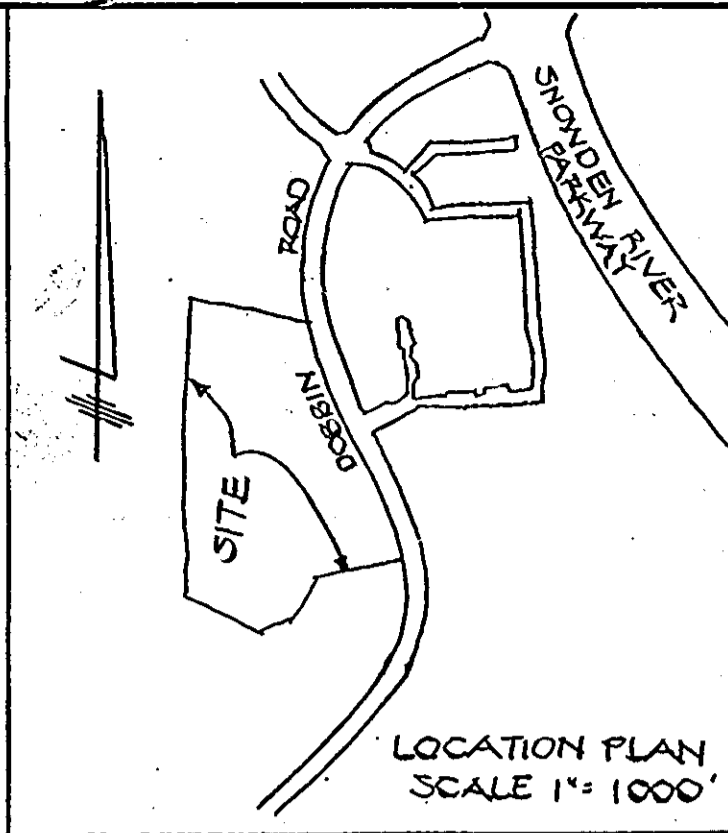


MATCH LINE - SEE SHEET Z

| ADDRESS CHART |                  |
|---------------|------------------|
| LOT NUMBER    | STREET ADDRESS   |
| 1             | 6410 DOBBIN ROAD |
| 2             | 6420 "           |
| 3             | 6430 "           |
| 4             | 6440 "           |
| 5             | 6450 "           |
| 6             | 6460 "           |
| 7             | 6470 "           |
| 8             | 6480 "           |
| 9             | 6490 "           |

NOTE:  
THE CONTRACTOR MUST EMPLOY A GEOTECHNICAL ENGINEER TO REVIEW THE WALL DESIGN AND INSPECT THE WALL DURING CONSTRUCTION FOR ANY MODULAR CONCRETE BLOCK SEGMENTAL WALL OR APPROVED EQUAL.



SEE SHEET Z FOR NOTES

DOBBIN ROAD COMMERCIAL CENTER PLAT #4875

ROAD

HUDKINS ASSOCIATES, INC.  
101 SHELL BUILDING  
200 E. JOPPA ROAD  
TOWSON MD. 21204

APPROVED FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS. HOWARD COUNTY HEALTH DEPT.

*Joyce Byrnes* 10-8-84  
COUNTY HEALTH DEPT. OFFICER DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION & SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*Robert W. Frelund* 10/1/84  
HOWARD S.C.D. DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL

*James Mottet* 9-5-84  
SOIL CONSERVATION SERVICE DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING

*Thomas L. Hamid* 10-10-84  
PLANNING DIRECTOR DATE

*John M. Mueschman* 10-10-84  
S.I.E. DIVISION LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE & STORM DRAINAGE SYSTEMS & PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

*James McLean* 10/5/84  
DIRECTOR DATE

*William W. W...* 10-8-84  
CHIEF BUREAU OF ENGINEERING DATE

DEVELOPER

I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS OF DEVELOPMENT, POND CONSTRUCTION AND EROSION AND SEDIMENT CONTROL. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY, DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED LINED AS BUILT OF THE POND WITHIN 30 DAYS OF COMPLETION. RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A COURSE OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT & EROSION BEFORE BEGINNING THE PROJECT.

*Peter McGee* 2/22/84  
SIGNATURE DATE

ENGINEER

I CERTIFY THAT THIS PLAN OF DEVELOPMENT, POND CONSTRUCTION AND EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED LINED AS BUILT OF THE POND WITHIN 30 DAYS OF COMPLETION.

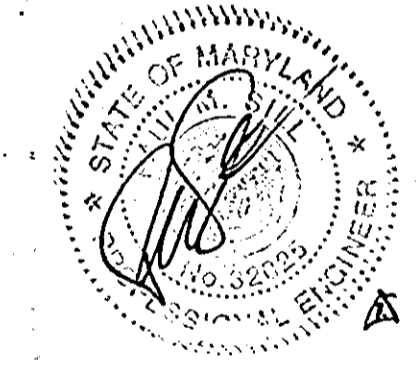
*Arthur E. Leonard* 9/1/84  
SIGNATURE DATE

OWNER & DEVELOPER  
C.B.C. ASSOCIATES, % MCGILL DEVELOPMENT CO.  
2430 DOBBIN ROAD  
COLUMBIA, MD 21045

ARCHITECTS  
NICHOLS ARCHITECTS P.A.  
1113 N. HUNTER ST.  
BALTIMORE, MARYLAND 21202

COLUMBIA BUSINESS CENTER  
PARCELS U-1 THRU U-5 & OPEN SPACE LOT 1  
DOBBIN ROAD COMMERCIAL CENTER  
SECTION 1 AREA 1  
ELECTION DISTRICT 6  
HOWARD COUNTY, MARYLAND

**APPROVED**  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE 5-18-84  
*Jim Hamm*



OPEN SPACE LOT 2  
P.B. 23-91  
ADD SHED BEHIND BLDG. & ADD EXIST. STOOD, SIGN & MECHANICAL BOX  
REVISION  
12-25-84 Ramp added to Building #8

PARCEL K-2  
S.I.C.  
P.B. 42-21  
ZONED  
NEW TOWN-INDUSTRIAL

REVISIONS  
8-28-85 MOVE SOUTHERN ENTR. SOUTHERLY 30'  
5-20-85 REVISE ENTRANCE & PARKING SOUTH OF BLDG. #8  
11/17/87 ADDED RETAINING WALL NW SIDE

|                  |                          |              |     |              |            |
|------------------|--------------------------|--------------|-----|--------------|------------|
| SUBDIVISION NAME | DOBBIN COMMERCIAL CENTER | SECT./AREA   | 1/1 | LOT/PARCEL # | U-1 TO U-4 |
| PLAT # OR LTV    | 9-0-15                   | BLOCK #      | 17  | ZONE         | M.T.       |
| WATER CODE       |                          | TAX ZONE MAP | 3C  | ELEC. DIST.  | C          |
|                  |                          | SEWER CODE   |     | CENSUS TR.   | 6065,02    |

SITE DEVELOPMENT PLAN SCALE: 1" = 40'

SHEET 1 OF 8

DATE FEB. 24, 1984 4-27-84

HUDKINS ASSOCIATES, INC.  
101 SHELL BUILDING  
200 E. JOPPA ROAD  
TOWSON, MD. 21204

APPROVED FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS. HOWARD COUNTY HEALTH DEPT.

*James P. Jones* 10-9-84  
COUNTY HEALTH DEPT. OFFICER DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION & SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*Robert W. Zeleny* 10/10/84  
HOWARD S.C.D. DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

*Joseph M. DeLoe* 9-5-84  
US SOIL CONSERVATION SERVICE DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING

*Thomas L. Harig* 10-10-84  
PLANNING DIRECTOR DATE

*John W. Mullan* 10-10-84  
CHIEF, DIVISION LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE & STORM DRAINAGE SYSTEMS & PUBLIC ROADS  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

*James W. DeLoe* 10/5/84  
DIRECTOR DATE

*Robert W. Zeleny* 10-9-84  
CHIEF BUREAU OF ENGINEERING DATE

DEVELOPER  
I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS OF DEVELOPMENT, POND CONSTRUCTION AND EROSION AND SEDIMENT CONTROL. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED LINED AS BUILT OF THE POND WITHIN 30 DAYS OF COMPLETION. RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A CERT. OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT & EROSION BEFORE BEGINNING THE PROJECT.

*Robert W. Zeleny* 2/27/84  
SIGNATURE DATE

ENGINEER  
I CERTIFY THAT THIS PLAN OF DEVELOPMENT, POND CONSTRUCTION AND EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED LINED AS BUILT OF THE POND WITHIN 30 DAYS OF COMPLETION.

