

BUILDING ELEVATION

REV. #3

5. PARKING REQUIREMENTS:
 PER FOP-80A-II
 SEE SHEET 2 FOR CURRENT
 TENANT CHART AND PARKING
 CALCULATION
 22,376 SF @ 3.0 SF/1,000 SF = 67 SF
 2,400 SF @ 0.5 SF/1,000 SF = 12 SF
 TOTAL REQUIRED = 79 SF
 TOTAL PROVIDED = 83 SF (INCLUDING
 4 HC SF)

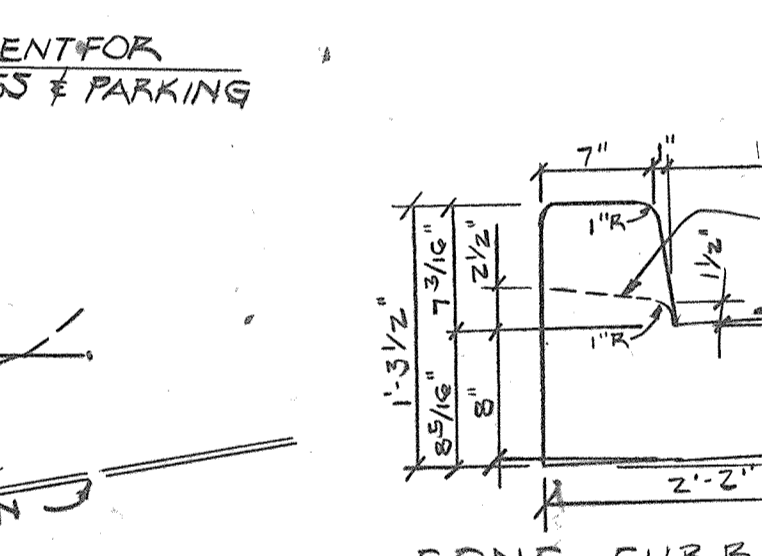
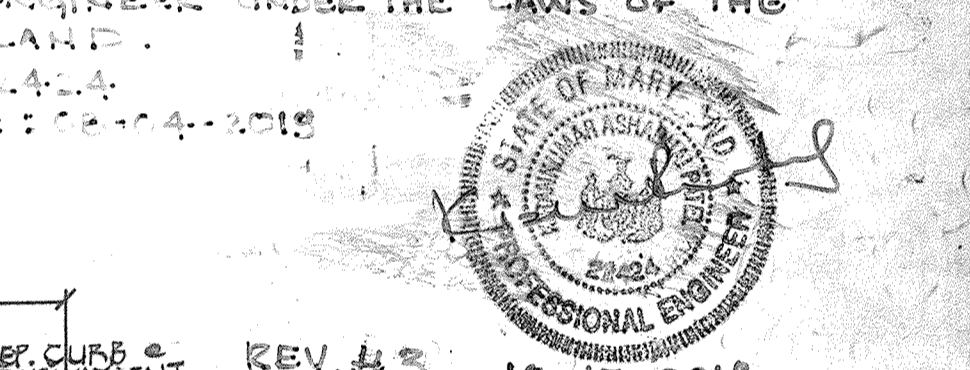
VICINITY MAP
 SCALE: 1"=2000'

NOTES

1. ZONING - NEW TOWN COMMERCIAL FOP 80-A-II
2. AREA OF LOT - 1.263 AC. AREA OF SUBMISSION - 1.0 AC.
3. BUILDING COVERAGE - 12.48% 22.6% 12.44%
4. GREEN AREA - 0.5 AC = 40%
5. PARKING REQUIREMENTS (SEE ABOVE REVISED NOTE 5)
 24,736 SF @ 3.0 SF/1,000 SF = 74 SF PER
 TOTAL PROVIDED = 78 (INCLUDES 4 HC SF) REV. #3
6. THIS SITE IS NOT AFFECTED BY A 100 YR. FLOOD PLAIN
7. MATERIALS AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE HOWARD CO. ROAD CONSTR. CODE & STANDARD SPECIFICATIONS.
8. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTION DIVISION @ 302-2417, 24 HRS. BEFORE STARTING WORK.

REASONS FOR REVISION #3:
 THE REVISION TO SITE DEVELOPMENT PLAN HAS BEEN PERFORMED FOR THE CHANGE IN USE FOR SITE #7, TO REMOVE PARKING CALCULATIONS AND TO ADD 5 PARKING SPACES.

REVISION #3 PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND I AM A PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 44424
 EXPIRATION DATE: 06-04-2018



REV. #3 10-17-2018
 REVISION #3 PERFORMED BY:
 DANIEL CONSULTANTS, INC.
 8950 ROUTE 108 EAST, SUITE 228
 COLUMBIA, MD 21045

HOWARD CO. STANDARDS
 CONC. C & G. R-3.01
 SIDEWALK PAVING R-3.05
 DATE: 1-11-84
 [Signature]

DEVELOPER

I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS OF DEVELOPMENT, POND CONSTRUCTION AND EROSION AND SEDIMENT CONTROL. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED LINED AS BUILT OF THE POND WITHIN 30 DAYS OF COMPLETION.

STEPHEN W. WYHALEN

ENGINEER

I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED LINED AS BUILT OF THE POND WITHIN 30 DAYS OF COMPLETION.

