe or barrel connection to the riser shall be welded all around. Watertight coupling bands shall be used at all joints. Anti-seep collars shall be connected to the pipe in such a manner as to be completely watertight.
  - Bedding - The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock or soft, spongy or other unstable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide adequate support.
  - Laying pipe - The pipe shall be placed with inside circumferential laps pointing downstream and with the longitudinal laps at the sides.
  - Backfilling shall conform to structural backfill as shown above.
  - Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings.
- V. CONCRETE**
- Concrete shall meet minimum requirements set forth in Maryland State Highway Administration Specifications for Materials, Highways, Bridges, and Incidental Structures, Article 20.07 (Portland Cement Concrete Mixtures), Class A-1, or P-1.
- VI. STABILIZATION**
- All borrow areas shall be graded to provide proper drainage and left in a slightly condition. All exposed surfaces of the embankment, spillway and borrow areas shall be stabilized by seeding and applying straw mulch in accordance with Standards and Specifications for Soil Erosion and Sediment Control in Urbanizing Areas immediately after finish grading.

**Acceptable Construction Criteria**

The following items should be considered in reviewing As-Built plans to determine if it is acceptable:

- The pipe and riser diameter, materials, and elevations must be correct.
- The number, size and location of the anti-seep collars must be correct.
- The emergency spillway exit slope may be 1-2% steeper, but no flatter than the design, and no narrower than the design.
- The top of fill elevation must be no less than the design elevation plus the allowance for settlement.
- The top width and side slopes must be equal to or flatter than the design.
- There must be the proper relation between the elevations of the principal spillway crest, the emergency spillway crest, and the top of dam. All of these elevations should be greater than or equal to the design elevations.
- The structure must have an acceptable outlet as provided in the plans.

Any major change or deviation from the original plan must be redesigned and revised plans submitted to the approving soil conservation district prior to the performance of the work.



DESIGNED	DATE	SCALE
DRAWN	DATE	DRAWING
CHECKED	DATE	3 OF 10
DATE	FOR	JJB/NE
		FILE NO.

**EVANS, HAGAN & HOLDEFER, INC.**  
 ENGINEERS, LAND PLANNERS AND SURVEYORS

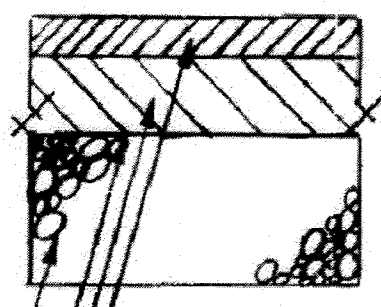
8013 BELAIR ROAD / BALTIMORE, MD 21236 (301) 680-1001  
 130 POPLAR STREET / CAMDEN, MD 21613 (301) 526-8300  
 111 JOHN STREET / WESTMINSTER, MD 21157 (301) 728-0800

DATE 11/1/85 SCALE NONE

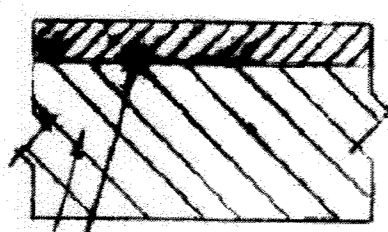


PAVING DETAIL

PAVING DETAIL - ALTERNATE



1" BIT CONC. SURFACE  
2" BIT CONC. BASE  
PRIME COAT  
5" CRUSHER RUN  
BASE COURSE  
OR  
4" DENSE GRADED  
STABILIZED AGGREGATE  
BASE COURSE



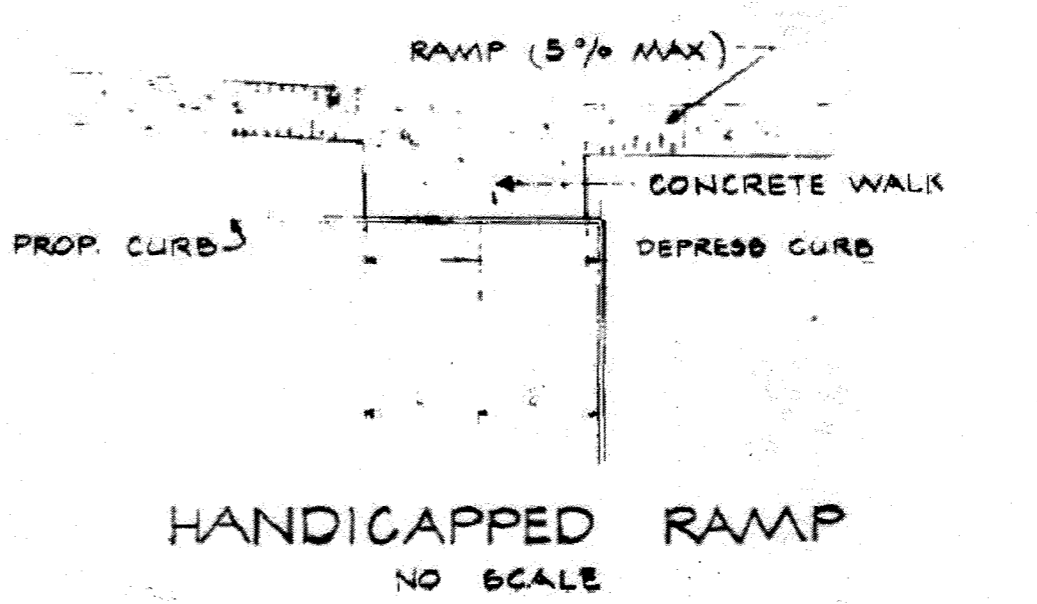
1" BIT CONC. SURFACE  
4" BIT CONC. BASE

SELNICK DRIVE

LIMIT OF PROP. DRAINAGE AREA

EARTH DIKE A-1  
SILT FENCE

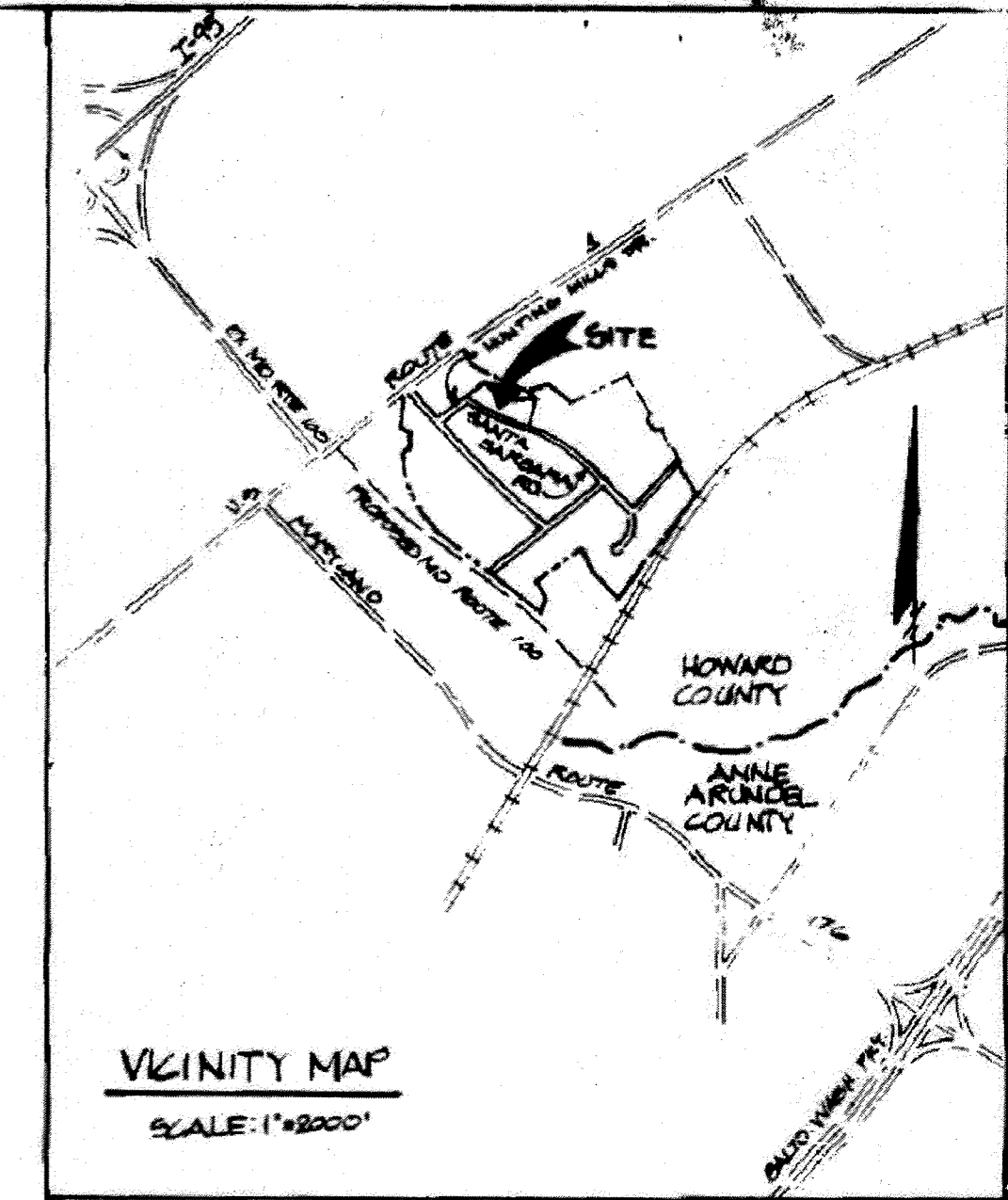
EDWARD L. BREITSCHWERDT  
235/399 1651/544  
M-2



HANDICAPPED RAMP  
NO SCALE

LIMIT OF PROP. DRAINAGE AREA

LIMIT OF DISTURBED AREA



VICINITY MAP  
SCALE: 1"=2000'

\*20' BUILDING SETBACK LINE PER BA-21-042 AND ONLY APPLIES TO THE PETITION AND VARIANCE SUBMITTED TO THE HEARING EXAMINER

THIS DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
Using Standard SEC plan per SCD-AB

APPROVED  
DIVISION OF LAND DEVELOPMENT & ADMINISTRATION  
HOWARD COUNTY MARYLAND  
4-1-85

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS; HOWARD COUNTY HEALTH DEPARTMENT.

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
DIRECTOR DATE

By the Developer:

"I certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project. I will provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion."

Signature of Developer  
Print name below signature  
MARTIN JERAN, GENERAL PARTNER

These plans have been revised for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

Signature of Engineer  
Print name below signature  
HOWARD SOIL CONSERVATION DISTRICT

By the Engineers:

"I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he must provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion."

Signature of Engineer  
Print name below signature  
DATE

Signature of Engineer  
Print name below signature  
DATE

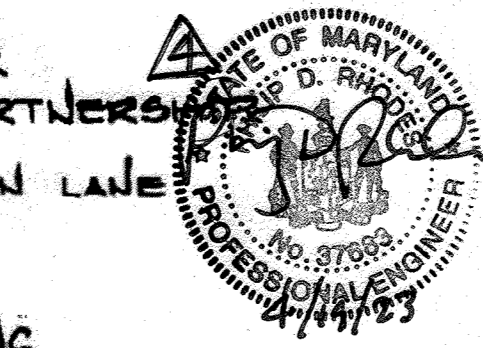
BARBARA ROAD

STABILIZED CONSTRUCTION ENTRANCE WITH MOUNTABLE BERM

ALTERNATE STABILIZED CONSTRUCTION ENTRANCE AT CONTRACTOR'S OPTION. IF NOT INSTALLED THIS ENTRANCE SHALL NOT BE USED DURING CONSTRUCTION.

OWNER / DEVELOPER  
MAROJOT LIMITED PARTNERSHIP  
c/o GEREN SALES, INC  
17 CHELSEA HOUSE, 2411 CROFTON LANE  
CROFTON, MD 21114

CONSTRUCTION MANAGER  
BIMONS BUILDERS INC.  
515 E. JOPPA ROAD  
BALTO, MD 21204



GENERAL NOTES

- 1. AREA OF SITE - 2.83 AC ±
2. EXISTING ZONING OF SITE - M-2
3. DEED REFERENCE - M-2
4. PUBLIC WATER & SEWER ARE AVAILABLE.
5. TAX MAP 37, BLOCK D, PARCEL A.
6. PARKING:
PER HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D.7.G, RELIGIOUS FACILITY = 10 SPACES PER 1000 SF OF ASSEMBLY (WORSHIP) SPACE, 5,395 ASSEMBLY SF = 54 SPACES, TOTAL REQUIRED = 54 SPACES.
7. SITE ANALYSIS:
REQUIRED OPEN SPACE - 0.07 AC ± 20%
PROPOSED OPEN SPACE - 0.10 AC ± 20%
BUILDING COVERAGE - 0.47 AC ± 20%
PROPOSED USE - OFFICE - CHURCH - 0.61 AC ± 22%
8. ALL EXTERIOR LIGHTING SHALL BE DIRECTED AWAY FROM ADJACENT PUBLIC ROADS.
9. NUMBER OF ON-SITE VEHICLES - 0.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Paul J. ... DATE 5/1/23
CHIEF, DEVELOPMENT ENGINEERING DIVISION
... DATE 5/2/23
... DATE 5/3/23
DIRECTOR

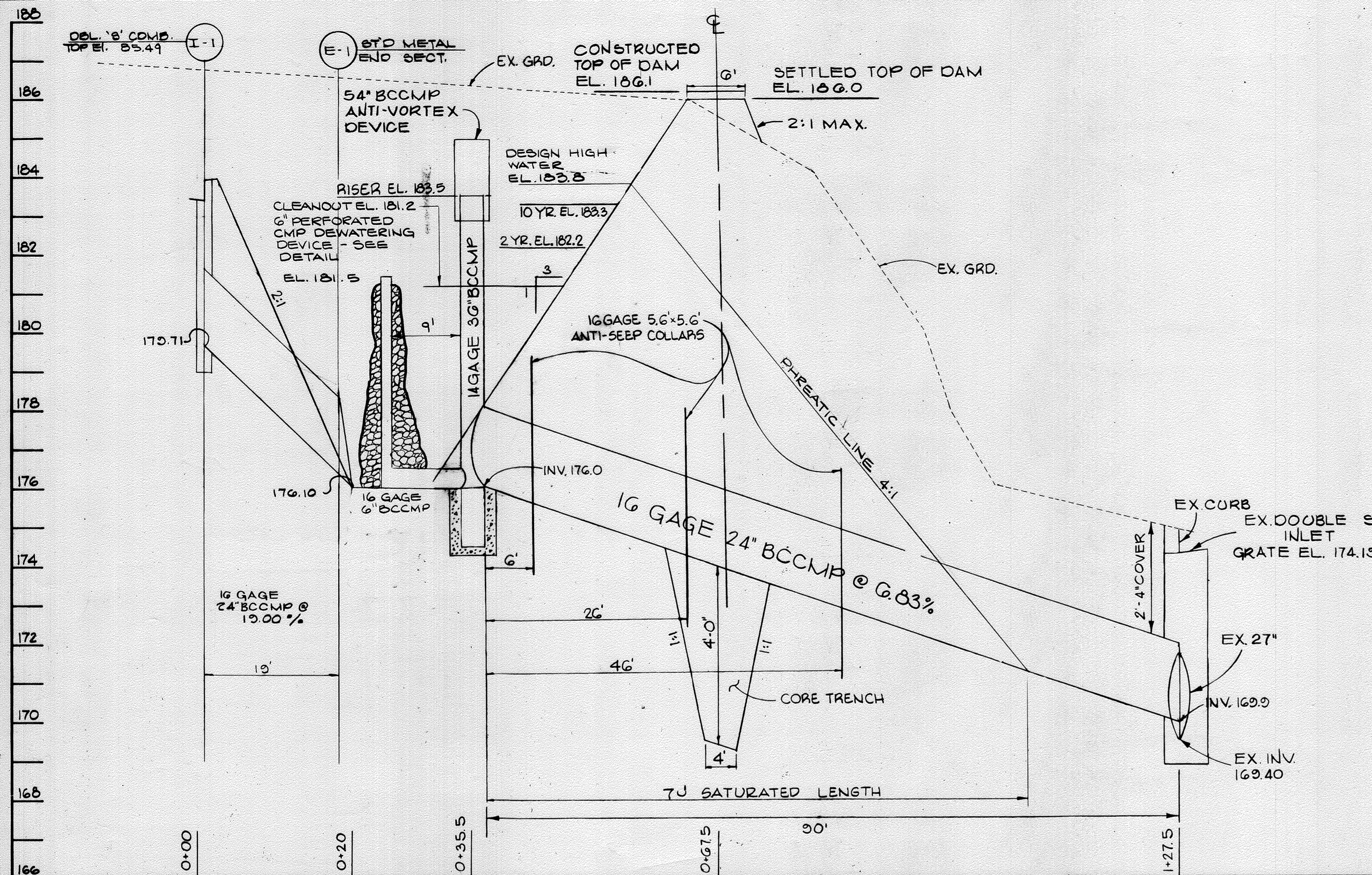
Table with columns: SUBMISSION NAME, SECTION/AREA, LOT/PARCEL NO., PLAT OR L/P, BLOCK, ZONE, TAX/ZONE MAP, ELEC. DIST., CENSUS TR., WATER CODE, SEWER CODE.

ADDRESS CHART table with columns: LOT N°, STREET ADDRESS, PARCEL 'A', 6615 SANTA BARBARA ROAD.