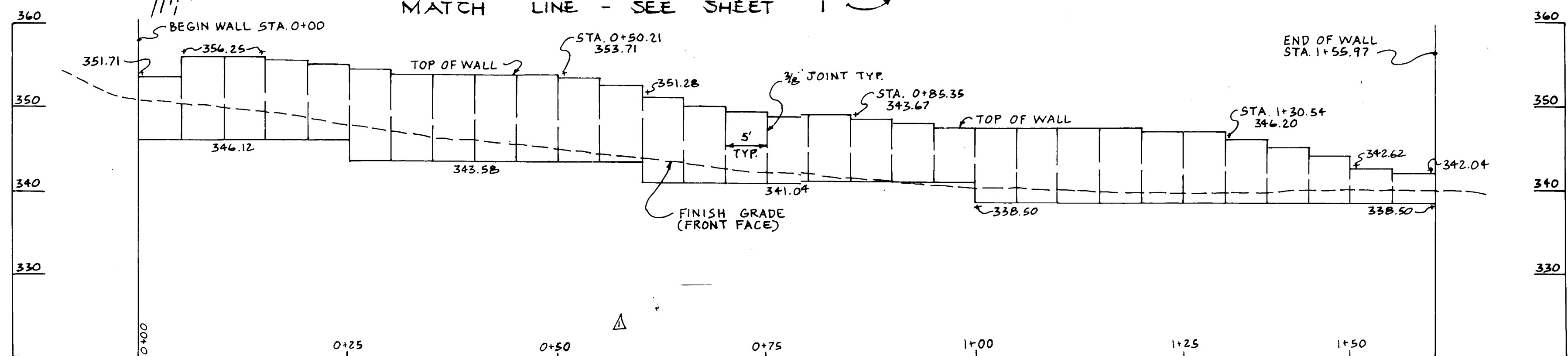
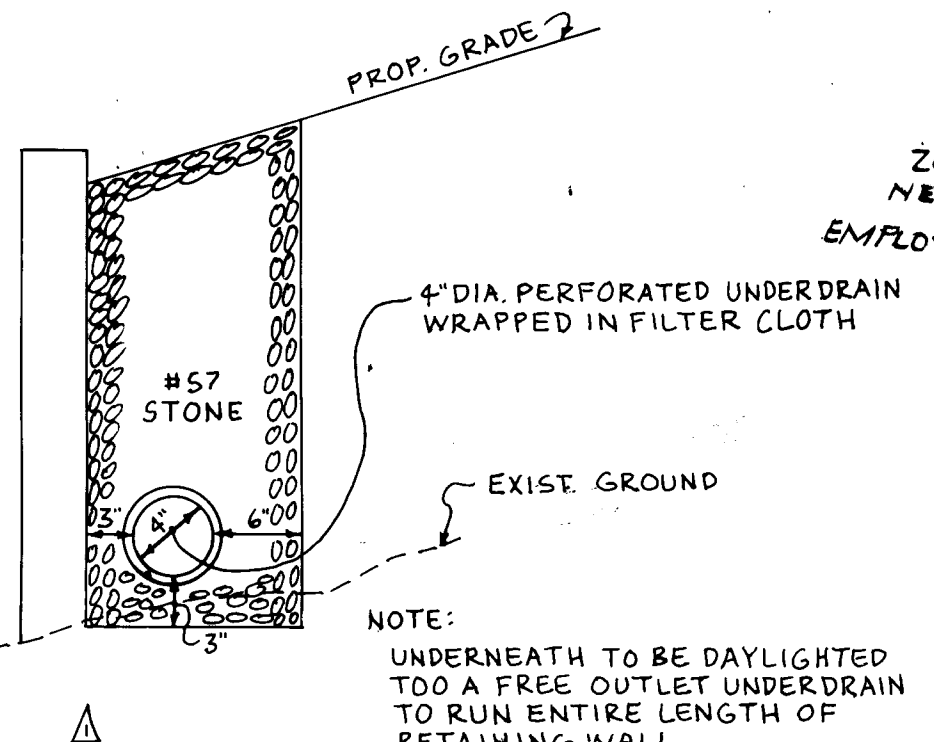
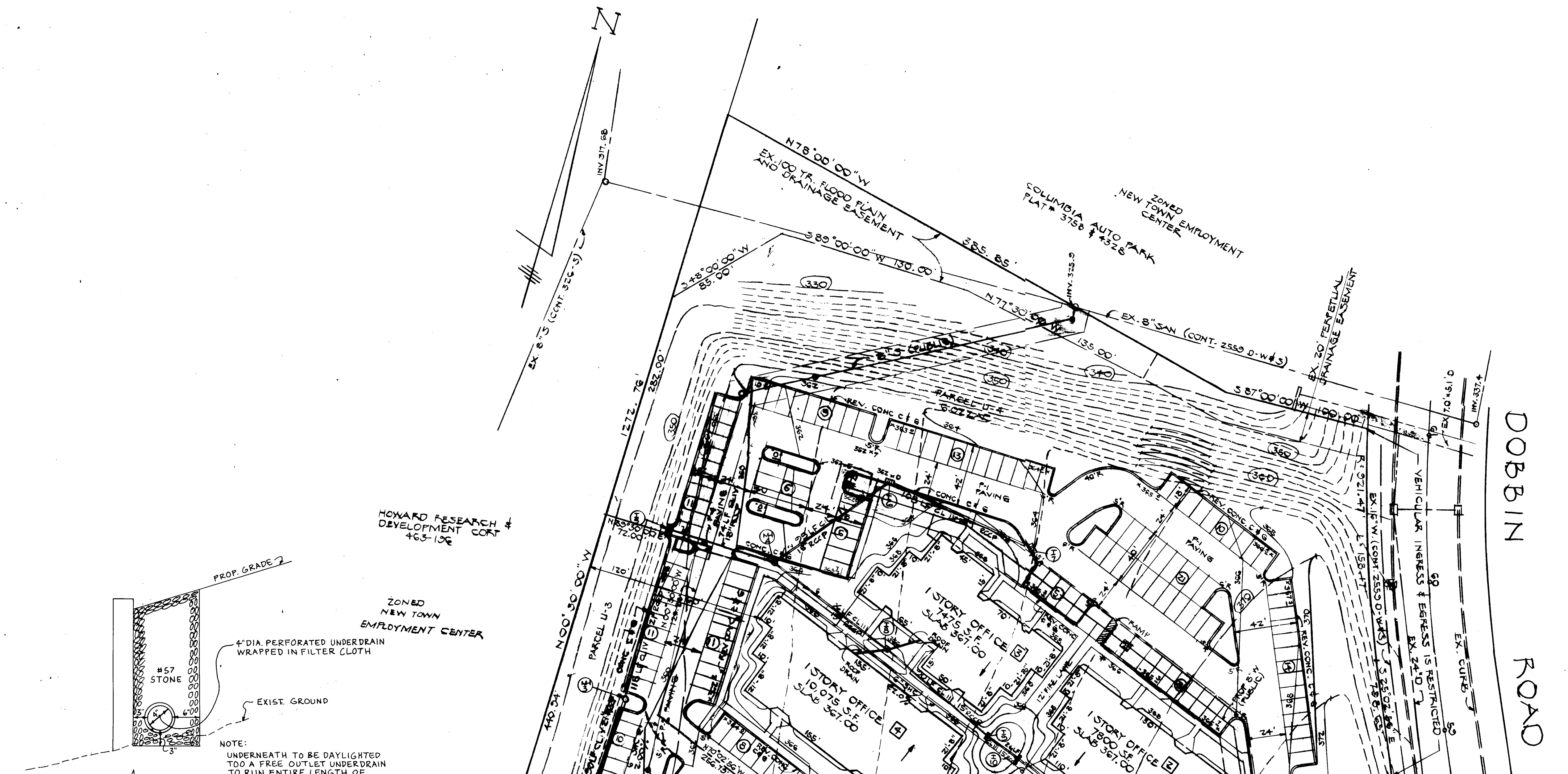
*Arthur E. Leonard* 2/27/84  
SIGNATURE DATE

OWNER & DEVELOPER  
C.B.C. ASSOCIATES & McGILL DEVELOPMENT CO.  
2430 DOBBIN ROAD  
COLUMBIA, MD 21045

ARCHITECTS  
NICHOLS ARCHITECTS P.A.  
1113 N. HUNTER ST.  
BALTIMORE, MARYLAND 21202

COLUMBIA BUSINESS CENTER  
PARCELS U-1 THRU U-5 & OPEN SPACE LOT  
DOBBIN ROAD COMMERCIAL CENTER  
SECTION 1 AREA 1  
ELECTION DISTRICT 6  
HOWARD COUNTY, MARYLAND

SITE DEVELOPMENT PLAN  
SCALE: 1" = 40'  
SHEET 2 OF 8  
DATE: FEB 24 1984  
4-27-84



- NOTES:
1. ZONING - NEW TOWN (COMMERCIAL) FDP 132-A-11
  2. ANY DAMAGE TO THE COUNTY RIGHT OF WAY WILL BE CORRECTED AT DEVELOPER'S EXPENSE.
  3. ALL MATERIALS & CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE HOWARD CO. ROAD CONSTRUCTION CODE & STD. SPECS.
  4. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTION / SURVEY DIVISION AT 302-2417 OR 302-2478, 24 HRS. BEFORE STARTING WORK.
  5. AREA PARCEL U-1 = 2.847 AC. ±  
AREA OPEN SPACE LOT 1 = 17.136 AC. ±  
TOTAL AREA = 19.983 AC. ±

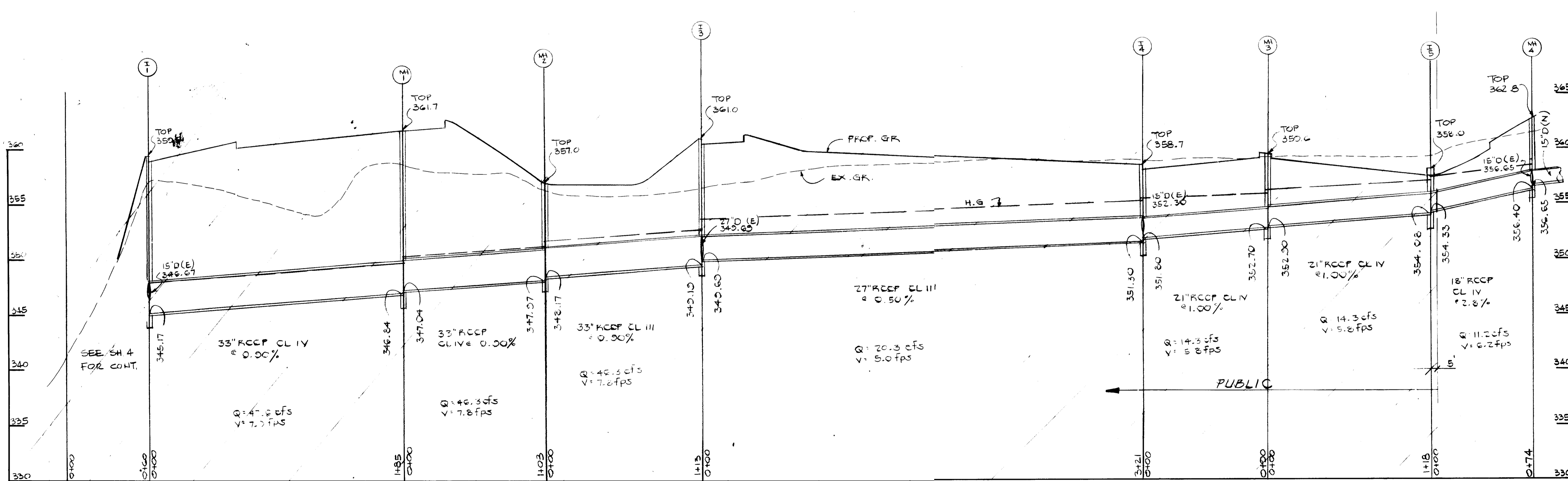
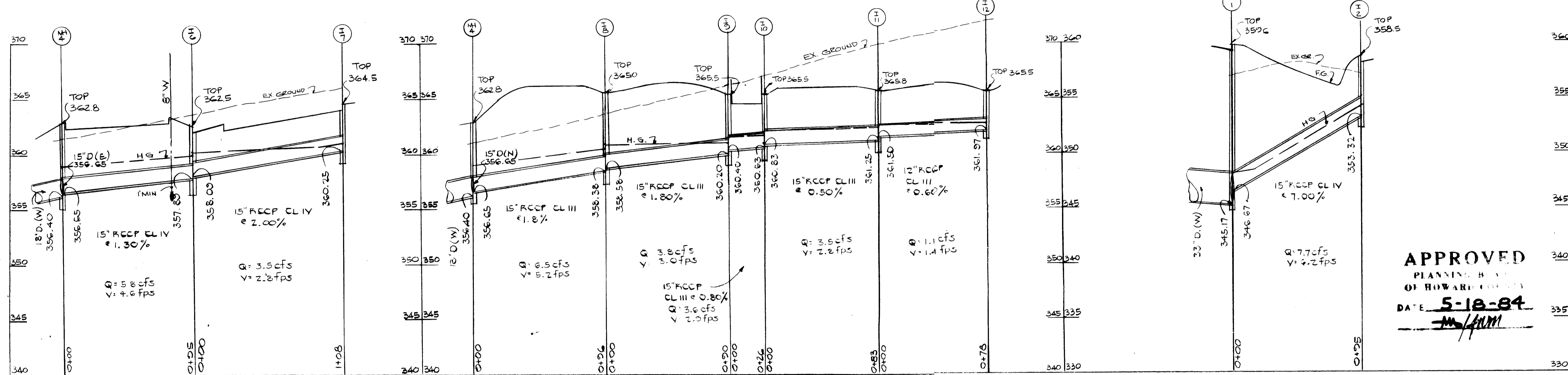
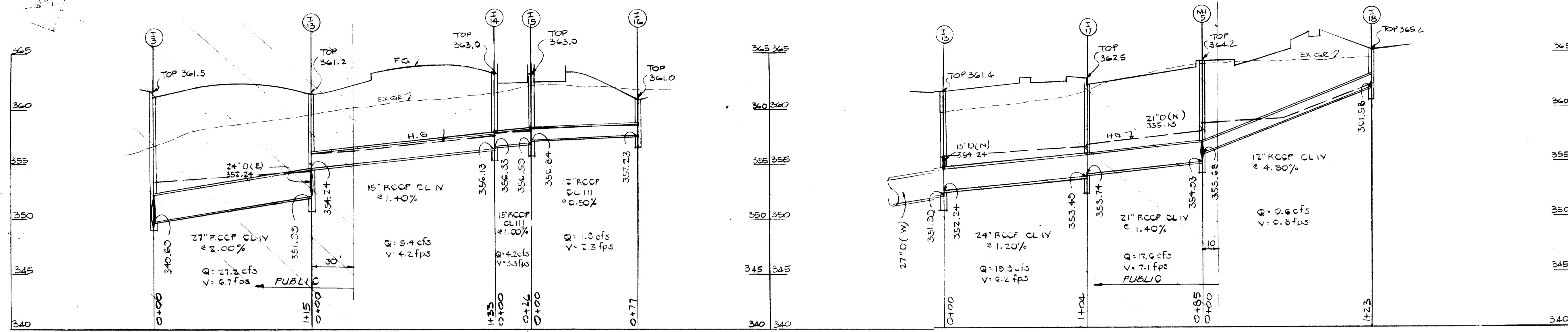
| SITE ANALYSIS (PARCEL J-1) |        |           |                                  |
|----------------------------|--------|-----------|----------------------------------|
| BLDG. NO.                  | USE    | AREA (SF) | PARKING PER.                     |
| 1                          | OFFICE | 19,128    | 19,128 / 500 = 39                |
| 2                          | "      | 7800      | 7800 / 500 = 16                  |
| 3                          | "      | 7475      | 7475 / 500 = 15                  |
| 4                          | "      | 10,075    | 10,075 / 500 = 21                |
| 5                          | "      | 15,725    | 15,725 / 500 = 32                |
| 6                          | "      | 13,100    | 13,100 / 500 = 27                |
| 7                          | OFFICE | 8450      | 8450 / 500 = 17                  |
| 8                          | OFFICE | 53,354    | 53,354 / 500 = 107               |
| 9                          | RETAIL | 25,200    | 25,200 / 250 = 101               |
| TOTAL                      | -      | 160,287   | REQUIRED = 375<br>PROVIDED = 504 |

