

CONSTRUCTION NOTES

1. During construction, access to the site shall be restricted to the S.C.E. shown on the plans.
2. Existing site paving shall be removed, site shall be repaved as shown on the plans.
3. Existing concrete and macadam pavement between the bldg. and Rte. 40 shall be removed. Area shall be stabilized with 2" of hardwood mulch placed on polyethylene vapor barrier and landscaped as shown.
4. Installation of traffic control devices, marking and signs shall be in accordance with the Manual of Uniform Traffic Control Devices, (1971 Edition).
5. Site lighting shall be directed downward and away from residential areas and adjoining properties.
6. See Electrical Dwg. for Lighting Specifications Poles and Luminaires shall be furnished and installed by the Electrical Contractor as shown.

CONSTRUCTION NOTES CONTINUED

7. It shall be distinctly understood that failure to mention specifically any work that would naturally be required to complete the project shall not relieve the contractor of his responsibility to perform such work.
8. All work and materials shown hereon shall be in accordance with the Occupational Safety and Health Act of 1970 and all rules and regulations thereto appurtenant.

HANDICAP RAMP NOTE

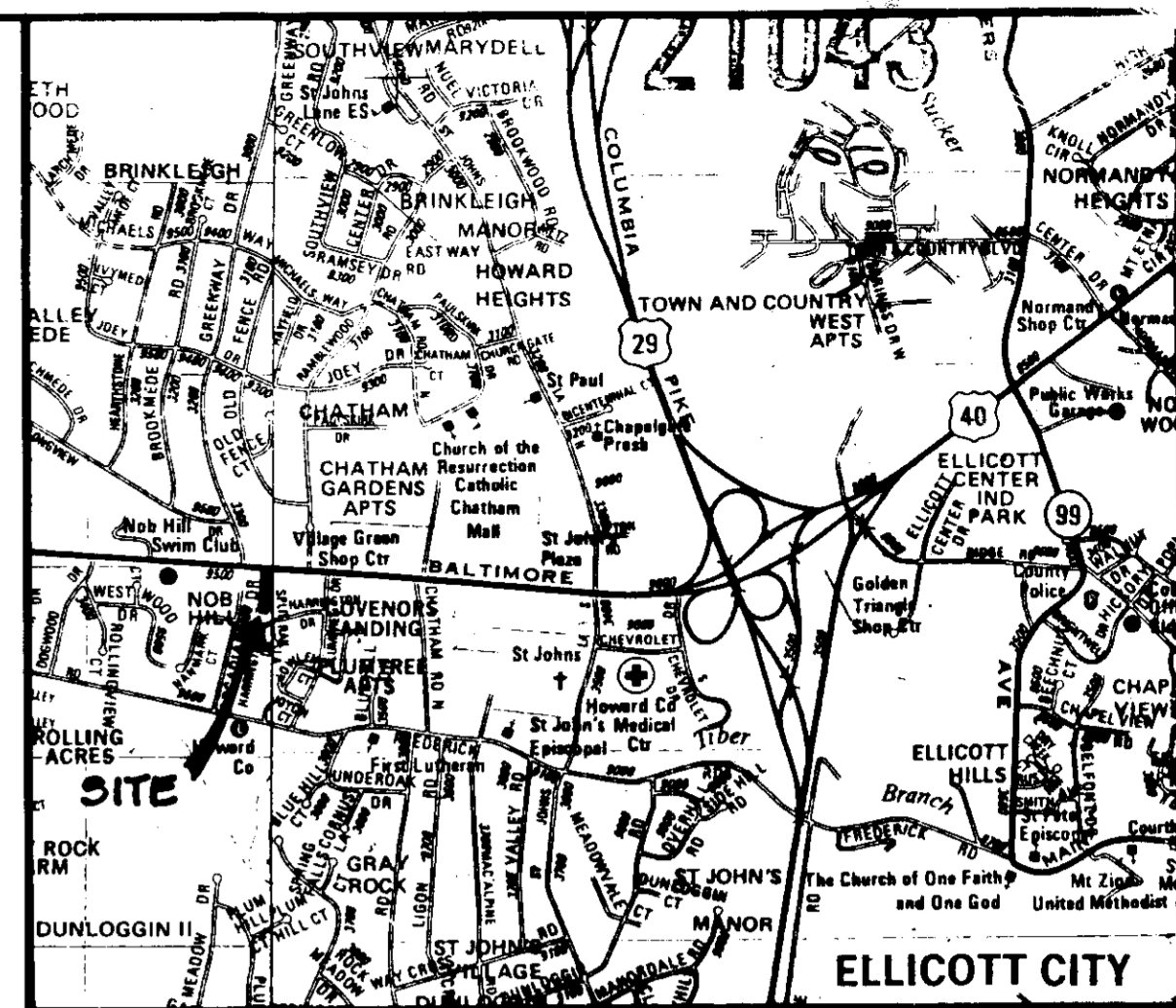
1. CONSTRUCT RAMP HGT = 0.20 (SEE PLAN). CONC. BARRIER CURB DERESSED AT RAMP FOR INPKR. SEE DETAIL RAMP SHT. 2.
2. VARY HGT OF CONC CURB ALONG REAR BLDG (FROM PAVMT TO TOP OF CURB)

