

FOR PUBLIC WATER AND PUBLIC SEWER SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING

PLANNING DIRECTOR DATE 6-21-84

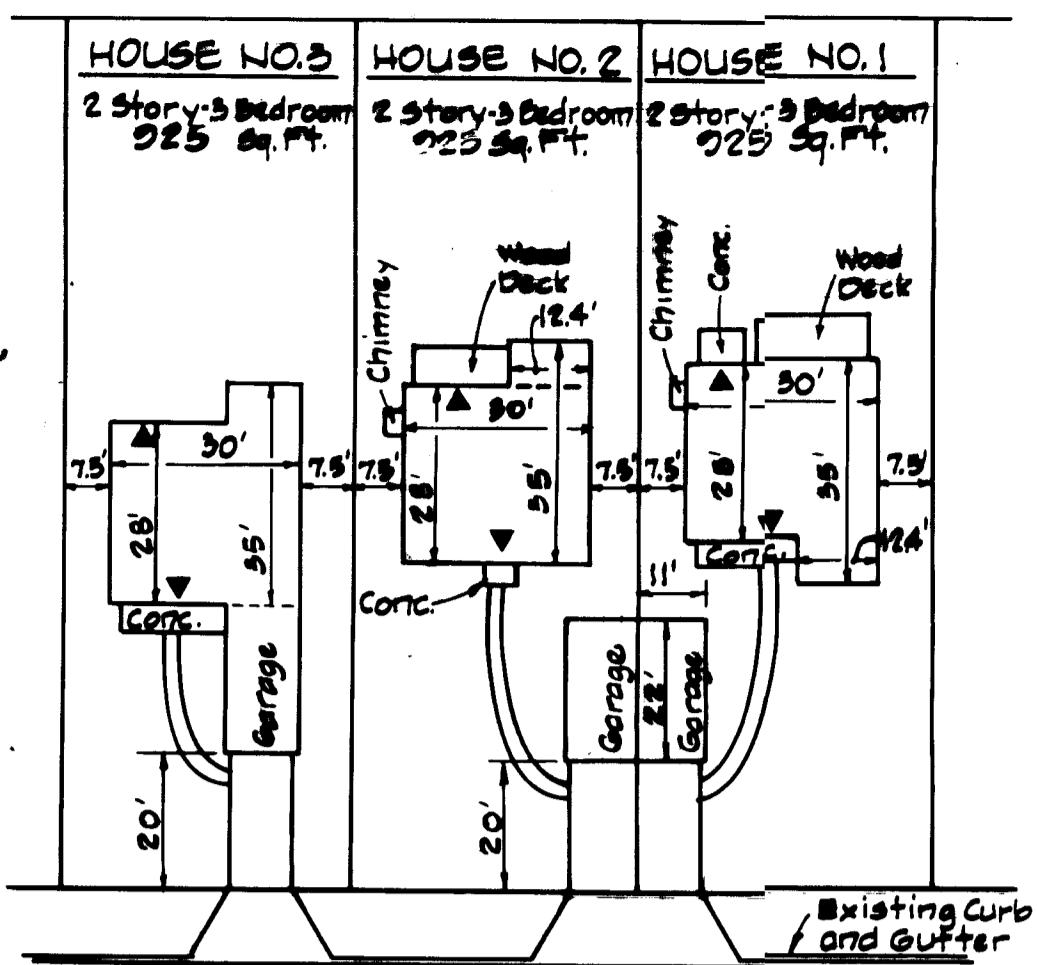
CHIEF DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE 6-21-84

APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

DIRECTOR DATE 6-15-84

CHIEF, BUREAU OF ENGINEERING DATE 6-15-84

- LEGEND**
- 340 --- Proposed Contour (1' Interval)
 - 340 --- Existing Contour (2' Interval)
 - (1) or (2) Building Type
 - 278 --- Retaining Wall
 - R.W. Right of Way
 - H.R. Handicap Ramp
 - Concrete Walk (Existing)
 - Fire Hydrant
 - Light Fixture
 - Trees to Remain
 - Modified Curb and Gutter (Existing)
 - Silt Fence



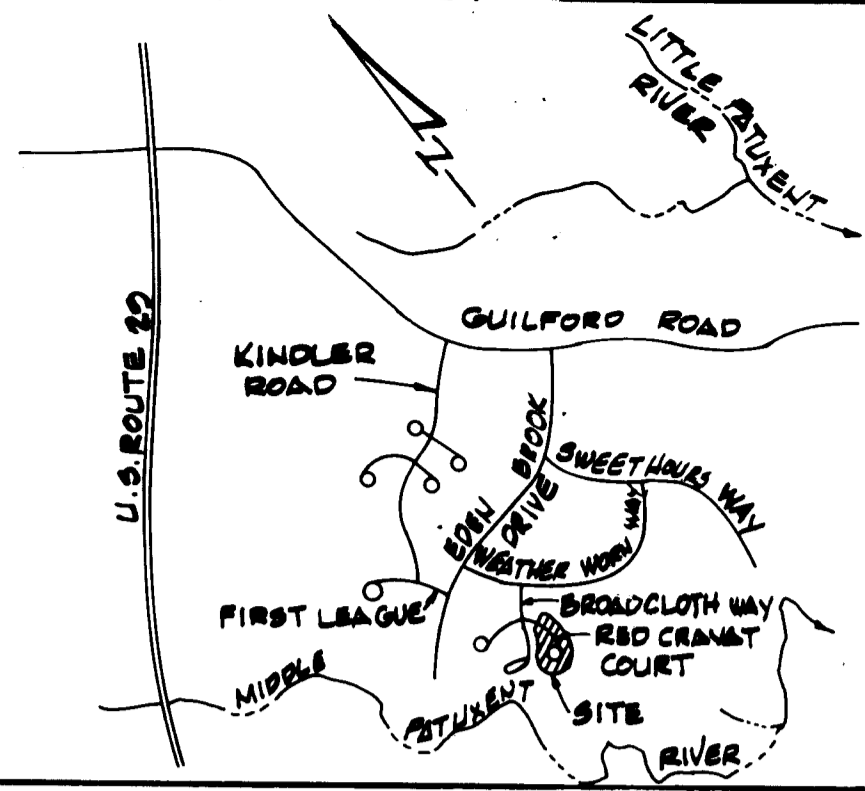
BUILDING COVERAGE

Lot No	Lot Area - S.F.	House Area - S.F.	% Lot Coverage
543	6,106	1,170	19.2
544	6,667	1,170	17.5
545	5,600	1,170	20.9
546	5,780	1,170	20.2
547	5,614	1,170	20.8
548	5,890	1,170	20.1
549	6,287	1,170	18.6
550	4,657	1,170	25.1
551	4,504	1,170	25.9
556	4,248	1,170	27.6
567	4,457	1,170	26.3
568	5,260	1,170	22.2
569	4,870	1,170	24.0

