

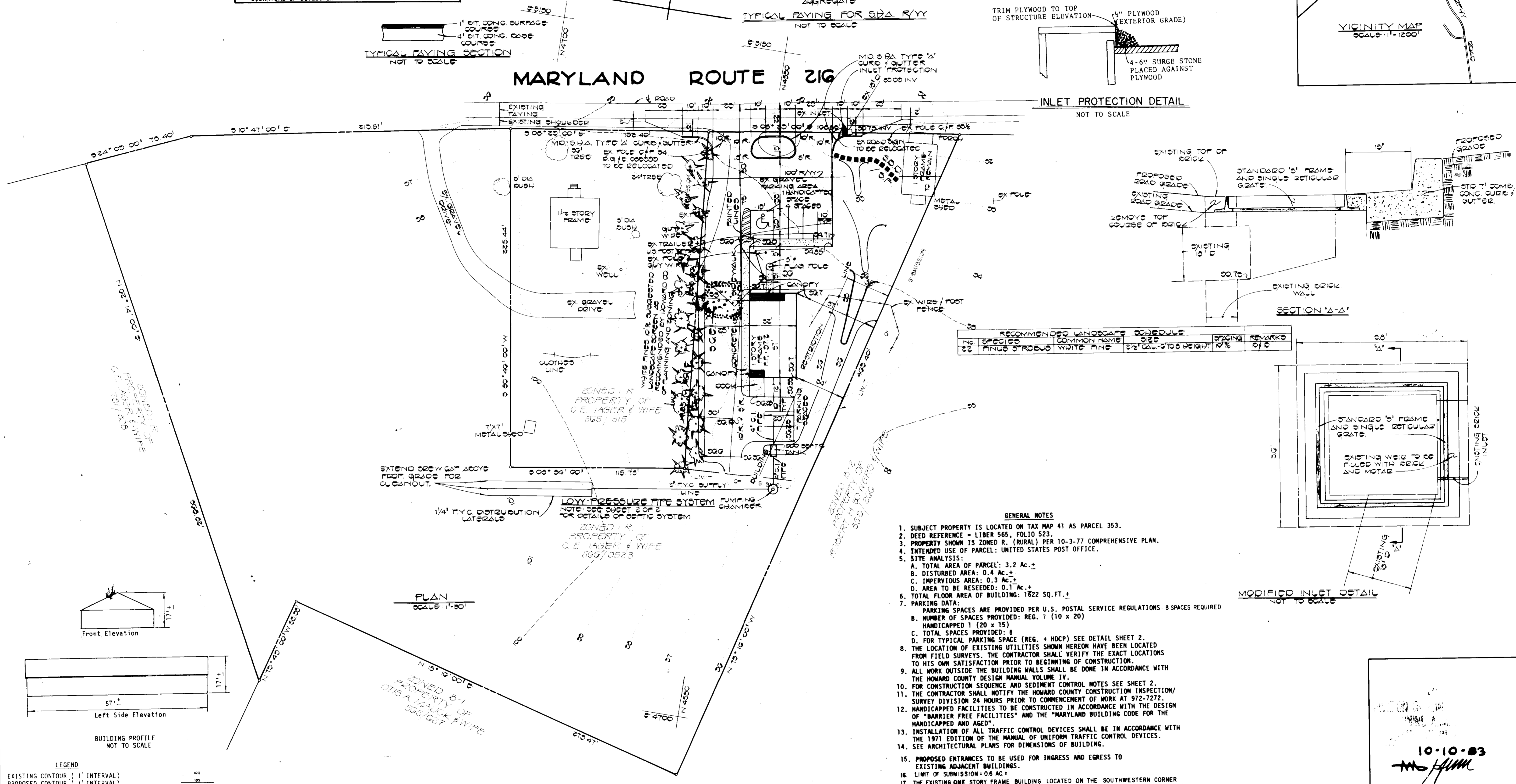
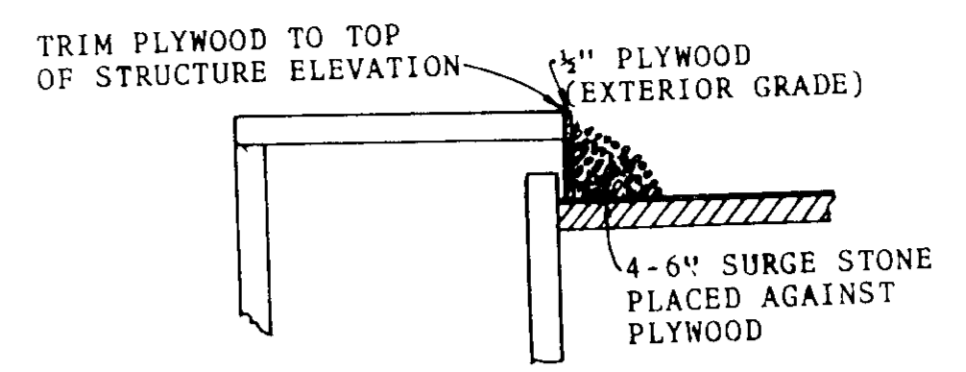
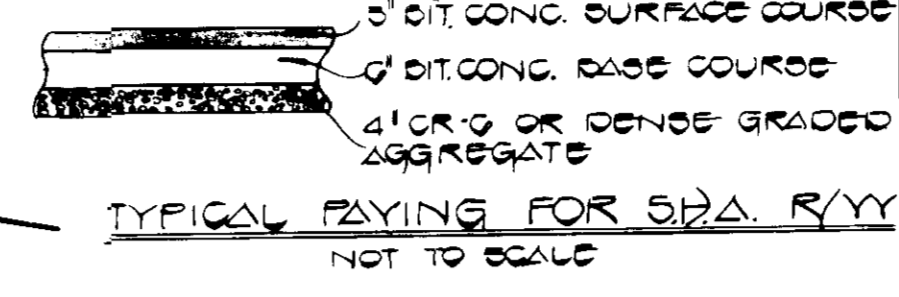
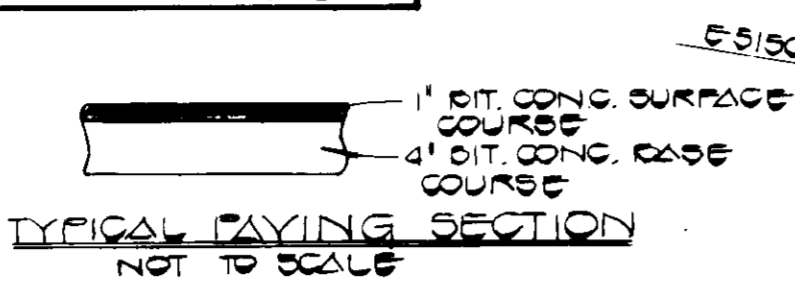
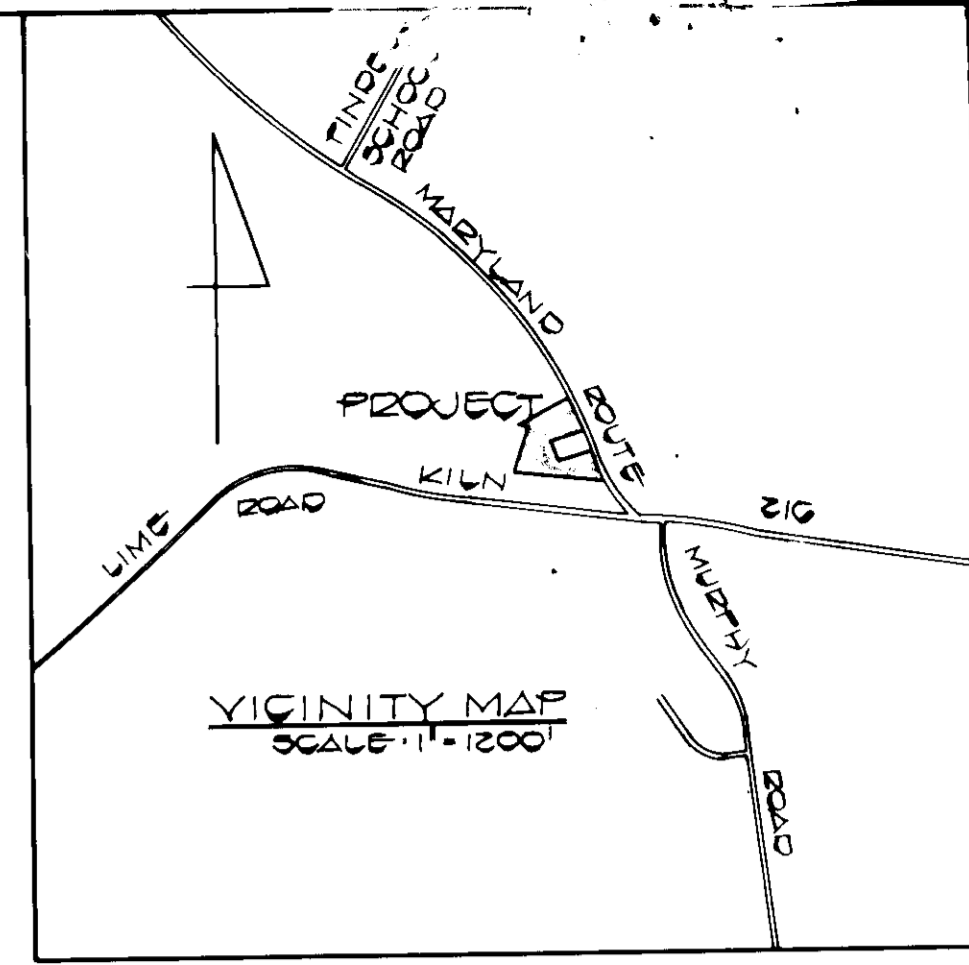
**ENGINEER'S CERTIFICATE**  
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.  
*Chad C. Carter*  
 SIGNATURE OF ENGINEER  
 10/24/83  
 DATE