DESIGNED M.E.S.
DRAWN M.E.S.
CHECKED G.M.S.
DATE FOR:
SEDIMENT CONTROL PLAN
ROUTE ONE HUNDRED BUSINESS PARK
BLOCK 'D' PARCEL 'A'
10' ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SCALE 1" = 30'
4 OF 10
JOB N°
FILE N°

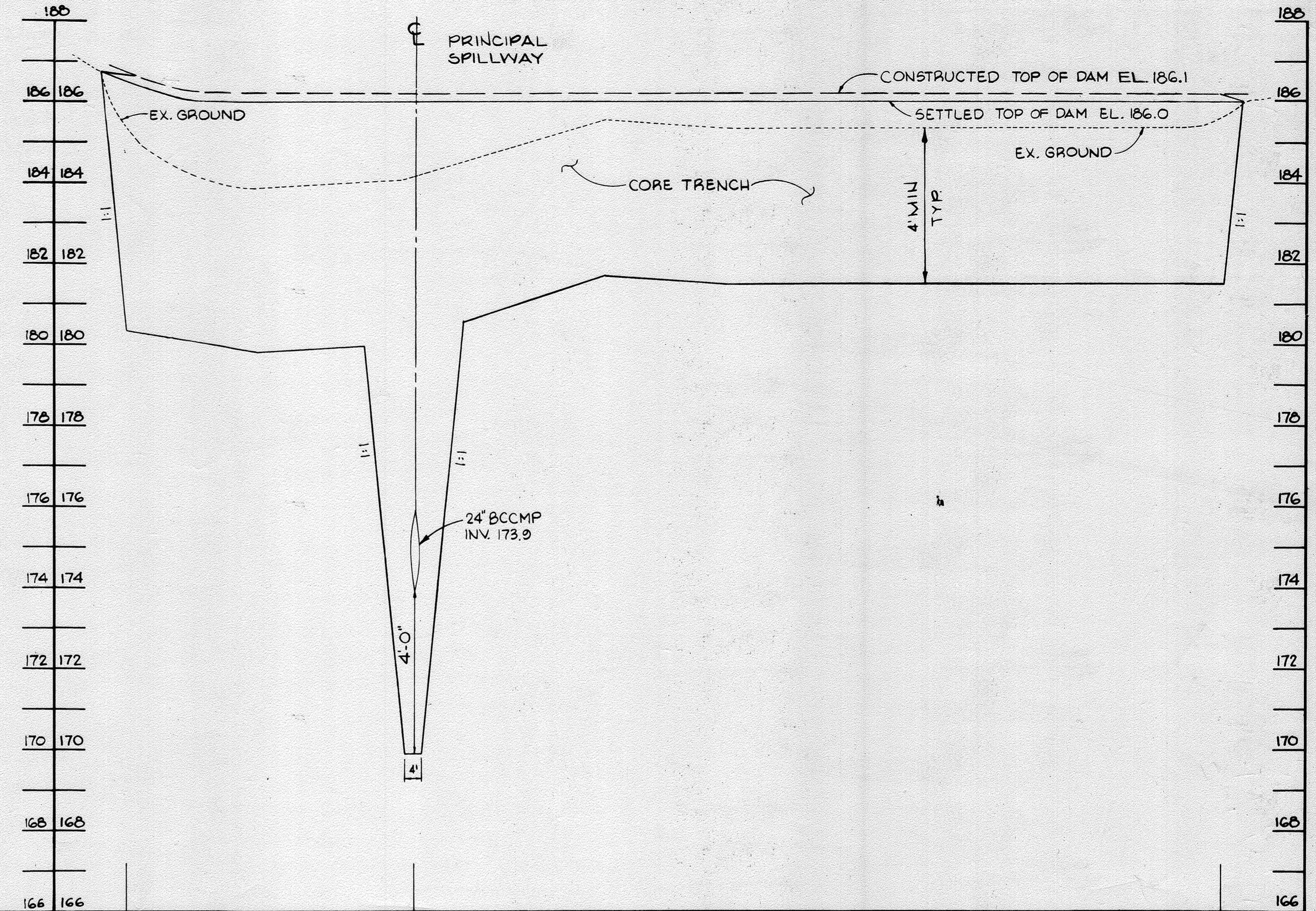
EVANS, HAGAN & HOLDEFER, INC. table with columns: DATE, REVISION, BY, ENGINEERS, LAND PLANNERS & SURVEYORS.





PROFILE ALONG PRINCIPAL SPILLWAY

Scale: Hor. 1" = 10'  
Ver. 1" = 2'



PROFILE ALONG TOP OF DAM

Scale: Hor. 1" = 20'  
Ver. 1" = 2'

SUBDIVISION NAME RT. 100 BUSINESS PARK		SECTION/AREA BLOCK 'D'	LOT/PARCEL NO. 'A'
PLAT OR L/P 26/48	BLOCK NO. 'D'	TAX/ZONE MAP M-2	ELEC. DIST. 1ST
WATER CODE		SEWER CODE	

ADDRESS CHART	
LOT NO.	STREET ADDRESS
PARCEL 'A'	6615 SANTA BARBARA ROAD

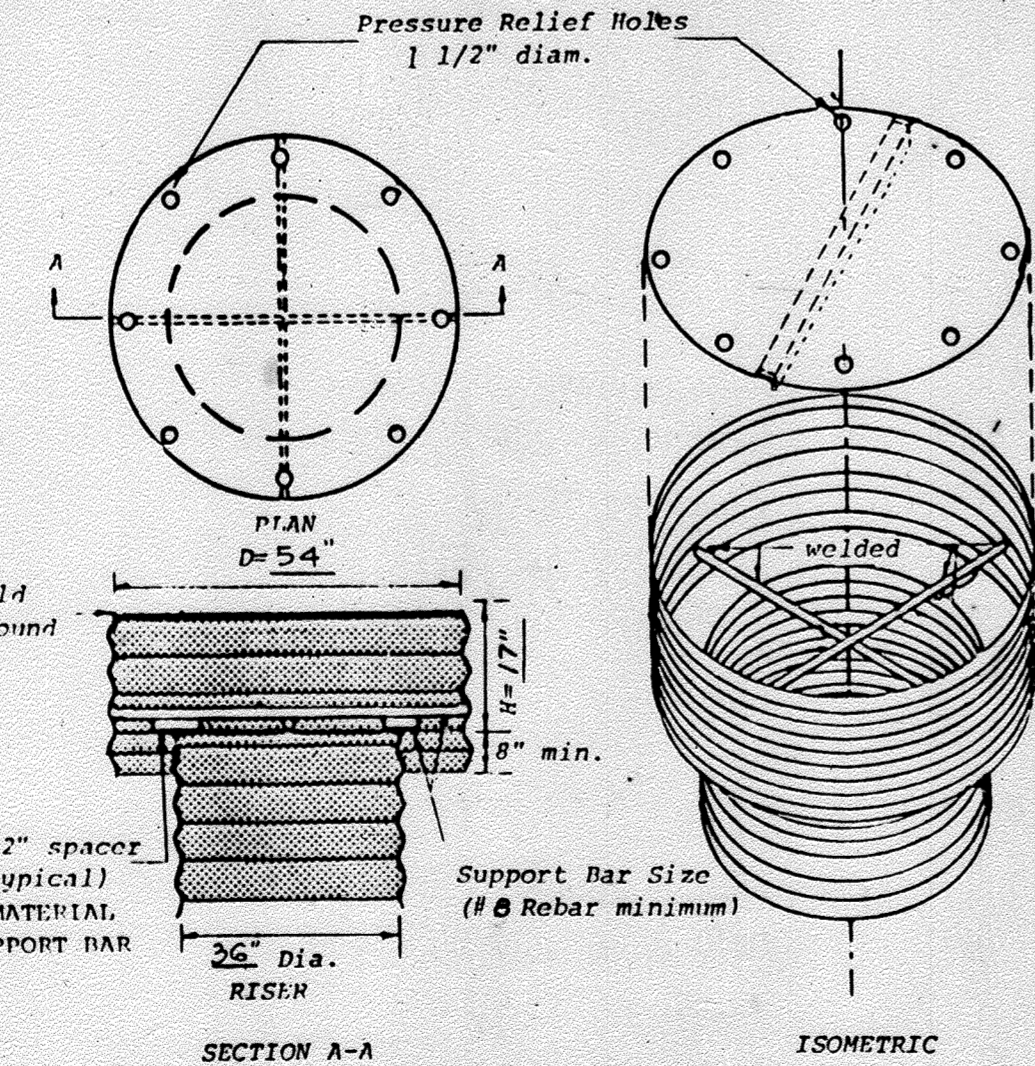
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.  
*Joyce M. Bond, M.D.* 6/2/85  
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.  
*Thomas L. Hamig* 6-25-85  
PLANNING DIRECTOR DATE

APPROVED: DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION.  
*John M. Muehlen* 6-25-85  
CHIEF DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*John F. Neuma* 6-20-85  
DIRECTOR DATE

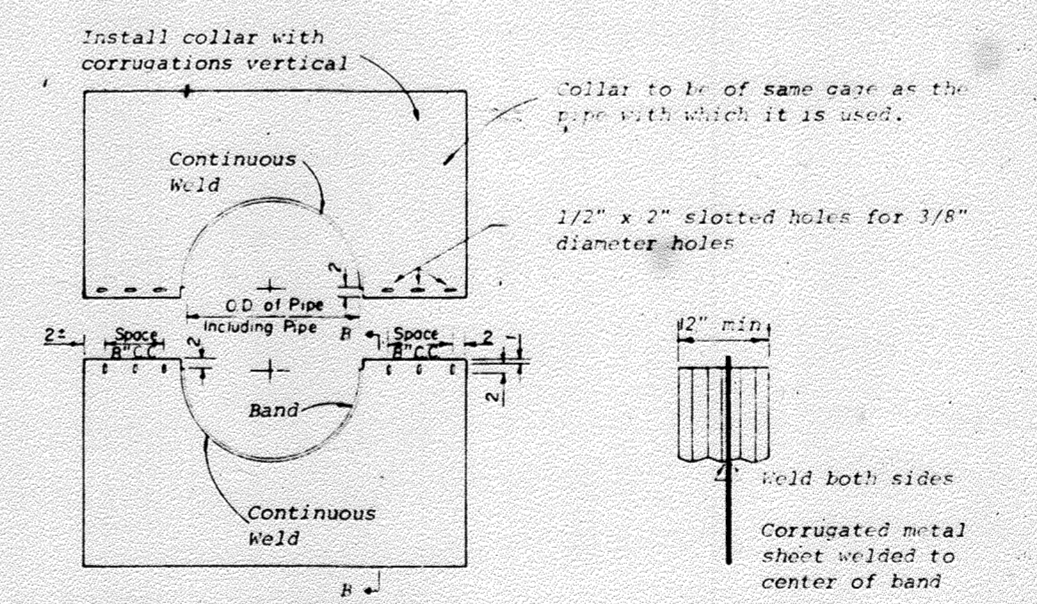
*William B. P. ...* 6-19-85  
CHIEF, BUREAU OF ENGINEERING DATE



CONCENTRIC TRASH RACK AND ANTI-VORTEX DEVICE (not to scale)

Top is 12 gage corrugated metal or 1/8\" steel plate. Pressure relief holes may be omitted, if ends of corrugations are left fully open when corrugated top is welded to cylinder.  
Cylinder is 14 gage corrugated metal pipe or fabricated from 1/8\" steel plate.

Notes:  
1) The cylinder must be firmly fastened to the top of the riser.  
2) Support bars are welded to the top of the riser or attached by straps bolted to top of riser.



NOTES FOR COLLARS:  
1. All materials to be in accordance with construction and construction material specifications.  
2. When specified on the plans, coating of collars shall be in accordance with construction and construction material specifications.  
3. Unassembled collars shall be marked by painting or tagging to identify matching pairs.  
4. The lap between the two half sections and between the pipe and connecting band shall be caulked with asphalt mastic at time of installation.  
5. Each collar shall be furnished with two 1/2\" diameter rods with standard tank lugs for connecting collars to pipe.

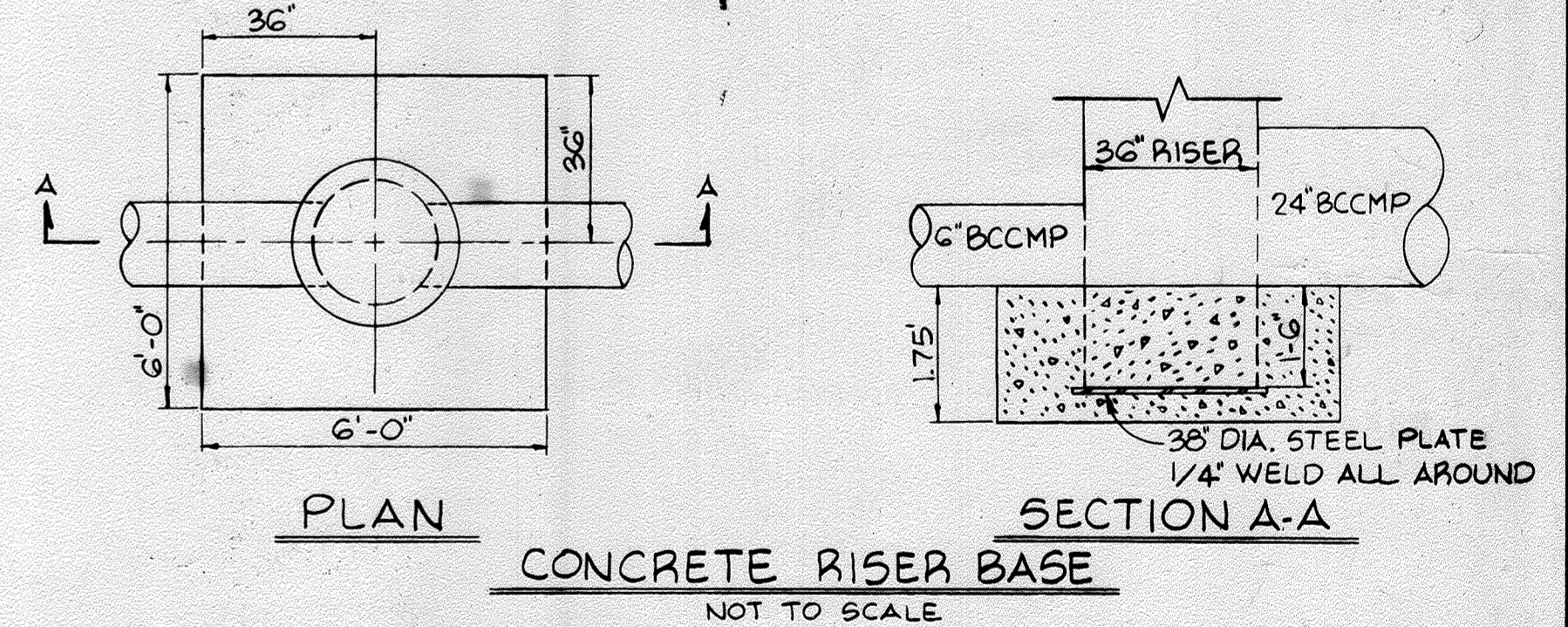
APPROVED  
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE 4-1-85  
*M. J. ...*

By the Engineer:  
"I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he must provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion."  
*Gerald P. Maragos*  
GERALD P. MARAGOS  
Signature of Engineer  
Date 6/6/85

By the Developer:  
"I certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project. I will provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion."  
*Martin Veron*  
Signature of Developer  
Print name below signature  
MARTIN VERON, GENERAL PARTNER  
Date 6-6-85

OWNER/DEVELOPER  
MAROJOT LIMITED PARTNERSHIP  
C/O GEREN SALES, INC.  
17 CHELSEA HOUSE, 2411 CROFTON LANE  
CROFTON, MD. 21114

CONSTRUCTION MANAGER  
SIMONS BUILDERS INC.  
515 E. JOPPA ROAD  
BALTO., MD. 21204



CONCRETE RISER BASE NOT TO SCALE

These plans have been revised for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.  
*Joyce M. Bond* 6-18-85  
U.S. Soil Conservation District Date

These plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.  
*Robert J. Zickel* 6-18-85  
Howard Soil Conservation District Date

DESIGNED SKB	SEDIMENT CONTROL PLAN	SCALE
DRAWN MLV	ROUTE ONE HUNDRED	DRAWING
CHECKED RLU	BUSINESS PARK	5 & 7
DATE	BLOCK 'D' PARCEL 'A'	JOB NO.
	1ST ELECTION DISTRICT	
	HOWARD COUNTY, MARYLAND	FILE NO.

EVANS, HAGAN & HOLDEFER, INC.  
ENGINEERS, LAND PLANNERS AND SURVEYORS

DESIGNED BY: SKB  
DRAWN BY: MLV  
CHECKED BY: RLU  
DATE: FOR:

3-11-85 Misc County Comments

DATE: 1/11/85 SCALE: AS SHOWN

8015 BELAIR ROAD / BALTIMORE, MD 21286 (301) 988-1801  
538 POPLAR STREET / CAMBRIDGE, MD 21613 (301) 588-0888  
1082 WEST STREET / LAMHOL, MD 20707 (301) 728-0888  
111 JOHN STREET / WESTMINSTER, MD 21157 (301) 848-1780

*Gerald P. Maragos*  
DATE: 1/11/85 SCALE: AS SHOWN



**PERMANENT SEEDING PLAN**

1. SOIL AMENDMENTS: Apply 1 Ton Per Acre Dolomitic limestone (11.4/1,000 sq. ft.) and 100 lbs. Per Acre 10-10-10 Fertilizer (1.4/1,000 sq. ft.) in a narrow 6 inch strip and Fertilizer and Upper Three Inches of Soil by Disking, Raking, or other acceptable means.

2. SEEDING: For the Periods March 1 thru April 30, and August 1 thru October 15, Seed with 40 lbs. Per Acre (1.4/1,000 Sq. Ft.) of Kentucky 31 Tall Fescue. For the Period May 1 thru July 31, Seed with 40 lbs. Kentucky 31 Tall Fescue Per Acre and 2 lbs. Per Acre (0.07/1,000 Sq. Ft.) of Weeping Lovegrass. During the Period of October 16 thru February 28, Protect Site by Option (1) 2 Tons Per Acre of Well Anchored Straw Mulch and seed as soon as possible in the Spring. Option (2) Use Sod. Option (3) Seed with (0 lbs.) Kentucky 31 Tall Fescue and Mulch with 2 Tons/Acre Well Anchored Straw.

**MULCHING:** Apply 1 1/2 to 2 Tons Per Acre (70 to 90 lbs./1,000 Sq. Ft.) of Unrotted Small Grain Straw Immediately After Seeding. Anchor Mulch Immediately After Application Using Mulch Anchoring Tool or 218 Gal./Acre (5 Gal./1,000 Sq. Ft.) of Emulsified Asphalt on Flat Areas. On Slopes 8 feet or Higher, Use 348 Gallons Per Acre (8 Gallons/1,000 Sq. Ft.) for Anchoring.