SITE PAVING NOTES

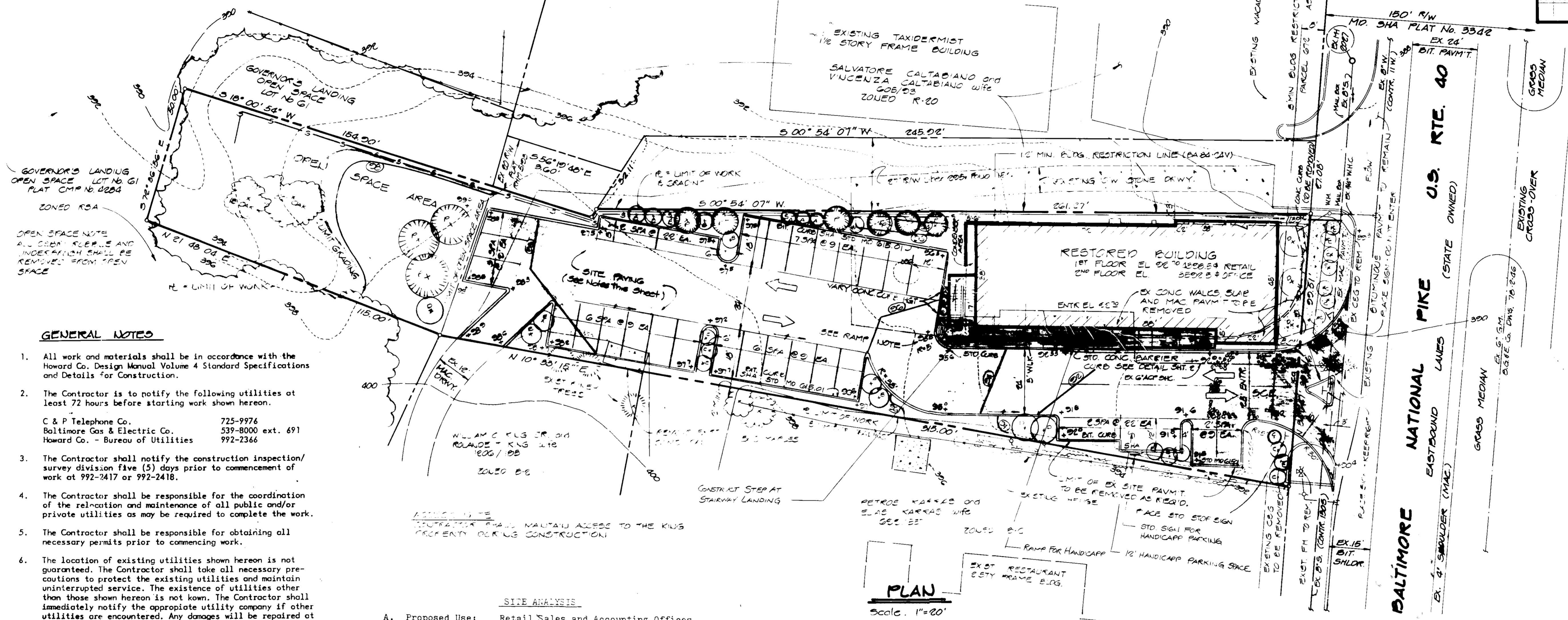
1. ALTERNATE NO. I - REMOVE EXISTING PAVEMENT AND RESURFACE SITE AS SHOWN HEREON AS PER SITE PAVING DETAIL (ALT NO I) SHEET NO 2
2. ALTERNATE NO. II - WHERE ELEVATIONS AND CONDITION OF EXISTING PAVMT. PERMIT CONTRACTOR SHALL RESURFACE EXISTING PAVMT. AS PER RESURFACING DETAIL (ALT NO II) SHEET NO 2. SUBJECT APPROVAL BY ENGR. IN FIELD.
3. PAVMT. ELEV'S (FINISH GRADE) ARE DESIGNED TO MATCH EXISTING PAVMT. - MAY BE ADJUSTED MEET SPECIFIC CONDITIONS.
4. POSITIVE DRAINAGE SHALL BE MAINTAINED TO RTE 40 UNDER ALL SITUATIONS.

SEDIMENT CONTROL NOTE

ADDITIONAL SEDIMENT CONTROL SHALL BE PROVIDED BY THE CONTRACTOR IF SO DIRECTED BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.



VICINITY MAP
Scale: 1" = 2000'



PLAN
Scale: 1" = 20'

GENERAL NOTES

1. All work and materials shall be in accordance with the Howard Co. Design Manual Volume 4 Standard Specifications and Details for Construction.
2. The Contractor is to notify the following utilities at least 72 hours before starting work shown hereon.
C & P Telephone Co. 725-9976
Baltimore Gas & Electric Co. 539-8000 ext. 691
Howard Co. - Bureau of Utilities 992-2366
3. The Contractor shall notify the construction inspection/survey division five (5) days prior to commencement of work at 992-2417 or 992-2418.
4. The Contractor shall be responsible for the coordination of the relocation and maintenance of all public and/or private utilities as may be required to complete the work.
5. The Contractor shall be responsible for obtaining all necessary permits prior to commencing work.
6. The location of existing utilities shown hereon is not guaranteed. The Contractor shall take all necessary precautions to protect the existing utilities and maintain uninterrupted service. The existence of utilities other than those shown hereon is not known. The Contractor shall immediately notify the appropriate utility company if other utilities are encountered. Any damages will be repaired at the Contractor's expense and under the direction of the utility company.
7. All elevations shown hereon are based on Howard County Bench Mark.
8. All fill under pavmt. works shall be compacted to a minimum of 95% optimum compaction as per AASHTO
9. All excess excavation to be disposed of on-site. All disturbed areas shall receive 2" topsoil, fertilizer, seed and mulch as per SCS standards.
10. Site Plan subject to BA Case No. 84-24V. & AA 84-10

SITE ANALYSIS

- A. Proposed Use: Retail Sales and Accounting Offices
- B. Present Zoning: Parcel 672 = B-2.
- C. Total Area of Site: 0.6647 = 0.6647 Ac.
- D. Lot Coverage: (Building First Floor) = 5009 s.f. (INCLUDES ALL STAIRS & WALKS)
Percentage of Parcel 672 = 17.29 %
- E. Impervious Area: (Bldg. and Parking Lot) = 0.415 Ac.
Parking Lot (Incl. Driveways) = 13,250 s.f.
Green Space Parking Lot 1,300 s.f. = 9.8 %
- F. Disturbed Area (Entire Site) = 0.59 Ac.
- G. Area to be Revegetated = 0.176 Ac.
- H. Open Space 8500 s.f. = 29.36 %

PARKING TABULATION:

- First Floor Net Area = 4325 s.f. (NOT INCLUDING STAIRS & WALKS) = 22 Spaces
- 1 space per 200 s.f.
- Second Floor = Accounting Offices - 3502 s.f.
- Maximum Number of Employees = 10
- 7 Spaces per 10 Employees = 7 Spaces
- Total Spaces Required = 29 Spaces
- Total Spaces Provided = 29 Spaces

- I. Total Floor Area per Level:
- (a) First Floor = 4888.5 s.f.
- (b) Second Floor = 3502.5 s.f.