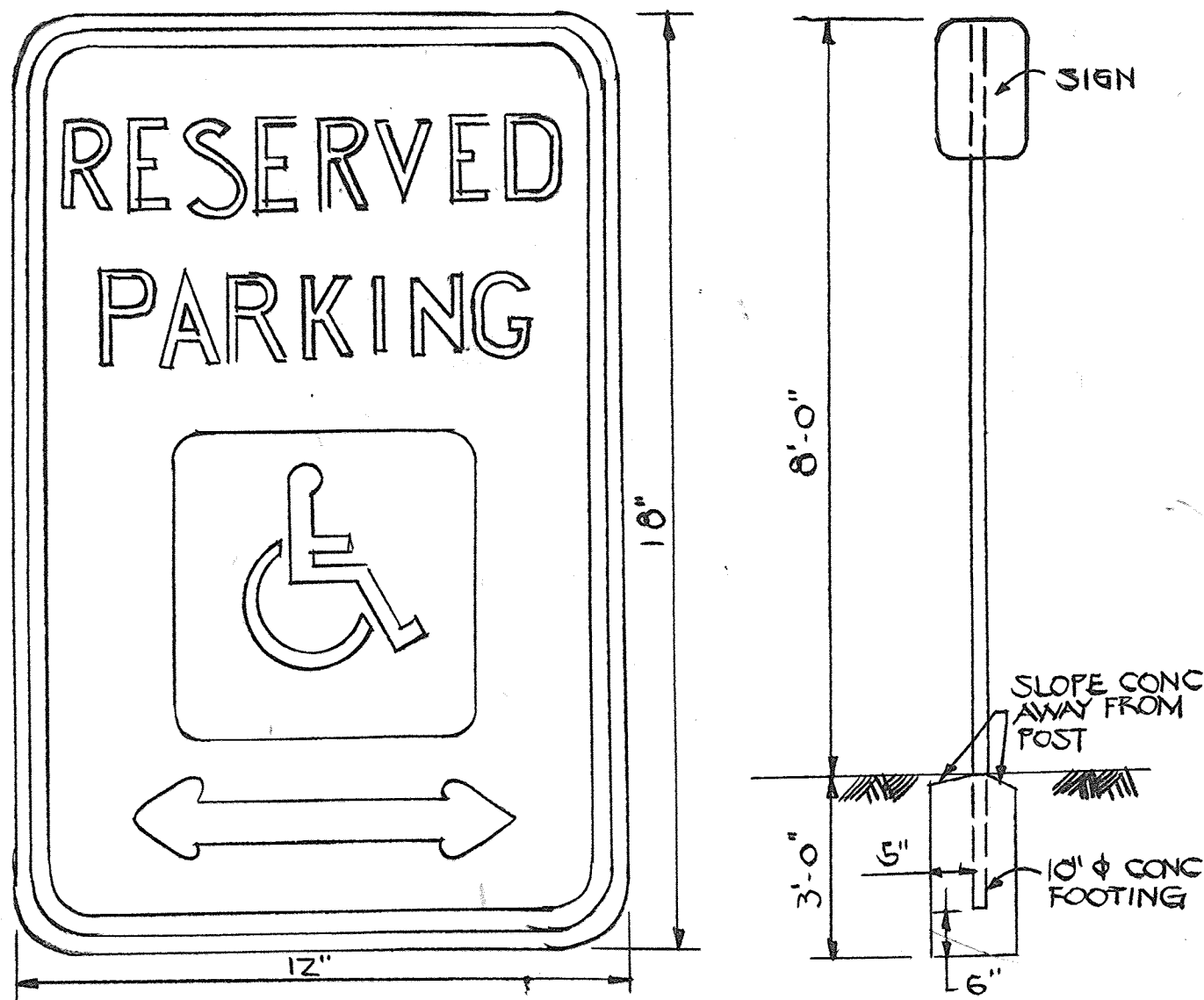
ARTHUR E. LEONARDI

DATE	REVISIONS	BY
10/17/18	REV. PARKING REQUIREMENTS REV. #3	DCJ
01/18/84	REV. BARRIER CURB TO CONC. C & G #2	EJH
10/11/83	WHC. SIZE REVISED REV. #1	EJH

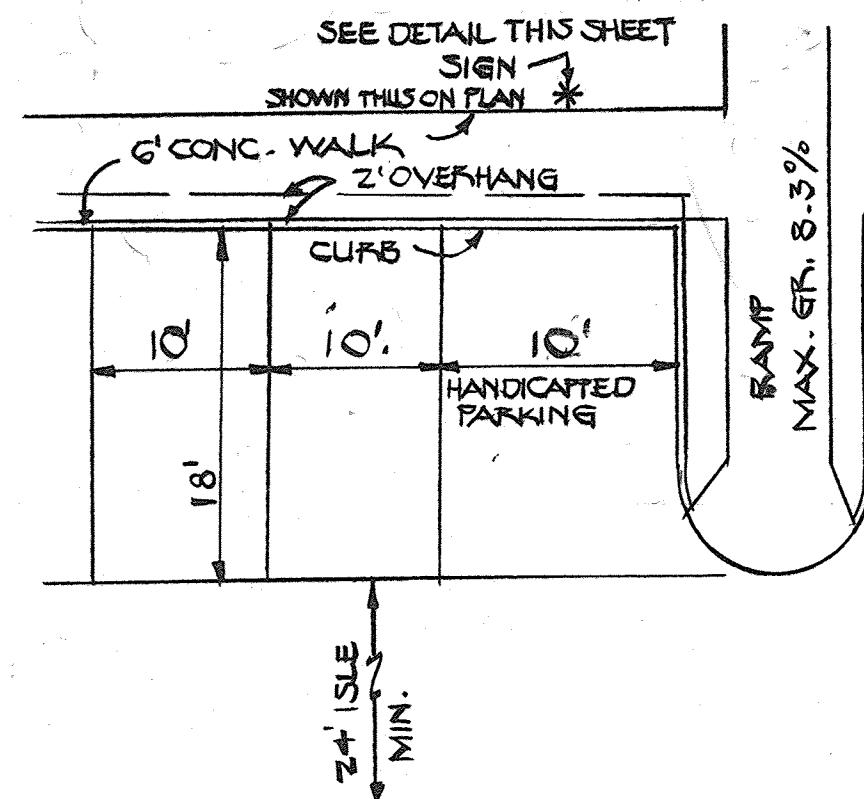
ADDRESS CHART	
LOT NO.	STREET ADDRESS
G	9630 SANTIAGO ROAD

SUBDIVISION NAME		SECT./AREA	LOT/PARCEL
VILLAGE OF OAKLAND MILLS		2/4	G
FLAT # OR L.V. BLOCK #	ZONE	TAXING MAP	ELEC. DIST.
18-32	9	36	GTH
WATER CODE		SEWER CODE	
G001.01		G001.01	

OWNER		ARCHITECT	
WHALEN PROPERTIES LIMITED PARTNERSHIP COLUMBIA SERIES VII 9025 CHEVROLET DRIVE ELICOTT CITY, MD 21043 DEED 116-416		ROBERT T. HOFMAN AND ASSOCIATES INC. 679 OXFORD BUILDING MARYLAND EXECUTIVE PARK TOWSON, MARYLAND 21204	
DEVELOPER & CONTRACT PURCHASER		STEVEN'S FOREST OFFICE BLDG	
WHALEN PROPERTIES 9025 CHEVROLET DRIVE ELICOTT CITY, MARYLAND 21043		PARCEL G VILLAGE OF OAKLAND MILLS SECTION 2, AREA 4, 6TH ELECTION DISTRICT COLUMBIA, MARYLAND.	
ENGINEER		TAX MAP 36	
HODKINS ASSOCIATES, INC. 200 E. JOEPA ROAD TOWSON, MD 21286		SITE DEVELOPMENT PLAN	
APPROVED FOR HOWARD COUNTY OFFICE OF PLANNING AND ZONING		SHEET	
[Signature] 4-2-84		1	
APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEMS		SCALE: 1"=20'	
HOWARD COUNTY HEALTH DEPT. [Signature] 3-30-84		DATE: 12-27-83	
APPROVED FOR CONSTRUCTION		REVISION TO SDP 84-14	
[Signature] 4-2-84		4	