**DEVELOPER'S CERTIFICATE**  
 "I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."  
*C. Ellsworth Iager*  
 SIGNATURE OF DEVELOPER  
 6/27/83  
 DATE

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.  
*James H. Miller*  
 U.S. SOIL CONSERVATION SERVICE  
 DATE 10-24-83  
 THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
*James H. Miller*  
 DISTRICT COORDINATOR  
 DATE 10-24-83  
 HOWARD SOIL CONSERVATION DISTRICT

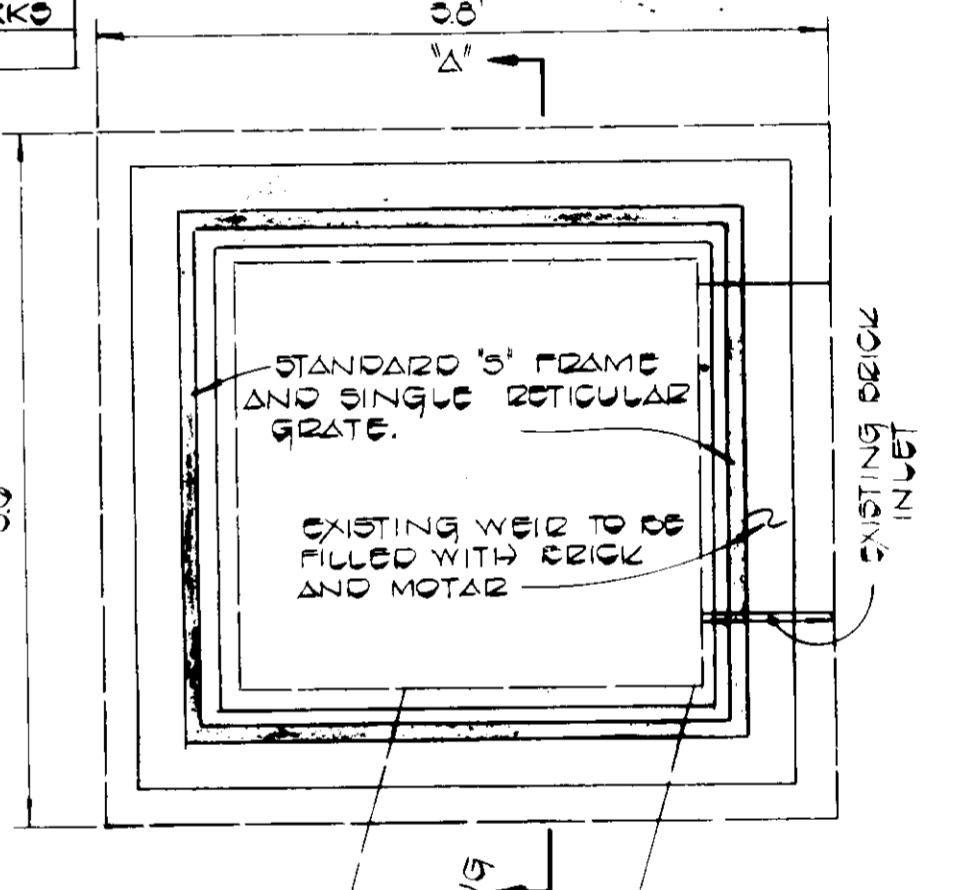
APPROVED: DEPARTMENT OF PUBLIC WORKS, FOR SYSTEMS AND ROADS.  
*James E. Newmyer*  
 DIRECTOR, PUBLIC WORKS  
 DATE 10-26-83  
 APPROVED: STORM DRAINAGE  
 DATE 10-25-83  
 CHIEF, BUREAU OF ENGINEERING

APPROVED: OFFICE OF PLANNING AND ZONING  
*Thomas H. Kanipe*  
 PLANNING DIRECTOR  
 DATE 10-28-83  
*John M. Mearns*  
 CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION  
 DATE 10-28-83  
 APPROVED: HOWARD COUNTY HEALTH DEPARTMENT, FOR PRIVATE WATER AND SEWERAGE SYSTEMS.  
*James H. Miller*  
 HEALTH OFFICER  
 DATE 10-27-83

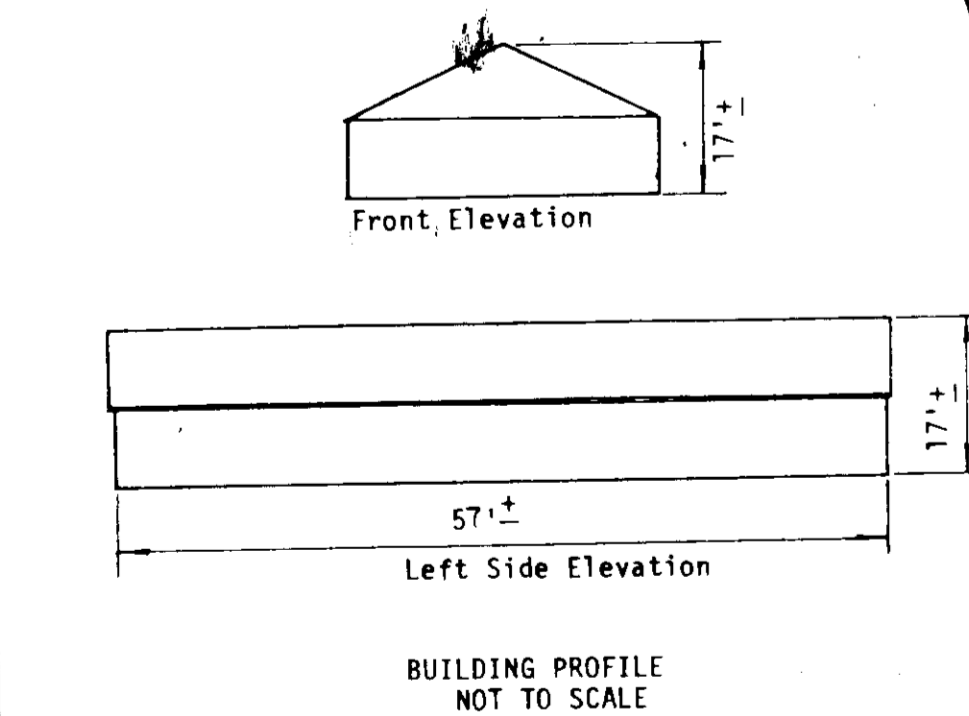


RECOMMENDED LANDSCAPE SCHEDULE

No.	SPECIES	COMMON NAME	SIZE	SPACING	REMARKS
20	MINUS STROBUS	WHITE PINE	2 1/2" GAL. 9'00" HEIGHT	6'0"	P.F.C.