BUILDING COVERAGE = 3.68 AC. = 21.5%  
GREEN SPACE = 5.6 AC. = 32.7%

RETAINING WALL DETAIL  
SCALE: HORIZ. 1" = 10'  
VERT. 1" = 10'

REVISIONS  
5-20-85  
REVISE PARKING LOT WEST OF BLDG'S 3 & 4  
ADDED 7 PARKING SPACES  
(1-7-87 ADDED RETAINING WALL PROFILE)

APPROVED  
PLANNING & ZONING  
OF HOWARD COUNTY  
5-18-84  
*MS/AMM*



HUDKINS ASSOCIATES, INC.  
101 SHELL BUILDING  
200 E JOPPA ROAD  
TOWSON MD. 21204

APPROVED FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS. HOWARD COUNTY HEALTH DEPT.

*James M. Holm* 10-8-84  
COUNTY HEALTH DEPT. OFFICER'S DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION & SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD S.C.D. DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL

*James M. Holm* 9-5-84  
US SOIL CONSERVATION SERVICE DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING

*Thomas J. Hamish* 10-10-84  
PLANNING DIRECTOR DATE

*John W. MacMahon* 10-10-84  
CHIEF, DIVISION LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE & STORM DRAINAGE SYSTEMS & PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

*James M. Holm* 10-18-84  
DIRECTOR DATE

*Walter P. ...* 10-8-84  
CHIEF, BUREAU OF ENGINEERING DATE

DEVELOPER

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*Peter R. M. ...* 2-24-84  
SIGNATURE DATE

ENGINEER

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*Arthur E. Leonard* 2-27-84  
SIGNATURE DATE

OWNER & DEVELOPER  
C.B.C. ASSOCIATES & MCGILL DEVELOPMENT CO.  
2430 DOBBIN ROAD  
COLUMBIA, MD 21045

ARCHITECTS  
NICHOLS ARCHITECTS P.A.  
1113 N. HUNTER ST.  
BALTIMORE, MARYLAND 21202

COLUMBIA BUSINESS CENTER  
PARCELS U-1 THRU U-5 & OPEN SPAC LOT 1  
DOBBIN ROAD COMMERCIAL CENTER  
SECTION 1 AREA 1  
ELECTION DISTRICT 6  
HOWARD COUNTY, MARYLAND

STORM DRAIN PROFILES SHEET DATE:  
SCALE: HOR. 1"=40' 3 OF 8 FEB 24, 1984  
VERT. 1"=5' 4-27-84

HUDKINS ASSOCIATES, INC.  
101 SHELL BUILDING  
200 E. JOPPA ROAD  
TOWSON MD. 21204

APPROVED FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS. HOWARD COUNTY HEALTH DEPT.

*John P. ...* 10-8-84  
COUNTY HEALTH DEPT. OFFICER DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION & SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL

*James M. ...* 9-5-84  
US SOIL CONSERVATION SERVICE DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING

*Donald ...* 10-10-84  
PLANNING DIRECTOR DATE

*John W. ...* 10-7-84  
CHIEF, DIVISION LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE & STORM DRAINAGE SYSTEMS & PUBLIC WORKS  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

*James ...* 10/1/84  
DIRECTOR DATE

*William ...* 10-1-84  
CHIEF, BUREAU OF ENGINEERING DATE

DEVELOPER

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*Robert ...* DATE

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*Robert ...* DATE

OWNER & DEVELOPER

C B ASSOCIATED & M. GILL DEVELOPMENT CO.  
2430 DOBBIN ROAD  
COLUMBIA, MD 21048

ARCHITECTS

NICHOLS ARCHITECTS P.A.  
113 N HUNTER ST.  
BALTIMORE, MARYLAND 21202

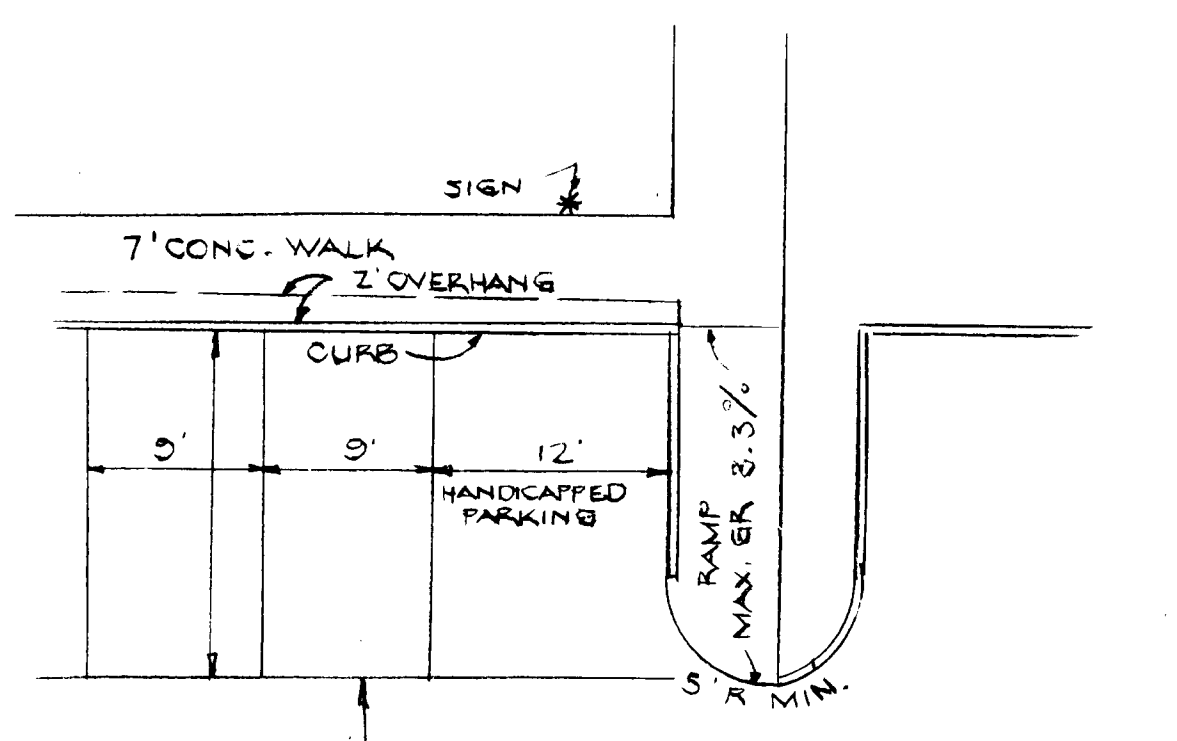
COLUMBIA BUSINESS CENTER  
PARCELS U-1 THRU U-5 & OPEN SPACE LOT  
DOBBIN ROAD COMMERCIAL CENTER  
SECTION 1 AREA  
ELECTION DISTRICT 6  
HOWARD COUNTY, MARYLAND

