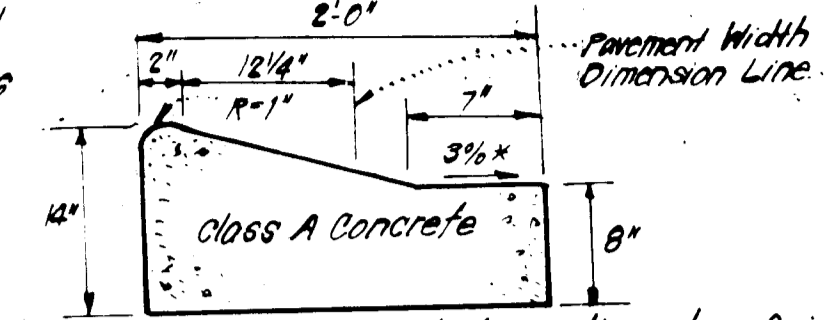
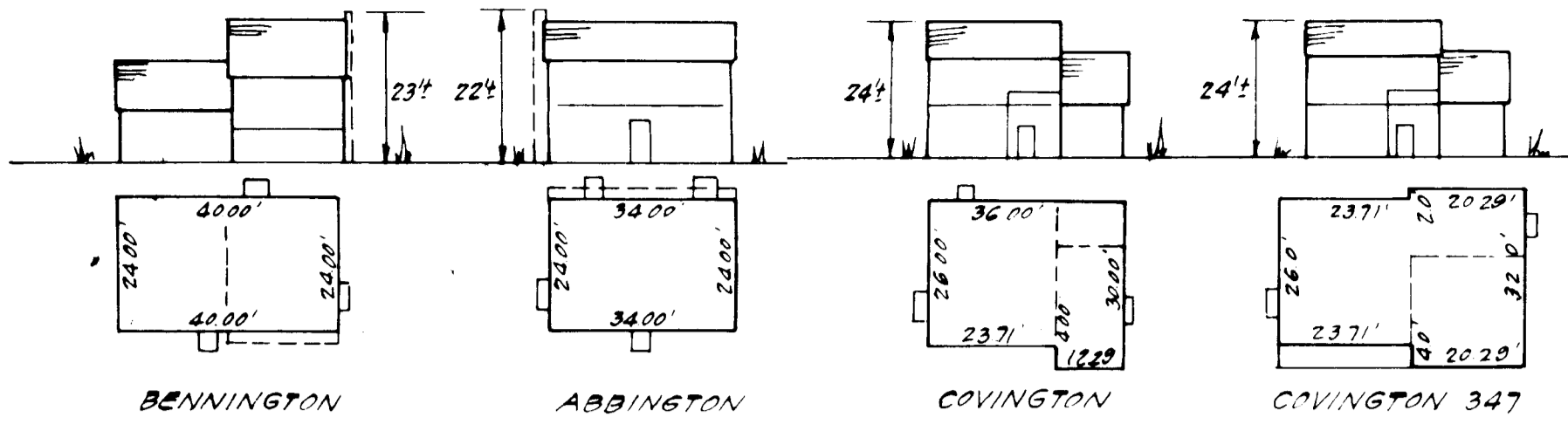


