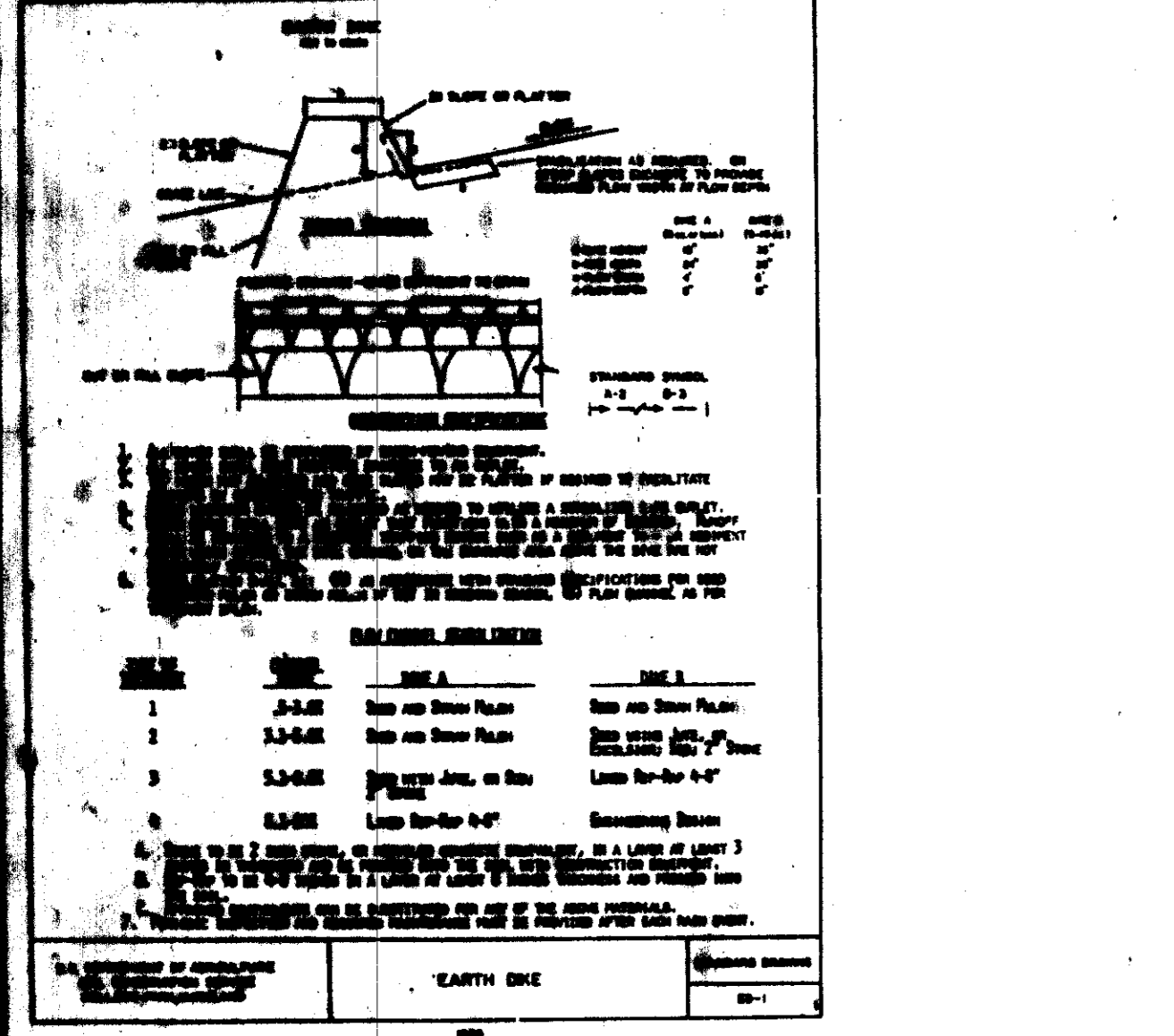


- SEDIMENT CONTROL NOTES**
- All areas on and adjacent to the project shall be constructed and maintained in accordance with applicable published Standards and Specifications for Soil Erosion and Sediment Control in Developing Areas.
  - All points of construction ingress and egress shall be protected to prevent tracking of mud onto public ways.
  - A grading permit will be obtained from the Department of Public Works prior to start of any earthwork, construction, etc., on dedicated street rights-of-way.
  - Construction or installation of all temporary sediment control measures shall be prior to initial grading.
  - All sodding and/or seeding and mulching is to be done concurrently with fine grading and in accordance with "Critical Area Stabilization" Specification Page 50.01 through 50.04 of Standards and Specifications, etc.
  - Minor field adjustments may be made to accomplish intended purpose.
  - All temporary diversion dikes are to be temporarily stabilized as per Page 50.01 of Standards and Specifications, etc.
  - Excavated material to be left rough until throughout period of construction and until just prior to fine grading.
  - Continuous inspection and maintenance of all sediment control structures must be provided to insure intended purpose is achieved. Devices shall remain until drainage area is stabilized permanently.
  - After removal of temporary sediment control structures, the disturbed area must be permanently stabilized per Page 51.01 of Standards and Specifications, etc.
  - All areas not to be constructed within 33 days following initial grading shall be temporarily stabilized per Page 50.01 of Standards and Specifications, etc.
  - Developer shall protect all adjacent property from damage or disturbance.
  - No sediment control structures will be removed without permission from the sediment control inspector from the Prince George's County Department of Licenses and Permits.
  - Seeding preparation for unpaved areas:
    - Ground delectant limestone spread @ 50# per 1000 s.f. shall be mixed with top 4" of top soil.
    - Commercial fertilizer (10-0-10) spread @ 25# per 1000 s.f. shall be mixed with top 4" of top soil.
    - Seed shall be 100% Kentucky No. 31 fescue spread @ 5# per 1000 s.f.
    - Seeded areas shall be mulched with straw at the rate of 2.0 tons/acre and tied down with liquid asphalt at the rate of 0.1 gal. per sq. yd.
  - All straw bales used on project shall be baled with non-wearing materials and shall be of the same approximate size: 12' x 18' x 36". Drive stakes flush with bales for safety.
  - No clearing, grubbing or grading shall be done until temporary dams and berms are constructed and stabilized.
  - Spill to be disposed of in an area approved by the appropriate soil conservation district.
  - Diversion dikes are to be constructed at end of each day's operations in areas specified by the engineer. Diversion dikes shall be directed into existing sediment traps around inlets or to 0' - 6" all chutes when specified on plan.
  - The contractor will provide temporary angles and berms to direct runoff into traps. All sediment devices will become property of contractor at end of project.
  - The developer is responsible for the reclamation of all required easements, rights, and/or rights-of-way necessary to the discharge from the sediment and erosion control practices, storm water management practices and the discharge of storm water onto or across any machine or other works to be performed on adjacent or downstream properties a fee by site plan.
  - All areas shall be permanently stabilized with site development work, grading and/or other related construction activities, prior to be constructed or paving for periods exceeding 90 days. These disturbed areas shall be stabilized in accordance with the Standards and Specifications for Soil Erosion and Sediment Control in Developing Areas. The specific sediment control measures to be installed in a continuing basis until the site is permanently stabilized and all other requirements are met.
  - Following initial disturbance or redistribution permanent or temporary stabilization shall be completed within:
    - Seven calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1.
    - Fourteen days as to all other disturbed or grade area on the project site.
  - Excess cut = Excess fill = 0