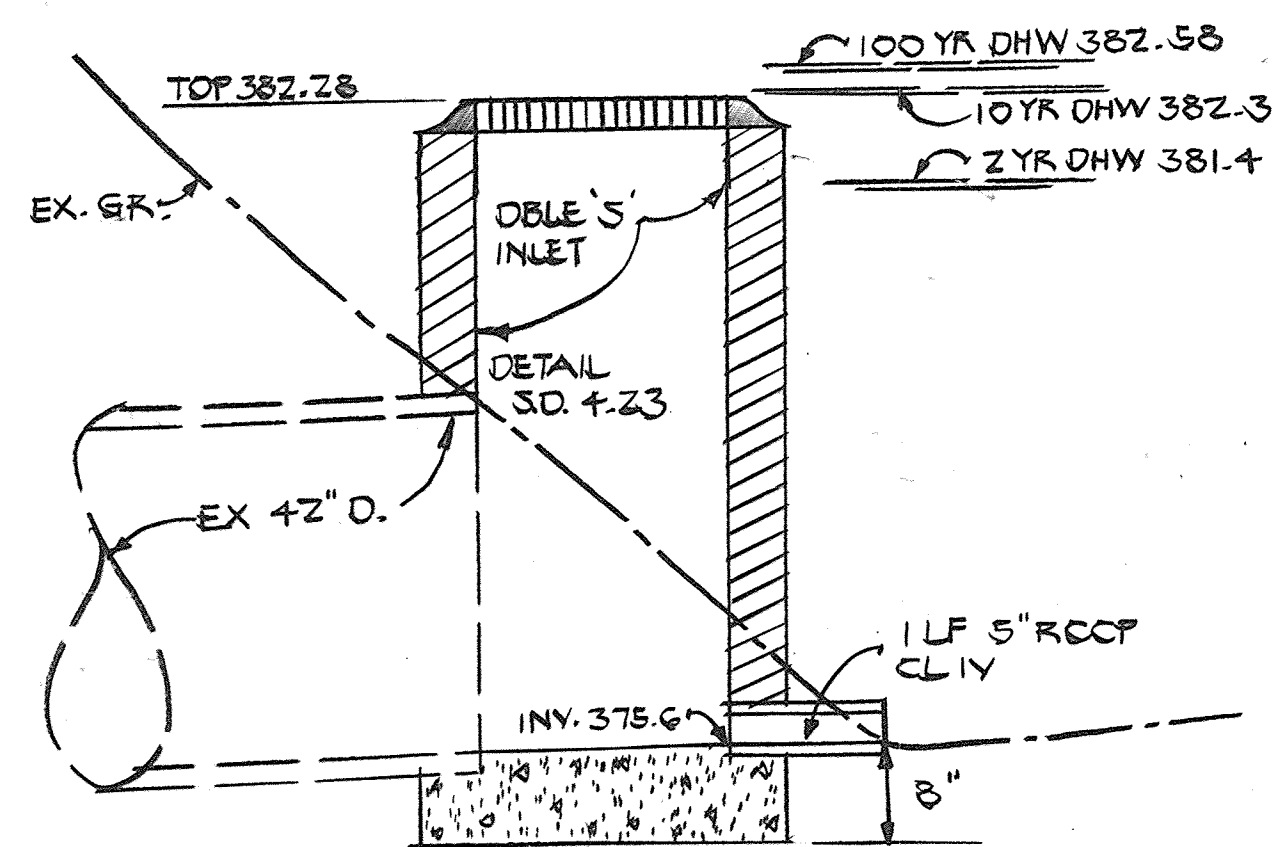
HANDICAPPED PARKING SIGN DETAIL SHOWN THUS ON PLAN *



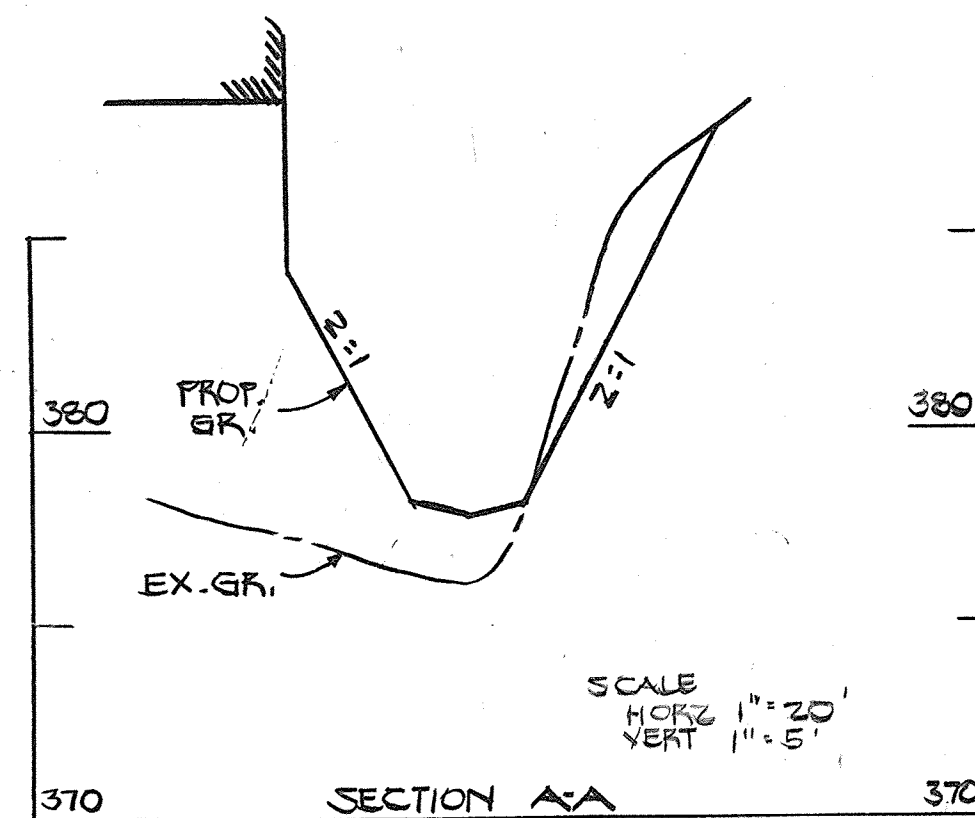
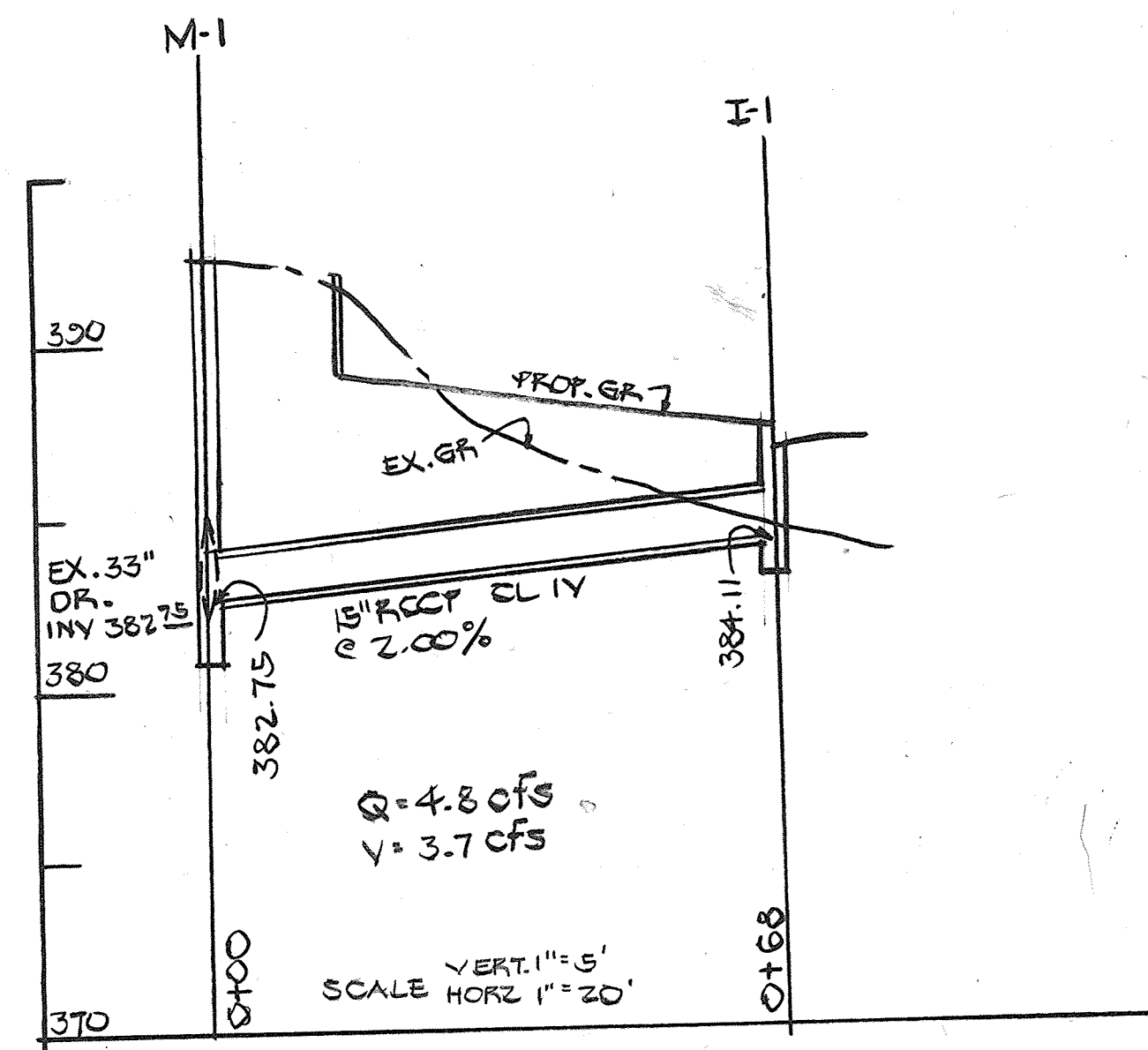
TYPICAL PARKING LAYOUT SCALE: 1" = 10'