* Includes Garage
See Architectural Plans For Details

SPECIAL NOTES

- This development plan includes all applicable information outlined in Data Sheet 150 Neighborhood Standards F.H.A., Land Planning Bulletin No. 3 V.A. Pamphlet 4AB and conforms with lot improvements and detail lot grading of Chapter III F.H.A. Minimum Property Requirements dated May 1963, and to all applicable ordinances and regulations.
- Drainage structures have been designed in accordance with sound engineering practice using recognized formulas and rainfall data currently prescribed by local authorities. These exhibits comply with the F.H.A. objectives, Minimum Property standards, local acceptable standards and neighborhood requirements conform to all applicable local government ordinances and regulations and represent the best professional judgement of the designer.



SITE ANALYSIS (SEDIMENT CONTROL)

Total Area: 3.66 Acres
Area of Impervious: 0.91 Acres
Area to be Vegetated: 2.75 Acres
Undisturbed Area: 0.00 Acres

6" x 6" W20 x W20 Wiremesh or #5 reinforcing bars @ 12" x 7" Concrete

10' Min. 20' Max. at R/W Line

10' Min. 24' Max.

FRONT ELEVATION
DRIVEWAY DETAIL
SECTION

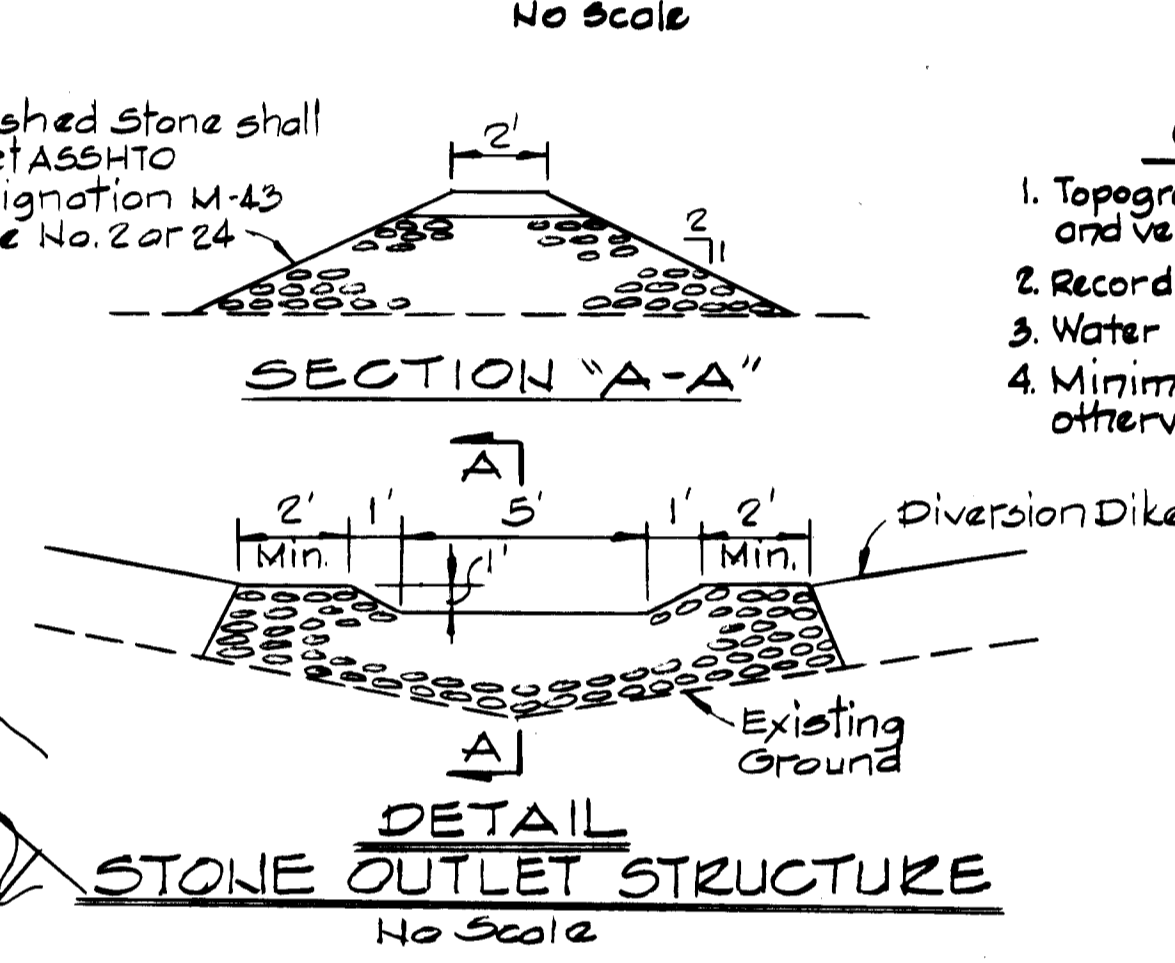
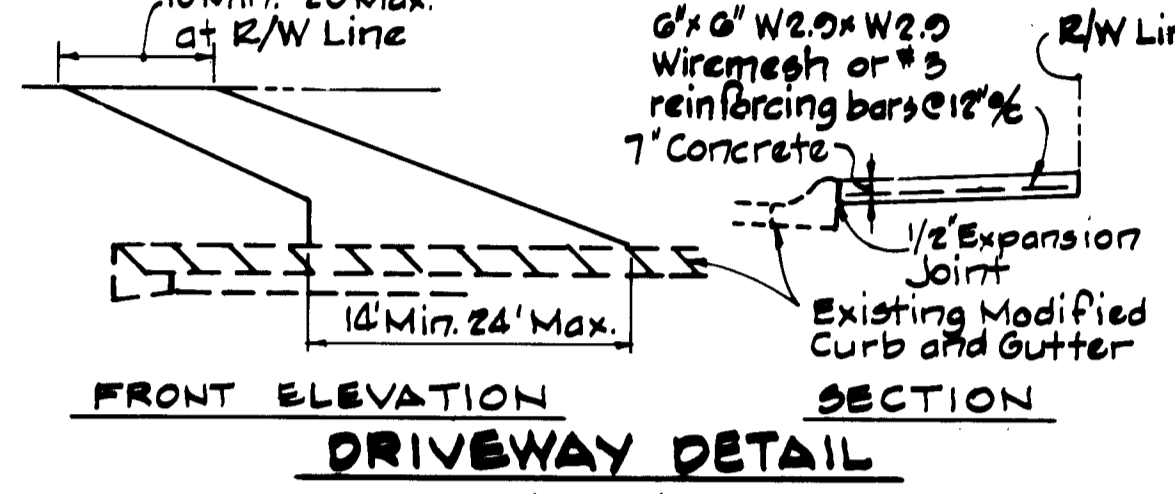
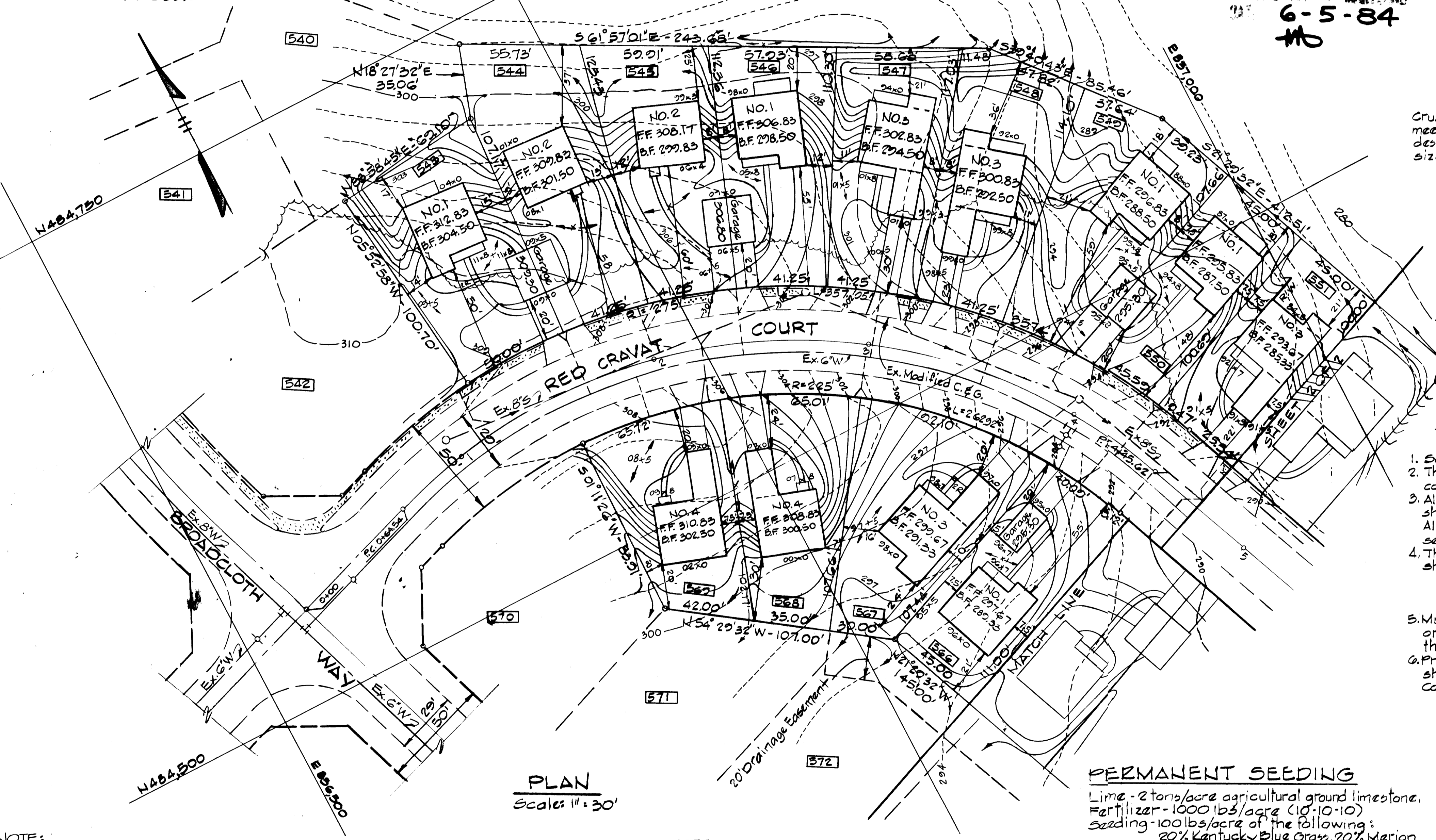
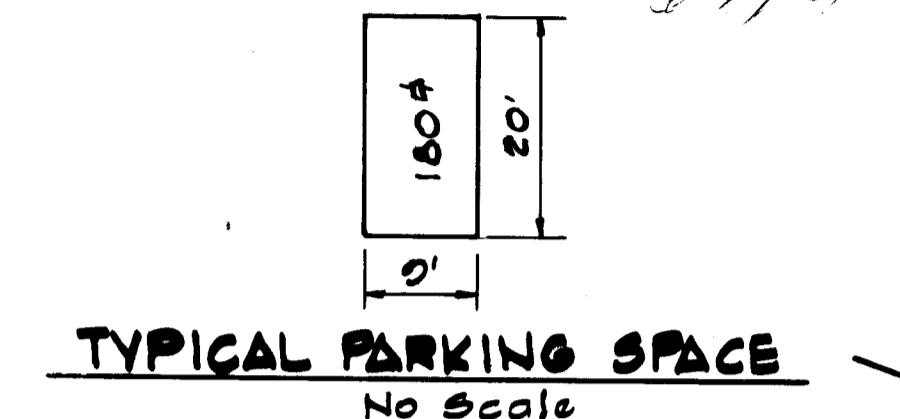
No Scale

