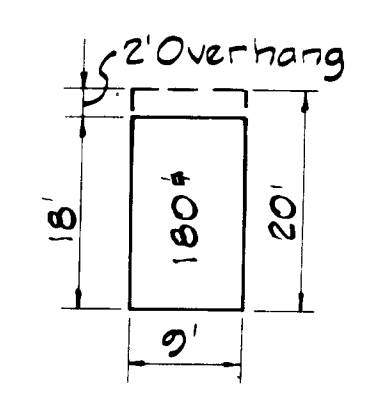
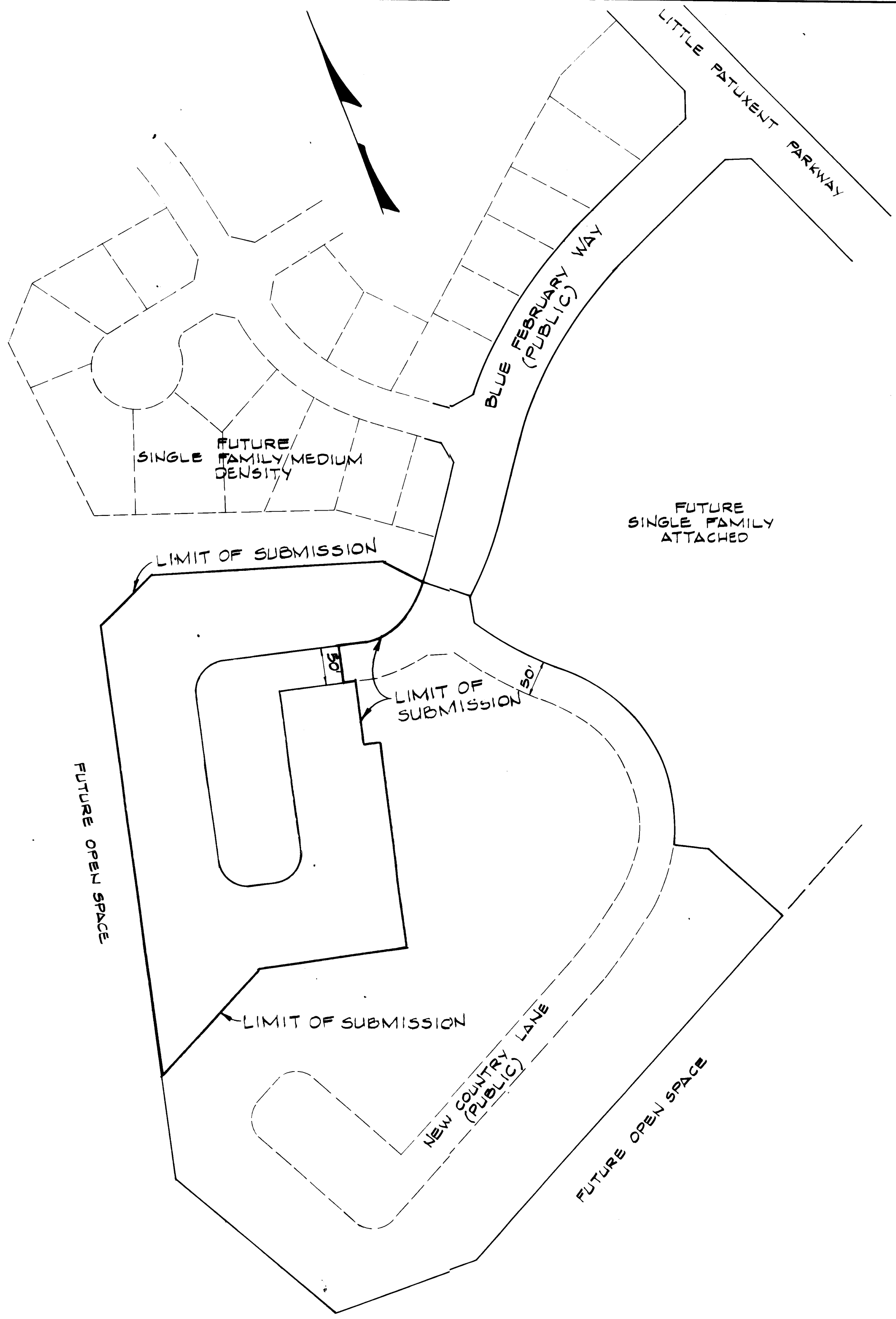


**GENERAL NOTES**

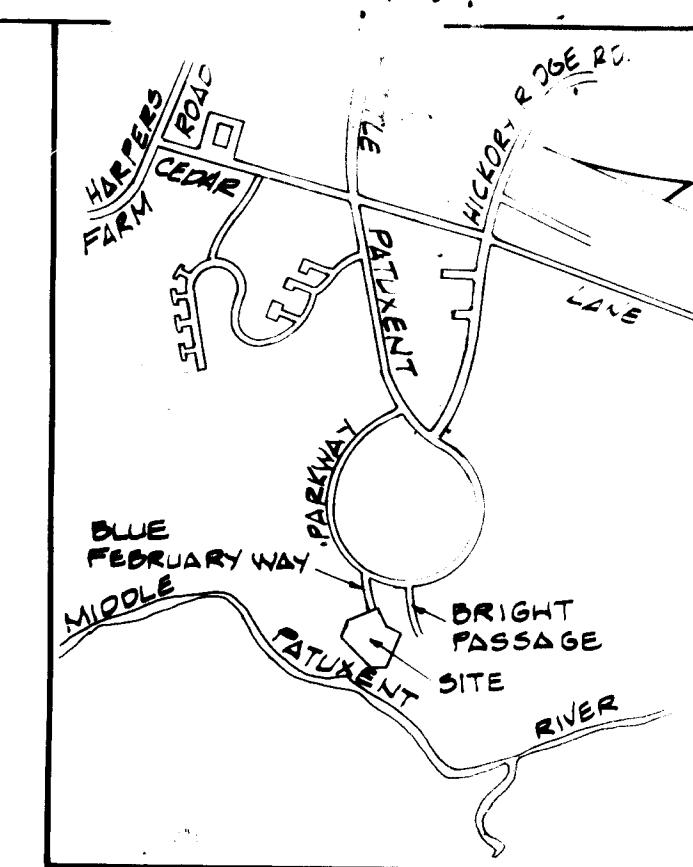
1. Topography taken from aerial topo prepared by Maps Incorporated and verified by field-run survey.
2. Recording reference for Lots I-110 thru I-166 is Plat # 5993.
3. Water and sewer facilities are to be provided (Publicly Owned).
4. Community owned lots which include parking spaces and sidewalks shall be owned and maintained by a home owners association. Only the 28' traveled way portion of the 50' right-of-way shall be publicly maintained.
5. Minimum setback from all public streets shall be 30' unless otherwise approved by Howard County Planning Board.
6. All private streets and parking areas shall be privately maintained.
7. The minimum gross floor area of each unit excluding basement shall be 1,080 square feet. See Dwelling Elevations this sheet.
8. All entrance walks to dwellings shall be 3' wide.
9. All other sidewalks shall be 4' wide concrete, unless otherwise noted.
10. Curb return radii for roadways shall be 20' unless otherwise specified.
11. Dwellings shown hereon are 2 and 3 bedrooms, 2 story group dwellings with basements.
12. Any damage to public right-of-way or paving must be corrected at the developers expense.
13. Grades have been established to insure positive drainage. Swales shall be sodded.
14. Cheek walls shall be provided where a flight of steps contain more than 3 risers.
15. Plans subject to S-84-10, P-84-24.
16. All work shall be done in accordance with Howard County Design Manual Volume IX - Standard Specifications and Details for Construction.
17. Stormwater Management has been provided for this site. See road construction drawings for Village of Hickory Ridge, Section 3 Areas 1 & 5, F-83-120 and F-84-51 respectively.

**SPECIAL NOTES**

1. This development plan includes all applicable information outlined in Data Sheet 150 Neighborhood Standards F.H.A. Land Planning Bulletin No. 3 V.A. Pamphlet 448 and conforms with lot improvements and detail lot grading of Chapter XII F.H.A. Minimum Property Requirements dated May 1963, and to all applicable ordinances and regulations.
2. Drainage structures have been designed in accordance with sound engineering practice using recognized formulas and rainfall data currently prescribed by local authorities. These exhibits comply with the F.H.A. objectives, Minimum Property Standards, local acceptable standards and neighborhood requirements conform to all applicable local government ordinances and regulations and represent the best professional judgement of the designer.



**TYPICAL PARKING SPACE**  
No Scale



**VICINITY MAP**  
Scale: 1" = 2,000'

**SITE ANALYSIS**

Existing Zoning - New Town (Single Family Attached)  
Final Development Plan - Phase 1B1-A-1 Part II Plat # 3054A-674 thru 681.

TOTAL AREA	4.769 Ac.	TOTAL LOTS	57
Area of S.F.A. Lots	2.064 Ac.	S.F.A. Lots	55
Area of Road R/W	0.818 Ac.	Community Owned Lots	2 (I-165 and I-166)
Area of Community Owned Lots	1.887 Ac.		

Dwelling Units Permissible	52
Dwelling Units Proposed	55
Parking Spaces Required	110
Parking Spaces Proposed	106*