**MINTENANCE:** Inspect All Graded Areas and Make Needed Repairs, Replacements, and Re-seeding.

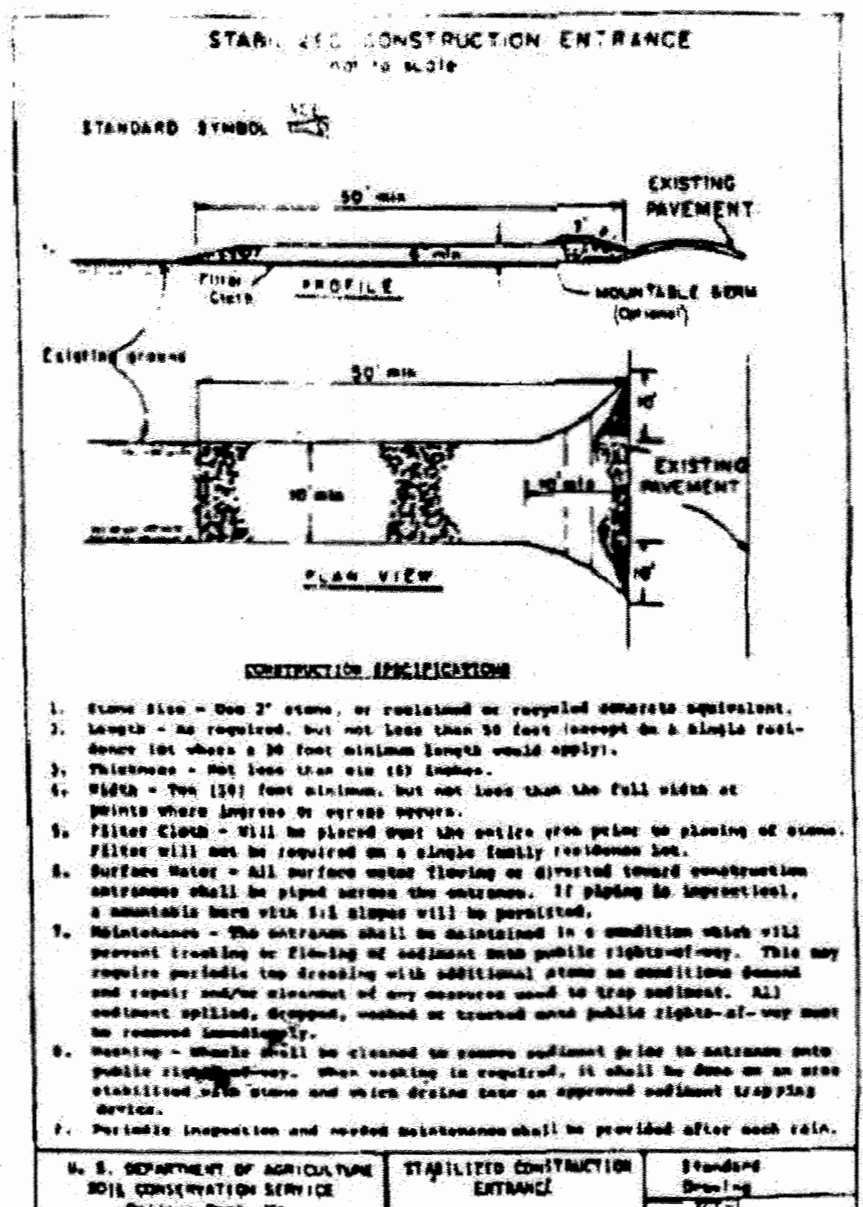
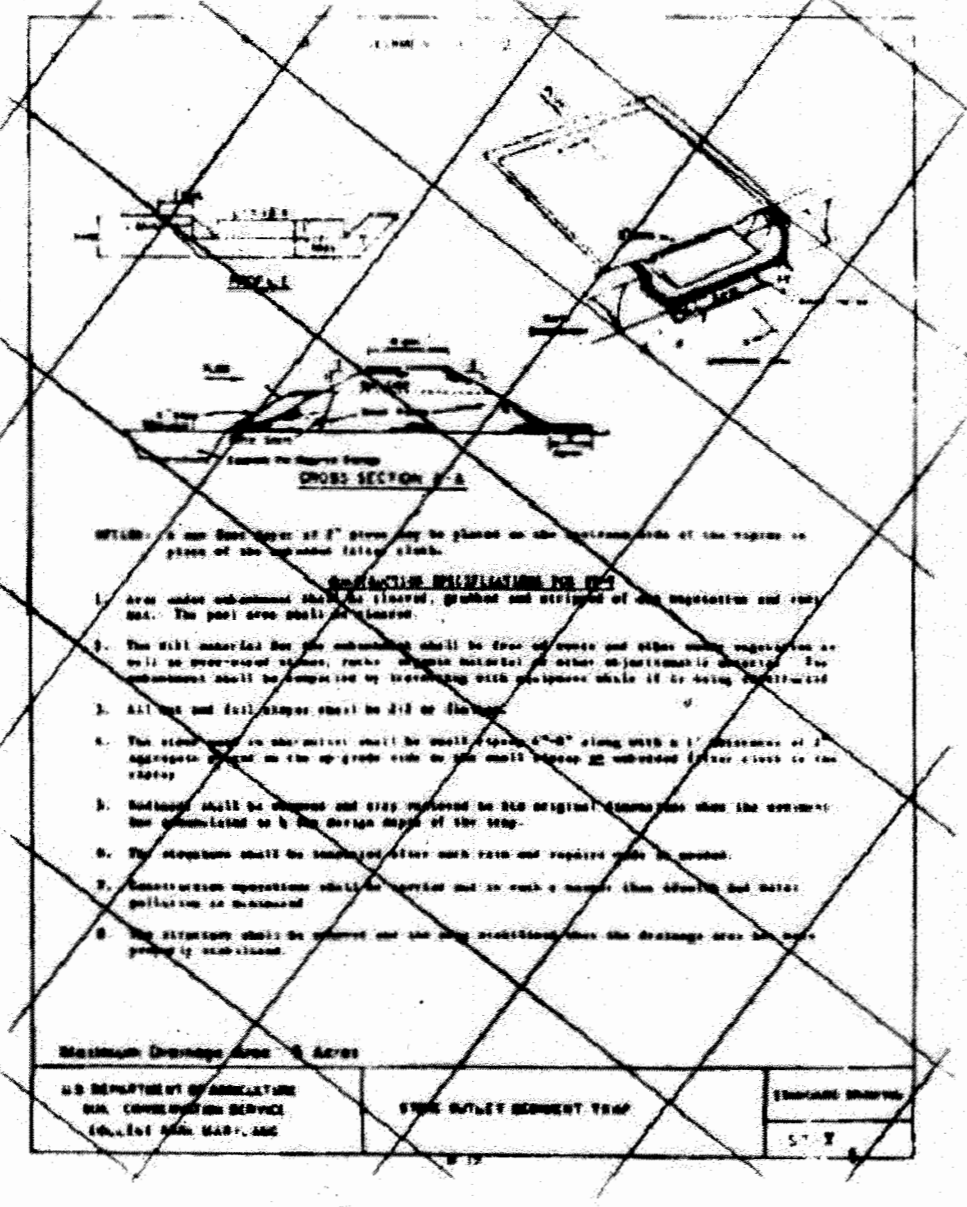
**TEMPORARY SEEDING NOTES**

**SEEDBED PREPARATION:** Disc, Rake, or other acceptable means.

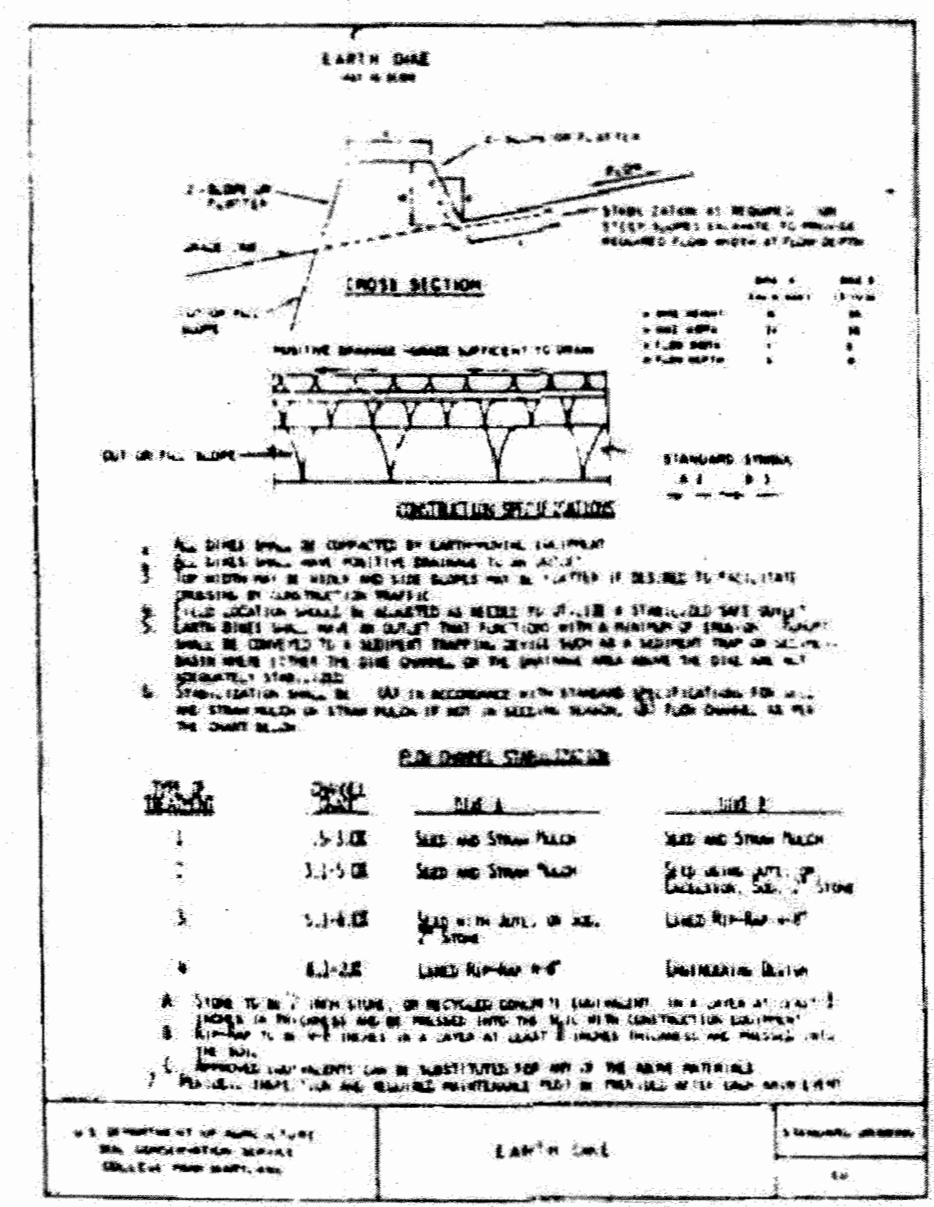
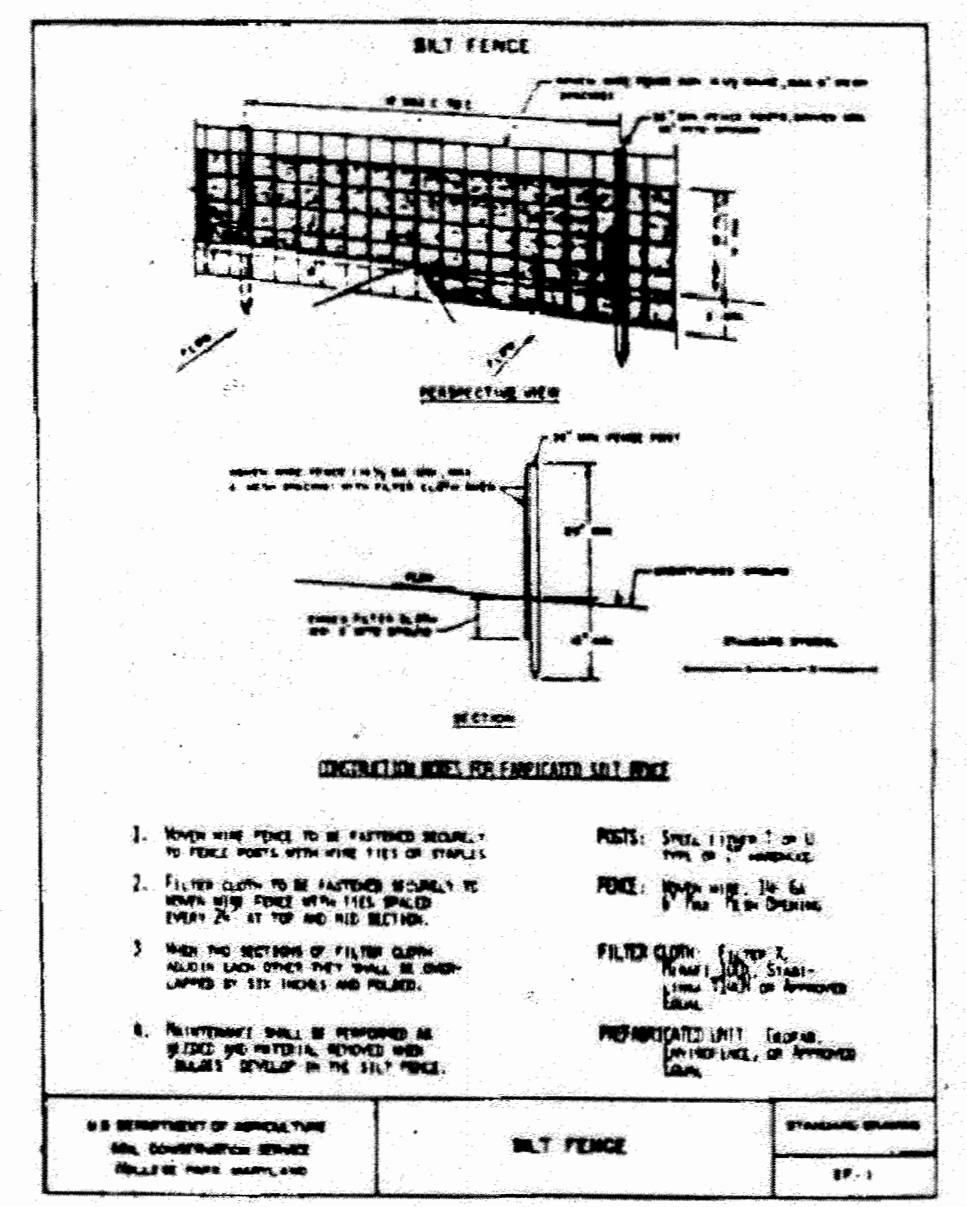
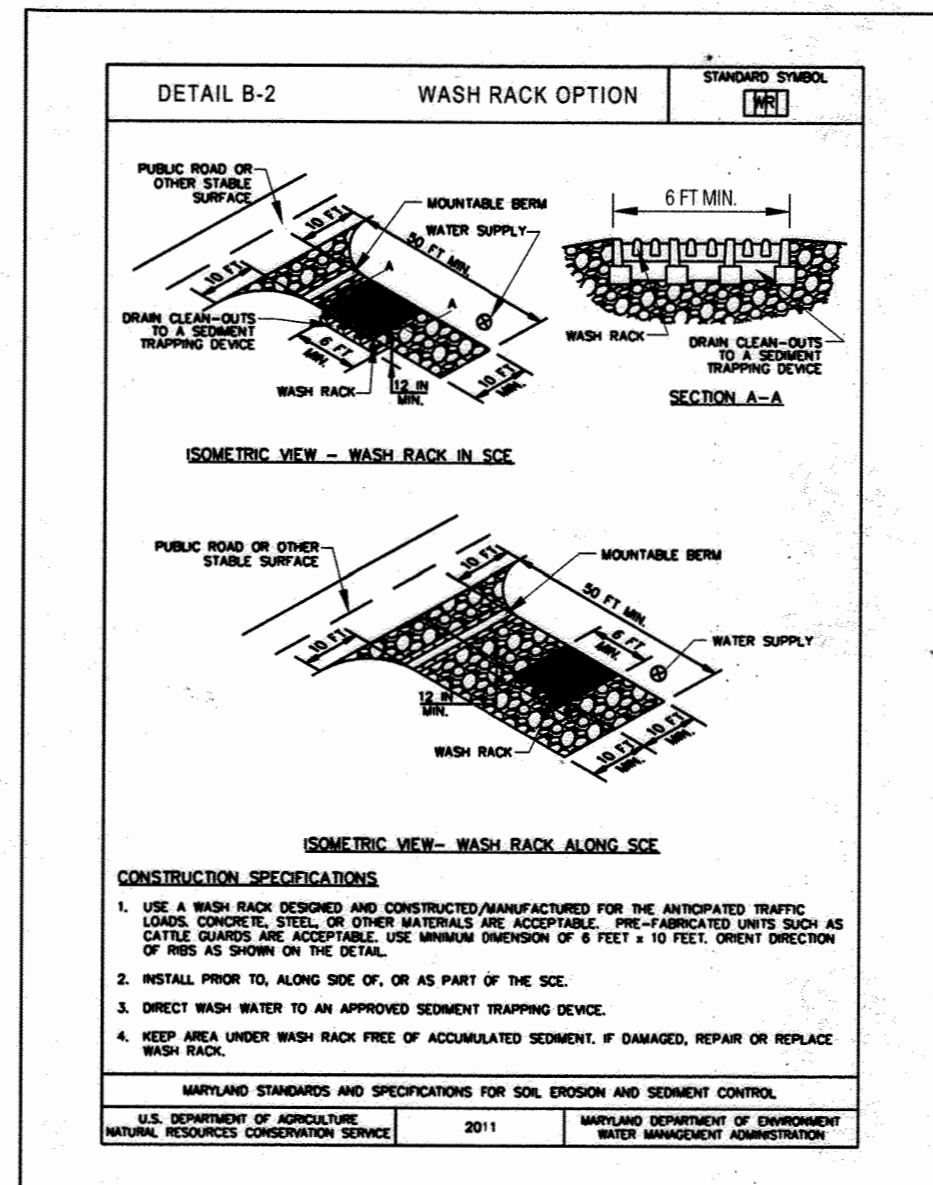
**SOIL AMENDMENTS:** Apply 600 lbs. Per Acre (14 lbs./1,000 sq. ft.) of 10-10-10 Fertilizer.