SITE ANALYSIS

Existing Zoning - New Town (Single Family Medium Density)
Final Development Plan Phase 178-A-II, Part II Plat #3054A-546+561
Number of Lots = 27
Total Area = 3.665 Ac. Density = 27/3.665 = 7.367 Dwellings/Ac

OFF-STREET PARKING SPACES

Required = 27 Dwellings @ 2 Spaces/Dwelling = 54
Proposed: 54 Spaces - 17 Garages
17 Driveways

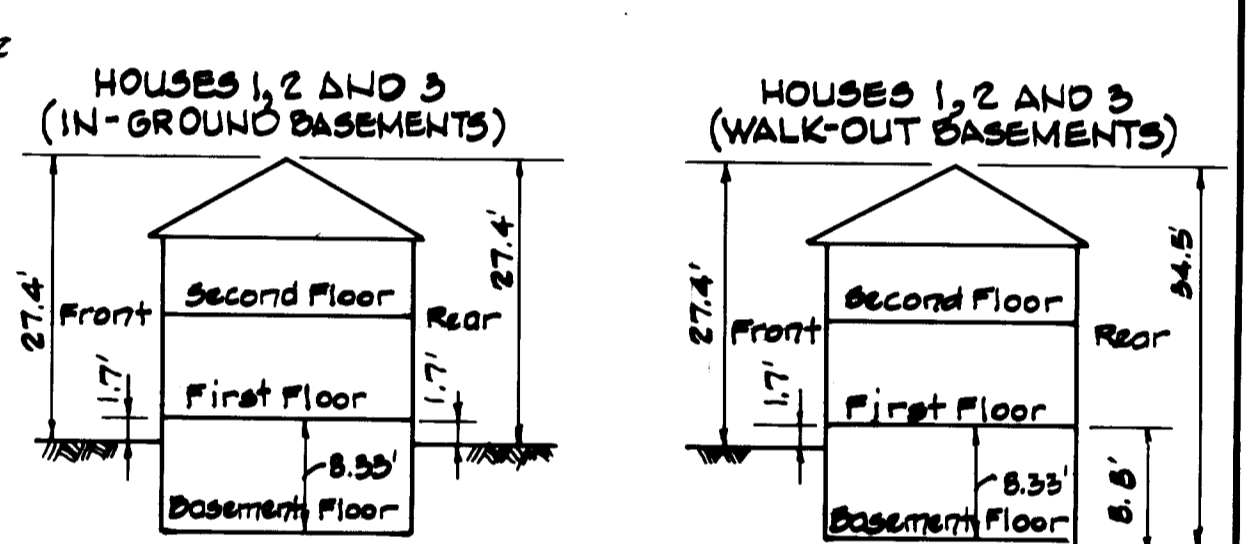


SEDIMENT CONTROL NOTES

- See Sequence of Construction this sheet.
- The sediment control measures shall be constructed as shown on these drawings.
- All temporary sediment control devices shall be seeded as specified in Notes 4 and 5. All other surfaces to be permanently seeded, see specifications this sheet.
- The temporary sediment control devices shall be hydroseeded as follows:
 - around Limestone (50 lbs/1000 ft²)
 - Fertilizer 10-10-10 (25 lbs/1000 ft²)
 - Seed: Italian Rye Grass (40 lbs/acre) or one ton/acre. Anchor with asphalt at the rate of 480 gallons/acre.
- Prior to starting any work the contractor shall notify Howard County Sediment Control Division at least 24 hours in advance.

GENERAL NOTES

- Topography taken from aerial topo prepared by Maps Incorporated and verified by field-run survey.
- Recording reference for lots 543 thru 569 is Plat # 5801
- Water and sewer facilities are to be provided. (Publicly Owned).
- Minimum setback from the public street shall be 20' unless otherwise approved by Howard County Planning Board.



SEQUENCE OF CONSTRUCTION

- Obtain Grading Permit.
- Clear and grub areas for sediment control facilities only.
- Construct sediment trap, diversion dikes, stone outlet structures, silt fence and stabilized construction entrances.
- Grade lots 543 thru 569.
- Construct dwellings and appurtenances and seed yards.
- Remove all sediment control facilities after grass is established on all lots. Stabilize 'Sediment Trap Removal Area', see Permanent Seeding Notes.

ADDRESS CHART

STREET	ADDRESS	LOT
7505	Red Cravat Court	543
7509	" " " "	544
7513	" " " "	545
7517	" " " "	546
7521	" " " "	547
7525	" " " "	548
7529	" " " "	549
7533	" " " "	550
7537	" " " "	551
7541	" " " "	552
7545	" " " "	553
7549	" " " "	554
7553	" " " "	555
7557	" " " "	556
7561	" " " "	557
7565	" " " "	558
7569	" " " "	559
7573	" " " "	560

NOTE: PUBLIC WATER AND SEWER MAINS TO BE CONSTRUCTED UNDER CONTRACT NO. 34-0287-0.

NOTE: PUBLIC AND PRIVATE ROADS TO BE CONSTRUCTED FROM ROAD CONSTRUCTION DRAWINGS F-81-80.

PERMANENT SEEDING

Lime - 2 tons/acre agricultural ground limestone.
Fertilizer - 1000 lbs/acre (10-10-10)
Seeding - 100 lbs/acre of the following:
20% Kentucky Blue Grass, 20% Marion Blue Grass, 5% Redtop, 55% Creeping Red Fescue.

Mulch Required - Mulch area with straw at the rate of 75 lbs/1000 ft² or 1.5 tons/acre. Anchor with asphalt at the rate of 480 gallons/acre.