- GENERAL NOTES**
- SUBJECT PROPERTY IS LOCATED ON TAX MAP 41 AS PARCEL 353.
  - DEED REFERENCE - LIBER 555, FOLIO 523.
  - PROPERTY SHOWN IS ZONED R. (RURAL) PER 10-3-77 COMPREHENSIVE PLAN.
  - INTENDED USE OF PARCEL: UNITED STATES POST OFFICE.
  - SITE ANALYSIS:
    - A. TOTAL AREA OF PARCEL: 3.2 Ac. ±
    - B. DISTURBED AREA: 0.4 Ac. ±
    - C. IMPERVIOUS AREA: 0.3 Ac. ±
    - D. AREA TO BE RESEDED: 0.1 Ac. ±
  - TOTAL FLOOR AREA OF BUILDING: 1522 SQ. FT. ±
  - PARKING DATA:
    - A. PARKING SPACES ARE PROVIDED PER U.S. POSTAL SERVICE REGULATIONS 8 SPACES REQUIRED
    - B. NUMBER OF SPACES PROVIDED: REG. 7 (10 x 20) HANDICAPPED 1 (20 x 15)
    - C. TOTAL SPACES PROVIDED: 8
    - D. FOR TYPICAL PARKING SPACE (REG. + HDCP) SEE DETAIL SHEET 2.
  - THE LOCATION OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN LOCATED FROM FIELD SURVEYS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS TO HIS OWN SATISFACTION PRIOR TO BEGINNING OF CONSTRUCTION.
  - ALL WORK OUTSIDE THE BUILDING WALLS SHALL BE DONE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL VOLUME IV.
  - FOR CONSTRUCTION SEQUENCE AND SEDIMENT CONTROL NOTES SEE SHEET 2.
  - THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY CONSTRUCTION INSPECTION/SURVEY DIVISION 24 HOURS PRIOR TO COMMENCEMENT OF WORK AT 972-7272.
  - HANDICAPPED FACILITIES TO BE CONSTRUCTED IN ACCORDANCE WITH THE DESIGN OF "BARRIER FREE FACILITIES" AND THE "MARYLAND BUILDING CODE FOR THE HANDICAPPED AND AGED".
  - INSTALLATION OF ALL TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE 1971 EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
  - SEE ARCHITECTURAL PLANS FOR DIMENSIONS OF BUILDING.
  - PROPOSED ENTRANCES TO BE USED FOR INGRESS AND EGRESS TO EXISTING ADJACENT BUILDINGS.
  - LIMIT OF SUBMISSION: 0.6 AC. ±
  - THE EXISTING ONE STORY FRAME BUILDING LOCATED ON THE SOUTHWESTERN CORNER OF THE IAGER PROPERTY WILL NOT REQUIRE PARKING AS LONG AS THE BUILDING REMAINS VACANT. IN THE EVENT THAT THE BUILDING IS OCCUPIED PARKING WILL BE REQUIRED IN ACCORDANCE WITH SECTION 202 OF THE HOWARD COUNTY ZONING REGULATIONS.



**LEGEND**

EXISTING CONTOUR (1' INTERVAL)	---
PROPOSED CONTOUR (1' INTERVAL)	---
SPOT ELEVATION	---
DRAINAGE FLOW	---
RETAINING WALL	---
EX. WOODS TO BE SAVED	---
STRAN BALE DIKE (S.B.D.)	---
SILT FENCE (S.F.)	---
STABILIZED CONSTRUCTION ENTRANCE (S.C.E.)	---
PERIMETER DIKE (P.D.)	---

**FISHER, COLLINS AND CARTER**  
 CONSULTING ENGINEERS AND LAND SURVEYORS  
 6000 COURT AVENUE  
 ELLICOTT CITY, MARYLAND 21045  
 301-401-2888

*Chad C. Carter*  
 ENGINEER

PROPERTY OWNER:  
**C. E. IAGER & WIFE**  
 11051 ROUTE 216  
 FULTON, MARYLAND 20750

**ADDRESS CHART**

PARCEL	STREET ADDRESS
353	11051 MD ROUTE 216

SUBDIVISION NAME	SECT./AREA	LOT/PARCEL #
PROPERTY OF C. E. IAGER	N.A.	353
PLAT/ OR U/I	BLOCK #	ZONE
500/323	20	R
TAX/ZONE	ELEC. DIST.	CENSUS TR.
MAP 41	P117B	10001
WATER CODE	SEWER CODE	
N.A.	N.A.	