SUBDIVISION NAME		SECT./AREA	LOT/PARCEL No.	
CHARLES NEMPHOS PROPERTY		L/A	PARCEL 672	
PLAT No.	BLOCK	ZONE	TAX/ZONE MAP	ELEC. DIST.
UNDER 1048	4	B-E	24	2ND
WATER CODE	SEWER CODE			
	GOES.01			

ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
PARCEL 672	8485 BALTIMORE NATIONAL PIKE

Reviewed for _____ S.C.D.
Name _____
and meets Technical Requirements.
U.S. Soil Conservation Service Date _____

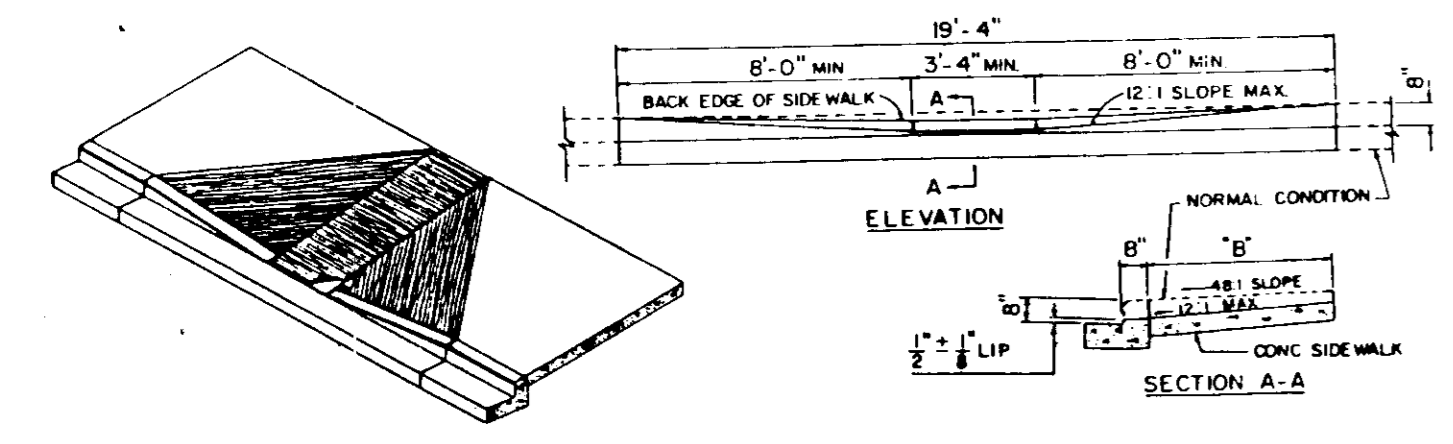
This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.
Signature of Engineer _____ Date _____
Howard S.C.D. Date _____

By the Engineer:
"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
Signature of Engineer _____ Date _____

By the Developer:
"I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project."
Signature of Developer _____ Date _____

DATE	NO.	REVISION DESCRIPTION
3/1/85	1	REV PER CO COMMENTS OF 6/10/85
OWNER: CHARLES NEMPHOS CPA 3410 PLUM TREE DRIVE DEED REF: ELLICOTT CITY, MD. 21043 1225/225		
DEVELOPER: CHARLES NEMPHOS CPA 3410 PLUM TREE DRIVE ELLICOTT CITY, MD. 21043		
PROJECT: RETAIL SALES & OFFICE CENTER CHARLES NEMPHOS		
AREA: ELLICOTT CITY 2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND		
TITLE: SITE DEVELOPMENT PLAN		
CHARLES R. CROCKEN AND ASSOCIATES INC. CIVIL ENGINEERING AND LAND PLANNING 3697 PARK AVENUE ELLICOTT CITY MD. 21043 465-3555		
DESIGNED BY: CRC		DRAWING NO. 1 OF 2
DRAWN BY: CRC/MK		
PROJECT NO:		SCALE: AS SHOWN
DATE: OCT. 26, 1984		
PROFESSIONAL ENGR. NO. 7		

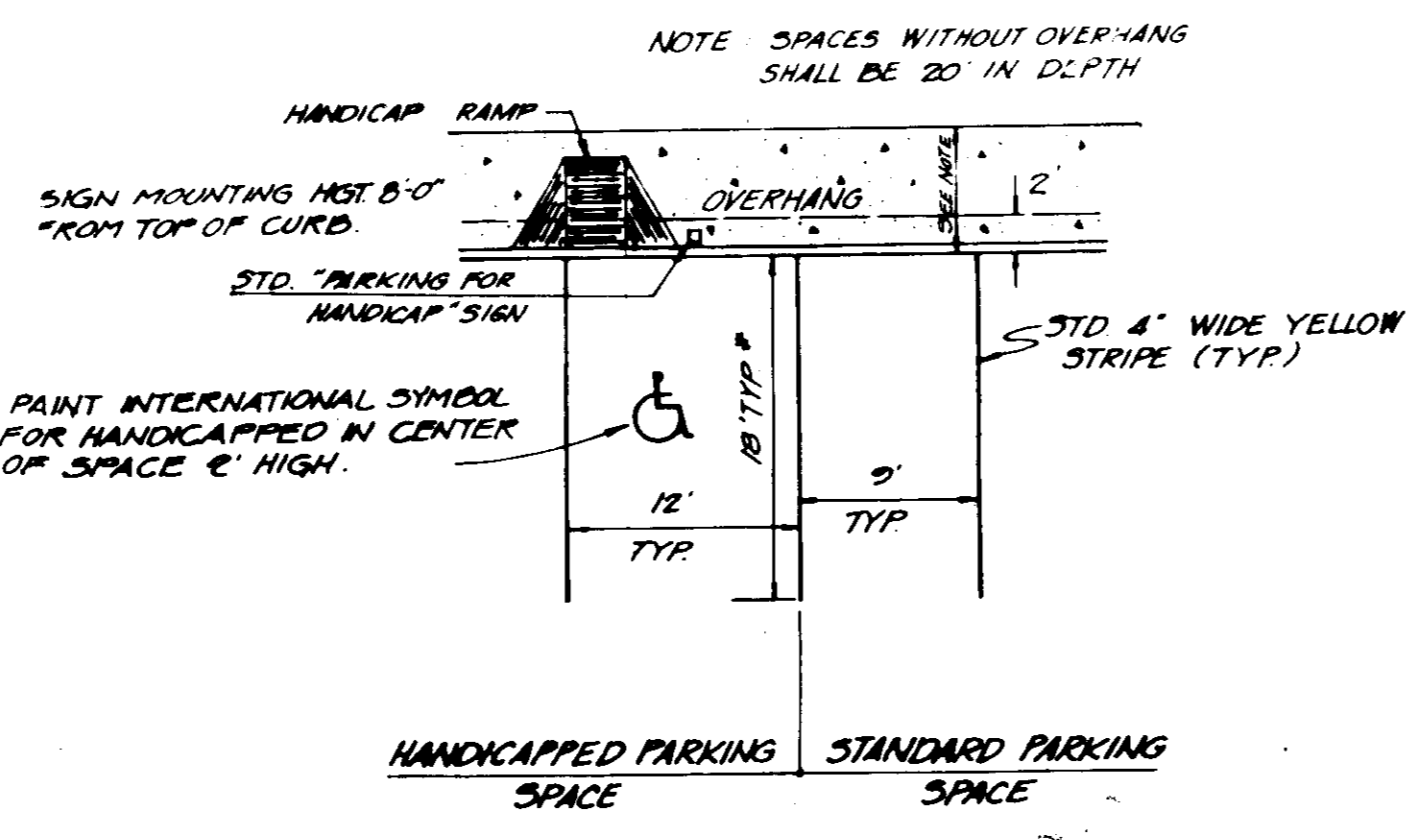
Reviewed for Howard Soil Conservation District and meets technical requirements
 Signature: _____ Date: 4-10-85
 Approved: _____ Date: _____
 Howard Soil Conservation Dist.