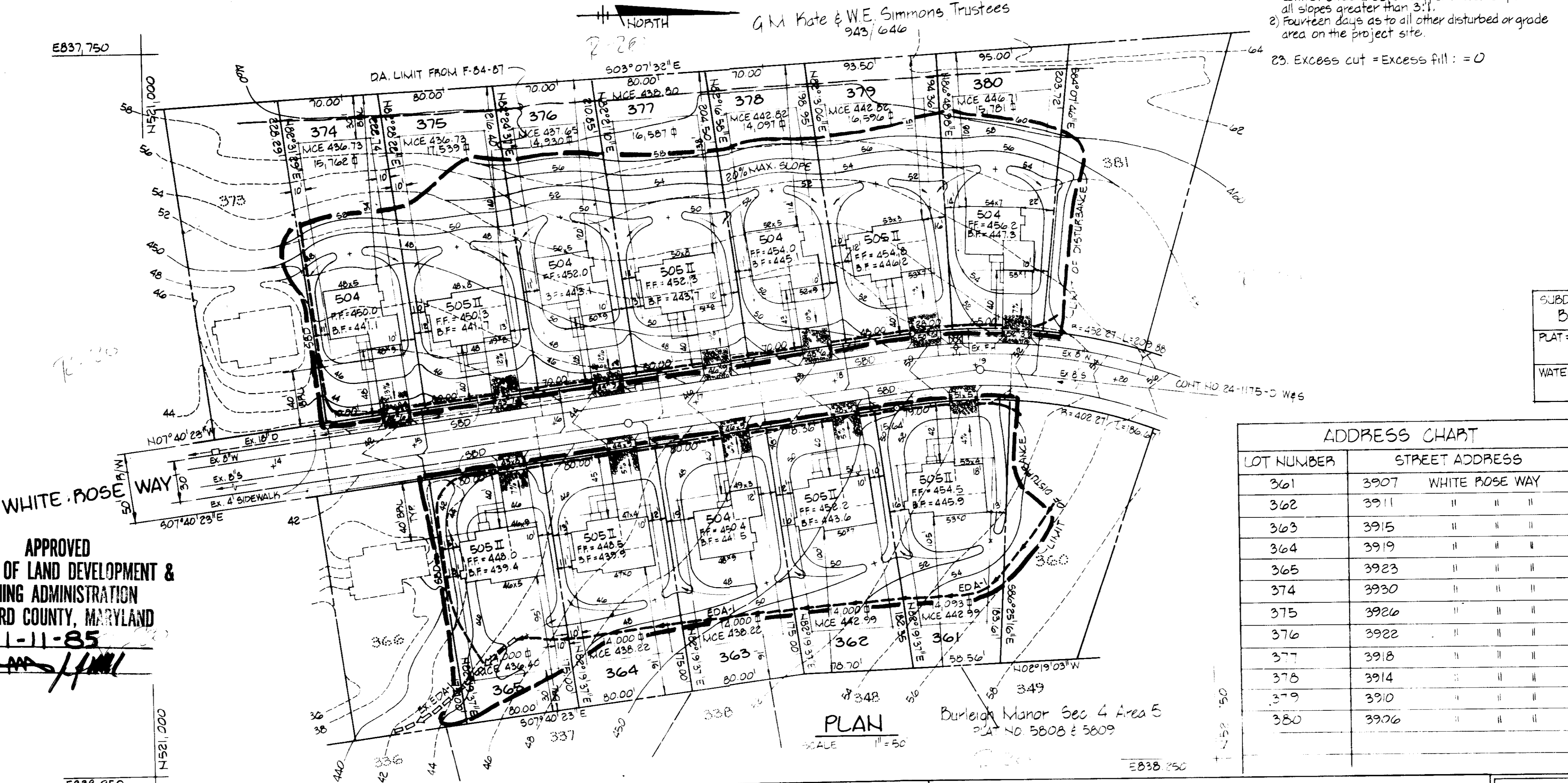