DETAILS AND STORM DRAIN PROFILES SHEET 4 OF 8 DATE FEB 24, 1984 4-27-84

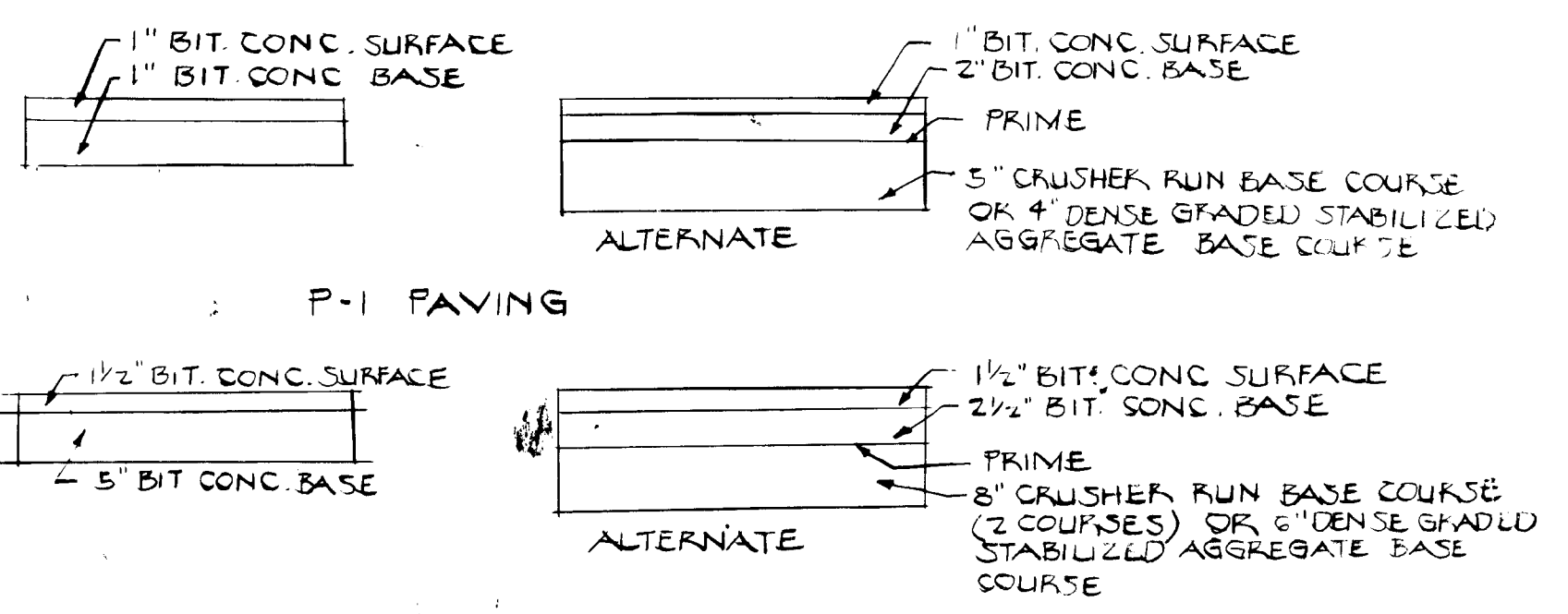
SDP 84-214



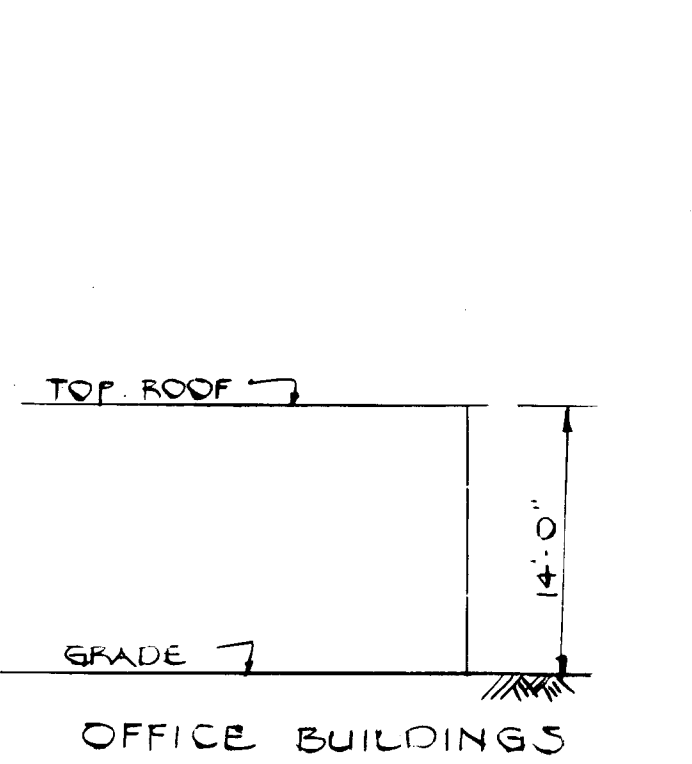
HANDICAPPED PARKING SIGN DETAIL SHOWN THUS ON PLAN \*



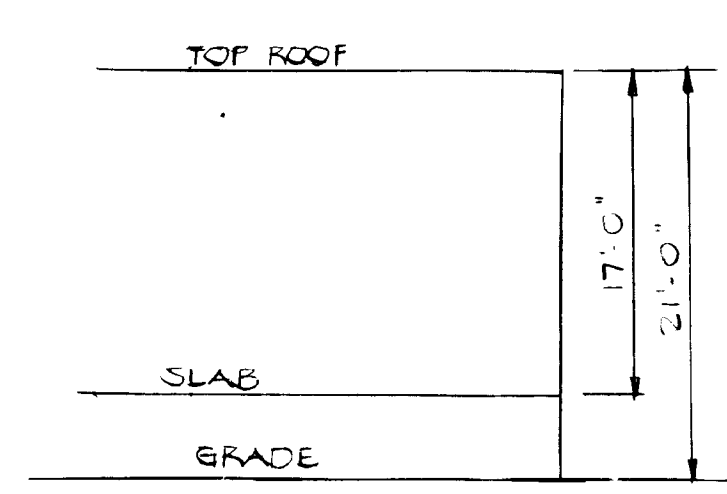
TYPICAL PARKING LAYOUT SCALE: 1"=10'



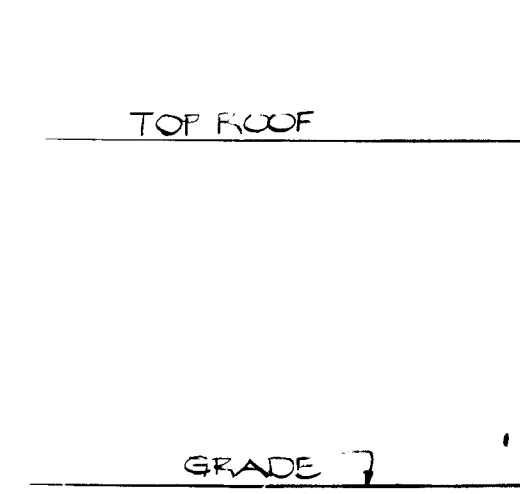
PAVING SECTIONS NO SCALE



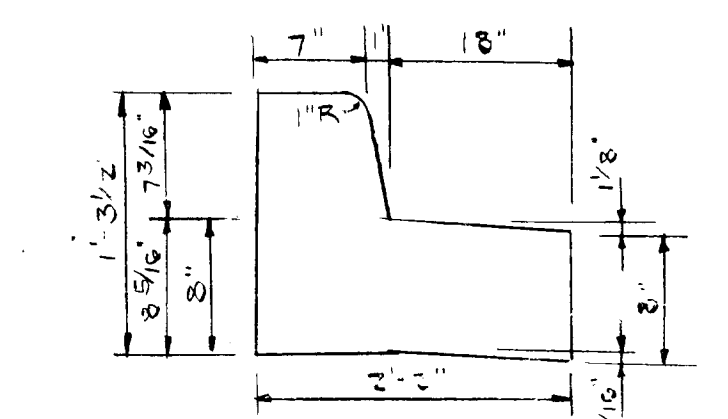
OFFICE BUILDINGS



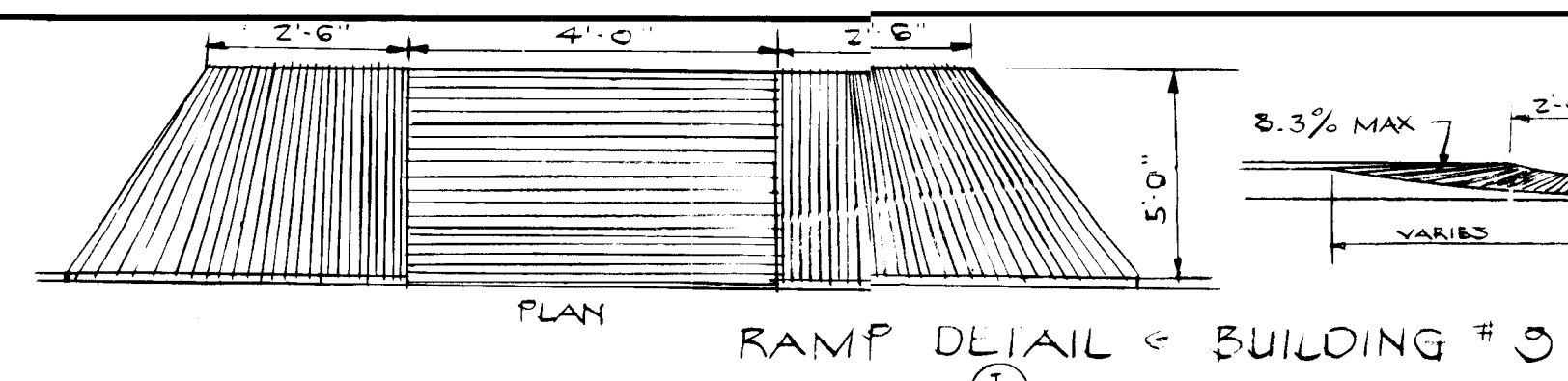
OFFICE WAREHOUSE BLDG.