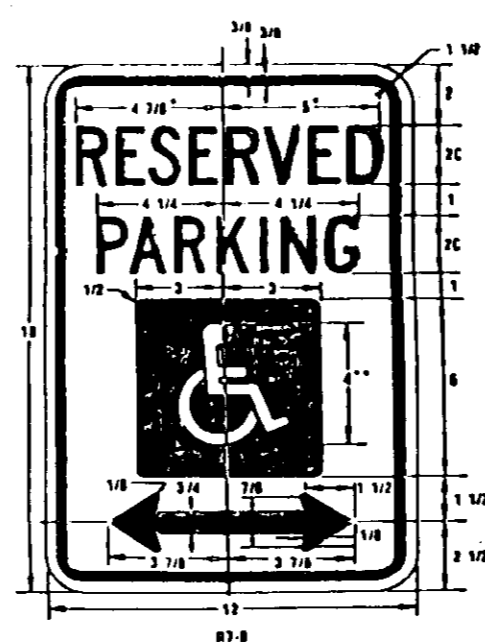
- SIDEWALK RAMPS SHOULD BE LOCATED AS INDICATED ON DRAWINGS, HOWEVER EXISTING LIGHT POLES, FIRE HYDRANTS, DRAIN INLETS, ETC. MAY AFFECT PLACEMENT.
- NO SLOPE SHALL EXCEED 12:1 ON THE RAMP OR SIDEWALK.
- IN NO CASE SHALL THE WIDTH OF RAMPS BE LESS THAN 3'-4\"/>

NOTES:
 FOR LAYOUT SEE HANDICAP RAMP DETAIL (2) THIS SHEET.

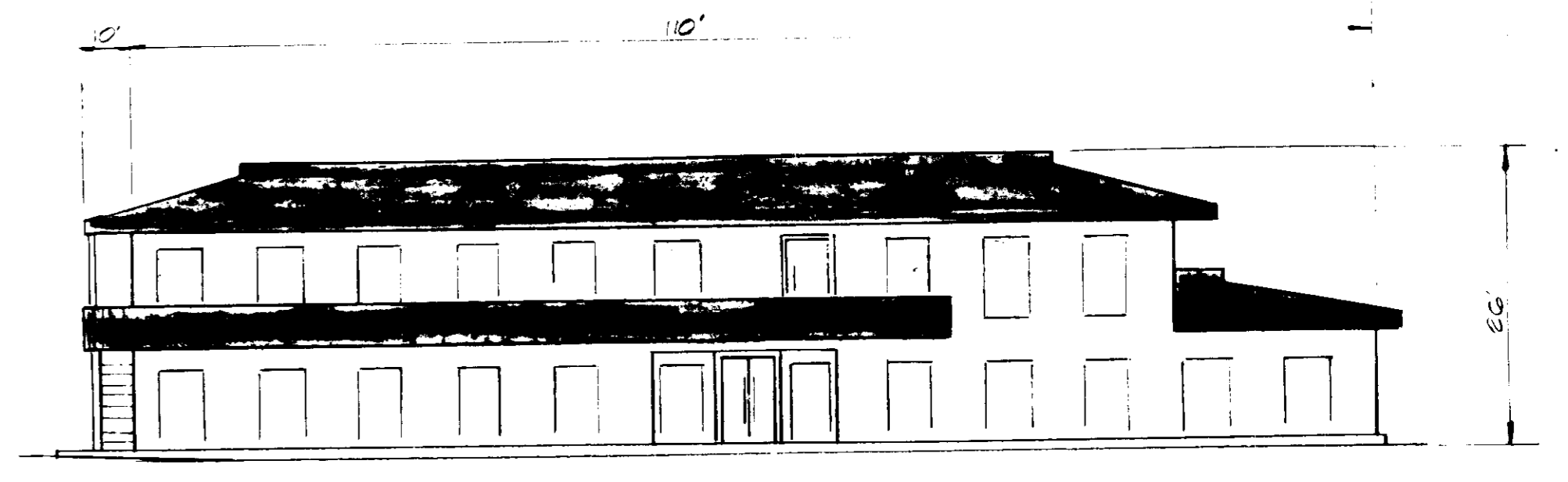
HANDICAP RAMP DETAIL (A) NOTES
 NO SCALE



