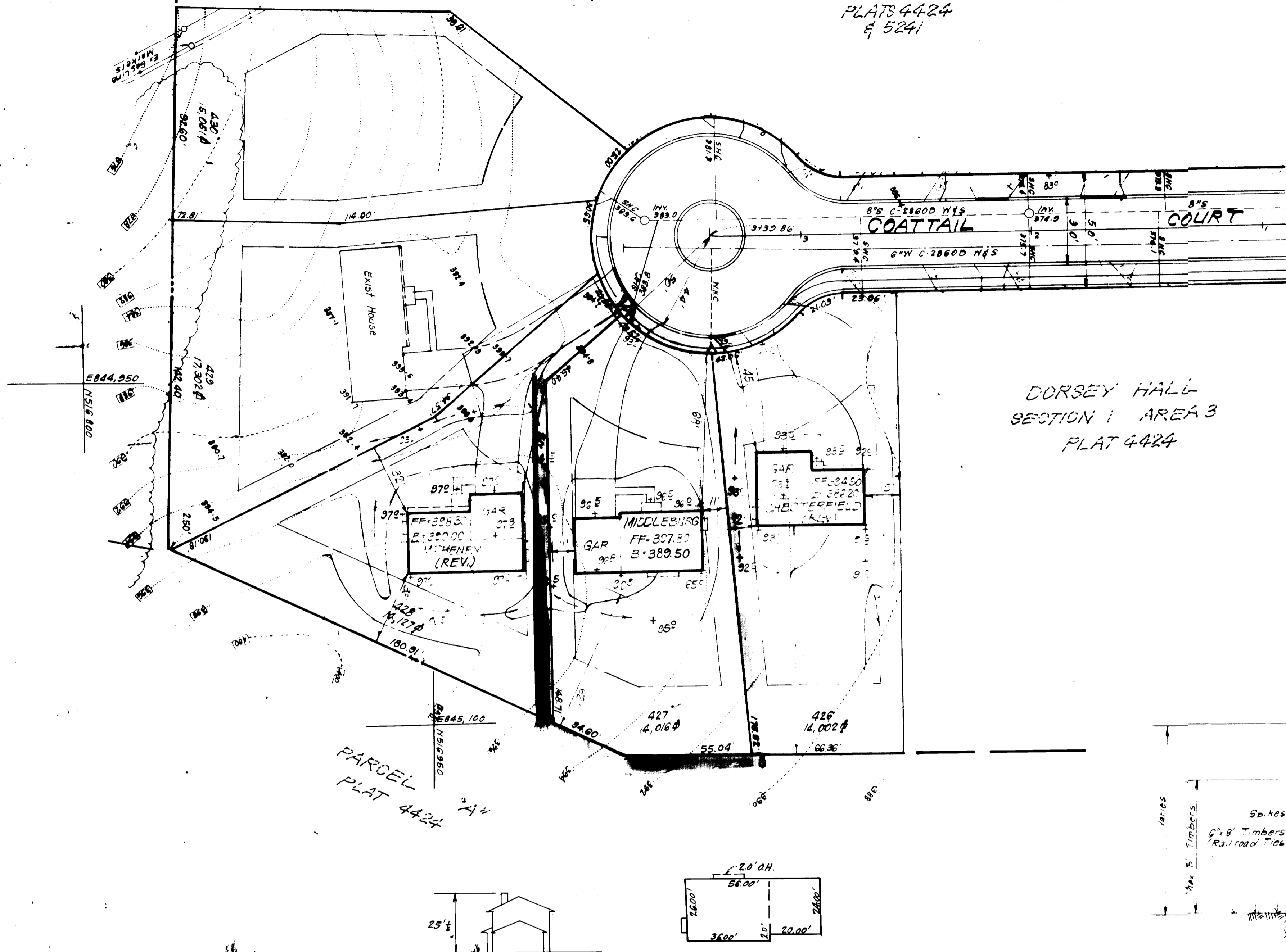
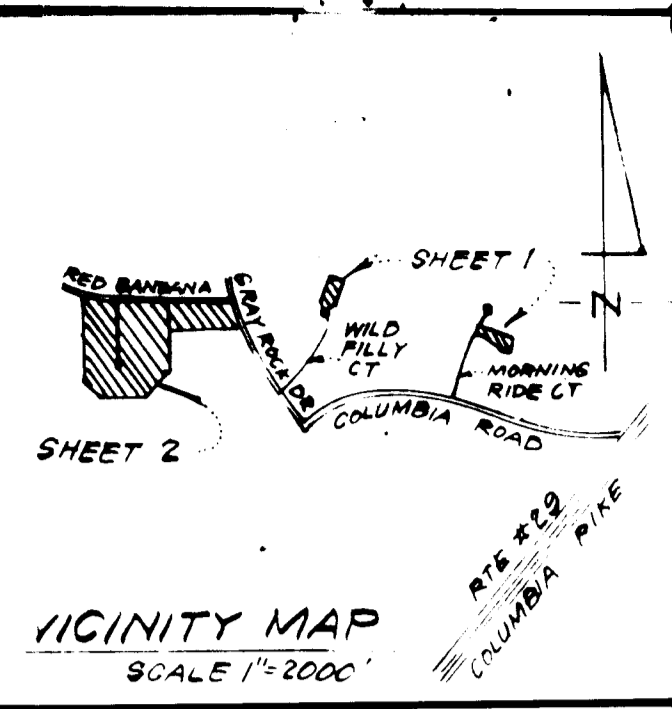