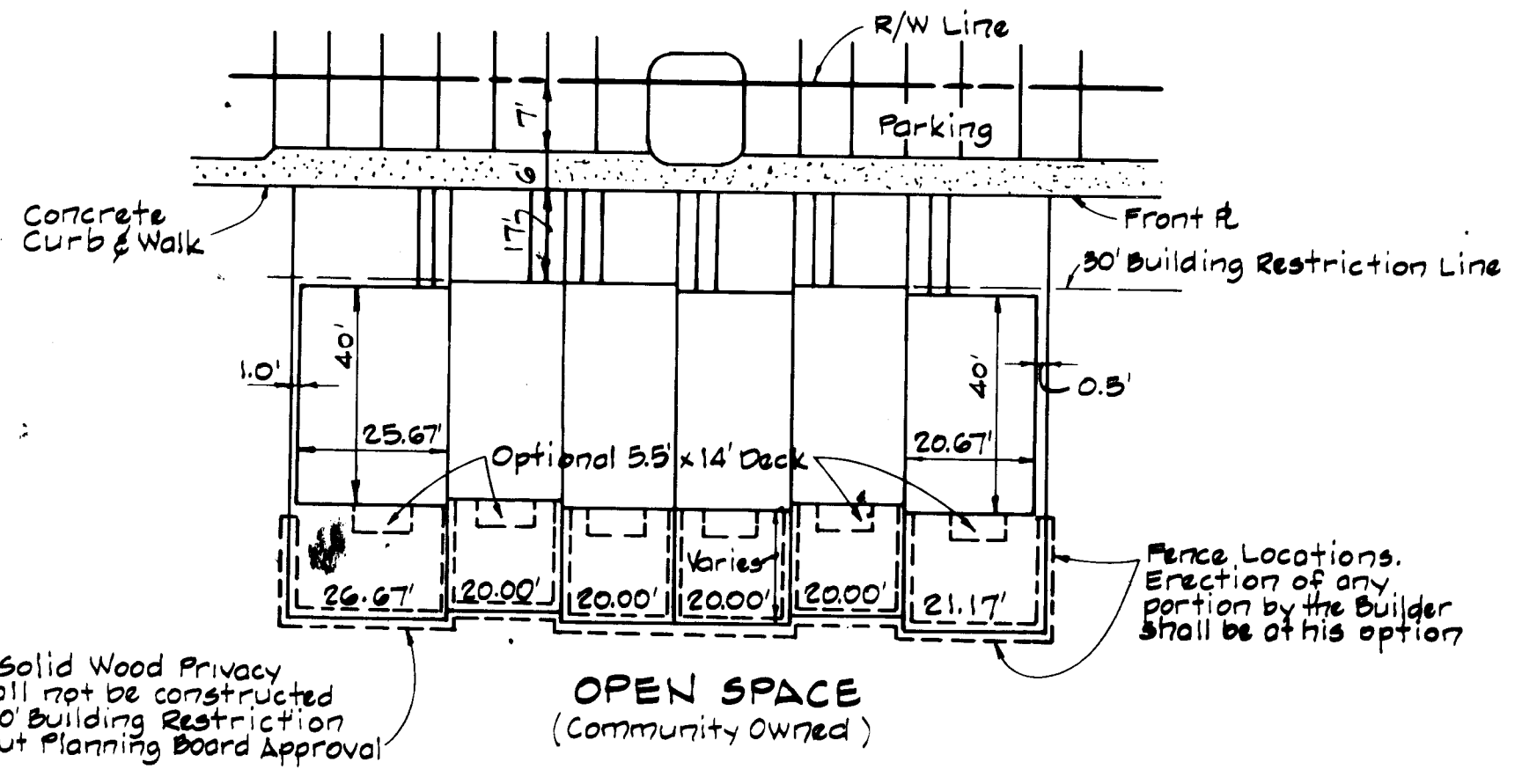
Site Building Coverage Percentage 22.3  
\*See Summation

**SUMMATION**

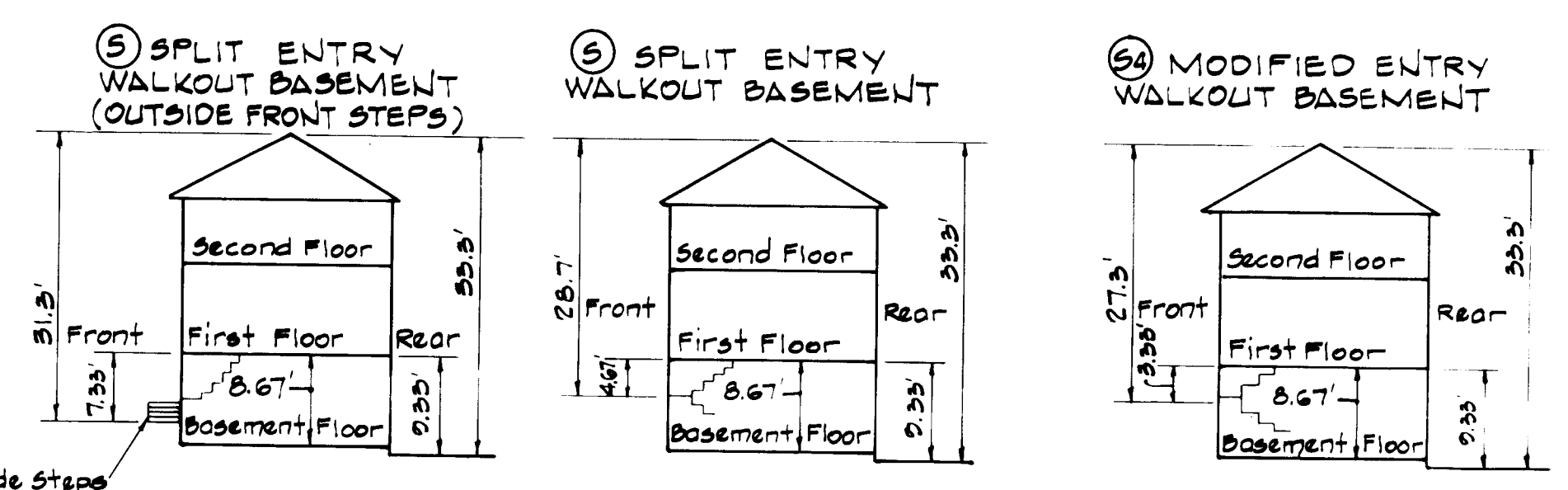
PHASE	SOP	D.U.'S ALLOWED	D.U.'S PROPOSED	PARKING REQUIRED	SPACES PROPOSED
Lots I-1 thru I-56	84-238	61	53	106	138
Lots I-60 thru I-109	84-313	43	48	96	71
Lots I-110 thru I-166	85-02	52	55	110	106
		156	156	312	315

The contractor or developer shall contact the Construction Inspection/Survey Division, 24 hours in advance of commencement of work at 292-2417 or 792-7272.

Note: Gross Floor Space (excluding basement) is as follows:  
Interior - 1600 #  
End - 1600 # and 2050 #



**TYPICAL DWELLING**  
No Scale



**TYPICAL DWELLING ELEVATIONS**  
No Scale

**PLAN**  
Scale: 1" = 100'

SHEET INDEX	
NO.	DESCRIPTION
1	TITLE SHEET
2	GRADING PLAN
3	SEDIMENT CONTROL PLAN
4	DETAIL SHEET
5	LANDSCAPE PLAN

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT  
*John Gordon* 11-27-84  
COUNTY HEALTH OFFICER DATE

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
*Thomas J. ...* 11-30-84  
PLANNING DIRECTOR DATE

APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*John ...* 11-29-84  
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION

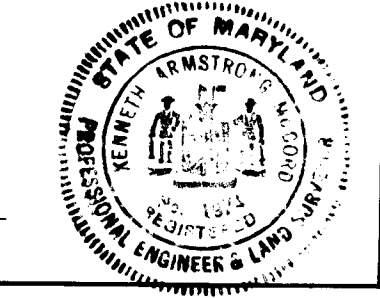
APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*John ...* 11-26-84  
DIRECTOR DATE

APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*John ...* 11-13-84  
CHIEF, BUREAU OF ENGINEERING DATE

HOWARD HOMES  
OWNER AND DEVELOPER  
P.O. BOX 802, COLUMBIA, MARYLAND 21044

APPROVED  
DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE 7-30-84  
*M. ANN*

WHITMAN, REQUART & ASSOCIATES  
ENGINEERS  
2315 ST. PAUL STREET  
BALTIMORE, MARYLAND 21218  
*Kenneth A. McCord*  
KENNETH A. MCCORD P.E. No. 1074



NO.	DATE	DESCRIPTION OF REVISION
1	8/1/84	As per DPW, Planning and SCS Comments.

**COLUMBIA SITE PLANS**  
VILLAGE OF HICKORY RIDGE  
SECTION 3 AREA 6  
LOTS I-110 THRU I-166  
A RESUBDIVISION OF LOT I-59  
**TITLE SHEET**  
SHEET 1 OF 6  
ELECTION DISTRICT NO. 5, HOWARD COUNTY, MARYLAND  
DATE: 6/8/84  
SCALE: AS SHOWN

6/8/84 SDP-85-02.

**RESPONSIBLE PERSONNEL CERTIFICATION**  
 "I HEREBY CERTIFY THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT."  
*Lee B. Rosenberg* 6-8-84 DATE  
 LEE B. ROSENBERG DATE

**CERTIFICATION BY THE DEVELOPER**  
 "I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND I ALSO AUTHORIZE PERIODIC ON SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."  
*Lee B. Rosenberg* 6-8-84 DATE  
 LEE B. ROSENBERG DATE

**CERTIFICATION BY THE ENGINEER**  
 "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION."  
*Kenneth A. McCord* 6-8-84 DATE  
 KENNETH A. MCCORD P.E. 1972 DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT  
*Joyce Egan* 11-20-83 DATE  
 COUNTY HEALTH OFFICER DATE  
 APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
*James H. Harrod* 11-30-84 DATE  
 PLANNING DIRECTOR DATE  
*John W. Amundson* 11-29-84 DATE  
 CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE  
 APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*John F. Nunnally* 11-26-84 DATE  
 DIRECTOR DATE  
*William E. Brown* 11-23-84 DATE  
 CHIEF, BUREAU OF ENGINEERING DATE

**LEGEND**  
 --- 330 Proposed Contour (1 Interval)  
 --- 330 Existing Contour (2 Interval)  
 (8) Building Group Number  
 7 Number of Dwellings in Group  
 S or (S) Building Type  
 Lot Number  
 R.W. Retaining Wall  
 H.R. Handicap Ramp  
 Travelled Way (To be Publicly Maintained)  
 Concrete Walk  
 Macadam Walk  
 Fire Hydrant  
 Light Fixture  
 Trees to Remain

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
 APPROVED *John S. Huber* 11-23-84 DATE  
 HOWARD S.C.O. DATE  
 REVIEWED FOR HOWARD S.C.O. AND MEETS TECHNICAL REQUIREMENTS  
*James M. Helm* 11-23-84 DATE  
 U.S. SOIL CONSERVATION SERVICE DATE

**ADDRESS CHART**

STREET ADDRESS	LOT	STREET ADDRESS	LOT
11850 Dixie February Way	I-110	11912 Dixie February Way	I-138
11852 " " "	I-111	11914 " " "	I-139
11854 " " "	I-112	11916 " " "	I-140
11856 " " "	I-113	11917 " " "	I-141
11858 " " "	I-114	11918 " " "	I-142
11860 " " "	I-115	11919 " " "	I-143
11862 " " "	I-116	11920 " " "	I-144
11864 " " "	I-117	11921 " " "	I-145
11866 " " "	I-118	11922 " " "	I-146
11868 " " "	I-119	11923 " " "	I-147
11870 " " "	I-120	11924 " " "	I-148
11872 " " "	I-121	11925 " " "	I-149
11874 " " "	I-122	11926 " " "	I-150
11876 " " "	I-123	11927 " " "	I-151
11878 " " "	I-124	11928 " " "	I-152
11880 " " "	I-125	11929 " " "	I-153
11882 " " "	I-126	11930 " " "	I-154
11884 " " "	I-127	11931 " " "	I-155
11886 " " "	I-128	11932 " " "	I-156
11888 " " "	I-129	11933 " " "	I-157
11890 " " "	I-130	11934 " " "	I-158
11892 " " "	I-131	11935 " " "	I-159
11894 " " "	I-132	11936 " " "	I-160
11896 " " "	I-133	11937 " " "	I-161
11898 " " "	I-134	11938 " " "	I-162
11900 " " "	I-135	11939 " " "	I-163
11902 " " "	I-136	11940 " " "	I-164
11904 " " "	I-137		