PARKING DETAILS
 NO SCALE



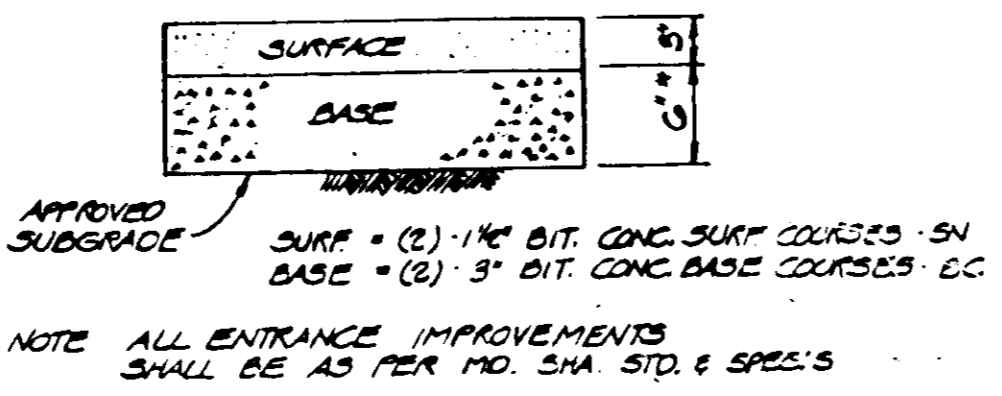
REDUCE SPACING 1/2\"/>



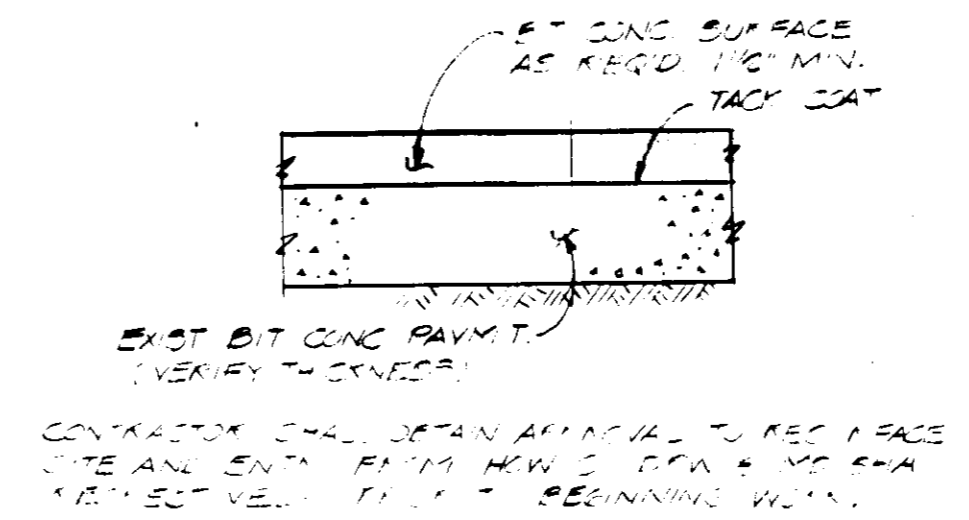
SCHEMATIC BUILDING ELEVATION EAST SIDE
 NO SCALE

SECTION NUMBER	ROAD AND STREET CLASSIFICATION	PAVEMENT MATERIALS	
		FULL DEPTH BIT. CONC. ALTERNATE	GRAVEL-BASE ALTERNATES
P-2	RESIDENTIAL ZONES, LOCAL OR NEIGHBORHOOD STS., ALLEYS AND PRIVATE ROADS SERVING INDIVIDUAL LOTS	1 1/2\"/>	
	PARKING AREAS, APARTMENTS AND COMMERCIAL-INDUSTRIAL ZONES WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY	1 1/2\"/>	

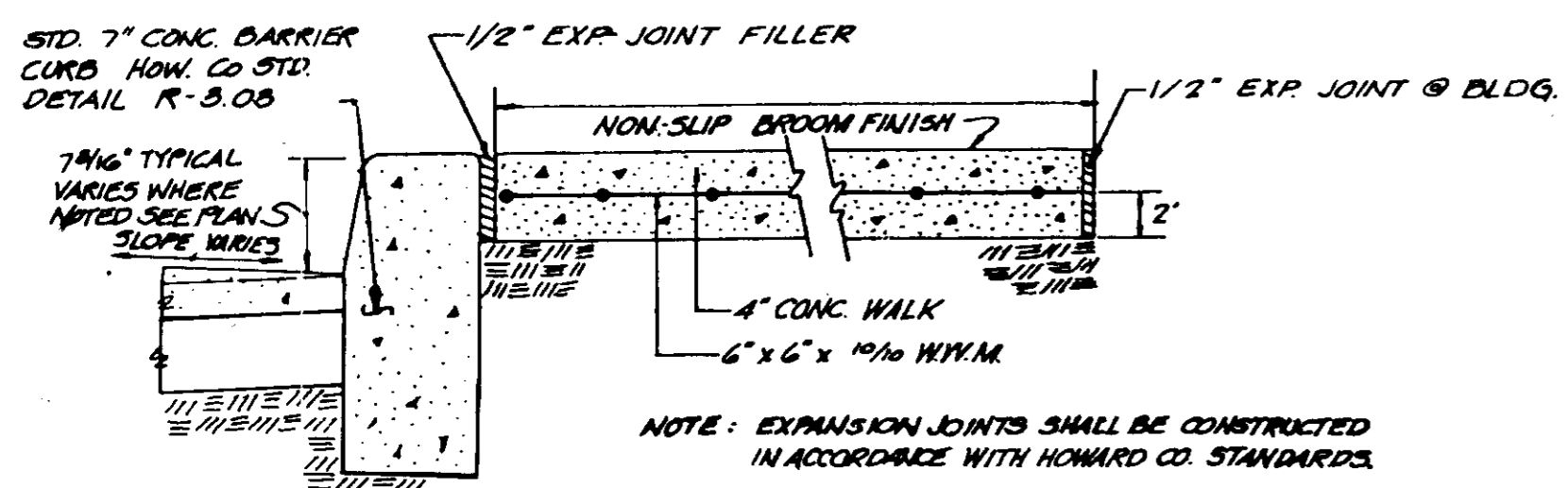
SITE PAVING DETAIL (ALTERNATE I)
 NO SCALE



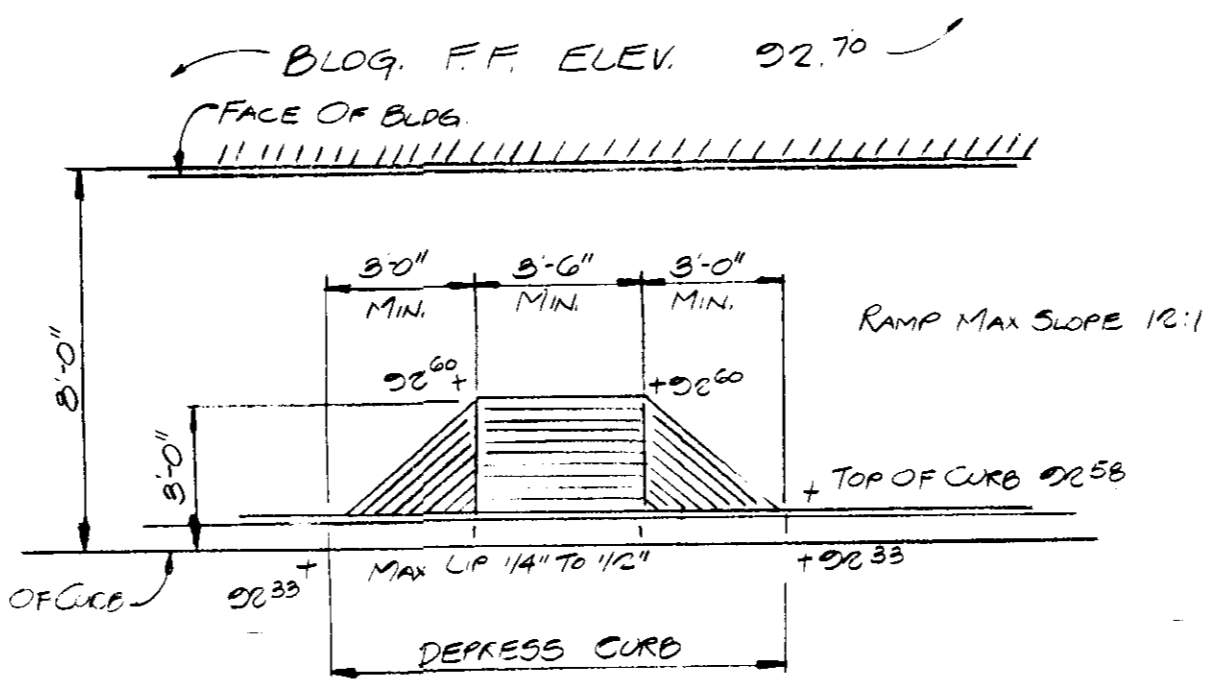
ENTRANCE PAVING DETAIL
 NO SCALE (ALTERNATE I)