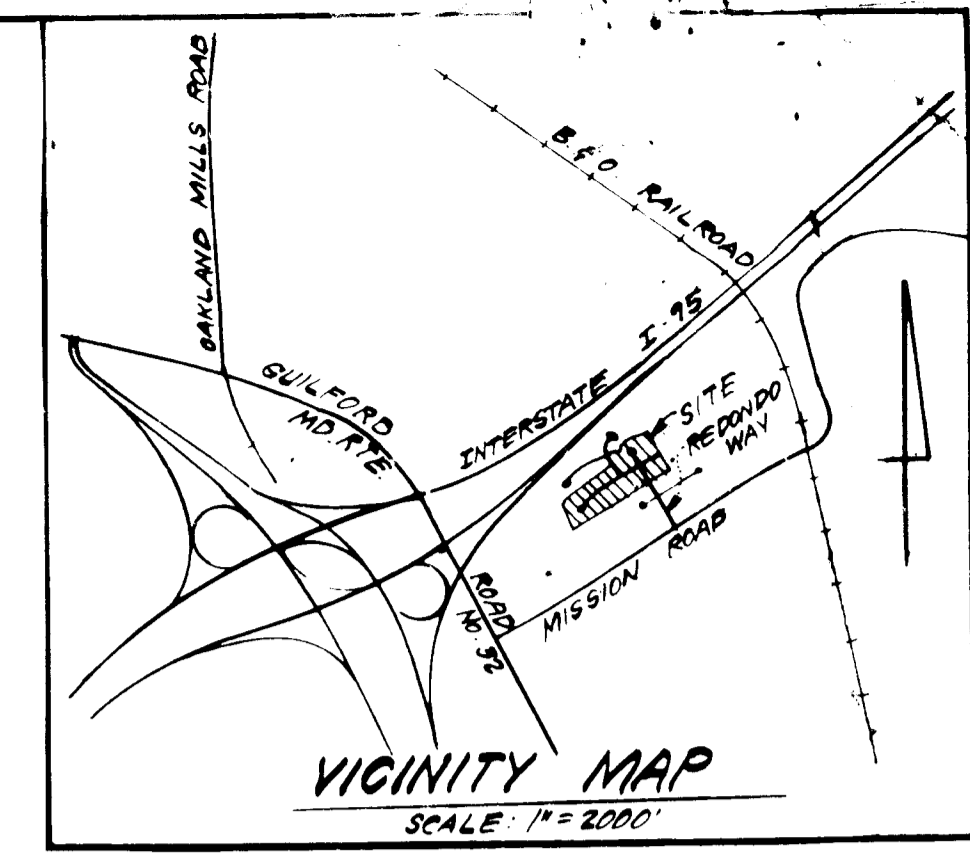
Note: Materials and Construction shall be in accordance with Ho. Co. Rd. construction code.



* Gutter Pan at the Median edge of intermediate arterials of the highway or super elevated sections shall be sloped at the same rate as the pavement.