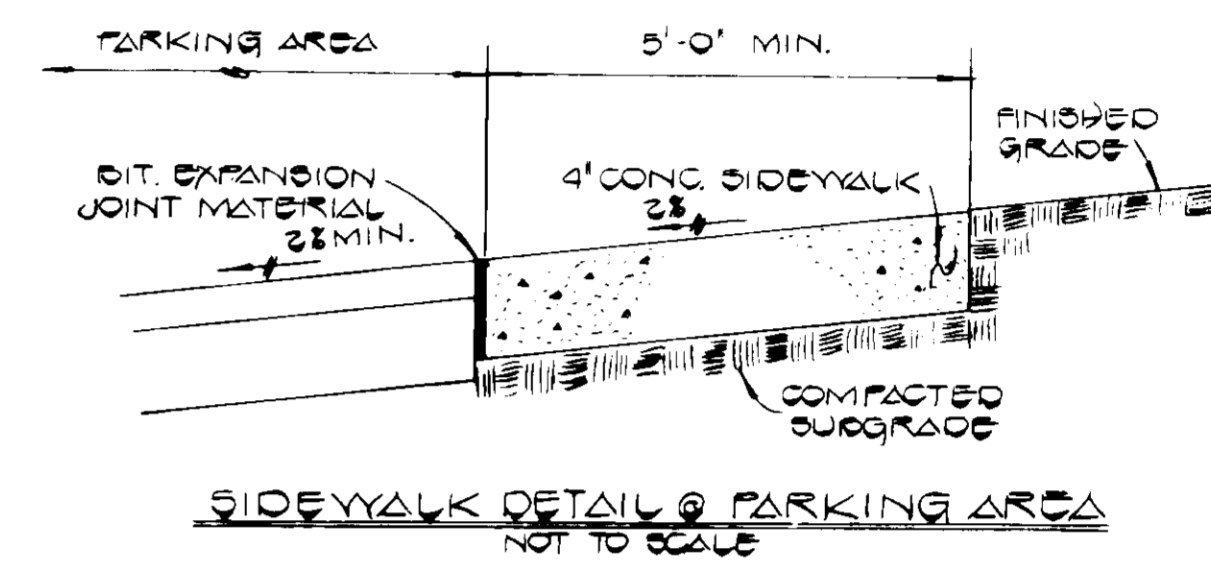
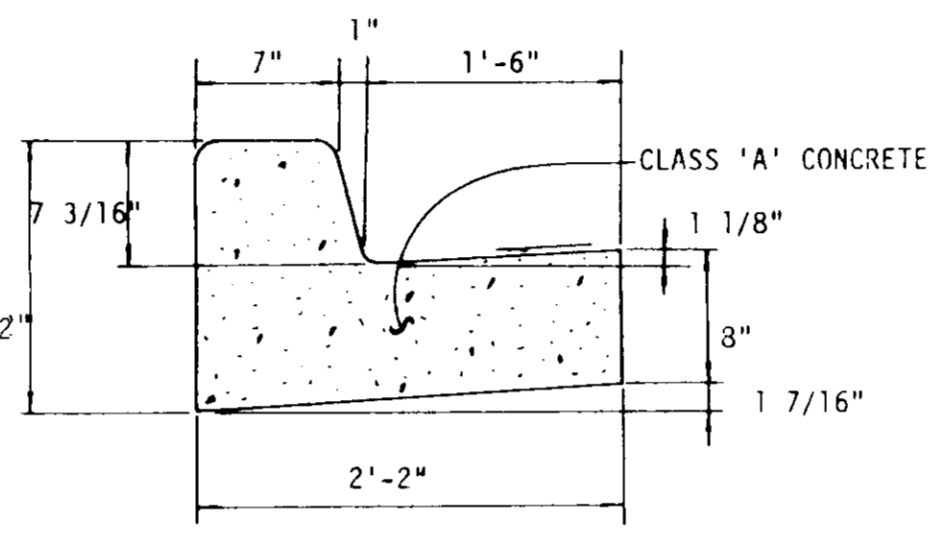
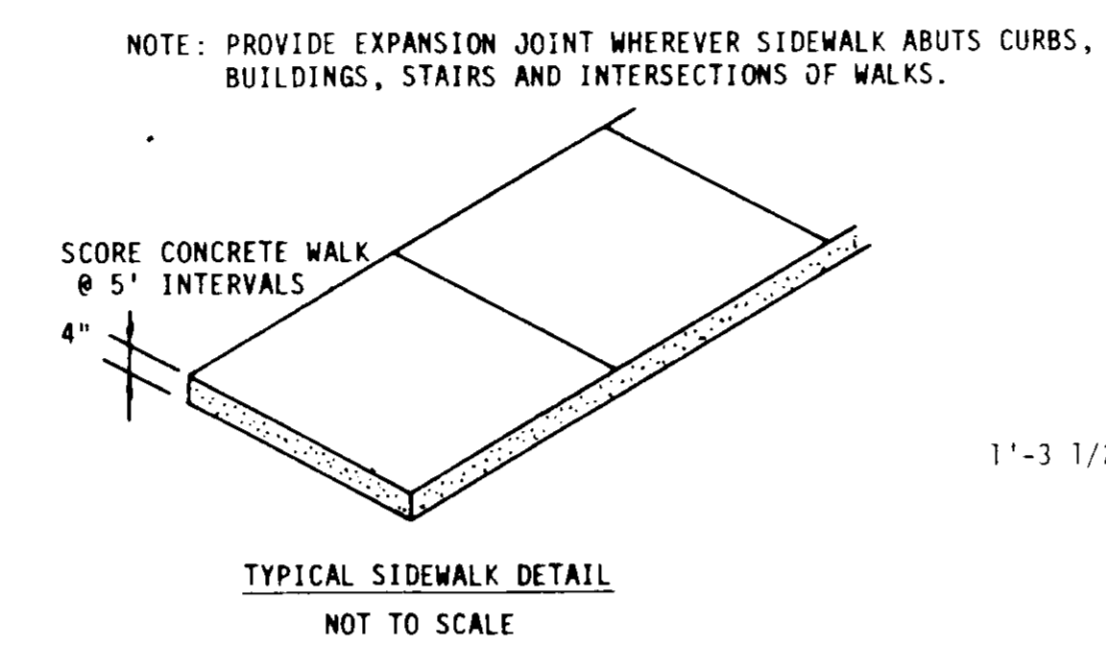
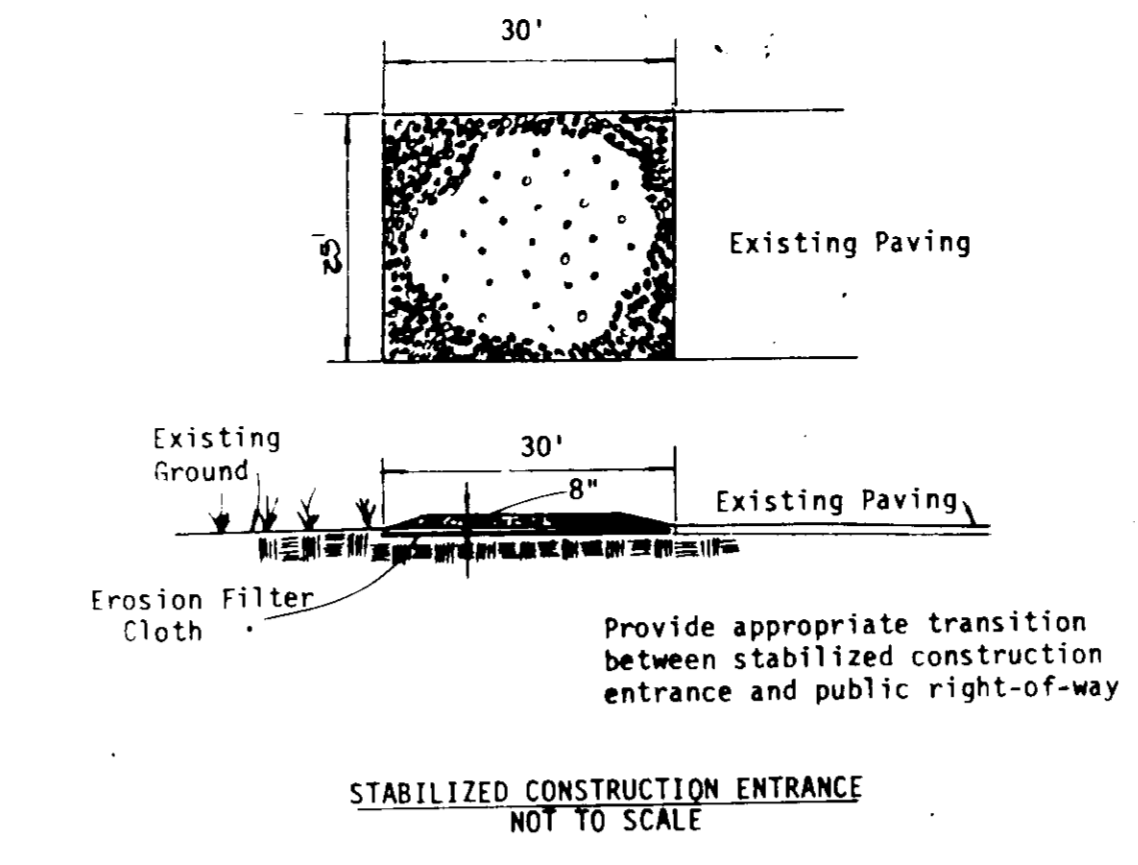