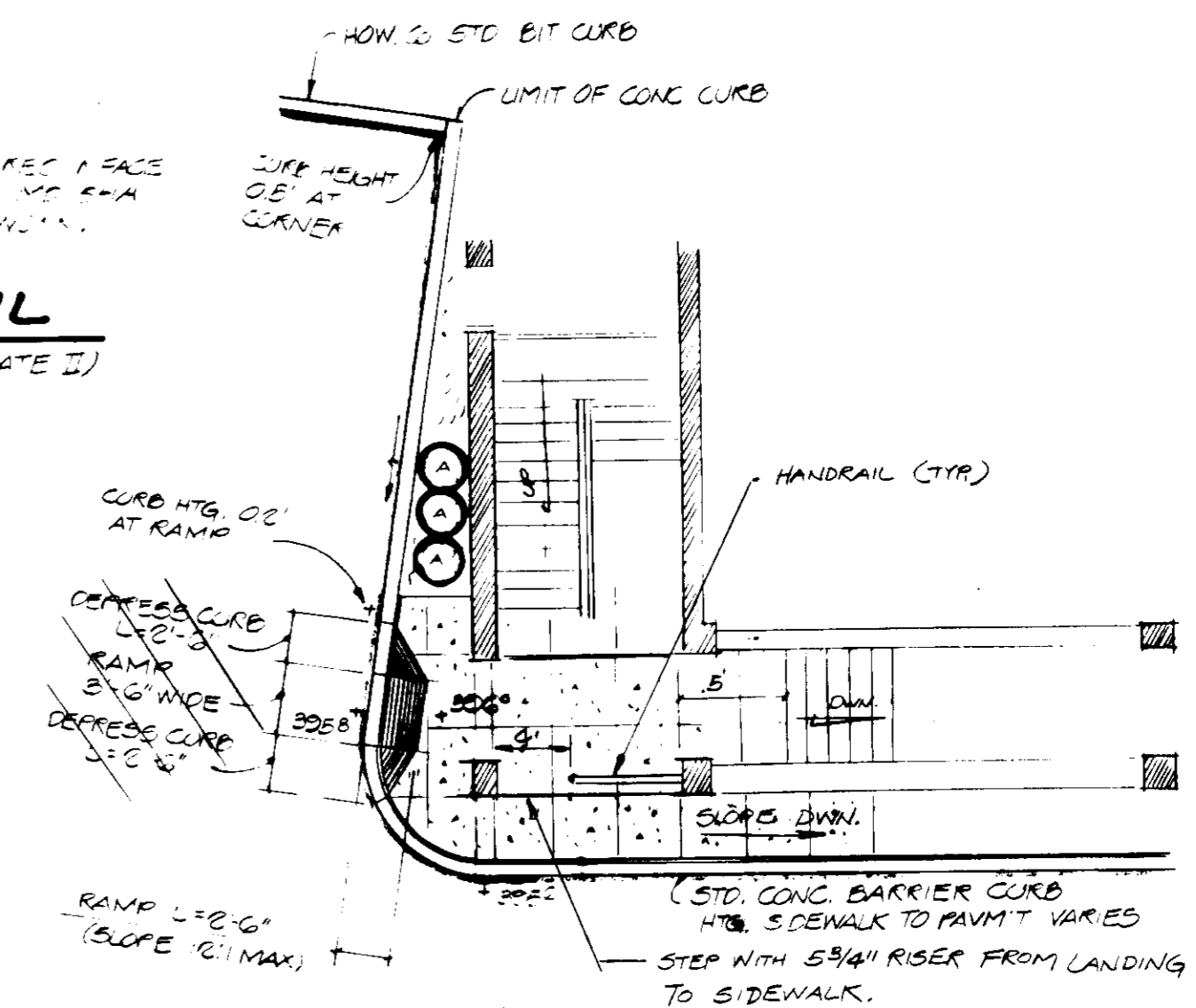
RESURFACING DETAIL
 NO SCALE (ALTERNATE I)