**SEEDING:** For Periods March 1 thru April 30, and from August 15 thru November 15, Seed with 24 Bushels Per Acre (3.2 lbs./1,000 Sq. Ft.) of Annual Ryegrass. For the Period May 1 thru August 14 Seed with 3 lbs./Acre (0.07 lbs./1,000 Sq. Ft.) of Weeping Lovegrass. For Period November 16 thru February 28, Protect site by applying 2 Tons/Acre of Well Anchored Straw Mulch and seed as soon as possible in the Spring, or use Sod.

**MULCHING:** Apply 1 1/2 to 2 Tons Per Acre (70 to 90 lbs./1,000 Sq. Ft.) of Unrotted Small Grain Straw Immediately After Seeding. Anchor Mulch Immediately After Application Using Mulch Anchoring Tool or 218 Gallons/Acre (5 Gallons/1,000 Sq. Ft.) of Emulsified Asphalt on Flat Areas. On Slopes 8 feet or Higher Use 348 Gallons Per Acre (8 Gallons/1,000 Sq. Ft.) for Anchoring.



**SECTION VIEW  
STONE FILTER INLET PROTECTION**  
(SEE P. 1)  
N.T.S.



- Notify the Bureau of Permits at least 24 hours before start of work.
- All sediment control measures conform to the "Standards and Specifications for Erosion and Sediment Control" as developed by the Bureau of Permits and approved by the developer.
- Installation of all sediment control measures shall be done as soon after construction as possible.
- All structural sediment control measures are to remain in place until permission for their removal has been obtained from the Bureau of Permits and approved by the developer.
- On-site inspection and maintenance of all sediment control measures including clean-out of sediment traps and dikes, and proper establishment of all planned vegetative measures will be the responsibility of the developer or his representative on the site, on a continuing day to day basis.
- It will be the developer's responsibility to provide additional sediment and erosion control devices to protect stabilized areas during construction.
- The contractor shall keep all public roads free of sediment deposits left from traffic leaving construction site.
- Any area not actively graded for a period of 30 days shall be stabilized.
- Site Analysis:
  - Total Area: 2.88 Acres
  - Area to be Excavated: 1.73 Acres
  - Area to be Seeded: 0.54 Acres
  - Area Undisturbed: 0.60 Acres

**SEQUENCE OF OPERATIONS**

- NOTIFY HOWARD COUNTY BUREAU OF INSPECTION & PERMITS AT LEAST 24 HOURS BEFORE STARTING ANY WORK.
- CLEAR & GRUB FOR INSTALLATION OF SEDIMENT CONTROLS ONLY.
- CONSTRUCT ALL SEDIMENT CONTROL MEASURES SHOWN.
- ROUGH GRADE SITE & CONSTRUCT PARKING AREAS TO SUBGRADE.
- CONSTRUCT STORM DRAIN SYSTEM INLET OPENINGS TO BE BLOCKED & REMAIN SO UNTIL ALL CONTRIBUTING AREAS HAVE BEEN STABILIZED. CONSTRUCT WATER & SEWER CONNECTIONS. CONSTRUCT ALL REMAINING UTILITIES.
- CONSTRUCT PROPOSED OFFICE BUILDING.
- CONSTRUCT CONCRETE CURB & GUTTER.
- CONSTRUCT FINAL PARKING AND FINE GRADE SITE. STABILIZE ALL DISTURBED AREAS.
- UPON SEDIMENT CONTROL INSPECTOR APPROVAL REMOVE ALL SEDIMENT CONTROL DEVICES. STABILIZE ALL REMAINING DISTURBED AREAS.
- MAINTENANCE.

**APPROVED**  
**DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION**  
**HOWARD COUNTY, MARYLAND**  
DATE 4-1-85  
*M. Hamm*

~~THIS DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.~~

HOWARD SOIL CONSERVATION DISTRICT DATE \_\_\_\_\_

**Using Standard SEC Plan Per SCD. No Signature need per Alex Brubaker.**

~~APPROVED: HOWARD COUNTY WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.~~

~~APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.~~

~~APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.~~

By the Developer:  
"I certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project. I will provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion."

*Martin Veron*  
Signature of Developer  
Print name below signature  
**MARTIN VERON, GENERAL PARTNER**  
Date 6/6/85

By the Engineer:  
"I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he must provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion."

*Gerald P. Maragos*  
Signature of Engineer  
Print name below signature  
**GERALD P. MARAGOS**  
Date 6/10/85

**APPROVED: DEPARTMENT OF PLANNING AND ZONING**

*Paul J. Forgie*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE 5-1-85

*[Signature]*  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE 5/1/85

*[Signature]*  
DIRECTOR  
DATE 5/1/85

These plans have been revised for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

*[Signature]*  
U.S. SOIL CONSERVATION DISTRICT  
DATE 6-18-85

These plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.

*[Signature]*  
HOWARD SOIL CONSERVATION DISTRICT  
DATE 6-18-85

**OWNER/DEVELOPER**  
**MARJOIT LIMITED PARTNERSHIP**  
c/o GEREN SALES, INC.  
17 CHELSEA HOUSE, 2411 CROFTON LANE  
CROFTON, MD. 21114

**CONSTRUCTION MANAGER**  
**SILMONS BUILDERS INC.**  
515 E. JOPPA ROAD  
BALTO, MD. 21204

SUBDIVISION NAME RT 100 BUSINESS PARK		SECTION/AREA BLOCK 'D'	LOT/PARCEL ID 'A'
PLAT OR L/P PLAT #26300	BLOCK N 'D'	TOILET U-2	TAX/ZONE 27
WATER CODE		ELEC. DIST. 191	CELBUS TR. 6012
SEWER CODE			

ADDRESS CHART	
LOT N°	STREET ADDRESS
PARCEL 'A'	6613 SANTA BARBARA ROAD

DESIGNED M.E.B.	<b>SEDIMENT CONTROL DETAILS</b>	SCALE NONE
DRAWN M.E.B.		DRAWING 6 OF 10 JOB NO.
CHECKED G.M.S.		
DATE		
PROJECT: <b>ROUTE ONE HUNDRED BLOCK 'D' PARCEL 'A'</b>		
LOCATION: <b>1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND</b>		
FOR		

**EVANS, HAGAN & HOLDEFER, INC.**  
ENGINEERS, LAND PLANNERS & SURVEYORS

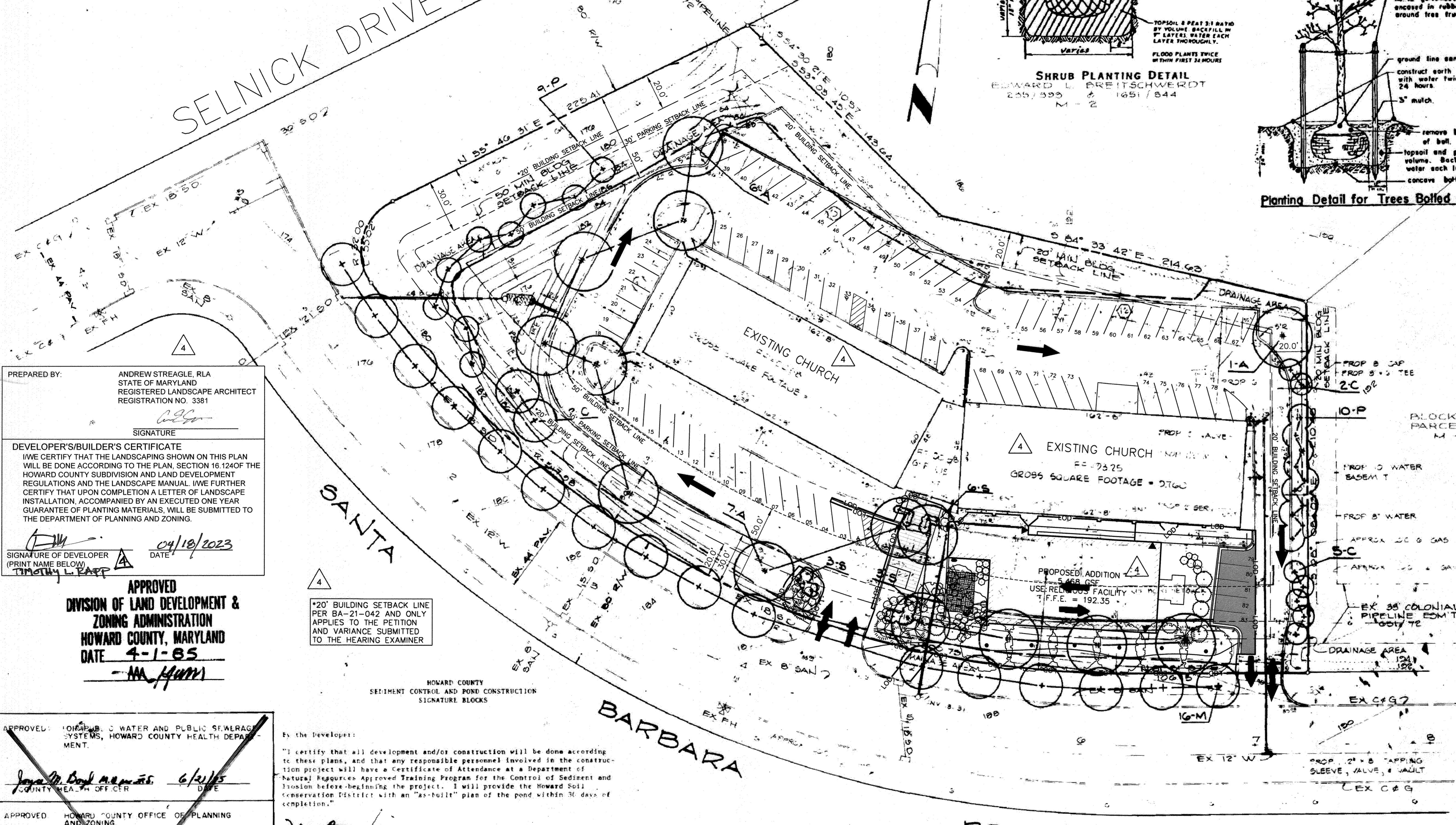
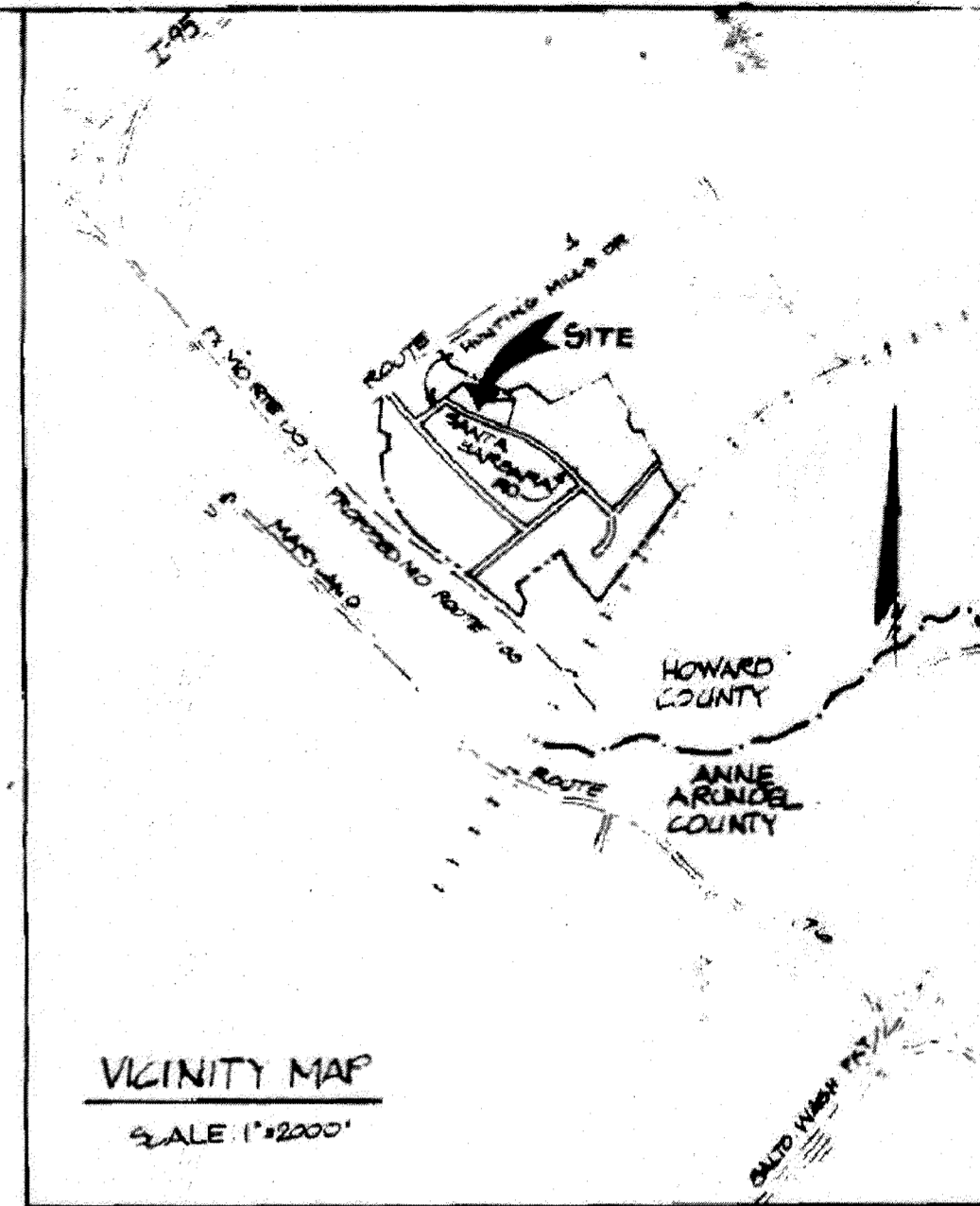
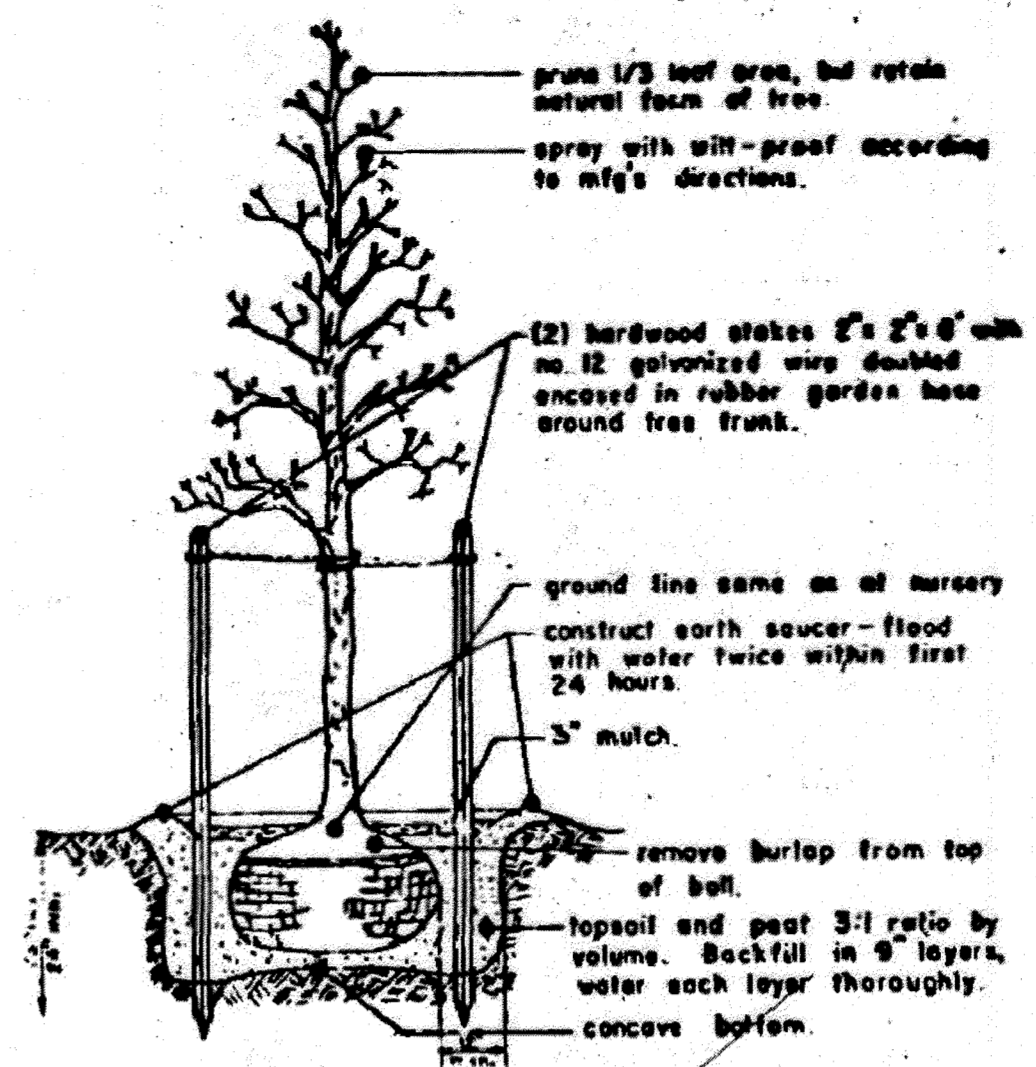
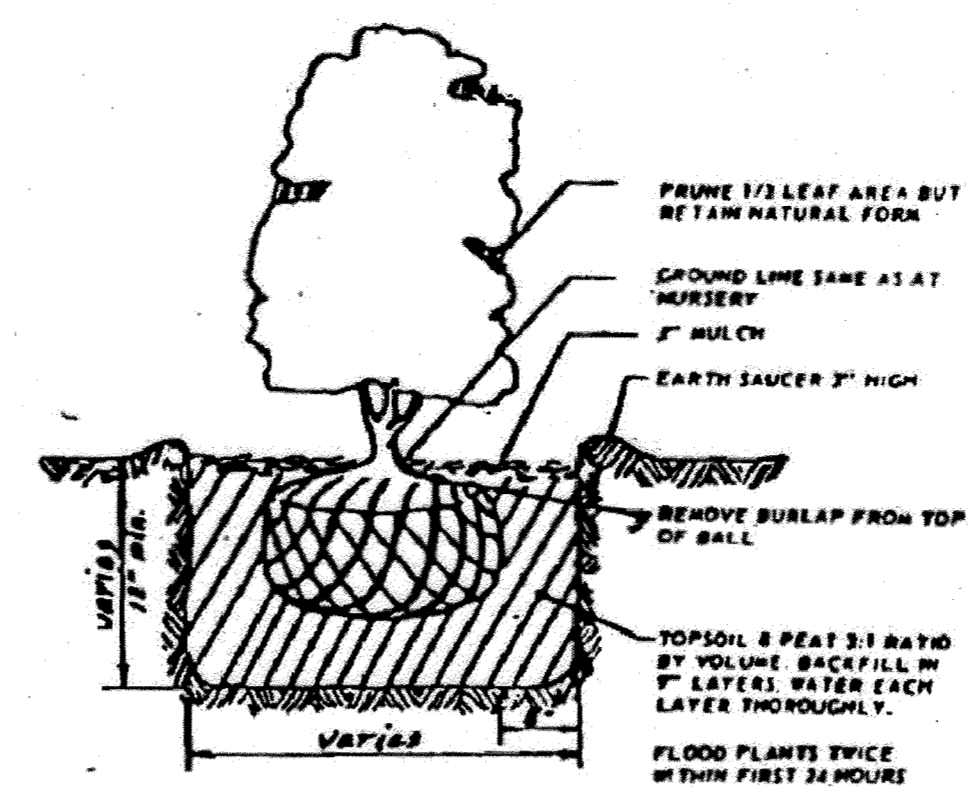
04/18/85 REVISED SITE DEVELOPMENT PLAN  
MILB County Comments