SUBDIVISION NAME	VILLAGE OF KINGS CONTRIVANCE	SECT./AREA	2/3	LOT#	543-569
PLAT#	13	TAX/ZONE MAP	42	ELEC.DIST.	CGUS TR.
WATER CODE	ELG	SEWER CODE	G350000		

THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION

OWNER
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044

MARK BUILDING COMMUNITIES, INC.
P.O. BOX 1272
COLUMBIA, MD. 21044

WHITMAN, REQUART & ASSOCIATES
ENGINEERS
2315 ST. PAUL STREET
BALTIMORE, MARYLAND 21204
KENNETH A. MCCORD P.E. NO. 1074

RESPONSIBLE PERSONNEL CERTIFICATION

"I HEREBY CERTIFY THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT."

Lawrence I. Rosenberg 5-1-84
DATE

CERTIFICATION BY THE DEVELOPER

"I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND I ALSO AUTHORIZE PERIODIC ON SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."

Lawrence I. Rosenberg 5-1-84
DATE

CERTIFICATION BY THE ENGINEER

"I CERTIFY THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Kenneth A. McCord P.E. 1074 5-1-84
DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: Stephen L. Johnson 6/12/84
HOWARD S.C.D. DATE

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS

Jane M. Nelson 6/12/84
DATE
U.S. SOIL CONSERVATION SERVICE

COLUMBIA SITE PLAN
for
VILLAGE OF KINGS CONTRIVANCE
SECTION 2 AREA 3
LOTS 543 THRU 569

GRADING PLAN AND SEDIMENT CONTROL PLAN

SHEET 1 OF 2

ELECTION DISTRICT NO. 6, HOWARD COUNTY, MARYLAND
DATE: 5/9/84 SCALE: As Shown

FOR PUBLIC WATER AND PUBLIC SEWER SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT
 DATE 6-18-84
 APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 PLANNING DIRECTOR DATE 6-27-84
 CHIEF DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE 6-27-84
 APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DATE 6-18-84
 DIRECTOR DATE 6-18-84
 CHIEF, BUREAU OF ENGINEERING DATE

LEGEND

- 340 Proposed Contour (1' Interval)
- 340 Existing Contour (2' Interval)
- 1 or 2 Building Type
- 278 Lot Number
- R.W. Retaining Wall
- H.R. Handicap Ramp
- Concrete Wall (Existing)
- Fire Hydrant
- Light Fixture
- Trees to Remain
- Modified Curb and Gutter (Existing)
- Silt Fence