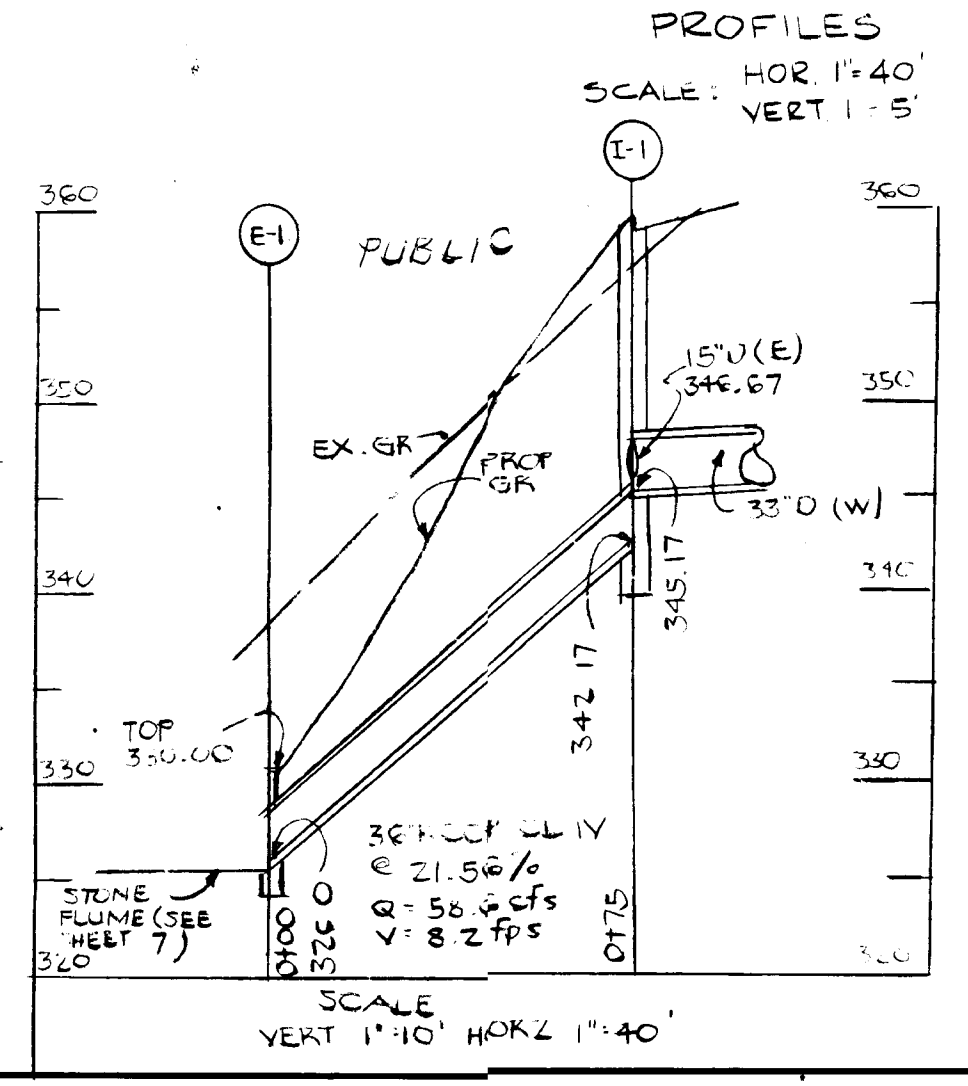
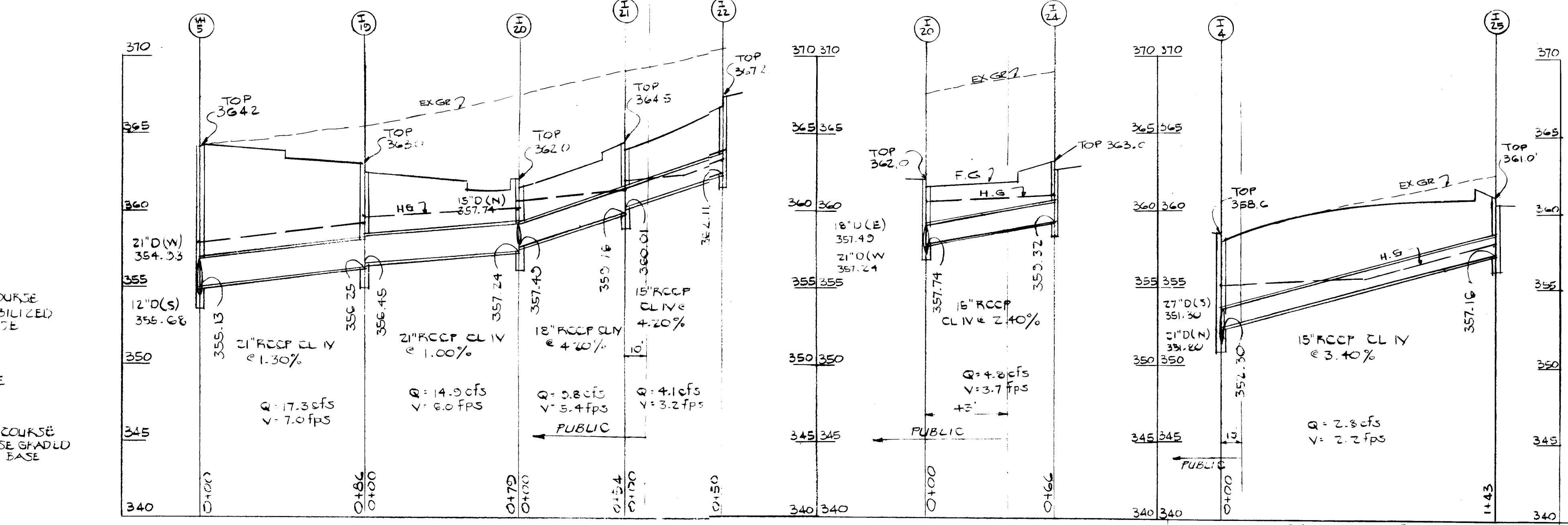
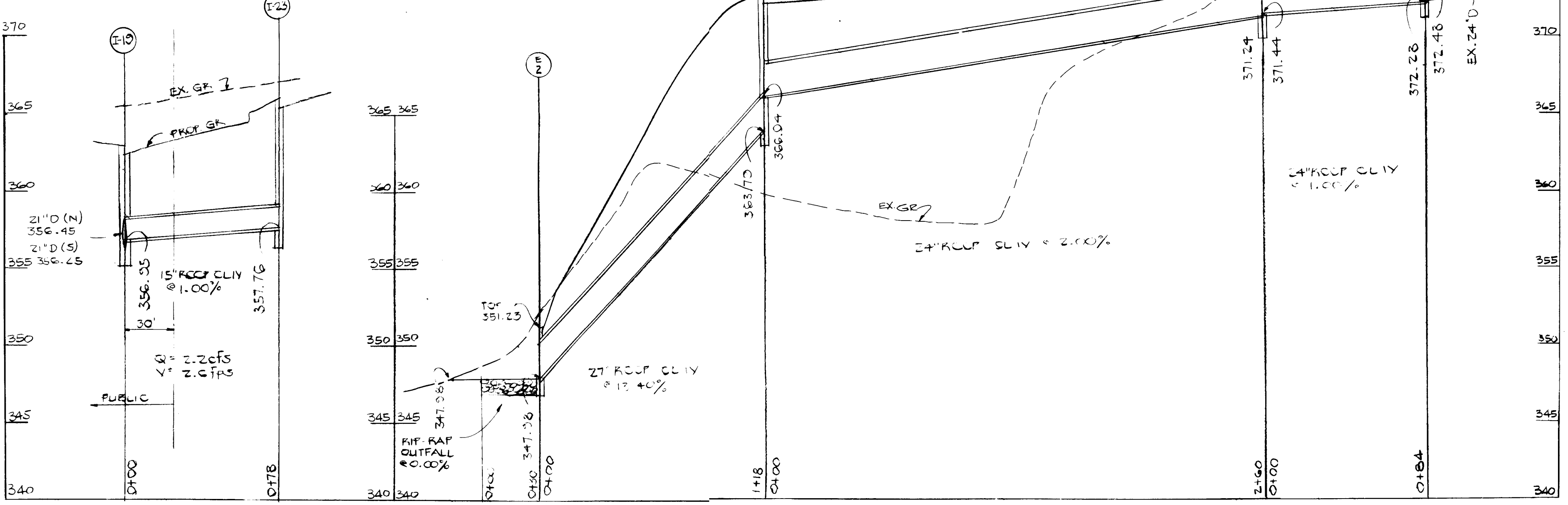
RETAIL BUILDING



DETAIL REVERSE CONC. CURB & GUTTER



RAMP DETAIL OF BUILDING #3



APPROVED  
DATE 5-18-84  
*Jim ...*

| NO   | TYPE            | INV. IN | INV. OUT | TOP    | FLW. IN |
|------|-----------------|---------|----------|--------|---------|
| I-1  | A-S             | 346.67  | 342.17   | 339.9  | 304.01  |
| I-2  | A-S             | -       | 353.32   | 352.5  | "       |
| I-3  | A-S             | 349.85  | 349.19   | 346.0  | "       |
| I-4  | A-S             | 352.30  | 348.30   | 346.7  | "       |
| I-5  | A-S             | 354.35  | 354.08   | 358.0  | "       |
| I-6  | A-S             | 356.02  | 357.62   | 362.5  | "       |
| I-7  | A-S             | -       | 360.45   | 364.5  | 504.01  |
| I-8  | D               | 358.58  | 358.76   | 365.0  | 504.14  |
| I-9  | YARD INLET      | 360.40  | 360.20   | 365.5  | 504.14  |
| I-10 | YARD INLET      | 360.85  | 360.65   | 365.5  | 504.14  |
| I-11 | D               | 361.80  | 361.25   | 368.8  | 504.11  |
| I-12 | D               | -       | 361.97   | 365.5  | 504.11  |
| I-13 | S INLET         | 354.24  | 351.23   | 351.2  | 504.22  |
| I-14 | YARD INLET      | 356.30  | 356.13   | 363.00 | 504.14  |
| I-15 | YARD INLET      | 356.81  | 356.50   | 362.60 | 504.14  |
| I-16 | D               | -       | 357.23   | 361.00 | 504.11  |
| I-17 | A-S             | 358.74  | 353.43   | 364.5  | 504.01  |
| I-18 | D               | -       | 361.58   | 363.4  | 504.11  |
| I-19 | A-S             | 356.45  | 356.65   | 363.0  | 504.01  |
| I-20 | A-S             | 357.49  | 357.24   | 363.0  | 504.02  |
| I-21 | A-S             | 360.01  | 359.76   | 364.5  | 504.02  |
| I-22 | A-S             | -       | 352.11   | 367.2  | 504.01  |
| I-23 | A-S             | -       | 357.76   | 366.0  | "       |
| I-24 | A-S             | -       | 359.52   | 363.0  | "       |
| I-25 | A-S             | -       | 357.16   | 361.0  | "       |
| I-26 | A-S             | 366.04  | 365.19   | 372.6  | 504.01  |
| M-1  | STD. MANHOLE    | 347.04  | 346.84   | 351.1  | G 5.02  |
| M-2  | STD. MANHOLE    | 348.17  | 347.97   | 357.0  | G 5.02  |
| M-3  | STD. MANHOLE    | 352.30  | 351.70   | 353.6  | G 5.01  |
| M-4  | STD. MANHOLE    | 356.60  | 356.40   | 362.8  | G 5.01  |
| M-5  | STD. MANHOLE    | 358.68  | 358.24   | 364.2  | G 5.01  |
| M-6  | STD. MANHOLE    | 371.44  | 371.24   | 381.6  | G 5.01  |
| M-7  | SHALLOW MANHOLE | 372.46  | 372.26   | 376.8  | G 5.02  |
| E-1  | E. ENDWALL      | 346.00  | 346.00   | 347.0  | 504.01  |
| E-2  | E. ENDWALL      | -       | 347.98   | 351.63 | 504.01  |

SCALE: AS SHOWN

MATCH LINE - SEE SHEET 2

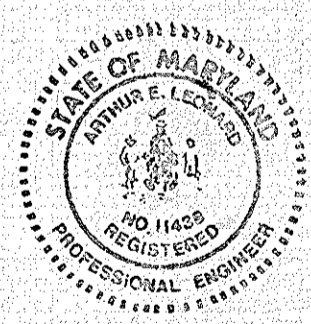


EXISTING CONC. STOOP & STEPS  
RELOCATE ROOF DRAIN AS NECESSARY

EXISTING CONC. STOOP & STEPS  
RELOCATE ROOF DRAIN AS NECESSARY

R.O.S.T. #1  
DRAIN AREA: 2.1 AC. (PRIOR TO ROUGH GRADING)  
VOL. REQ. = 51 X 57 = 141 CY  
VOL. PROV. = 144 CY  
SIZE = 30" X 62" X 2' F.  
LENGTH = 3.03' X 2.1 X 6 = 13'  
BOTT. ELEV. 353.0' CREST ELEV 355.1'  
CLEANOUT ELEV. 354.0'

**APPROVED**  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE 5-18-84  
*M/Am*



HUDKINS ASSOCIATES, INC.  
101 SHELL BUILDING  
200 E. JOPPA ROAD  
TOWSON MD. 21204

APPROVED FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS. HOWARD COUNTY HEALTH DEPT.

*Jayman Boyd*  
COUNTY HEALTH DEPT. OFFICER  
DATE 10-8-84

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION & SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*Robert W. Beckwith*  
HOWARD S.C.D.  
DATE 10/8/84

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL

*James H. Allen*  
US SOIL CONSERVATION SERVICE  
DATE 9-5-84

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING

*Thomas H. Harris*  
PLANNING DIRECTOR  
DATE 10-10-84

*John W. Muschman*  
CHIEF, DIVISION LAND DEVELOPMENT AND ZONING ADMINISTRATION  
DATE 10-10-84

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE & STORM DRAINAGE SYSTEMS & PUBLIC ROADS  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

*James M. ...*  
DIRECTOR  
DATE 10/15/84

*William ...*  
CHIEF, BUREAU OF ENGINEERING  
DATE 10-5-84

DEVELOPER

I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS OF DEVELOPMENT, POND CONSTRUCTION AND EROSION AND SEDIMENT CONTROL. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY, DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED LINED AS BUILT OF THE POND WITHIN 30 DAYS OF COMPLETION. RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT & EROSION BEFORE BEGINNING THE PROJECT.

*Robert McGillicuddy*  
SIGNATURE  
DATE 2/21/84

ENGINEER

I CERTIFY THAT THIS PLAN OF DEVELOPMENT, POND CONSTRUCTION AND EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED LINED AS BUILT OF THE POND WITHIN 30 DAYS OF COMPLETION.