*[Signature]*  
DATE 11/11/85



PLANTING SCHEDULE			
KEY	BOTANICAL - COMMON NAME	QTY.	SIZE
C	Corvus Florida - Flowering Dogwood	7	7'8 HT
A	Fraxinus Pennsylvanica - Land-Marshal's Ash	14	2 2/3 CAL.
M	Morus sp - Radiant - Radiant Crabapple	18	7'8 HT
P	Pinus Strobus - E. White Pine	19	8'-10 HT
S	Spirea X Vanhoutte - Vanhoutte Spirea	12	2 1/2' 3 SPD

SCHEDULE A - PERIMETER LANDSCAPE EDGE								
PERIMETER	CATEGORY PROPERTIES/ROADWAYS	LANDSCAPE EDGE TYPE	LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	SHADE TREES REQUIRED (1:50)	EVERGREEN TREES REQUIRED (1:40)	SHADE TREES PROVIDED	EVERGREEN/ORNAMENTAL TREES PROVIDED
P1	NON-RESIDENTIAL	B	218 LF	NO, 218 LF	5	6	6	9



PREPARED BY: ANDREW STREAGLE, RLA  
STATE OF MARYLAND  
REGISTERED LANDSCAPE ARCHITECT  
REGISTRATION NO. 3381

SIGNATURE: *Andrew Streagle*

DEVELOPER'S/BUILDER'S CERTIFICATE  
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE LANDSCAPE MANUAL. I/FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANTING MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

SIGNATURE OF DEVELOPER (PRINT NAME BELOW): *Timothy L. Barr*  
DATE: 04/18/2023

APPROVED  
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE: 4-1-85  
- MA HARRIS

APPROVED: *John W. Mumford* 6/21/85  
COUNTY HEALTH DEPARTMENT  
OFF. CER.

APPROVED: *Thomas J. Quinn* 6-25-85  
PLANNING DIRECTOR  
HOWARD COUNTY OFFICE OF PLANNING AND ZONING

APPROVED: *John W. Mumford* 6-25-85  
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION

APPROVED: *John W. Mumford* 6-25-85  
DIRECTOR  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

APPROVED: *William B. Raley* 6-18-85  
CHIEF, BUREAU OF ENGINEERING

20' BUILDING SETBACK LINE PER BA-21-042 AND ONLY APPLIES TO THE PETITION AND VARIANCE SUBMITTED TO THE HEARING EXAMINER

HOWARD COUNTY  
SETTLEMENT CONTROL AND POND CONSTRUCTION  
SIGNATURE BLOCKS

By the Developer:  
"I certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project. I will provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion."

*Martin Vernon* 6-6-85  
Signature of Developer  
Print name below signature  
MARTIN VERNON, GENERAL PARTNER

These plans have been revised for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

*James M. Helms* 6-18-85  
Soil Conservation District

These plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.

*Robert W. Zickus* 6-18-85  
Howard Soil Conservation District

By the Engineer:  
"I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he must provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion."

*Gerald P. Margolis* 6/6/85  
Signature of Engineer  
Print name below signature

OWNER / DEVELOPER  
MAROJOT LIMITED PARTNERSHIP  
C/O GREN SALES INC  
17 CHELSEA HOUSE, 2411 CROFTON LANE  
CROFTON, MD 21114

CONSTRUCTION MANAGER  
SIMONS BUILDERS INC  
515 E JOPPA ROAD  
BALTO MD 21204

- 4 GENERAL NOTES
- AREA OF SITE - 2.83 AC ±
  - EXISTING ZONING OF SITE - M-2
  - DEED REFERENCE
  - PUBLIC WATER & SEWER ARE AVAILABLE
  - TAX MAP 37, BLOCK D, PARCEL A
  - PARKING
  - SITE ANALYSIS
    - REQUIRED OPEN SPACE - 0.87 AC ± 30%
    - PROPOSED OPEN SPACE - 0.76 AC ± 26%
    - BUILDING COVERAGE - 0.47 AC ± 16%
    - PROPOSED USE - CHURCH - 0.61 AC ± 22%
    - ALL EXTERIOR LIGHTING SHALL BE DIRECTED AWAY FROM ADJACENT PUBLIC ROADS
- PER HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D.7.G, RELIGIOUS FACILITY = 10 SPACES PER 1000 SF OF ASSEMBLY (WORSHIP) SPACE. 5,395 ASSEMBLY SF = 54 SPACES, TOTAL REQUIRED = 54 SPACES.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Paul D. Foye* 5-1-23  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Jan* 5/2/23  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*BT* 5/3/23  
DIRECTOR DATE

SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL ID
RT 100 BUSINESS PARK	BLOCK 'D'	'A'
PLAT # OR L/P	BLOCK #	ZONING
PLAT #26300	'D'	M-2
TAX / ZONE MAP	ELEC. DIST.	CENSUS TR.
37	181	6012
WATER CODE	SEWER CODE	

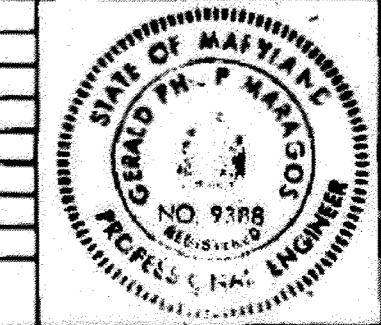
ADDRESS CHART	
LOT N°	STREET ADDRESS
PARCEL 'A'	6615 SANTA BARBARA ROAD

DESIGNED M E B	PLANTING PLAN ROUTE ONE HUNDRED BUSINESS PARK BLOCK 'D' PARCEL 'A' 18' ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 30'
DRAWN M E B		DRAWING
CHECKED G M S		JOB #
DATE		FILE #

EVANS, HAGAN & HOLDEFER, INC.  
ENGINEERS, LAND PLANNERS & SURVEYORS  
8015 BELAIR ROAD, BALTIMORE MD 21286

DATE: 12/1/84 SCALE: 1" = 30'




DATE: 12/1/84 SCALE: 1" = 30'

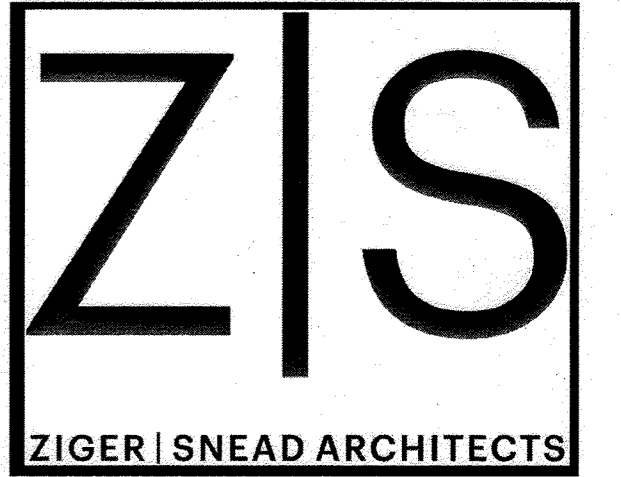
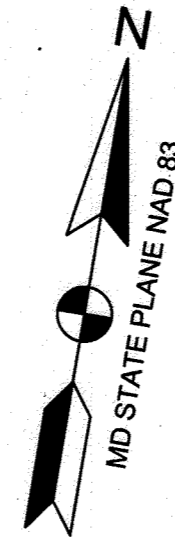


*Gerald P. Margolis*  
DATE: 12/1/84 SCALE: 1" = 30'



APPROVED: DEPARTMENT OF PLANNING AND ZONING

 5/1/23  
 CHIEF, DEVELOPMENT/ENGINEERING DIVISION DATE  
 5/1/23  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE  
 5/3/23  
 DIRECTOR DATE



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443.691.2120

**LAND USE LAWYER**  
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Greenberg LLP  
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abaker@rosenbergmartin.com

**MECHANICAL ENGINEER**  
Burdette, Koehler, Murphy &  
Associates  
6300 Blair Hill Lane  
Baltimore, MD 21209  
410.323.0600

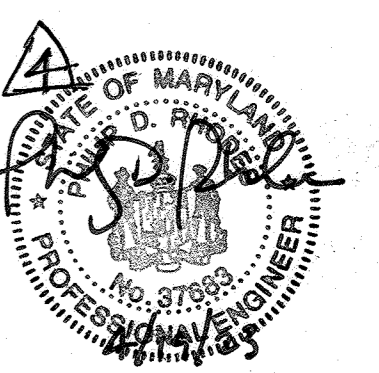
**CIVIL ENGINEER**  
A. Morton Thomas and Associates Inc.  
901 Dulamey Valley Rd #710  
Towson, MD 21284  
410.752.6552

**OTHER CONSULTANT**  
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**Addition & Renovation**

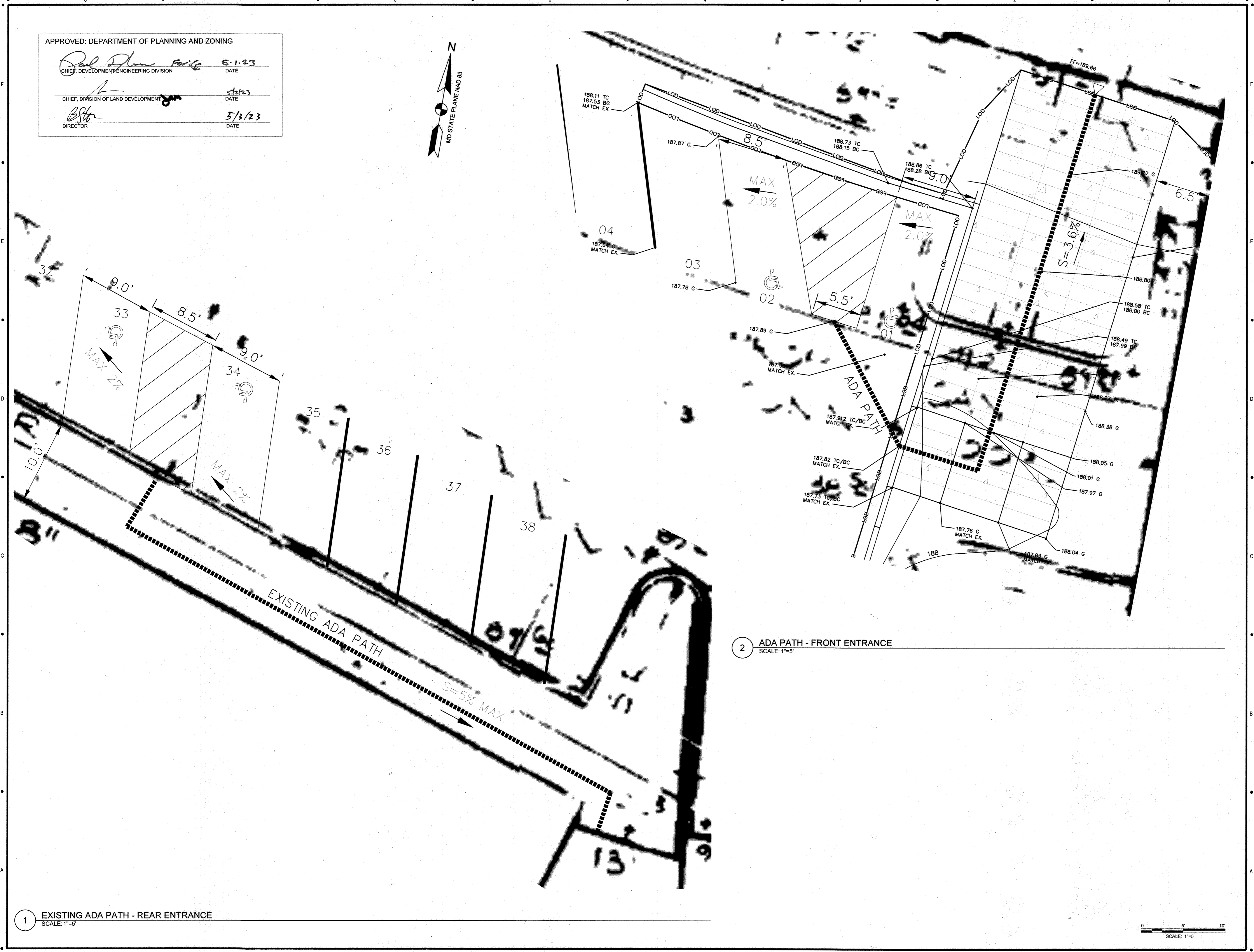
Agape Mission Church  
6615 Santa Barbara Rd  
Elkridge, MD 21075



Professional Certification:  
I hereby certify that these documents were prepared or approved by  
me, and that I am a duly licensed engineer under the laws of the State  
of Maryland, license number 37683, expiration date 7/13/2023.

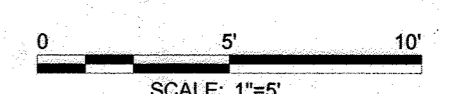
18 April 2023 Revised Site Development Plan  
PROJECT NUMBER: ZIS Project Number: 2108

**ADDITIONAL SITE DETAILS  
ADA PATHS**



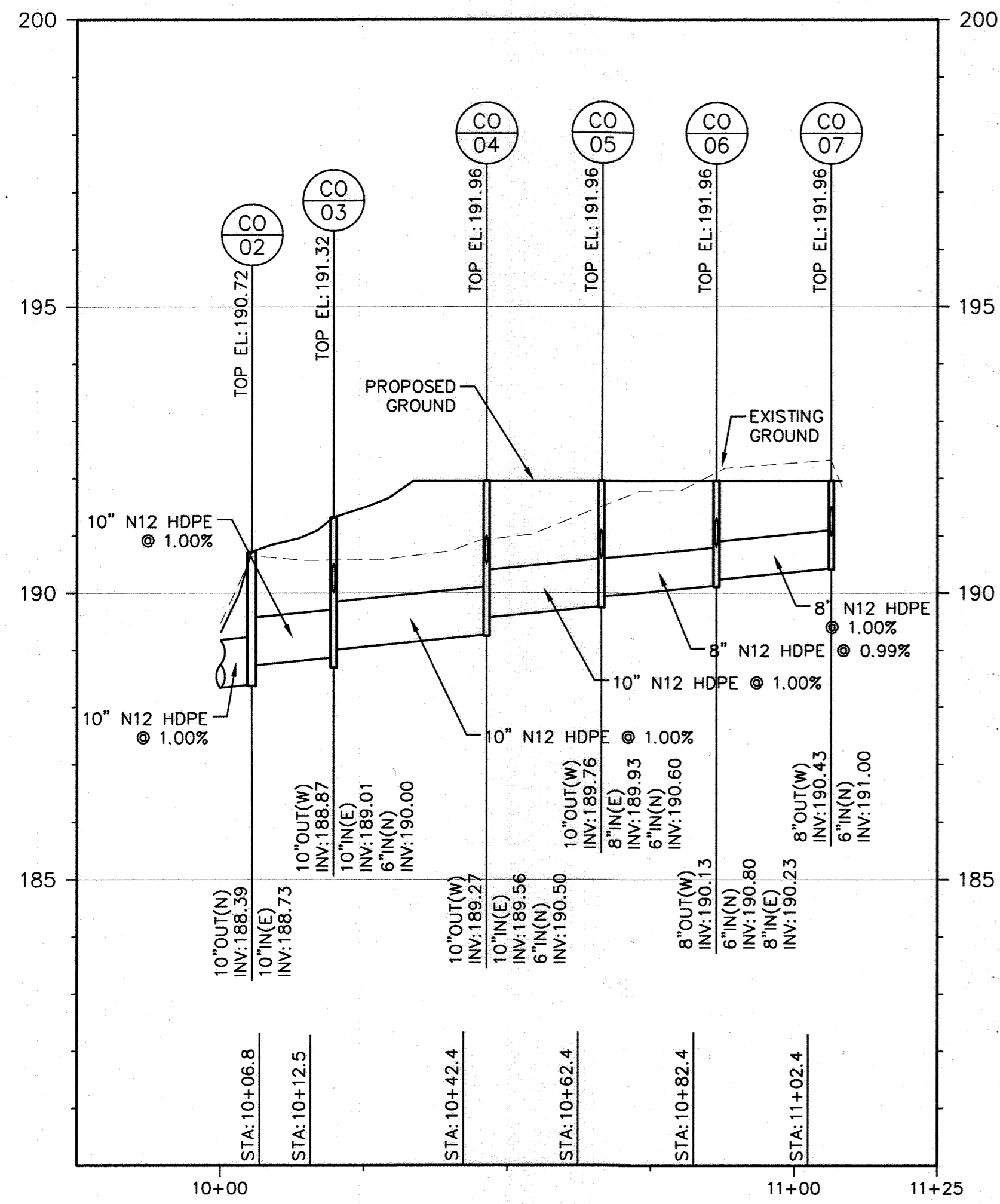
1 EXISTING ADA PATH - REAR ENTRANCE  
SCALE: 1"=5'