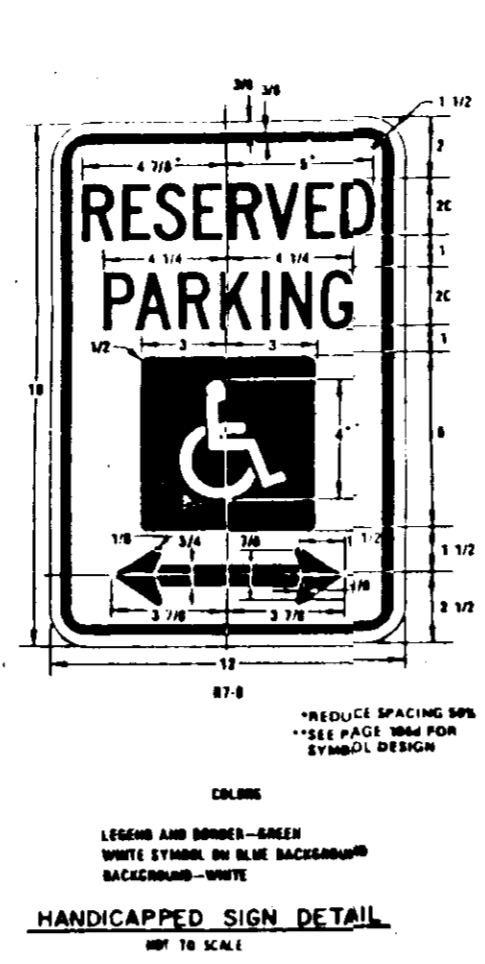
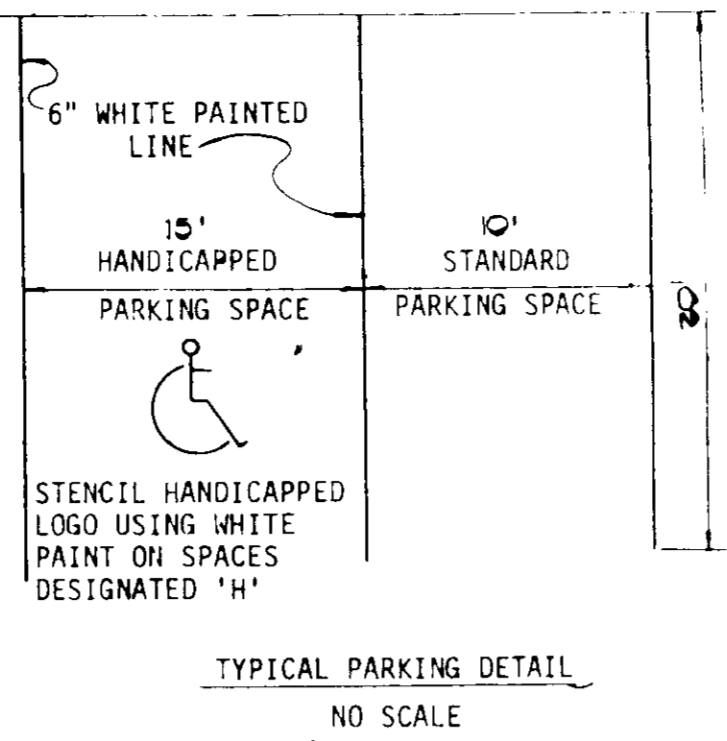
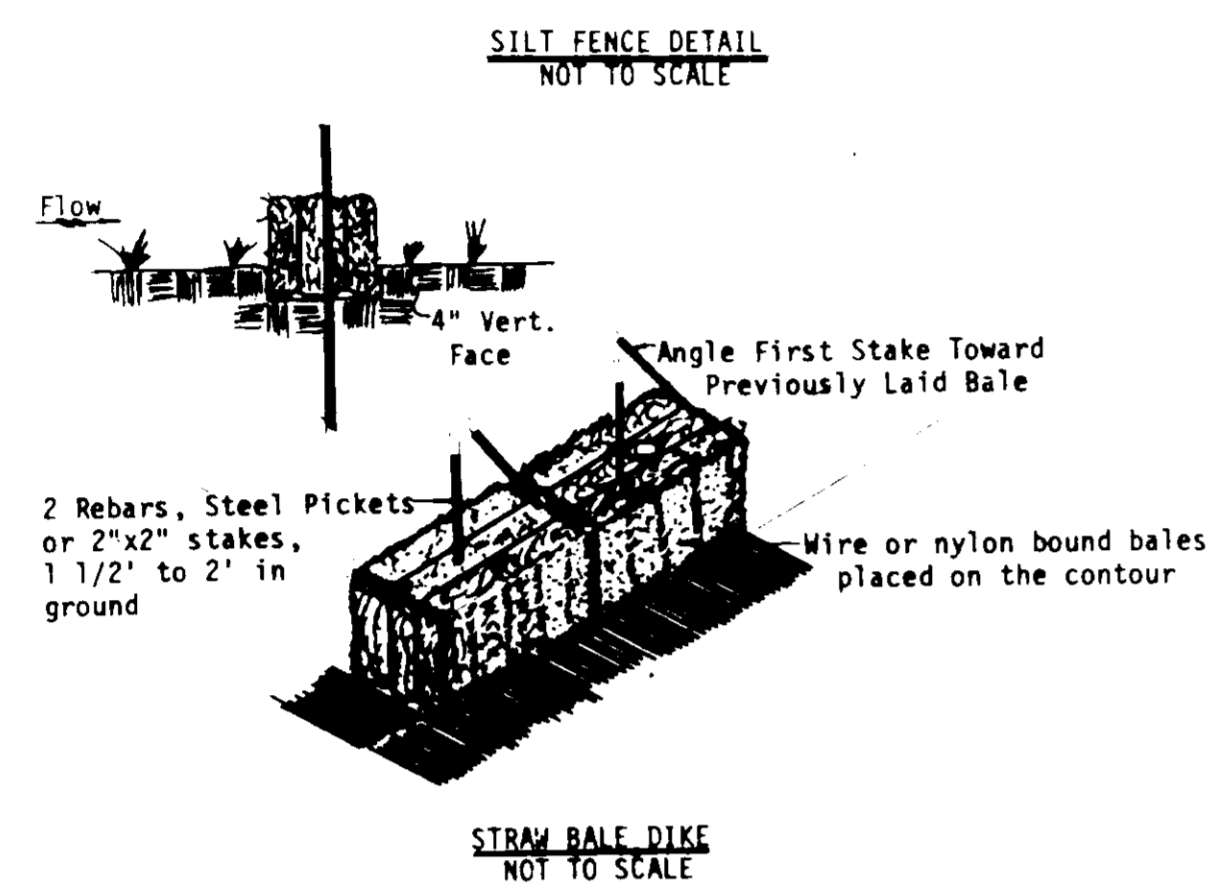
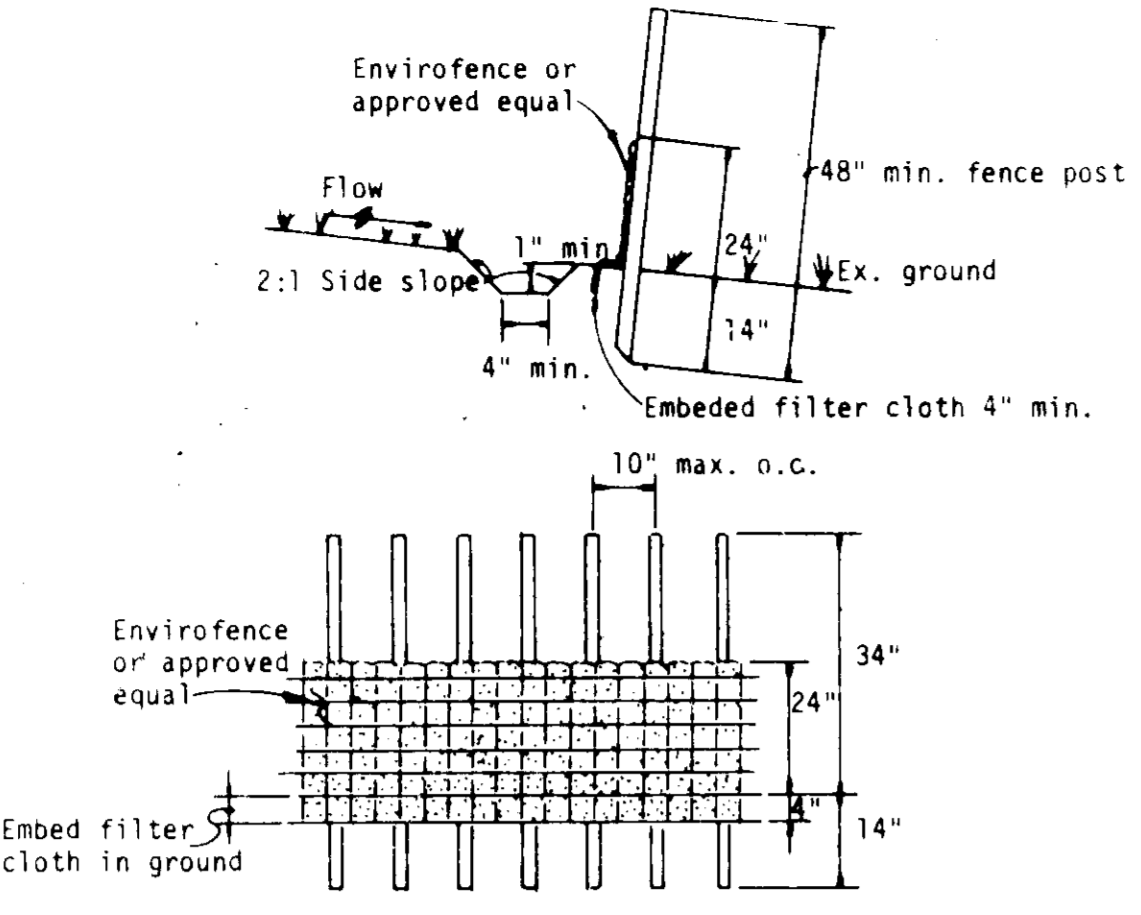
10-10-83  
*MS Hamm*