**SITE ANALYSIS**  
 AREA OF IMPERVIOUS 2.1 ACRES  
 AREA TO BE VEGETATED 2.1 ACRES  
 AREA UNDISTURBED 0.6 ACRES

HOWARD HOMES  
 OWNER AND DEVELOPER  
 P.O. BOX 802  
 COLUMBIA, MARYLAND 21024

SUBDIVISION NAME	SEC./AREA	LOT#
VILLAGE OF HICKORY RIDGE	3/6	I-110 - I-166
PLAT# BLOCK# ZONE TAX/ZONE MAP ELEC. DIST. CENSUS TR.		
5993 10 INT/SFA 35 5M 6053.01		
WATER CODE SEWER CODE		
E-21 2220 000		

1 8/1/84 As per DPW, Planning and SCS Comments.  
 NO. DATE DESCRIPTION OF REVISION  
**COLUMBIA SITE PLANS**  
 for  
 VILLAGE OF HICKORY RIDGE  
 SECTION 3 AREA 6  
 LOTS I-110 THRU I-166  
**GRADING PLAN**  
 SHEET 2 OF 6  
 ELECTION DISTRICT NO. 5  
 HOWARD COUNTY, MARYLAND  
 DATE: SCALE: 1"=30'

DIVISION III  
 ZONING  
 HOWARD COUNTY  
 7-30-84  
*M/S/Amundson*



WHITMAN, REQUARDT AND ASSOCIATES  
 ENGINEERS  
 2315 ST. PAUL STREET  
 BALTIMORE, MARYLAND 21218  
*Kenneth A. McCord*  
 KENNETH A. MCCORD P.E. NO 1974

NOTE:  
 STORM DRAIN SYSTEMS AND PUBLIC ROADWAYS TO BE CONSTRUCTED FROM ROAD CONSTRUCTION DRAW N33-F-84-140 AND F-85-01

NOTE:  
 WATER AND SEWER MAINS TO BE CONSTRUCTED UNDER CONTRACTS NO. 34-1194-D AND NO. 34-1266-D.

THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
 LIBER 463, FOLIO 196

E 827,300  
 N 500,500

N 500,200

E 827,000

N 500,200

**RESPONSIBLE PERSONNEL CERTIFICATION**  
 I HEREBY CERTIFY THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.  
*Lee B. Rosenberg* 6-8-84  
 LEE B. ROSENBERG DATE

**CERTIFICATION BY THE DEVELOPER**  
 I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND I ALSO AUTHORIZE PERIODIC ON SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.  
*Lee B. Rosenberg* 6-8-84  
 LEE B. ROSENBERG DATE

**CERTIFICATION BY THE ENGINEER**  
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
*Kenneth A. McCord* 6-8-84  
 KENNETH A. MCCORD P.E. 1974 DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT  
*John W. Blum* 11-30-84  
 JOHN W. BLUM DATE  
 APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
*James H. Anand* 11-30-84  
 JAMES H. ANAND DATE  
*John W. Blum* 11-29-84  
 JOHN W. BLUM DATE  
 CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION  
 APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*Alvin E. Nummy* 11-26-84  
 ALVIN E. NUMMY DATE  
 APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
*Howard S.C.D.* DATE  
 REVIEWED FOR HOWARD S.C.D. AND METS TECHNICAL REQUIREMENTS.  
*Howard S.C.D.* 11-20-84  
 HOWARD S.C.D. DATE  
 U.S. SOIL CONSERVATION SERVICE

- LEGEND**
- 330 Proposed Contour (1' Interval)
  - 330 Existing Contour (2' Interval)
  - (B) Building Group Number
  - 7 Number of Dwellings in Group
  - (S) or (R) Building Type
  - I-10 Lot Number
  - R.W. Retaining Wall
  - H.R. Handicap Ramp
  - Travelled Way (To be Publicly Maintained)
  - Concrete Walk
  - Macadam Walk
  - Fire Hydrant
  - Light Fixture
  - Trees to Remain

APPROVED  
 DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
 HOWARD COUNTY, MARYLAND  
 DATE 7-30-84  
*John W. Blum*

**ADDRESS CHART**

STREET ADDRESS	LOT STREET ADDRESS	LOT
Blue February Way I-110	Blue February Way	I-128
" " " I-111	" " "	I-132
" " " I-112	" " "	I-140
" " " I-113	" " "	I-141
" " " I-114	" " "	I-142
" " " I-115	" " "	I-143
" " " I-116	" " "	I-144
" " " I-117	" " "	I-145
" " " I-118	" " "	I-146
" " " I-119	" " "	I-147
" " " I-120	" " "	I-148
" " " I-121	" " "	I-149
" " " I-122	" " "	I-150
" " " I-123	" " "	I-151
" " " I-124	" " "	I-152
" " " I-125	" " "	I-153
" " " I-126	" " "	I-154
" " " I-127	" " "	I-155
" " " I-128	" " "	I-156
" " " I-129	" " "	I-157
" " " I-130	" " "	I-158
" " " I-131	" " "	I-159
" " " I-132	" " "	I-160
" " " I-133	" " "	I-161
" " " I-134	" " "	I-162
" " " I-135	" " "	I-163
" " " I-136	" " "	I-164
" " " I-137	" " "	I-164

**SITE ANALYSIS**  
 AREA OF IMPERVIOUS 2.1 ACRES  
 AREA TO BE VEGETATED 2.1 ACRES  
 AREA UNDISTURBED 0.6 ACRES

HOWARD HOMES  
 OWNER AND DEVELOPER  
 P.O. BOX 802  
 COLUMBIA, MARYLAND 21044

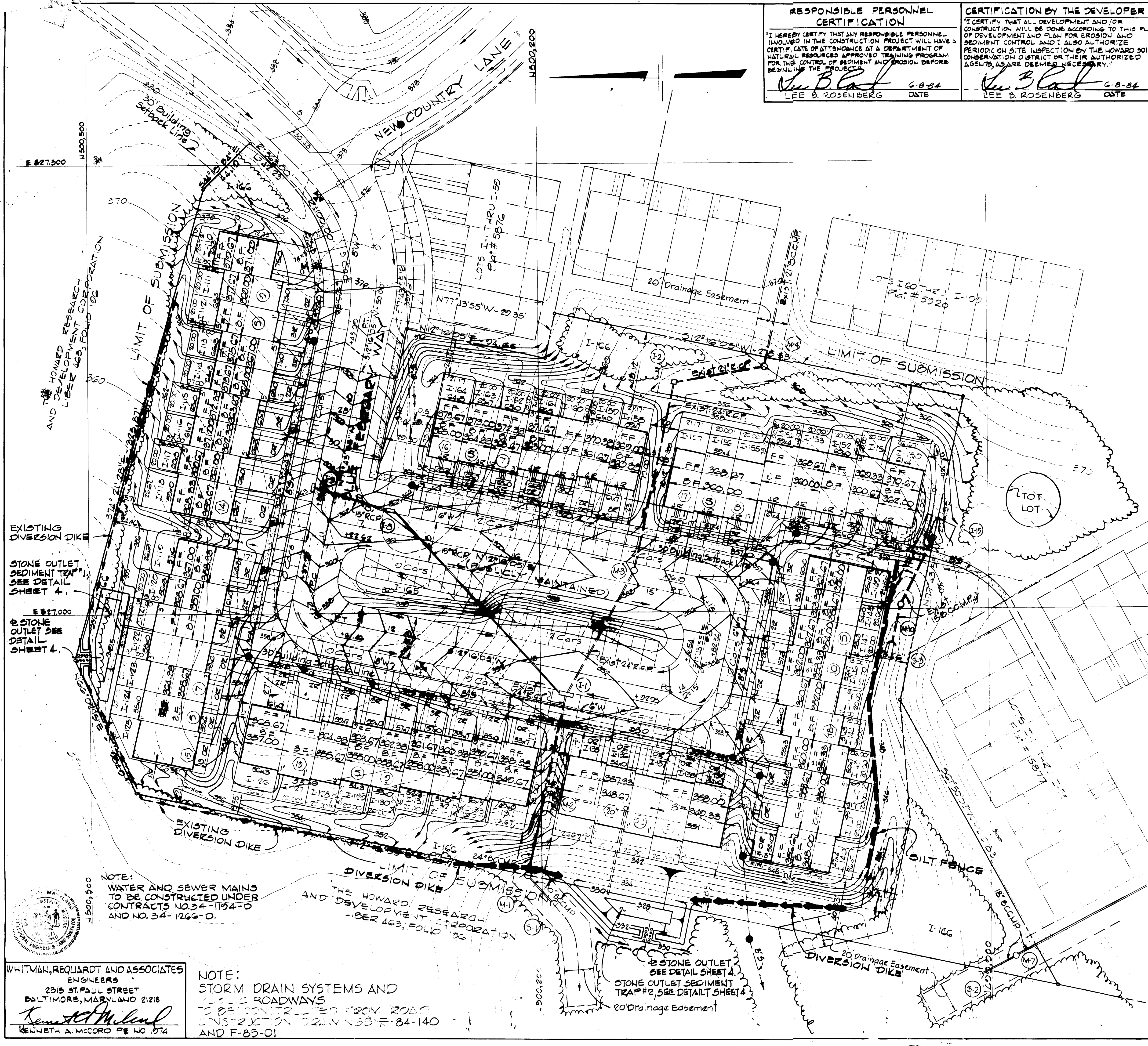
SUBDIVISION NAME VILLAGE OF HICKORY RIDGE	SEC./AREA 3/G	LOT # I-110 - I-166
PLAT # BLOCK # ZONE NT/5FA	TAX / ZONE MAP ELEC. DIST. 5th	CENSUS TR. 5th
WATER CODE	SEWER CODE	

**SEDIMENT TRAP DESIGN DATA**

**TRAP #1**  
 DRAINAGE AREA 1.9 ACRES  
 VOLUME REQUIRED 10967.127 CY  
 VOLUME AVAILABLE 12767.000 CY  
 TOP DEEM ELEV. 332.0  
 DESIGN CAPACITY ELEV. 331.0  
 BOTTOM TRAP ELEV. 329.5  
 STONE OUTLET WIDTH 5'