TYPICAL HOUSES
No Scale

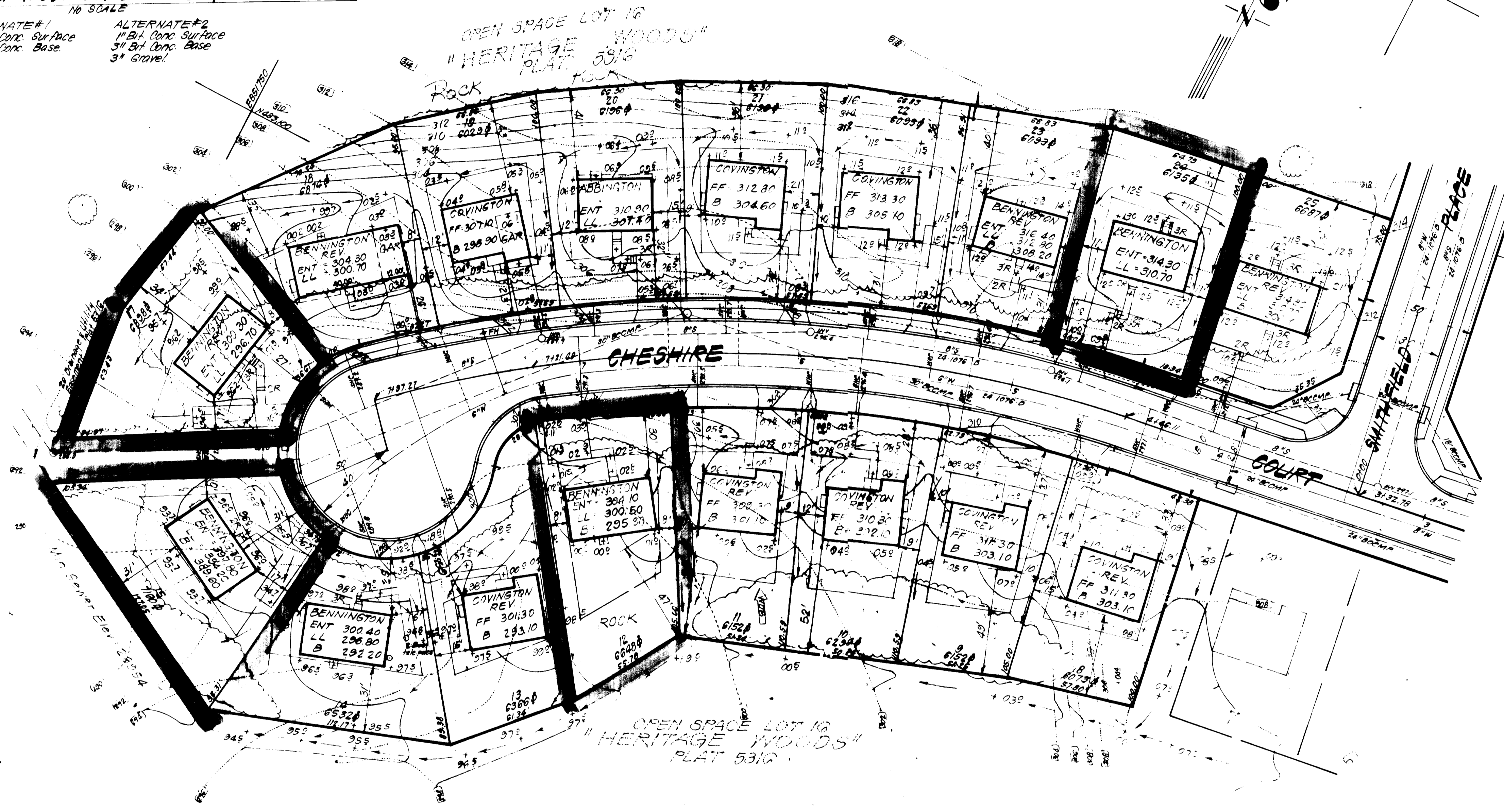


VICINITY MAP
SCALE: 1" = 200'

DRIVEWAY ABUTTING MOD. COMB. CURB & GUTTER
No Scale

ALTERNATE #1
1" Bit Conc. Surface
2" Bit Conc. Base
3" Gravel

ALTERNATE #2
1" Bit Conc. Surface
3" Bit Conc. Base
3" Gravel



SPECIAL NOTES:

- Approved Road Construction Plans shall be used for All Public Streets.
- Public Water and Sewer shown for Reference only. For more detailed information - see water and sewer plans Contract No. 24-1076 D.
- The Water & Sewer House Connections not included in a "Developer's Agreement" shall conform to the Howard Co Plumbing Code. The on-site W/H shall be 1" copper and the S/H shall be 4" iron.

GENERAL NOTES:

- The Land included in this plan is zoned: R90, as per 10-23-77 Comprehensive Zoning Plan.
- All coordinates are based on Howard County Control Station Control Point Nos 224 3001R and 214 2003 R.
- Total Number of Lots: 4
- The area covered in this submission is located on Tax Map No. 42.
- The total area included in this plan is 0.616 Acres.
- All roadways are public & existing.
- Any damage to county owned rights of way shall be corrected at the developer's expense.
- The Contractor or developer shall contact the Construction Inspection Survey Division, 24 hours in advance of commencement of work at 992-2217 or 992-1418.

LEGEND:

- 1. Contour Interval 2' ±
- 2. Existing Contour
- 3. Proposed Contour 3" ±
- 4. Spot Elevation +0.5
- 5. Direction of Drainage
- 6. Existing Trees to be retained

SUBDIVISION NAME	HERITAGE WOODS	SECT/AREA	1/1	LOT/PARCEL #	12, 15, 17, 24
PLAT #	5316	BLOCK	18	ZONE	R90
WATER CODE	E14	SEWER CODE	4400300	DATE	1-27-84

SURVEYORS CERTIFICATE

I hereby certify that the information contained hereon is the same as shown on previously recorded SDP 83-74 with the following exceptions:
1. House type and grading has been revised on Lots 12, 15, 17, and 24.
I further certify that the Sediment & Erosion Control measures, as previously approved, will not be affected. The grading is substantially the same as originally approved, the building setbacks comply with Howard County Zoning and Subdivision Regulations, and the lots have the same geometric configuration as shown on the respective recorded subdivision Plat.

Jan. 5, 1984
Date

Donald B. Sackett
Registered Land Surveyor
Md. No. 6059

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
HOWARD COUNTY HEALTH DEPARTMENT
DATE: 2-14-84

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
DATE: 2-15-84

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DATE: 2-10-84

APPROVED
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE: 1-27-84

LOT NUMBER	STREET ADDRESS
12	8741 CHESHIRE COURT
15	8753 " "
17	8754 " "
24	8726 " "

CLARK · FINEFROCK & SACKETT
ENGINEERS · PLANNERS · SURVEYORS
11315 LOCKWOOD DRIVE · SILVER SPRING, MARYLAND 20904 · (301) 593-3400

DESIGNED: J.M.E.
DRAWN: BAF, V.L.B.
CHECKED: J.M.E.
DATE: 1-5-84

REVISED SITE DEVELOPMENT PLAN
LOTS 12, 15, 17, and 24

HERITAGE WOODS
SECTION 1 AREA 1
6TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

FOR: Diversified Housing Corp.
Suite 211 American City Bldg
Columbia, Maryland 21044

SCALE: 1" = 30'
DRAWING: 1 of 1
JOB NO.: 82-070
FILE NO.: 82-070-X