2 ADA PATH - FRONT ENTRANCE  
SCALE: 1"=5'

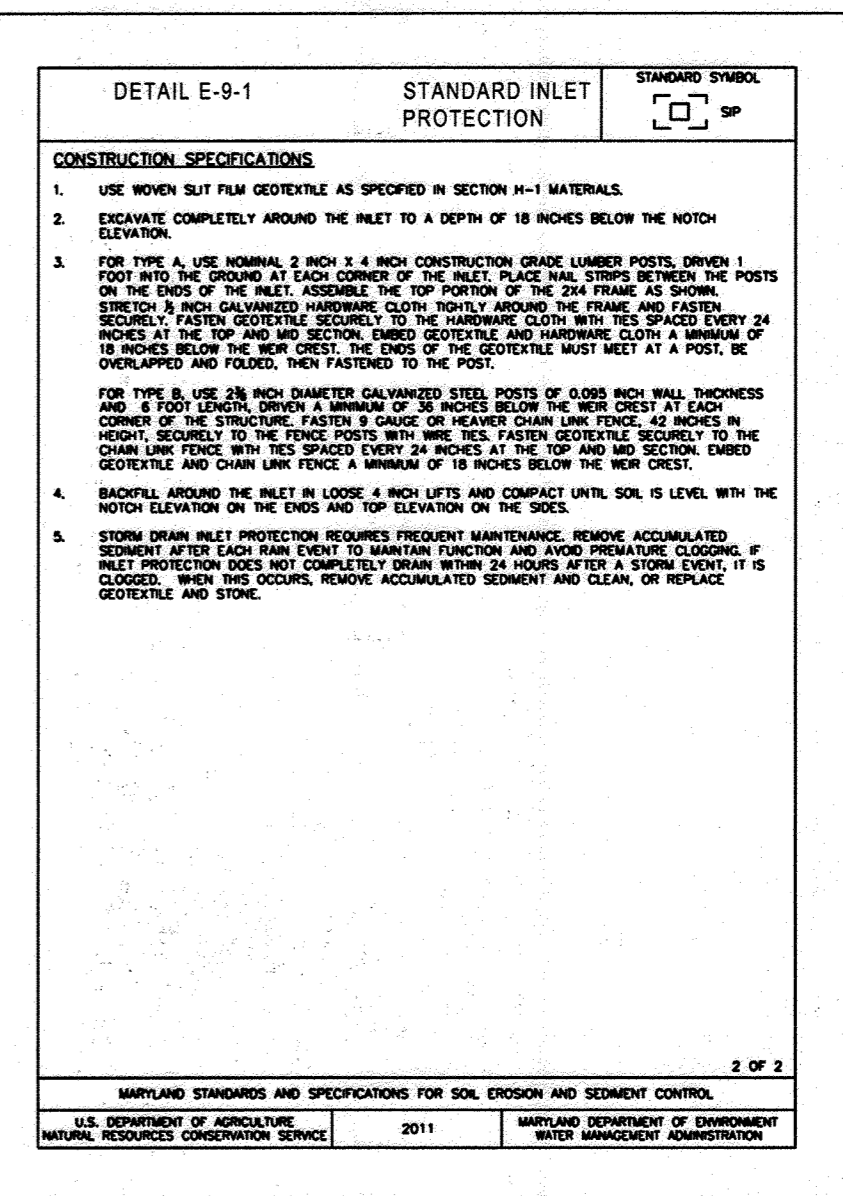
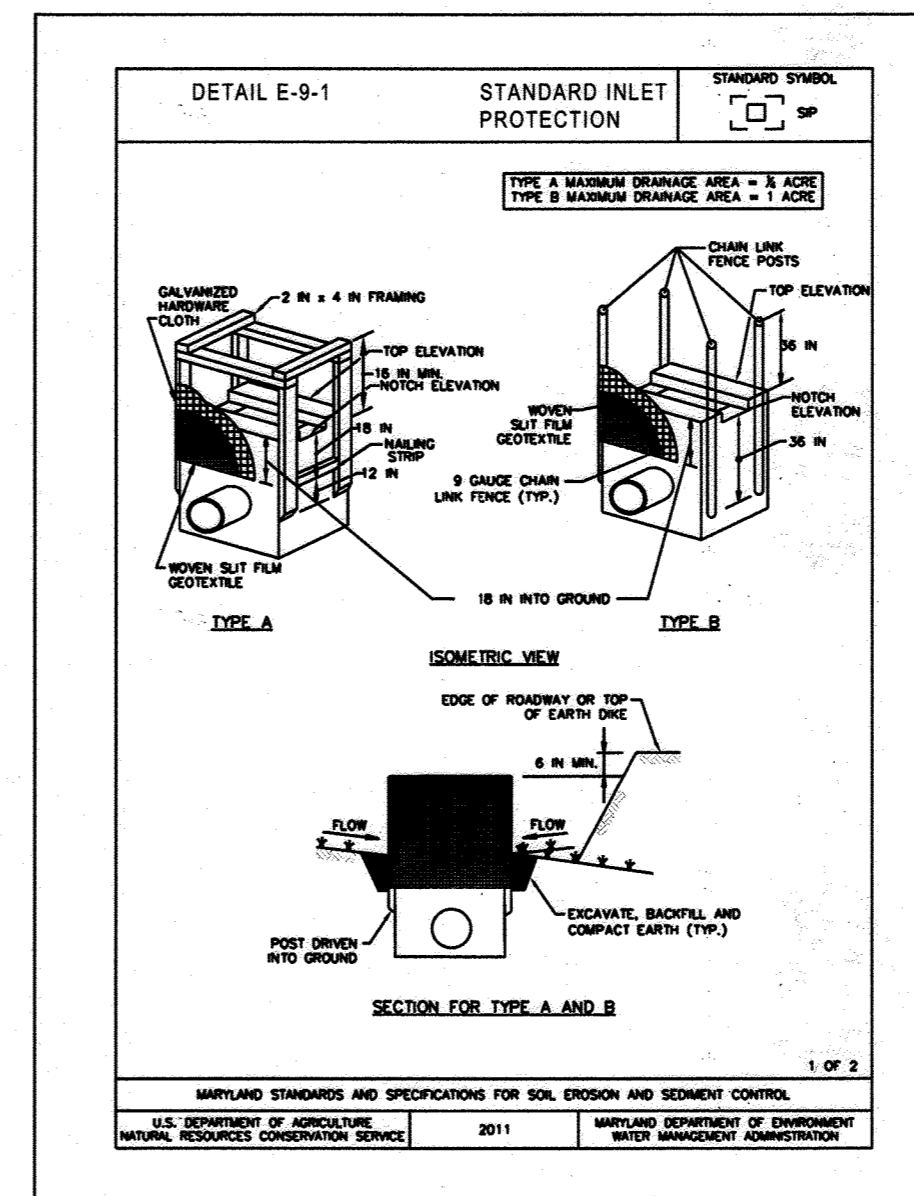
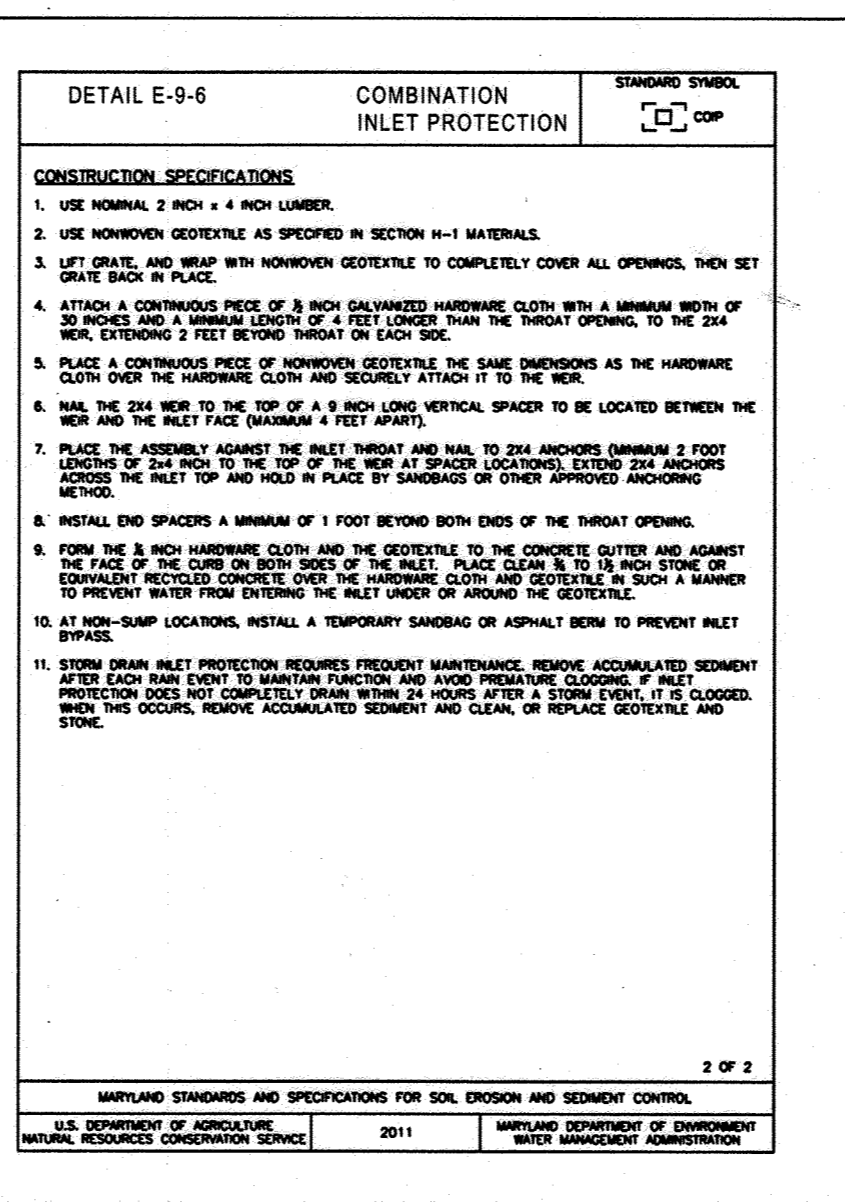
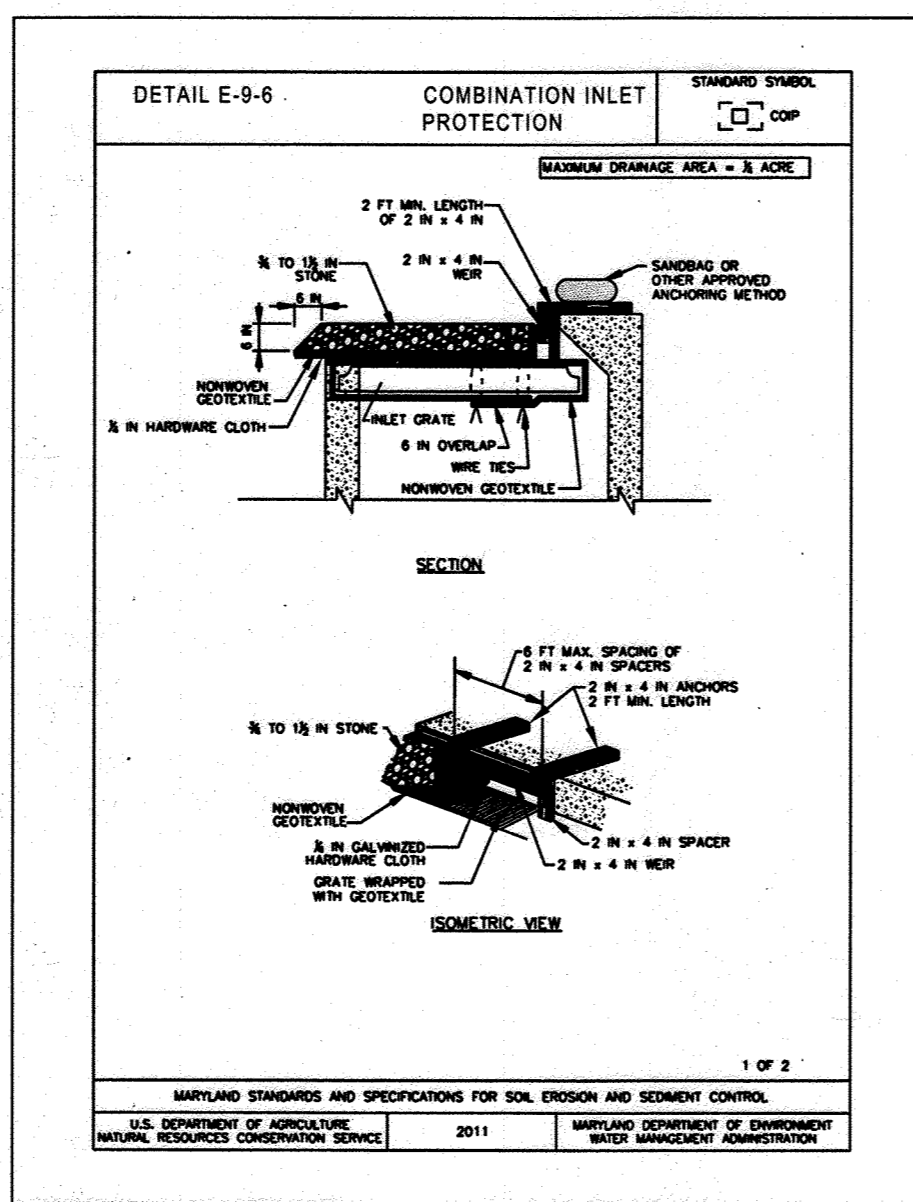
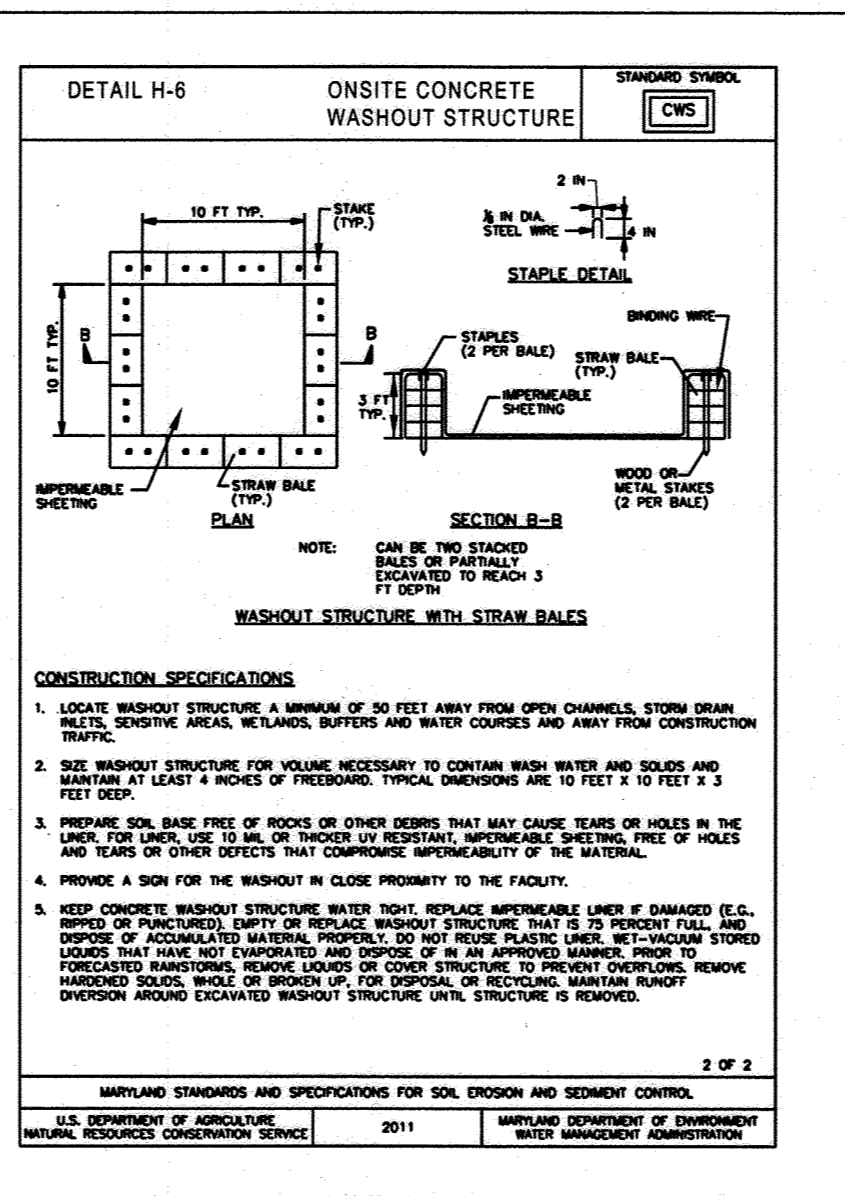
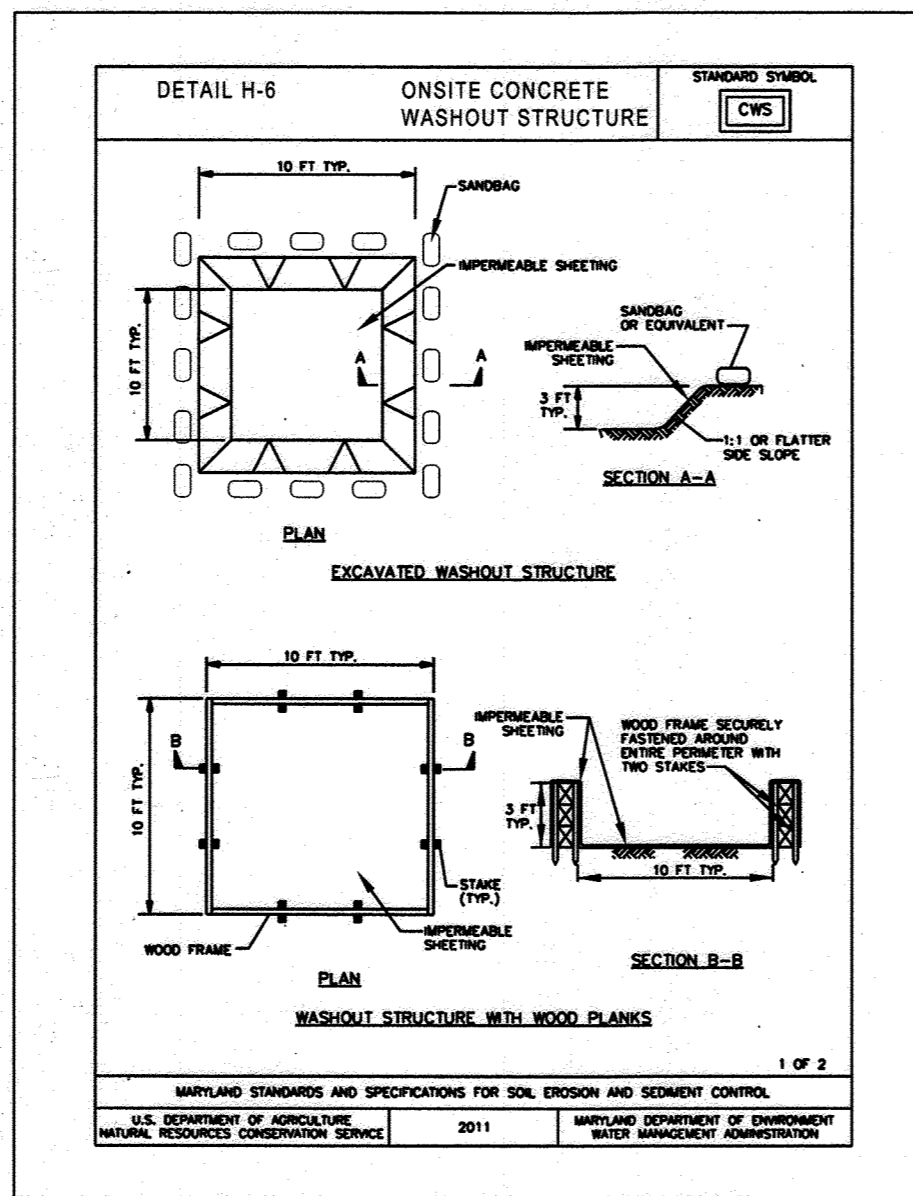