**TRAP #2**  
 DRAINAGE AREA 1.72 ACRES  
 VOLUME REQUIRED 11247.800 CY  
 VOLUME AVAILABLE 12767.000 CY  
 TOP DEEM ELEV. 332.0  
 DESIGN CAPACITY ELEV. 331.0  
 BOTTOM TRAP ELEV. 328.0  
 STONE OUTLET WIDTH 5'

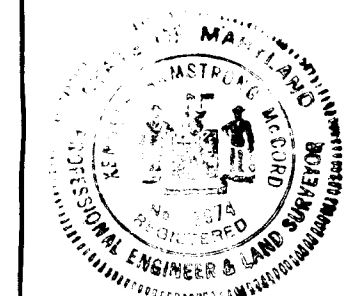
**COLUMBIA SITE PLANS**  
 for  
 VILLAGE OF HICKORY RIDGE  
 SECTION 3 AREA 6  
 LOTS I-110 THRU I-166  
**SEDIMENT CONTROL PLAN**  
 SHEET 3 OF 6  
 ELECTION DISTRICT NO. 5  
 HOWARD COUNTY, MARYLAND  
 DATE: SCALE 1"=30'



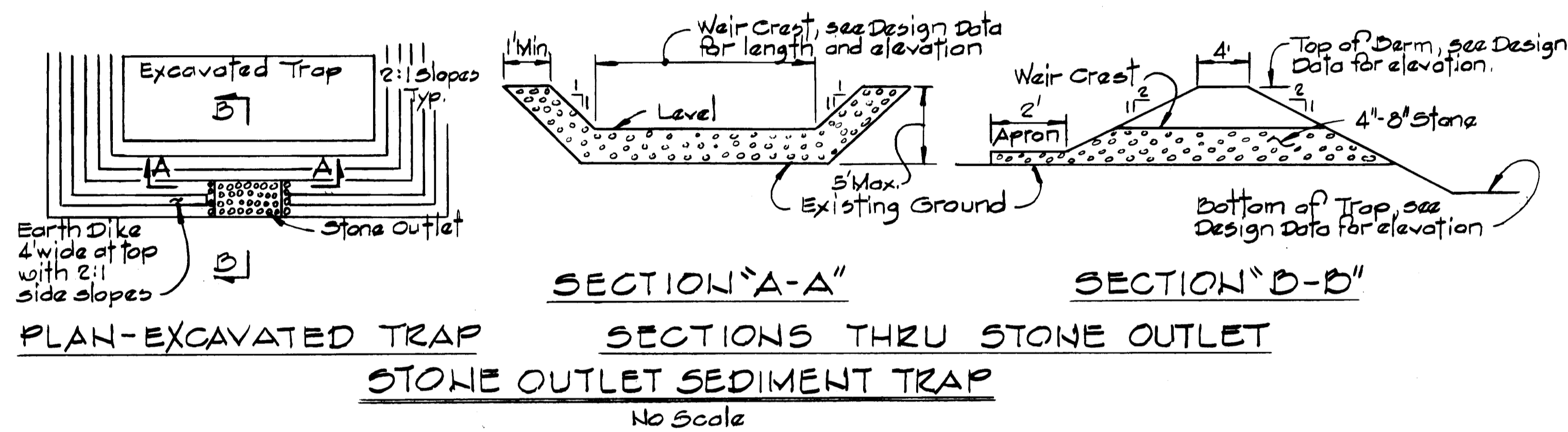
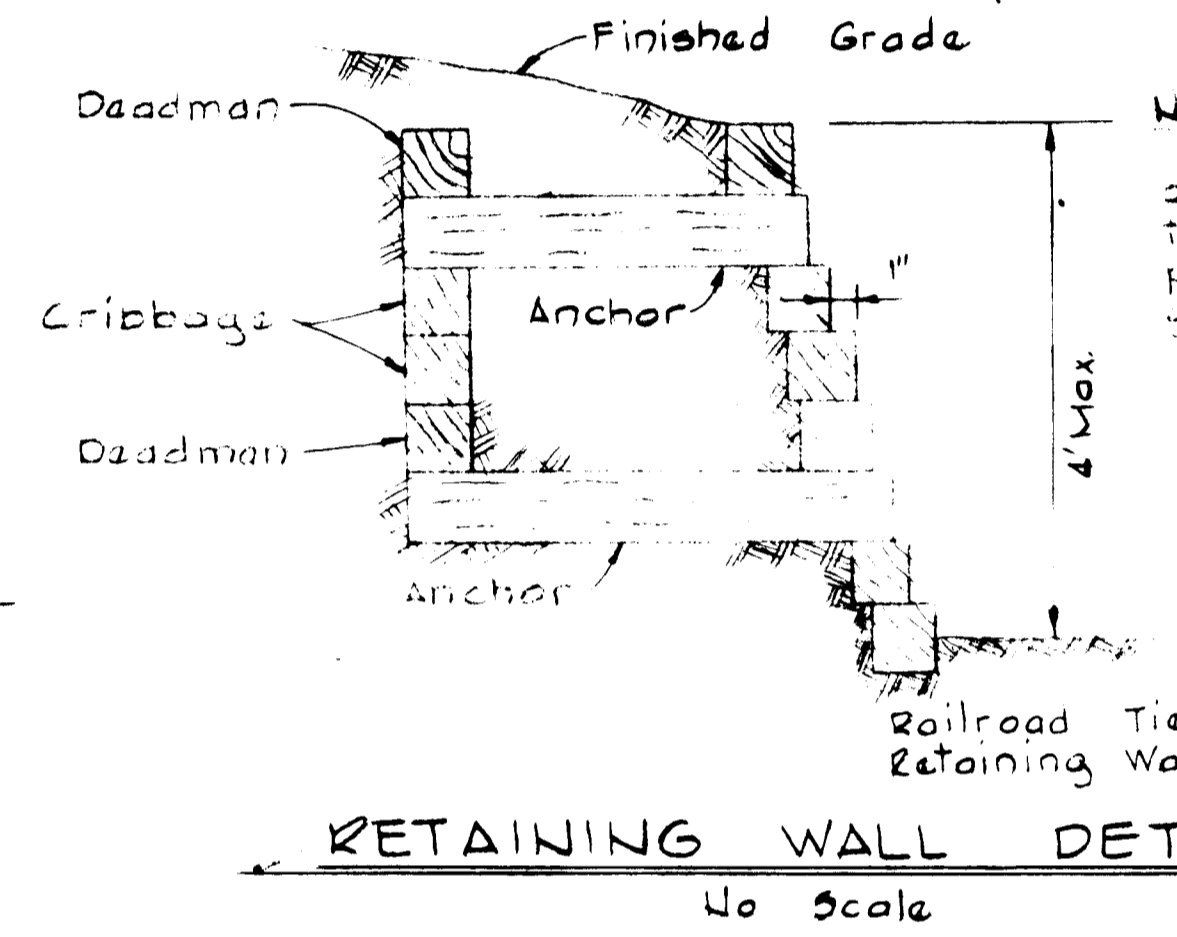