*Arthur E. Jordan*  
SIGNATURE  
DATE 2/27/84

OWNER & DEVELOPER

C. B.C. ASSOCIATES % MCGILL DEVELOPMENT CO.  
2430 DOBBIN ROAD  
COLUMBIA, MD 21045

ARCHITECTS

NICHOLS ARCHITECTS, P.A.  
113 N. HUNTER ST.  
BALTIMORE, MARYLAND 21202

COLUMBIA BUSINESS CENTER

PARCELS U-1 THRU U-5 & OPEN SPACE LOT 1

DOBBIN ROAD COMMERCIAL CENTER

SECTION 1 AREA 1

ELECTION DISTRICT 6

HOWARD COUNTY, MARYLAND

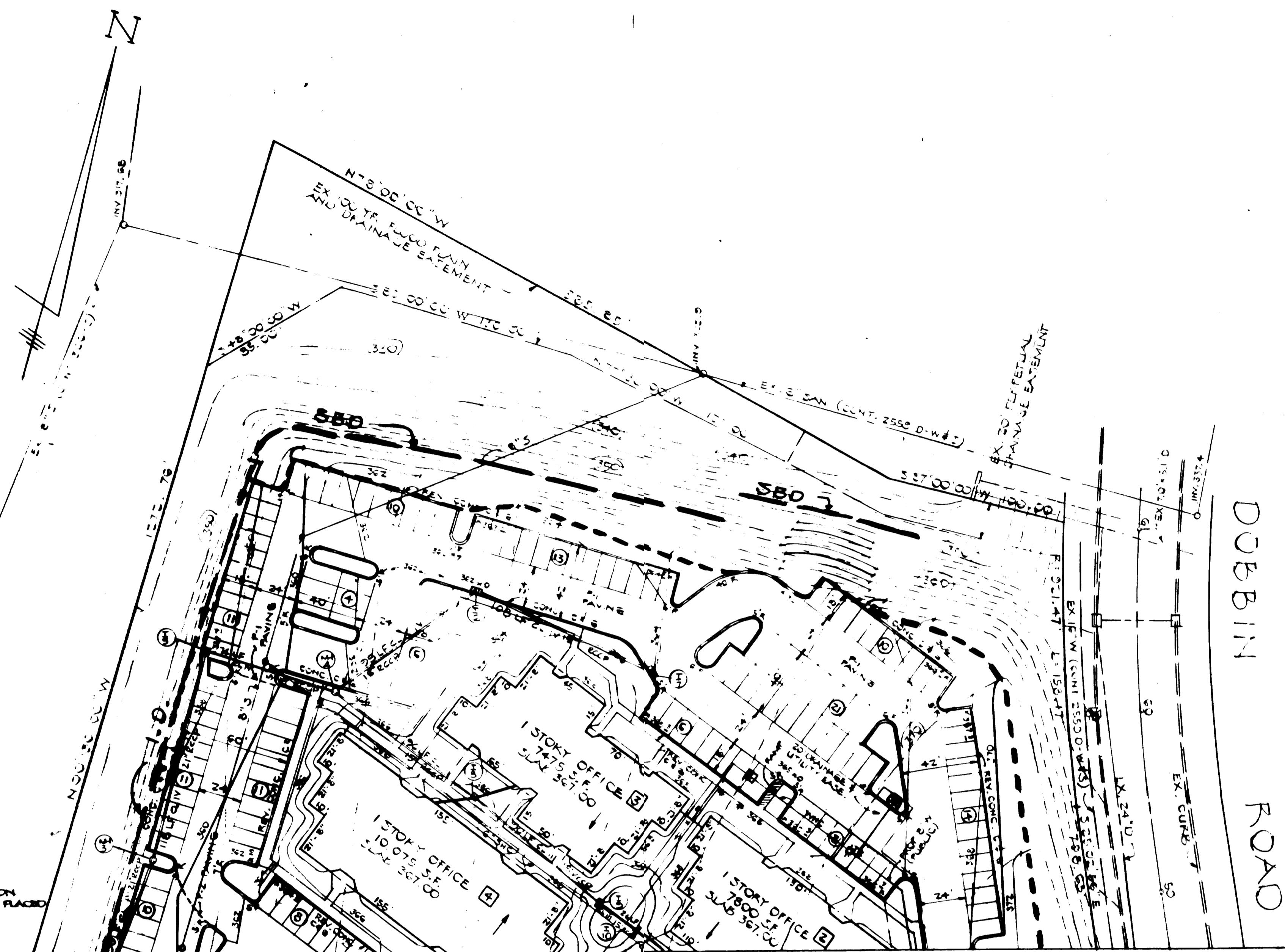
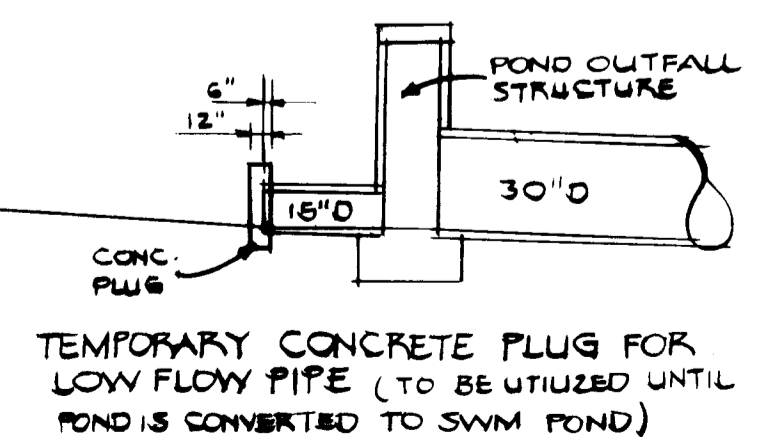
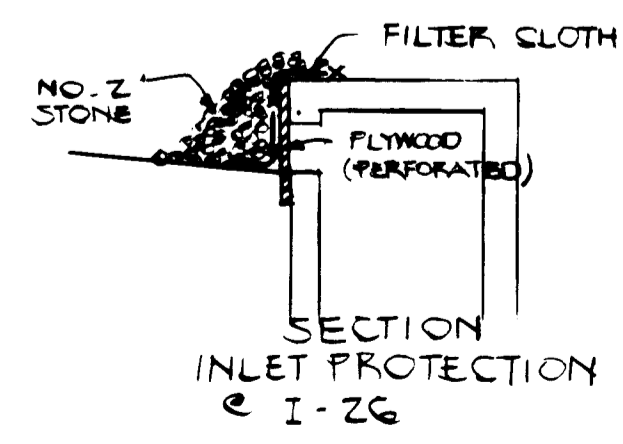
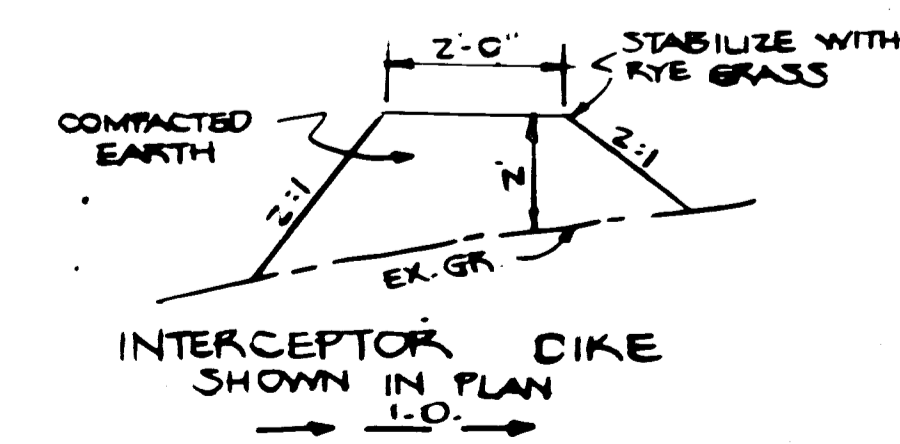
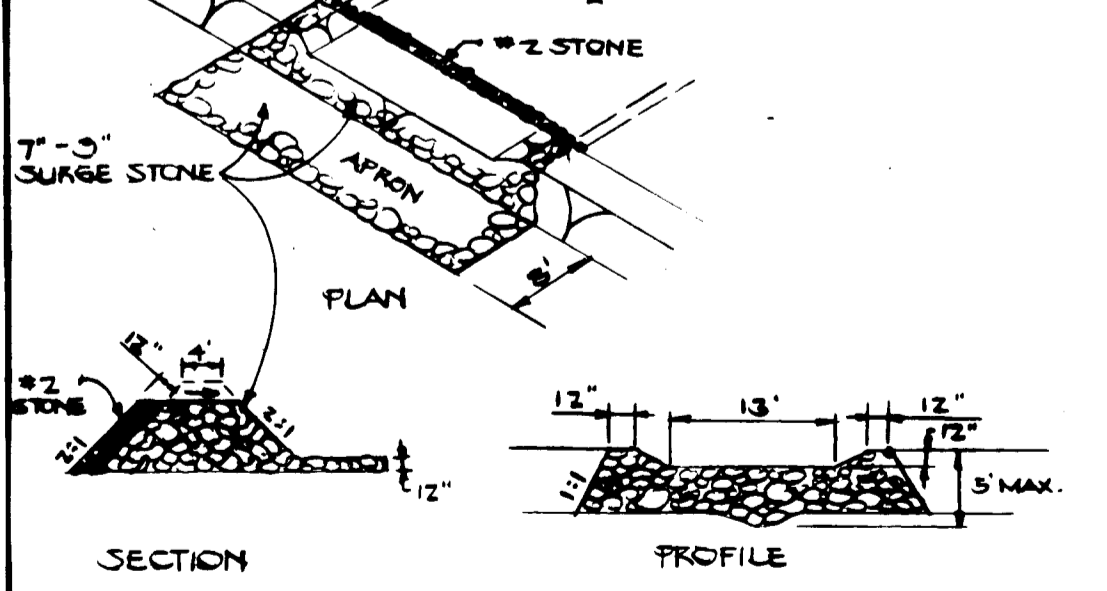
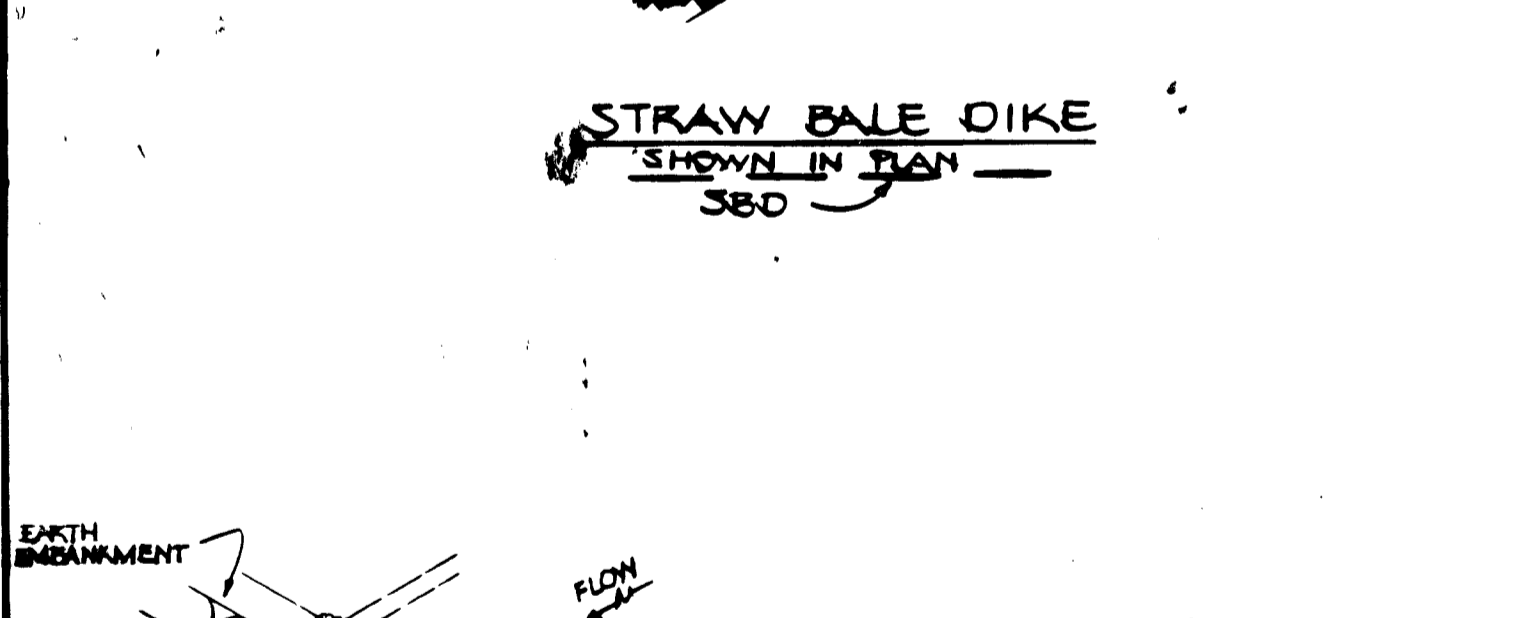
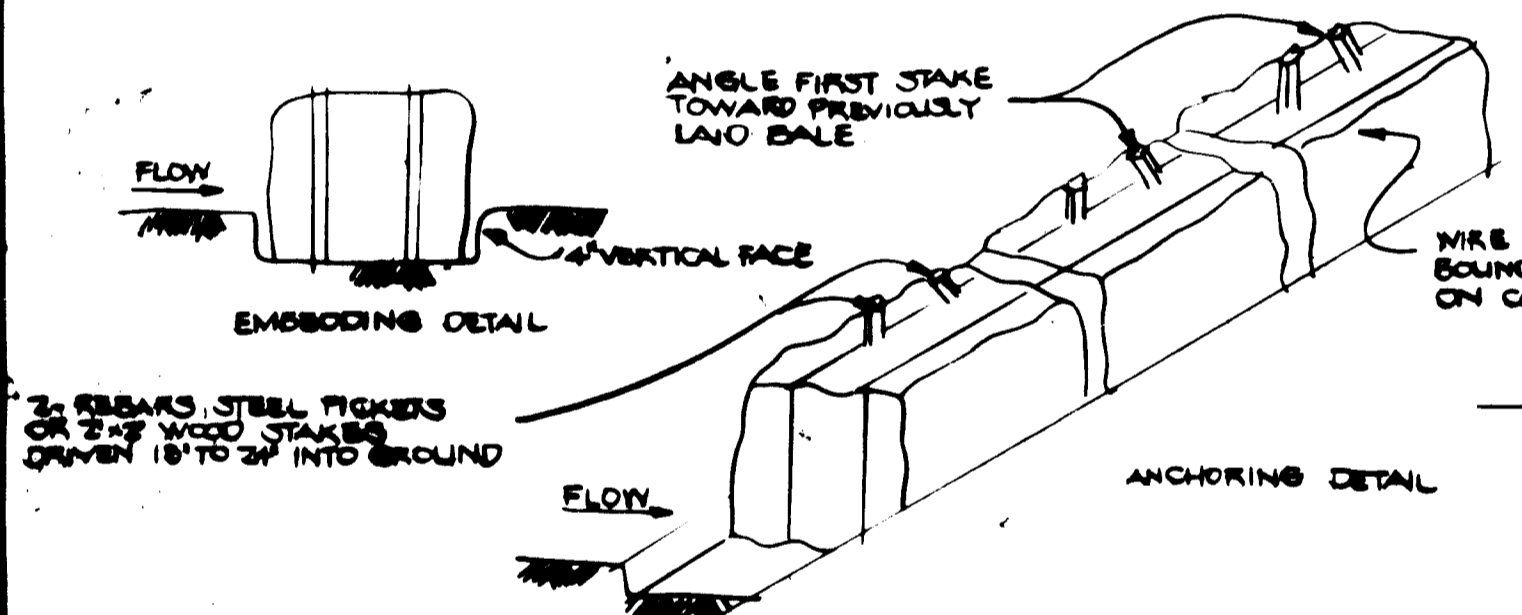
|          |  |
|----------|--|
| 10.11.11 | ADD SHED BEHIND BUILDING B AND ADD EXISTING STOOP STEP & MECHANICAL BOX. |
| DATE:    | REVISION   |