REV.#3

PARKING DEMAND BASED ON CURRENT USAGE				
SUITE NO	CURRENT USE	CURRENT SF	REQ. PARKING PER 1,000 SF	PARKING SPACE
1	ADMINISTRATION	1,000	3.0	3.0
2	ADMINISTRATION (EMPTY)	1,000	3.0	3.0
3	ADMINISTRATION	1,000	3.0	3.0
4	ADMINISTRATION (EMPTY)	1,000	3.0	3.0
5	ADMINISTRATION	1,000	3.0	3.0
6	MEDICAL	1,100	3.0	3.3
7	RETAIL (PROPOSED)	1,000	5.0	5.0
8	ADMINISTRATION (EMPTY)	1,000	3.0	3.0
9	ADMINISTRATION (EMPTY)	1,000	3.0	3.0
10	ADMINISTRATION (EMPTY)	1,000	3.0	3.0
11	PHARMACY	1,400	5.0	7.0
100-102	ADMINISTRATION	2,368	3.0	7.1
103	ADMINISTRATION (EMPTY)	763	3.0	2.3
104-105	MEDICAL DENTIST	2,535	3.0	7.6
106-107	ADMINISTRATION	2,368	3.0	7.1
109	MEDICAL	2,200	3.0	6.6
110	ADMINISTRATION	1,000	3.0	3.0
111	MEDICAL DENTIST	1,000	3.0	3.0
112	ORTHODONTIC LAB	1,000	3.0	3.0
TOTAL		24,736		79.0



POND OUTFALL STRUCTURE SCALE 1" = 2'-0"



STRUCTURE SCHEDULE

NO	TYPE	INV. IN.	INV. OUT	TOP	REMARKS
I-1	S-COMB	-	384.11	387.5	SD 4-32
M-1	BRK. MH	382.75	382.5	392.4	@ 5.01

REV.#3 REASONS FOR REVISION #3: THE REVISION TO SITE DEVELOPMENT PLAN HAS BEEN PERFORMED FOR THE CHANGE-IN-USE FOR SUITE #7, TO REVISE PARKING CALCULATIONS AND TO ADD 5 PARKING SPACES.

REV.#3 PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 22424. EXPIRATION DATE: 08-04-2019

REV.#3 REVISION #3 PERFORMED BY: DANIEL CONSULTANTS, INC. 8950 ROUTE 106 EAST, SUITE 220 COLUMBIA, MD 21045



10-17-2018

APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE 1-11-84

DEVELOPER

I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS OF DEVELOPMENT, POND CONSTRUCTION AND EROSION AND SEDIMENT CONTROL. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED LINED "AS BUILT" OF THE POND WITHIN 30 DAYS OF COMPLETION.

Signature of Stephen W. Whalen, Jr. Partner
DATE 12/28/83

ENGINEER

I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED LINED "AS BUILT" OF THE POND WITHIN 30 DAYS OF COMPLETION.