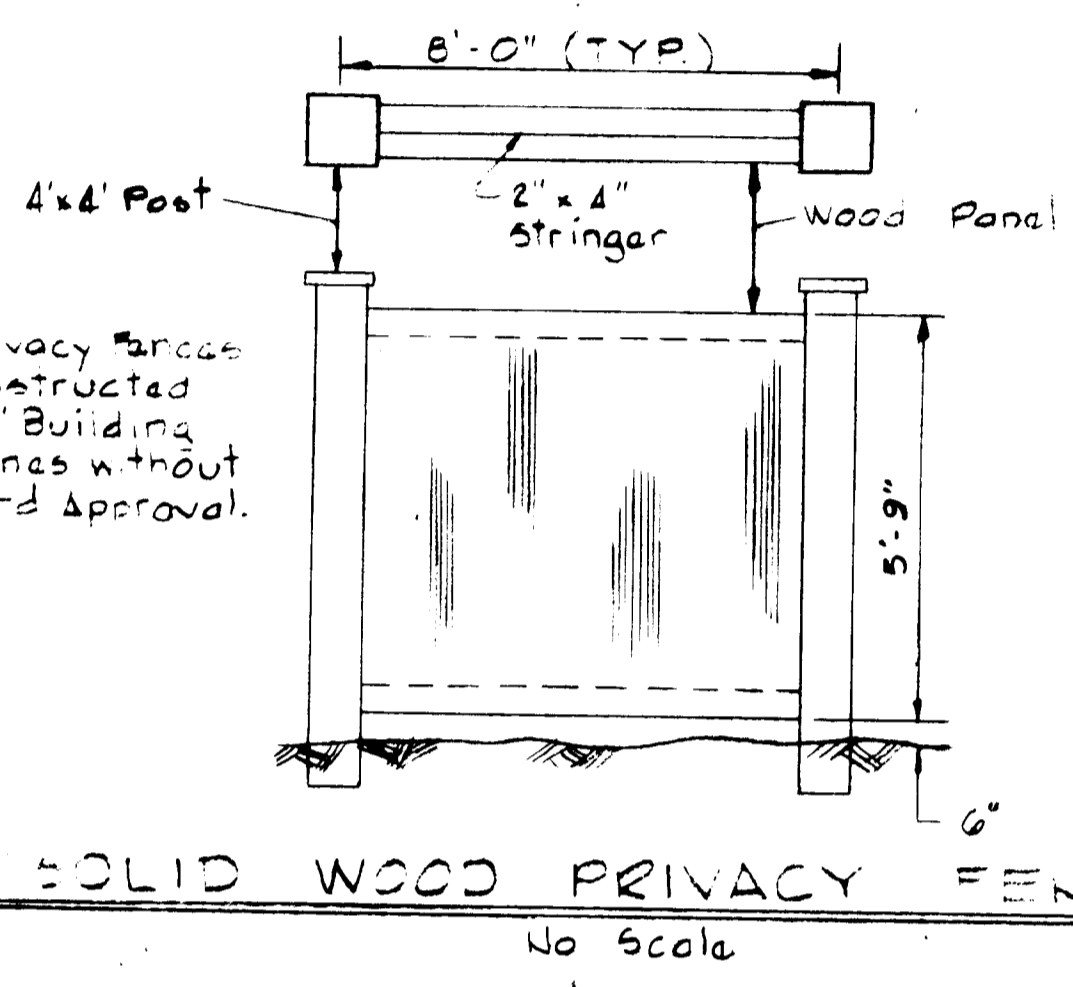
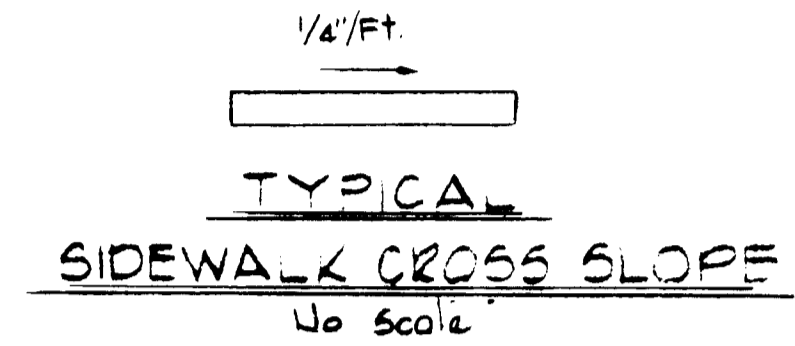
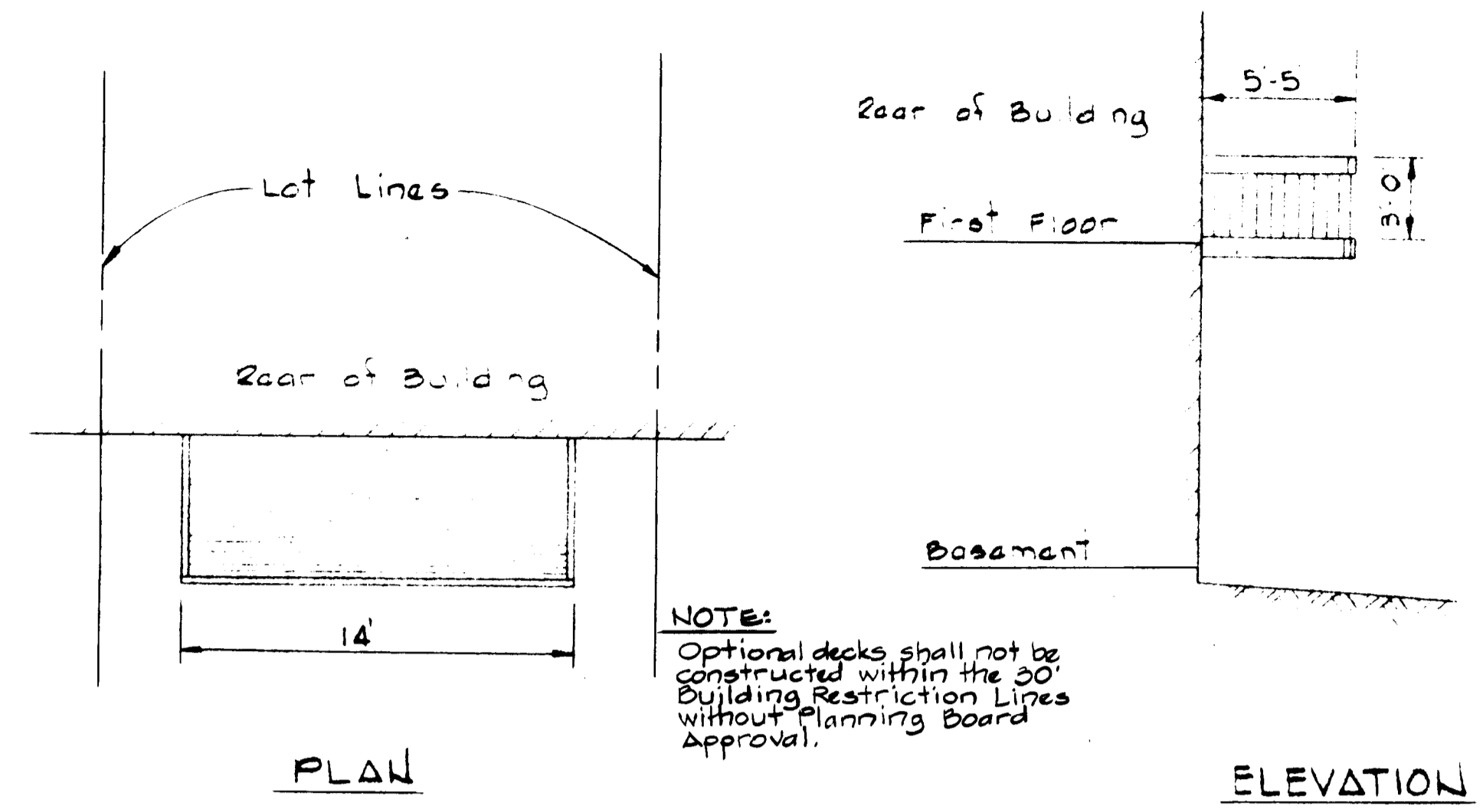
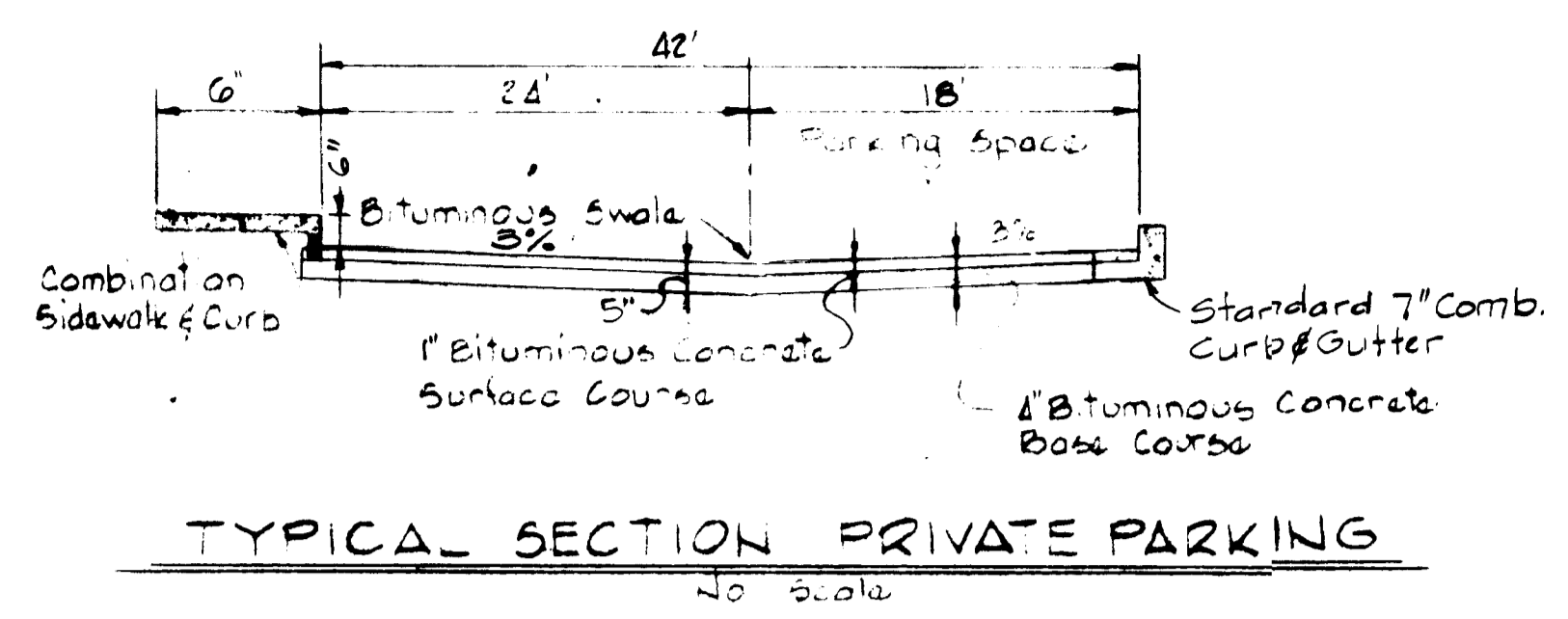
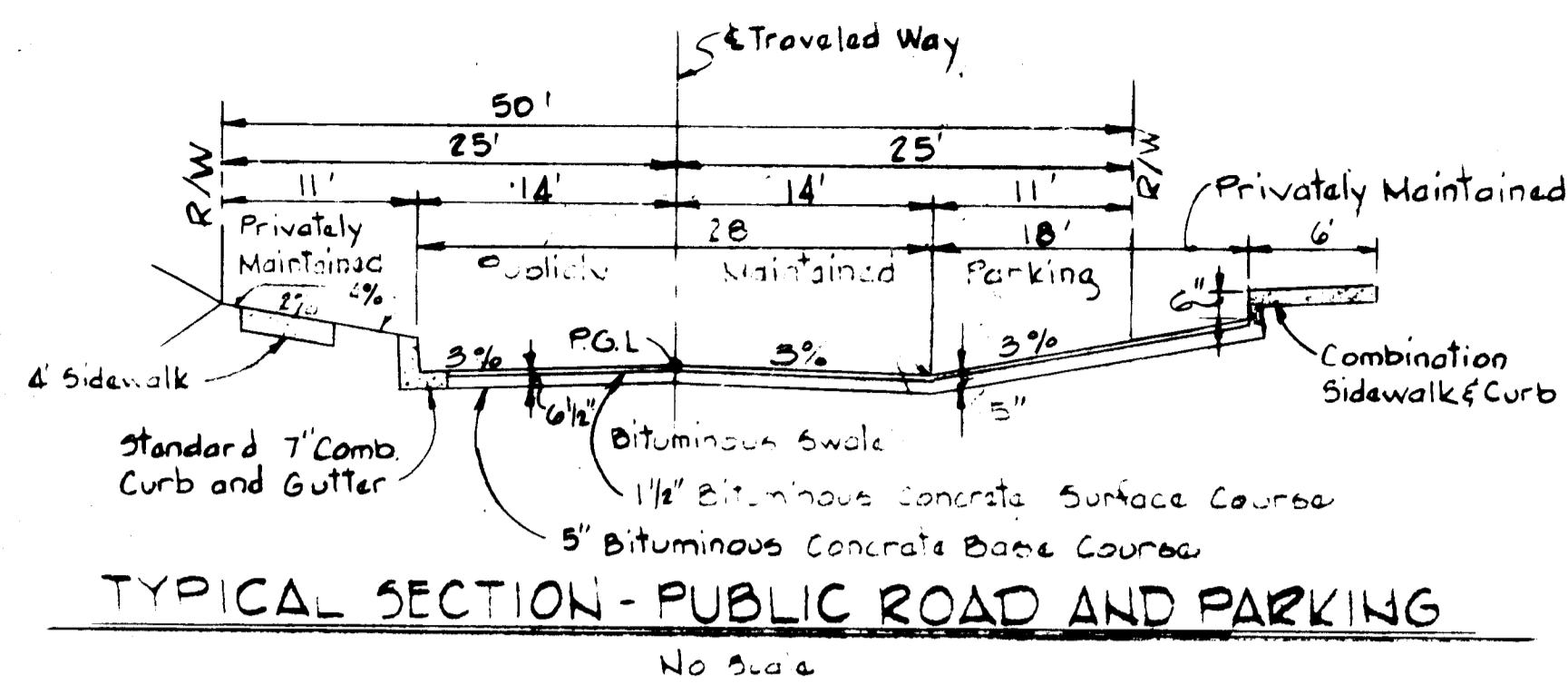
WHITMAN, REQUIART AND ASSOCIATES  
 ENGINEERS  
 2315 ST. PAUL STREET  
 BALTIMORE, MARYLAND 21218  
*Kenneth A. McCord*  
 KENNETH A. MCCORD P.E. NO. 1974

NOTE:  
 STORM DRAIN SYSTEMS AND PUBLIC ROADWAYS TO BE CONSTRUCTED FROM ROAD CONSTRUCTION 02-11-83 F-84-140 AND F-85-01

NOTE:  
 WATER AND SEWER MAINS TO BE CONSTRUCTED UNDER CONTRACTS NO. 34-1194-D AND NO. 34-1266-D.