DORSEY HALL
SECTION 1 AREA 3
PLATS 4424
& 5241



DORSEY HALL
SECTION 1 AREA 3
PLAT 4424

ADDRESS CHART	
LOT N ^o	STREET ADDRESS
427	4281 Coattail Court

NOTE: The contractor or developer shall contact the Construction Inspection (Survey Division), 24 hours in advance of commencement of work, at 292-2417 or 792-7272.

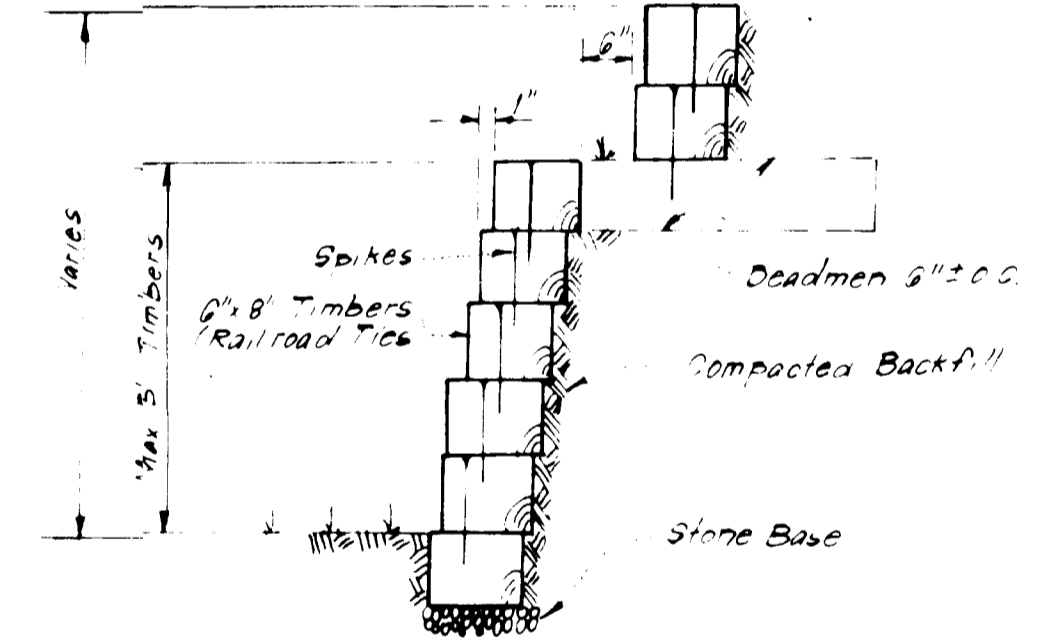
LEGEND:

1	Proposed Area	0.5'
2	Existing Contour	5.0'
3	Proposed Contour	3.5'
4	Spot Elevation	1.50'
5	Direction of Drainage	
6	100 Year Flood Plain Elevation	1.50'
7	Exist Trees to be retained	
8	Walk Cut Basement	1.00'
9	Retaining Wall	