**FULTON U.S. POST OFFICE**  
 PROPERTY OF  
**C. ELLSWORTH IAGER & WIFE**  
 FIFTH ELECTION DISTRICT HOWARD CO MARYLAND  
 JUNE 17, 1988 SCALE 1:1200  
 SHEET 1 OF 2  
 REVISED: AUGUST 9, 1988

**SEDIMENT CONTROL NOTES**

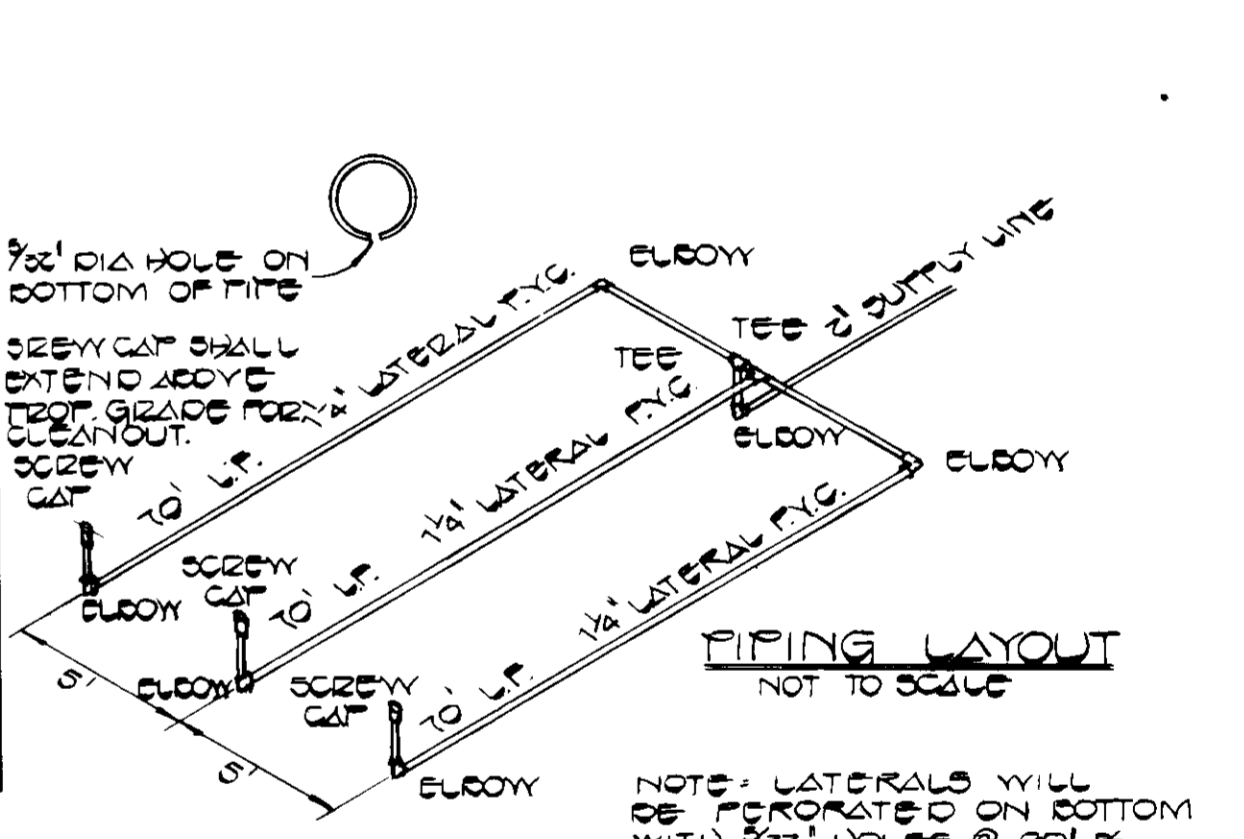
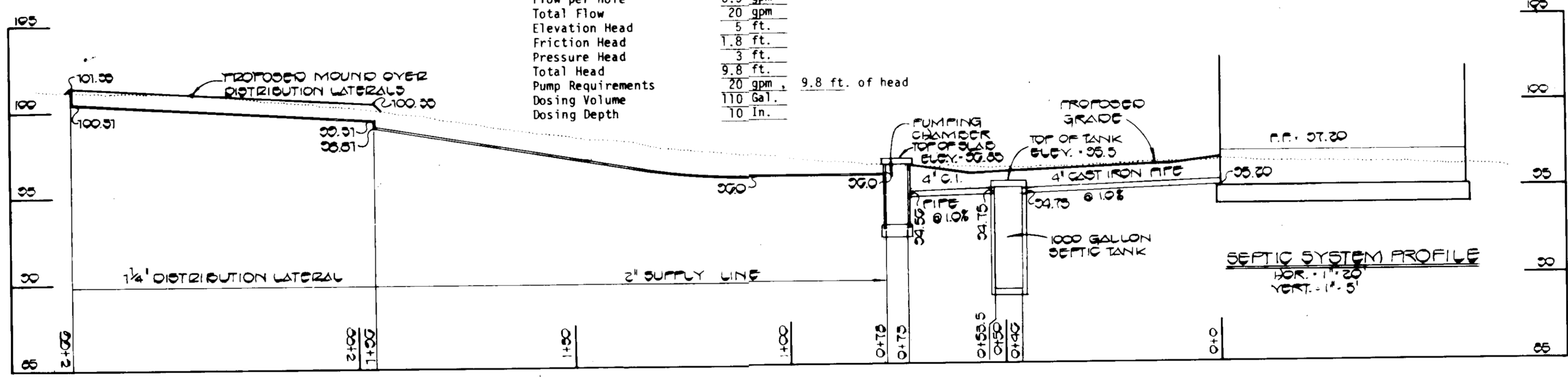
SPECIFICATIONS FOR THE SEDIMENT CONTROL DETAILS INCLUDED IN THE U.S.D.A. SOIL CONSERVATION SERVICE "STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN DEVELOPING AREAS."

- THE DEVELOPER SHALL NOTIFY THE HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS AT LEAST 24 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION SHOWN HEREON (702-1272).
- SEDIMENT CONTROL STRUCTURES TO BE CONSTRUCTED PRIOR TO ANY ON-SITE GRADING OR DISTURBANCE TO ANY EXISTING SURFACE MATERIAL, AND ARE TO BE STABILIZED AS SOON AS CONSTRUCTED.
- ALL SEDIMENT CONTROL STRUCTURES TO REMAIN IN PLACE UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS (702-1272).
- ALL GRADED AREAS NOT TO BE SODED SHALL BE STABILIZED BY SEEDING AND MULCHING IN ACCORDANCE WITH THE FOLLOWING:
  - SITE PREPARATION
    - HARROW OR DISC IN AREAS PROPOSED TO BE SEDED THE FOLLOWING MATERIALS
      - PULVERIZED LIMESTONE AT 2 TONS/ACRE.
      - COMMERCIAL FERTILIZER 10-10-10 AT 3/4 TONS/ACRE.
      - SUPER PHOSPHATE AT 600 LBS./ACRE.
  - SEEDING
    - SOW THE FOLLOWING SEED MIXTURE AT THE RATE OF 200 LBS./ACRE WITH A MECHANICAL SPREADER.
      - TEMPORARY: ITALIAN OR PERENNIAL RYE GRASS.
      - PERMANENT: 40% MARION BLUE GRASS, 40% DAKOTA BLUE GRASS AND 20% PENN LAWN CREEPING FESCUE.
    - THE SEEDED AREA SHALL THEN BE RAKED WITH A YORK RAKE (A MINIMUM OF 2 PASSES) COVERED AND COMPACTED WITH CULTIPACKER OR OTHER APPROVED METHOD.
  - MULCHING
    - SEDED AREAS SHALL BE UNIFORMLY MULCHED IMMEDIATELY AFTER SEEDING WITH UNWEATHERED SMALL GRAIN STRAW AT THE RATE OF 1 1/2-2 TONS/ACRE.
    - TIE MULCH DOWN WITH LIQUID ASPHALT AT 0.1 GAL./S.Y. OR MULCHIFIED ASPHALT AT 0.04 GAL./S.Y. OR MULCH NETTING.