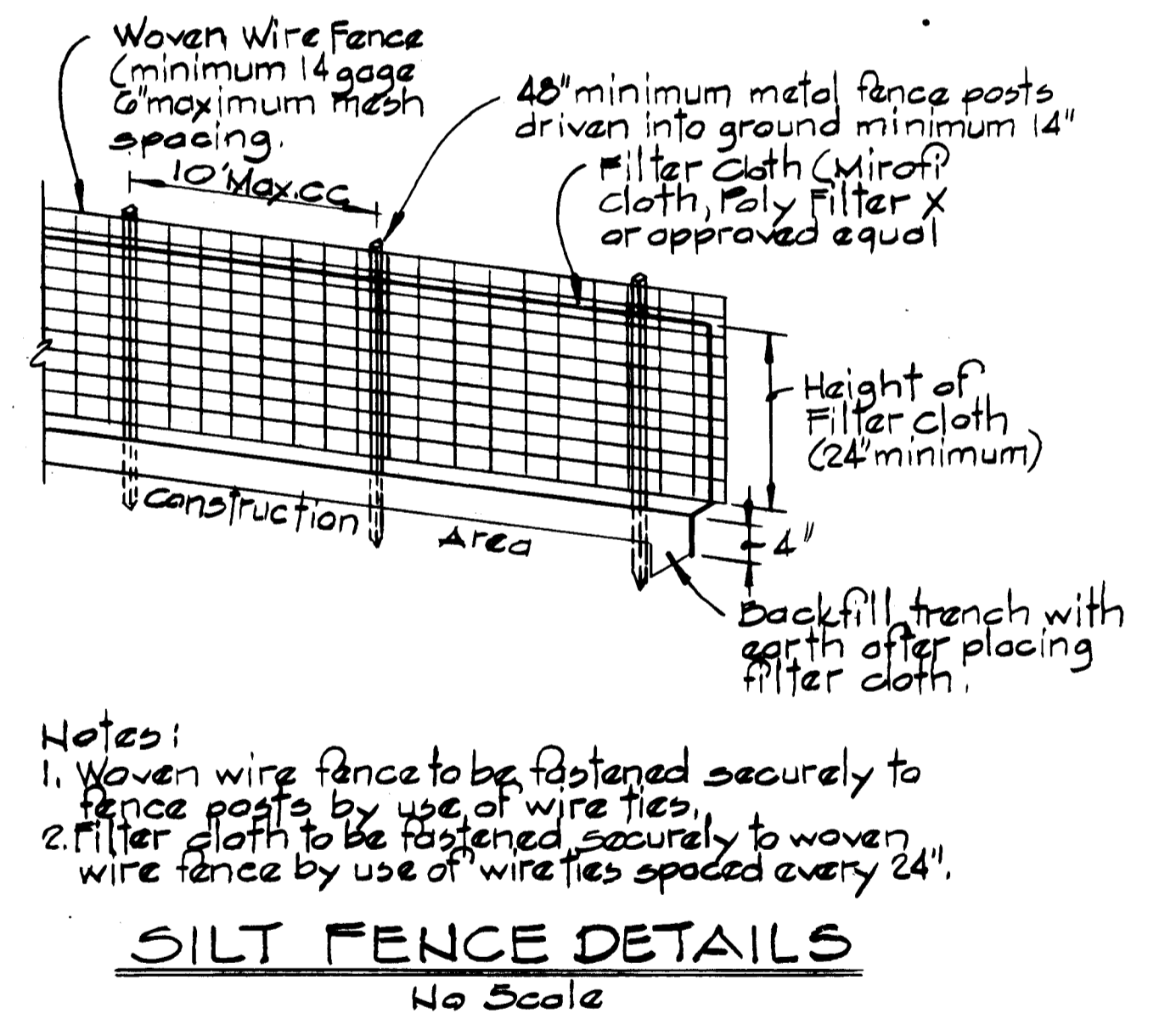
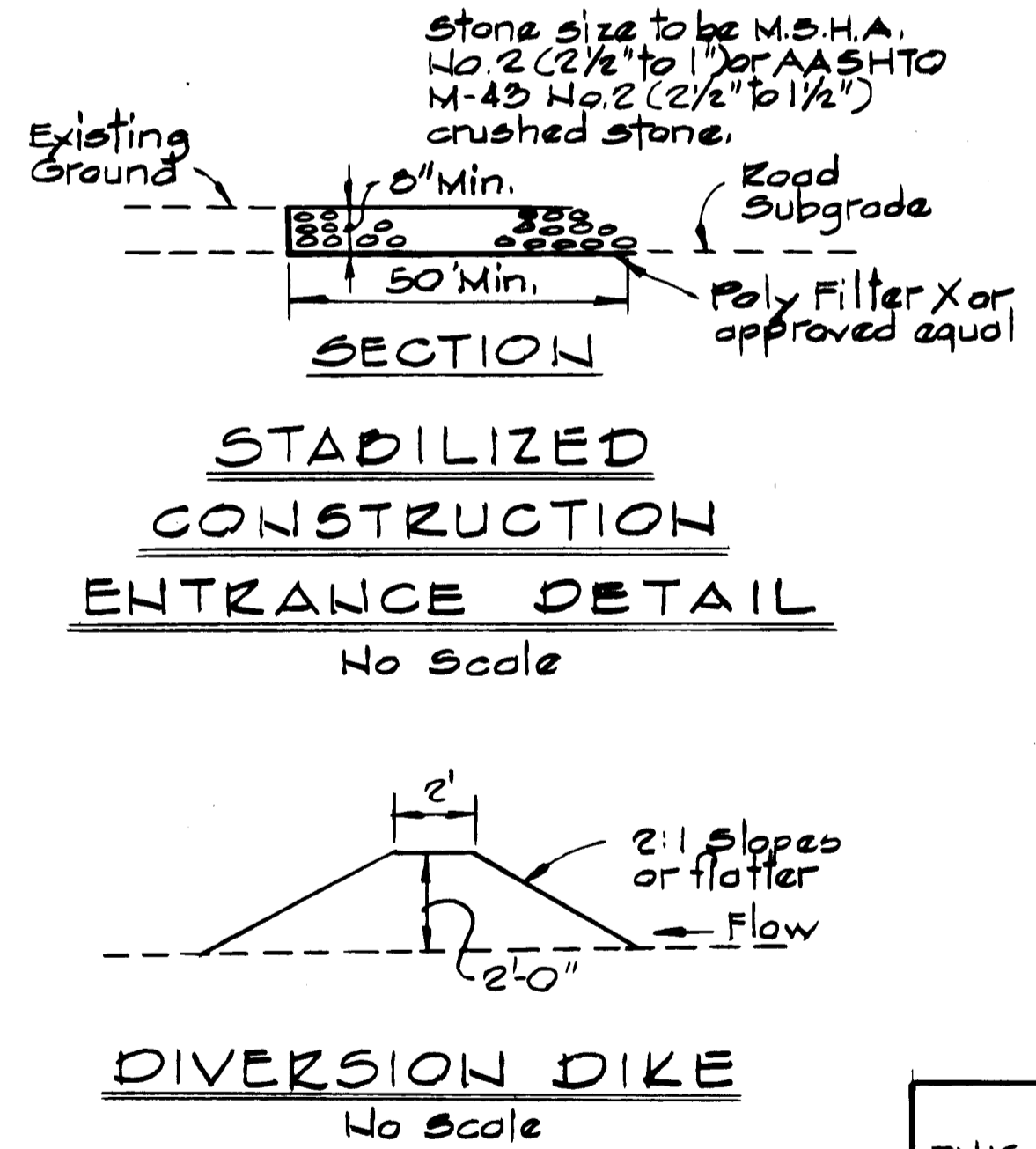
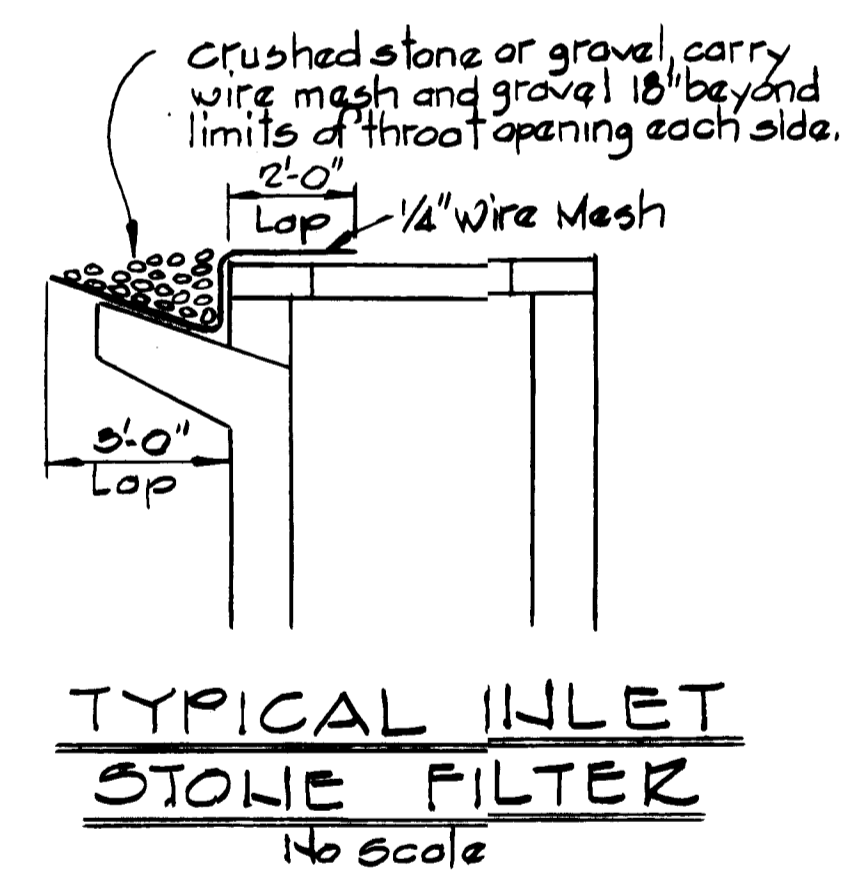


APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT  
 11-28-84  
 APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
 11-30-84  
 APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 11-26-84  
 11-23-84



**PERMANENT SEEDING NOTES**  
 LIME - 2 tons/acre agricultural ground limestone,  
 FERTILIZER - 1000 lbs/acre (10-10-10)  
 SEEDING - 100 lbs/acre of the following:  
 20% Kentucky Blue Grass, 20% Merion Blue  
 Grass, 55% Creeping Red Fescue, 5% Red Top.  
 Mulch Required - Mulch area with straw at the rate of 75  
 lbs/1000 ft<sup>2</sup> or 1.5 tons/acre. Anchor with asphalt at the  
 rate of 450 gallons/acre. Stabilization of slopes  
 steeper than 3:1 shall be planted with crownvetch at the  
 rate of 20 lbs/acre or 0.46 lbs/1000 ft<sup>2</sup> and Kentucky Bl Tall  
 Fescue at the rate of 40 lbs/acre or 1 lb/1000 ft<sup>2</sup>.