2/10/2022 1:00:36 PM





MITERED OUTLET DRAIN TO CLEANOUT 07  
SCALE: HORIZ 1"=20'  
VERT 1"=2'



~~THIS DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.~~  
~~HOWARD SOIL CONSERVATION DISTRICT~~  
~~not required by SCD/AB~~

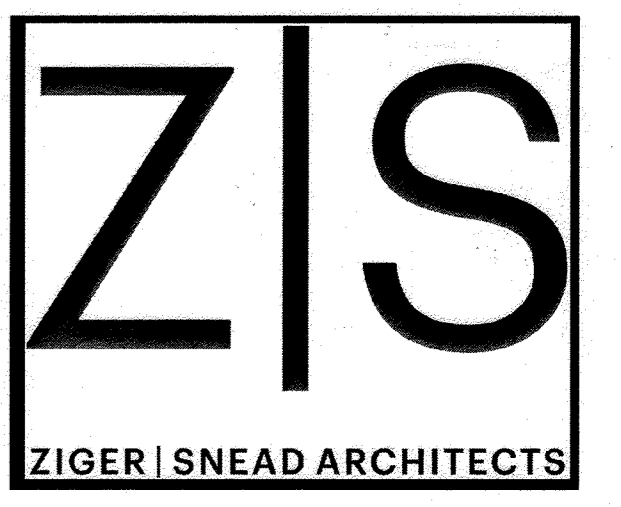
GENERAL NOTES REGARDING BA-21-042

- APPROVED JUNE 14, 2022
- GRANTED
- REDUCTION IN MINIMUM SETBACK FOR STRUCTURES AND USES FROM ANY INTERNAL PUBLIC STREET RIGHT-OF-WAY, FROM 50 FT TO 20 FT.
- CONDITIONALS OF APPROVAL
  - VARIANCE SHALL APPLY ONLY TO THE USE AS DESCRIBED IN THE PETITION.
  - PETITIONER SHALL OBTAIN ALL NECESSARY PERMITS.
  - A REVISION PLAT WILL BE REQUIRED TO REVISE THE STRUCTURE AND USE SETBACK, AS WELL AS TO ADD A 30' PARKING SETBACK TO COMPLY WITH CURRENT ZONING REGULATIONS.
  - A REDLINE REVISION TO THE SITE DEVELOPMENT PLAN (SDP).
  - THE PURPOSE OF THE EXPANSION SHOULD BE IDENTIFIED ON THE RED LINE REVISION OF THE SITE DEVELOPMENT PLAN.
  - THE MODIFIED SETBACK MUST BE IDENTIFIED ON THE REVISION PLAT AND THE REDLINED SDP PLAN.
  - UPDATE THE ROAD NAME ON THE NORTHWEST BORDER TO SELNICK DRIVE ON THE REVISION PLAT AND RED LINE REVISION.
  - FOREST CONSERVATION MAY BE REQUIRED.
- REVISED PARKING CHART
- ADDITIONAL SITE DESIGN COMMENTS MAY ARISE WITH THE REVIEW OF THE RED LINE SUBMISSION BY THE DIVISION LAND DEVELOPMENT OR OTHER SUBDIVISION REVIEW COMMITTEE (SRC) AGENCIES.

ADDITIONAL SDP NOTES

THE SUBJECT PROPERTY IS ZONED M-2 PER THE OCTOBER 6, 2013 COMPREHENSIVE ZONING PLAN.  
NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS STREAM(S), OR THEIR REQUIRED BUFFERS, FLOODPLAINS AND FOREST CONSERVATION EASEMENT AREAS.

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Paul J. Forre* 5-1-23  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE  
*Jon* 5/2/23  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE  
*B. J. [Signature]* 5/3/23  
DIRECTOR DATE



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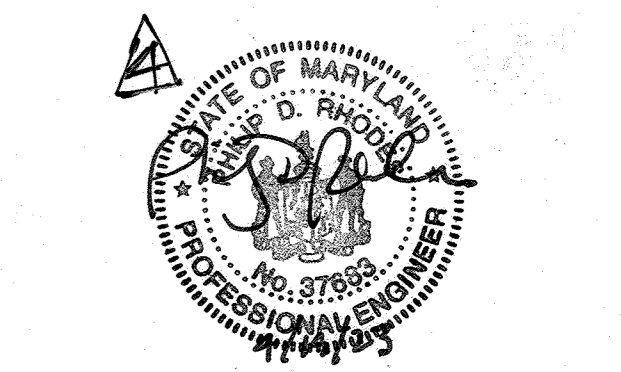
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Addition & Renovation

Agape Mission Church  
6615 Santa Barbara Rd  
Elkridge, MD 21075



Professional Certification:  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed engineer under the laws of the State of Maryland, license number 37683, expiration date 7/13/2023.

18 April 2023 Revised Site Development Plan  
PROJECT NUMBER: ZIS Project Number: 2108

ADDITIONAL SITE DETAILS



PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	AG	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / 'AUTUMN BRILLIANCE' SERVICEBERRY	B&B		6'-8" H	2
	IP	ILEX OPACA 'JERSEY PRINCESS' / JERSEY PRINCESS HOLLY	B & B		6'-8" H	6
	MG	MAGNOLIA GRANDIFLORA 'LITTLE GEM' / 'LITTLE GEM' SOUTHERN MAGNOLIA	B & B		6'-8" H	9
	NS	NYSSA SYLVATICA / SOUR GUM	B & B	2" CAL		6
	OA	OXYDENDRUM ARBOREUM / SOURWOOD TREE	B & B	2" CAL		1
SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT			
	AC	ARONIA MELANOCARPA 'IROQUOIS BEAUTY' / 'IROQUOIS BEAUTY' BLACK CHOKEBERRY	3 GAL			9
	CS2	CEPHALANTHUS OCCIDENTALIS 'SUGAR SHACK' / BUTTONBUSH	3 GAL			9
	CH	CLETHRA ALNIFOLIA 'HUMMINGBIRD' / SUMMERSWEET	3 GAL			20
	CR	CLETHRA ALNIFOLIA 'RUBY SPICE' / 'RUBY SPICE' CLETHRA	3 GAL			2
	HRS	HYDRANGEA QUERCIFOLIA 'RUBY SLIPPERS' / 'RUBY SLIPPERS' HYDRANGEA	3 GAL			16
	IM	ITEA VIRGINICA 'MERLOT' / 'MERLOT' VIRGINIA SWEETSPIRE	3 GAL			18
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	CONT			
	BNM	BIORETENTION NATIVE MIX / SEE PLANT LIST FOR MIX COMPONENTS PLANT SPECIES IN DRIFTS OF 11 TO 23	1 QT		18" o.c.	265
	TS	TURF SOD / DROUGHT TOLERANT FESCUE BLEND	SOD			7,091 SF
NON-VEGETATIVE GROUND COVERING	CODE	BOTANICAL / COMMON NAME	CONT			
	MU	MULCH	AREA			436 SF
	RG	RIVER GRAVEL	AREA			27 SF

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 5/1/23  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 5/1/23  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 5/3/23  
 DIRECTOR DATE

### Figure C-2: Forest Conservation Worksheet

FOREST CONSERVATION WORKSHEET FOR *Agape Mission Church, Within LOD*

Appendix C  
FORMS AND WORKSHEET

Net Tract Area  
 A. Total (Gross) Tract Area A = 0.42 AC  
 B. Area within 100-year Floodplain B = 0.0  
 C. Other Deductions (Identify: Existing paved area) C = 0.26 AC  
 D. Net Tract Area D = 0.16 AC

Land Use Category  
 Insert the number "1" under the appropriate land use (limit to only one entry)

Resid.	Resid.	Resid.	Inst./	Retail/Ind./	Mixed Use/
Rural LD	Rural MD	Suburban	Linear	Office	PUD
0	0	0	1	0	0

E. Afforestation Threshold (Net Tract Area x 15%) E = 0.02 AC  
 F. Reforestation Threshold (Net Tract Area x 20%) F = 0.03 AC

Existing Forest Cover  
 G. Existing Forest Cover within the Net Tract Area G = 0.0  
 H. Area of Forest above Afforestation Threshold H = 0.0  
 I. Area of Forest above Reforestation Threshold I = 0.0

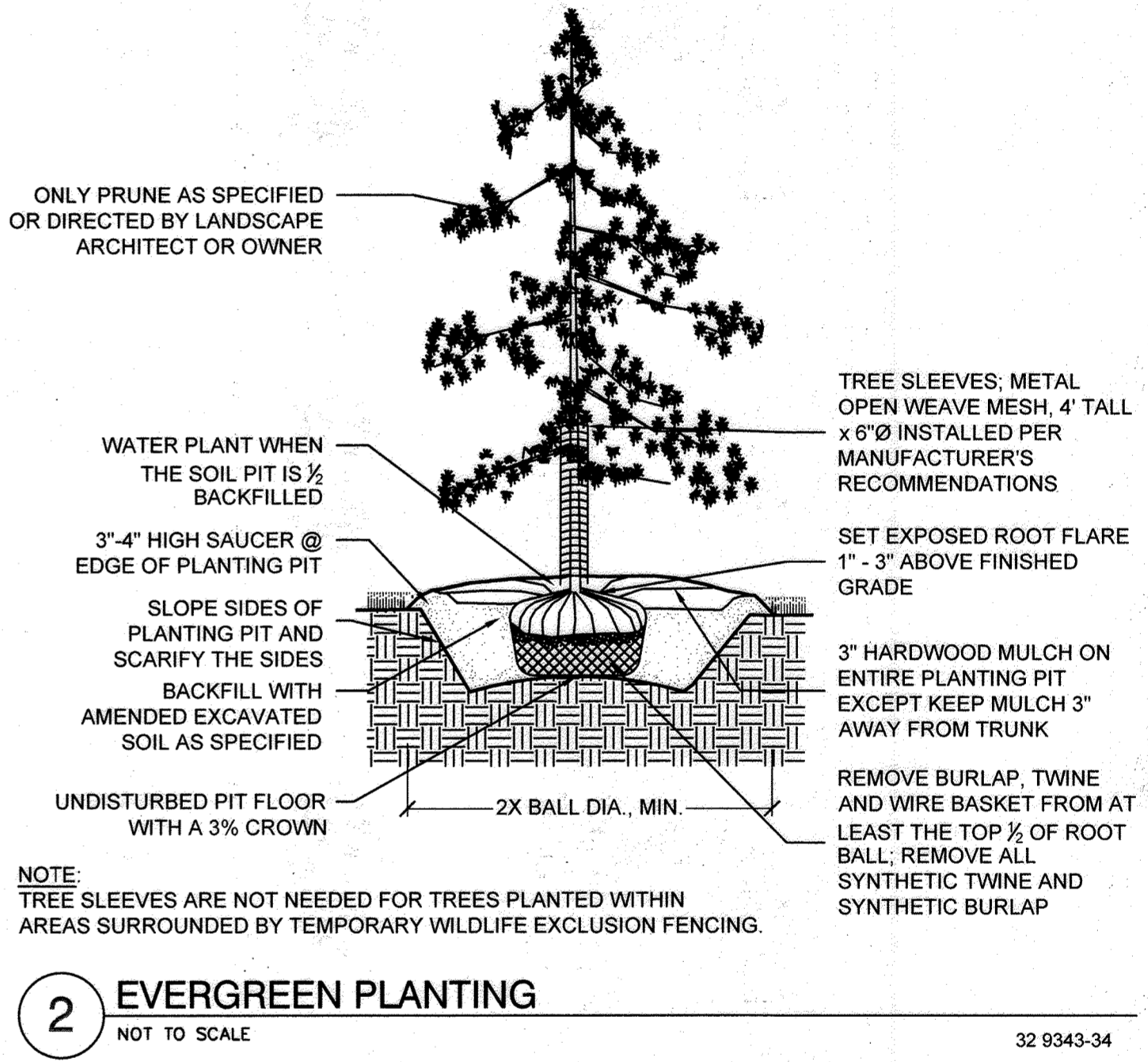
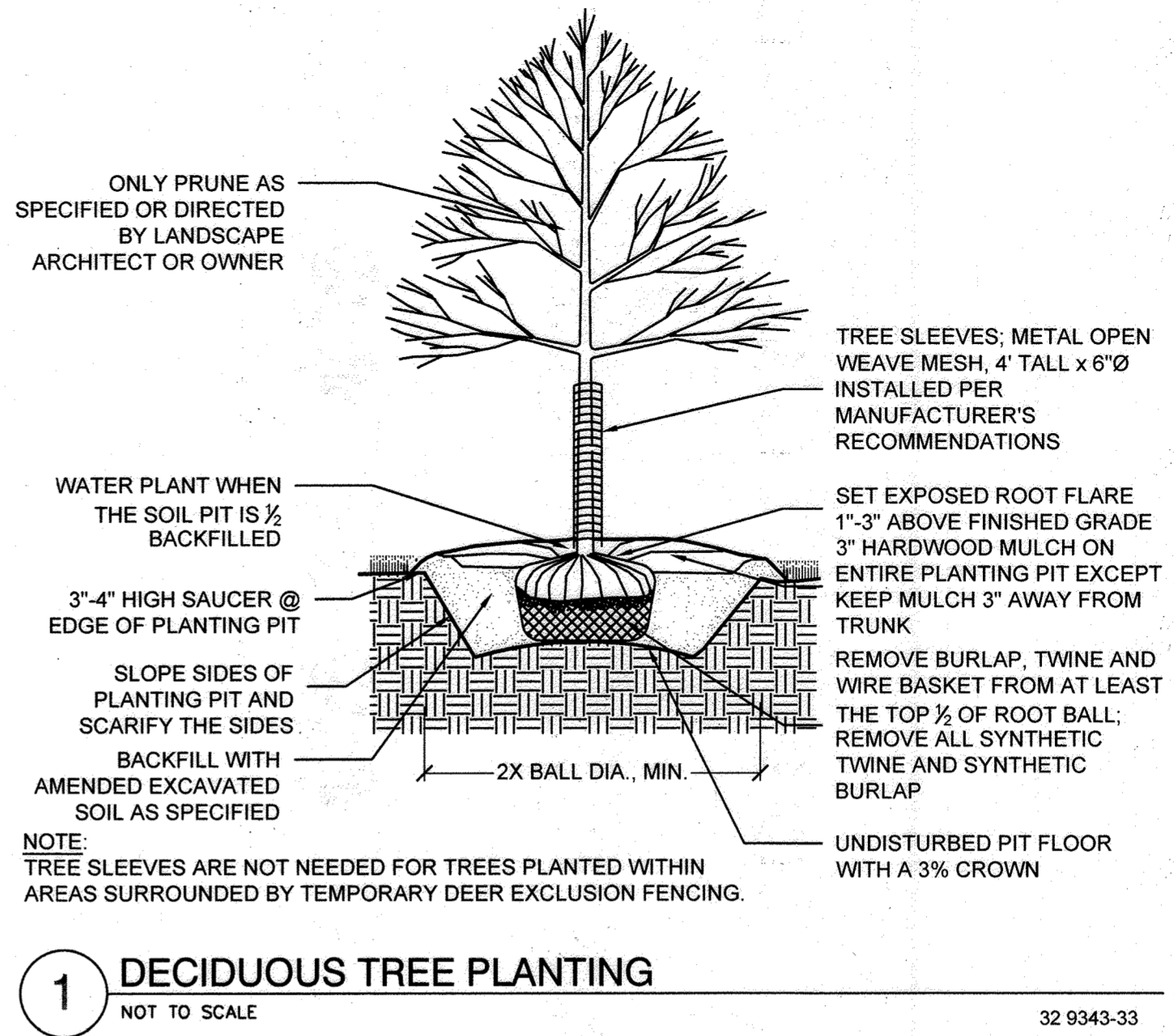
Break Even Point  
 J. Break Even Point J = 0.0  
 K. Forest Clearing Permitted without Mitigation K = 0.0