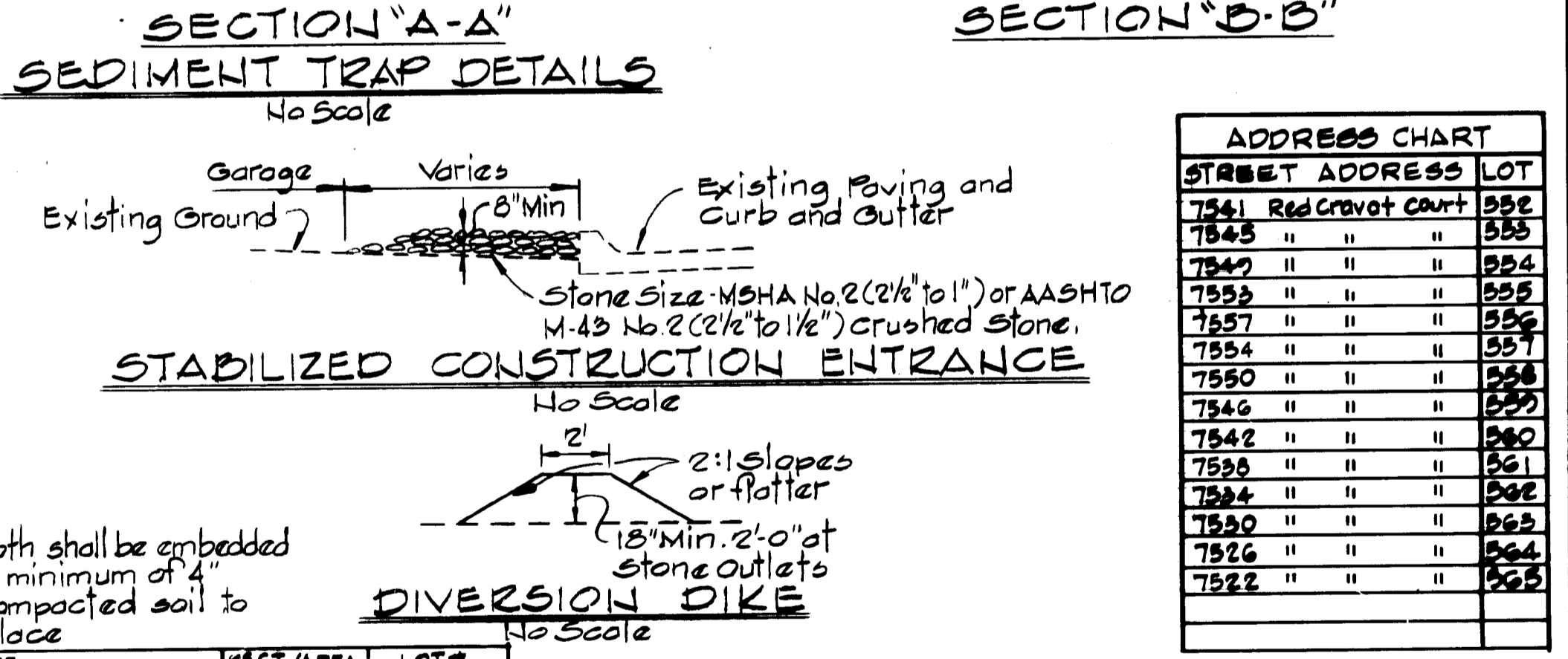
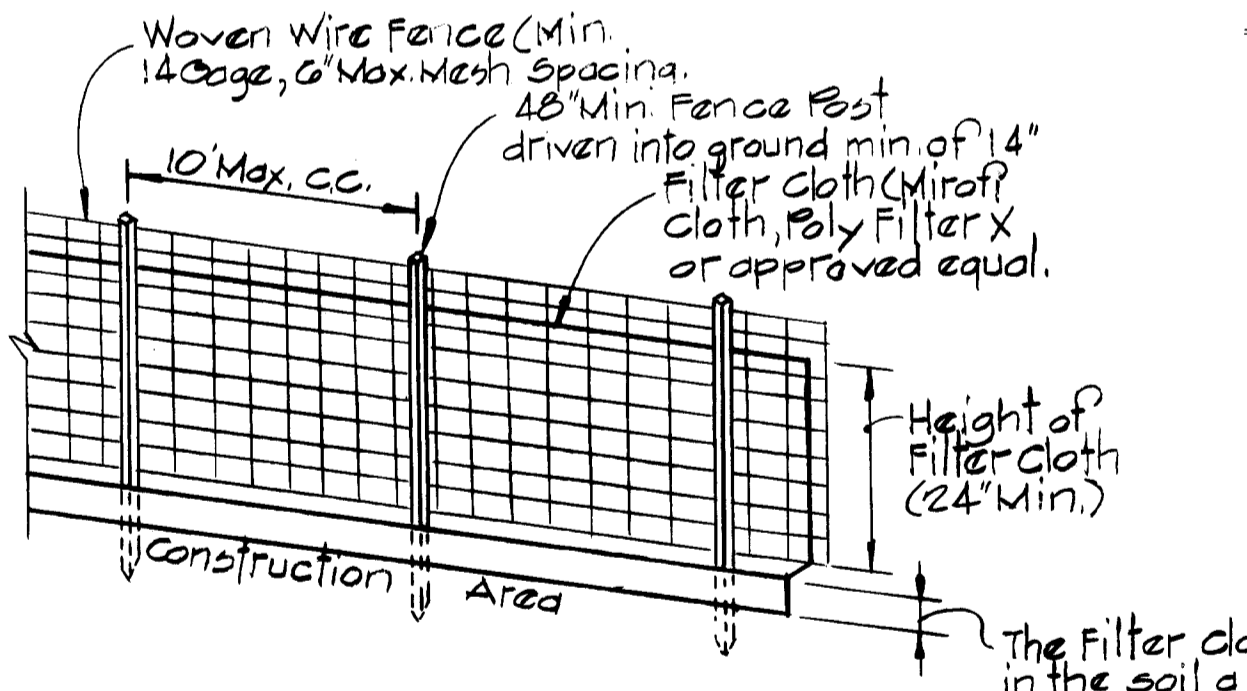