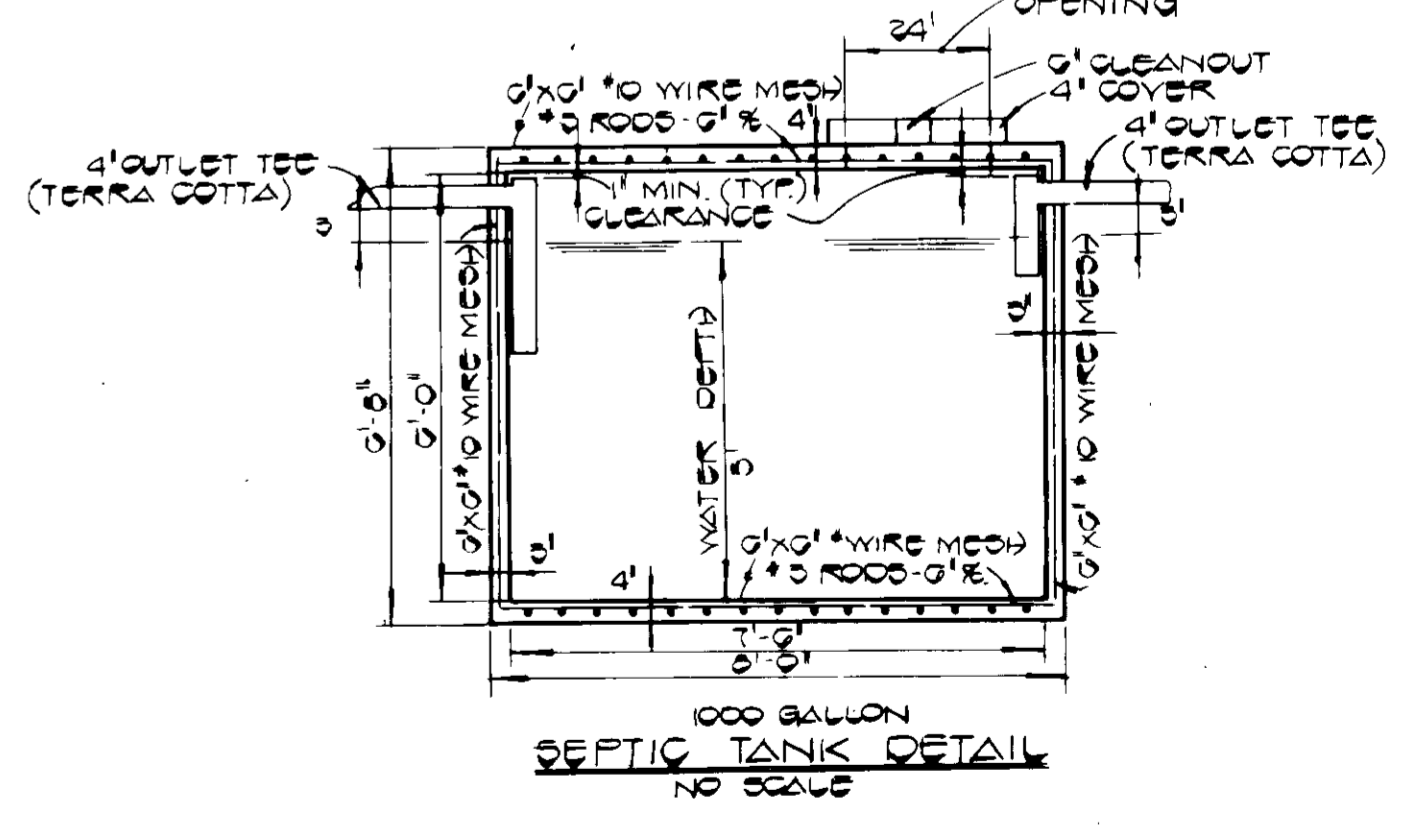
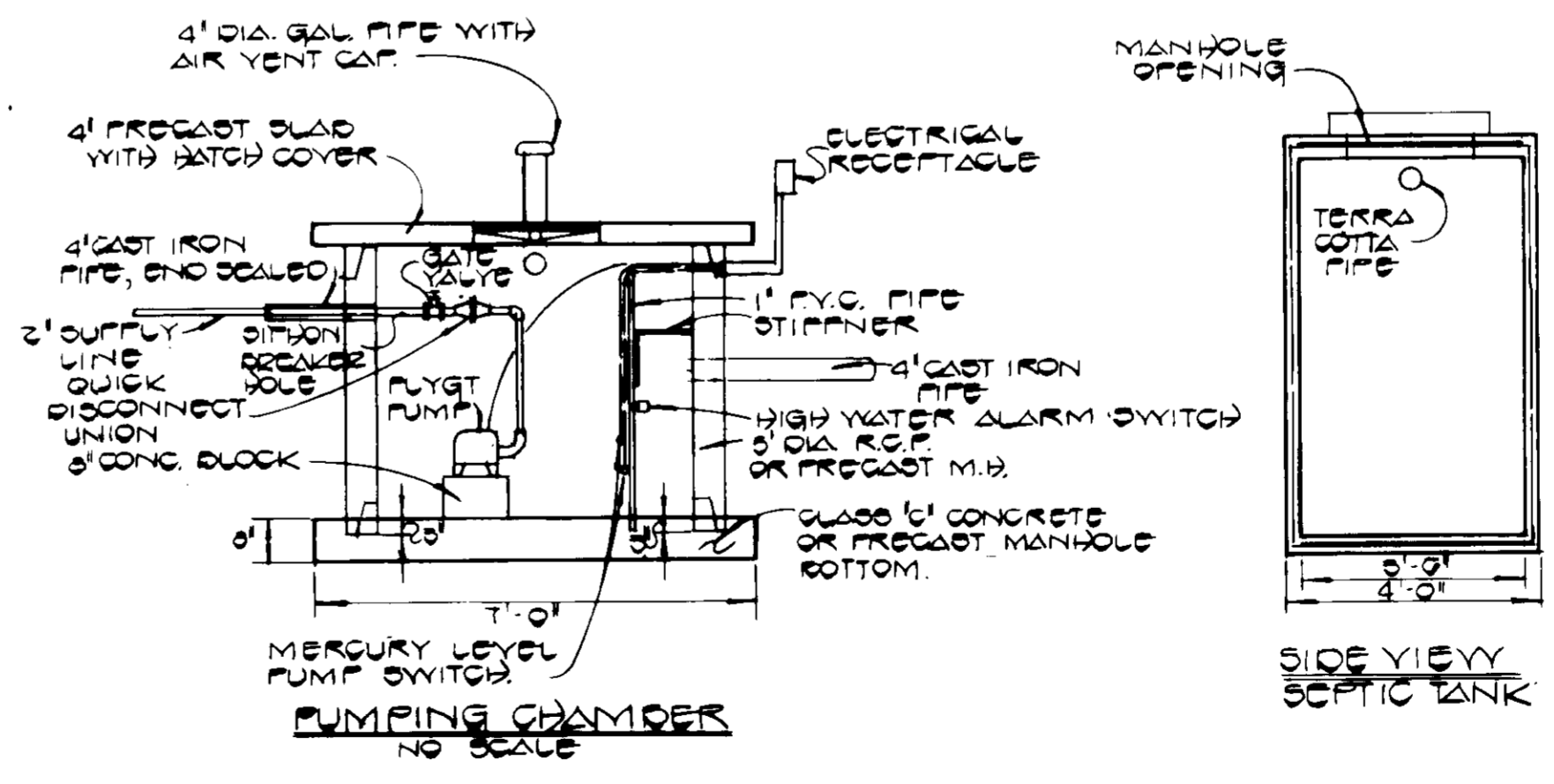
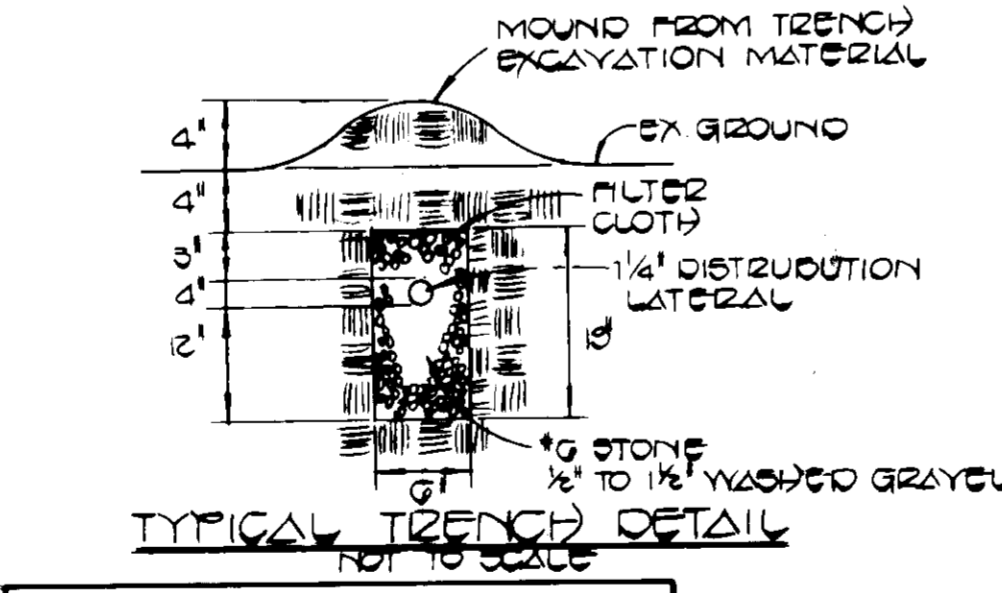
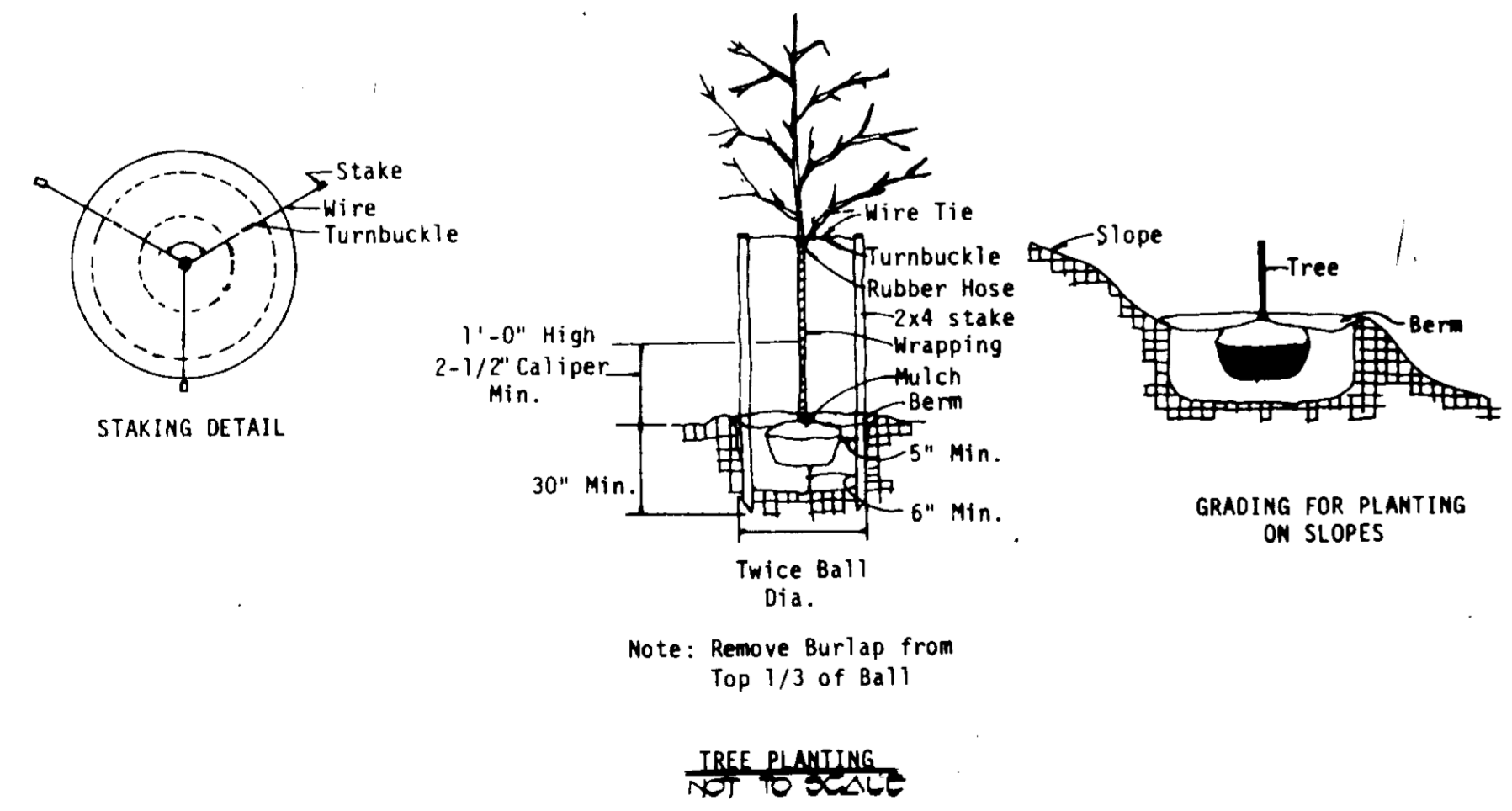