**SEQUENCE OF CONSTRUCTION**  
 1. Install stabilized construction entrance on Blue  
 February Way.  
 2. Construct sediment trap #1.  
 3. Construct storm drain system from existing I-1 to  
 I-9. Place stone filters at inlets I-8 and I-9.  
 4. Construct utilities, housing, curb and gutter and  
 streets for lots I-110 thru I-125 and I-150 thru I-164.  
 5. Fine grade and construct sidewalks for lots I-110  
 thru I-125 and I-150 thru I-164.  
 6. Stabilize disturbed areas with permanent seeding,  
 see specifications this sheet.  
 7. After grass is established in the contributing drainage  
 area (lots I-1 thru I-125 and I-150 to I-164) construct  
 storm drain system from S-1 to existing M-2.  
 8. Construct sediment trap #2, diversion dikes and silt  
 fence.  
 9. Stabilize diversion dikes with temporary seeding,  
 see specifications this sheet.  
 10. Dewater if necessary and remove sediment from  
 sediment basin. Clean basin bottom and remove  
 principal spillway and basin to building subgrade with  
 suitable material in eight inch lifts and compact to  
 90% of maximum density (AASHTO-T100).  
 11. Construct utilities and housing for lots I-126 thru I-149.  
 12. Fine grade and construct sidewalks for lots I-126 thru I-149.  
 13. After contributing drainage areas are stabilized, sediment  
 traps, diversion dikes and silt fence may be removed.



**SEDIMENT CONTROL NOTES**  
 1. See "Sequence of Construction" this sheet.  
 2. The sediment control measures shall be constructed  
 as shown on these drawings.  
 3. All temporary sediment control devices shall be seeded  
 as specified in Notes 4 and 5. All other surfaces to be  
 to be permanently seeded. See specifications this sheet.  
 4. The temporary sediment control devices shall be  
 hydroseeded as follows:  
 a. Ground Limestone (50 lbs/1000 ft<sup>2</sup>)  
 b. Fertilizer - 10-10-10 (25 lbs/1000 ft<sup>2</sup>)  
 c. Seed - Italian Rye Grass (40 lbs/acre)  
 5. Mulch with straw at the rate of 50 lbs/1000 ft<sup>2</sup> or 1 ton/  
 acre. Anchor with asphalt at the rate of 450 gallons/  
 acre.  
 6. Prior to starting any work the contractor shall  
 notify Howard County Sediment Control Division  
 at least 24 hours in advance.

**CERTIFICATION BY THE ENGINEER**  
 I CERTIFY THAT THIS PLAN FOR EROSION  
 AND SEDIMENT CONTROL REPRESENTS A  
 PRACTICAL AND WORKABLE PLAN BASED ON  
 MY PERSONAL KNOWLEDGE OF THE SITE  
 CONDITIONS AND THAT IT WAS PREPARED  
 IN ACCORDANCE WITH THE REQUIREMENTS  
 OF THE HOWARD SOIL CONSERVATION DISTRICT.  
 Kenneth A. McCord 6-8-84  
 KENNETH A. MCCORD DATE

**CERTIFICATION BY THE DEVELOPER**  
 I/WE CERTIFY THAT ALL DEVELOPMENT  
 AND CONSTRUCTION WILL BE DONE  
 ACCORDING TO THIS PLAN, AND THAT ANY  
 RESPONSIBLE PERSONNEL INVOLVED IN THE  
 CONSTRUCTION PROJECT WILL HAVE A  
 CERTIFICATE OF ATTENDANCE AT A  
 DEPARTMENT OF NATURAL RESOURCES  
 APPROVED TRAINING PROGRAM FOR THE  
 CONTROL OF SEDIMENT AND EROSION  
 BEFORE BEGINNING THE PROJECT.  
 Lee D. Rosenberg 6-8-84  
 LEE D. ROSENBERG DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
 APPROVED: Philip 11-20-84  
 HOWARD SCD DISTRICT  
 REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS  
 11-20-84  
 U.S. SOIL CONSERVATION SERVICE DATE

2	10/26/84	As Per S.C.D. Comments
1	8/1/84	As Per D.P.W. and S.C.D. Comments
No.	DATE	DESCRIPTION OF REVISION

**COLUMBIA SITE PLANS**  
 VILLAGE OF HICKORY RIDGE  
 SECTION 3 AREA G  
 LOTS I-110 THRU I-164  
 DETAIL SHEET  
 SHEET 4 OF 5  
 ELECTION DISTRICT No. 5, HOWARD COUNTY, MARYLAND  
 SCALE: As Shown

WHITMAN, REQUARDT & ASSOCIATES  
 ENGINEERS  
 2915 ST PAUL STREET  
 BALTIMORE, MARYLAND 21218  
 Kenneth A. McCord  
 KENNETH A. MCCORD P.E. NO. 1974

HOWARD HOMES  
 OWNER AND DEVELOPER  
 PO BOX 802, COLUMBIA, MARYLAND 21044

PLANT LIST

QTY.	SYM	NAME	SIZE	ROOT	REMARK
<b>Shade Trees</b>					
24	L	Acer rubrum 'October Glory' October Glory Red Maple	2 1/2-3" cal. 12-14' ht.	B&B	Full
8	F	Fraxinus lanceolata 'Marshall's Seedless' Marshall's Seedless Ash	2 1/2-3" cal. 12-14' ht.	B&B	Full
37	A	Platanus acerfolia 'Bloodgood' Bloodgood Planetree	2 1/2-3" cal. 12-14' ht.	B&B	Full
50	P	Quercus palustris Pin Oak	2 1/2-3" cal. 12-14' ht.	B&B	Full
<b>Ornamental Trees</b>					
5	G	Acer ginnala Amur Maple	8-10' ht.	B&B	Prune off lower growth
14	K	Cornus kousa Kousa Dogwood	8-10' ht.	B&B	2-3 stems Full
17	S	Magnolia stellata Star Magnolia	8-10' ht.	B&B	Full
11	M	Malus floribunda Japanese Flowering Crab	8-10' ht.	B&B	Full
<b>Evergreen Trees</b>					
15	N	Pinus strobus White Pine	6-7' ht.	B&B	Full
13	J	Pinus thunbergii Japanese Black Pine	6-7' ht.	B&B	Full
15	H	Tsuga canadensis Canadian Hemlock	6-7' ht.	B&B	Full
<b>Shrubs</b>					
59	EA	Euonymus alatus 'Compactus' Dwarf Winged Euonymus	18-24" ht. 18-24" spd.	B&B	Full
53	FS	Forsythia suspensa Weeping Forsythia	30-36" ht. 30-36" spd.	B&B	Full
30	PJ	Pieris japonica Japanese Pieris	18-24" ht.	B&B	Full or cont.
25	PC	Pyracantha coccinea 'Lalandi' Laland Firethorn	18-24" spd.	B&B	Full
40	RC	Rhododendron catawbiense 'Boursalt' Boursalt Rhododendron	18-24" ht. 18-24" spd.	B&B	Full
35	MP	Taxus x media 'Densiflora' Dense Yew	18-24" ht. 18-24" spd.	B&B	Full
45	VD	Viburnum dentatum Arrowwood Viburnum	30-36" ht. 30-36" spd.	B&B	Full

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,  
HOWARD COUNTY HEALTH DEPARTMENT  
DATE 11-28-84

APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING  
DATE 11-30-84

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE,  
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
DATE 11-29-84

DATE 11-26-84

DATE 11-23-84



Planning, Urban Design & Landscape Architecture

5560 Sterrett Place, Suite 300  
Columbia, Maryland 21044-2660  
301/730-9191

**TIMBERLANE**

COLUMBIA  
VILLAGE OF HICKORY RIDGE

SECTION 3, AREA 6  
LOTS I-1 THRU I-5, I-60 THRU I-72  
AND I-108 THRU I-164  
HOWARD COUNTY, MARYLAND

HOWARD HOMES  
BUILDING CO.  
P.O. BOX 802  
COLUMBIA, MARYLAND

APPROVED  
DIVISION OF LAND DEVELOPMENT &  
ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE 7-30-84



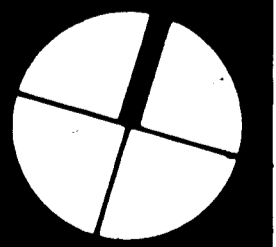
Sheet Title  
**LANDSCAPE PLAN**

Scale 1" = 30'