Signature of Robert W. Ziehn
DATE 12/28/83

DATE	REVISIONS	BY
10/17/83	REN. PARKING REQUIREMENTS REV.#3	DCI

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT

Signature of Robert W. Ziehn
DATE 12-27-83

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL

Signature of M. K. S. M.
DATE 12-27-83

APPROVED FOR PUBLIC SEWERAGE & STORM DRAINAGE SYSTEMS & PUBLIC ROADS & PUBLIC WATER
HOWARD COUNTY DEPT. OF PUBLIC WORKS

Signature of James E. Nunn
DATE 3-27-84

APPROVED FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPT. COUNTY HEALTH DEPT. OFFICER

Signature of James E. Nunn
DATE 3-30-84

OWNER
WHALEN PROPERTIES LIMITED PARTNERSHIP
COLUMBIA SERIES VII
3025 CHEVROLET DRIVE
ELLCOTT CITY, MD 21043 DEED 116-416

DEVELOPER & CONTRACT PURCHASER
WHALEN PROPERTIES
3025 CHEVROLET DRIVE
ELLCOTT CITY, MARYLAND 21043

ENGINEER
HODKINS ASSOCIATES INC.
200 E. JOPPA ROAD
TOWSON, MARYLAND 21204

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
Signature of John W. Muschman
DATE 4-2-84

ARCHITECT
ROBERT T. HOFMAN AND ASSOCIATES INC.
670 OXFORD BUILDING MARYLAND EXECUTIVE PARK
TOWSON, MARYLAND 21204

STEVEN'S FOREST OFFICE BLDG.
PARCEL G VILLAGE OF OAKLAND MILLS
SECTION 2, AREA 4, 6TH ELECTION DISTRICT
COLUMBIA, MARYLAND.

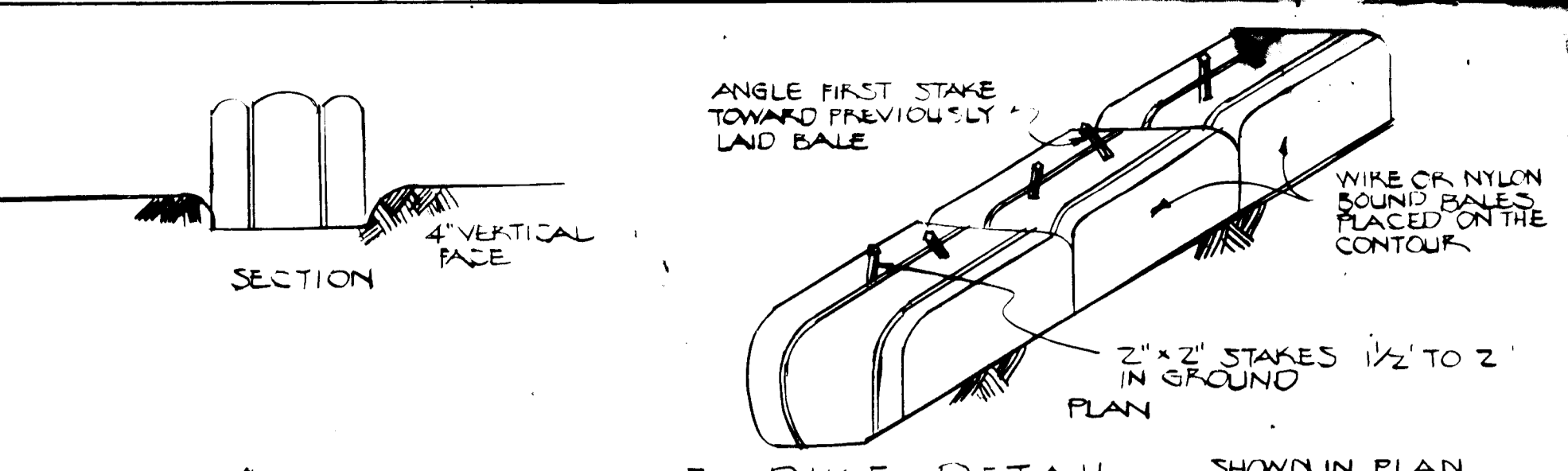
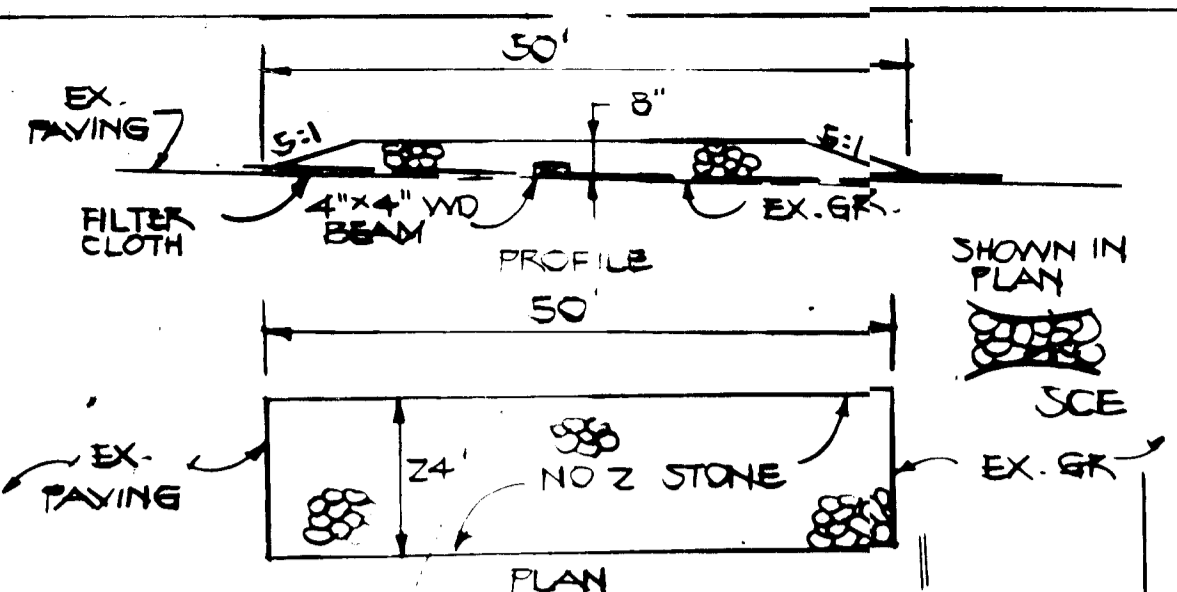
SITE DEVELOPMENT PLAN

SHEET 2 OF 4

REVISION TO SOT 84-14

SDP-84-144. 6206

LINE OUTLET SEDIMENT TRAP
 1/2" AREA = 1.8 AC.
 DIST. AREA = 1.6 AC.
 VOL. REQ. = 1.8 x 67 = 121 CY
 VOL. PROVIDED = 20' x 50' x 3.3' = 122 CY
 CLEANOUT @ 1.6' DEPTH
 LENGTH OF S.O.S. = 1.8 x 6 = 11'