**DESIGN SPECIFICATIONS FOR LPP SYSTEM**

Daily Waste Flow Estimate	100 Gal.
Septic Tank Size	1000 Gal.
Pumping Tank Size	1000 Gal.
Effluent Loading Rate	0.1 Gal./ft. 2/Day
Absorption Area	1000 Ft. 2
Total Length of Laterals	200 Ft.
Lateral Diameter	1 1/4 in.
Lateral Configuration	3 x 70 Ft. Lines
Supply Line Length	118 Ft.
Supply Line Diameter	2 in.
Hole Size	5/22 in. 5/32"
Hole Spacing	5 Ft.
Number of Holes	13 holes per lateral x 3 laterals = 39 holes
Flow per hole	0.5 gpm
Total Flow	20 gpm
Elevation Head	5 ft.
Friction Head	1.8 ft.
Pressure Head	3 ft.
Total Head	9.8 ft. of head
Pump Requirements	20 gpm
Dosing Volume	110 Gal.
Dosing Depth	10 in.



- CONSTRUCTION SEQUENCE**
- OBTAIN GRADING AND BUILDING PERMIT.
  - CONSTRUCT STONE CONSTRUCTION ENTRANCE AS SHOWN ON PLAN.
  - INSTALL SILT FENCE OR STRAW BALE DIKE AT AREAS SHOWN ON PLAN.
  - GRADE SITE TO SUBGRADE.
  - CONSTRUCT 1 STORY FRAME BUILDING PER ARCHITECTURAL PLANS.
  - CONSTRUCT CONCRETE CURB AND INSTALL BASE COURSE.
  - AFTER EACH RAINFALL, THE CONTRACTOR SHALL INSPECT AND PROVIDE NECESSARY MAINTENANCE ON THE EROSION CONTROL DEVICES SHOWN HEREON.
  - REMOVE SEDIMENT FROM EXISTING PARKING LOT AND DRESS STONE CONSTRUCTION ENTRANCE AS REQUIRED.
  - REMOVE STONE CONSTRUCTION ENTRANCE.
  - CLEAN BASE COURSE, APPLY TACK COAT TO BASE COURSE, LAY SURFACE COURSE.
  - REMOVE EXISTING TRAILER, LAY REMAINING SURFACE COURSE AND INSTALL SIDEWALKS.
  - ALL DISTURBED AREAS DUE TO REMOVAL OF SEDIMENT CONTROL MEASURES SHALL BE GRADED AND STABILIZED BY PERMANENT SEEDING.



**FISHER, COLLINS AND CARTER**  
CONSULTING ENGINEERS AND LAND SURVEYORS  
8800 COURT AVENUE  
BELLGATE CITY, MARYLAND 21045  
301-461-2655

HOWARD COUNTY  
10-10-83  
C. Ellsworth

PROPERTY OWNER  
**C. ELLSWORTH LAGER, WIFE**  
11700 ROUTE 20  
FULTON, MARYLAND  
20710

**FULTON U.S. POST OFFICE**  
PROPERTY OF  
**C. ELLSWORTH LAGER, WIFE**  
FIFTH ELECTION DISTRICT HOWARD CO MARYLAND  
JUNE 17, 1980 SCALE AS SHOWN  
SHEET 2 OF 2  
REVISED AUGUST 8, 1980

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

**Developer's Certificate**

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."

**Signature of Engineer:** C. Ellsworth Lager, 10/12/82 DATE

**Signature of Developer:** C. Ellsworth Lager, 6/27/83 DATE

**Signature of District Coordinator:** J. James M. Xela, 10/24/83 DATE

**Signature of Planning Director:** J. James M. Xela, 10-28-83 DATE

**Signature of Chief, Division of Land Development and Zoning Administration:** J. James M. Xela, 10-28-83 DATE

**Signature of Director of Public Works:** J. James M. Xela, 10-26-83 DATE

**Signature of Chief, Bureau of Engineering:** J. James M. Xela, 10-25-83 DATE

**Signature of Health Officer:** J. James M. Xela, 10-27-83 DATE