CURB & SIDEWALK DETAIL
 NO SCALE

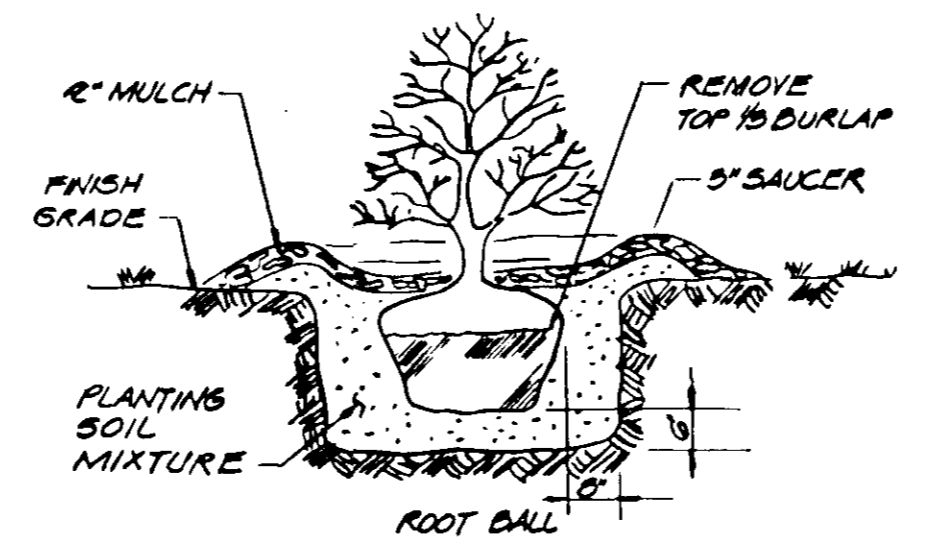


REVISED HANDICAP RAMP DETAIL
 NO SCALE

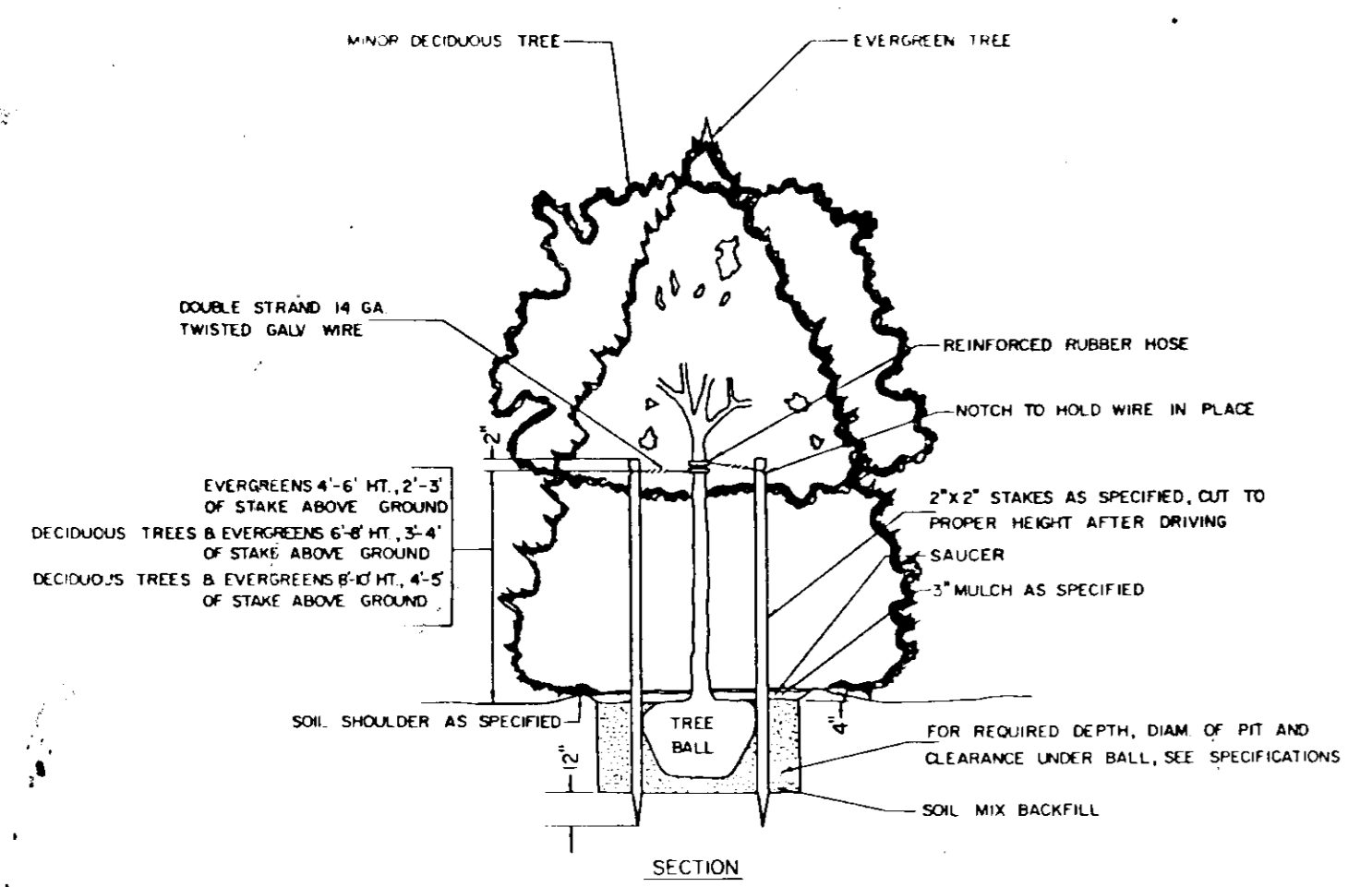


HANDICAP RAMP DETAIL (2) PLAN
 NO SCALE (SEE REVISED RAMP DETAIL)

PLANTING SCHEDULE				
SYMBOL	QUANTITY	NAME	SPECIFICATIONS	REMARKS
A	1	PIKACH DALYBARKYAS	2\"/>	
B	1	FRASER JUNIPER	2\"/>	
C	1	ANDREA JUNIPER	2\"/>	
D	1	DOGWOOD	2\"/>	
E	1	WHITE FLYE	2\"/>	



SHRUB PLANTING DETAIL
 NO SCALE



TREE PLANTING DETAIL
 NO SCALE

LANDSCAPING DETAILS

APPROVED
 DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE 4-10-85



By the Engineer:
 "I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
 Charles R. Crocken 4/10/85
 Signature of Engineer Date

By the Developer:
 "I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project."
 Charles R. Crocken 4/25/85
 Signature of Developer Date

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Director _____ Date _____
 Chief, Bureau of Engineering _____ Date 4-30-85

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT
 County Health Officer _____ Date 5-7-85

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 Planning Director _____ Date 4-7-85
 Chief, Division of Land Development and Zoning Administration _____ Date 5-6-85

DATE	REV.	AS PER	COMMENTS
3/8/85	1	REV AS PER	COMMENTS OF 2-10-85

DATE	NO.	REVISION DESCRIPTION
		OWNER: CHARLES NEMPHOS CPA 3410 PLUM TREE DRIVE ELLCOTT CITY, MD. 21043 1205/208
		DEVELOPER: CHARLES NEMPHOS CPA 3410 PLUM TREE DRIVE ELLCOTT CITY, MD. 21043
		PROJECT: RETAIL SALES & OFFICE CENTER CHARLES NEMPHOS
		AREA: ELLCOTT CITY 2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
		TITLE: DETAIL SHEET
		CHARLES R. CROCKEN AND ASSOCIATES INC. CIVIL ENGINEERING AND LAND PLANNING 3697 PARK AVENUE ELLCOTT CITY MD. 21043 465-3555

DATE	DESIGNED BY	DRAWN BY	PROJECT NO.	DATE	SCALE	DRAWING NO.
	CRC	CRC/IMK		OCT. 26, 1984	AS SHOWN	2 OF 3

Reviewed for Howard Soil Conservation District and meets technical requirements

This Development Plan is approved for soil erosion and sediment control by the Howard Soil Conservation District

Signature: _____ Date: 4/29/85

Approved: _____ Howard Soil Conservation Dist. Date: _____

APPROVED:
DIVISION OF LAND DEVELOPMENT
ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 4-10-85

APPROVED:
FOR PUBLIC WATER, PUBLIC SEWERAGE,
STORM DRAINAGE SYSTEMS AND WORKS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