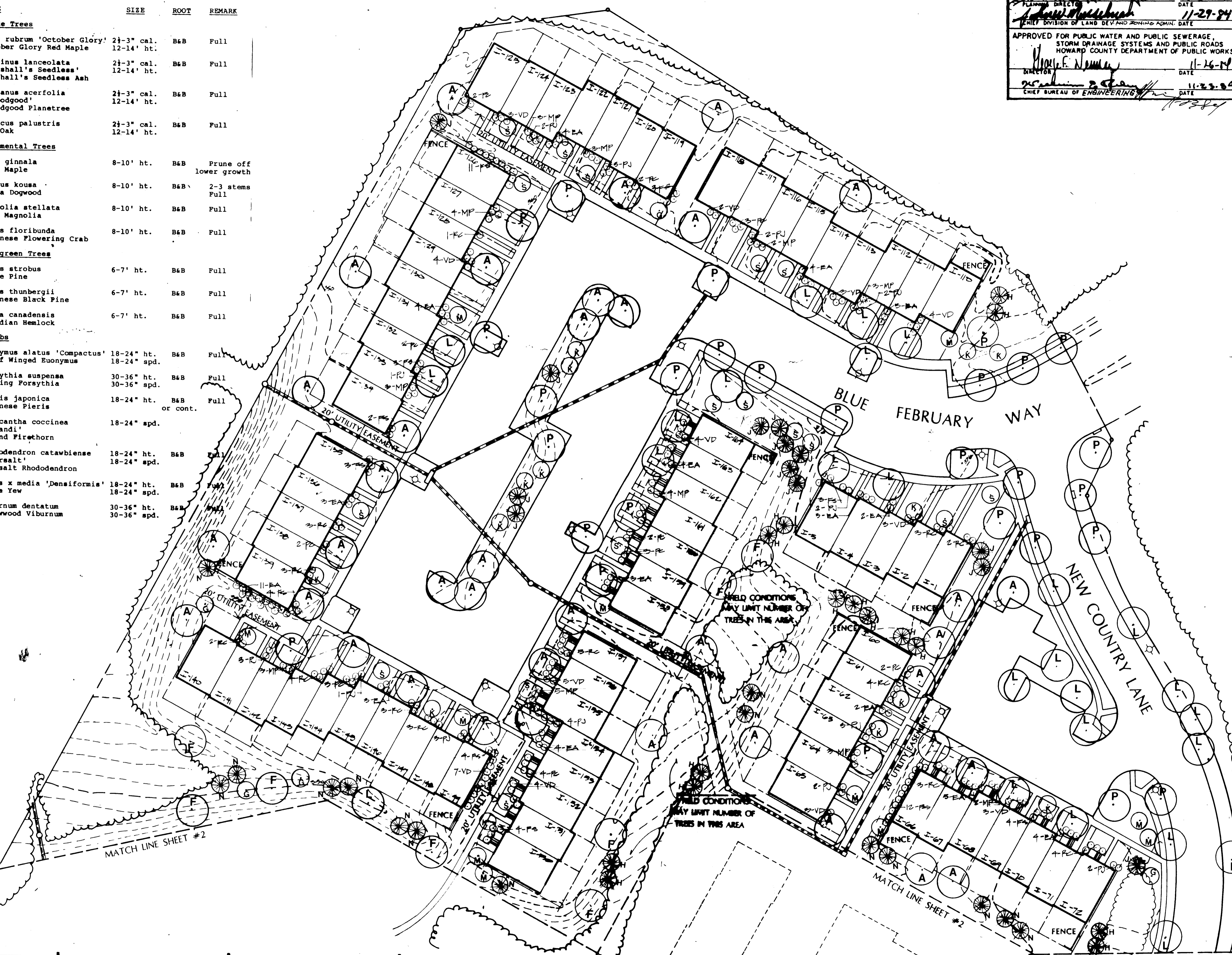
Revisions		
No.	Description	Date
		MAY 25, 1984
		MAY 29, 1984

Project Number \_\_\_\_\_ Date MAY 23, 1984

Sheet Number  
5 of 6



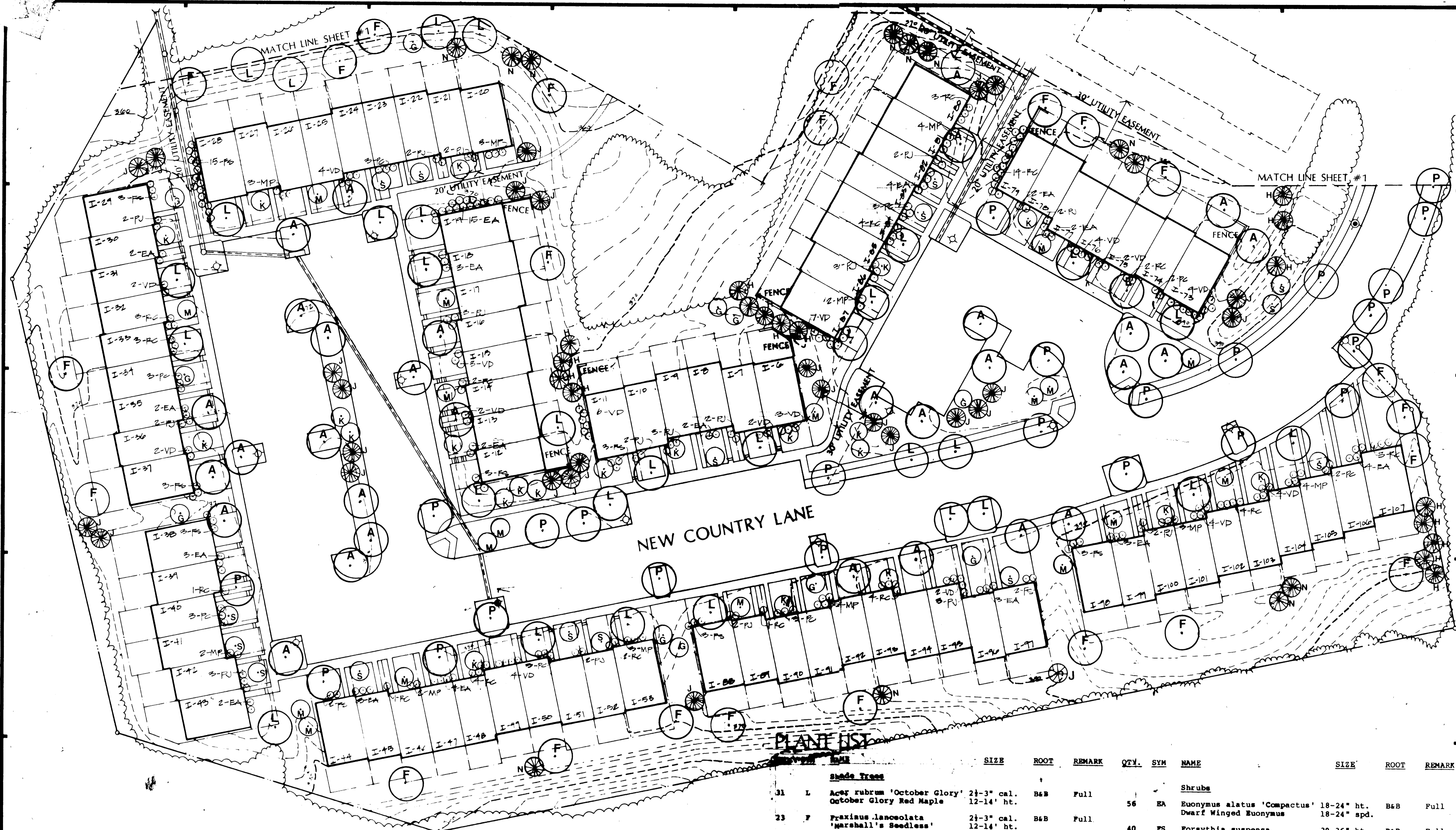
SDP-85-02.



Planning, Urban Design & Landscape Architecture  
 5560 Sterrett Place, Suite 300  
 Columbia, Maryland 21044-2660  
 301/730-9191

**TIMBERLANE**  
**COLUMBIA**  
**VILLAGE OF HICKORY RIDGE**  
 SECTION 3, AREA 6  
 LOTS I-6 THRU I-59 AND  
 I-73 THRU I-107  
 HOWARD COUNTY, MARYLAND  
 HOWARD HOMES  
 BUILDING CO.  
 P.O. BOX 802  
 COLUMBIA, MARYLAND

APPROVED  
 DIVISION OF LAND DEVELOPMENT &  
 ZONING ADMINISTRATION  
 HOWARD COUNTY, MARYLAND  
 DATE **7-30-84**



**PLANT LIST**

		SIZE	ROOT	REMARK	QTY.	SYM	NAME	SIZE	ROOT	REMARK
<b>Shade Trees</b>										
31	L	Acer rubrum 'October Glory'	2 1/2-3' cal.	B&B	Full					
		October Glory Red Maple	12-14' ht.							
23	F	Fraxinus lanceolata 'Marshall's Seedless'	2 1/2-3' cal.	B&B	Full					
		Marshall's Seedless Ash	12-14' ht.							
31	A	Platanus acerfolia 'Bloodgood'	2 1/2-3' cal.	B&B	Full					
		Bloodgood Planetree	12-14' ht.							
24	P	Quercus palustris	2 1/2-3' cal.	B&B	Full					
		Pin Oak	12-14' ht.							
<b>Ornamental Trees</b>										
11	G	Acer ginnala	8-10' ht.	B&B	Prune off lower growth					
		Amur Maple								
22	K	Cornus kousa	8-10' ht.	B&B	2-3 stems Full					
		Kousa Dogwood								
15	S	Magnolia stellata	8-10' ht.	B&B	Full					
		Star Magnolia								
18	M	Malus floribunda	8-10' ht.	B&B	Full					
		Japanese Flowering Crab								
<b>Evergreen Trees</b>										
12	N	Pinus strobus	6-7' ht.	B&B	Full					
		White Pine								
27	J	Pinus thunbergii	6-7' ht.	B&B	Full					
		Japanese Black Pine								
13	H	Tsuga canadensis	6-7' ht.	B&B	Full					
		Canadian Hemlock								
<b>Shrubs</b>										
56	EA	Euonymus alatus 'Compactus'	18-24" ht.	B&B	Full					
		Dwarf Winged Euonymus	18-24" spd.							
40	FS	Forsythia suspensa	30-36" ht.	B&B	Full					
		Weeping Forsythia	30-36" spd.							
37	FJ	Pieris japonica	18-24" ht.	B&B	Full					
		Japanese Pieris	18-24" ht.	B&B	Full					or cont.
24	PC	Pyracantha coccinea	18-24" spd.							
		'Lalandi' Laland Firethorn								
49	RC	Rhododendron catawbiense	18-24" ht.	B&B	Full					
		'Boursalt' Boursalt Rhododendron	18-24" spd.							
30	MP	Taxus x media 'Densiformis'	18-24" ht.	B&B	Full					
		Dense Yew	18-24" spd.							
60	VD	Viburnum dentatum	30-36" ht.	B&B	Full					
		Arrowwood Viburnum	30-36" spd.							

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,  
 HOWARD COUNTY HEALTH DEPARTMENT  
 COUNTY HEALTH OFFICER: *[Signature]* DATE: 11-28-81

APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING  
 PLANNING & ZONING OFFICER: *[Signature]* DATE: 11-30-84

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE,  
 STORM DRAINAGE SYSTEMS AND PUBLIC ROADS  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIRECTOR: *[Signature]* DATE: 11-29-84

CHIEF BUREAU OF ENGINEERING: *[Signature]* DATE: 11-29-84

Sheet Title  
**LANDSCAPE PLAN**  
 Scale 1"=30'

Revisions

No.	Description	Date
		MAY 25, 1984

Project Number: \_\_\_\_\_ Date: MAY 23, 1984  
 Sheet Number: **6 of 6**