|                       |              |                          |
|-----------------------|--------------|--------------------------|
| SEDIMENT CONTROL PLAN | SHEET 5 OF 8 | DATE FEB 24 1984 4-27-84 |
| SCALE: 1" = 40'       |              |                          |

1. Notify Howard County Bureau of Inspections 48 hrs. before starting work.
2. All Sediment Control measures to remain in place until permission for their removal has been obtained from the Sediment Control Inspector.
3. Inspect & maintain all Sediment Control measures to ensure proper functioning.
4. All graded areas not to be paved are to be stabilized as follows:
- Spread 3" layer compacted topsoil to finished grade.
  - Spread 90 lbs./1000 s.f. Delomitic limestone & 25 lbs./1000 s.f. 10-10-10 fertilizer.
  - Seed with 2 lbs./1000 s.f. of the following 40% Kentucky Blue, 20% Chewling Fescue, 20% Kentucky 31, & 20% Annual Rye. Rake with York Rake (Min. 2 passes), cover & compact with cultipacker or other approved method.
  - Mulch with 70 lbs./1000 s.f. small grain straw. Spray with 0.04 gal./sq. yd. emulsified asphalt.
  - If no germination within 4 weeks, reseed.

- NOTES:**
- Notify the Howard Co. Bureau of Inspections & Permits @ least 48 hrs. before starting work.
  - All sediment control devices are to remain in place until permission for removal has been obtained from The Howard Co. Bureau of Inspections & Permits.
  - Structural measures such as berms, dikes, traps, basins, etc., will be installed & stabilized according to the plan prior to any disturbance of the existing surface of the site.
  - On site inspection and maintenance of all sediment control measures (including cleanup of traps and berms and proper establishment of all planned vegetative measures) will be the responsibility of the developer or his representative on the site on a continuing day to day basis.

- TEMPORARY SEEDING NOTES:**
- Seed immediately upon construction with 1 lb. rye grass per 1000 s.f.
  - Apply 40 lbs./1000 s.f. of pulverized delomitic limestone and 10 lbs. to 15 lbs./1000 s.f. of fertilizer of approved fertilizer.
  - Harrow or disc time and fertilizer into the soil to a depth of at least 2 inch continuous tillage with a reasonably uniform top firm seedbed that allows for harrowing or discing should be on the contour.
  - Mulch with straw @ 75 lbs./1000 s.f.



- SEQUENCE OF CONSTRUCTION**
- OBTAIN GRADING PERMIT
  - NOTIFY HOWARD CO. DEPT. OF PERMITS & LICENSES.
  - INSTALL STONE CONSTRUCTION ENTRANCES.
  - INSTALL INTERCEPTOR DIKE ALONG SOUTH SIDE OF SOUTHERN ENTRANCE.
  - CONSTRUCT R.O.S.T.
  - CONSTRUCT STORM DRAIN FROM M-7 TO E-2. MAINTAIN POST. AND INTERCEPTOR DIKE DURING CONSTRUCTION. PROVIDE INLET PROTECTION AT I-26. (SEE DETAIL)
  - CONSTRUCT SEDIMENT BASIN, POND OUTFALL STRUCTURE AND OUTFALL DRAIN.
  - CONSTRUCT REMAINING SEDIMENT CONTROL DEVICES
  - ROUGH GRADE SITE
  - PROCEED WITH BUILDING AND UTILITY CONSTRUCTION.
  - FINE GRADE SITE
  - PLACE TOP SOIL BASE IN AREAS TO BE PAVED
  - PAVE PARKING AREAS.
  - CONVERT SEDIMENT POND TO STORM WALK. MAINTAIN POND PER SHEETS 7 & 8
  - REMOVE REMAINING SEDIMENT CONTROL DEVICES AND STABILIZE THOSE AREAS AFTER OBTAINING APPROVAL OF SEDIMENT CONTROL INSPECTOR.

**SEDIMENT POND DESIGN DATA**

MAX. DRAINAGE AREA = 15.4 AC.  
 VOL. REQ. = 15.4 x 67 CY = 1032 CY  
 VOL. PROVIDED @ TOP INLET (ELEV. 329.30) = 1800 CY  
 CLEANOUT AT ELEV. 327.2 OR 2.7' FROM TOP OF INLET

**SITE ANALYSIS**

TOTAL AREA = 20.0 AC ±  
 AREA TO BE GRADED 17.9 AC ±  
 AREA TO BE PAVED 11.8 AC ±  
 AREA TO BE SEEDING OR SCODDED 6.9 AC.  
 AREA UNDISTURBED 2.1 AC.

**APPROVED**  
 PLANNING BOARD  
 OF HOWARD COUNTY  
 DATE 5-18-84  
MA/AM

HODKINS ASSOCIATES, INC.  
 101 SHELLO BUILDING  
 200 E. JOPPA ROAD  
 TOWSON MD 21204

APPROVED FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS. HOWARD COUNTY HEALTH DEPT.  
James P. Boyd DATE 8-8-84  
 COUNTY HEALTH DEPT. OFFICER

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION & SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
Richard W. King DATE \_\_\_\_\_  
 HOWARD SOIL CONSERVATION DISTRICT

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.  
James M. Hester DATE 9-5-84  
 US SOIL CONSERVATION SERVICE

APPROVED. HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
Thomas G. Smith DATE 10-10-84  
 PLANNING DIRECTOR

John W. Macaulman DATE 10-16-84  
 CHIEF DIVISION LAND DEVELOPMENT AND ZONING ADMINISTRATION

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE & STORM DRAINAGE SYSTEMS & PUBLIC ROADS  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
James P. Boyd DATE 10/5/84  
 DIRECTOR

Walter J. King DATE 10/8/84  
 CHIEF BUREAU OF ENGINEERING

DEVELOPER  
 I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS OF DEVELOPMENT, POND CONSTRUCTION AND EROSION AND SEDIMENT CONTROL. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED LINED AS BUILT OF THE POND WITHIN 30 DAYS OF COMPLETION, RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT & EROSION BEFORE BEGINNING THE PROJECT.  
John W. Macaulman DATE 10/14/84  
 SIGNATURE

ENGINEER  
 I CERTIFY THAT THIS PLAN OF DEVELOPMENT, POND CONSTRUCTION AND EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED LINED AS BUILT OF THE POND WITHIN 30 DAYS OF COMPLETION.  
 \_\_\_\_\_ DATE \_\_\_\_\_