Proposed Forest Clearing  
 L. Total Area of Forest to be Cleared L = 0.0  
 M. Total Area of Forest to be Retained M = 0.0

Planting Requirements Inside Watershed  
 N. Reforestation for Clearing above the Reforestation Threshold N = 0.0  
 P. Reforestation for Clearing below the Reforestation Threshold P = 0.0  
 Q. Credit for Retention above the Reforestation Threshold Q = 0.0  
 R. Total Reforestation Required R = 0.0  
 S. Total Afforestation Required S = 0.0  
 T. Total Reforestation and Afforestation Requirement T = 0.0  
 U. 75% of Total Obligation (Retention + Planting) U = 0.0  
 V. Planting Required Onsite to meet 75% Obligation V = 0.0

Planting Requirements Outside Watershed  
 W. Total Planting within Development Site Watershed W = 0.12 AC  
 X. Total Afforestation Required X = 0.0  
 Y. Remaining Planting within Watershed for Reforestation Credit Y = 0.0  
 Z. Reforestation for Clearing above the Reforestation Threshold Z = 0.0  
 AA. Reforestation for Clearing below the Reforestation Threshold AA = 0.0  
 BB. Credit for Retention above the Reforestation Threshold BB = 0.0  
 CC. Total Reforestation Required CC = 0.0  
 DD. Total Afforestation and Reforestation Requirement DD = 0.0

Date: 05/27/2022

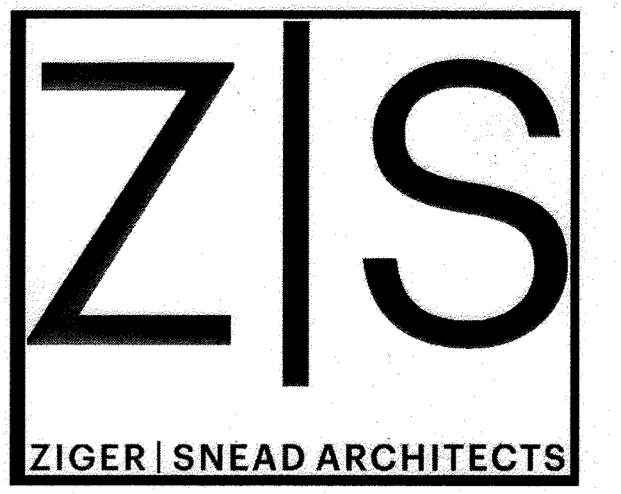
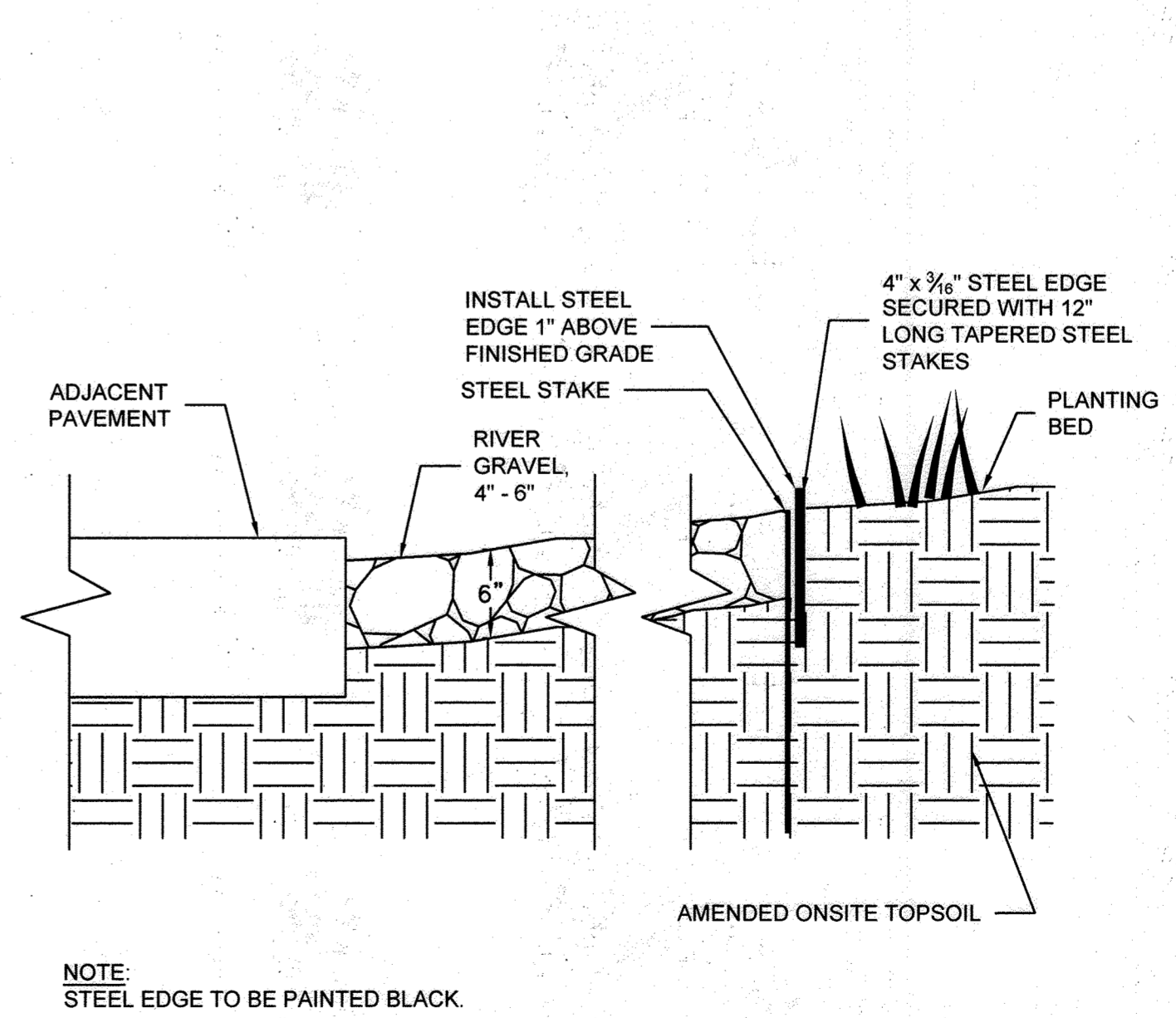
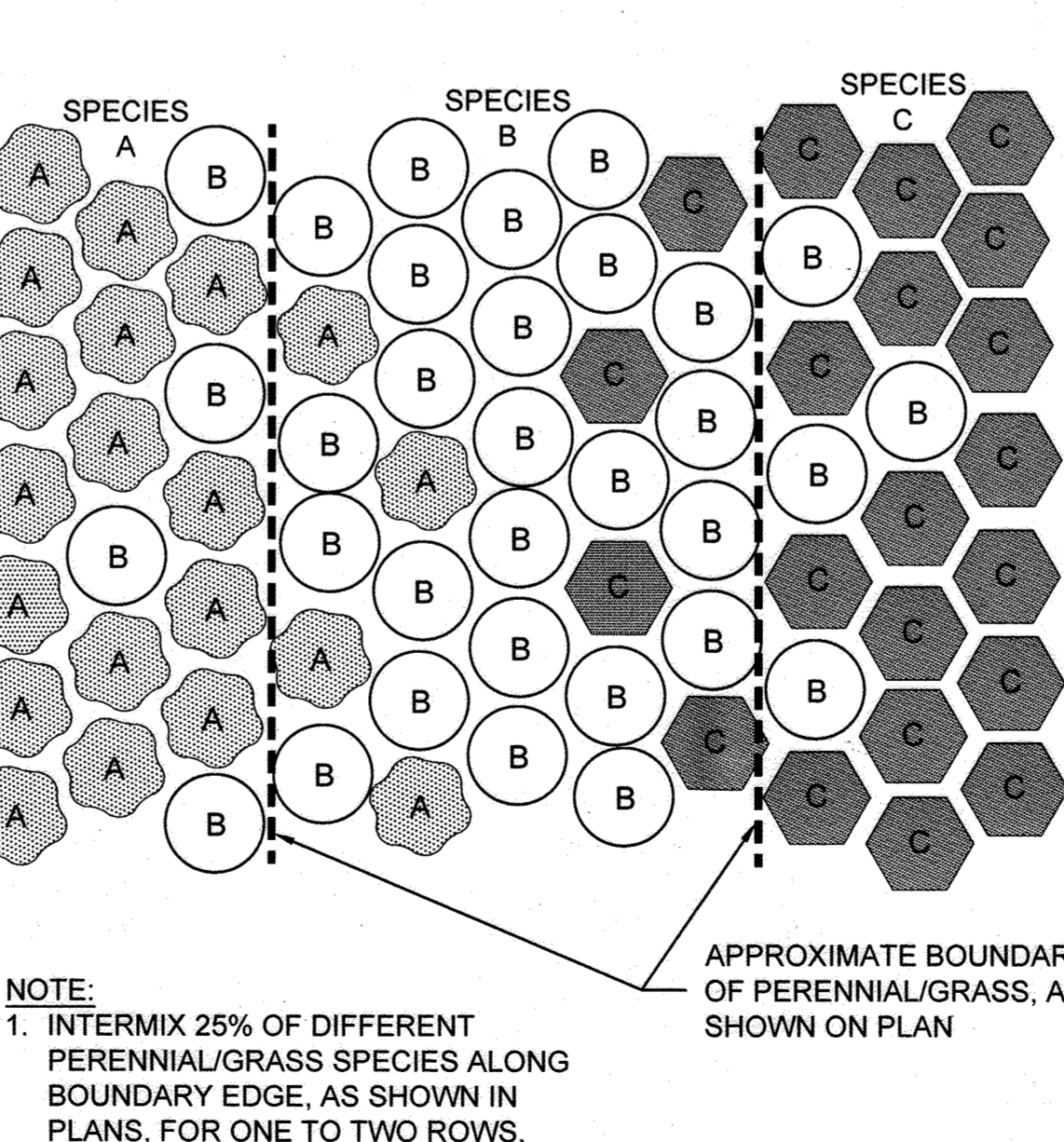
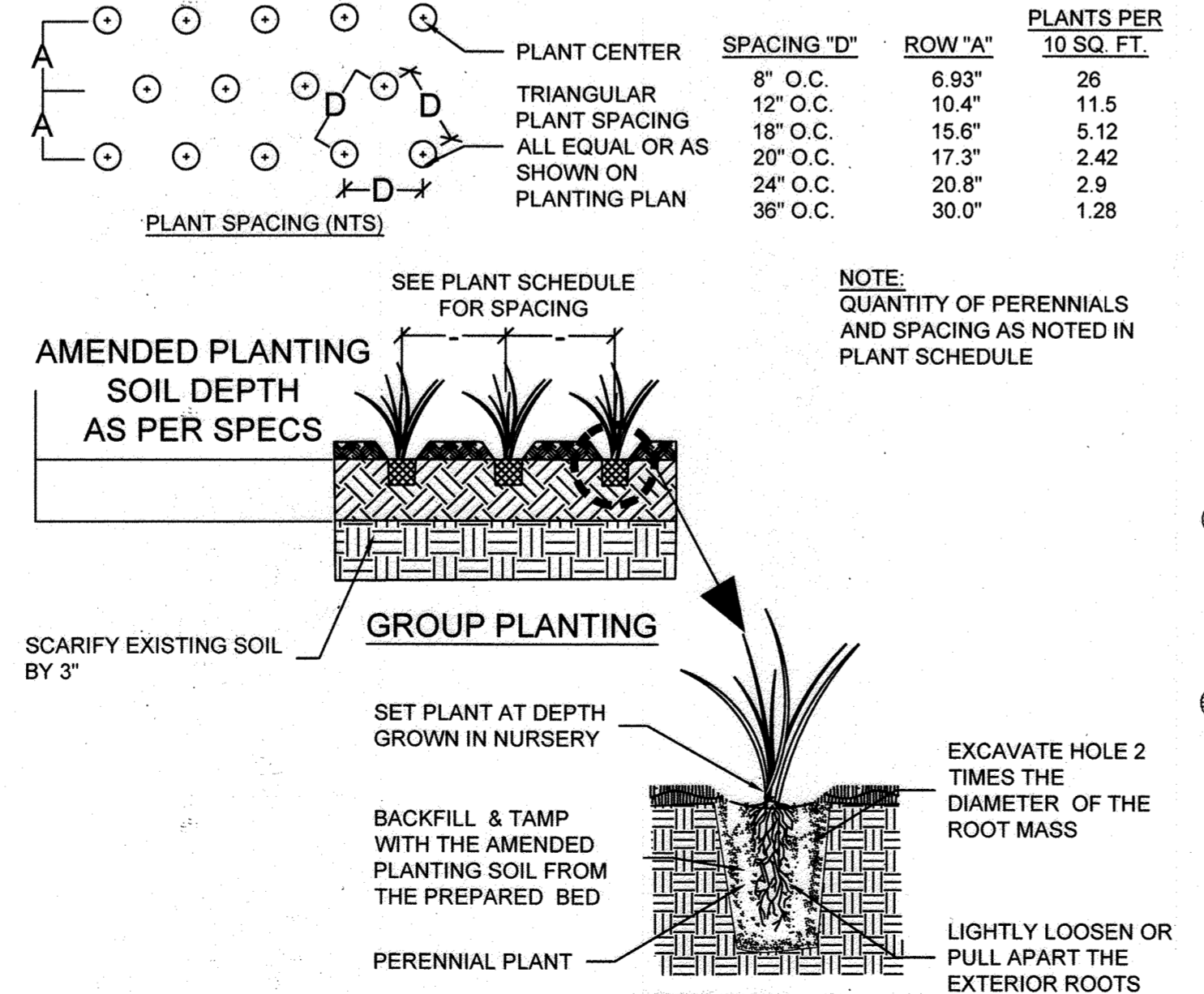
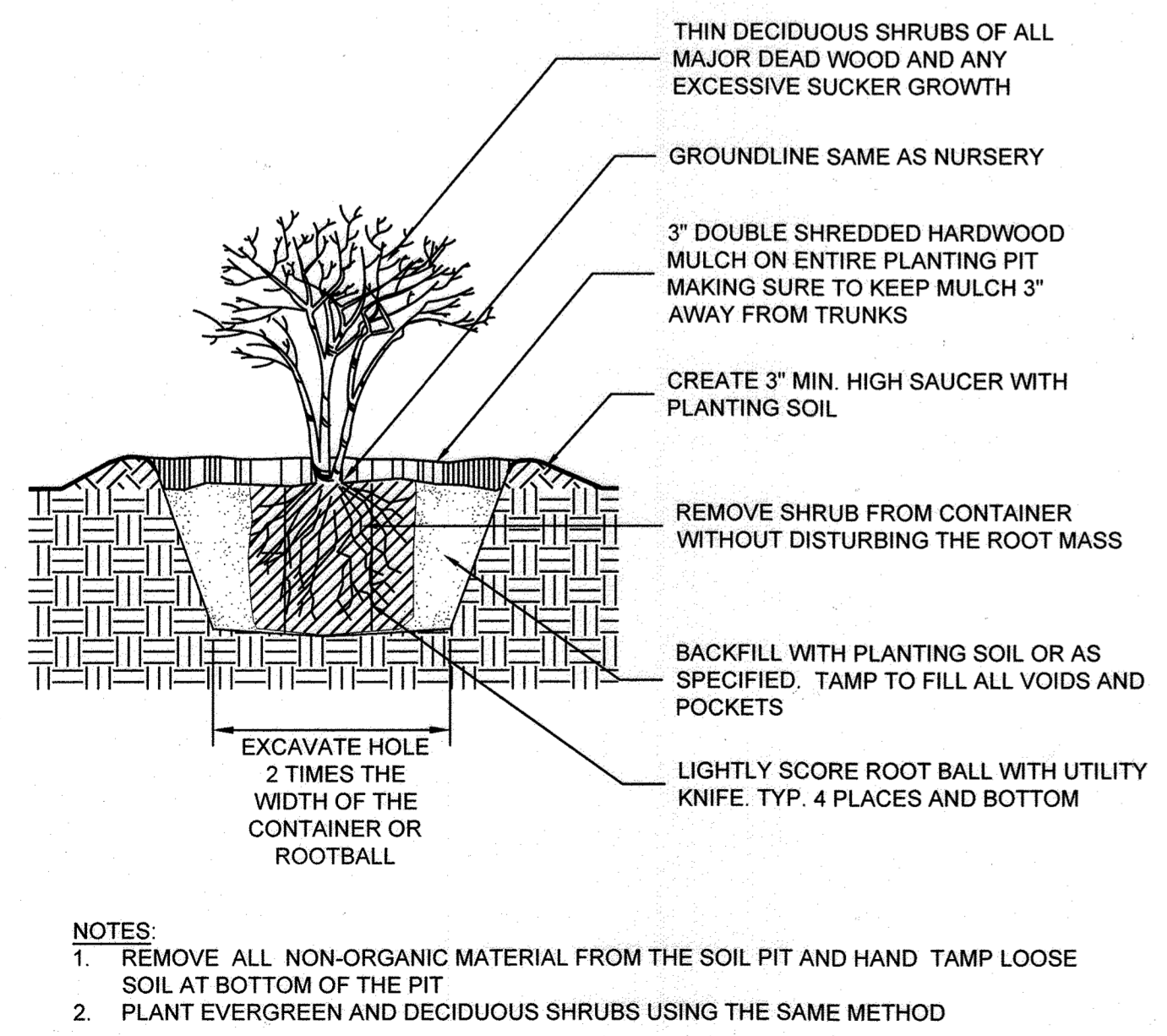


PREPARED BY: ANDREW STREAGLE, RLA  
 STATE OF MARYLAND  
 REGISTERED LANDSCAPE ARCHITECT  
 REGISTRATION NO. 3381

*[Signature]*  
 SIGNATURE

DEVELOPER'S/BUILDER'S CERTIFICATE  
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANTING MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

*[Signature]* 04/18/2023  
 SIGNATURE OF DEVELOPER (PRINT NAME BELOW) DATE



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 Elkridge, MD 21075

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18 April 2023  
 Revised Site Development Plan  
 PROJECT NUMBER: ZIS Project Number: 2108

LANDSCAPE DETAILS

10 OF 10