PARCEL
PLAT 4424



MIDDLEBURG
TYPICAL HOUSES
No. 504-E



TIMBER RETAINING WALLS
No. 504-E

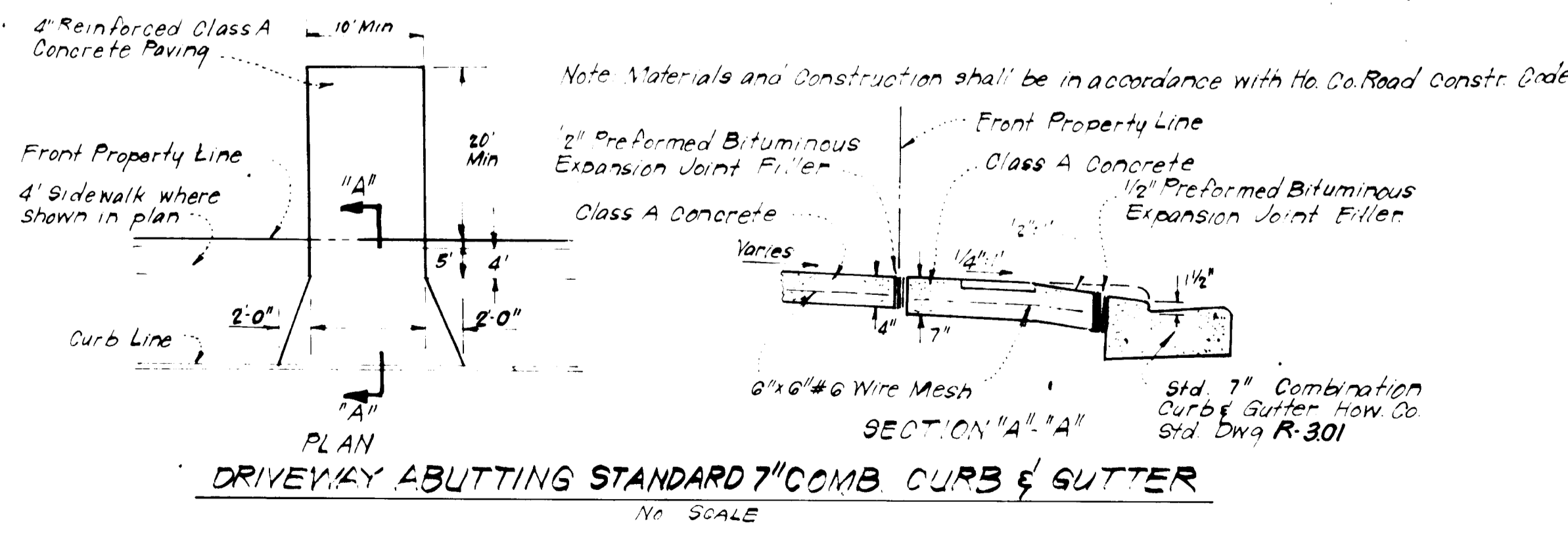
APPROVED
DIVISION OF LAND DEVELOPMENT &
ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 2-17-84
[Signature]

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,
HOWARD COUNTY HEALTH DEPARTMENT
DATE 3-9-84
[Signature]

APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING
DATE 3-12-84
[Signature]

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE,
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DATE 3-7-84
[Signature]

CHIEF BUREAU OF ENGINEERING
DATE 3-7-84
[Signature]



DRIVEWAY ABUTTING STANDARD 7" COMB CURB & GUTTER
No. 504-E

SURVEYOR'S CERTIFICATE

I hereby certify that the information contained hereon is the same as shown on previously approved SDP 84-136, with the following exceptions;

1. House Type and Grading has been revised on Lot 428.

I further certify that the Sediment & Erosion control measures, as previously approved, will not be affected, the grading is substantially the same as originally approved, the building setbacks comply with Howard County Zoning and Subdivision Regulations, and the lot has the same geometric configuration as shown on the respective recorded subdivision Plat.

Jan. 24, 1984
[Signature]
DONALD B. SACKETT
Registered Land Surveyor
Md. No. 6059

- GENERAL NOTES**
- The Land included in this plan is zoned: R-20
 - The lots shown on this plan are covered by Final Development Plan Phase
 - All coordinates are based on traverse controls for Columbia established by Maps Inc. in 1968 by Purdum & Jesonke in 1968, which controls were tied to Maryland Bureau of Control Survey monuments and to U.S. Coast & Geodetic Survey monuments in the Columbia area.
 - The area shown in this submission is located on Tax Map # 2-
 - The total area included on this plan is 0.3217 Acres
 - All roadways are public & existing.
 - Any damage to county owned rights of way shall be corrected at the developer's expense.

SUBDIVISION NAME	SECT./AREA	LOT
DORSEY HALL	1/3	427
PLAT	BLK/ZONE	TAX/ZONE MAP ELEC. DIST.
5241	21	R-20 24 2ND
WATER CODE	SEWER CODE	ORIGINATOR
911	5751900	6023.01

CLARK • FINEFROCK & SACKETT
ENGINEERS • PLANNERS • SURVEYORS
11315 LUX WOOD DR. • SILVER SPRING, MARYLAND 20904 (301) 541-1400

DESIGNED	REVISED SITE DEVELOPMENT PLAN LOT 427	SCALE	1/4"=1'-0"
DRAWN		DRAWING	106/1
CHECKED	V.L.B.	JOB NO.	79-092
DATE	Jan. 24, 1984	FILE NO.	79-092-X

FOR: THE RYLAND GROUP, INC.
Suite 503, One Knoll North Drive
Columbia, Md. 21045

SOP 84-174