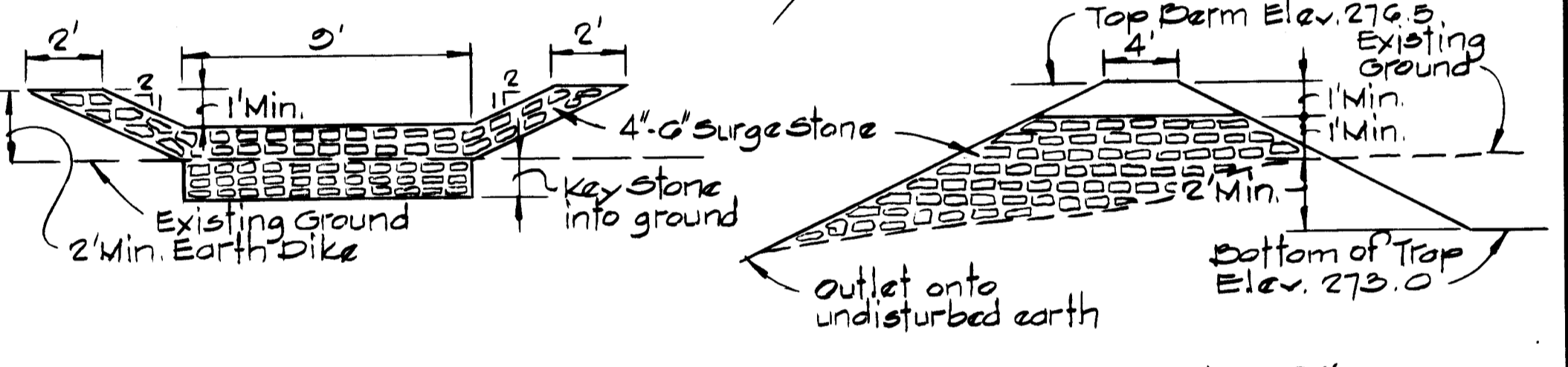
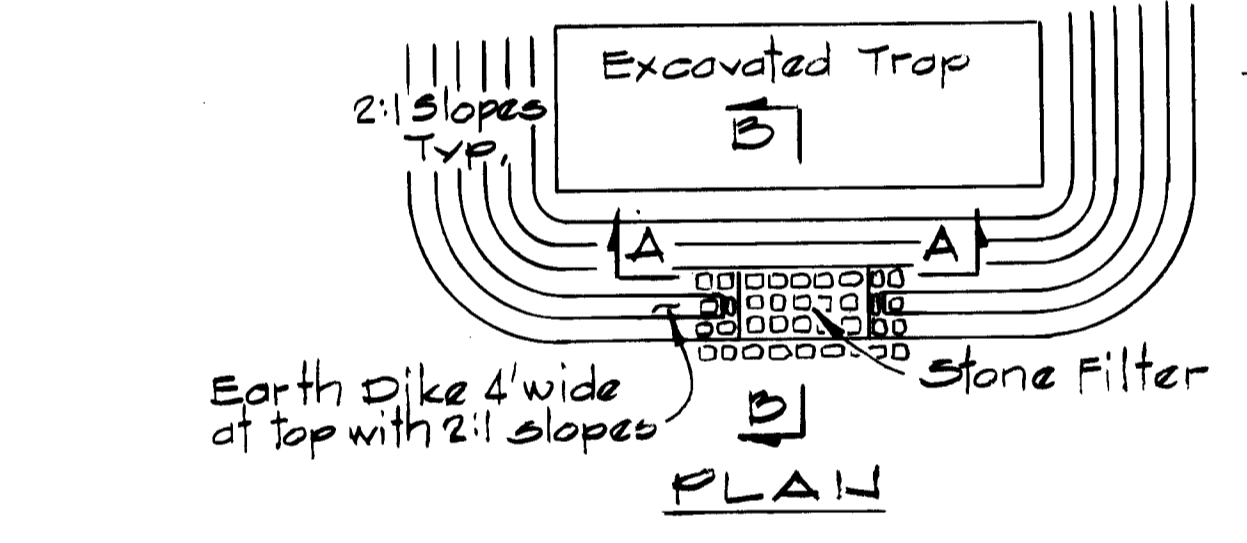