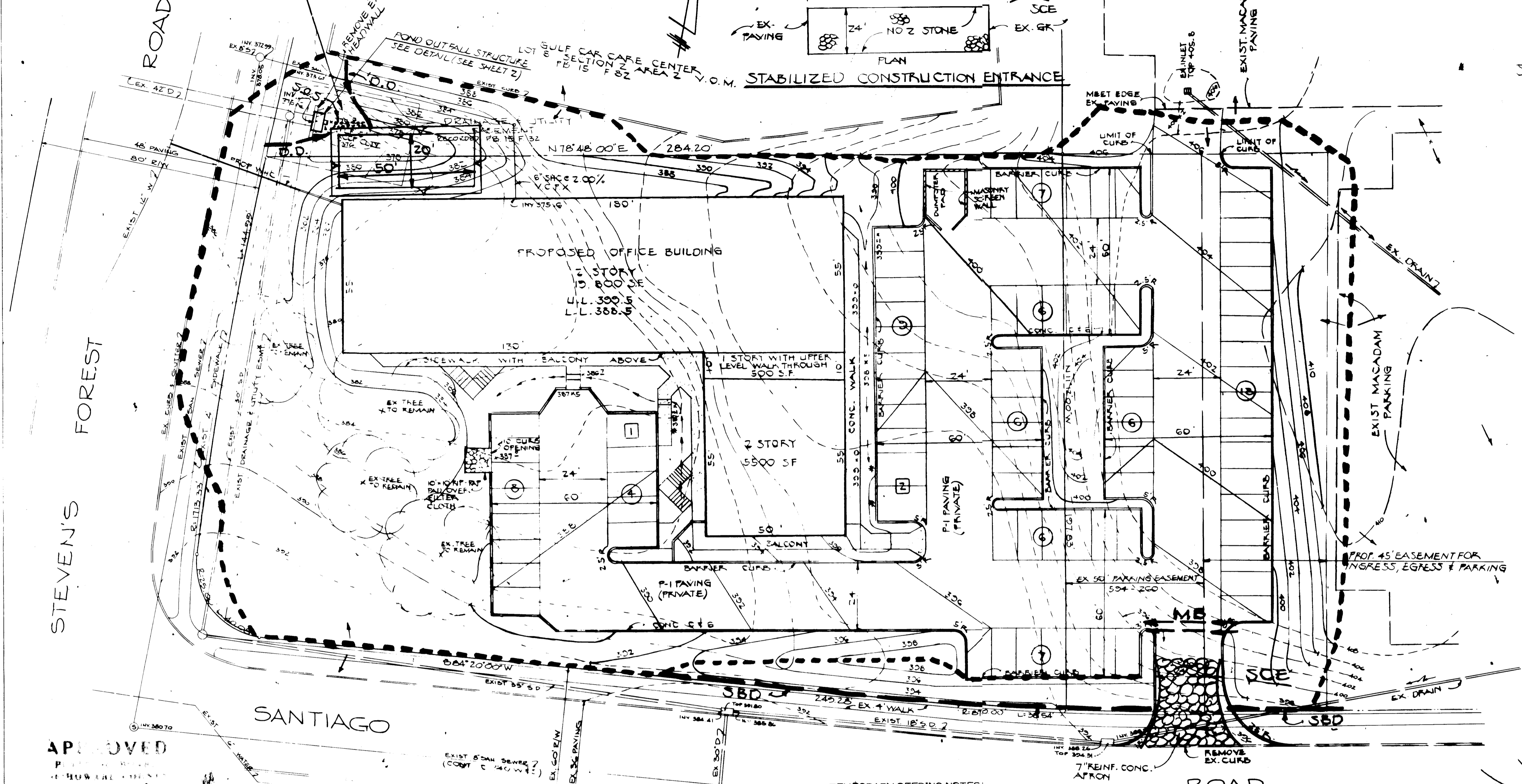
STRAWBALE DIKE DETAIL SHOWN IN PLAN
 3/80

- NOTES:
1. Notify the Howard County Bureau of Inspection & Permits @ least 24 hrs. before starting work.
 2. All sediment control devices are to remain in place until permission for removal has been obtained from the Howard County Bureau of Inspection and permits.
 3. Structural Measures such as berms, dikes, traps, basins, etc. will be installed & stabilized according to the plan prior to any disturbance of the existing surface of the site.
 4. On site inspection and maintenance of all sediment control measures including cleanout of traps and berms & proper establishment of all planned vegetative measures will be responsibility of the developer or his representative on the site on a continuing day to day basis.
 5. All construction will be done in accordance with the standards and specifications for soil erosion & sediment control in developing areas.

- PERMANENT SEEDING PROCEDURES
1. Apply 90 lbs./1000 S.F. of limestone
 2. Apply fertilizer @ rate of 25 lbs. of 10-10-10 per 1000 S.F. depending on soil tests.
 3. Harrow or disc fertilizer & limestone into soil to a depth of 3 inches.
 4. Seed with KY 31 tall fescue at rate of 5 lbs./1000 S.F. or other SCS approved plan.
 5. Mulch with small grain straw 1.5 to 2.0 tons per acre (70#-90#)/1000 S.F.
 6. Anchor mulch with sprayed asphalt @ rate of 1 gal./S.Y.
 7. No slope shall exceed 2:1.

- VEGETATIVE COVER OPTIONS
- | | |
|-------------------|---|
| Feb. 1 to May | 1. Sod
2. Seed & Mulch |
| May 1 to Aug. 15 | 1. Sod
2. Mulch, anchor, but then seed during next seed period |
| Aug. 15 to Nov. 1 | 1. Sod
2. Seed & Mulch |
| Nov. 1 to Feb. 1 | 1. Seed-delay until next period if ground is frozen
2. Mulch, anchor, but then seed during next seed period. |