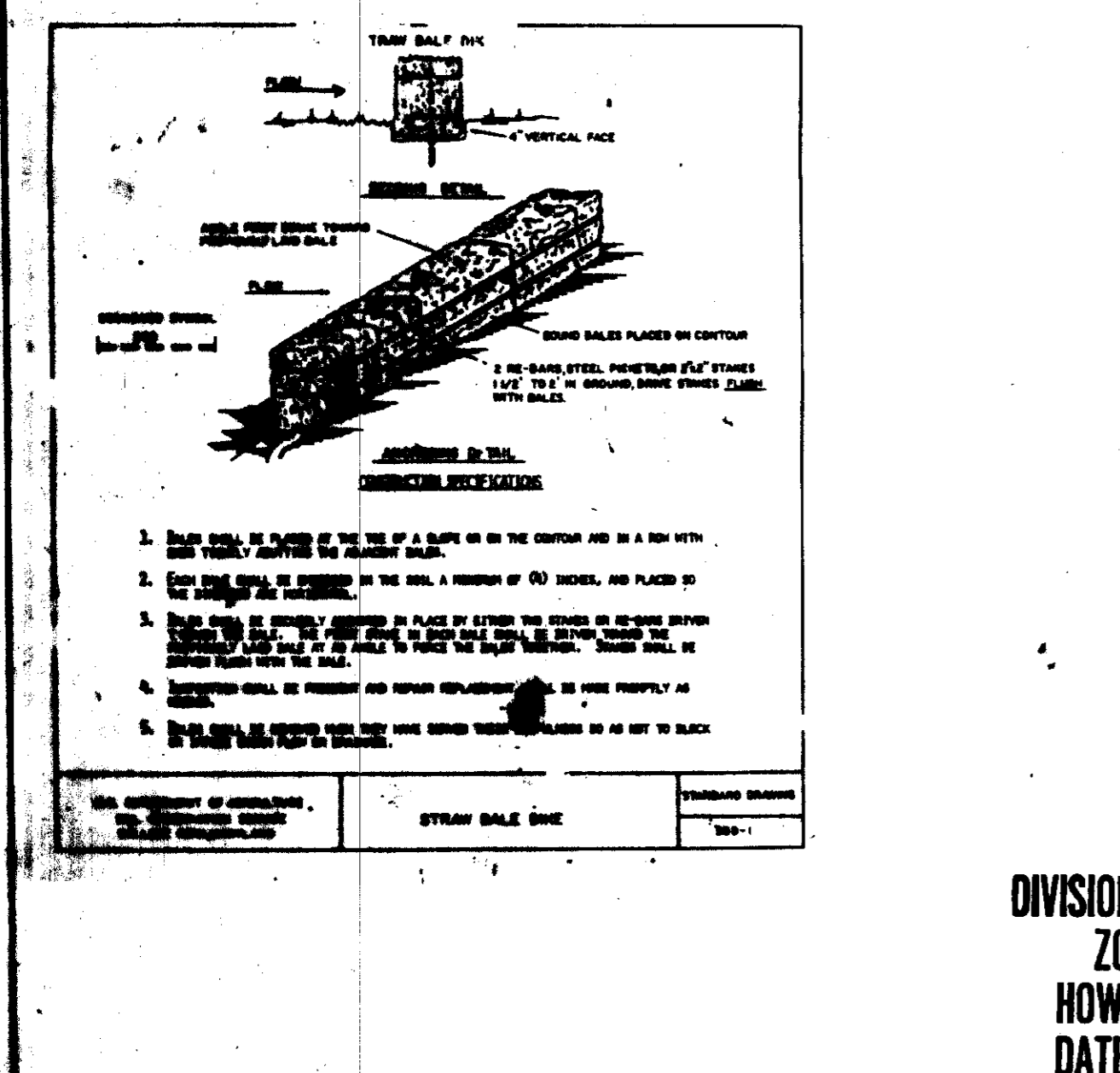