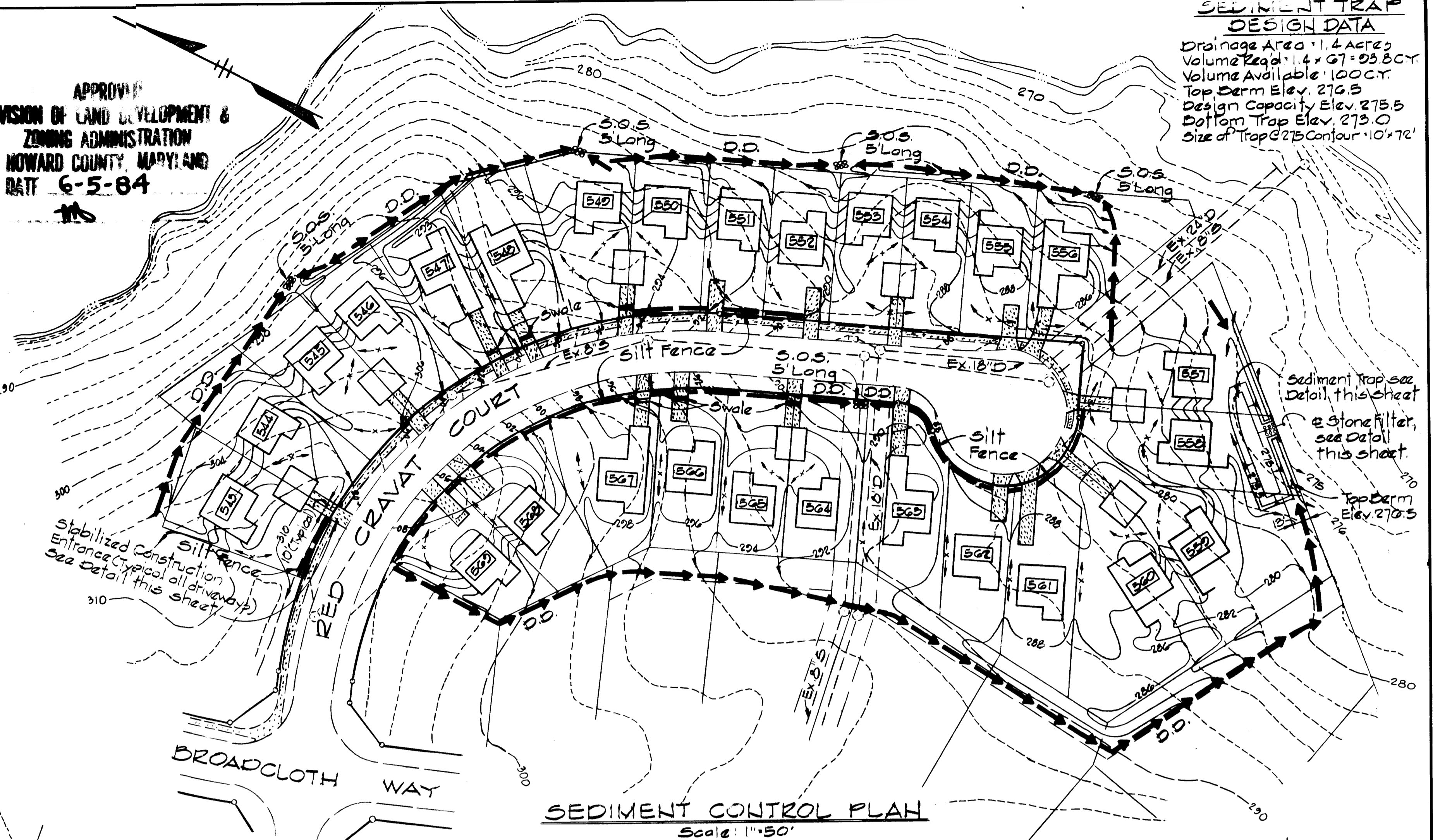
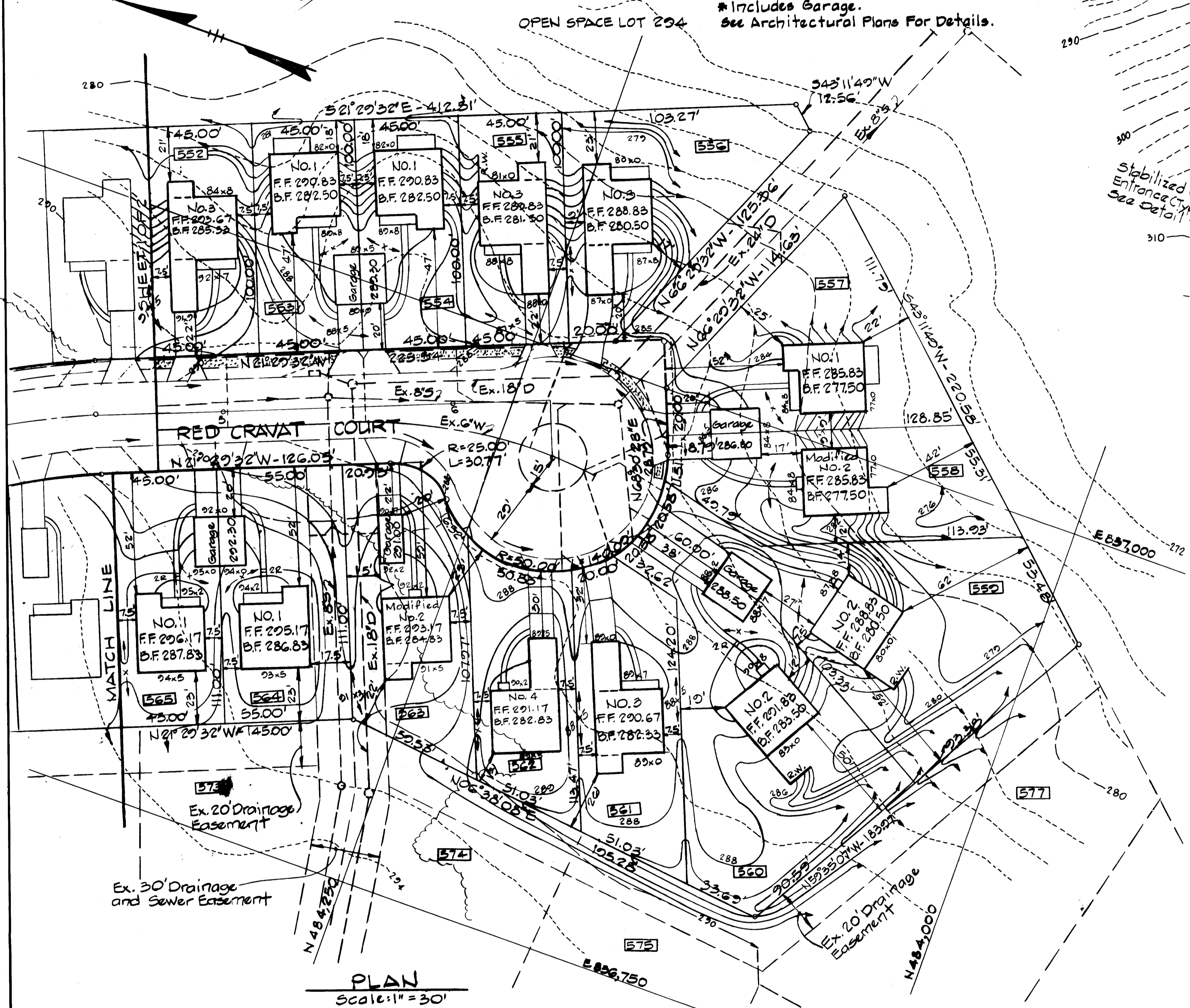
BUILDING COVERAGE