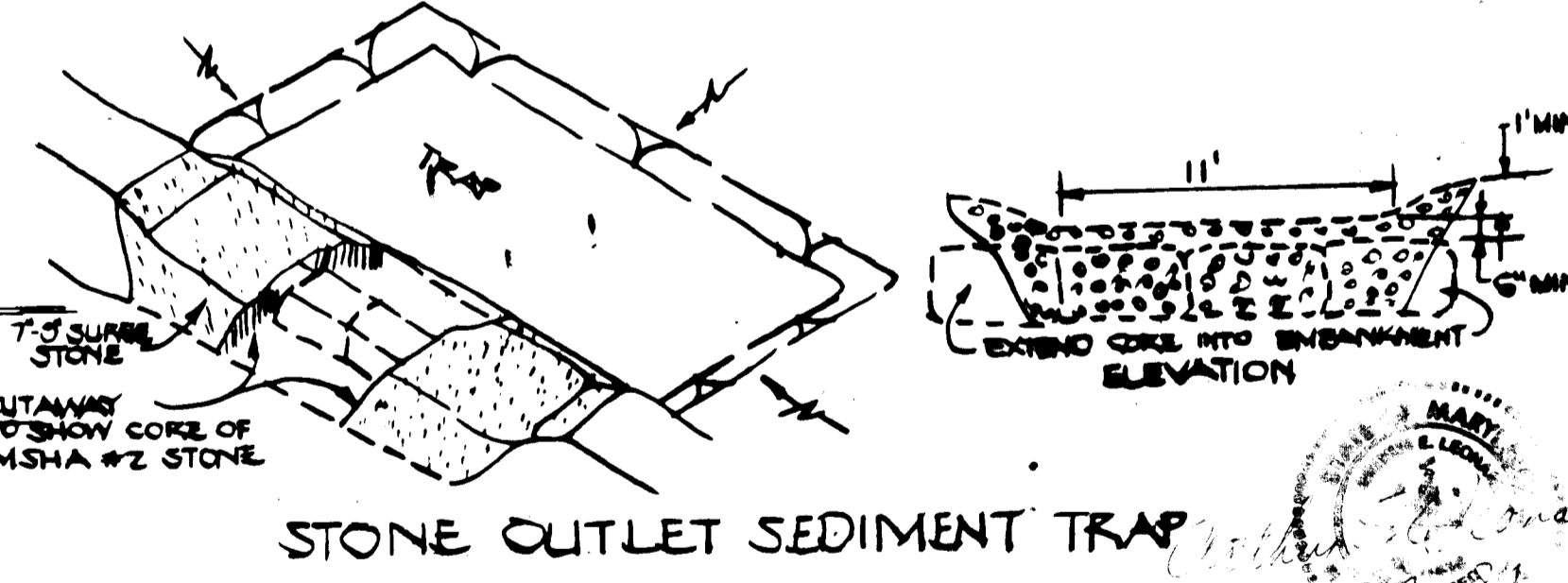
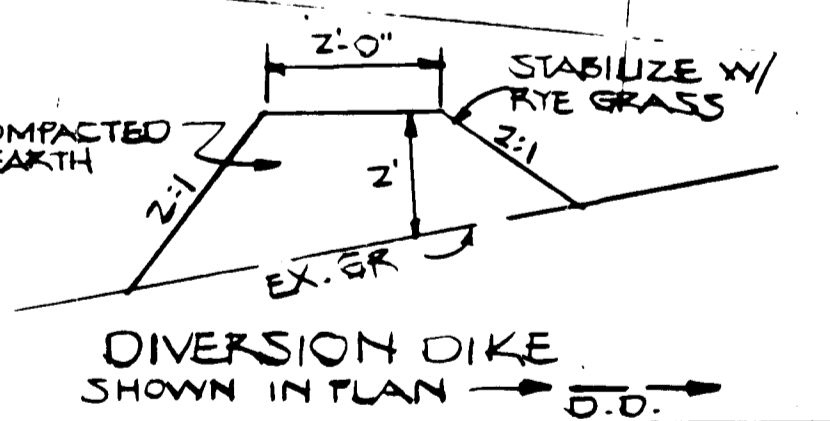
- SEQUENCE OF CONSTRUCTION:
1. Obtain Grading Permit
 2. Notify Howard County Department of Permits and Licenses
 3. Install Stone Construction Entrance and Straw Bale Dikes, & DIVERSION DIKE
 4. Construct Stone Outlet Sediment Trap
 5. Rough Grade Site
 6. Proceed with Building and Utility Construction
 7. Place Sub-base Material on Areas to be Paved
 8. Pave Parking areas and Stabilize remaining areas as per Permanent Seeding Procedures
 9. Pump standing water in Trap through Outlet Structure
 10. Remove Muck and Restore Pond to Design Dimensions. Stabilize according to Permanent Seeding Procedures
 11. Remove Sediment Control Measures and Stabilize these areas



- TEMPORARY SEEDING NOTES:
1. Seed immediately upon construction with 1 lb. rye grass per 1000 s.f.
 2. Apply 46 lbs./1000 s.f. of pulverized dolomitic limestone and 115 lbs. to 18.4 lbs./1000 s.f. of 10-10-10 or equivalent fertilizer.
 3. Harrow or disc lime and fertilizer into the soil to a depth of at least 3 inch continue tillage until a reasonably uniform fine firm seedbed has been prepared on sloping land the final harrowing or discing should be on the contour.
 4. Mulch with straw @ 75 lbs./1000 s.f.
 5. Anchor mulch with sprayer, asphalt @ rate of 0.1 gal./s.y.

- SITE ANALYSIS
1. AREA OF SUBMISSION 1.0 AC. ±
 2. AREA TO BE DISTURBED 1.7 AC.
 3. AREA TO BE PAVED 1.1 AC.
 4. AREA TO BE REVEGETATED 0.6 AC.

APPROVED
 1-11-84
 HOWARD SO STANDARDS
 CONC. C.T.G. R-3.01
 BARRIER CURB R-3.03
 SIDEWALK PAVING R-2.01



DEVELOPER
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12/28/83

ENGINEER
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THESE PLANS FOR EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION SERVICE

APPROVED FOR PUBLIC SEWERAGE & STORM DRAINAGE SYSTEMS, PUBLIC ROADS & PUBLIC WATER
 HOWARD COUNTY DEPT. OF PUBLIC WORKS

DATE: 3-30-84

OWNER & DEVELOPER
 WHALEN PROPERTIES LIMITED PARTNERSHIP
 3025 CHEVROLET DRIVE
 ELICOTT CITY, MD 21112

ENGINEER
 HUDKINS ASSOCIATES INC
 200 E JOPPA ROAD
 TOWSON, MARYLAND 21284

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 DATE: 4-2-84

ARCHITECT
 ROBERT T HOFMAN AND ASSOCIATES INC
 670 OXFORD BUILDING MARYLAND EXECUTIVE PARK
 TOWSON, MARYLAND 21284

STEVEN'S FOREST OFFICE BLDG
 PARCEL G VILLAGE OF OAKLAND MILLS
 SECTION 2 AREA 4 5TH ELECTION DISTRICT
 COLUMBIA, MARYLAND.