- CONSTRUCTION SPECIFICATIONS**
- Stone Size - No 2" stone, or equivalent or superior concrete equivalent.
  - Length - As specified, but not less than 18 feet minimum on a single residence lot where a 36 foot minimum length would apply.
  - Width - Not less than 48" (4' 0").
  - Height - Not less than 24" above the finished ground level at the curb where proposed on open terrain.
  - Material - Will be placed over a compacted subgrade. A 4" minimum concrete base will be placed over a compacted subgrade. A 4" minimum concrete base will be placed over a compacted subgrade. A 4" minimum concrete base will be placed over a compacted subgrade.
  - Reinforcement - All concrete shall be reinforced with #4 rebar. A minimum of 4 bars shall be provided. A minimum of 4 bars shall be provided. A minimum of 4 bars shall be provided.
  - Finishing - The exterior shall be finished in a condition which will prevent tracking of mud onto public rights-of-way. This may require periodic wet sweeping with additional sweep as conditions demand and repair and/or cleaning of any necessary mud to trap sediment. All sediment trapped, cleaned, washed or treated onto public rights-of-way must be removed immediately.
  - Maintenance - Structures shall be cleaned or removed prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area adjacent to the structure and which drains into an approved sediment trapping device.
  - Periodic inspection and record maintenance shall be provided after each rain.

- "Sequence Of Construction"**
- Notify Howard County Bureau Of Inspection & Permits at least 24 hours before starting any work.
  - Construct all sediment control measures shown "Limits of Disturbance" noted on plan shall be inside along property line.
  - Dewater existing sediment trap with approval of Howard County Sediment Control Inspector.
  - Rough grade site to subgrade.
  - Construct houses.
  - Fine grade site. Stabilize all disturbed areas.
  - Upon sediment control inspectors approval, remove all sediment control devices. Stabilize all remaining areas.
  - Maintenance.