Director: _____ Date: 4-30-85

Chief, Bureau of Engineering: _____ Date: _____

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

County Health Officer: _____ Date: 5-7-85

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING

Planning Director: _____ Date: 5-7-85

DATE	NO.	REVISION DESCRIPTION
5/10/85	1	REV AS PER CG COMMENTS 5-10-85
OWNER: CHARLES NEMPHOS CPA 3410 PLUMTREE DRIVE ELLCOTT CITY, MD 21033 10B/10B		
DEVELOPER: CHARLES NEMPHOS CPA 3410 PLUMTREE DRIVE ELLCOTT CITY, MD 21033		
PROJECT: RETAIL SALES & OFFICE CENTER CHARLES NEMPHOS		
AREA: ELLCOTT CITY 2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND		

TITLE: **SEDIMENT CONTROL DETAILS**

CHARLES R. CROCKEN
AND ASSOCIATES INC.
CIVIL ENGINEERING AND LAND PLANNING
3687 PARK AVENUE ELLCOTT CITY MD 21043 4-4-3686

DATE: _____

DESIGNED BY: CRC

DRAWN BY: CRC

PROJECT NO:

DATE: OCT. 26, 1984

SCALE: AS SHOWN

DRAWING NO 3 OF 3



SEDIMENT CONTROL CONSTRUCTION NOTES

GENERAL NOTES

- A MINIMUM 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION (992-2436).
- ALL SEDIMENT CONTROL STRUCTURES WILL BE INSTALLED IN ACCORDANCE WITH "THE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN DEVELOPING AREAS" AS PREPARED BY THE U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE.
- SITE GRADING WILL BEGIN ONLY AFTER ALL PERIMETER SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED AND ARE IN A FUNCTIONING CONDITION.
- ALL DISTURBED AREAS ARE TO BE DRESSED AND STABILIZED ACCORDING TO TEMPORARY OR PERMANENT SEEDING SCHEDULES. FOLLOWING INITIAL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 - SEVEN CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES AND SLOPES GREATER THAN 3:1
 - FOURTEEN (14) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- SEDIMENT WILL BE REMOVED FROM TRAP WHEN THE DEPTH REACHES THE CLEAN OUT ELEVATION SHOWN ON THE PLANS.
- FERTILIZER AND LIME RATES MAY BE CHANGED THROUGH AUTHORIZATION BY THE HOWARD SOIL CONSERVATION DISTRICT IF SOIL TESTS DETERMINE A REDUCTION IN THE SPECIFIC RATES IS JUSTIFIED.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- REFERENCES CALLED FOR ON THE SEDIMENT CONTROL CONSTRUCTION PLAN AND DETAILS ARE MADE TO "THE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN DEVELOPING AREAS".

PERMANENT SEEDING

FINAL STABILIZATION WILL TAKE PLACE AS SOON AS POSSIBLE AS WEATHER CONDITIONS PERMIT, AS FOLLOWS:

- APPLY DOLOMITIC LIMESTONE AT THE RATE OF 2 TONS PER ACRE (ONE TON PER ACRE IF APPLICATION OF ONE TON PER ACRE WAS MADE DURING TEMPORARY SEEDING).
- APPLY 10-10-10 FERTILIZER AT THE RATE OF 600 LBS. PER ACRE NARROW OR DISC LINE AND 10-10-10 FERTILIZER INTO THE SOIL TO A MINIMUM DEPTH OF 3 INCHES. LAWS OR HIGH MAINTENANCE AREAS WILL BE DRAGGED AND LEVELLED WITH A YORK RAKE. AT THE TIME OF SEEDING APPLY 30-0-0 DREAPFORM FERTILIZER AT THE RATE OF 400 LBS. PER ACRE.
- SEED WITH A MIXTURE OF CERTIFIED "MERION KENTUCKY BLUEGRASS" AT THE RATE OF 40 LBS. PER ACRE, COMMON KENTUCKY BLUEGRASS AT 40 LBS. PER ACRE, RED FESCUE, PENNDAWN OR JAMESTOWN AT 20 LBS. PER ACRE.
- MULCH WITH UNWEATHERED SMALL GRAIN STRAW AT THE RATE OF 1 1/2 TO 2 TONS PER ACRE AND ANCHOR WITH A CUTBACK ASPHALT OR EMULSIFIED ASPHALT AT THE RATE OF 5 GAL. PER 1000 SQ. FT.
- SEED ALL SLOPES WITH A MIXTURE OF CERTIFIED KENTUCKY 31 TALL FESCUE AT 50 LBS. PER ACRE AND INOCULATED KOREAN LESPEDEZA AT 15 LBS. PER ACRE.

TEMPORARY SEEDING

- AREA TO BE SEEDDED SHALL BE RECENTLY LOOSENEED. IF THE GROUND IS PACKED CRUSTED OR HARD, THE TOP LAYER OF SOIL SHALL BE LOOSENEED BY DISCING, RAKING OR OTHER ACCEPTABLE MEANS.
- APPLY 10-20-10 FERTILIZER (OR EQUIVALENT) AT THE RATE OF 600 LBS. PER ACRE OR 15 LBS. PER 1000 SQ. FT.
- WHERE SOIL IS KNOWN TO BE HIGHLY ACIDIC, APPLY DOIMTIC LIMESTONE AT THE RATE OF ONE TON PER ACRE.
- WORK BOTH FERTILIZER AND LIMESTONE INTO SOIL AND SEED WITH CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER OR HYDROSEEDER (SLURRY WILL INCLUDE SEED AND FERTILIZER) AT THE RATE OF 40 LBS. PER ACRE OF ITALIAN OR PERENNIAL RYEGRASS.
- MULCH WITH UNWEATHERED SMALL GRAIN STRAW AT THE RATE OF 1 1/2 TO 2 TONS PER ACRE AND ANCHOR WITH A CUTBACK ASPHALT OR EMULSIFIED ASPHALT AT THE RATE OF 5 GAL. PER 1000 SQ. FT.

SEQUENCE OF CONSTRUCTION

- OBTAIN GRADING PERMIT.
 - CLEAR AND GRADE FOR SEDIMENT CONTROL MEASURES.
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE AND ALL SEDIMENT CONTROL MEASURES.
 - CLEAR AND GRADE SITE.
 - PAVE SITE.
 - SEED ALL DISTURBED AREAS PER SCS STANDARDS SPECIFICATIONS NOT OTHERWISE STABILIZED.
 - UPON APPROVAL OF HOWARD COUNTY SEDIMENT CONTROL INSPECTOR REMOVE TEMPORARY SEDIMENT CONTROL MEASURES AFTER SITE IS COMPLETELY STABILIZED.
- NOTE: NO STORM DRAINS SHALL BE INSTALLED UNDER THIS PERMIT.

By the Engineer:
"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Signature: Charles R. Crocken Date: 7-1-85

By the Developer:
"I certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project."

Signature: Charles Nemphos Date: 7-1-85