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

OWNER & DEVELOPER  
 C.B.C. ASSOCIATES % McGILL DEVELOPMENT CO.  
 2430 DOBBIN ROAD  
 COLUMBIA, MD 21045

ARCHITECTS  
 NICHOLS ARCHITECTS P.A.  
 113 N. HUNTER ST.  
 BALTIMORE, MARYLAND 21202

COLUMBIA BUSINESS CENTER  
 PARCELS U-1 THRU U-5 & OPEN SPACE LOT 1  
 DOBBIN ROAD COMMERCIAL CENTER  
 SECTION 1, AREA 1  
 ELECTION DISTRICT 6,  
 HOWARD COUNTY, MARYLAND

|                     |                       |                                 |
|---------------------|-----------------------|---------------------------------|
| PERMIT<br>NO. _____ | SHEET<br>6<br>OF<br>8 | DATE<br>FEB 24, 1984<br>4-27-84 |
|---------------------|-----------------------|---------------------------------|

SCALE: 1" = 40'

SDP 84-214. 6320

**Neu Valley Nurseries Inc.**  
ELK RIDGE, MD. 21227 746-4195  
**Plant List**

| KEY | NO. | PLANT NAME  | SIZE                           | REMARKS   |
|-----|-----|---|--------------------------------|-----------|
| ⊕   | 107 | ACER RUBRUM 'RED SUNSET' RED MAPLE                | 2 1/2 - 3 1/2 FT<br>12-14" DBH | BIB HEAVY |
| ⊕   | 46  | ZELKOVA SERRATA 'VIL. GRN.' ZELKOVA 'VILL. GREEN' | "                              | "         |
| ⊕   | 24  | QUERCUS PALUSTRIS PIN OAK                         | "                              | "         |
| ⊕   | 32  | QUERCUS RUBRA RED OAK                             | "                              | "         |
| ⊕   | 15  | SOPIORA JAPONICA JAP. PAGODA TREE                 | "                              | "         |
| ⊕   | 23  | FRAXINUS P. LANCEOLATA SEEDLESS GREEN ASH         | "                              | "         |
| ⊕   | 13  | MALUS SARGENTI SARGENT CRAB                       | 4-5 FT                         | "         |
| ⊕   | 47  | PRUNUS SERRULATA KWANZAN KWANZAN CHERRY           | 2-2 1/2 FT<br>8-10" DBH        | "         |
| ⊕   | 17  | MALUS RADIANT RADIANT CRABAPPLE                   | "                              | "         |
| ⊕   | 22  | MALUS PINK PERFECTION PINK PERFECTION CRAB        | "                              | "         |
| ⊕   | 16  | MALUS SNOWCLOUD SNOWCLOUD CRABAPPLE               | "                              | "         |
| ⊕   | 16  | CRATAEGUS TORBA TORBA HAWTHORN                    | "                              | "         |
| ⊕   | 17  | TSUGA CANADENSIS CANADA HEMLOCK                   | 6-8 FT                         | "         |
| ⊕   | 92  | PINUS THUNBERGI JAP. BLACK PINE                   | 6-8 FT                         | "         |
| ⊕   | 98  | PINUS STROBUS WHITE PINE                          | 6-8 FT                         | "         |

NOTE: ALL PLANTING TO COMPLY WITH HRP PLANTING SPECIFICATIONS. CONTRACTOR TO VERIFY UNDERGROUND UTILITIES BEFORE PAVING.

HOWARD RESEARCH & DEVELOPMENT CORP.  
463 106



NOTES:  
1. ZONING - NEW TOWN (COMMERCIAL) - FUR 32  
2. ANY CHANGE TO THE COUNTY HEIGHT OF VIEW SHALL BE CORRECTED AT DEVELOPER'S EXPENSE  
3. ALL MATERIALS & CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY CONSTRUCTION CODE & TO BE DONE IN ACCORDANCE WITH THE CONSTRUCTION CODE IN DISTRICT, TOWNSHIP & COUNTY  
4. ALL UTILITIES SHALL BE LOCATED AND MARKED BEFORE ANY CONSTRUCTION  
5. AREA SHALL BE SET 1" = 17.75' AS SHOWN  
TOTAL AREA 10,383 AC ±

| BLDG NO. | USE              | AREA (SF)       | PARKING PER         |
|----------|------------------|-----------------|---------------------|
| 1        | OFFICE           | 2100            | 10/100/100 = 21     |
| 2        | "                | 7200            | 720/100 = 7.2       |
| 3        | "                | 7470            | 747/100 = 7.47      |
| 4        | "                | 10,070          | 1007/100 = 10.07    |
| 5        | "                | 15,725          | 1572.5/100 = 15.725 |
| 6        | "                | 2100            | 210/100 = 2.1       |
| 7        | OFFICE           | 2450            | 245/100 = 2.45      |
| 8        | OFFICE WAREHOUSE | 18,000          | 1800/100 = 18       |
| 9        | WAREHOUSE        | 77,324 (60,000) | 7732.4/100 = 77.324 |
| 10       | RETAIL           | 25,000          | 2500/100 = 25       |
| TOTAL    | -                | 166,935         | REQUIRE 1,669.35    |

BUILDING COVERAGE 7.5% (MAX) 0.15%  
GREEN SPACE 15.6% (32%)

**APPROVED**  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE 5-18-84  
*[Signature]*

*[Seal]*  
**Wynne H. Blair**  
3-19-84

WYDALE ASSOCIATES, INC.  
101 SHELL BUILDING  
200 E. JOPPA ROAD  
TOWSON, MD 21284

APPROVED FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPT.  
*[Signature]* 10-8-84  
COUNTY HEALTH DEPT OFFICER DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION & SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT  
*[Signature]* DATE  
HOWARD S.C.D.

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL  
*[Signature]* 9-5-84  
US SOIL CONSERVATION SERVICE DATE

APPROVED, HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
*[Signature]* 10-10-84  
PLANNING DIRECTOR DATE

APPROVED DIVISION LAND DEVELOPMENT AND ZONING ADMINISTRATION  
*[Signature]* 10-2-84  
DATE

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE & STORM DRAINAGE SYSTEMS & PUBLIC ROADS  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*[Signature]* 10/5/84  
DATE

*[Signature]* 10-5-84  
DATE  
BUREAU OF ENGINEERING

DEVELOPER  
I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS OF DEVELOPMENT, POND CONSTRUCTION AND EROSION AND SEDIMENT CONTROL. I ALSO AUTHORIZE PERIODIC ON SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED LINED AS BUILT OF THE POND WITHIN 30 DAYS OF COMPLETION. RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A COURSE OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT & EROSION BEFORE BEGINNING THE PROJECT.  
SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

ENGINEER  
I CERTIFY THAT THIS PLAN OF DEVELOPMENT, POND CONSTRUCTION AND EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED LINED AS BUILT OF THE POND WITHIN 30 DAYS OF COMPLETION.  
SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

OWNER - DEVELOPER  
C. B.C. ASSOCIATED 1/2 McGill Development Co  
2430 DOBBIN ROAD  
COLUMBIA, MD 21045

ARCHITECTS  
NICHOLS ARCHITECTS P.A.  
1113 N. HUNTER ST.  
BALTIMORE, MARYLAND 21202

COLUMBIA BUSINESS CENTER  
PAP CELS WITHIN OPEN SPACE LOT 1  
DOBBIN RD. COMMERCIAL CENTER  
SECTION 1 AREA 1  
ELECTION DISTRICT 8  
HOWARD COUNTY, MARYLAND

LANDSCAPE PLANTING PLAN  
SCALE: 1" = 40'-0"

SHEET 7 OF 8  
DATE: 3-19-84

MATCH LINE - SEE SHEET 2

| ADDRESS CHART |                |
|---------------|----------------|
| LOT NUMBER    | STREET ADDRESS |
|               |                |
|               |                |
|               |                |



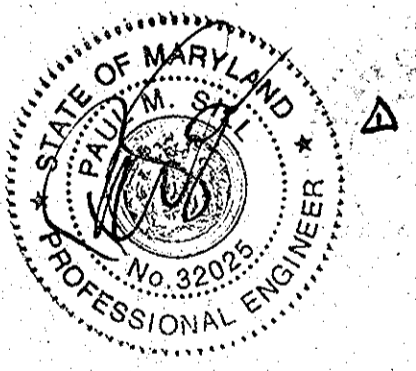
HOWARD RESEARCH & DEVELOPMENT CO.  
463-196

LOCATION PLAN  
SCALE 1" = 1000'

SEE SHEET 2 FOR NOTES

DOBBIN ROAD  
COMMERCIAL CENTER  
PLAT # 4875

**APPROVED**  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE 5-18-84  
*M. J. Quinn*



*Wayne R. Thain*  
3-19-84

HUDKINS ASSOCIATES, INC.  
101 SHELL BUILDING  
200 E. JOPPA ROAD  
TOWSON, MD. 21284

APPROVED FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPT.  
*James P. Jones*  
COUNTY HEALTH DEPT. OFFICER  
DATE 10-8-84

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION & SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*Robert V. Friedman*  
HOWARD S.C.D.  
DATE 10/11/84

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL

*James M. Helms*  
US SOIL CONSERVATION SERVICE  
DATE 9-5-84

APPROVED, HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
*Thomas J. Harris*  
PLANNING DIRECTOR  
DATE 10-10-84

*John W. Moushman*  
CHIEF, DIVISION LAND DEVELOPMENT AND ZONING ADMINISTRATION  
DATE 10-10-84

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE & STORM DRAINAGE SYSTEMS & PUBLIC ROADS  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

*James J. Allen*  
DIRECTOR  
DATE 10/15/84

*Melvin A. Paine*  
CHIEF BUREAU OF ENGINEERING  
DATE 10-19-84

DEVELOPER  
I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS OF DEVELOPMENT, POND CONSTRUCTION AND EROSION AND SEDIMENT CONTROL. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY, DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED LINED AS BUILT OF THE POND WITHIN 30 DAYS OF COMPLETION, RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT & EROSION BEFORE BEGINNING THE PROJECT.  
*Robert V. Friedman*  
SIGNATURE  
DATE 2/27/84

ENGINEER  
I CERTIFY THAT THIS PLAN OF DEVELOPMENT, POND CONSTRUCTION AND EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED LINED AS BUILT OF THE POND WITHIN 30 DAYS OF COMPLETION.  
*E. Howard*  
SIGNATURE  
DATE 2/27/84

*E. Howard*  
SIGNATURE  
DATE 2/27/84

OWNER & DEVELOPER  
C.B.C. ASSOCIATES & MCGILL DEVELOPMENT CO.  
2430 DOBBIN ROAD  
COLUMBIA, MD 21045

ARCHITECTS  
NICHOLS ARCHITECTS P.A.  
1113 N. HUNTER ST.  
BALTIMORE, MARYLAND 21202

COLUMBIA BUSINESS CENTER  
PARCELS 4+1+u-5+ OPEN SPACE LOT 1  
DOBBIN RD. COMMERCIAL CENTER  
SECTION 1 - AREA 1  
ELECTION DISTRICT 6  
HOWARD COUNTY, MARYLAND

| SUBDIVISION NAME |            | SECT./AREA | LOT/PARCEL #                        |
|------------------|------------|------------|-------------------------------------|
| PLAT # OR L/T    | BLOCK #    | ZONE       | TAX/ZONE MAP ELEC. DIST. CENSUS TR. |
| WATER CODE       | SEWER CODE |            |                                     |

LANDSCAPE PLANTING PLAN  
SCALE: 1" = 40'-0"  
SHEET 8 OF 8  
DATE 3-19-84

OPEN SPACE LOT 2  
P.B. 23-91  
DATE: REVISION