Lot No.	Lot Area - S.F.	House Area - S.F.	% Lot Coverage
552	4500	025	20.0
553	4500	1170	26.0
554	4500	1170	26.0
555	4500	1170	26.0
556	0905	1170	16.9
557	7320	1170	16.0
558	6483	1170	18.0
559	10,358	1170	11.3
560	10,003	1170	11.7
561	5600	1170	20.9
562	4774	1170	24.5
563	6252	1170	18.7
564	6105	1170	19.2
565	4995	1170	23.4

*Includes Garage.
 See Architectural Plans For Details.

APPROVED
 DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE 6-5-84

SEDIMENT TRAP DESIGN DATA
 Drainage Area: 1.4 Acres
 Volume Req'd: 1.4 x 7 = 9.8 C.Y.
 Volume Available: 100 C.Y.
 Top Term Elev: 276.5
 Design Capacity Elev: 275.5
 Bottom Trap Elev: 273.0
 Size of Trap @ 2'5" Contour: 10' x 7'



ADDRESS CHART

STREET	ADDRESS	LOT
7541	Red Cravat Court	552
7545	"	553
7547	"	554
7551	"	555
7553	"	556
7557	"	557
7559	"	558
7561	"	559
7563	"	560
7565	"	561
7567	"	562
7569	"	563
7571	"	564
7573	"	565

NOTES:
 1. Waven wire fence to be fastened securely to fence post by use of wire ties or staples.
 2. Filter cloth to be fastened securely to waven wire fence by use of wire ties spaced every 24" at top and mid section.

SILT FENCE DETAIL
 No Scale

SUBDIVISION NAME	SECT./AREA	LOT#
VILLAGE OF KINGS CONTRIVANCE	2/3	543-560
PLAT# BLOCK# ZONE	TAX/ZONE MAP	ELEC/DIST. CENSUS TR.
5801 13 W/H/M/O	42	6T 602
WATER CODE	SEWER CODE	
E.G.	6320000	

THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION

1 6/5/84 AS per Planning, OPW and SCS Comments.
 NO. DATE DESCRIPTION OF REVISION

COLUMBIA SITE PLAN
 for VILLAGE OF KINGS CONTRIVANCE
 SECTION 2 AREA 3
 LOTS 543 THRU 560
GRADING PLAN AND SEDIMENT CONTROL PLAN
 SHEET 2 OF 2
 ELECTION DISTRICT NO. 6, HOWARD COUNTY, MARYLAND
 DATE: 5-9-84 SCALE: AS SHOWN

NOTE:
 PUBLIC WATER AND SEWER MAINS TO BE CONSTRUCTED UNDER CONTRACT NO. 34-0987-0.

NOTE:
 PUBLIC AND PRIVATE ROADS TO BE CONSTRUCTED FROM ROAD CONSTRUCTION DRAWINGS F-81-89.

RESPONSIBLE PERSONNEL CERTIFICATION
 "I HEREBY CERTIFY THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT."
 Lawrence I. Rosenberg 5-1-84
 LAWRENCE I. ROSENBERG DATE

CERTIFICATION BY THE DEVELOPER
 "I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND I ALSO AUTHORIZE PERIODIC ON SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."
 Lawrence I. Rosenberg 5-1-84
 LAWRENCE I. ROSENBERG DATE

CERTIFICATION BY THE ENGINEER
 "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
 Kenneth A. McCord 5-1-84
 KENNETH A. MCCORD P.E. 1974 DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 APPROVED: Howard S.C.D. DATE

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS
 U.S. SOIL CONSERVATION SERVICE
 DATE 6/2/84

OWNER
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND 21044
 MARK BUILDING COMMUNITIES, INC.
 P.O. BOX 1272
 COLUMBIA, MD. 21044
 WHITMAN, REQUART & ASSOCIATES
 ENGINEERS
 2315 ST. PAUL STREET
 BALTIMORE, MARYLAND 21205
 KENNETH A. MCCORD P.E. NO. 1974