TAX MAP 36

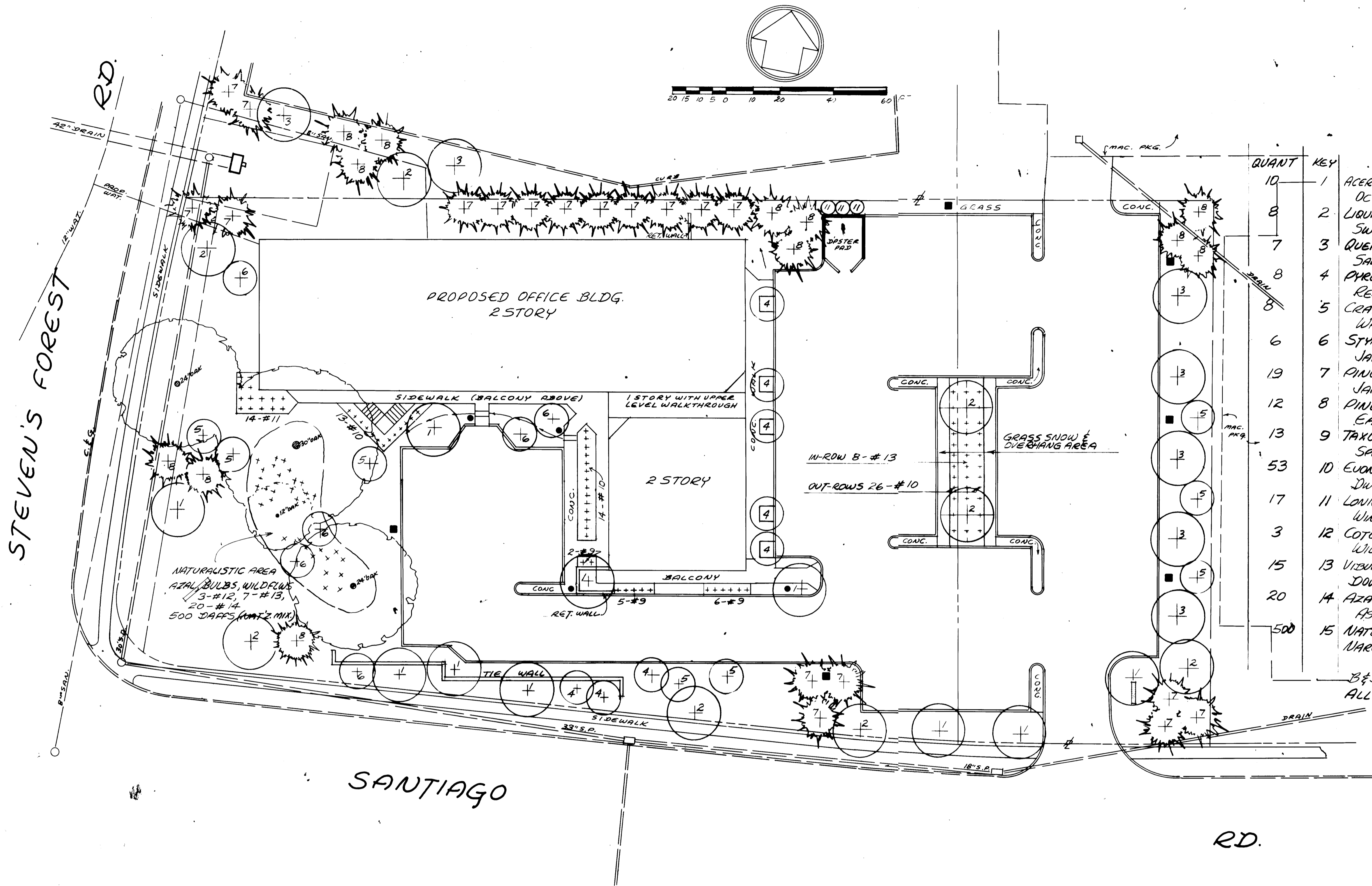
SEDIMENT CONTROL PLAN

SHEET 3 OF 4

SCALE: 1" = 20'

DATE: 12-27-83

REVISION TO SDP 84-14



PLANT LIST

QUANT	KEY	NAME	SIZE
10	1	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY MAPLE	3" CAL. 12-14' HT.
8	2	LIQUIDAMBAR STYRACIFLUA SWIETENIA	3" CAL. 12-14' HT.
7	3	QUERCUS ACUTISSIMA SAWTOOTH OAK	3" CAL. 12-14' HT.
8	4	PYRUS CALLERIANA REDSPIRE REDSPIRE PEAR	2 1/2" CAL. 8-10' HT.
8	5	CRATAEGUS PHAENOPYRUM WASHINGTON HAWTHORN	2 1/2" CAL. 8-10' HT.
6	6	STYRAX JAPONICA JAPANESE SNOWBELL	2 1/2" CAL. 8-10' HT.
19	7	PINUS THUNBERGII JAPANESE BLACK PINE	2 1/2" CAL. 6-8' HT.
12	8	PINUS STROBUS EASTERN WHITE PINE	2 1/2" CAL. 6-8' HT.
13	9	TAXUS BACCATA REPANDENS SPREADING ENGLISH YEW	24" SPR.
53	10	EVONYMUS ALATUS COMPACTUS DWARF WINGED EVONYMUS	3' HT.
17	11	LONICERA FRAGRANTISSIMA WINTER HONEYSUCKLE	3' HT.
3	12	COTONEASTER SALICIFOLIA WILLOWLEAF COTONEASTER	3' HT.
15	13	VIBURNUM PLICATUM TOMENTOSUM DOUBLEFILE VIBURNUM	4' HT.
20	14	AZALEA - HYBRID HARDY DECID. ASSORTED COLORS	24" SPR.
500	15	NATURALIZING DAFFODILS & NARCISSUS - NO. 1 BULBS	

B & B & CONTAINER SIZES PER CURRENT 'AMER. STD. FOR NURSERY STOCK
ALL PLANTS B & B OR CONTAINER GROWN.

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: 1-11-84
[Signature]

DEVELOPER
I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS OF DEVELOPMENT, POND CONSTRUCTION AND EROSION AND SEDIMENT CONTROL. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED LINED AS "BUILT" OF THE POND WITHIN 30 DAYS OF COMPLETION.

[Signature] DATE: _____

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT DATE: _____

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

HOWARD SOIL CONSERVATION DISTRICT DATE: _____

APPROVED FOR PUBLIC SEWERAGE & STORM DRAINAGE SYSTEMS & PUBLIC ROADS & PUBLIC WATER.
HOWARD COUNTY DEPT. OF PUBLIC WORKS

DIRECTOR DATE: _____

CHIEF ENGINEER DATE: _____

APPROVED FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPT.
JOYCE BRIDGES 3-20-84
COUNTY HEALTH DEPT. OFFICE DATE: _____

OWNER
WHALEN PROPERTIES LIMITED PARTNERSHIP
COLUMBIA SERIES VII
9025 CHEVROLET DRIVE
ELLCOTT CITY, MD 21043 DEED 116-416

DEVELOPER / CONTRACT PURCHASER
WHALEN PROPERTIES
9025 CHEVROLET DRIVE ELLCOTT CITY, MARYLAND 21043

ENGINEER
HUKING ASSOCIATES, INC.
200 E. JOHNS ROAD
TOWSON, MARYLAND 21204

APPROVED HOWARD COUNTY OFFICE OF PLANNING
[Signature] 4-2-84
[Signature] 4-2-84
CHIEF OF LAND USE / ZONING ADMINISTRATION DATE: _____

ARCHITECT
ROBERT T. HOFMAN AND ASSOCIATES INC.
679 OXFORD BUILDING, MARYLAND EXECUTIVE PARK
TOWSON, MARYLAND 21204

STEVEN'S FOREST OFFICE BLDG.
PARCEL G VILLAGE OF OAKLAND MILLS
SECTION 2, AREA 4, 6TH ELECTION DISTRICT
COLUMBIA, MARYLAND.

TAX MAP 36

LANDSCAPE PLAN
REVISION TO SDP 84-14

SHEET 4 OF 4
SCALE: 1"=20'
DATE: _____