- General Notes**
- All roadways existing and public.
  - Any damage to county-owned rights of way will be corrected at developer's expense.
  - Legend
    - Existing contour
    - Proposed contour
    - Spot elevation
    - Direction of drainage
    - Proposed Earth Dike
    - Proposed Straw Bale Dike
    - Proposed Stabilized Construction Entrance
  - Site Analysis
 

Existing Zoning	R-20
No. of Lots	12
Area of Lots	151,305 sq. ft. = 4.16 Ac.
Area to be paved	10,120 sq. ft. = 0.23 Ac.
Area to be roofed	25,025 sq. ft. = 0.58 Ac.
Area to be seeded	87,825 sq. ft. = 2.02 Ac.
Area to be undisturbed	93,560 sq. ft. = 2.16 Ac.
  - Construction Sequence
    - Obtain grading and building permits.
    - Install sediment control measures.
    - Excavate for foundation and rough grade site.
    - Construct house.
    - Fine grade and stabilize.
    - Obtain permission for removal of sediment control measures.
  - Tax Map 24
  - Deed Reference: 943/637
  - Erosion and Sediment Control approved and existing under plan F-84-87
  - Limit of submission shall be the lot lines. All other grading shown as proposed shall be considered completed under the F-84-87 construction plans.



SUBDIVISION NAME	BURLEIGH MANOR	SEC. / AREA	4 / 5	LOT / PARCEL #	361, 362, 363, 364, 365, 374, 375, 376, 377, 378, 379, 380
PLAT # OF L.F.	BLOCK #	ZONE	TAX / ZONE MAP		
5809	13	R-20	24		
WATER CODE	SEWER CODE	ELEC. DIST.	CENSUS TR.		
JO1	5841600	240	6023.01		

LOT NUMBER	STREET ADDRESS
361	3907 WHITE ROSE WAY
362	3911 " " "
363	3915 " " "
364	3919 " " "
365	3923 " " "
374	3930 " " "
375	3926 " " "
376	3922 " " "
377	3918 " " "
378	3914 " " "
379	3910 " " "
380	3906 " " "

**OWNER / DEVELOPER:**  
 COSTAIN, INC.  
 RESIDENTIAL BUILDERS  
 SUITE 1200  
 THE EQUITABLE BANK CENTER  
 COLUMBIA, MD. 21044  
 (301) 465-0141

**APPROVED:** For Public Water and Public Sewerage Systems, Howard County Health Department  
*[Signature]* 1-29-85  
 Date

**APPROVED:** Howard County Department of Planning and Zoning  
*[Signature]* 1-31-85  
 Date

**APPROVED:** For Public Water and Public Sewerage, Storm Drainage Systems and Public Roads, Howard County Department of Public Works  
*[Signature]* 1-30-85  
 Date

**APPROVED:** For Public Water and Public Sewerage, Storm Drainage Systems and Public Roads, Howard County Department of Public Works  
*[Signature]* 1-29-85  
 Date

**APPROVED:** Division of Land Development & Zoning Administration  
 HOWARD COUNTY, MARYLAND  
 DATE 1-11-85  
*[Signature]*

**Reviewed for Howard S.C.D. and meets technical requirements.**  
*[Signature]* 1/23/85  
 Date  
 U.S. Soil Conservation Service

**Engineer's Certificate**  
 I hereby certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District  
*[Signature]* 1/23/85  
 Date  
 Rodolph J. May, Jr.

**DEVELOPER'S CERTIFICATE**  
 I/We certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that all responsible personnel involved in the construction project will have a certificate of attendance at a Dept. Of Natural Resources Approved Training Program For The Control Of Sediment And Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary  
*[Signature]* 1/23/85  
 Date  
 Signature Of Developer

**EVANS, HAGAN & HOLDEFER, INC.**  
 ENGINEERS, LAND PLANNERS & SURVEYORS  
 8101 SANDY SPRING ROAD SUITE 304  
 LAUREL, MD. (301) 725-0885 20707

**DATE:** 1/18/85  
**SCALE:** 1" = 50'

SEDIMENT CONTROL NOTES

- 1) A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (992-2437)
2) All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
3) Following initial soil disturbance or redistribution; permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
4) All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
5) All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 51) and (Sec. 54), temporary seeding (Sec. 50) and mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
6) All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
7) Site Analysis:
- Check Area of Site: Area
- Area to be Seeded: Area
- Area to be Seeded with: Area
- Area to be Seeded with: Area
- Area to be Seeded with: Area
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8) Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.

STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION PERMANENT SEEDINGS

Vegetation cannot be expected to provide an erosion control cover and prevent soil slippage on a soil that is not stable due to its texture, structure, water movement or excessively steep slopes.
Minimum soil conditions needed for the establishment and maintenance of a long-lived vegetative cover:
A. Enough fine-grained material (over 20 percent silt plus clay) to provide the capacity to hold at least a moderate amount of available moisture.
B. Sufficient pore space to permit adequate root penetration.
C. The soil shall be free from any material harmful to plant growth.
D. If these conditions cannot be met, see specifications, Topsoiling (C-21).

1. Site Preparation
A. Install needed erosion and sediment control practices such as ditches, contour ripping, erosion steps, channel liners, sediment basins, or other practices.
B. Grade as needed and provide to permit the use of conventional equipment for seedbed preparation, seeding, mulch application, anchoring and maintenance.
2. Soil Preparation
A. Select a mixture from Table 30-1.
B. Apply seed uniformly with a cyclone seeder, drill, multi-packer seeder or hydroseeder (larry includes seed and fertilizer).

3. Mulch Application
A. Mulch application should be completed immediately after mulch placement to minimize loss by wind or water. This may be done by one of the following methods: (listed by preference) depending upon size of area, erosion hazard, and cost.
B. Synthetic binders - Synthetic binders such as Acrylic MA (Agri-Tac), DCA-70, Fatemec or Terra Tac may be used at rates recommended by the manufacturer to anchor mulch material.
C. Wood cellulose fiber - Wood cellulose fiber may be used for anchoring straw. The fiber binder shall be applied at a wet dry weight of 750 pounds/acre. The wood cellulose fiber shall be mixed with water and the mixture shall contain a maximum of 30 pounds of wood fiber per 100 gallons.

TABLE 30-1 Temporary Seedings by Rate, Depth and Date

Table with columns: Seeding Rate, Planting Depth, Species, and various dates (4/30, 5/14, 6/11, 6/15, 6/21, 6/23, 6/27, 7/1, 7/3, 7/31, 7/31, 10/31). Rows include species like Ryegrass, Fescue, and various grasses.

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APPROVED DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION HOWARD COUNTY, MARYLAND DATE 1-11-85

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Signature of Engineer: Rodolph May Jr. Date: 1/10/85
Signature of Developer: Robert D. Luckett Date: 1/10/85

DETAIL SHEET SCALE AS SHOWN DWG NO. 2 of 2 JOB NO. 00030 FILE NO. -09
BURELIGH MANOR SECTION 4 AREA 5 / PLAT 580B & 5809 HOWARD COUNTY, MARYLAND 2ND ELECTION DISTRICT
EVANS, HAGAN & HOLDEFER, INC. ENGINEERS, LAND PLANNERS & SURVEYORS 1022 WEST STREET / LAUREL, MD 20707 (301) 725-0465
530 FOPLAR STREET / CAMBRIDGE, MD 21613 (301) 228-3350 111 JOHN STREET / WESTMINSTER, MD 21157 (301) 848-1700 8015 JENKINS ROAD / BALTHAZORE, MD 21038 (301) 968-1001
DATE 1/10/85 SCALE

COSTAIN, INC. RESIDENTIAL BULDPG SUITE 1200 THE EQUITABLE BANK CENTER COLUMBIA, MD 21044 (301) 463-0141

APPROVED: For Public Water and Public Sewerage Systems, Howard County Health Department. Date: 1-29-85.
APPROVED: Howard County Department of Planning and Zoning. Date: 1-31-85.
APPROVED: For Public Water and Public Sewerage, Storm Drainage Systems and Public Roads, Howard County Department of Public Works. Date: 1-29-85.
APPROVED: Chief, Bureau of Engineering. Date: 1-29-85.